

“D”

## Application Packet



### ***Safeway Modular Suite Proposed Usage***

#### **Event Facts:**

The Safeway Open leads the PGA TOUR's FedExCup schedule October 2-8, 2017 at Silverado Resort and Spa in Napa, California.

Safeway, Inc., based in Pleasanton, is the title sponsor. Safeway has made a multi-year commitment as title sponsor of this event to be held at Silverado Resort and Spa thru October, 2020.

Golf Charities Foundation Inc is the host 501(c)3 charitable organization that presents the event and is the primary beneficiary. The tournament is operated primarily by 1,400 volunteers for the benefit of charity. 144 PGA TOUR Professionals will compete for a \$6 million purse.

#### **Non-Event Usage**

The interior 40' x 40' modular suite is used during the Safeway Open as a hospitality venue with a maximum capacity of 96 people. The modular suite was designed and engineered by Acumen Engineering Inc. (Kevin Day P.E. 12808 South 600 East Draper, UT 84020, Phone: 801-571-9877). The modular suite was designed and engineered as a commercial modular building with certified compliance by the California State Department Housing and Community Development (CM162205, 162206, 162207, 162208, 162209) as evidenced in the attached photos.

During the Safeway Open event, the modular suite will be permitted as part of the annual temporary site plan approval and used as intended as a temporary venue. Permanent electrical service was installed in 2016 by Silverado Electric per Building Inspector Gary West. Please find the attached E1 and E2 sheets from that project.

During the seven event days per year the modular suite unit will be used for assembly purposes within the building's capacity as a hospitality venue included in the Site Plan Approval Application.

There are two, ADA accessible restrooms each with a single fixture with permanent plumbing installed by the original manufacturer.

There are four, 1,000 gallon waste water holding tanks located beneath and directly behind the modular suite as an approved disposable drainage system. This is an approved method of waste for the event previously approved by Napa County Environment Health. There is a service contract in place with United Site Services to provide pumping daily.

The regular hours of operation will be Monday to Friday, 8am to 6pm.

Illuminated exit signs and extinguishers are installed and approved per Napa County Fire inside the modular suite.

#### **Event Usage**

The event is open to the ticket-buying public and corporate guests Wednesday through Sunday, October 4-8, 2017. General admission paid attendance figures by day are estimated as:

- Monday, October 10: 500 (Silverado Members and guests only)
- Tuesday, October 11: 500 (Silverado Members and guests only)
- Wednesday, October 12: 7,500-15,000 (Open to public)
- Thursday, October 13: 7,500-15,000 (Open to public)
- Friday, October 14: 7,500-15,000 (Open to public)
- Saturday, October 15: 7,500-15,000 (Open to public)
- Sunday, October 16: 7,500-15,000 (Open to public)

Over 100 portable toilets are added during the event including ADA accessible units. More than 10 portable toilets will be located in close proximity of the modular suite.

A dedicated committee of shuttle cart volunteers will be in use each event day. There is a system and protocol in place for individuals with ADA needs to request and be provided cart transportation. This method is consistent with the practices of the PGA TOUR across the country.

Accessible means of egress for the modular suite and all temporary structures will be denoted and submitted as part of the Site Plan Approval application for each annual event.

Illuminated exit signs and extinguishers are installed and approved per Napa County Fire. Additional exit, no smoking, and directional signage will be installed for the event.

The upper level will be used as a viewing platform and will be included in the Site Plan Approval application as a temporary viewing location. Bleacher seating will be installed per the engineer's drawings. Comparable services are provided for individuals with ADA needs in close proximity.

Tournament staging and setup to start approximately August 8, 2017.

Tournament teardown and removal to be completed approximately October 25, 2017

This schedule will be similar in year 2018, 2019, and 2020.

During non-event weeks from 2017 to 2020 the modular suite will remain in place and will serve as an unoccupied office. Water service will be disconnected and septic holding tanks will be removed. The modular suite will be dismantled and removed by December 1<sup>st</sup>, 2020. Subsequently the foundation and electrical improvements will be removed and the site will be returned to its original condition.

The Safeway Open will subsequently and separately submit the following prior to the Event each year:

- Site Plan Approval Application
- An Off-Site Operations plan which identifies lots and usage at each location
- Project specific details including, event signage including "no parking" areas in close proximity of the event, designation of operations lots, encroachment permits, parking & shuttle plan
- Application for building permit for all structures with the Building department
- Application for tent permit with the Fire department
- Application for a health permit with Environmental Services department
- Full drawings and plans for compliance with Planning, Building, Fire, Public Works, and Environmental Health and Cal Trans.

## **Notices**

### **APN 060-010-001**

Silverado Resort Investment Group LLC  
1600 Atlas Peak Road, Napa CA 94558  
Attn: John Evans, 707-257-0200, [john.evans@silveradoresort.com](mailto:john.evans@silveradoresort.com)

### **APN 060-150-001**

Cottage Drive HOA  
1600 Atlas Peak Road, Units 601-794, Napa CA 94558  
Attn: Marlene Rosenberg, 707-224-0205, [marlenerosenberg22@gmail.com](mailto:marlenerosenberg22@gmail.com)

### **APN 060-180-001, 060-180-002, 060-180-003**

Northgate Cottages HOA  
1600 Atlas Peak Road, Units 201-318, Napa CA 94558  
Attn: Kathy Kenney, 707-328-5646, [Kenney53@comcast.net](mailto:Kenney53@comcast.net)

### **APN 060-240-001, 060-270-001**

BC Condominiums HOA  
1600 Atlas Peak Road, Units 350-498  
Attn: Margaret Morgan, 707-224-9961, [mmorganoce@aol.com](mailto:mmorganoce@aol.com)

## **Primary Contacts:**

David Babcock  
Tournament Director  
T: 503-207-5647  
C: 503-866-2974  
E: [dbabcock@lagardere-se.com](mailto:dbabcock@lagardere-se.com)

Matt McEvoy  
Assistant Tournament Director  
T: 503-748-9973  
C: 916-996-5808  
E: [mmcevoy@lagardere-se.com](mailto:mmcevoy@lagardere-se.com)

**From:** MCEVOY, Matt  
**To:** [Gallina, Charlene](#)  
**Cc:** [BABCOCK, David](#)  
**Subject:** Safeway Open Modular Suite - Revised Application Narrative  
**Date:** Friday, August 18, 2017 1:51:37 PM  
**Attachments:** [Microsoft Word - 2017 Safeway Open Use Permit Application Narrative 081717.docx.pdf](#)

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Charlene, please find the revised application narrative for the Safeway Modular Suite. Let me know if there are any question or if any areas need to be further defined.

Thank you,

**Matt McEvoy**  
Safeway Open, PGA Tour in Napa Valley  
Assistant Tournament Director

*T* [503 924 6210](tel:5039246210) / *M* [503 748 9973](tel:5037489973)  
*E* [mmcevoy@lagardere-se.com](mailto:mmcevoy@lagardere-se.com)  
[5671 SW Arctic Dr. Beaverton, OR 97005](#)

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November 30, 2017

Charlene Gallina,  
Supervising Planner  
Napa County Planning, Building & Environment Services

**Re: 2017 Safeway Open, PGA TOUR at Silverado Resort and Spa-Site Plan Approval P17-00299  
1600 Atlas Peak Road, Napa (APN 060-010-001)**

Dear Charlene,

Please accept this submittal regarding Condition of Approval 2.0 C for Modular Suite provisions as stated in Site Plan Permit Approval P17-00299.

The Modular Suite behind the 18<sup>th</sup> Green is shutdown for no occupancy until a decision has been made pursuant to Major Modification Permit Application P17-00087-MOD by the Planning Commission in January of 2018.

The Modular Suite has been previously submitted as an unoccupied office with the exception of seven event days per year in 2018, 2019 and 2020 in order to keep the unit in place on a year-around basis. Occupancy during those seven event days per year shall fall under the Site Plan Approval (Special Event Use) permit as issued by Napa County Planning and Building department.

The Safeway Open has engaged the Civil Engineering firm RSA to address and resolve conditions brought forth from the Engineering Department. Please find the included letter and attachments from their findings to this submittal. In addition, we have established a Flood Event Action Plan which is attached to this submittal as well.

Sincerely,

Matt McEvoy  
Assistant Tournament Director  
Safeway Open  
Lagardere Sports and Entertainment  
503-748-9973  
mmcevoy@lagardere-se.com

**FLOOD EVENT ACTION PLAN**  
  
**for**  
  
**18<sup>th</sup> Green Modular Suite**  
**1600 Atlas Peak Road, Napa CA 94558**

In the case of a 100-year flood event anticipated, based on a 10 day extended forecast, Lagardere Sports will execute and oversee a 48 hour emergency removal of the 40' x 40' modular suite located behind the 18<sup>th</sup> Green of the North Course at Silverado Resort.

