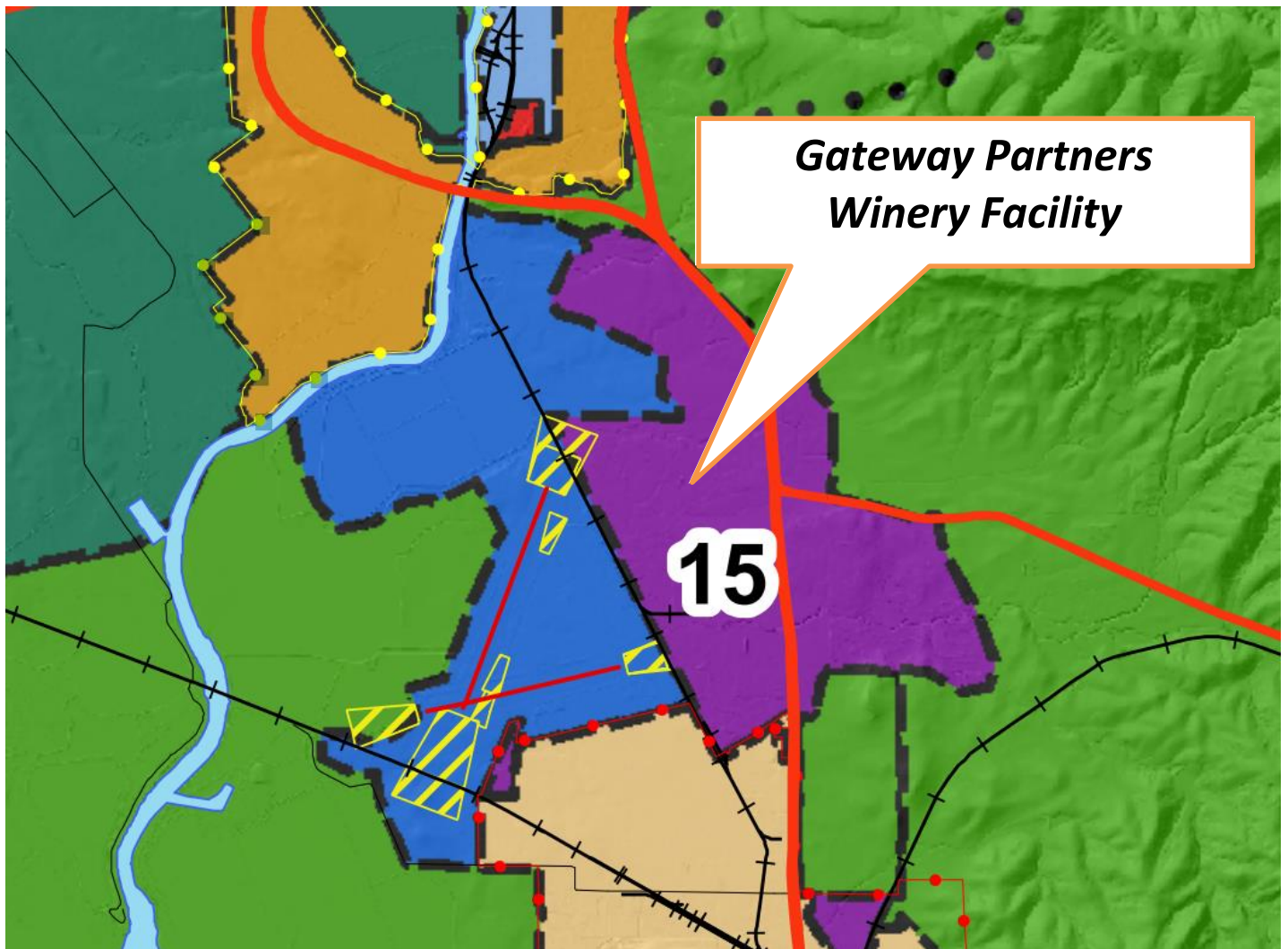


“G”

Graphics

NAPA COUNTY LAND USE PLAN 2008 – 2030



SCALE IN MILES
0 ½ Mile]

LEGEND



URBANIZED OR NON-AGRICULTURAL

- Study Area
- Cities
- Urban Residential*
- Rural Residential*
- Industrial
- Public-Institutional
- Napa Pipe Mixed Use

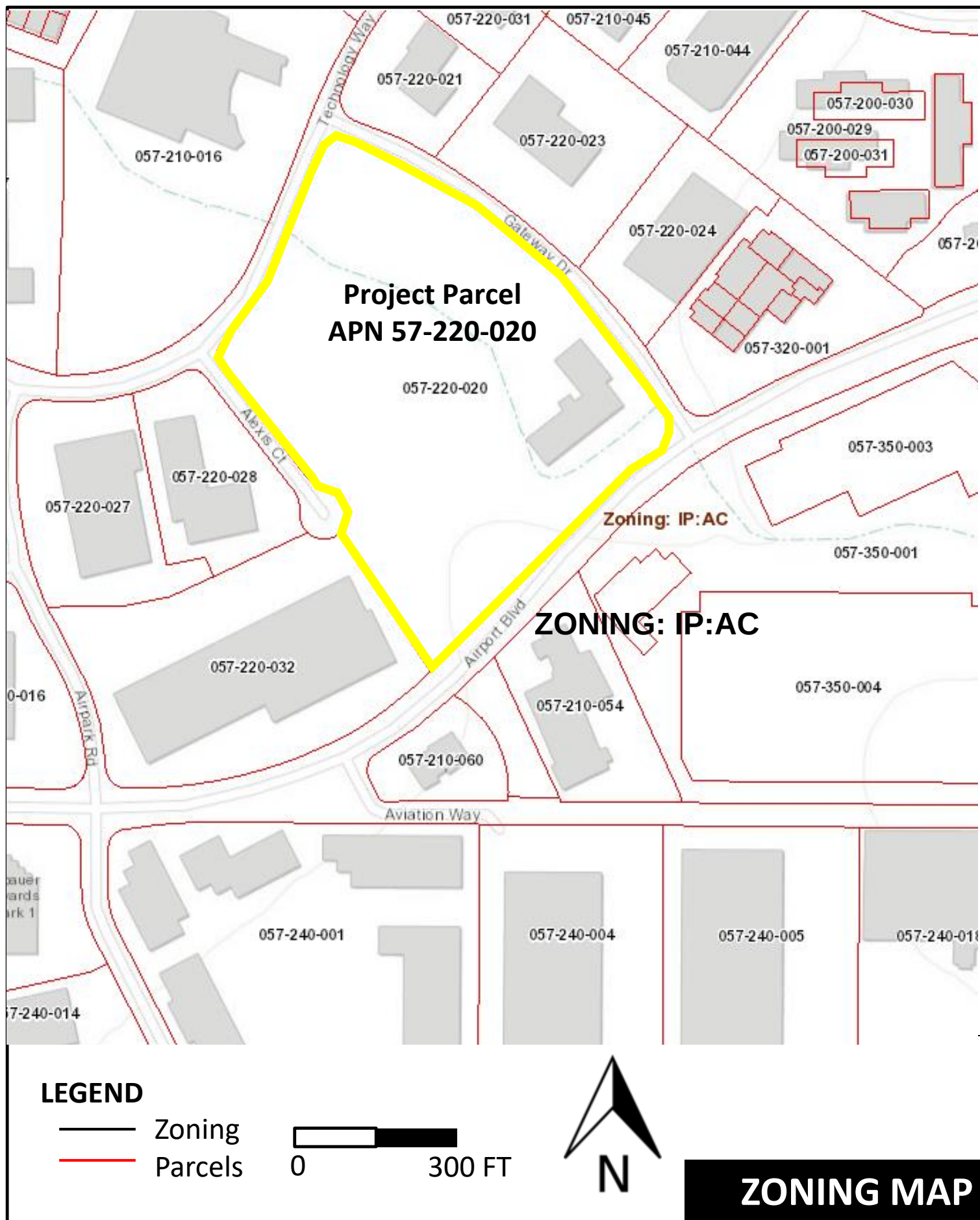
OPEN SPACE

- Agriculture, Watershed & Open Space
- Agricultural Resource

TRANSPORTATION

- Mineral Resource
- Limited Access Highway
- American Canyon ULL
- City of Napa RUL
- Landfill - General Plan
- Road
- Airport
- Railroad
- Airport Clear Zone

* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations





Existing Conditions

PROJECT NARRATIVE:

General Project Description: Applicant requests approval of a use permit to allow a winery with 400,000 gallons of annual production and 44 employees within an approximately 80,200 square foot portion of the previously approved 100,306 square foot building. The proposed winery would not include tours and tastings, retail sales, or marketing events.

