



June 28, 2013

Revised: September 24, 2013

Nate Galambos  
Napa County Engineering Services  
1195 Third Street  
Napa, California 94559

Subject: Kitchak Cellars  
1094 Hardman Avenue, Napa APN: 039-190-055 (previously APN: 039-190-038)  
Road Exception Request for Access Drive to Winery

Nate,

This letter is to request road exceptions for an existing improved access drive from Hardman Avenue to an existing winery and residence located at 1094 Hardman Avenue on Napa County Assessor's parcel 039-190-055 (the previous APN of the parcel was 039-190-038, and was updated to 039-190-055 in a recent lot line adjustment). The owner, Peter Kitchak, has submitted a request for a major modification to the existing use permit to construct a new barrel building in conjunction with expanding annual wine production from 5,000 gallons to 15,000 gallons and increasing daily visitation from 12 guests to 20 guests (by appointment only). Also to note, the owner originally applied for eight (8) parking stalls at the winery, but has agreed to reduce this request to only six (6) parking stalls.

The winery is located adjacent to the owner's residence and the proposed barrel building will be in the vicinity of the winery. The winery and residence is accessed by an existing driveway of approximately 800 feet in length from Hardman Avenue. The driveway also provides access to a residence located at 1100 Hardman Avenue via an existing legal access and utility easement. The driveway transitions to a one-way loop road at Station 8+00 where it continues to the winery and residence. See **Exhibit A** for the Use Permit Plans which include the existing site plan with dimensions.

The main 800 foot section of the driveway is unique; it consists of two concrete wheel strips, each of which is 3.25 feet wide and the driveway is lined by approximately 55 mature cypress trees with typical trunk diameters of 8 inches breast diameter height. The trees are spaced on approximate 30 foot centers along the driveway. In beyond and between the concrete wheel strips, is a double chip seal pea gravel surface which creates an overall driveway width between 15.5 and 17 feet. Immediately adjacent to the edge of the outer travel way on each side are the mature cypress trees and row of mature vines. Three turnouts are located along the driveway; at the front gate (71 feet in length) at the midpoint (50 feet in length), and at the end of the road (75 feet in length) where it transitions into a one-way loop road.

The one-way loop road is approximately 650 feet in length, and is proposed to be improved in order to meet the 14 foot wide requirement along the entire length. Four (4) curves along the one-way loop road do not meet the 50-foot inside horizontal radius requirement, and each are noted in the 'Road Exception Request Descriptions' included in this letter. For the first 150 feet (stations 8+00 to 9+50), the loop road wraps around mature olive and cypress trees. The road then opens up to a vehicle courtyard large enough to support a fire truck turnaround and fire department staging area. The road continues through the winery site where it wraps around the existing garage and existing vines. At station 12+50, the loop road crosses the property line onto the eastern neighbor's parcel, where an access easement grants permission for egress from the Kitchak property. In order to meet the



Road and Street Standards with exception to the horizontal radius, the following, as depicted on Sheet C2.1 of the attached Use Permit Plans in **Exhibit A**, are proposed to be improved:

- Relocation of the fire hydrant to allow for a fire staging area outside of the one-way loop road's path of travel
- Widening and realignment of the road from Station 11+25 to 14+00 to provide a minimum width of 14 feet and to provide all horizontal curves with a 50 foot inside radius except for the single curve from Station 11+75 to 12+50, which is noted below in the 'Road Exception Request Descriptions
- Installing a new 'Stop' sign at Station 11+95 where the road connects to the north-south section of road travelling toward Hardman Avenue. The stop sign is intended to limit the vehicle design speed as the proposed inside radius at this curve is 25 feet.

According to the Napa County Road & Street Standards as revised August 9, 2011, the stated objectives of the Standards are to 1a) provide reasonable standards (emphasis added) that relate to terrain and parcel size and to 1b) strive to preserve the natural landscape and desirable aesthetic features (emphasis added). The Standard also discusses that "these Standards that were developed and revised over the years represent an effort to meet all of the objectives noted above (referring to Section 1a-i) while striving to maintain the preservation of the health, safety, and welfare of the public. The 2011 revisions are intended to provide clarification and flexibility to the standards, in order to balance conformant with local, state, and federal regulations, general engineering, and construction practices, and accommodation of unique project elements (emphasis added)."