Lagardere Sports will retain Hammond Construction or comparable qualified contractor to manage the deconstruction and removal of the 40' x 40' modular suite. The modular suite can be quickly disassembled into four separate mobile trailers. Axels are in-place for prompt removal if necessary. The removal would be done with collaboration with the engineering team of Silverado Resort and Spa. The deconstruction and removal of the Modular Suite would include:

- Removal of decking from upper level
- Disconnection of electrical and HVAC systems
- Disconnection of exterior decking and walkways
- Disassembly of ground anchors, structural supports and foundation connections
- Assembly of tires and wheels to existing trailer axels.
- Lifting by Precision Crane or comparable qualified contractor
- Immediate removal by drive off

DATE PREPARED: 10/20/2017

## EMERGENCY PERSONNEL NAMES AND PHONE NUMBERS


Matt McEvoy-Emergency Coordinator  
Lagardere Sports  
503-748-9973  
[mmcevoy@lagardere-se.com](mailto:mmcevoy@lagardere-se.com)

David Goff-Engineering Director  
Silverado Resort and Spa  
707-815-1234  
[david.goff@silveradoresort.com](mailto:david.goff@silveradoresort.com)

Chris Hammond-General Contractor  
Hammond Construction  
510-812-4703  
[chrishammondjr@hotmail.com](mailto:chrishammondjr@hotmail.com)

Kevin Day-Suite Engineer  
ACUMEN Engineering  
801-571-9877  
[acumeneng@msn.com](mailto:acumeneng@msn.com)

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	RSA+	CONSULTING CIVIL ENGINEERS + SURVEYORS +	SERVING CALIFORNIA SINCE	1980	1515 FOURTH STREET NAPA, CALIFORNIA 94559 FAX   707   252.4966 OFFICE   707   252.3301
	HUGH LINN, PE, QSD, QSP PRINCIPAL + PRESIDENT		CHRISTOPHER TIBBITS, PE, LS PRINCIPAL + VICE PRESIDENT		
	hLinn@RSACivil.com		cTibbits@RSACivil.com		
707   252.3301   RSACivil.com					
					RSACivil.com

#4111022.0

November 28, 2017

Napa County Engineering and Conservation Division  
Attn: Patrick Ryan  
Planning, Building, & Environmental Services Department  
1195 Third Street, Suite 201

RE: BFE for Silverado 18<sup>th</sup> Green Hospitality Structure (P17-00299)

Dear Mr. Ryan:

This letter is in reference to evaluating the base flood elevation for the temporary Safeway Open Hospitality Structure on the 18th Green of the Silverado Resort. In preparation of this evaluation letter, I have reviewed and referenced the following documents:

- The FIRM map zone for this area and determined the subject area to be located within Zone A (see attached.)
- The Napa County Code (NCC) Relative to Zone A requirements. Section 16.04.540 of the NCC.
- The BFE from Mead and Hunt, the County Flood Control Districts Consultant, for this reach of Milliken post dam removal and culvert project.
- The topographic survey prepared by FCE Engineering Inc. for the subject Area (see attached.)

Based upon my review and reliance on the above information, I have come to the following findings:

- The lowest suite floor elevation is at elevation 85.41' NAVD88 datum.
- The lowest ground elevation adjacent to the structure is at elevation 79.32' NAVD88 datum.
- The base flood elevation (BFE) at this location upon completion of in process Napa County Flood Control projects will be 76.73' NAVD88 datum. (See email from Mead and Hunt and FIRM map with interpolation of cross sections attached)

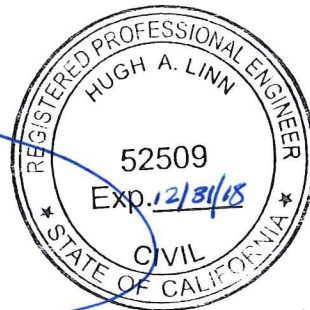
Based upon the review and findings, I have concluded that the lowest existing floor of the suite structure is approximately 9.3' above the BFE as documented in the Mead and Hunt model. It is our opinion that the BFE information provided by Mead and Hunt is the best available and reliable information relative to the hydraulic grade line in this reach. Because the dam removal project has been completed and the finish floor elevations are so much higher than the BFE, we conclude that the water surface remains within the top of the bank and the structure is in compliance with the Napa County Floodplain Management Requirements.

Please do not hesitate to contact me should you have any questions regarding the conclusion and attached information.

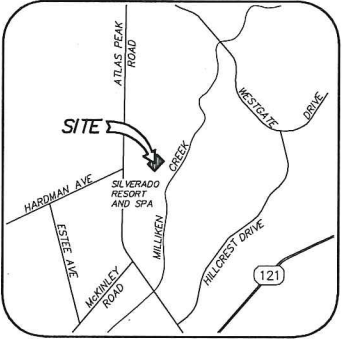
Respectfully,

Hugh Linn, P.E.  
Principal - President

HL/ms



cc: Matt McEvoy (mmcevoy@lagardere-se.com)



VICINITY MAP  
NOT TO SCALE

**BENCHMARK**

CITY OF NAPA MONUMENT "STATION 31-1" BRASS  
CAP ON ATLAS PEAK ROAD AT MILLIKEN CREEK  
BRIDGE, NORTHEAST EDGE. NGVD29 ELEVATION =  
67.38, CONVERTED TO NAVD88 USING VERTCON  
SOFTWARE, NAVD88 ELEVATION = 70.015.

**ASSESSOR'S PARCEL NUMBER**

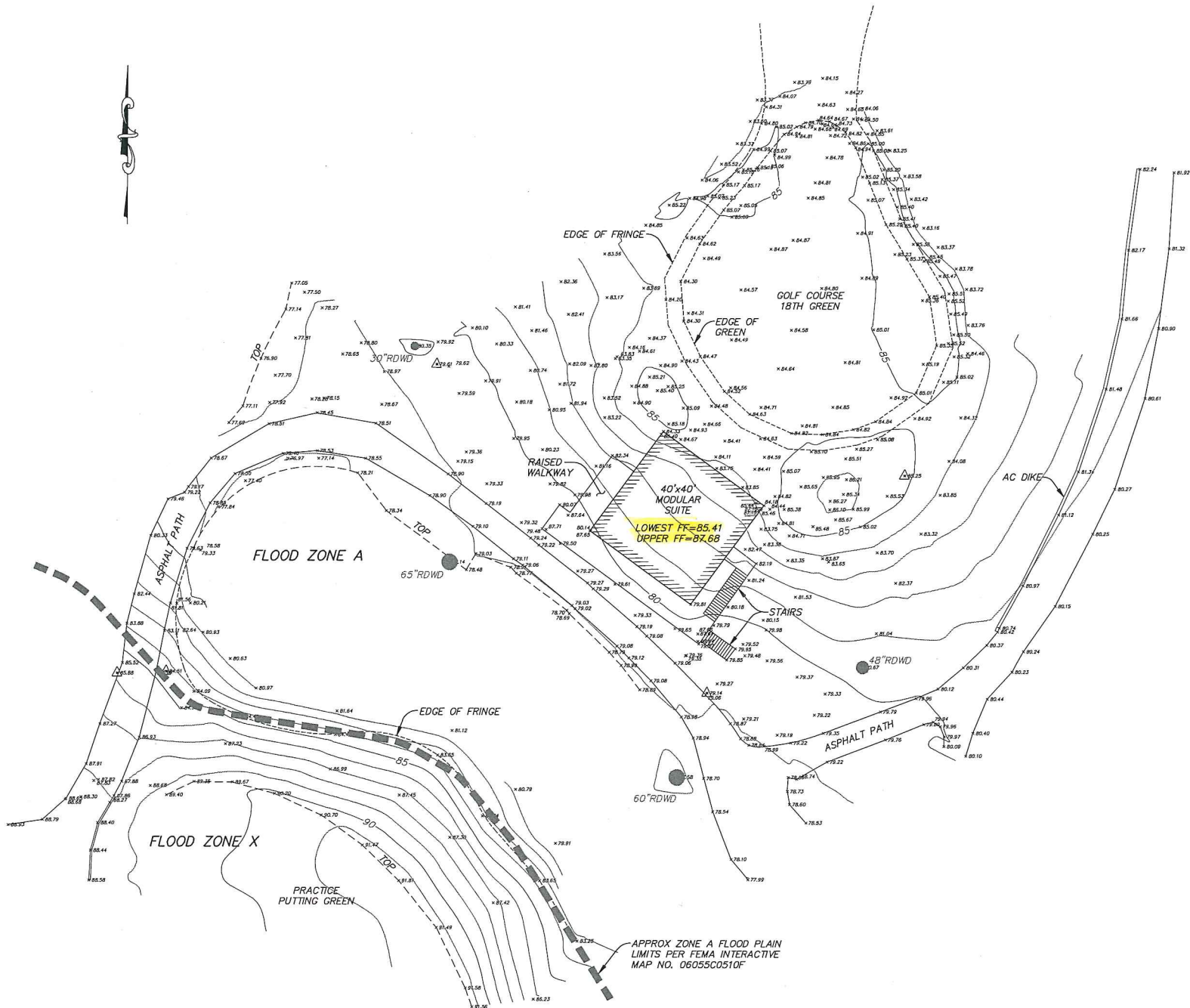
APN 060-010-001

**LEGEND**

- CONTROL FOR SURVEY
- EX. CONTOURS
- EX. PROPERTY LINE
- EX. ADJACENT PROPERTY LINE
- EX. EDGE OF AC PAVEMENT
- EX. EDGE OF FRINGE
- EX. CONCRETE
- EX. BUILDING