Project Setting & Background: The project site is relatively flat with an average slope of less than one percent. A small swale drains the property from the southeast to the northwest. The historic upstream flow of this drainage has been diverted to a storm drain on Airport Boulevard, while the historic downstream flow has been diverted into the storm drain system along Gateway Loop. The site is treeless with the exception of landscaping added during earlier phases of development. The soil type is Haire loam, which exhibits slow runoff and a slight hazard of erosion. The County's Environmental Sensitivity Maps do not identify any special environmental concerns on the site. The roadways surrounding the parcel have all been approved to appropriate County standards for industrial development include an underground storm drain system. Other development in the larger vicinity includes the Napa County Airport and industrial development to the west and office/ industrial development to the east. The project site is situated in Zone D (Traffic Pattern Area) of the Airport Land Use Compatibility Plan and is subject to overflights at elevations ranging from 300 to 1,000 feet.

In 1994, the Planning Commission approved 93466-UP, which allowed development of a pharmaceutical manufacturing and research facility. The approved facility included office, research and development, pharmaceutical manufacturing, and warehouse uses. After constructing the office building, the property owner, abandoned further development of the facility. Applicant seeks to complete the development approved by 93466-UP while diversifying the uses and tenants on the project site. This application continues the same theme of a facility housing manufacturing and office uses. Rather than ophthalmological products, the manufacturing will be wine.

Site Development Standards: No change is proposed to the approved building footprint. Instead, the Applicant only seeks a change the approved use from warehouse and office to add winery use within an approximately 80,200 square foot portion of Building A as depicted on the enclosed plans. The winery will have 80 parking spaces allocated to it. The remainder of Building A will remain as office/warehouse use as previously approved.

Water Service & Sewer: The project will be provided with water service from the City of American Canyon. The City currently provides water to the office building on the project site. Applicant has applied to the City for a will serve letter for the proposed winery use. The winery building will be sprinklered for fire protection.

The project site is within the service area of the Napa Sanitation District ("Napa San"). Applicant proposes to pre-treat process wastewater and discharge to the Napa San. Applicant has applied to Napa San for a will serve letter, and Applicant will secure an Industrial User Permit from Napa San. Domestic wastewater also will be discharged to Napa San. The Applicant is not proposing any hold and haul of wastewater.

Comparison to Approved Manufacturing Facility: The Applicant proposes that the winery operate seven days/week and 24 hours/day. These hours of operation are unchanged from the previously approved pharmaceutical manufacturing facility. The proposed 44 winery employees represent a small decrease from the 45 employees anticipated for the pharmaceutical manufacturing facility. A copy of the application for 93466-UP with this information is enclosed.

Aesthetics: All winery operations will be conducted within the winery building. No outdoor crush pad or tanks are proposed. The building's design and elevations were approved in prior use permits. With two minor exceptions described below, the Applicant does not propose to change that previously approved design or exterior materials. The Applicant does propose to place winery equipment, including wastewater pre-treatment equipment, outside the building as depicted on the submitted plans. This equipment will be screened from the street and neighboring properties. Also, the Applicant proposes a short canopy over the loading bay doorway, which is needed to protect grapes being delivered from the elements.

CEQA: A Negative Declaration was certified for this property's development in conjunction with the approval of 93466-UP. That Negative Declaration is enclosed with this application. Applicant believes that the previously certified Negative Declaration sufficiently discloses and analyzes potential impacts from the property's development into a office and manufacturing facility. The project site already is developed with the office building, and the Applicant's predecessor graded a building pad and laid the foundation for a separate building. Because this application merely changes the product being manufactured within an approved building, Applicant believes that Napa County may rely on its previous environmental analysis through an addendum to the previously certified Negative Declaration.

This designation is reserved for traditional industrial activates, such as heavy and light manufacturing and warehousing.

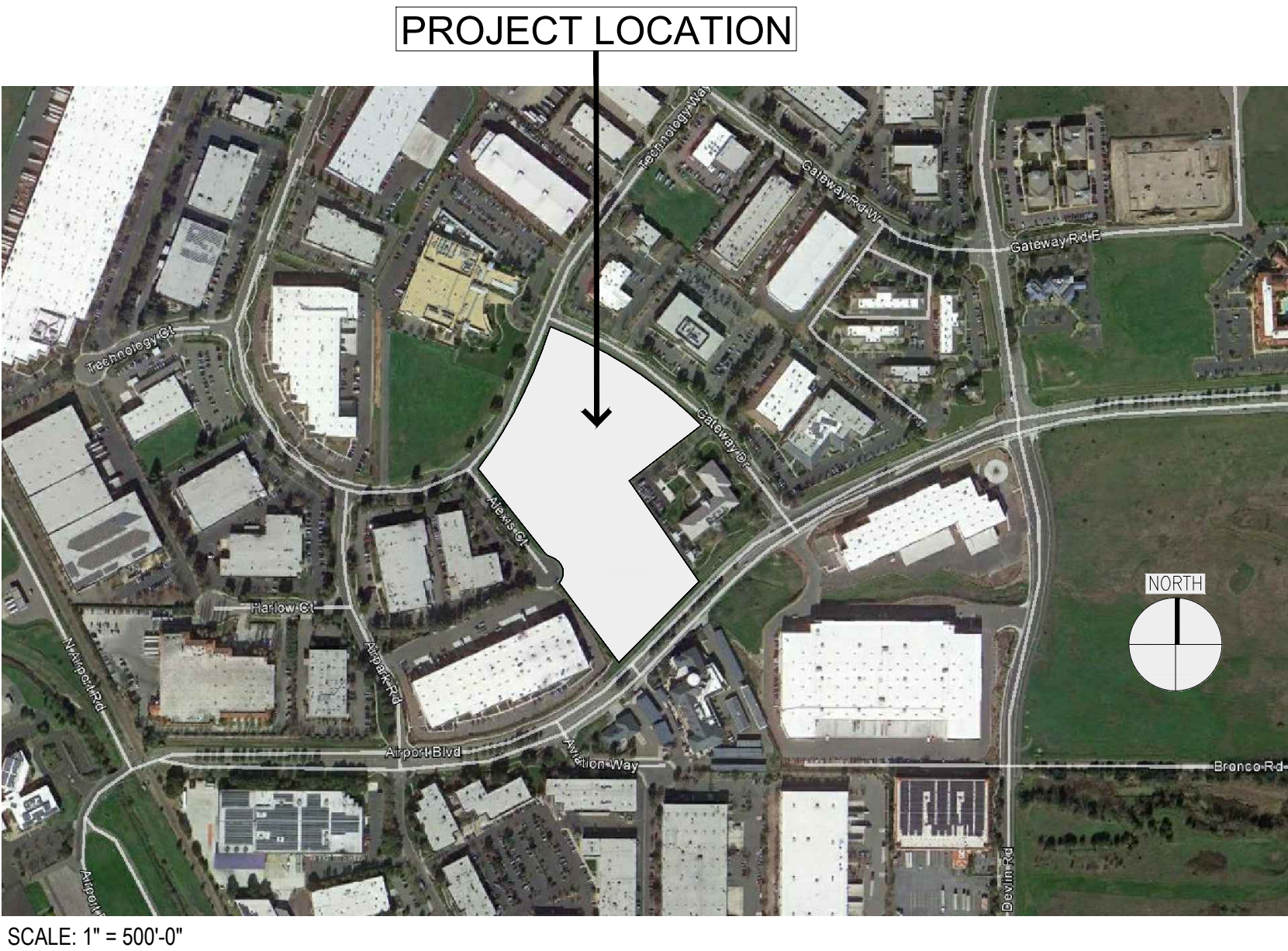
CONDITIONAL USE PERMIT SUBMITTAL FOR:

501 GATEWAY DRIVE
NAPA COUNTY, CALIFORNIA



PERSPECTIVE VIEW OF BUILDING A LOOKING NORTHEAST

VICINITY MAP:



PROJECT TEAM:

OWNER / DEVELOPER: GATEWAY PARTNERS I, LLC 1850 SOSCOL AVENUE, SUITE 207 NAPA, CA 94559	MARK FUNSETH mfunseth@channelprop.com
OWNER'S PROJECT MANAGER: LAKE STREET COMPANY 1850 SOSCOL AVENUE, SUITE 207 NAPA, CA 94559 P:650-327-0670	VINCENT 'BUZZ' BUTLER buzz@lakestreetventures.com
ARCHITECT: RMW ARCHITECTURE & INTERIORS 1718 3RD STREET, SUITE 101 SACRAMENTO, CA 95811 P:916-449-1400 x405 F:916-449-1414	JEFF LEONHARDT, PROJECT ARCHITECT & DESIGNER jleonhardt@rmw.com
CIVIL ENGINEER: LAUGENOUR AND MEIKLE P.O. BOX 828 WOODLAND, CA 95776 P:530-662-1755 F:530-662-4602	BRYAN BONINO bbp@lmce.net
LANDSCAPE DESIGNER: VISTA PARKS LANDSCAPING INC. 3323 WATT AVE. #229 SACRAMENTO, CALIFORNIA 95821 P: 916-681-2227	ERIC DEARING eric@vistaparks.com

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LANDSCAPE: * LP PRELIMINARY LANDSCAPE PLANTING PLAN * DENOTES A SHEET WITH COLOR IMAGES	



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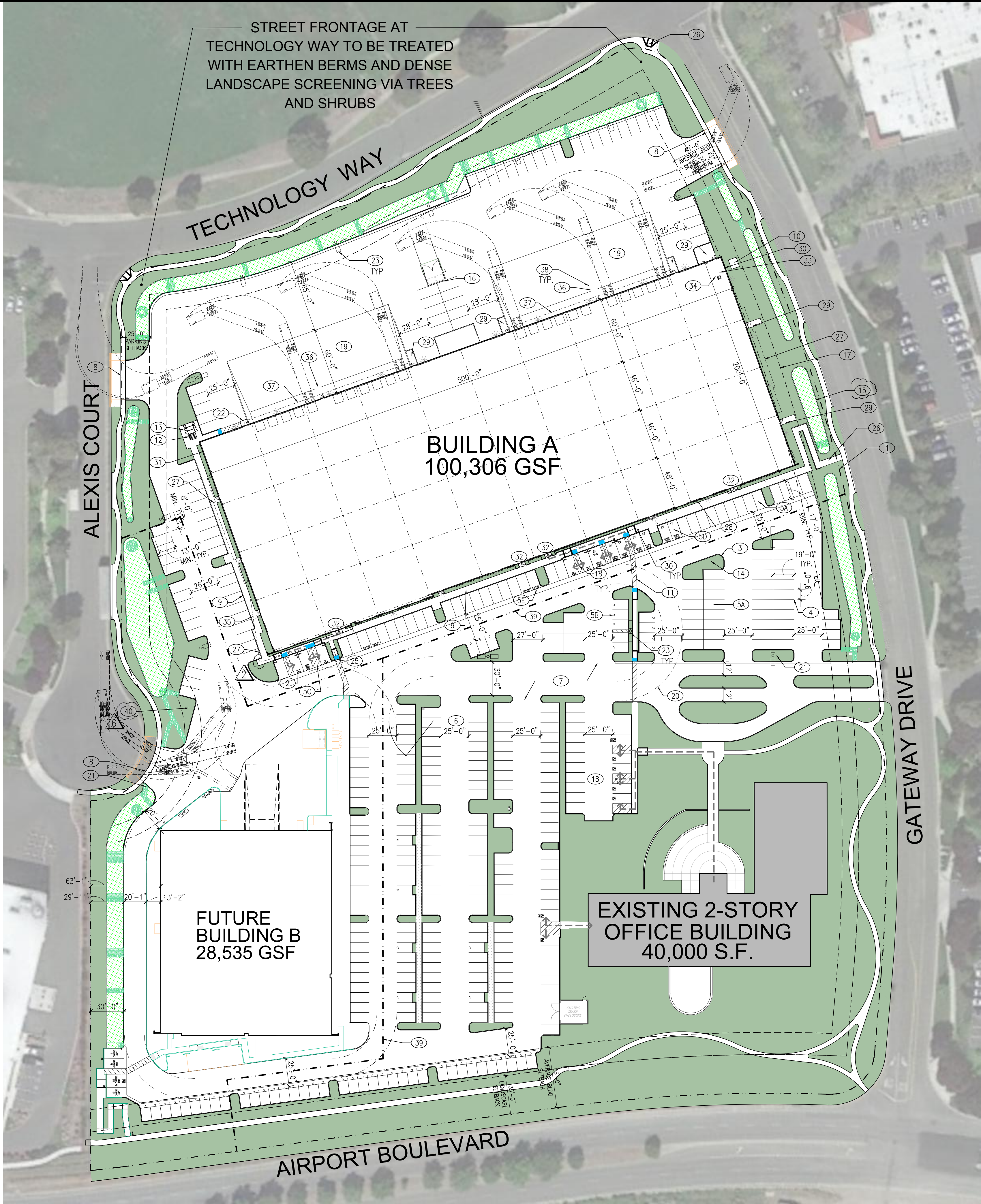
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scale : AS NOTED
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COVER SHEET

sheet no. :

