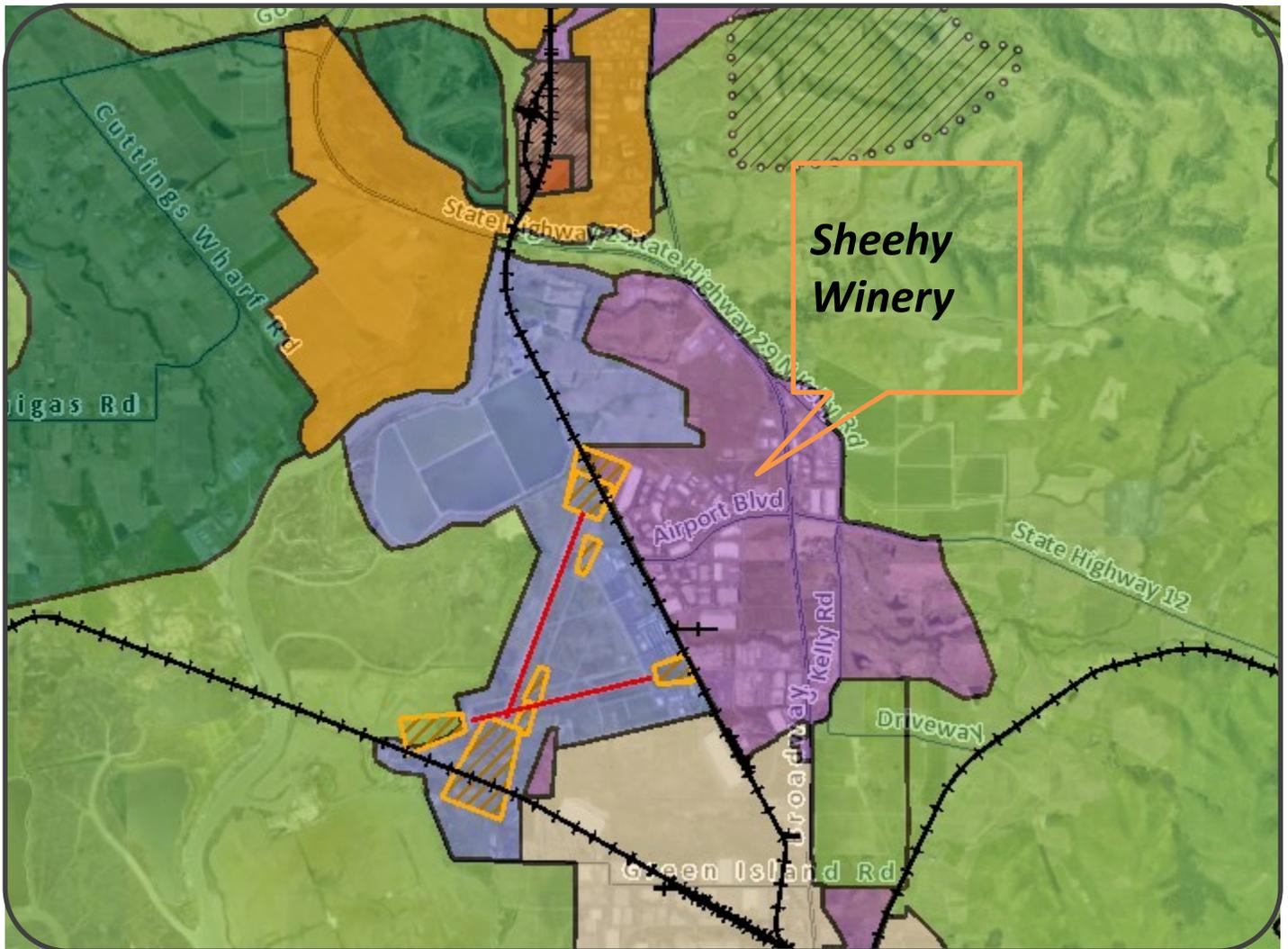


“G”

Graphics
Sheehy Winery
P19-00426-MOD

NAPA COUNTY LAND USE PLAN 2008 – 2030



LEGEND



URBANIZED OR NON-AGRICULTURAL

- Study Area
- Cities
- Urban Residential*
- Rural Residential*
- Industrial
- Public-Institutional

OPEN SPACE

- Agriculture, Watershed & Open Space
- Agricultural Resource

TRANSPORTATION

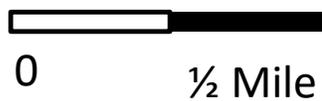
- Mineral Resource
- Limited Access Highway
- American Canyon ULL
- City of Napa RUL
- Landfill - General Plan
- Road
- Airport
- Railroad
- Airport Clear Zone

* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations



LEGEND

- Zoning
- Parcels



ZONING MAP



Existing Conditions

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OWNER/APPLICANT:
RUDD PROPERTIES, LLC
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 463 Aviation Blvd., Suite 200 • Santa Rosa, CA 95403
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 DEVLIN ROAD
 NAPA, CA 94558
 APN 057-210-037 & 038

USE PERMIT APPLICATION

TITLE SHEET

2019-10-21
 PERMIT SUBMITTAL

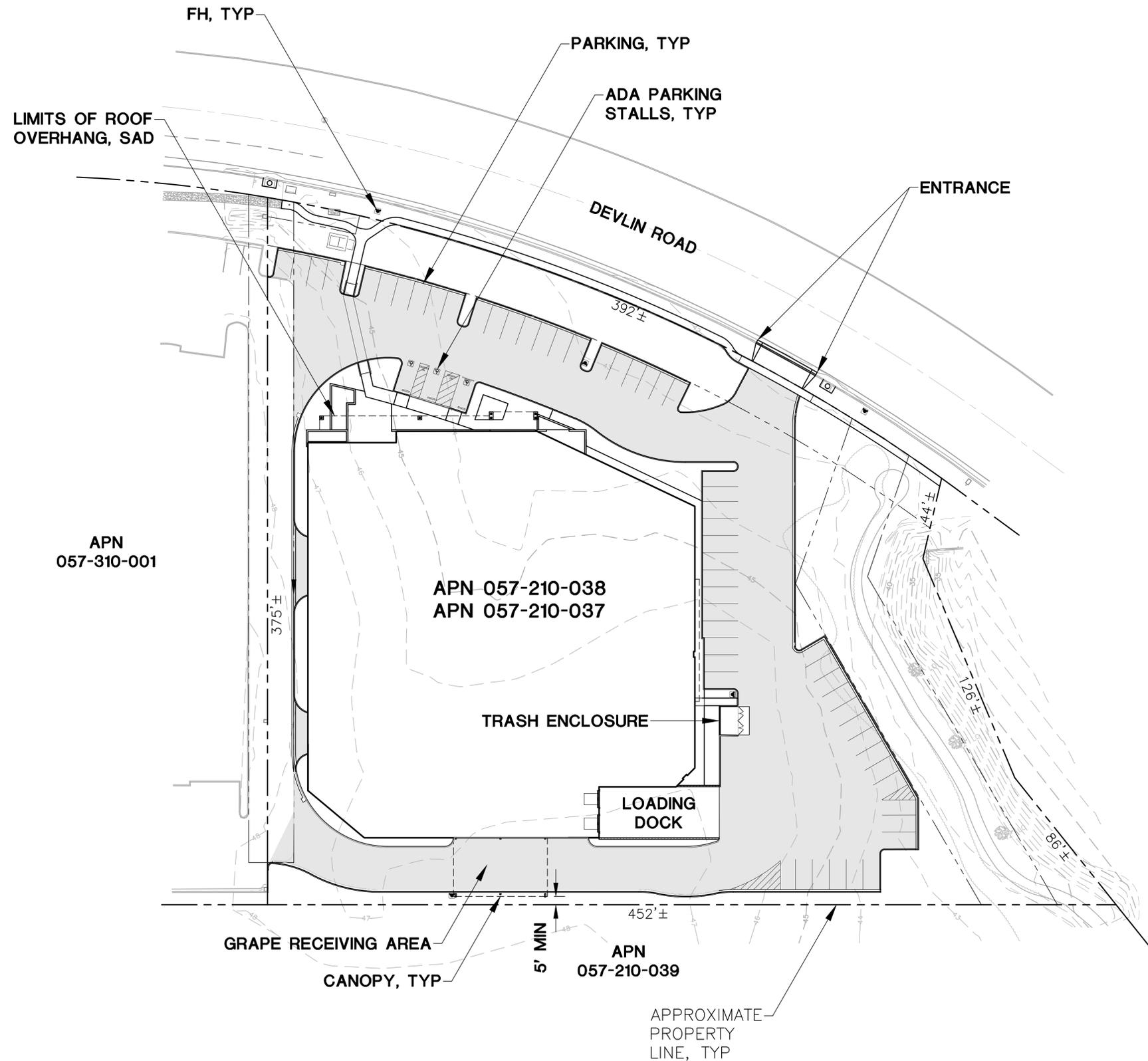
2020-08-24
 PERMIT RESUBMITTAL

2020-09-17
 PERMIT RESUBMITTAL

PRELIMINARY
 NOT FOR CONSTRUCTION

DATE: 2020-09-17
 JOB NO: 2019104
 SCALE: AS SHOWN
 DRAWN: TF
 CHECKED: DW

SHEET **UP1**
 1 OF 4



ABBREVIATIONS:

- AC ASPHALT CONCRET
- BLDG BLDG
- CL CENTERLINE
- CONC CONCRETE
- DI DRAIN INLET
- (E) EXISTING
- EVCS ELECTRIC VEHICLE CHARGING STATION
- FF FINISH FLOOR
- GAL GALLONS
- (N) NEW
- NCRSS NAPA COUNTY ROAD & STREET STANDARDS
- PD PLANTER DRAIN
- PIP PROTECT IN PLACE
- PL PROPERTY LINE
- PW PROCESS WASTE
- R RADIUS
- SD STORM DRAIN
- SF SQUARE FEET
- TYP TYPICAL
- W/ WITH

RUDD PROPERTIES, LLC

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SHEET
2

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SHEET
3

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SHEET
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SHEET
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NAPA, CALIFORNIA 94558



SHEET INDEX

ARCHITECTURAL

- A0.1 TITLE SHEET
 - A0.2 GENERAL NOTES
 - A1.1 SITE PLAN
 - A1.1a PHOTOS
 - A2.1 FLOOR PLAN
 - A3.1 ROOF PLAN
 - A4.1 COLORED EXTERIOR ELEVATIONS
 - A5.0 BUILDING SECTIONS
 - A6.1 DETAILS
 - A6.1a DETAILS
- ARCHITECTURAL SHEET COUNT: 10

LANDSCAPE

- L1 PRELIMINARY LANDSCAPE PLAN
 - L2 PRELIMINARY HYDROZONE PLAN
- LANDSCAPE SHEET COUNT: 2

CIVIL

- UP1.0 COVER SHEET
 - UP2.0 GRADING PLAN
 - UP3.0 UTILITY PLAN
 - UP4.0 FIRE CIRCULATION PLAN
- CIVIL SHEET COUNT: 4

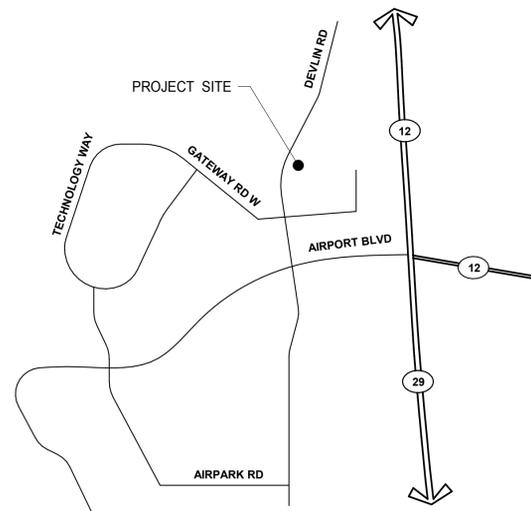
PROJECT DESCRIPTION

NEW GROUND UP CONSTRUCTION OF 41,042 SF CONCRETE TILT-UP BUILDING WITH STOREFRONT AT MAIN ENTRY AND DECORATIVE METAL CANOPIES. BUILDING WILL HAVE A DEPRESSED LOADING DOCK AT THE N.E. CORNER AND GRADE LEVEL DOCK DOORS AROUND IT'S PERIMETER.