**ABBREVIATIONS**

- AC ASPHALT CONCRETE
- BLDG BUILDING
- CB CATCH BASIN
- CL CENTERLINE
- CMP CORRUGATED METAL PIPE
- CO SANITARY SEWER CLEANOUT
- CONC CONCRETE
- DI DRAINAGE INLET
- DW DRIVEWAY
- ELEC ELECTRIC
- EX EXISTING
- FL FLOWLINE
- FND FOUND
- FRUIT FRUIT TREE
- GB GRADE BREAK
- MBOX MAILBOX
- MON MONUMENT
- GS GROUND SHOT
- LIP LIP OF GUTTER
- OAK OAK TREE
- PINE PINE TREE
- PP POWER POLE
- RDWD REDWOOD TREE
- SD STORM DRAIN
- SS SANITARY SEWER
- T TREE
- TOE TOE OF SLOPE
- TOP TOP OF SLOPE
- TYP TYPICAL
- WAL WALNUT TREE
- WM WATER METER

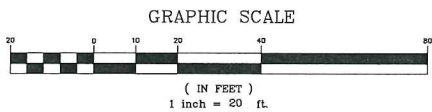


*Brad Foulk*  
BRADLEY D. FOULK  
EXPIRES

PLS 7071  
12-31-18



DESIGNED BY: BDF  
DRAFTED BY: CW  
CHECKED BY: BDF  
ISSUE DATE: 07/26/17



**FCE** FOULK CIVIL ENGINEERING, INC.  
Civil Engineering Land Surveying Planning  
4777 Mangels Boulevard, Fairfield, CA 94534  
(707)864-0784 fax (707)864-0793 e-mail: foulkce@gmail.com

REV.	DATE	DESCRIPTION	BY	APPROVED

PROJECT: 18TH GREEN SILVERADO CC  
1600 ATLAS PEAK ROAD  
NAPA, NAPA COUNTY, CA  
SHEET TITLE: TOPOGRAPHIC SURVEY  
SCALE: 1"=20' DWG. NO: 16-008 JOB NO: 16-008 XREF:

SHEET  
1  
OF 1

NOTES TO USERS

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The community map repository should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where Base Flood Elevations (BFEs) and/or floodways have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations tables contained within the Flood Insurance Study (FIS) report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

Coastal Base Flood Elevations shown on this map apply only landward of 0.0 North American Vertical Datum of 1988 (NAVD 88). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stillwater Elevations tables in the Flood Insurance Study report for this jurisdiction. Elevations shown in the Summary of Stillwater Elevations tables should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the floodways were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by flood control structures. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures for this jurisdiction.

The projection used in the preparation of this map was California State Plane II zone. The horizontal datum was NAD 83, GRS80. Differences in datum, spheroid, projection or State Plane zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988. These flood elevations must be compared to structure and ground elevations referenced to the same vertical datum. For information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at <http://www.ngs.noaa.gov> or contact the National Geodetic Survey at the following address:

NGS Information Services  
NOAA, NNGS12  
National Geodetic Survey  
SSM-C-3, 49202  
1315 East-West Highway  
Silver Spring, Maryland 20910-3282  
(301) 713-3242

To obtain current elevation, description, and/or location information for bench marks shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3242, or visit its website at <http://www.ngs.noaa.gov>.

Base map information shown on this FIRM was provided in digital format by Napa County Information Technology Services Department. This information was derived from digital orthophotos produced at a scale of 1:4,800 with 1-foot ground sample distance from photography dated April 2002.

This map reflects more detailed and up-to-date stream channel configurations than those shown on the previous FIRM for this jurisdiction. The floodplains and floodways that were transferred from the previous FIRM may have been adjusted to conform to these new stream channel configurations. As a result, the Flood Profiles and Floodway Data tables in the Flood Insurance Study Report (which contains authoritative hydraulic data) may reflect stream channel distances that differ from what is shown on this map.

Corporate limits shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

Please refer to the separately printed Map Index for an overview map of the county showing the layout of map panels, community map repository addresses, and a Listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

Contact the FEMA Map Service Center at 1-800-358-9616 for information on available products associated with this FIRM. Available products may include previously issued Letters of Map Change, a Flood Insurance Study report, and/or digital versions of this map. The FEMA Map Service Center may also be reached by Fax at 1-800-358-9620 and its website at <http://msc.fema.gov>.

If you have questions about this map or questions concerning the National Flood Insurance Program in general, please call 1-877-FEMA MAP (1-877-336-2627) or visit the FEMA website at <http://www.fema.gov>.

City of  
Napa  
060207

THIS AREA SHOWN AT  
A SCALE OF 1" = 500'  
ON MAP NUMBER 06055C0508

THIS AREA SHOWN AT  
A SCALE OF 1" = 500'  
ON MAP NUMBER 06055C0509

LOWEST Floor = 85.41'  
AH (LF-WSE) = 85.41' - 76.15' = 9.26' ←

LEGEND

SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD

The 1% annual flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

- ZONE A No Base Flood Elevations determined.  
ZONE AE Base Flood Elevations determined.  
ZONE AH Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.  
ZONE AO Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.  
ZONE AR Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently deteriorated. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.  
ZONE A99 Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.  
ZONE V Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.  
ZONE VE Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

FLOODWAY AREAS IN ZONE AE  
The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

OTHER FLOOD AREAS  
Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

OTHER AREAS  
ZONE X Areas determined to be outside the 0.2% annual chance floodplain.  
ZONE D Areas in which flood hazards are undetermined, but possible.

COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS  
OTHERWISE PROTECTED AREAS (OPAs)

CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.

- 1% annual chance floodplain boundary  
0.2% annual chance floodplain boundary  
Floodway boundary  
Zone D boundary  
CBRS and OPA boundary  
Boundary dividing Special Flood Hazard Area Zones and boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths or flood velocities.  
Limit of Moderate Wave Action

Base Flood Elevation line and value; elevation in feet\*  
Base Flood Elevation value where uniform within zone; elevation in feet\*

\* Referenced to the North American Vertical Datum of 1988

- Cross section line  
Traverse line  
Geographic coordinates referenced to the North American Datum of 1983 (NAD 83), Western Hemisphere  
1000-meter Universal Transverse Mercator grid values, zone 10  
5000-foot grid values: California State Plane coordinate system, zone 11 (FIPS ZONE 0402), Lambert Conformal Conic projection  
Bench mark (see explanation in Notes to Users section of this FIRM panel)  
River Mile

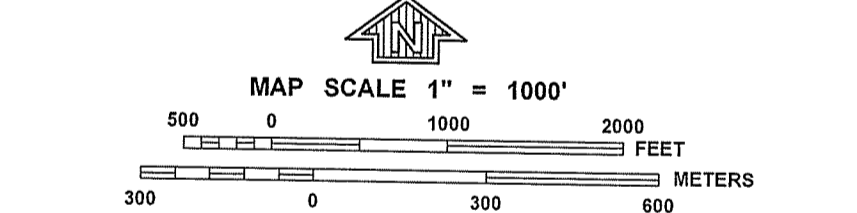
MAP REPOSITORY  
Refer to listing of Map Repositories on Map Index

EFFECTIVE DATE OF COUNTYWIDE  
FLOOD INSURANCE RATE MAP  
September 29, 2008

EFFECTIVE DATE(S) OF REVISION(S) TO THIS PANEL  
September 29, 2010 - to update corporate limits, to change Base Flood Elevations and Special Flood Hazard Areas, to update map format, to add roads and road names, and to incorporate previously issued Letters of Map Revision.

For community map revision history prior to countywide mapping, refer to the Community Map History table located in the Flood Insurance Study report for this jurisdiction.

To determine if flood insurance is available in this community, contact your Insurance agent or call the National Flood Insurance Program at 1-800-638-6620.



NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0510F

**FIRM**  
FLOOD INSURANCE RATE MAP

NAPA COUNTY,  
CALIFORNIA  
AND INCORPORATED AREAS

PANEL 510 OF 650

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
NAPA COUNTY	060205	0510	F
NAPA, CITY OF	060207	0510	F

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

MAP NUMBER  
06055C0510F

MAP REVISED  
SEPTEMBER 29, 2010

Federal Emergency Management Agency

## Hugh Linn

**From:** Rahul Ranade <rahul.ranade@meadhunt.com>  
**Sent:** Friday, October 20, 2017 3:50 PM  
**To:** Hugh Linn  
**Cc:** Thomasser, Richard  
**Subject:** RE: Milliken Creek Hydraulic Modeling  
**Attachments:** RE: Base Flood Elevation for 100 Year at Milliken Bridge

Hi Hugh,

The table below shows the post-project WSELs in the area of the bridge (same table sent to you during design – see attached).

The center of the now-demolished dam (which would be close to the center of the bridge) is at station 14129, which shows a 100 yr elevation of 74.57 NAVD.

500 ft upstream puts us at station 14629. While the model does not have a cross-section at that location, you can interpolate between the bounding cross-sections (14368 and 14845). Since the model is a steady-state backwater model, interpolation would give you the same result as having a cross-section at that location.

Hope this helps.

HELF			
Reach	River Sta	Profile	W.S. Elev (ft)
North	12609	100 yr	66.61
North	12819	100 yr	67.77
North	13064	100 yr	68.07
North	13303	100 yr	70.30
North	13591	100 yr	73.92
North	13896	100 yr	73.69
North	14129	100 yr	74.57
North	14246	100 yr	74.95
North	14368	100 yr	74.82
North	14845	100 yr	77.23
North	15082	100 yr	78.83

← BRIDGE

$$\Delta L = 477' ; \Delta S = \frac{(77.23 - 74.82)}{477}$$

$$\Delta S_{(477)} = 0.0051 \text{ FT/FT}$$

**Rahul Ranade, PE, PH | Senior Associate**

Mead & Hunt | 180 Promenade Circle, Ste 240 | Sacramento, CA 95834

Direct: 916-993-4628 | Main: 916-971-3961

[rahul.ranade@meadhunt.com](mailto:rahul.ranade@meadhunt.com) | [meadhunt.com](http://meadhunt.com)

[Blog](#) | [LinkedIn](#)

**From:** Hugh Linn [mailto:HLinn@RSACivil.com]

**Sent:** Friday, October 20, 2017 3:24 PM

**To:** Rahul Ranade <rahul.ranade@meadhunt.com>

**Cc:** Thomasser, Richard <Richard.Thomasser@countyofnapa.org>

**Subject:** Milliken Creek Hydraulic Modeling

Rahul,

**From:** MCEVOY, Matt  
**To:** [Gallina, Charlene](#)  
**Cc:** [Ryan, Patrick C.](#); [Hugh Linn](#); [BABCOCK, David](#)  
**Subject:** Lagardere Sports/Safeway Open Modular Suite Submittal  
**Date:** Thursday, November 30, 2017 4:30:02 PM  
**Attachments:** [10-30-17 Use Permit Submittal Cover Letter.pdf](#)  
[LG Suite Flood Event Action Plan.pdf](#)  
[BFE for Silverado Structure Letter.pdf](#)  
[Topographic Survey.pdf](#)  
[Flood Insurance Rate Map.pdf](#)  
[Mead and Hunt email.pdf](#)

---

Charlene,

Please find the attached cover letter and associated submittal attachments regarding the Modular Suite at Silverado Resort and Spa.

We would like to schedule a review meeting for the first week of January, can you reply with a suggested date and time for that meeting to this group?

Thank you,

**Matt McEvoy**

Safeway Open, PGA Tour in Napa Valley  
Assistant Tournament Director

*T 503 924 6210 / M 503 748 9973*  
*E [mmcevoy@lagardere-se.com](mailto:mmcevoy@lagardere-se.com)*  
*[5671 SW Arctic Dr. Beaverton, OR 97005](#)*

---

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---



A Tradition of Stewardship  
A Commitment to Service

file No PLT-00087-MOD

**Napa County**  
**Planning, Building, and Environmental Services**  
1195 Third Street, Suite 210, Napa, California, 94559 phone (707) 253-4417  
web [www.countyofnapa.org](http://www.countyofnapa.org) email [planning@countyofnapa.org](mailto:planning@countyofnapa.org)

**Use Permit Application**

**RECEIVED**

**MAR 02 2017**

Napa County Planning, Building  
& Environmental Services

*To be completed by Planning staff...*

Application Type: Major Modification

Date Submitted: 3/2/2017 Resubmittal(s): \_\_\_\_\_ Date Complete: \_\_\_\_\_

Request: \_\_\_\_\_

\*Application Fee Deposit: \$5000. - Receipt No. \_\_\_\_\_ Received by: TA Date: 3/2/17

*\*Total Fees will be based on actual time and materials*

*To be completed by applicant...*

Project Name: Modular Suite - Safeway Open

Assessor's Parcel No: 060-010-001 Existing Parcel Size: 278.73 ac.

Site Address/Location: 1600 Atlas Peak Road Napa CA 94558  
No. Street City State Zip

Primary Contact: ☐ Owner ☐ Applicant ☒ Representative (attorney, engineer, consulting planner, etc.)

Property Owner: Silverado Resort Investment Group

Mailing Address: 1600 Atlas Peak Road Napa CA 94558  
No. Street City State Zip

Telephone No: (707) 257-0200 E-Mail: John.evans@silveradoresort.com

Applicant (if other than property owner): Lagardere Sports / Safeway Open

Mailing Address: 5671 SW Arctic Drive Beaverton OR 97005  
No. Street City State Zip

Telephone No: (503) 924-6210 E-Mail: mmcevoy@lagardere-se.com

Representative (if applicable): Matt McEvoy, Lagardere Sports

Mailing Address: 5671 SW Arctic Dr. Beaverton OR 97005  
No. Street City State Zip

Telephone No: (503) 748-9973 E-Mail: mmcevoy@lagardere-se.com

## Use Permit Information Sheet

### Use

Narrative description of the proposed use (please attach additional sheets as necessary):

See Attached

See Revised Dated  
Aug 18, 2017 CF

What, if any, additional licenses or approvals will be required to allow the use?

District \_\_\_\_\_

Regional \_\_\_\_\_

State \_\_\_\_\_

Federal \_\_\_\_\_

### Improvements

Narrative description of the proposed on-site and off-site improvements (please attach additional sheets as necessary):

N/A

## Improvements, cont.

Total on-site parking spaces: \_\_\_\_\_ existing \_\_\_\_\_ proposed

Loading areas: \_\_\_\_\_ existing \_\_\_\_\_ proposed

Fire Resistivity (check one; if not checked, Fire Marshal will assume Type V – non rated):

- ☐ Type I FR    ☐ Type II 1 Hr    ☐ Type II N (non-rated)    ☐ Type III 1 Hr    ☐ Type III N  
☐ Type IV H.T. (Heavy Timber)    ☐ Type V 1 Hr.    ☐ Type V (non-rated)  
(for reference, please see the latest version of the California Building Code)

Is the project located in an Urban/Wildland Interface area? ☐ Yes ☒ No

Total land area to be disturbed by project (include structures, roads, septic areas, landscaping, etc): 0 \_\_\_\_\_ acres

## Employment and Hours of Operation

Days of operation: \_\_\_\_\_ existing Monday - Friday proposed

Hours of operation: \_\_\_\_\_ existing 9am - 5pm proposed

Anticipated number of employee shifts: \_\_\_\_\_ existing 1 proposed

Anticipated shift hours: \_\_\_\_\_ existing 40 proposed

Maximum Number of on-site employees:

☒ 10 or fewer    ☐ 11-24    ☐ 25 or greater (specify number) \_\_\_\_\_

< 5

No use of  
Bait of Employees  
per Aug 18, 2017  
Revised Project  
Description -  
CJ

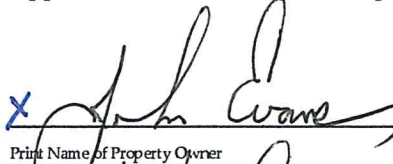
## Certification and Indemnification

Applicant certifies that all the information contained in this application, including all information required in the Checklist of Required Application Materials and any supplemental submitted information including, but not limited to, the information sheet, water supply/waste disposal information sheet, site plan, floor plan, building elevations, water supply/waste disposal system site plan and toxic materials list, is complete and accurate to the best of his/her knowledge. Applicant and property owner hereby authorize such investigations including access to County Assessor's Records as are deemed necessary by the County Planning Division for preparation of reports related to this application, *including the right of access to the property involved.*

Pursuant to Chapter 1.30 of the Napa County Code, as part of the application for a discretionary land use project approval for the project identified below, Applicant agrees to defend, indemnify, release and hold harmless Napa County, its agents, officers, attorneys, employees, departments, boards and commissions (hereafter collectively "County") from any claim, action or proceeding (hereafter collectively "proceeding") brought against County, the purpose of which is to attack, set aside, void or annul the discretionary project approval of the County, or an action relating to this project required by any such proceeding to be taken to comply with the California Environmental Quality Act by County, or both. This indemnification shall include, but not be limited to damages awarded against the County, if any, and cost of suit, attorneys' fees, and other liabilities and expenses incurred in connection with such proceeding that relate to this discretionary approval or an action related to this project taken to comply with CEQA whether incurred by the Applicant, the County, and/or the parties initiating or bringing such proceeding. Applicant further agrees to indemnify the County for all of County's costs, attorneys' fees, and damages, which the County incurs in enforcing this indemnification agreement.