In addition, Section 3 of the Standards (Exception to Standards) describes that "an exception to these Standards, when properly submitted, reviewed, and approved by the Director, the Planning Commission or other approving body, is intended to serve as an alternative method by which adherence to these Standards may be achieved at the same time as the County assures compliance with its goal to protect and ensure the preservation of the unique features of the natural environment (emphasis added). It is also intended to ensure compliance with the SRA Fire Safe Regulations (14 CCR 1270-1274)."

Section 3.D of the Standard describes granting exceptions if "the exception will preserve unique features (emphasis added) of the natural environment which includes, but is not limited to, natural water courses, steep slopes, geological features, heritage oak trees, or other trees of (at) least 6" diameter breast height and found by the decision-maker to be of significant importance (emphasis added), but does not include man made environmental features such as vineyards, rock walls, ornamental or decorative landscaping, fences or the like (Section 3.D.1). Note that the term "other trees" is not limited in any way and the phrase "but does not include man made environmental features such as vineyards, rock walls, ornamental or decorative landscaping, fences and the like" quite clearly modifies the phrase "the unique features of the natural environment" and not the word "trees". In addition, Section D describes that "the exception is necessary to accommodate other limiting factors such as recorded historical sites or legal constraints (emphasis added)" (Section 3.D.3).

In the recognized exceptions within the Road and Street Standards, the code references trees with a diameter breast height greater than 6 inches and determined to be of significant importance by the decision-maker. The driveway was constructed in or around 1995 in conjunction with a remodeling project at the residence located at 1100 Hardman Avenue. The winery use permit was issued in 2010. In the use permit conditions of approval, the approval document makes considerations to the existing conditions and required that the driveway "be improved in a manner so as to: 1) have the least amount of effect on existing landscaping improvements; 2) conserve costs to the permittee; and, 3) preserve the existing landscape design aesthetics." See Paragraph 1 "Scope" of



**Exhibit B** for the copy of the conditions of approval from the 2010 Use Permit Hearing. Based on this comment, it is evident the commission at the time of the issuance of the original Kitchak Winery Use Permit were already noting significant importance of the Cyprus trees along the driveway.

In addition, in the 2011 revisions to the Road and Street Standards, *legal constraints* were added as a recognizable exception to the Road and Street Standards. The total length of the main access drive into the Kitchak Cellars property is bounded by a legal easement shared by the owners of 1100 Hardman Avenue. The driveway is also the subject of a driveway easement and maintenance agreement between the owners of the 1100 property and the Kitchak's. That agreement, a copy of which is attached as **Exhibit C**, does not permit either party to make changes to the driveway unilaterally, and it requires, even for maintenance work, the written approval of both parties. The owners of the 1100 Hardman Avenue property have indicated in an email to the Kitchaks that they have no objection to the construction of the new building, the production increase of the winery or the slight increase in tastings. This email is included as **Exhibit D** of this report. However, they purchased the property with the driveway in its current configuration and have indicated verbally to the Kitchaks that they are not interested in approving the removal of a large number of the driveway trees. Thus, the driveway maintenance agreement with the neighbor can be found to constitute a legal constraint on the driveway and the Kitchak's ability to make any changes to it. In addition, Paragraph 8 of the original conditions of approval for the winery permit (**Exhibit B**) provides that "No trees greater than 6" dbh shall be removed, except for those identified on the site plan." And, no such trees were shown on that site plan. As a result, the Kitchaks would be in violation of the conditions of the original winery permit were they to remove the Cypress trees lining the driveway. Thus, the original conditions of approval of the winery constitute a second legal constraint on the driveway and the Kitchak's ability to make any changes to it. In addition, the section of the one way loop road from STA 11+50 to 12+50 is bounded by the parcel line and 12 foot access easement onto the neighboring property. In order to meet the Napa County Road and Street Standards, the driveway would be forced to cross onto the neighboring property and outside of the existing access easement. Therefore, the property line and access easement are legally constraining the design of the driveway, and a tighter radius is proposed.

Section 3.E describes that the "zoning administrator, Planning Commission or other approving body shall not grant an exception unless it finds that grant of the exception, as conditioned by the Zoning Administrator, the Planning Commission or other approving body, provides the same overall practical effect as these Standard towards providing defensible space, and consideration towards life, safety, and public welfare. Monetary hardship alone shall not be considered as a basis for an exception".