SITE IMPROVEMENT WORK TO INCLUDE: PAVED PARKING LOT WITH ADA PARKING; ADA SIDEWALK CIRCULATION; NEW LANDSCAPE/IRRIGATION SYSTEMS; AND A NEW CIVIL TRAFFIC ENCLOSURE.

USE PERMIT REVISION: OWNER HAS REVISED CANOPY DESIGN ON THE EAST SIDE OF THE BUILDING TO EXTEND ACROSS THE EAST DRIVE AISLE. SEE REVISIONS SHOWN ON SITE PLAN, FLOOR PLAN, AND ELEVATION SHEETS FOR ADDITIONAL INFORMATION.

VICINITY MAP



OWNER

RUDD PROPERTIES, LLC

RUDD PROPERTIES, LLC
2416 E 37TH ST. N
WICHITA, KANSAS 67219

GUY BYRNE
PH: 707-287-1026

GENERAL CONTRACTOR

T.B.D.

ARCHITECT

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HUGH LINN
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CONSULTING ENGINEER

SUMMIT ENGINEERING
463 AVIATION BLVD., STE. 200
SANTA ROSA, CA 95403

DAMAE RUBINS
PH: (707) 527-0775

ARCHITECT'S CONSULTANTS

LANDSCAPE ARCHITECT

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WALNUT CREEK, CA 94546

RICK STOVER, LA
PH: (925) 933-2583 x105

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TITLE SHEET

DATE	REMARKS
07.19.2017	USE PERMIT SUBMITTAL
12.21.2017	USE PERMIT COMMENT RESPONSE
02.13.2018	USE PERMIT COMMENT RESPONSE
10.06.2019	USE PERMIT APP. REVISIONS

P/MPM:	N. DETORRES
DRAWN BY.:	E.S.
JOB NO.:	SNR17-0004-00

SHEET
A0.1

DOOR NOTES

- 1. VERIFY THAT ALL DOORS AND DOOR HARDWARE MEET THE REQUIREMENTS OF ALL GOVERNING CODES & STANDARDS. NOTIFY THE ARCHITECT IMMEDIATELY IN CASE OF DISCREPANCY.

FIRE AUTHORITY NOTES

- 1. FINAL INSPECTION BY FIRE DEPARTMENT IS REQUIRED - SCHEDULE 2 DAYS IN ADVANCE.

GENERAL PROJECT NOTES

GLAZING NOTES

- 1. EACH LIGHT SHALL BEAR THE MANUFACTURER'S LABEL DESIGNATING THE TYPE AND THICKNESS OF THE GLASS.

JOB SITE NOTES

- 1. WHERE EXISTING TENANTS/BUSINESSES ARE ADJACENT TO THE JOB SITE/TENANT, THE CONTRACTOR SHALL MINIMIZE CONSTRUCTION NOISE - EXTREMELY NOISY CONSTRUCTION SHALL OCCUR AT NON-TYPICAL BUSINESS HOURS.

PRE-CONSTRUCTION MEETING

- 1. PRIOR TO START OF CONSTRUCTION, A PRE-CONSTRUCTION MEETING IS TO BE HELD INCLUDING A RESPONSIBLE REPRESENTATIVE OF THE ARCHITECT, THE OWNER AND THE GENERAL CONTRACTOR.

GENERAL NOTES

- 1 ALL WORK SHALL BE PERFORMED SO AS TO COMPLY WITH ALL LEGAL, INDUSTRY AND PROJECT SPECIFIC REQUIREMENTS AND STANDARDS INCLUDING WITHOUT LIMITATION OF THE FOLLOWING:

DRAWING NOTES

- 1. UNLESS OTHERWISE NOTED OR INDICATED, ALL DIMENSIONS ON THESE DOCUMENTS SHALL BE TO FACE OF CURB, FACE OF CONCRETE OR MASONRY, FACE OF FINISH OR CENTERLINE OF GRIDS.

ROOF NOTES

- 1. SEE MECHANICAL DRAWINGS FOR HVAC EQUIPMENT, SHAFT AND PENETRATION LOCATIONS.

G.C. INSTRUCTIONS

SUBMITTALS

- 1. AT THE START OF JOB PROVIDE A SCHEDULE OF ALL ANTICIPATED SUBMITTALS AND DATES. FLAG SUBMITTALS WHICH ARE OR COULD BE CRITICAL PATH.

INTERIOR/EXTERIOR NOTES

- 1. WHERE ELECTRICAL, MECHANICAL AND/OR PLUMBING ITEMS, SUCH AS LIGHTS, DUCTS, PIPING, DOWNSPOUTS, ETC. ARE TO PENETRATE ANY BUILDING FOOTINGS, SLABS, FLOORS, STRUCTURAL FRAMING, WALL PARTITIONS, CEILINGS, ETC., IT IS REQUIRED THAT AN APPROPRIATELY SIZED OPENING OR CLEARANCE BE PROVIDED.

SITE NOTES

- 1. REFER TO LANDSCAPE DRAWINGS FOR CONCRETE WALKS, PAVING, BERMS, LANDSCAPING AND IRRIGATION.

FLOOR PLAN NOTES

- 1. ALL EXITS SHALL HAVE EXIT SIGNS.

REQUESTS FOR INFORMATION (RFI'S)

- 1. THE GENERAL CONTRACTOR IS TO REVIEW ALL PROSPECTIVE RFI'S AND MAKE EVERY EFFORT TO ANSWER THEM BEFORE SUBMITTING TO THE DESIGN TEAM.

CHANGE ORDERS

- 1. A COMPLETE SCHEDULE OF VALUES OF THE BASE CONTRACT IS TO BE PROVIDED TO THE OWNER AND ARCHITECT PRIOR TO THE START OF ANY WORK.

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Table with 2 columns: DATE, REMARKS. Rows include dates 07/19/2017, 12/21/2017, 02/13/2018.

Table with 2 columns: PA/PM, DRAWN BY, JOB NO. Values: N. DETORRES, E.S., SNR17-0004-00

SHEET
A0.2

NOTES

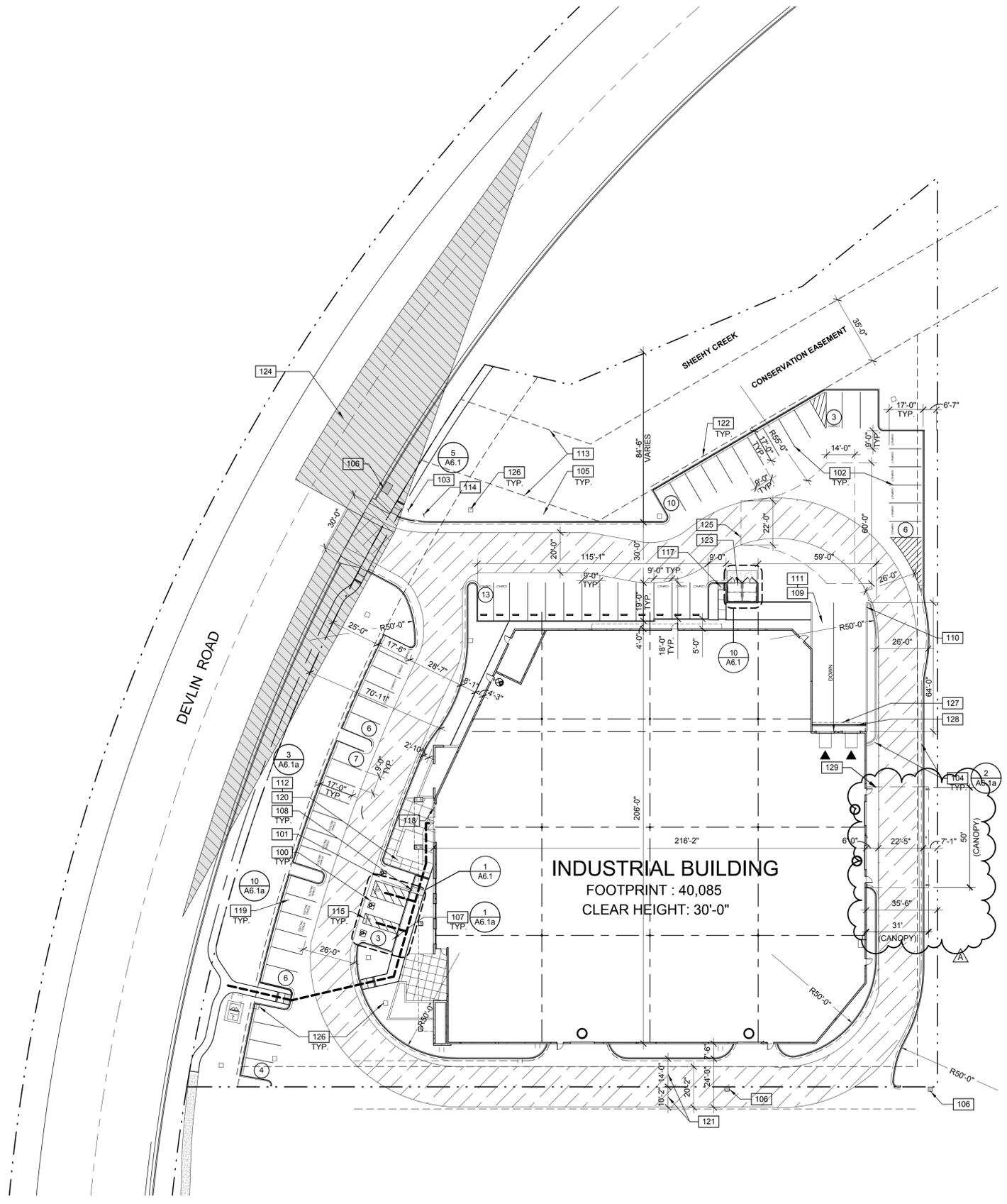
- SEE SHEET A0.2 FOR GENERAL NOTES
100. ACCESSIBLE PARKING STALL WITH SIGNAGE, SEE DETAILS 1, 2, 3, & 4/A6.1.
 101. VAN ACCESSIBLE PARKING STALL WITH SIGNAGE, SEE DETAILS 1, 2, 3, & 4/A6.1.
 102. PAINTED PARKING STRIPING.
 103. FIRE LANE SIGNAGE, SEE DETAILS 5 & 6/A6.1.
 104. FIRE LANE CURB, DASHED LINE INDICATES EXTENT OF CONTINUOUS CURB TO BE PAINTED RED.
 105. LANDSCAPE AND IRRIGATION AREA.
 106. (E) DRAINAGE INLET
 107. PRECAST CONCRETE WHEEL STOP.
 108. ACCESSIBLE CURB RAMP WITH TRUNCATED DOMES.
 109. CONCRETE RAMP AT LOADING DOCK.
 110. 4'-0" TO 6'-0" HIGH CONCRETE RETAINING WALL.
 111. LOADING DOCK TO PROVIDE COVER PER BASMAA MANDATE.
 112. BIKE RACK.
 113. EASEMENT LINE.
 114. ACCESSIBLE DIRECTIONAL SIGN, SEE DETAILS 7 & 8/A6.1
 115. ACCESSIBLE PARKING ACCESS AISLE.
 116. NOT USED.
 117. CURB RAMP AND TRUNCATED DOMES.
 118. RECESSED KNOX-BOX, INSTALL AT 5'-0" ABOVE FINISH FLOOR. COORDINATE FINAL LOCATION WITH FIRE INSPECTOR.
 119. CLEAN AIR/VANPOOL/LEV DESIGNATED PARKING STALL.
 120. SHORT-TERM AND LONG-TERM BIKE PARKING FOR THE PUBLIC AND EMPLOYEES.
 121. EXISTING EASEMENT OFFICIAL RECORD NUMBER: 2006-0031724. SEE SHEET UP1.0 FOR ADDITIONAL INFORMATION.
 122. 1'-6" PARKING OVERHANG.
 123. TRASH ENCLOSURE WITH RECYCLE BIN AND ROOF, SEE DETAILS 9 THROUGH 15/A6.1
 124. INTERSECTION SIGHT TRIANGLE PER AASHTO "A" POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS" FIG. 9-15A. 45 MPH DESIGN SPEED.
 125. EMERGENCY VEHICLE TURNAROUND AREA PER 2016 NAPA COUNTY ROAD AND STREET STANDARDS.
 126. PROPOSED DRAINAGE INLET, SEE SHEET UP2.0 FOR ADDITIONAL INFORMATION.
 127. 4' DEEP LOADING DOCK ROOF OVERHANG ABOVE PER BASMAA MANUAL.
 128. TRENCH DRAIN CONNECTING TO AN UNDERGROUND HOLDING TANK TO CONTROL THE SPILL OF WET GOODS, SEE SHEET UP3.0 FOR ADDITIONAL INFORMATION.
 129. NEW ROOF CANOPY STRUCTURE ABOVE.