A00.1



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- 3 TYPICAL 6" TALL x 6" WIDE CONCRETE CURBS.
- 4 TYPICAL 4" WIDE PARKING STRIPING.
- 5 TYPICAL PARKING:
 - A. STANDARD STALLS: 8' x 19' OR 9' x 17' WITH 2' PARKING OVERHANG.
 - B. COMPACT STALLS: 8' x 15' OR 8' x 13' WITH 2' PARKING OVERHANG. (35% MAX)
 - C. ACCESSIBLE PARKING STALLS: 9' x 18', TYPICAL STANDARD AND/OR VAN STALLS.
 - D. FUTURE ELECTRIC VEHICLE PARKING.
 - E. DESIGNATED PARKING, WHICH INCLUDES (50).
- 6 TYPICAL 25' WIDE MIN DRIVE AISLE WHERE PARKING OCCURS, 20' MIN WHERE PARKING DOES NOT OCCUR.
- 7 PARKING AND DRIVE AISLE SURFACES TO BE ASPHALTIC CONCRETE.
- 8 LOCATION OF NEW SITE ACCESS DRIVE CURB CUT.
- 9 TYPICAL CONCRETE PEDESTRIAN WALKS TO BE 4' WIDE MIN., 6" WIDE MIN. WITH 2'-0" PARKING OVERHANG WHERE OCCURS. ASSUME ALL SIDEWALKS TO BE ACCESSIBLE PATH OF TRAVEL. SLOPE NOT TO EXCEED 1:20 (5%) IN DIRECTION OF TRAVEL. CROSS SLOPE NOT TO EXCEED 1:50 (2%).
- 10 ELECTRICAL TRANSFORMER & CONCRETE PAD. PROVIDE FIXED & REMOVABLE BOLLARDS. COORDINATE PER P.G.&E. SPECIFICATIONS. SEE CIVIL & ELECTRICAL DRAWINGS.
- 11 TYPICAL 4" WIDE TRAFFIC & CROSS WALK STRIPING.
- 12 LOCATION OF BICYCLE RACK. 5 BIKE CAPACITY TO BE PROVIDED AT BUILDING 'A'
- 13 LOCATION OF BIKE LOCKER. 6 BIKE CAPACITY TO BE PROVIDED AT BUILDING 'A'
- 14 TYPICAL LANDSCAPE PLANTER AREA.
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- 18 HEAVY DASHED LINE INDICATES ACCESSIBLE PATH OF TRAVEL
- 19 DEPRESSED CONCRETE TRUCK DOCK
- 20 DASH-DOT LINES INDICATE FIRE DEPARTMENT TURN RADIUS REQUIREMENTS
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- 22 5' DEEP x 5'-4" WIDE LEVEL LANDING.
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- 29 EXIT CONNECTED TO AN ACCESSIBLE PATH EXTENDING 10'-6" MIN. IN LENGTH AWAY FROM THE BUILDING, NO GREATER THAN 2% SLOPE IN ANY DIRECTION, WITH END EXTENSION "EXTERIOR AREA FOR ASSISTED RESCUE," TO ACCOMMODATE 2-WHEELCHAIR SPACES MIN., PER 2016 CBC 1009.7.
- 30 INSTALL CONDUIT / RACEWAY FROM ELECTRICAL PANEL TO REQUIRED FUTURE ELECTRICAL VEHICLE CHARGING STALLS PROVIDED ACCORDING TO 2016 CALGREEN SECTION 5.106.5.3.2. NOTE: EV CHARGING STATIONS MAY BE REQUIRED AT TIME OF FUTURE TENANT IMPROVEMENTS.
- 31 LOCATION OF PROPOSED FIRE SPRINKLER RISER (FIRE SPRINKLER DRAWINGS ARE A DEFERRED SUBMITTAL).
- 32 DASHED LINE OF ENTRY CANOPY (ABOVE), SEE EXTERIOR ELEVATIONS SHEET A03.1.
- 33 LOCATION OF ELECTRICAL ROOM. SEE FLOOR PLAN SHEET A02.1.
- 34 LOCATION OF ROOF ACCESS LADDER. SEE FLOOR PLAN SHEET A02.1.
- 35 DASHED LINE OF CONTINUOUS ROOF GUTTER (ABOVE) AT WEST SIDE OF BUILDING. SEE EXTERIOR ELEVATIONS, SHEET A03.1.
- 36 PREFABRICATED PAINTED STEEL STAIR (FIRE DEPT ACCESS ONLY) PAINTED "SAFETY YELLOW"
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- 40 LOCATION OF GAS MULTI-METER

vision
function
space
culture
ideas
experience

RMWthink

architecture & interiors

listen
build
speak
learn

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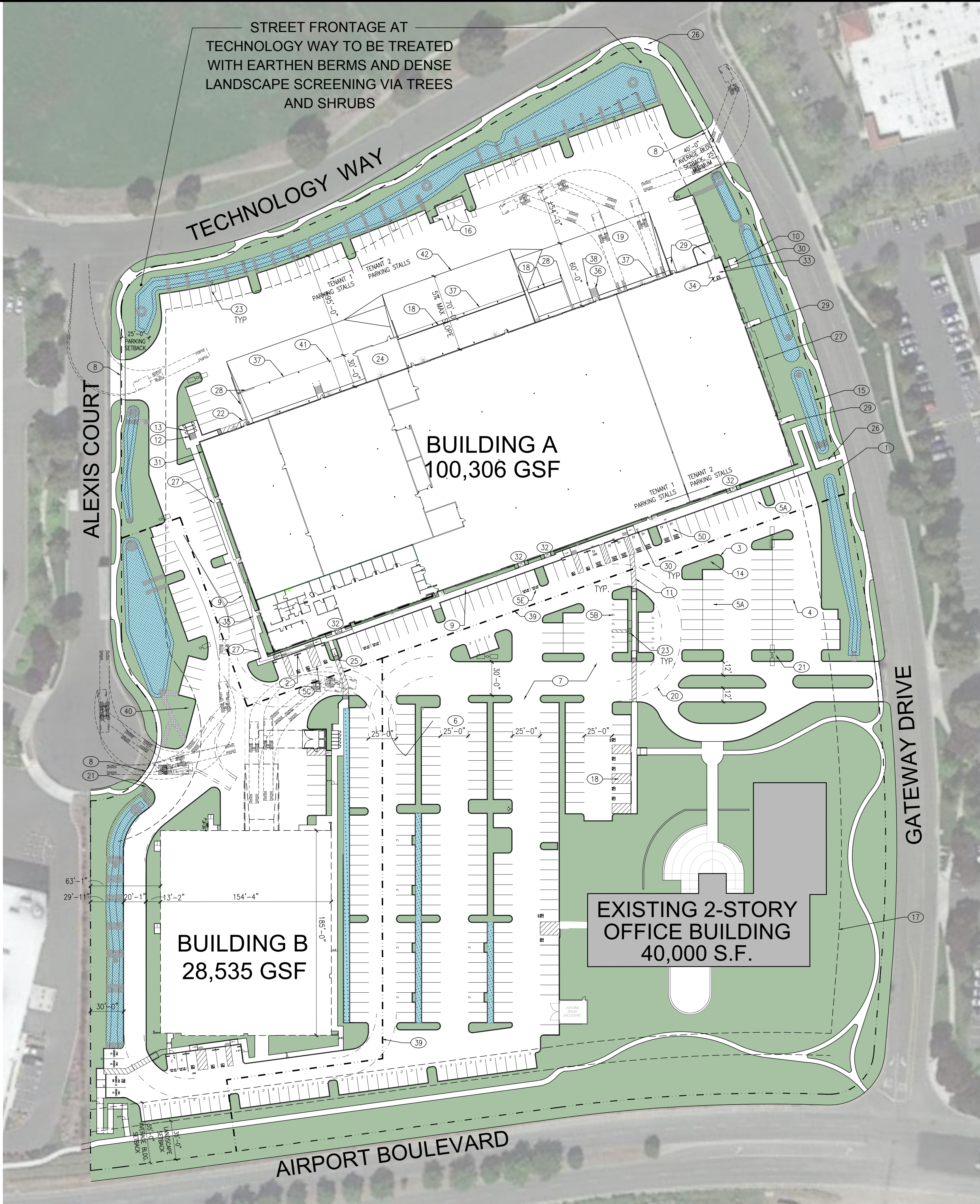
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project number : 16406.00

CURRENT
SITE PLAN

sheet no. :

A01.1

CURRENT SITE PLAN
SCALE: 1" = 50'-0"