Applicant further agrees, as a condition of project approval, to defend, indemnify and hold harmless the County for all costs incurred in additional investigation of or study of, or for supplementing, redrafting, revising, or amending any document (such as an EIR, negative declaration, specific plan, or general plan amendment) if made necessary by said proceeding and if the Applicant desires to pursue securing approvals which are conditioned on the approval of such documents.

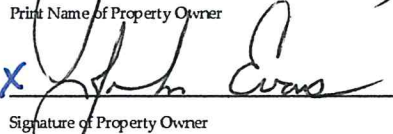
In the event any such proceeding is brought, County shall promptly notify the Applicant of the proceeding, and County shall cooperate fully in the defense. If County fails to promptly notify the Applicant of the proceeding, or if County fails to cooperate fully in the defense, the Applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the County. The County shall retain the right to participate in the defense of the proceeding if it bears its own attorneys' fees and costs, and defends the action in good faith. The Applicant shall not be required to pay or perform any settlement unless the settlement is approved by the Applicant.

X  John Evans, John EVANS

Print Name of Property Owner

 Matt McEvoy

Print Name Signature of Applicant (if different)

X  3.1.2017

Signature of Property Owner

Date

 3/1/17

Signature of Applicant

Date

## Water Supply/ Waste Disposal Information Sheet

### Water Supply

Please attach completed Phase I Analysis sheet.

#### Domestic

#### Emergency

Proposed source of water  
(e.g., spring, well, mutual water company, city, district, etc.):

Name of proposed water supplier  
(if water company, city, district):

Is annexation needed?

☐ Yes ☒ No

☐ Yes ☐ No

Current water use:

< 3 gallons per day (gal/d)

Current water source:

1/2 inch line

Anticipated future water demand:

< 3 gal/d

Water availability (in gallons/minute):

gal/m

Capacity of water storage system:

gal

Type of emergency water storage facility if applicable  
(e.g., tank, reservoir, swimming pool, etc.):

### Liquid Waste

Please attach Septic Feasibility Report

#### Domestic

#### Other

Type of waste:

sewage

Disposal method (e.g., on-site septic system, on-site ponds, community system, district, etc.):

on-site holding

Name of disposal agency  
(if sewage district, city, community system):

United Site Services

Is annexation needed?

☐ Yes ☒ No

☐ Yes ☐ No

Current waste flows (peak flow):

< 3 gal/d

Anticipated future waste flows (peak flow):

< 3 gal/d

Future waste disposal design capacity:

30 gal/d

### Solid Waste and Recycling Storage and Disposal

Please include location and size of solid waste and recycling storage area on site plans in accordance with the guidelines available at [www.countyofnapa.org/dem](http://www.countyofnapa.org/dem).

### Hazardous and/or Toxic Materials

If your facility generates hazardous waste or stores hazardous materials above threshold planning quantities (55 gallons liquid, 500 pounds solid or 200 cubic feet of compressed gas) then a hazardous materials business plan and/or a hazardous waste generator permit will be required.

### Grading Spoils Disposal

Where will grading spoils be disposed of?

(e.g. on-site, landfill, etc. If off-site, please indicate where off-site):

**NAPA COUNTY UNIFIED PROGRAM CONSOLIDATED FORM  
FACILITY INFORMATION  
BUSINESS ACTIVITIES**

Page 1 of

**I. FACILITY IDENTIFICATION**

FACILITY ID # (Agency Use Only)		EPA ID # (Hazardous Waste Only)	
BUSINESS NAME (Same as Facility Name of DBA-Doing Business As)	Modular Suite - Salinas Open		
BUSINESS SITE ADDRESS	1600 Artes Peak Road		
BUSINESS SITE CITY	CA	ZIP CODE	
CONTACT NAME	Matt McEwen	PHONE	916-965-5808

**II. ACTIVITIES DECLARATION**

**NOTE: If you check YES to any part of this list, please submit the Business Owner/Operator Identification page.**

Does your facility...	If Yes, please complete these pages of the UPCF ....	
<b>A. HAZARDOUS MATERIALS</b> Have on site (for any purpose) at any one time, hazardous materials at or above 55 gallons for liquids, 500 pounds for solids, or 200 cubic feet for compressed gases (include liquids in ASTs and USTs); or the applicable Federal threshold quantity for an extremely hazardous substance specified in 40 CFR Part 355, Appendix A or B; or handle radiological materials in quantities for which an emergency plan is required pursuant to 10 CFR Parts 30, 40 or 70?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	4 HAZARDOUS MATERIALS INVENTORY - CHEMICAL DESCRIPTION
<b>B. REGULATED SUBSTANCES</b> Have Regulated Substances stored onsite in quantities greater than the threshold quantities established by the California Accidental Release prevention Program (CalARP)?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	4a Coordinate with your local agency responsible for CalARP.
<b>C. UNDERGROUND STORAGE TANKS (USTs)</b> Own or operate underground storage tanks?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	5 UST FACILITY (Formerly SWCHB Form A) UST TANK (one page per tank) (Formerly Form II)
<b>D. ABOVE GROUND PETROLEUM STORAGE</b> Own or operate ASTs above these thresholds: Store greater than 1,320 gallons of petroleum products (new or used) in aboveground tanks or containers.	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	8 NO FORM REQUIRED TO CUPAs
<b>E. HAZARDOUS WASTE</b> Generate hazardous waste?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	9 EPA ID NUMBER - provide at the top of this page
Recycle more than 100 kg/month of excluded or exempted recyclable materials (per HSC 25143.2)?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	10 RECYCLABLE MATERIALS REPORT (one per recycler)
Treat hazardous waste on-site?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	11 ON-SITE HAZARDOUS WASTE TREATMENT - FACILITY ON-SITE HAZARDOUS WASTE TREATMENT - UNIT (one page per unit)
Treatment subject to financial assurance requirements (for Permit by Rule and Conditional Authorization)?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	12 CERTIFICATION OF FINANCIAL ASSURANCE
Consolidate hazardous waste generated at a remote site?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	13 REMOTE WASTE / CONSOLIDATION SITE ANNUAL NOTIFICATION
Need to report the closure/removal of a tank that was classified as hazardous waste and cleaned on-site?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	14 HAZARDOUS WASTE TANK CLOSURE CERTIFICATION
Generate in any single calendar month 1,000 kilograms (kg) (2,200 pounds) or more of federal RCRA hazardous waste, or generate in any single calendar month, or accumulate at any time, 1 kg (2.2 pounds) of RCRA acute hazardous waste; or generate or accumulate at any time more than 100 kg (220 pounds) of spill cleanup materials contaminated with RCRA acute hazardous waste.	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	14a Obtain federal EPA ID Number, file Biennial Report (EPA Form 8700-13A/B), and satisfy requirements for RCRA Large Quantity Generator.
Household Hazardous Waste (HHW) Collection site?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	14b See CUPA for required forms.

**F. LOCAL REQUIREMENTS**

(You may also be required to provide additional information by your CUPA or local agency.)