LEGEND

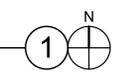
- ACCESSIBLE PATH OF TRAVEL. 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
- - - PROPERTY LINE.
- ☐ POLE MOUNTED LIGHT FIXTURE.
- ⊕ WALLPACK LIGHT FIXTURE.
- T TRANSFORMER WITH CONCRETE PAD. (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS)
- ⬇ LANDSCAPE AND IRRIGATION AREA.
- ▨ FIRE LANE (HATCHED)
- ① PARKING STALL COUNT TOTAL
- ▲ DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- FIRE HYDRANT
- P.I.V. WITH TAMPER

PROJECT DATA

SITE AREA:	2.74 AC (119,665 SF)
BUILDING AREA:	40,085 SF (.92 AC)
WAREHOUSE =	38,020 SF
OFFICE (AT 5%) =	2,065 SF
COVERAGE:	34%
PARKING REQUIRED:	
WAREHOUSE	
1:1000 SF FOR THE FIRST 20,000 SF	
AND 1:2000 SF FOR THEREAFTER.	
STALLS REQUIRED:	
20 + (18,085 SF/2000 SF) = 29.04 (30)	
OFFICE	
1:250 SF	
STALLS REQUIRED:	
2065 SF/250 SF = 8.3 (9)	
TOTAL STALLS REQUIRED	= 39
TOTAL STALLS PROVIDED	= 58
COMPACT	
35% OF TOTAL = 20 STALLS	
PROVIDED = 16 STALLS	
ACCESSIBLE	
PER CBC 2016 TABLE 11B-208.2 THE	
MINIMUM NUMBER OF REQUIRED	
ACCESSIBLE PARKING SPACES FOR A	
FACILITY WITH A TOTAL OF 51-76 SPACES	
IS 3 STALLS.	
PROVIDED = 3 STALLS	



SITE PLAN



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SITE PLAN

DATE	REMARKS
07.19.2017	USE PERMIT SUBMITTAL
12.21.2017	USE PERMIT COMMENT RESPONSE
02.13.2018	USE PERMIT COMMENT RESPONSE
10.08.2019	USE PERMIT APP. REVISIONS

PA/PM:	N. DETORRES
DRAWN BY:	E.S.
JOB NO.:	SNR17-0004-00

SHEET
A1.1



SITE IMAGE 4
SCALE: 1 1/2" = 1'-0"



SITE IMAGE 1
SCALE: 1 1/2" = 1'-0"



SITE IMAGE 5
SCALE: 1 1/2" = 1'-0"



SITE IMAGE 2
SCALE: 1 1/2" = 1'-0"



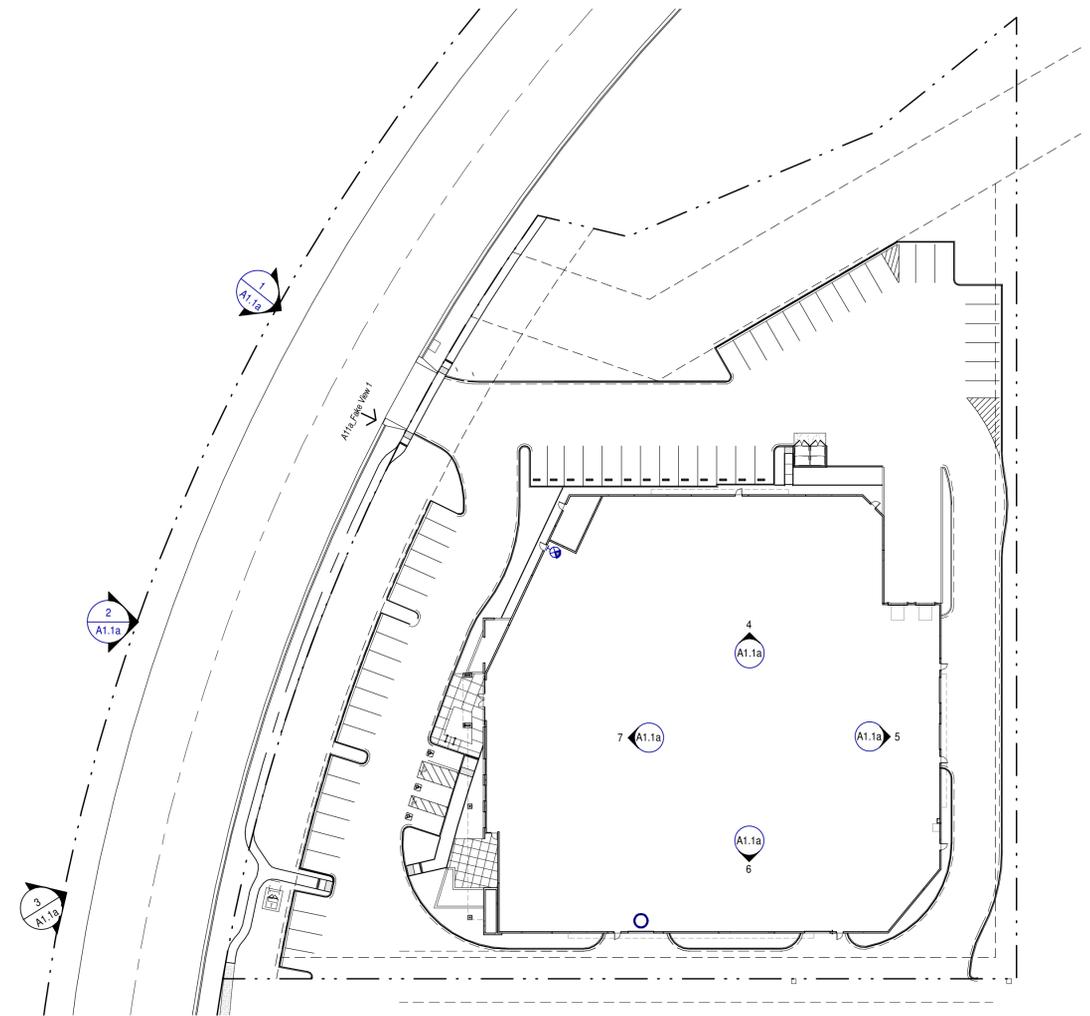
SITE IMAGE 6
SCALE: 1 1/2" = 1'-0"



SITE IMAGE 3
SCALE: 1 1/2" = 1'-0"



SITE IMAGE 7
SCALE: 1 1/2" = 1'-0"



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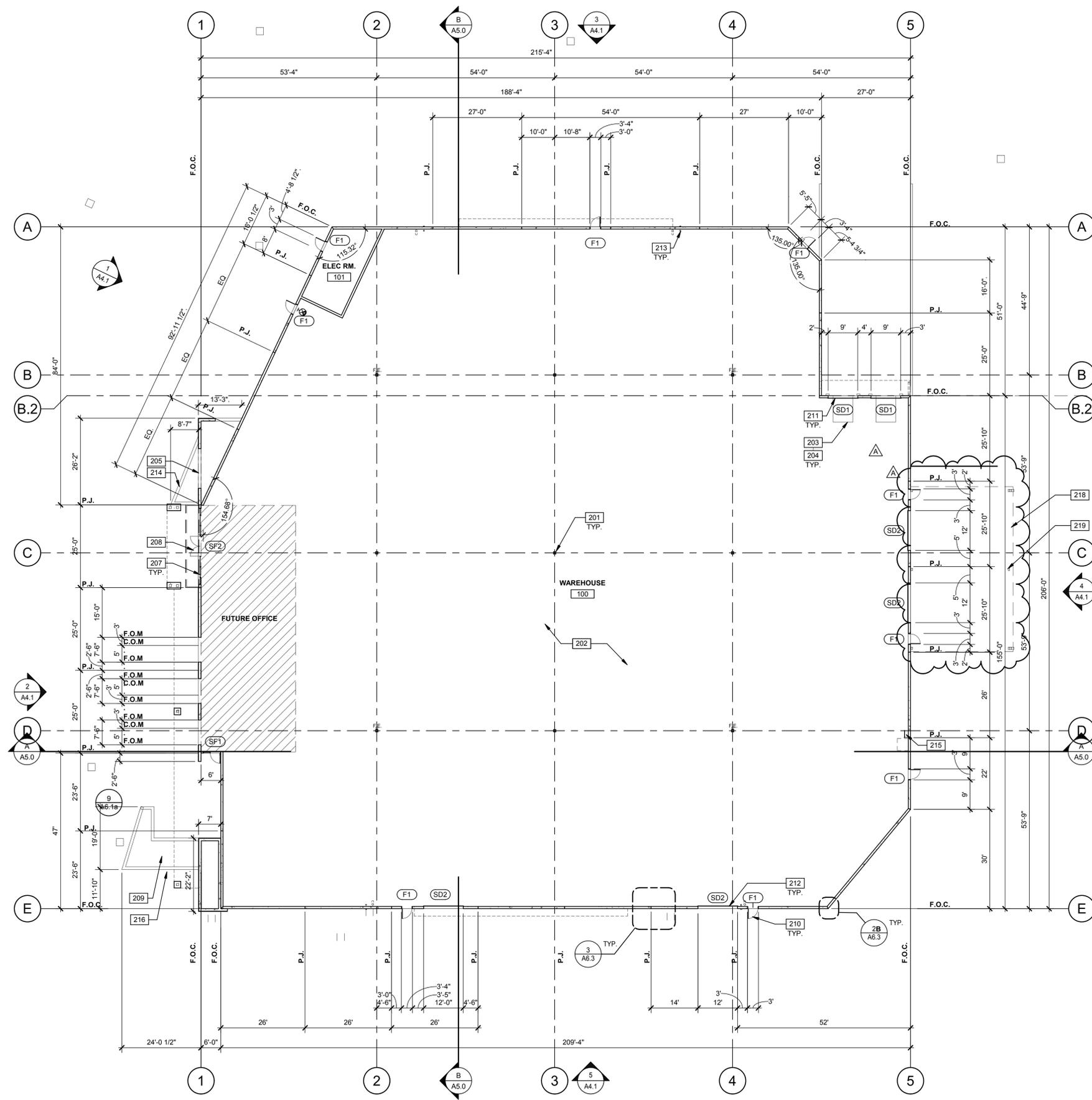
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NAPA, CALIFORNIA 94558