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- 8 LOCATION OF NEW SITE ACCESS DRIVE CURB CUT, NEW DRIVEWAY CONNECTION TO COMPLY WITH NAPA COUNTY ROAD AND STREET STANDARDS DETAIL P-4.
- 9 TYPICAL CONCRETE PEDESTRIAN WALKS TO BE 4' WIDE MIN., 6' WIDE MIN. WITH 2'-0" PARKING OVERHANG WHERE OCCURS. ASSUME ALL SIDEWALKS TO BE ACCESSIBLE PATH OF TRAVEL. SLOPE NOT TO EXCEED 1:20 (5%) IN DIRECTION OF TRAVEL. CROSS SLOPE NOT TO EXCEED 1:50 (2%).
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- 18 TRENCH DRAIN, PER CIVIL
- 19 DEPRESSED CONCRETE TRUCK DOCK.
- 20 DASH-DOT LINES INDICATE FIRE DEPARTMENT TURN RADIUS REQUIREMENTS. MINIMUM INSIDE TURN RADIUS OF CURVATURE IS 50 FT.
- 21 INDICATES LOCATION OF EXISTING "KNOX BOX" CABINET MOUNTED TO EXISTING LIGHT POLE AT MAIN SITE ENTRY. REMOVE AND REPLACE EXISTING KNOX BOX CABINET TO NEW LIGHT POLE AT THIS LOCATION. SIZE AND LOCATION OF EXISTING "KNOX BOX" CABINET PER NAPA COUNTY FIRE MARSHALL REQUIREMENTS.
- 22 5' DEEP x 5'-4" WIDE LEVEL LANDING.
- 23 PARKING LOT LIGHTING, TYPICAL
- 24 MECHANICAL ROOM, SEE FLOOR PLAN, SHEET A02.2
- 25 TYPICAL PARALLEL CURB RAMP SHALL HAVE A MINIMUM WIDTH OF 48", MAX. SLOPE OF 1:20 & MAX. CROSS-SLOPE OF 1:50, PER CBC 11B-406.5.7 & 406.5.8. BLENDED TRANSITIONS AT CURB RAMP SHALL BE A MINIMUM OF 36 INCHES IN DIRECTION OF TRAVEL, DOME SPACING AND CONTRASTING COLOR SHALL COMPLY WITH CBC SECTION 11B-705.1.1.3.
- 26 NEW SIDE WALK
- 27 DASHED LINE OF ROOF OVERHANG (ABOVE)
- 28 METAL STUD FRAMED EXTERIOR WALL PARTITION WITH CORRUGATED METAL PANEL FINISH, SEE PROPOSED EXTERIOR ELEVATIONS, SHEET A03.2
- 29 EXIT CONNECTED TO AN ACCESSIBLE PATH EXTENDING 10'-6" MIN. IN LENGTH AWAY FROM THE BUILDING, NO GREATER THAN 2% SLOPE IN ANY DIRECTION, WITH END EXTENSION "EXTERIOR AREA FOR ASSISTED RESCUE," TO ACCOMMODATE 2-WHEELCHAIR SPACES MIN., PER 2016 CBC 1009.7.
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- 32 DASHED LINE OF ENTRY CANOPY (ABOVE), SEE EXTERIOR ELEVATIONS SHEET A03.2
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- 40 LOCATION OF GAS MULTI-METER
- 41 STRUCTURAL COLUMN AT CANOPY ROOF, TYP.
- 42 GRADE LEVEL RAMP, 5% MAX SLOPE

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CLIENT:

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CONDITIONAL USE PERMIT SUBMITTAL FOR:

Building 'A' 501 Gateway Drive

NAPA COUNTY, CALIFORNIA

approved for the owner by : JDL

approved for the architect by : SRS

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drawn by : SRS plot date : 06-04-19

checked by : JDL

stamp

scale : AS NOTED

project number : 16406.00

PROPOSED NEW SITE PLAN

sheet no. :

A01.2

PROPOSED NEW SITE PLAN

SCALE: 1" = 50'-0"

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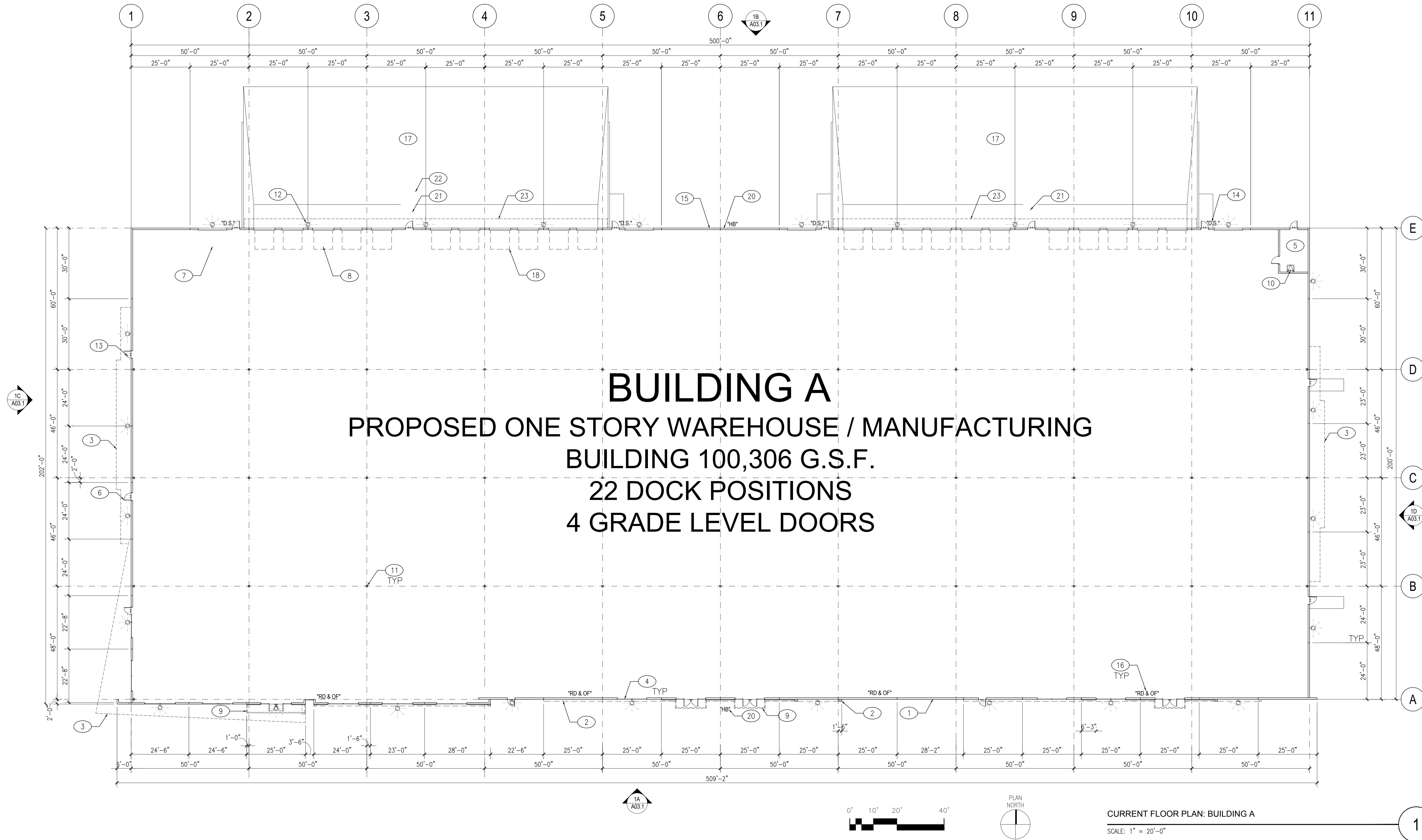
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project number : 16406.00

CURRENT BUILDING A FLOOR PLAN

sheet no. :

A02.1



NOTES:

1. ANY FUTURE WET MANUFACTURING TENANTS SHALL COMPLY WITH ANY CITY REQUIREMENTS FOR WET MANUFACTURING.
2. SHOULD FUTURE TENANT IMPROVEMENTS INCLUDE A MANUFACTURING USE THE EXITING ANALYSIS SHALL BE REVISED AT THE TIME OF THE FUTURE TENANT IMPROVEMENT.