UPCF Rev. (12/2007)

# SAFEWAY OPEN



SAFEWAY OPEN

BUILDING NUMBER:

ISSUE/REVISION:

NO. DATE DESCRIPTION

SHEET LEGEND:

--- PROPERTY LINE  
 --- ACCESSIBLE PATH OF TRAVEL

SCALE: NOT TO SCALE

DATE: 02/28/17

PROJECT NO: 16-008

PERMIT APPLICATION NO:

SHEET CONTENT:

MODULAR SUITE

SHEET NUMBER

1

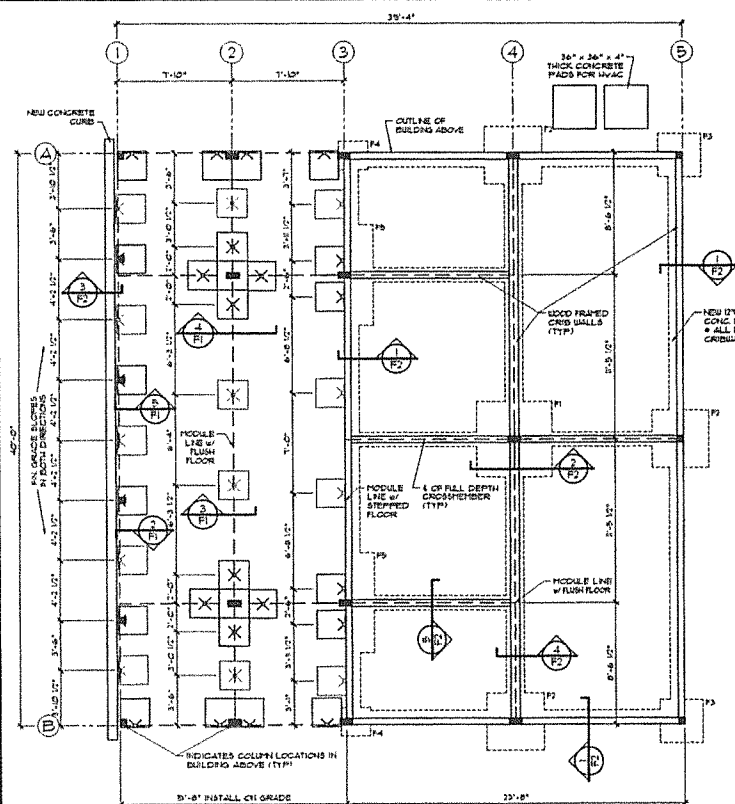
OF 1

**RECEIVED**

MAR 02 2017

Napa County Planning, Building  
& Environmental Services





**COMMERCIAL MODULAR FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

**FOOTING SCHEDULE**

- F1 - 3'-3" x 3'-3" x 12" DEEP W/ 4 # 6'S EACH WAY  
F2 - 4'-0" x 4'-0" x 12" DEEP W/ 4 # 6'S EACH WAY  
F3 - 3'-0" x 3'-0" x 12" DEEP W/ 4 # 6'S EACH WAY  
F4 - 2'-0" x 2'-0" x 12" DEEP W/ 4 # 6'S EACH WAY  
F5 - 2'-0" x 2'-0" x 12" DEEP W/ 4 # 6'S EACH WAY

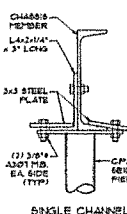
**CONSTRUCTION NOTES**

- FOUNDATION DESIGN LOADS:  
FLOOR LIVE LOAD = 125 PSF (UPPER LEVEL FLOOR)  
FLOOR LIVE LOAD = 100 PSF  
ULT. WIND SPEED = 100 MPH (E-W & N-S)  
SEISMIC RESPONSE ACCELERATION: 0.15 (SDS) 0.20 (SDS) 0.25 (SDS)  
SITE CLASS: D
- ALL WORK SHALL CONFORM TO 2013 CBC AND/OR LOCAL BUILDING CODES.
- ALLOWABLE SOIL BEARING CAPACITY ASSUMED TO BE 1500 PSF.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON PLANS. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES.
- THIS DESIGN IS BASED ON THE FLOOR & ROOF ASSEMBLIES ACTING AS CONTINUOUS DIAPHRAGMS TO DISTRIBUTE LATERAL LOADS. REFER TO BUILDING MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR PROPER INTER-MODULE CONNECTIONS.
- ALL LUMBER IN CONTACT WITH OR WITHIN 6" OF SOIL TO BE PRESERVATIVE TREATED.
- ALL FASTENERS USED IN FOUNDATION MUST BE CORROSION RESISTANT.
- ADJACENT GROUND SURFACES SHOULD BE SLOPED AWAY FROM STRUCTURE AT 1" PER FOOT FOR A MINIMUM DISTANCE OF 4 FEET. DRAINAGE OF SURROUNDING AREA SHALL BE PROVIDED TO PREVENT ACCUMULATION OF SURFACE WATER.
- SKIRTINGS IF USED MUST BE SELF-SUPPORTING AND MAY NOT TRANSFER ANY LOAD.
- IF SKIRTINGS IS USED, UNDER FLOOR AREA MUST BE VENTILATED AT 1 SQ. FT. FOR EACH 350 SQ. FT. OF FLOOR AREA. OPENINGS MUST BE COVERED W/ CORROSION RESISTANT MESH WITH OPENINGS OF 1/4 INCH.

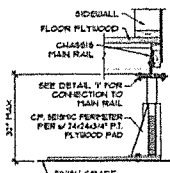
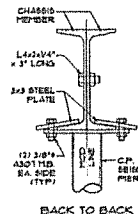
- IF SKIRTING IS USED, AN ACCESS OPENING WITH DIMENSIONS NOT LESS THAN 18"x24" SHALL BE PROVIDED WITH HATCH AND LOCK.
- HEIGHT OF FINISHED FLOOR ABOVE GRADE SHALL NOT EXCEED 30".
- ALL SITE/UTILITY GRADING DESIGN BY OTHERS.
- PREFABRICATED FOUNDATION UNITS ARE TO BE C.P. SEISMIC PIER\* COMMERCIAL MODULAR FOUNDATION (CALIFORNIA AND STATE APPROVAL NO. 30-79) MANUFACTURED BY CENTRAL PIERS, INC.
- C.P. SEISMIC PIER FOUNDATION UNITS SHALL BE PROPERLY SET ON FINISH GRADE SO THAT REASONABLY FIRM BEARING IS ACHIEVED.
- IF DIFFERENTIAL SETTLEMENT EXCEEDS 1/4", THE PIERS SHALL BE READJUSTED TO PROVIDE PROPER SUPPORT.
- THE MANUFACTURER'S INSTRUCTIONS MUST BE STRICTLY ADHERED TO WHEN INSTALLING PIERS, EARTH ANCHORS, THE STRAPS, ETC.
- ALL UTILITY CONNECTIONS AT ENTRANCE TO BUILDING SHALL BE MADE W/ FLEXIBLE TYPE CONNECTIONS.
- MODULAR BUILDING TO BE CALIFORNIA AND APPROVED COMMERCIAL GRADE.
- ACUMEN ENGINEERING WILL NOT INSPECT THE INSTALLED FOUNDATION SYSTEM. THE OWNER OF THIS BUILDING AGREES TO INDemnIFY ACUMEN ENGINEERS FOR DAMAGES ARISING FROM IMPROPER INSTALLATION.

**CONCRETE NOTES**

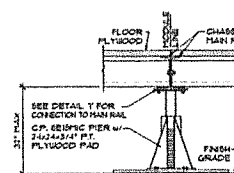
- ALL REINFORCING STEEL SHALL BE ASTM A-63, GRADE 60.
- ALL REINFORCING STEEL TO OVERLAP A MINIMUM OF 24" AT SPLICES.
- ALL CORNER BARS TO MATCH CONTINUOUS STEEL.
- THE MINIMUM ALLOWABLE CONCRETE COMPRESSIVE STRENGTH SHALL BE 3000 PSI AT 28 DAYS. MAXIMUM AGGREGATE SIZE IS 1/2" MAXIMUM AIR ENTRAINMENT IS 3% CEMENT SHALL BE TYPE I.



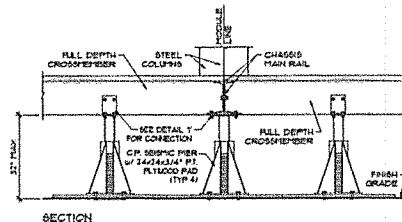
**1 DETAIL**  
SCALE: 3/4" = 1'-0"  
(SEISMIC PIER TO CHASSIS)



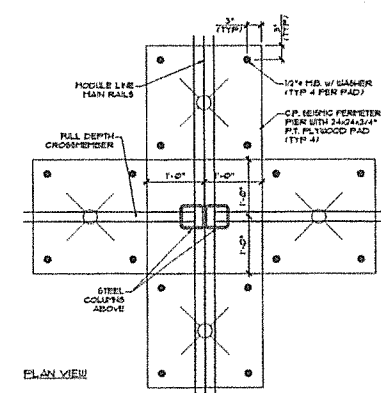
**2 DETAIL**  
SCALE: 3/4" = 1'-0"  
(EXT. MAIN RAIL - GRID LINE 1)



**3 DETAIL**  
SCALE: 3/4" = 1'-0"  
(MODULE LINE - GRID LINE 2)

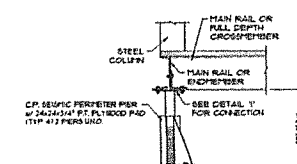


**SECTION**



**PLAN VIEW**

**4 DETAIL**  
SCALE: 3/4" = 1'-0"  
(INTERIOR COLUMN - GRID LINES 2 & 4)



**5 DETAIL**  
SCALE: 3/4" = 1'-0"  
(TYP COLUMN SUPPORT)

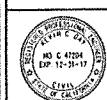
REVISIONS	DATE	BY
-----------	------	----