Oftentimes when analyzing the site accessibility, an emergency vehicle ingress/egress analysis will be performed using a program called "AutoTurn by AutoDesk". This program allows the user to input the parameters of a typical Napa County Fire Apparatus and 'drive' the vehicle through the site plan to determine the feasibility of the truck travelling through the property. An analysis was conducted along the entire length of main access road and one-way loop road, and it has been found the largest expected emergency vehicle, the Napa County Fire Apparatus, is able to travel through the site with only the improvements noted in the included Permit Plans. Thus, the access drive provides the same overall practical effect that the Napa County Road and Street Standards intended.



### Road Exception Request Descriptions

All station locations referenced below correlate with the Use Permit Plans for Kitchak Cellars, included with this submittal as **Exhibit A**

#### **Prior to Station 0+00 :** Road Exception Request for Gate Width less than 20'

The existing entrance gate has a width of 14.5 feet, and while this meets Road and Street Standards for the property's residential use, it does not meet the required 20 foot width as required for the commercial use. The gate and access drive is surrounded by mature 8" diameter Cyprus trees which limit the ability to widen the gate. In addition, the neighboring property (APN 039-190-039) holds an access easement and maintenance agreement over this section of road. To mitigate for the reduced width, a large turnout meeting the Road and Street Standards width and length parameters is located directly after the gate to allow for vehicles to easily be able to pass.

#### **Station 0+00 to 8+00:** Road Exception Request for Travel Way Less than 20'

The travel way does not meet County Standards for driveway width between these stations. A narrow travel way lined with mature 8" diameter cypress trees limits the available travel way to between 15.5 and 17 feet. In addition, the neighboring property (APN 039-190-039) holds an access easement and maintenance agreement over this section of road. To mitigate for the reduced width, three existing turnouts are located along the driveway access.

#### **Station 3+50 to 4+10:** Road Exception Request for Non-Standard Turnout

The access drive is approximately 800 feet in length. The Road and Street Standards require a turnout near the midpoint of this access drive. The property currently has an existing turnout at the above-notes stations meeting the width requirement, but is only 50 feet in length while the standard is 80 feet in length. The turnout is confined between two existing 8" diameter mature cypress trees, and while not able to be fully lengthened to meet the Road and Street Standards, is being proposed to be widened for a total length of 62 feet, reducing each taper from 25 feet in length to 16 feet in length. In addition to the existing mature trees confining the turnout, the neighboring property (APN 039-190-039) holds an access easement and maintenance agreement over this section of road. To mitigate for the reduced length, two additional turnouts from what is required are included along the access drive, each of which meet the Road and Street Standards.

#### **Station 8+00 to 9+75:** Road Exception Request for Three (3) Curves with Inside Horizontal Radii Less than 50'

The path of travel between these stations provides adequate width for a one-way loop road per the Napa County Road and Street Standards. However, the inside radius of the three horizontal curves within this section of road are 46 feet, 43 feet, and 33 feet due to existing 8" diameter mature trees bounding the existing road alignment. Improvements to this section would require demolition of trees. These trees, if deemed 'significant' as was found in the 2010 winery use permit hearing, constitutes an allowable exception within Section 3.d of the Road and Street Standards. The final curve, noted with an inside radius of 33 feet, is located at station 9+75 where the road opens onto an open court, large enough for a fire truck turnaround and the fire department staging area. The available width of the road in this section widens from 14 feet to 32.5 feet, allowing vehicles to easily traverse this curve even with the reduced inside horizontal radius of the access drive.





**Station 11+75 to 12+50: Road Exception Request for Inside Horizontal Radii Less than 50'**

The horizontal curve within these stations provides a vehicular travel way from the existing garage onto an improved vineyard road where the one-way road continues on to meet the access road. The culmination of this horizontal curve crosses the parcel's boundary line, yet stays within an existing access easement this parcel has on the neighboring parcel. Due to limited available width between the existing garage and the edge of the existing access easement, it is not feasible to provide a horizontal curve with a 50 foot inside radius. Therefore, an exception is requested for the horizontal curve with an inside radius of 25 feet based on the legal constraint caused by the limited width the parcel boundary and legal access easement. To limit design speeds within this curve, a stop sign at Station 11+95 is proposed.