KEYNOTES:

1. TYPICAL EXTERIOR WALLS TO BE TILT-UP CONCRETE WITH 3/4"x3/4" DOUBLE-CHAMFER REVEALS AND A TEXTURED MULTI-COLORED ELASTOMERIC EXTERIOR COATING SYSTEM. SEE EXTERIOR ELEVATIONS, SHEET A03.1.
2. 4" DEEP x 12" TALL FOAM BANDING WITH TEXTURED EXTERIOR COATING. FOR EXTENTS SEE EXTERIOR ELEVATIONS, SHEET A03.1.
3. LINE OF SLOPED STANDING SEAM METAL ROOF (ABOVE), SEE EXTERIOR ELEVATIONS, SHEET A03.1.
4. TINTED GLAZING IN ALUMINUM FRAMES. SEE EXTERIOR ELEVATIONS, SHEET A03.1.
5. ELECTRICAL ROOM
6. 3' x 7' STEEL MAN DOOR, DOORS SHOWN AT GLAZING TO BE STOREFRONT DOORS
7. 12' x 14' GRADE LEVEL ROLL-UP DOOR
8. 9' x 10' DOCK LEVEL ROLL-UP DOOR
9. LINE OF ENTRY CANOPY ABOVE, SEE EXTERIOR ELEVATIONS, SHEET A03.1.
10. LOCATION OF ROOF ACCESS LADDER
11. STRUCTURAL TUBE STEEL COLUMNS, TYPICAL
12. INDICATES LOCATIONS OF SURFACE MOUNTED EXTERIOR SITE LIGHT FIXTURE (ABOVE), SEE EXTERIOR ELEVATIONS, SHEET A03.1.
13. INDICATES LOCATIONS OF EXTERIOR WALL MOUNTED EMERGENCY LIGHTING FIXTURE, CENTERED ABOVE EXTERIOR DOOR, TYPICAL AT ALL EXTERIOR DOORS. SEE EXTERIOR ELEVATIONS, SHEET A03.1.
14. "D.S." TEXT INDICATES LOCATION OF SURFACE MOUNTED DOWNSPOUT FROM ROOF SCUPPER / GUTTER (ABOVE), TYPICAL. SEE EXTERIOR ELEVATIONS, SHEET A03.1.
15. LOCATION OF PROPOSED FIRE SPRINKLER RISER
16. "RD & OF" TEXT INDICATES LOCATION OF ROOF DRAIN AND OVERFLOW FROM INTERNAL ROOF DRAIN/OVERFLOW FROM INTERNAL ROOF DRAIN/OVERFLOW THAT DAYLIGHTS THRU WALL PANEL, TYPICAL.
17. DEPRESSED CONCRETE TRUCK DOCK WITH 6" TALL X 8" WIDE CONCRETE CURB AT EDGE OF TRUCK DOCK, PAINTED "SAFETY YELLOW"
18. LINE INDICATES CONCRETE SLAB KNOCK OUT FOR POTENTIAL FUTURE DOCK LEVELER, (TO BE INSTALLED AT TIME OF FUTURE TENANT IMPROVEMENTS).
19. NOT USED
20. "H.B." TEXT INDICATES PROPOSED LOCATION OF POTABLE WATER HOSE BIB (3) TOTAL, ((1) AT ROOF ABOVE, INSTALLATION TO BE AT TIME OF TENANT IMPROVEMENTS).
21. PREFABRICATED PAINTED STEEL STAIR (FIRE DEPT ACCESS ONLY) PAINTED "SAFETY YELLOW"
22. LOCATION OF CONCRETE FILLED FIXED STEEL BOLLARDS, PAINT "SAFETY YELLOW"
23. LINE OF SLOPED METAL ROOF AT LOADING DOCKS (ABOVE), SEE EXTERIOR ELEVATIONS, SHEET A03.1.

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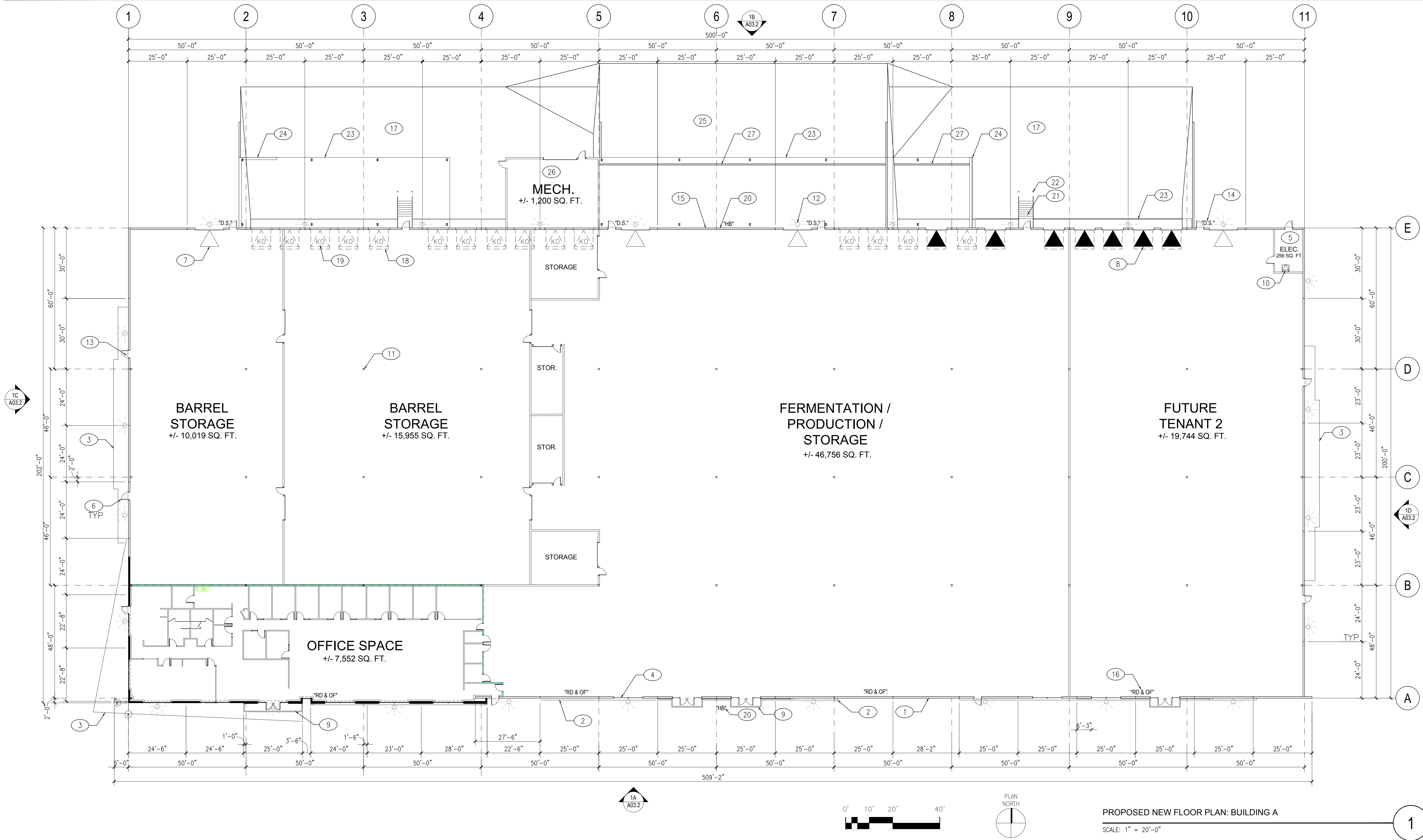
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PROPOSED NEW BUILDING A FLOOR PLAN

sheet no. :