2209 SOUTH 600 EAST  
DRAFTER: J.T. 84270  
(801) 571-5371  
FAX: (801) 571-5351

**ACUMEN**  
Engineering, Inc.

**SAFEWAY OPEN Y**

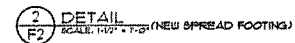
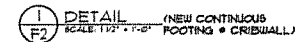
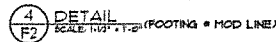
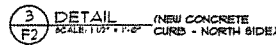
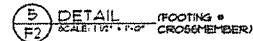
**COMMERCIAL MODULAR FOUNDATION DESIGN**  
MODULAR V.I.P. SUITES  
18150 CALIFORNIA AVE.  
NAPA, CALIFORNIA 94950



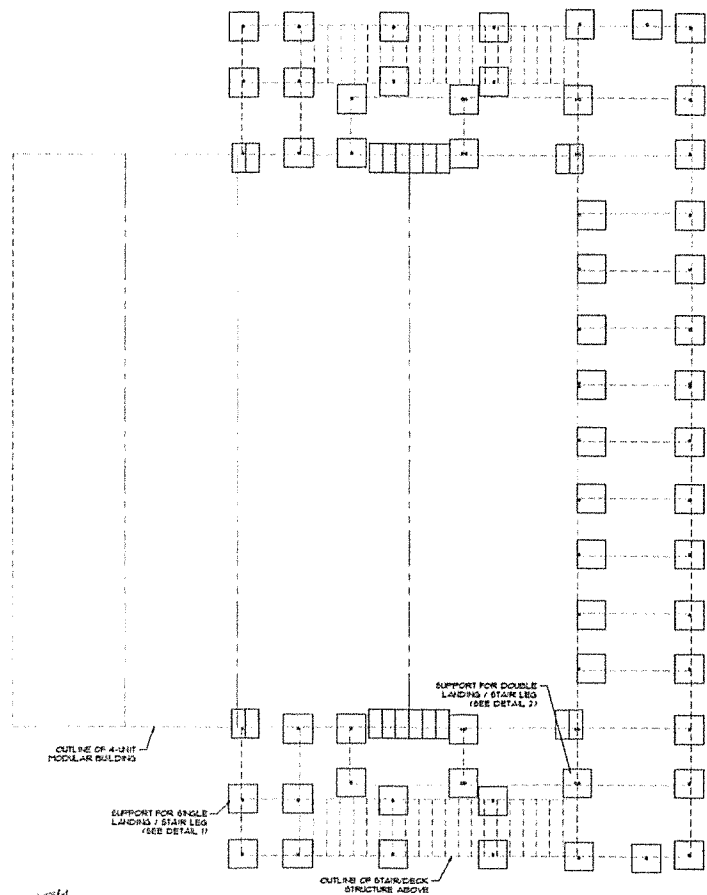
FEB 01 2016

DATE: 1/16  
SCALE: 3/4" = 1'-0"  
DWG: AD  
JOB: 15111

SHEET  
**F1**  
OF 3 SHEETS



F2

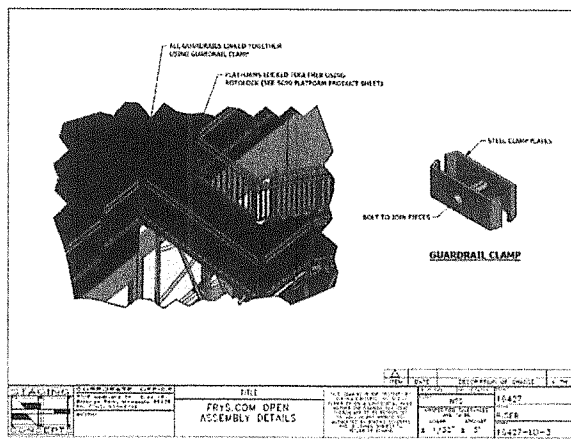
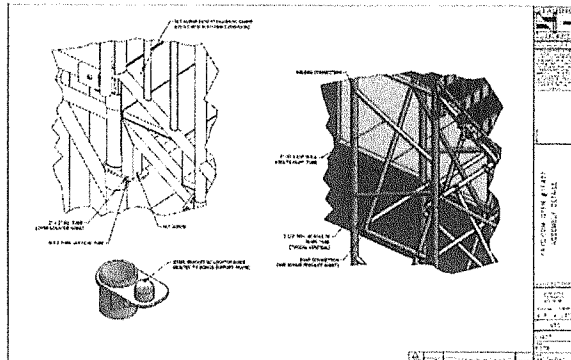
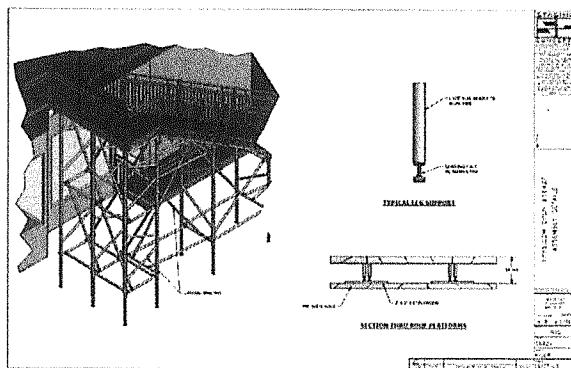


# DECKING / STAIR SUPPORT PLAN

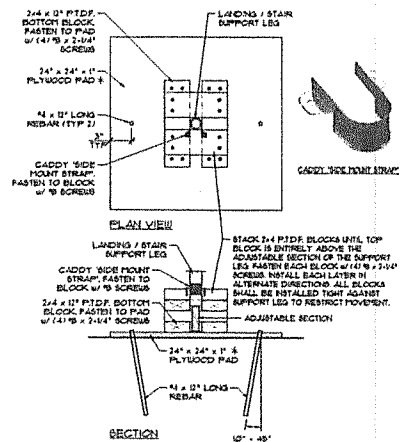
SCALE: 1/4" = 1'-0"

## NOTES:

- 1) DECK / STAIR DESIGN IS BY STAGIS CONCEPTS.
- 2) DECK / STAIR STRUCTURE TO BE INSTALLED IN COMPLIANCE WITH STAGIS CONCEPTS' INSTALLATION INSTRUCTIONS.
- 3) LOCATIONS OF SINGLE LEG & DBL LEG SUPPORTS MAY VARY SLIGHTLY FROM THOSE SHOWN.



DATE	DESCRIPTION	BY	CHECKED BY
10/27/10	DECKING / STAIR SUPPORT PLAN	STAGIS	STAGIS
10/27/10	DECKING / STAIR SUPPORT PLAN	STAGIS	STAGIS
10/27/10	DECKING / STAIR SUPPORT PLAN	STAGIS	STAGIS

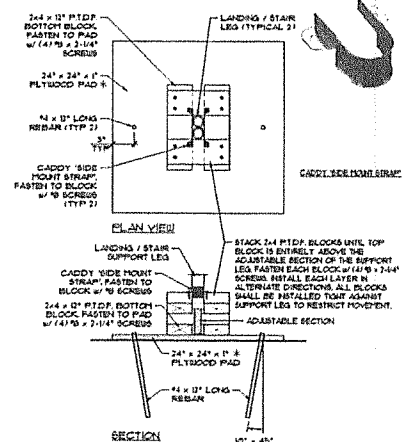


NOTE: PLTWOOD PAD DESIGN IS BY OTHERS.

**1** **DETAIL** (DECK / STAIR SINGLE LEG SUPPORT TO GROUND CONNECTION)

SCALE: 1/2" = 1'-0"

\* PADS MAY BE STACKED AS NEEDED. MAXIMUM STACK HEIGHT IS 6". ALL STACKED PADS MUST BE FASTENED TOGETHER.



NOTE: PLTWOOD PAD DESIGN IS BY OTHERS.

**2** **DETAIL** (DECK / STAIR DOUBLE LEG SUPPORT TO GROUND CONNECTION)

SCALE: 1/2" = 1'-0"

\* PADS MAY BE STACKED AS NEEDED. MAXIMUM STACK HEIGHT IS 6". ALL STACKED PADS MUST BE FASTENED TOGETHER.