Please feel free to contact me if you have any questions.

Sincerely,

Bryan Jackson, P.E.  
Engineering Supervisor

Project: M-101  
Kitchak Cellars



EXHIBIT A  
USE PERMIT PLANS FOR KITCHAK CELLARS

GENERAL NOTES

1. CONTRACTOR SHALL BE APPROPRIATELY LICENSED WITH THE STATE OF CALIFORNIA TO PERFORM THE WORK OUTLINED IN THESE PLANS.
2. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL SECURE ANY CONSTRUCTION PERMITS FROM THE GOVERNING AGENCIES AS NECESSARY AND PAY ALL FEES INCLUDING INSPECTION FEES.
3. ANY WORK DONE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE UNDER AN ENCROACHMENT PERMIT ISSUED BY THE GOVERNING BODY.
4. HOURS OF OPERATION ARE LIMITED TO 7:00 AM TO 7:00 PM, MONDAY THROUGH FRIDAY, AND 8:00AM TO 4:00PM ON WEEKENDS OR LEGAL HOLIDAYS, UNLESS A PERMIT IS FIRST SECURED FROM THE PUBLIC WORKS DIRECTOR (OR HIS/HER DESIGNEE) FOR ADDITIONAL HOURS. THERE WILL BE NO START UP OF MACHINES NOR EQUIPMENT PRIOR TO 8:00AM, MONDAY THROUGH FRIDAY; NO DELIVERY OF MATERIALS NOR EQUIPMENT PRIOR TO 7:30AM NOR PAST 5:00PM, MONDAY THROUGH FRIDAY; NO CLEANING OF MACHINES NOR EQUIPMENT PAST 6:00PM, MONDAY THROUGH FRIDAY; NO SERVING OF EQUIPMENT PAST 6:45 PM, MONDAY THROUGH FRIDAY.
5. CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNERS AND THE ENGINEER HARMLESS FROM ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THE PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNERS OR THE ENGINEER.
6. SHOULD ANY CONTRACTOR OR SUBCONTRACTOR FIND ANY DEFICIENCIES, ERRORS, CONFLICTS OR OMISSIONS IN THESE PLANS AND SPECIFICATIONS, OR SHOULD HE BE IN DOUBT AS TO THEIR MEANING OR INTENT, HE SHALL NOTIFY THE ENGINEER FOR A WRITTEN CLARIFICATION, ADDENDUM, ETC. SHOULD HE FAIL TO DO SO BEFORE SUBMITTING A PROPOSAL, HE CANNOT CLAIM ADDITIONAL COMPENSATION FROM WORK REQUIRED TO COMPLETE THE PROJECT.
7. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. IF THERE IS A CONFLICT, NOTIFY THE ENGINEER AND OBTAIN A CLARIFICATION. NO DEVIATIONS OR SUBSTITUTIONS SHALL BE ALLOWED WITHOUT OBTAINING WRITTEN APPROVAL FROM THE ENGINEER.
8. ALL WORKMANSHIP AND MATERIALS FOR BOTH ONSITE AND OFFSITE IMPROVEMENTS SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE COUNTY OF NAPA, LATEST EDITION OF THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS AND STANDARD PLANS. THE ONSITE IMPROVEMENTS SHALL BE INSPECTED BY THE PUBLIC WORKS INSPECTOR.
9. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR BEING FAMILIAR WITH THE PROVISIONS AND REQUIREMENTS IN THE COUNTY OF NAPA STANDARD SPECIFICATIONS. CONTRACTOR SHALL HAVE A COPY AVAILABLE AT THE JOB SITE AT ALL TIMES.
10. CONTRACTOR SHALL NOTIFY THE NAPA COUNTY PUBLIC WORKS DEPARTMENT AT (707) 253-4351 AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
11. CONTRACTOR SHALL REQUEST INSPECTIONS A MINIMUM OF ONE WORKING DAY IN ADVANCE BY CALLING THE COUNTY OF NAPA PUBLIC WORKS DEPARTMENT AT (707) 253-4351.
12. CONTRACTOR SHALL PROVIDE EMERGENCY TELEPHONE NUMBERS TO THE COUNTY SHERIFF, FIRE AND PUBLIC WORKS DEPARTMENTS AND KEEP THEM INFORMED ONLY REGARDING STREETS UNDER CONSTRUCTION AND DETOURS. DETOURS SHALL NOT BE PERMITTED UNLESS APPROVED IN WRITING BY THE PUBLIC WORKS DIRECTOR.
13. CONTRACTOR SHALL PROVIDE AND MAINTAIN SUFFICIENT BARRICADES TO PROVIDE FOR THE SAFETY OF THE GENERAL PUBLIC TO THE SATISFACTION OF THE PUBLIC WORKS DIRECTOR.
14. ALL MATERIAL SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
15. FADED BACKGROUND REPRESENTS EXISTING TOPOGRAPHIC FEATURES.