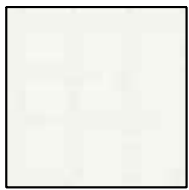
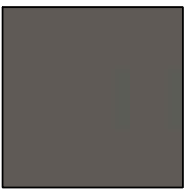
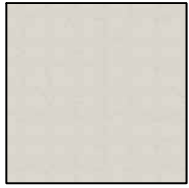
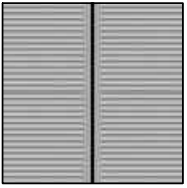
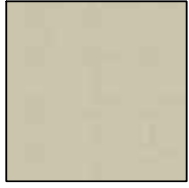
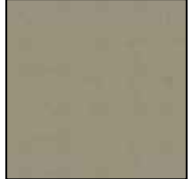
A02.2



LEGEND:	NOTES:	KEYNOTES:
12' x 14' GRADE LEVEL DOOR	1. ANY FUTURE WET MANUFACTURING TENANTS SHALL COMPLY WITH ANY CITY REQUIREMENTS FOR WET MANUFACTURING.	TYPICAL EXTERIOR WALLS TO BE TILT-UP CONCRETE WITH 3/4"x3/4" DOUBLE-CHAMFER REVEALS AND A TEXTURED MULTI-COLORED ELASTOMERIC EXTERIOR COATING SYSTEM. SEE EXTERIOR ELEVATIONS, SHEET A03.2.
9' x 10' DOCK LEVEL DOOR	2. SHOULD FUTURE TENANT IMPROVEMENTS INCLUDE A MANUFACTURING USE THE EXITING ANALYSIS SHALL BE REVISED AT THE TIME OF THE FUTURE TENANT IMPROVEMENT.	4" DEEP x 12" TALL FOAM BANDING WITH TEXTURED EXTERIOR COATING. FOR EXTENTS SEE EXTERIOR ELEVATIONS, SHEET A03.2.
FUTURE 9' x 10' DOCK LEVEL DOOR		LINE OF SLOPED STANDING SEAM METAL ROOF (ABOVE), SEE EXTERIOR ELEVATIONS, SHEET A03.2.
		TINTED GLAZING IN ALUMINUM FRAMES. SEE EXTERIOR ELEVATIONS, SHEET A03.12.
		ELECTRICAL ROOM
		3' x 7' STEEL MAN DOOR, DOORS SHOWN AT GLAZING TO BE STOREFRONT DOORS
		12' x 14' GRADE LEVEL ROLL-UP DOOR
		9' x 10' DOCK LEVEL ROLL-UP DOOR
		LINE OF ENTRY CANOPY ABOVE, SEE EXTERIOR ELEVATIONS, SHEET A03.2.
		LOCATION OF ROOF ACCESS LADDER
		TUBE STEEL COLUMNS, TYPICAL
		INDICATES LOCATIONS OF SURFACE MOUNTED EXTERIOR SITE LIGHT FIXTURE (ABOVE), SEE EXTERIOR ELEVATIONS, SHEET A03.2.
		INDICATES LOCATIONS OF EXTERIOR WALL MOUNTED EMERGENCY LIGHTING FIXTURE, CENTERED ABOVE EXTERIOR DOOR, TYPICAL AT ALL EXTERIOR DOORS. SEE EXTERIOR ELEVATIONS, SHEET A03.2.
		"D.S." TEXT INDICATES LOCATION OF SURFACE MOUNTED DOWNSPOUT FROM ROOF SCUPPER / GUTTER (ABOVE), TYPICAL. SEE EXTERIOR ELEVATIONS, SHEET A03.2.
		LOCATION OF PROPOSED FIRE SPRINKLER RISER
		"RD & OF" TEXT INDICATES LOCATION OF ROOF DRAIN AND OVERFLOW FROM INTERNAL ROOF DRAIN/OVERFLOW FROM INTERNAL ROOF DRAIN/OVERFLOW THAT DAYLIGHTS THRU WALL PANEL, TYPICAL. SEAL PERIMETER OF PIPE PENETRATION WITH BACKER ROD AND SEALANT. SEE EXTERIOR ELEVATIONS, SHEET A03.2.
		DEPRESSED CONCRETE TRUCK DOCK WITH 6" TALL X 8" WIDE CONCRETE CURB AT EDGE OF TRUCK DOCK, PAINT "SAFETY YELLOW"
		LINE INDICATES CONCRETE SLAB KNOCK OUT FOR POTENTIAL FUTURE DOCK LEVELER, TYPICAL. TO BE INSTALLED AT TIME OF FUTURE TENANT IMPROVEMENTS.
		INDICATES "KNOCK-OUT" LOCATION FOR POTENTIAL FUTURE OVERHEAD DOOR, TYPICAL. SEE EXTERIOR ELEVATIONS, SHEET A03.2.
		"H.B." TEXT INDICATES PROPOSED LOCATION OF POTABLE WATER HOSE BIB (3) TOTAL, ((1) AT ROOF ABOVE, INSTALLATION TO BE AT TIME OF TENANT IMPROVEMENTS).
		PREFABRICATED PAINTED STEEL STAIR (FIRE DEPT ACCESS ONLY) PAINTED "SAFETY YELLOW"
		LOCATION OF CONCRETE FILLED FIXED STEEL BOLLARDS, PAINT "SAFETY YELLOW"
		LINE OF SLOPED METAL ROOF AT LOADING DOCKS (ABOVE)
		METAL STUD FRAMED EXTERIOR WALL PARTITION WITH CORRUGATED METAL PANEL FINISH, SEE EXTERIOR ELEVATIONS, SHEET A03.2.
		GRADE LEVEL RAMP. SEE PROPOSED SITE PLAN, SHEET A01.2.
		MECHANICAL ROOM
		TRENCH DRAIN, PLEASE SEE PROPOSED SITE PLAN, SHEET A01.2, AND CIVIL DRAWINGS



FINISH LEGEND:

	P1: TEXTURED COATING 1 MNFR: SHERWIN WILLIAMS COLOR: SW 7003 TOQUE WHITE		P5: TEXTURED COATING 5 MNFR: SHERWIN WILLIAMS COLOR: SW 7019 GAUNTLET GRAY
	P2: TEXTURED COATING 2 MNFR: SHERWIN WILLIAMS COLOR: SW 7029 AGREEABLE GRAY		MP1: METAL PANEL 1 MNFR: AEP SPAN "MINI V BEAM" COLOR: COOL METALLIC SILVER
	P3: TEXTURED COATING 3 MNFR: SHERWIN WILLIAMS COLOR: SW 7518 BEACH HOUSE		RP1: METAL ROOF PANEL 1 MNFR: AEP SPAN "SELECT SEAM" COLOR: WEATHERED COPPER
	P4: TEXTURED COATING 4 MNFR: SHERWIN WILLIAMS COLOR: SW 7039 VIRTUAL TAUPE		GL1: TINTED GLAZING 1 MNFR: PPG IDEASCAPES GREEN TINTED 1/4" ATLANTICA FLOAT GLASS IN CLEAR ANODIZED ALUMINUM FRAMES

KEYNOTES:

- EXTERIOR WALLS TO BE SITE CAST TILT-UP CONCRETE PANELS WITH 3/4" X 3/4" DOUBLE CHAMFER REVEALS AND A TEXTURED MULTICOLOR EXTERIOR COATING SYSTEM
- 10" DEEP X 18" TALL FOAM BANDING WITH TEXTURED EXTERIOR COATING
- SLOPED METAL ROOF WITH MATCHING METAL FASCIA OVER STEEL OR WOOD FRAMING WITH WHITE STEEL STRUTS BELOW
- TINTED GLAZING IN ALUMINUM FRAMES
- POTENTIAL LOCATION OF ROOF MOUNTED HVAC EQUIPMENT. ALL ROOF MOUNTED HVAC EQUIPMENT TO BE SCREENED FROM VIEW EITHER BY THE NATURE OF THE EQUIPMENT PLACEMENT OR VIA A MECHANICAL SCREEN
- 3' X 7' STEEL MAN DOOR, WHERE DOORS ARE SHOWN AT GLAZING, DOORS TO BE STOREFRONT DOORS
- 12' X 14' GRADE LEVEL ROLL UP DOOR
- 9' X 10' DOCK LEVEL DOOR
- CANOPY AT ENTRY. METAL PANELS OVER STEEL STUD FRAMING TO MATCH ROOF EAVE COLOR
- SLOPED ROOF CANOPY ABOVE DEPRESSED TRUCK DOCK LOADING / UNLOADING AREA

1718 Third Street
Suite 101
Sacramento, CA 95811

Tel 916.449.1400
Fax 916.449.1414
www.mmw.com

CLIENT:

Gateway Partners 1, LLC

1850 SOSCOL AVENUE, SUITE 207
NAPA, CA 94559

CONDITIONAL USE PERMIT SUBMITTAL FOR:

Building 'A' 501 Gateway Drive

NAPA COUNTY, CALIFORNIA

approved for the owner by : JDL

approved for the architect by : SRS

issue :	description :	date :
	ISSUED FOR PLANNING REVIEW	03-04-19
	1st PLANNING REVIEW	06-04-19

drawn by : SRS plot date : 06-04-19

checked by : JDL

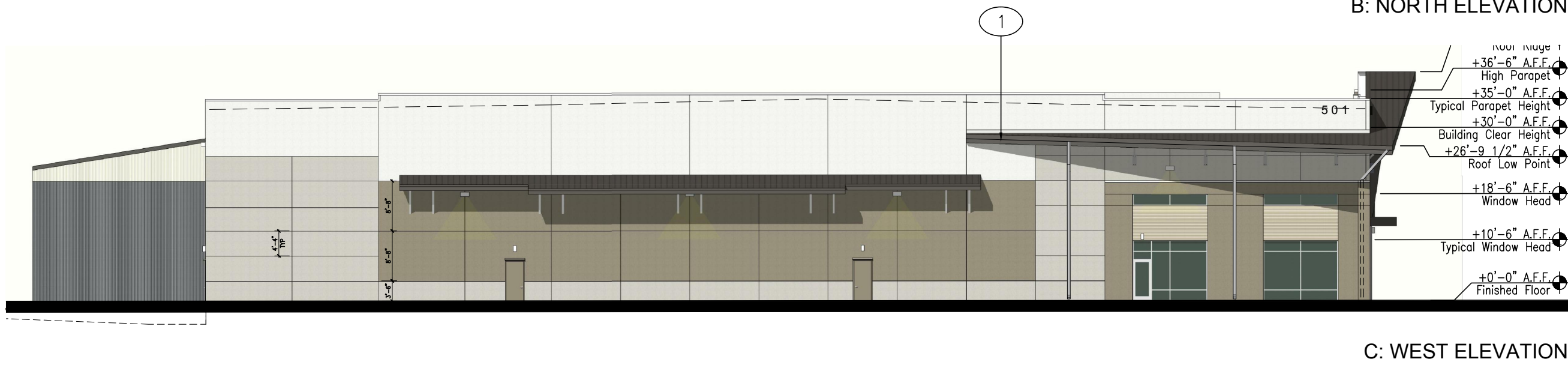
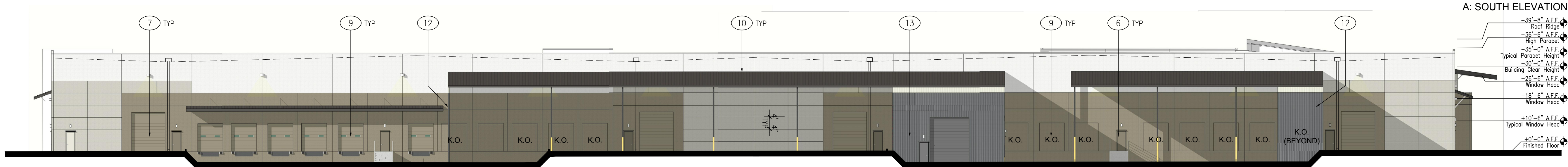
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scale : AS NOTED
project number : 16406.00

CURRENT BUILDING A EXT. ELEVATIONS

sheet no. :

A03.1



BUILDING A : EXTERIOR ELEVATIONS

SCALE: 1" = 20'-0"

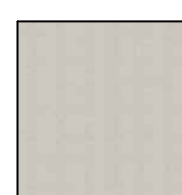
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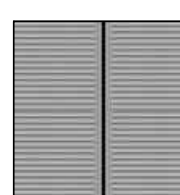
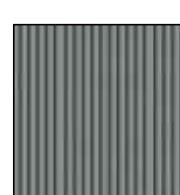
BUILDING A: PERSPECTIVE VIEW FACING NORTH EAST

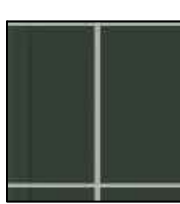
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	MP3: METAL PANEL 3 MNFR: AEP SPAN "MINI V BEAM" COLOR: REGAL WHITE

	RP1: METAL ROOF PANEL 1 MNFR: AEP SPAN "SELECT SEAM" COLOR: WEATHERED COPPER
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- CANOPY AT ENTRY. METAL PANELS OVER STEEL STUD FRAMING TO MATCH ROOF EAVE COLOR

- SLOPED ROOF CANOPY ABOVE DEPRESSED TRUCK DOCK LOADING / UNLOADING AREA W/STEEL SUPPORT COLUMNS, TYP.
- "K.O." INDICATES CONCRETE TILT-UP PANEL KNOCK-OUT AT POTENTIAL FUTURE OVERHEAD DOOR LOCATIONS, TYPICAL
- SCREEN WALL AT LOADING DOCKS, FINISH MP-1 & MP-2. SEE PROPOSED NEW FLOOR PLAN AND SITE PLAN, SHEETS A01.2 & A02.2.
- PROPOSED NEW MECHANICAL ROOM. SEE PROPOSED NEW FLOOR PLAN AND SITE PLAN, SHEETS A01.2 & A02.2.

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stamp

scale : AS NOTED
project number : 16406.00

PROPOSED NEW BUILDING A EXT. ELEVATIONS

sheet no. :

A03.2



A. AERIAL VIEW OF BUILDING LOADING DOCK FROM NORTH WEST



C. GROUND LEVEL VIEW OF BUILDING LOADING DOCK FROM NORTH WEST



E. AERIAL VIEW OF BUILDING LOADING DOCK FROM SOUTH EAST



G. GROUND LEVEL VIEW OF BUILDING LOADING DOCK FROM SOUTH EAST

CURRENT PROJECT RENDERINGS (BEFORE)

SCALE: NO SCALE

2



B. AERIAL VIEW OF BUILDING LOADING DOCK FROM NORTH WEST



D. GROUND LEVEL VIEW OF BUILDING LOADING DOCK FROM NORTH WEST



F. AERIAL VIEW OF BUILDING LOADING DOCK FROM SOUTH EAST



H. GROUND LEVEL VIEW OF BUILDING LOADING DOCK FROM SOUTH EAST

PROPOSED NEW PROJECT RENDERINGS (AFTER)

SCALE: NO SCALE

1

vision
function
space
culture
ideas
experience

RMWthink
architecture & interiorslisten
build
speak
learn

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PROJECT
RENDERINGS

sheet no. :

A04.1