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05.21.2018	ROOF DESIGN REVISION

PA/PM: N. DETORRES
DRAWN BY: E.S.
JOB NO.: SNR17-0004-00

SHEET
A1.1a



NOTES

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB. PROVIDE VAPOR RETARDER OVER SAND BASE AT OFFICE AREA PER SOILS REPORT. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN WAREHOUSE.
- 203 6'X8' HYDRAULIC DOCK LEVELER.
- 204 DOCK PIT.
- 205 OUTLINE OF WALL ABOVE.
- 207 ALUMINUM STOREFRONT FRAMING SYSTEM.
- 208 ALUMINUM STOREFRONT DOOR.
- 209 WATER FOUNTAIN AND ELEVATED REFLECTING POND.
- 210 HOLLOW METAL DOOR.
- 211 9'X10' SECTIONAL DOOR (DOCK LEVEL) FOR FUTURE LOADING AND UNLOADING. SEE ELEVATIONS.
- 212 12'X14' SECTIONAL DOOR (GRADE LEVEL) FOR FUTURE LOADING AND UNLOADING. SEE ELEVATIONS.
- 213 PRIMARY AND SECONDARY ROOF DRAIN AND DRAIN LEADERS. TRANSITION DIAGONALLY ATTACH TO WALL WITH UNI-STRUTS. PLANTER WALL W/ STONE VENEER.
- 214 ROOF LADDER.
- 215 WATER FOUNTAIN AND ELEVATED REFLECTING POND WALL W/ STONE VENEER.
- 216 (N) CANOPY STRUCTURE ABOVE.
- 219 6"X6" STEEL POST, SET INTO CONCRETE PIER AT BACK OF CURB.

ABBREVIATIONS

- F.O.C. = FACE OF CONCRETE
- P.J. = PANEL JOINT
- C.O.M. = CENTER OF MULLION
- F.O.M. = FACE OF MULLION

WALL LEGEND

- CONCRETE WALL

DOOR TYPES

(SF1) ALUMINUM STOREFRONT

(SF2) 3'-0" x 8'-0" CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STYLE)

(SF2) 6'-0" x 8'-0" (PAIR) CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STYLE)

FRAME: MANUFACTURER HARDWARE:

- 2 SETS PIVOT SET
- 2 SETS INTER PIVOT
- 1 EA MORTISE CYLINDER
- 2 SETS OFFSET PULL
- 2 EA OH CLOSER
- 1 EA THRESHOLD
- 1 EA DECAL

NOTE: WEATHERSEAL BY DOOR MANUFACTURER

(F1) HOLLOW METAL

(F1) 3'-0" x 7'-0" PAINTED INSULATED HOLLOW METAL DOOR

HARDWARE:

- 3 EA HINGES
- 1 EA EXIT DEVICE
- 1 EA CYLINDER
- 1 EA CLOSER
- 1 EA PERIMETER SEAL
- 1 EA BOTTOM DRIP
- 1 EA THRESHOLD
- 1 EA LOCK GUARD
- 1 EA HCV DUTY FLOOR STOP

(SD1) SECTIONAL O.H. DOOR

(SD1) 9'-0" x 10'-0" DOCK HIGH SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH FOR LOADING/UNLOADING WET AND DRY GOODS.

(SD2) 12'-0" x 14'-0" SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH FOR LOADING/UNLOADING DRY GOODS ONLY.

HARDWARE:

- 1 EA SLIDE BOLT
- 1 EA PAD LOCK

DOOR NOTES

- BUTT HINGES:** SOSS - STANDARD WEIGHT, PLAIN BEARING, STEEL HINGES OR APPROVED EQUAL.
- ALL EXTERIOR OUTSWING DOOR BUTTS SHALL BE MADE OF NON-FERROUS MATERIAL AND SHALL HAVE STAINLESS STEEL HINGE PINS.
- VON DUPRIN 99 SERIES PANIC DEVICE OR APPROVED EQUAL CLOSING DEVICES;** HORTON 8600 SF SERIES OR APPROVED EQUAL STOPS; TRIMCO W1200 SERIES DOOR STOP
- SLIDE BOLT AND PAD LOCK:** INSTALL SLIDE BOLT ABOVE LEVEL OF DOOR GUARD.

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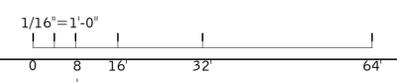
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FLOOR PLAN

DATE	REMARKS
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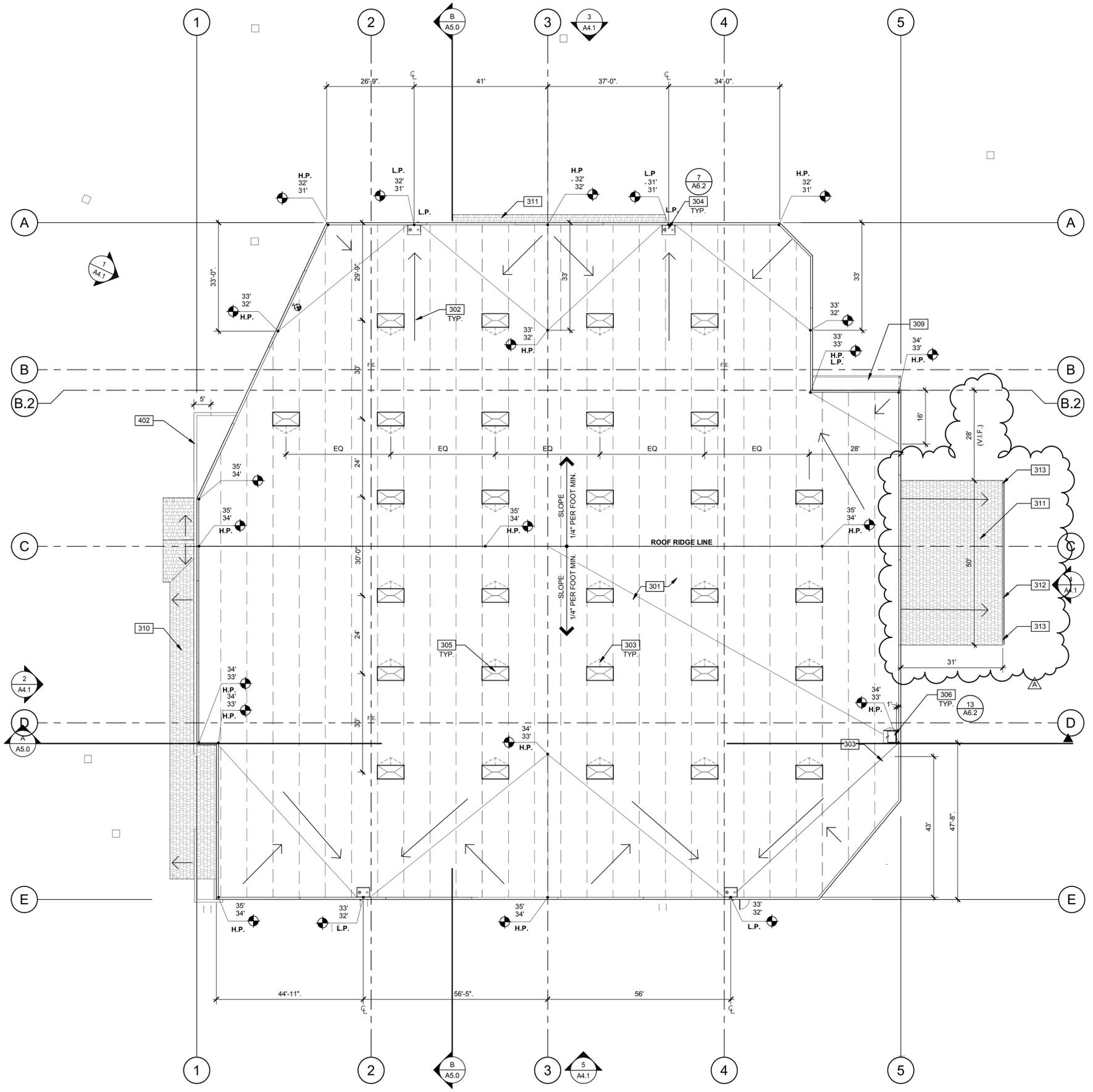
PA/PM: N. DETORRES
DRAWN BY: E.S.
JOB NO.: SNR17-0004-00

SHEET
A2.1



FLOOR PLAN

SCALE: 1/16" = 1'-0"



- NOTES**
- 301 SINGLE-PLY ROOFING.
 - 302 FLOW LINE TO DRAIN.
 - 303 CRICKET.
 - 304 PRIMARY AND SECONDARY DRAINS.
 - 305 4'X8' FIBERGLASS VENTED SKYLIGHT/SMOKE HATCH. COORDINATE EXACT LOCATION TO PREVENT CONFLICT WITH FRAMING, FIRE SPRINKLER LINES, ELECTRICAL CONDUITS, AND LIGHTING.
 - 306 ROOF HATCH.
 - 309 4' DEEP LOADING DOCK ROOF OVERHANG WITH DOWNSPOUT PER BASMAA MANUAL.
 - 310 LOW SLOPING ROOF WITH STEEL STRUCTURE AND CONCRETE TILE FINISH.
 - 311 SLOPING ROOF WITH HEAVY TIMBER STRUCTURE AND CONCRETE TILE FINISH.
 - 312 (N) 4' WIDE BUTTER.
 - 313 (N) 4" DIA/ DOWNSPOUT EACH SIDE EXTEND DOWN STEEL COLUMNS. TYP.
 - 402 SCREEN WALL.

- ABBREVIATIONS**
- T.O.P. = TOP OF PARAPET
 - H.P. = TOP OF ROOFING - HIGH POINT
 - L.P. = TOP OF ROOFING - LOW POINT

CALCULATIONS

SKYLIGHTS:
 SKYLIGHT SIZE: 48" x 96" = 32 S.F.
 (WAREHOUSE AREA S.F.) x 2.0% = 40,085 x .02
 (SKYLIGHT SIZE) = 32

DESIRED: 25 SKYLIGHTS
 PROVIDED: 29 SKYLIGHTS

LEGEND

SKYLIGHT: (2%)
 COORDINATE EXACT LOCATION TO PREVENT CONFLICT WITH FRAMING, FIRE SPRINKLER LINES, ELECTRICAL CONDUITS AND LIGHTING. SEE STRUCTURAL DRAWINGS.