REVISIONS	
DATE	BY

18003 SOUTH 600 EAST  
DRAFTER: J. B. BARTO  
(801) 571-1981  
FLX (801) 571-1981

**ACUMEN**  
Engineering, Inc.

**SAFETYWAYS OPEN**

SAFETYWAYS OPEN DRIVE  
BEAVERTON, OREGON 97005

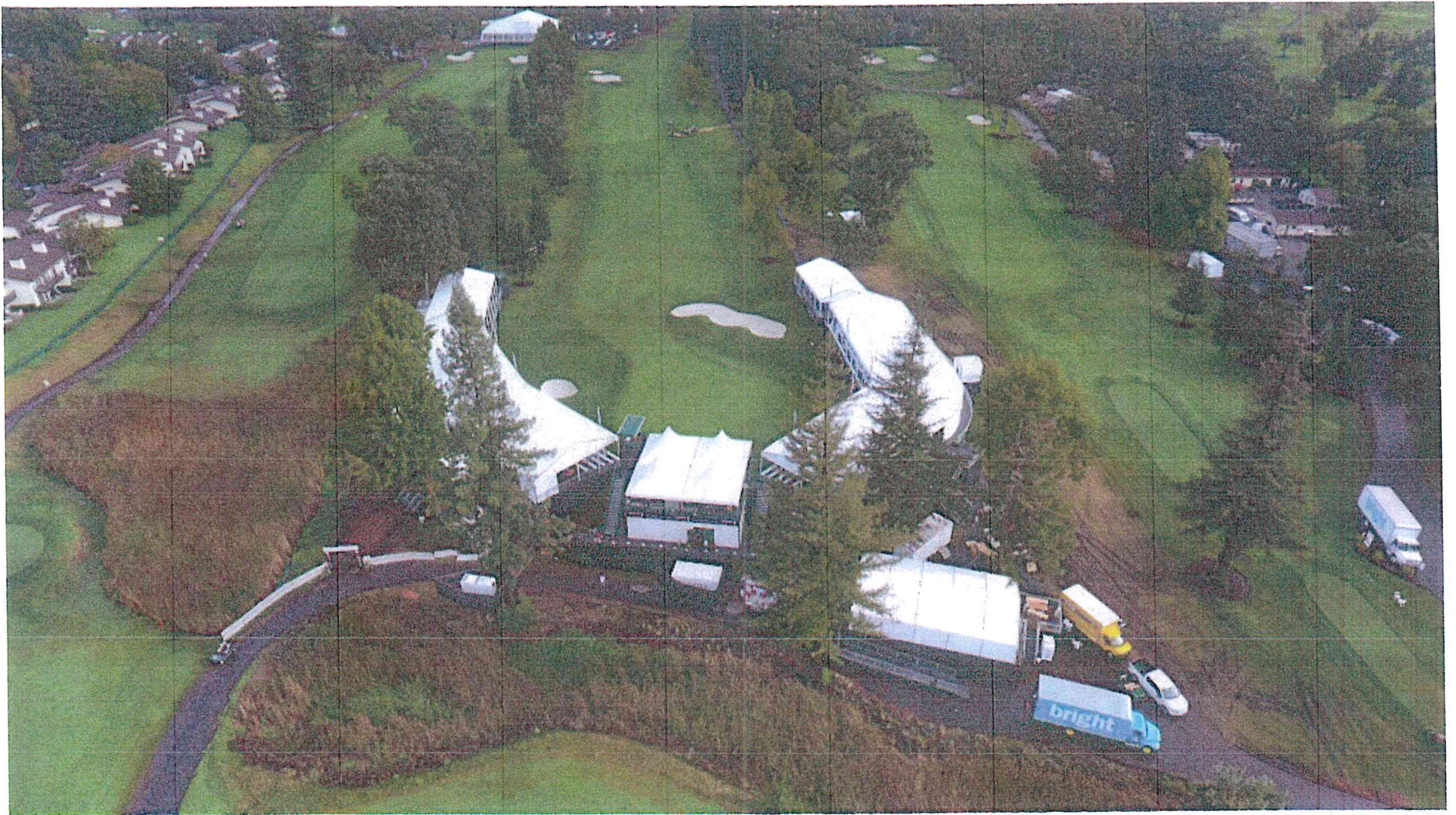
COMMERCIAL MODULAR FOUNDATION DESIGN

MODULAR V.I.P. SUITES  
1800 ATLANTIC AVE. SUITE 200  
NAPA, CALIFORNIA 94558

NO. C 47204  
EXP. 12-31-17

FEB 01 2016

DATE: 1/26  
SCALE: SHOWN  
DWN: AD  
JOB: 15110  
SHEET: F3  
OF 3 SHEETS



*Safeway Open Temporary Event Build Out, 18 Green  
Aerial Rear of Structures*



*Safeway Open Temporary Event Build Out, 18 Green  
Front of Structures*



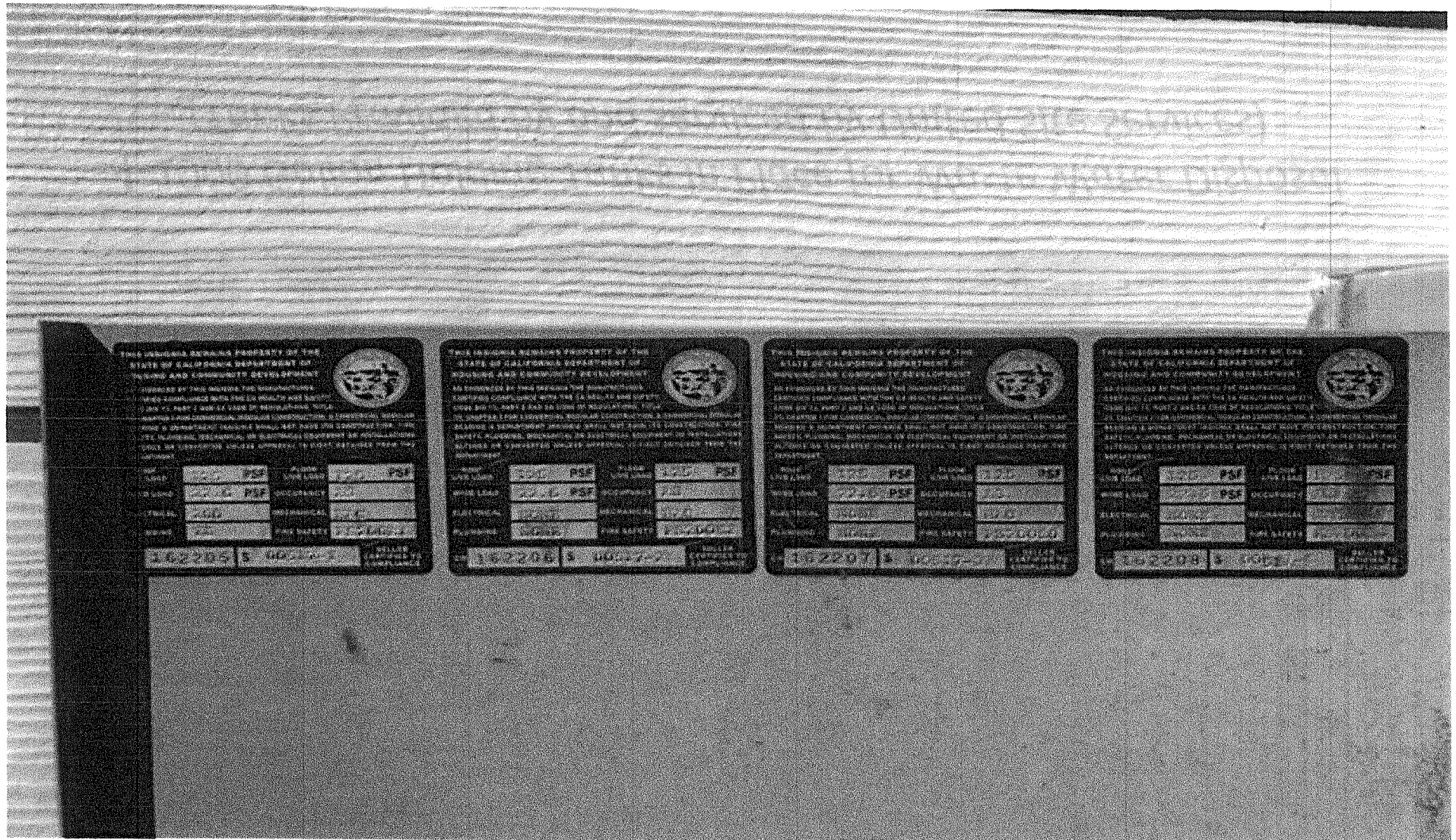
*Safeway Open Modular Building Annual Build, 18 Green  
Rear of Structure*



*Safeway Open Modular Building Annual Build, 18 Green  
Front of Structure*



*4-1000 Gallon Holding Tanks In Place for Waste Water Disposal  
(Tanks Provided by and serviced by United Site Services)*



*Proof of certified compliance by the California State Department  
Housing and Community Development  
(CM162205, 162206, 162207, 162208, 162209)*