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 Fremont, CA 94534
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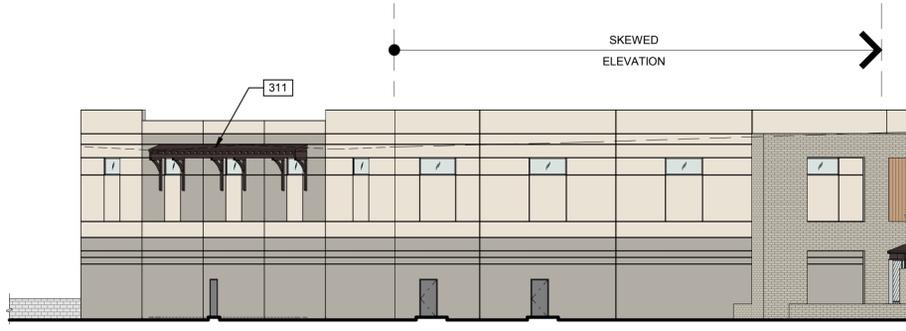
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 NAPA, CALIFORNIA 94558

ROOF PLAN

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02.13.2018	USE PERMIT COMMENT RESPONSE
10.08.2019	USE PERMIT APP. REVISIONS

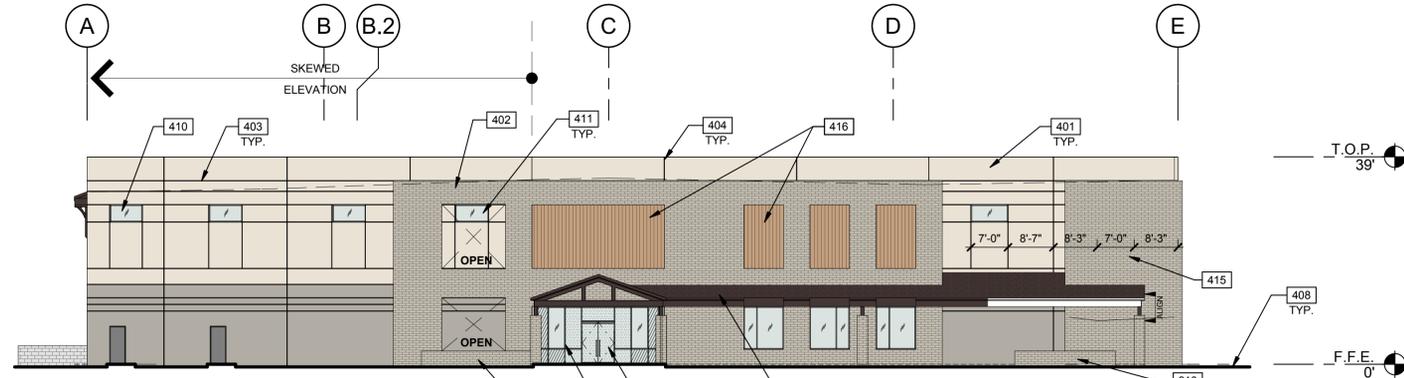
PA/PM: N. DETORRES
 DRAWN BY: E.S.
 JOB NO.: SNR17-0004-00

SHEET
A3.1



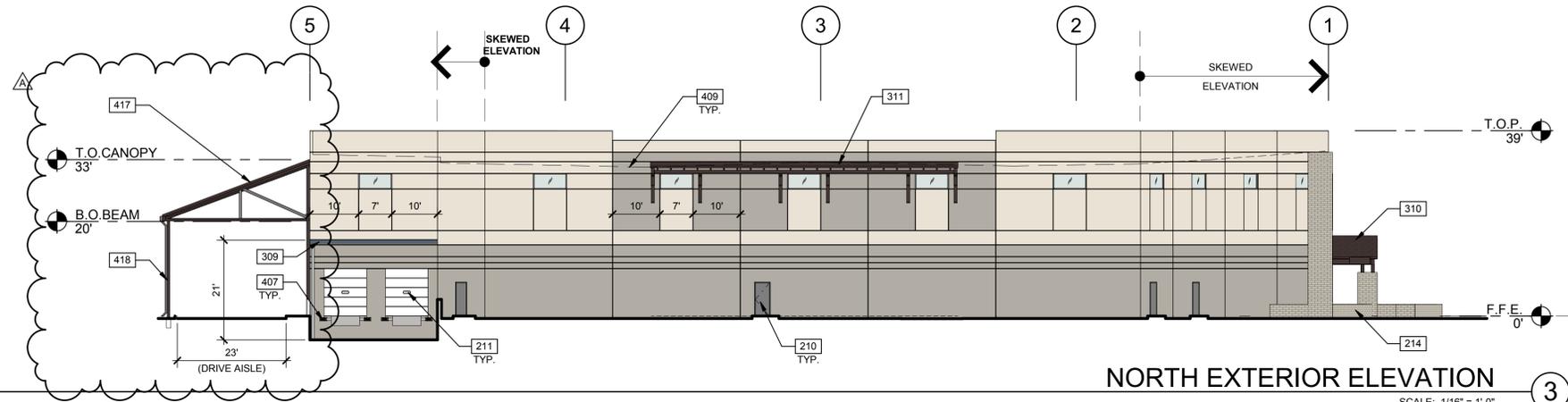
NORTHWEST EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0" ①



WEST EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0" ②



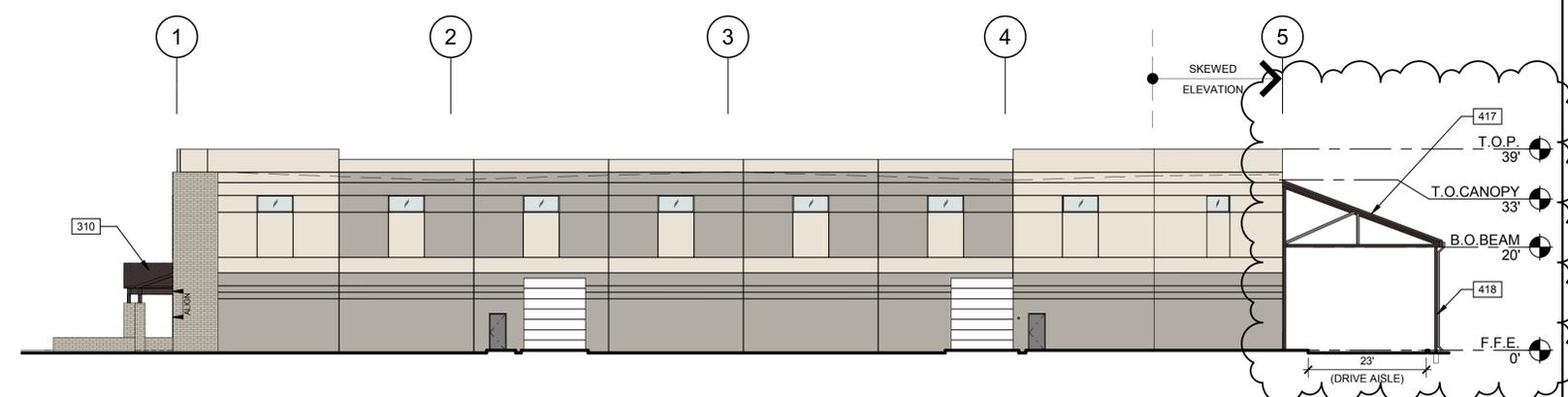
NORTH EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0" ③



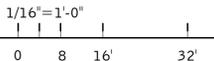
EAST EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0" ④



SOUTH EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0" ⑤



NOTES

- SEE SHEET A0.2 FOR GENERAL NOTES
- 208 ALUMINIUM STOREFRONT DOOR.
 - 210 HOLLOW METAL DOOR.
 - 211 9'X10' SECTIONAL DOOR (DOCK LEVEL) FOR FUTURE LOADING AND UNLOADING. SEE ELEVATIONS.
 - 214 PLANTER WALL W/ STONE VENEER.
 - 216 WATER FOUNTAIN AND ELEVATED REFLECTING POND WALL W/ STONE VENEER.
 - 309 4' DEEP LOADING DOCK ROOF OVERHANG WITH DOWNSPOUT PER BASMAA MANUAL.
 - 310 LOW SLOPING ROOF WITH STEEL STRUCTURE AND CONCRETE TILE FINISH.
 - 311 SLOPING ROOF WITH HEAVY TIMBER STRUCTURE AND CONCRETE TILE FINISH.
 - 401 CONCRETE WALL, PAINTED.
 - 402 SCREEN WALL.
 - 403 3/4" V-REVEAL.
 - 404 CONCRETE WALL JOINT.
 - 407 DOCK BUMPER.
 - 408 FINISH GRADE VARIES.
 - 409 LINE OF ROOF BEYOND.
 - 410 CLERESTORY WINDOW.
 - 411 GLAZING BEYOND.
 - 414 ARCADIA LIGHT CHAMPANGE ANODIZED MULLIONS- AB-1.
 - 415 WATER FOUNTAIN.
 - 416 PROVIDE METAL PANEL/CLADDING FINISH COLOR TO MATCH WOOD GRAIN FINISH.
 - 417 (N) STEEL CANOPY STRUCTURE W/SHEET METAL GUTTER & DOWNSPOUTS. PROVIDE CONCRETE TILE ROOF FINISH TO MATCH ADJACENT ROOFS ON BUILDING.
 - 418 6"X6" STEEL POSTS SET INTO CONCRETE PIERS PLACED BEHIND CURB AT DRIVE AISLE.

LEGENDS

- GLASS:**
- HIGH PERFORMANCE GLAZING PPG SOLARBAN Z50
 - SPANDREL GLASS
 - TEMPERED GLASS
- MATERIALS:**
- CORONADO STONE VENEER 6" SPLIT LIMESTONE, FINISH: GREEN VALLEY QUARTZITE
 - WOOD VERTICAL SLIDING, FINISH: SMOOTH MYANMAR

COLORS:

- PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- BASE COLOR: SHERWIN WILLIAMS : PANDA WHITE - SW 6147
 - SECONDARY COLOR: SHERWIN WILLIAMS : PUSSYWILLOW - SW 7643
 - ACCENT COLOR: SHERWIN WILLIAMS : ROCKWEED - SW 2735
- *SEE MATERIAL BOARD AND COLORED ELEVATIONS FOR LOCATION OF PAINT

MULLION:

- ARCADIA LIGHT CHAMPANGE ANODIZED MULLIONS- AB-1

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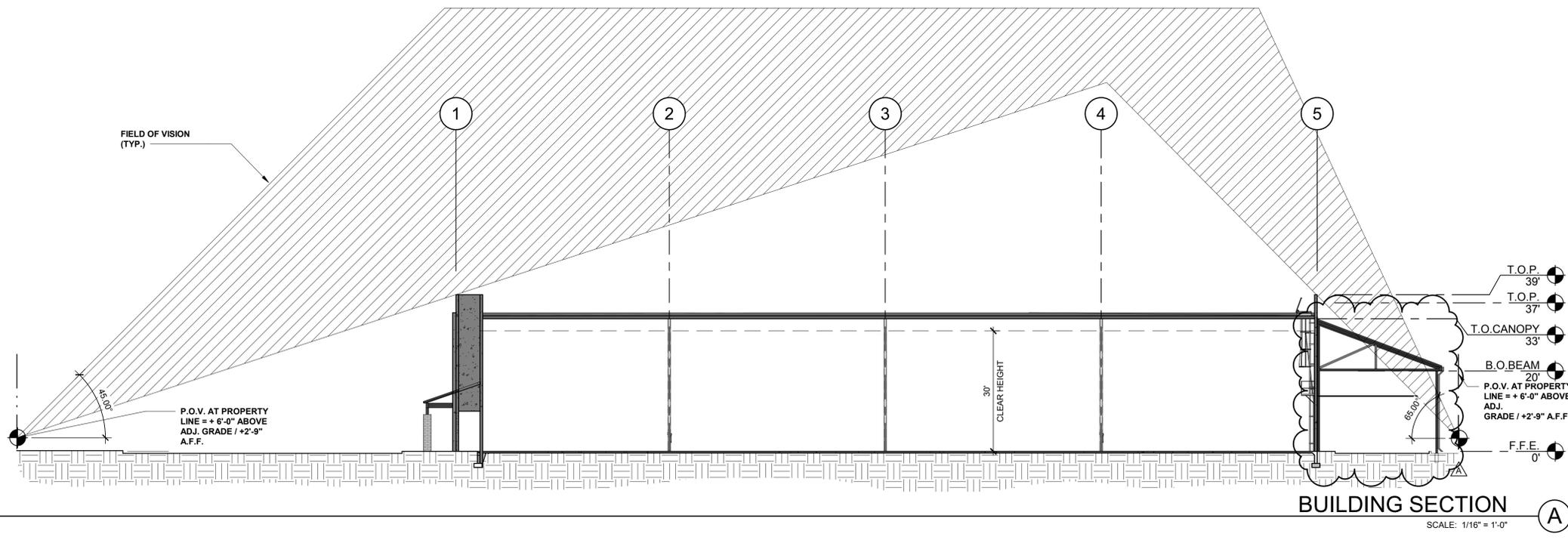
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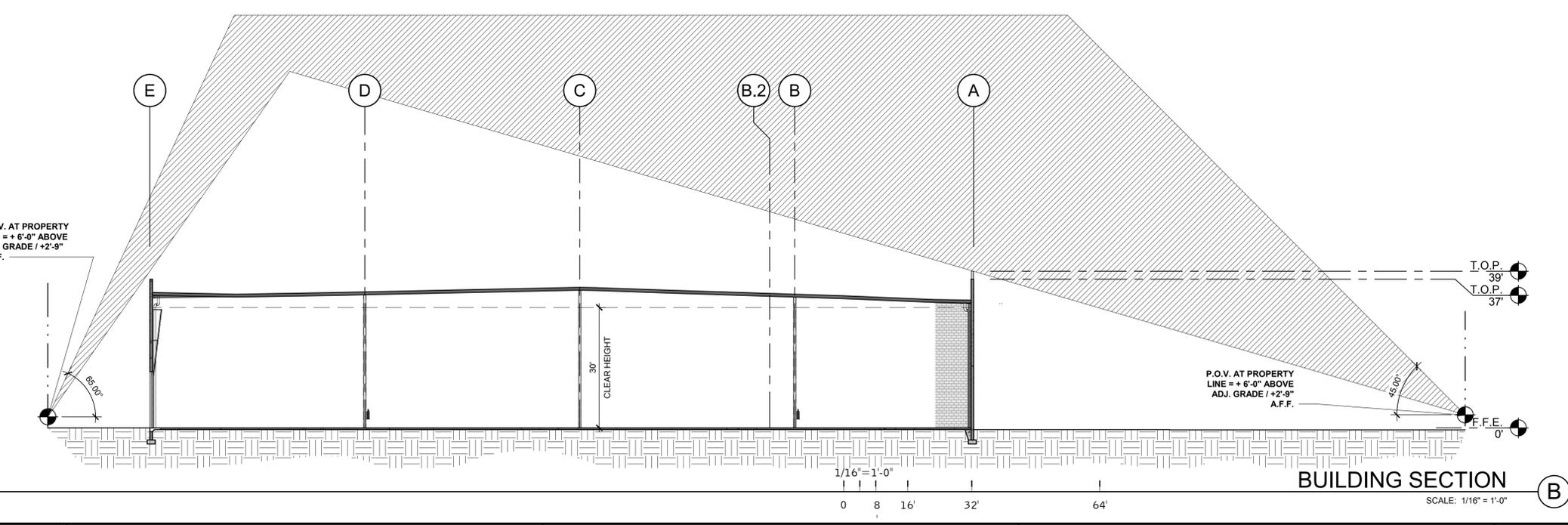
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12.21.2017	USE PERMIT COMMENT RESPONSE
02.13.2018	USE PERMIT COMMENT RESPONSE
10.08.2019	USE PERMIT APP. REVISIONS

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JOB NO.:	SNR17-0004-00

SHEET
A4.1



BUILDING SECTION A
SCALE: 1/16" = 1'-0"



BUILDING SECTION B
SCALE: 1/16" = 1'-0"

NOTES

WALL LEGEND

CONCRETE WALL

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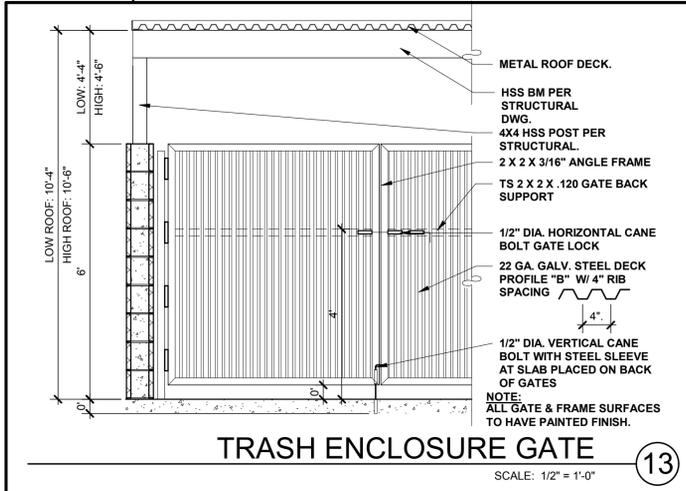
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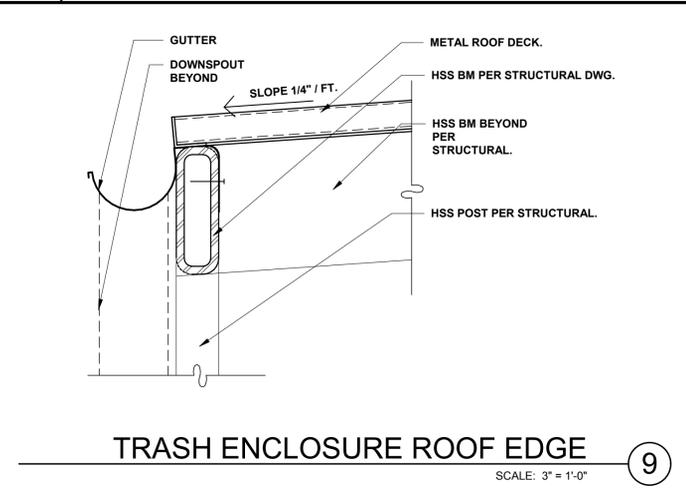
BUILDING SECTIONS	
DATE	REMARKS
07.19.2017	USE PERMIT SUBMITTAL
12.21.2017	USE PERMIT COMMENT RESPONSE
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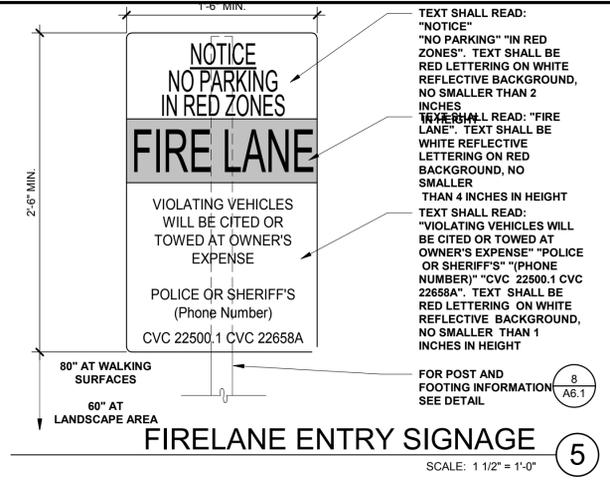
SHEET
A5.0



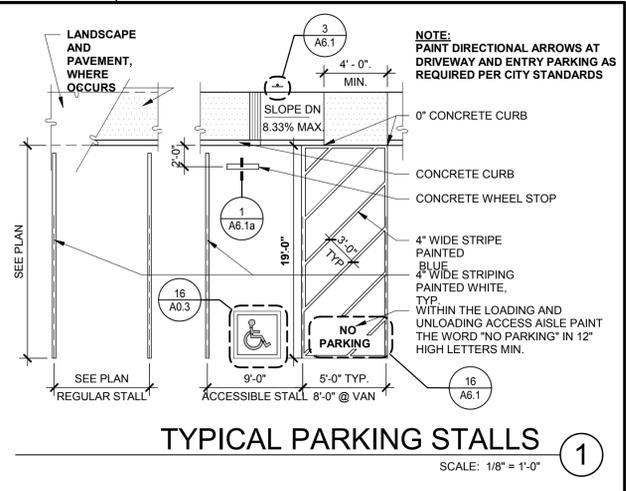
TRASH ENCLOSURE GATE
SCALE: 1/2" = 1'-0" (13)



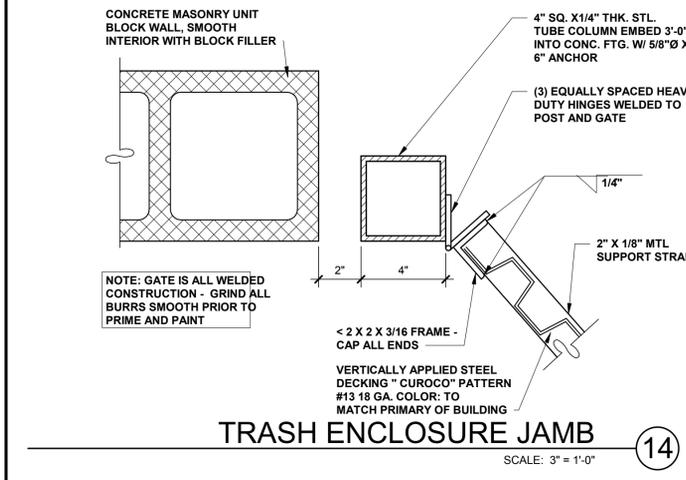
TRASH ENCLOSURE ROOF EDGE
SCALE: 3" = 1'-0" (9)



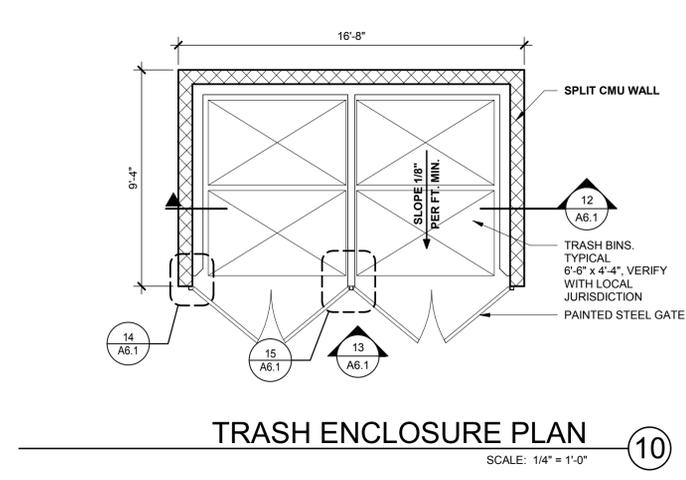
FIRELANE ENTRY SIGNAGE
SCALE: 1 1/2" = 1'-0" (5)



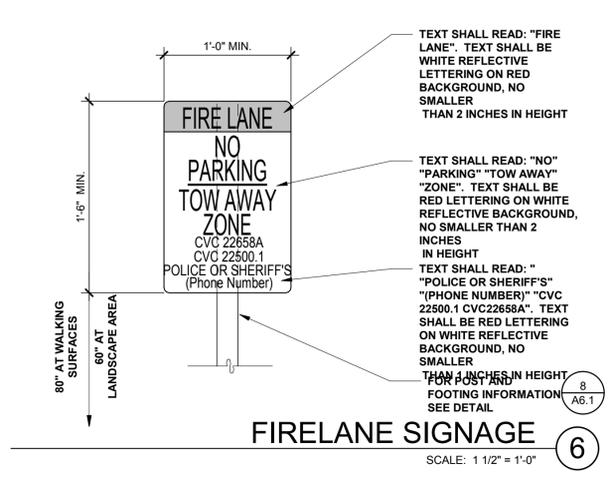
TYPICAL PARKING STALLS
SCALE: 1/8" = 1'-0" (1)



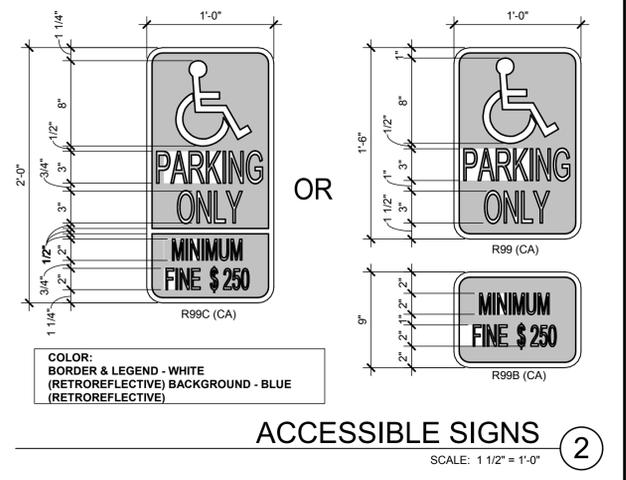
TRASH ENCLOSURE JAMB
SCALE: 3" = 1'-0" (14)



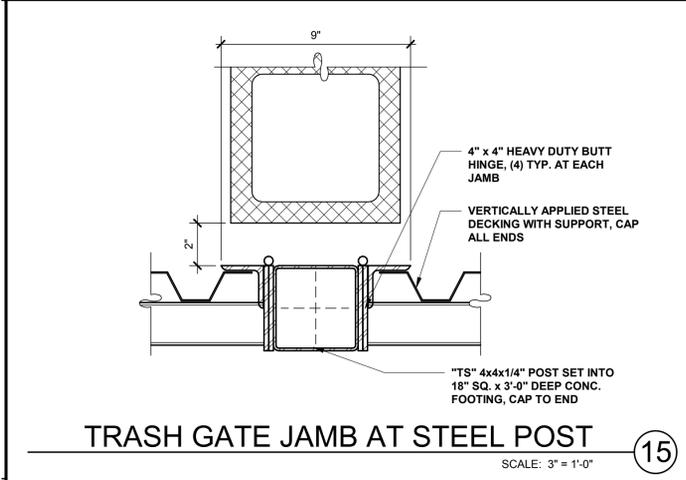
TRASH ENCLOSURE PLAN
SCALE: 1/4" = 1'-0" (10)



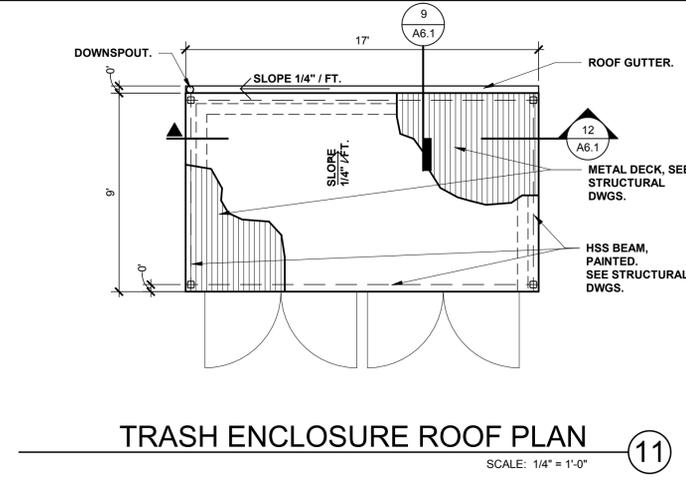
FIRELANE SIGNAGE
SCALE: 1 1/2" = 1'-0" (6)



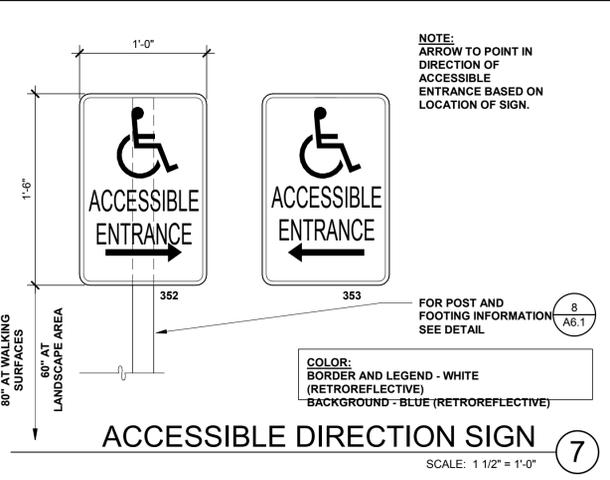
ACCESSIBLE SIGNS
SCALE: 1 1/2" = 1'-0" (2)



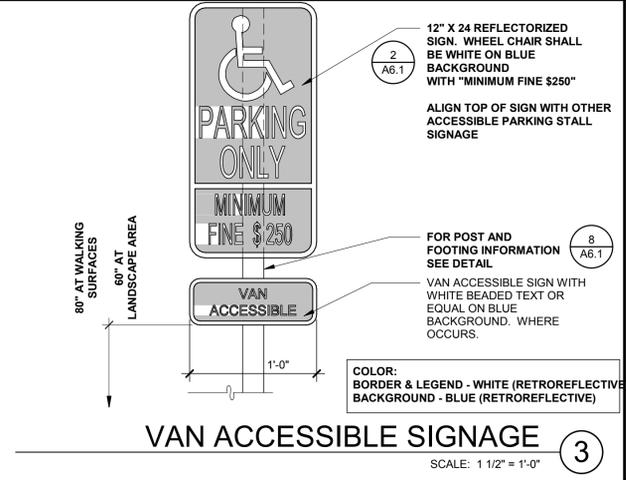
TRASH GATE JAMB AT STEEL POST
SCALE: 3" = 1'-0" (15)



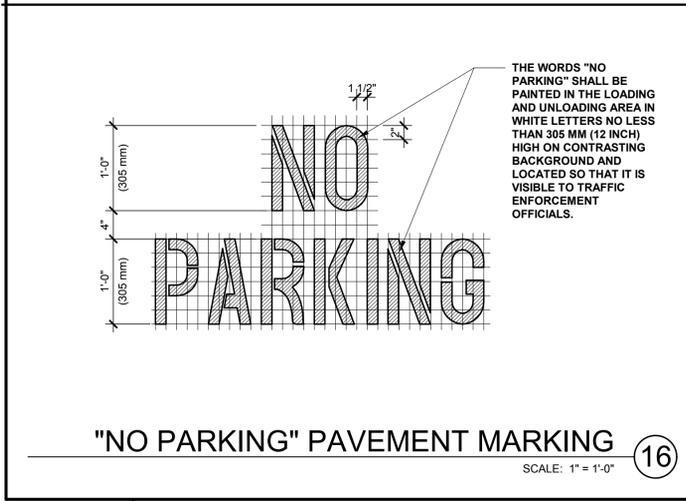
TRASH ENCLOSURE ROOF PLAN
SCALE: 1/4" = 1'-0" (11)



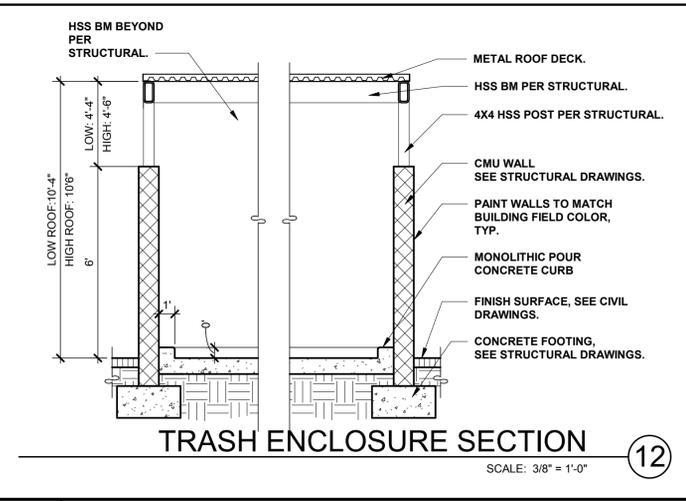
ACCESSIBLE DIRECTION SIGN
SCALE: 1 1/2" = 1'-0" (7)



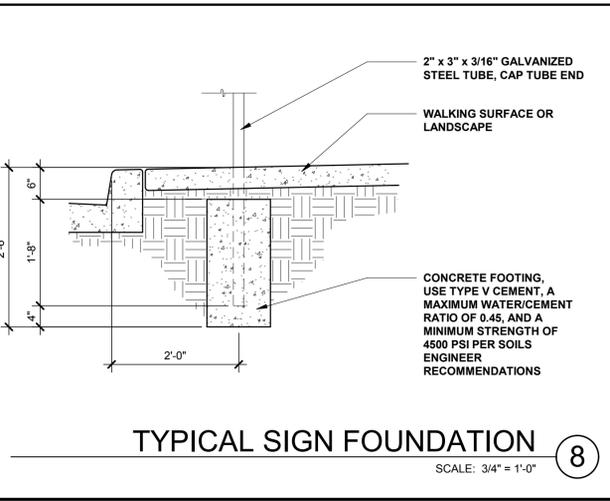
VAN ACCESSIBLE SIGNAGE
SCALE: 1 1/2" = 1'-0" (3)



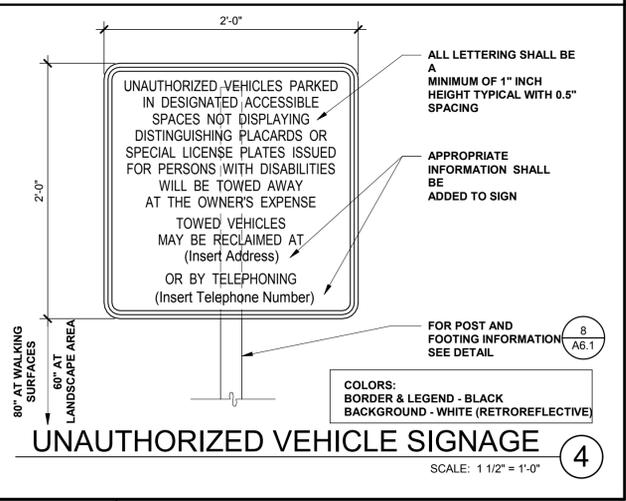
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TRASH ENCLOSURE SECTION
SCALE: 3/8" = 1'-0" (12)



TYPICAL SIGN FOUNDATION
SCALE: 3/4" = 1'-0" (8)



UNAUTHORIZED VEHICLE SIGNAGE
SCALE: 1 1/2" = 1'-0" (4)

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DETAILS

DATE	REMARKS
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JOB NO.: SNR17-0004-00

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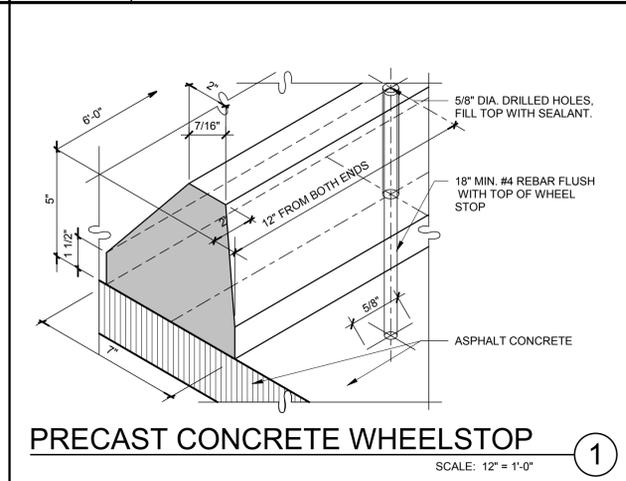
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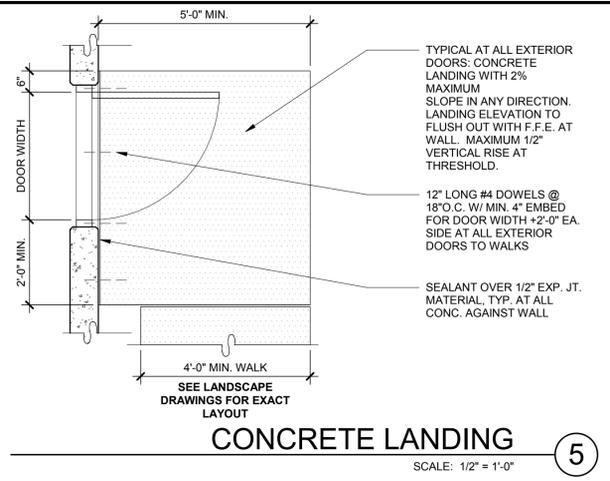
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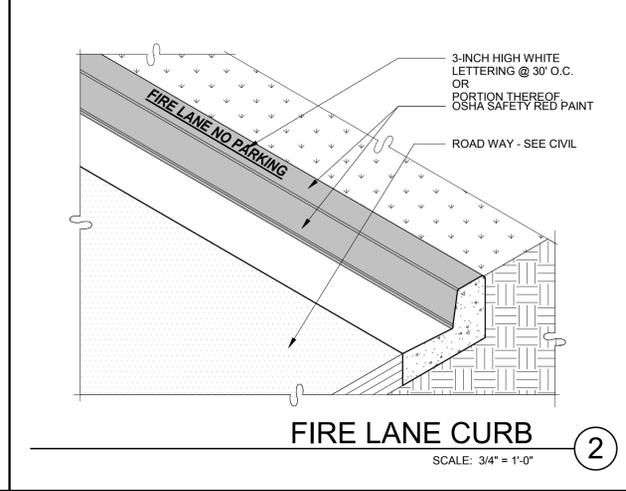
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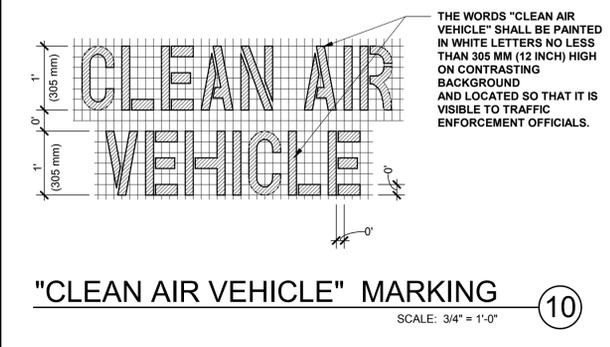
PRECAST CONCRETE WHEELSTOP ①
SCALE: 12" = 1'-0"



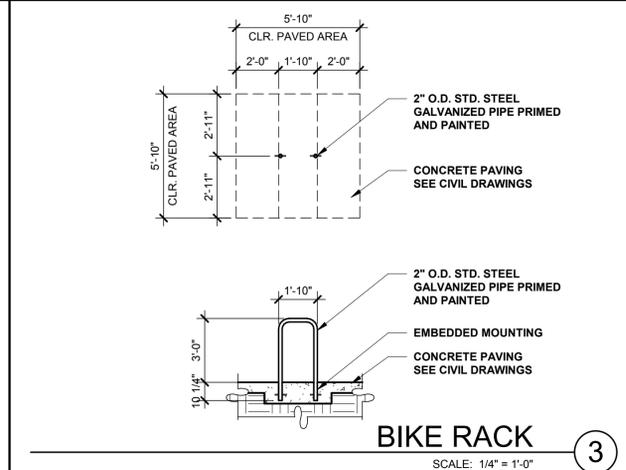
CONCRETE LANDING ⑤
SCALE: 1/2" = 1'-0"



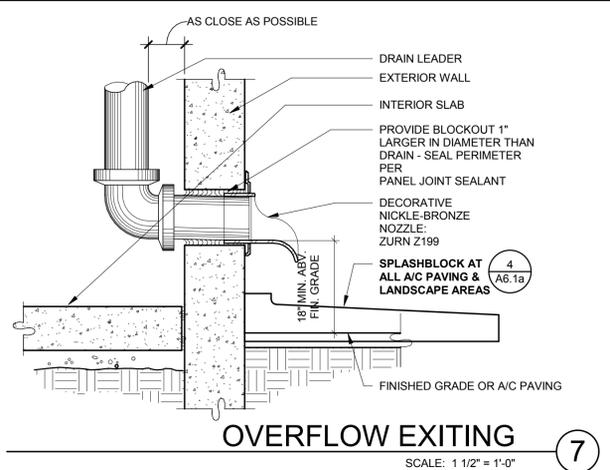
FIRE LANE CURB ②
SCALE: 3/4" = 1'-0"



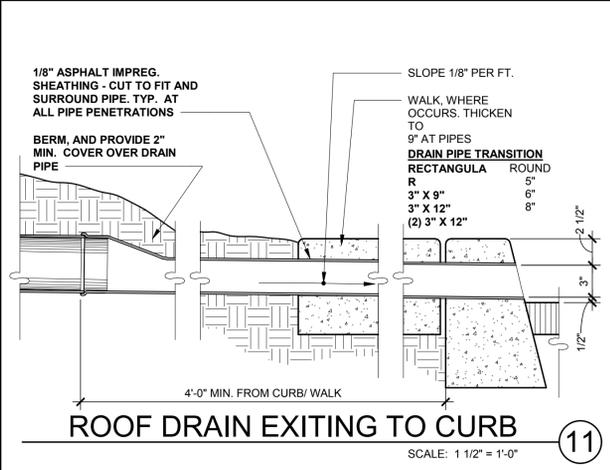
"CLEAN AIR VEHICLE" MARKING ⑩
SCALE: 3/4" = 1'-0"



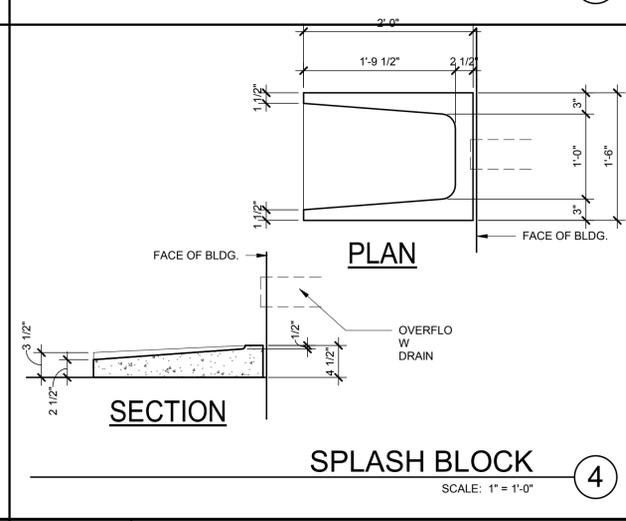
BIKE RACK ③
SCALE: 1/4" = 1'-0"



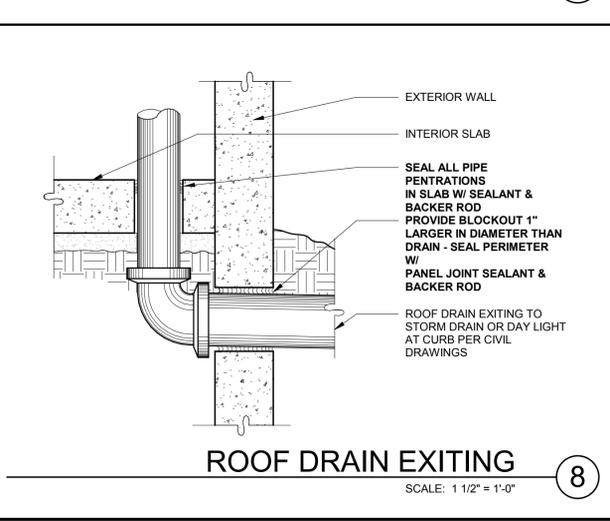
OVERFLOW EXITING ⑦
SCALE: 1 1/2" = 1'-0"



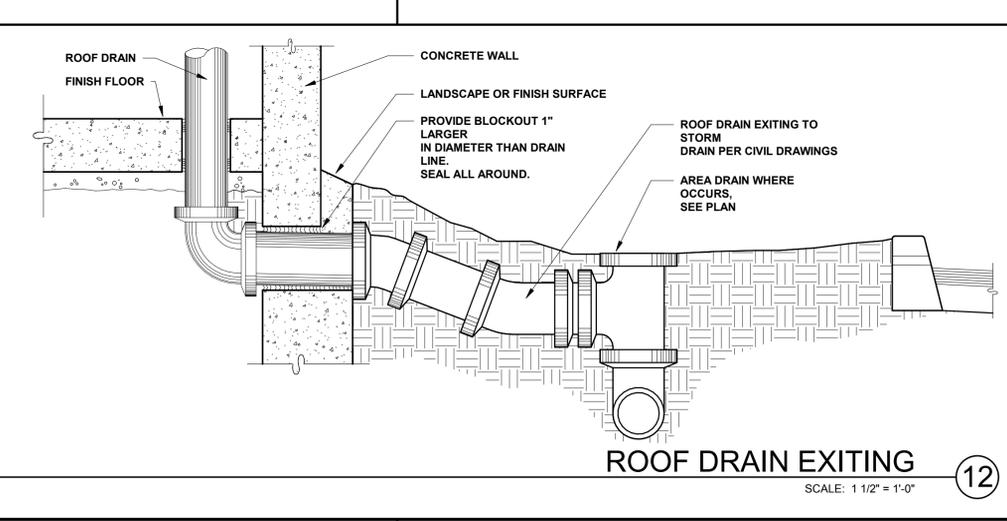
ROOF DRAIN EXITING TO CURB ⑪
SCALE: 1 1/2" = 1'-0"



SPLASH BLOCK ④
SCALE: 1" = 1'-0"



ROOF DRAIN EXITING ⑧
SCALE: 1 1/2" = 1'-0"



ROOF DRAIN EXITING ⑫
SCALE: 1 1/2" = 1'-0"