GRADING NOTES

1. ANY AND/OR ALL MOVEMENT OF EARTH SHALL COMPLY WITH THE COUNTY OF NAPA STANDARDS AND SPECIFICATIONS (CURRENT EDITION), THE COUNTY OF NAPA CONSERVATION REGULATIONS, THE CALIFORNIA BUILDING CODE, THE PROJECT GEOTECHNICAL REPORT (IF ANY), AND THESE PLANS.
2. THE SOILS ENGINEER SHALL BE NOTIFIED AT LEAST THREE (3) DAYS IN ADVANCE OF COMMENCING WORK, INCLUDING SITE STRIPPING AND GRADING OPERATIONS. THIS WORK SHALL BE OBSERVED AND TESTED BY THE SOILS REPRESENTATIVE AT THE OWNER'S EXPENSE.
3. WHEN ABSENT A GEOTECHNICAL REPORT FOR THE PROJECT, ALL CUT AND FILL SLOPES SHALL BE A MAXIMUM OF 2:1. ALL FILLS SHALL BE COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DENSITY.
4. SITE SHALL BE VISUALLY INSPECTED BY THE CONTRACTOR TO DETERMINE THE EXTENT OF CLEARING, GRUBBING AND GRADING WORK TO BE DONE. NO ADDITIONAL GRADING BEYOND WHAT IS SHOWN ON THESE PLANS SHALL BE COMPLETED.
5. SOIL STRIPPED IN THE AREAS TO BE PAVED SHALL BE STOCKPILED FOR USE IN LANDSCAPED AREAS. CONTRACTOR SHALL COORDINATE WITH LANDSCAPE CONTRACTOR.
6. SPOILS SHALL NOT BE LEFT IN PILES EITHER ON- OR OFF-SITE. RATHER IT SHALL BE REMOVED FROM OR SPREAD OUT OVER THE PROPERTY INVOLVED.
7. CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT AND DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL. IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE PUBLIC WORKS DIRECTOR OR HIS DESIGNATED REPRESENTATIVE, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
8. ANY SPOILS GENERATED BY PROJECT CONSTRUCTION OR IMPROVED DRIVEWAY SHALL NOT BE DEPOSITED WITHIN 50 FEET OF THE TOPS OF THE BANKS OF ANY STREAM, POND, OR LAKE; WITHIN THE FLOODWAY OF ANY STREAM; IN THE RIPARIAN ZONE ALONG ANY DRAINAGE WAY; IN ANY MARSH OR WETLAND; IN ANY VERNAL POOL; OR IN ANY OTHER AREA THAT IS DETERMINED BY THE DIRECTOR OF THE NAPA COUNTY CONSERVATION DEVELOPMENT AND PLANNING TO BE BIOLOGICALLY SENSITIVE. THE LOCATION OF THE SPOILS DISPOSAL AREAS) SELECTED FOR EACH PROJECT SHALL BE SUBMITTED TO BOTH THE NAPA COUNTY PUBLIC WORKS AND PLANNING DEPARTMENTS FOR THEIR APPROVAL AT LEAST TEN (10) WORKING DAYS PRIOR TO THE COMMENCEMENT OF ANY GRADING OR EXCAVATION WORK ON-SITE.
9. CONTRACTOR SHALL PROVIDE TO THE PUBLIC WORKS DEPARTMENT AN EROSION AND SEDIMENT CONTROL PLAN, AND A SCHEDULE FOR IMPLEMENTATION OF SUCH MEASURES. IF ANY LOT OR STREET GRADING IS TO BE DONE BETWEEN OCTOBER 15 THROUGH APRIL 1, HYDROSEEDING OF ALL GRADED SLOPES SHALL BE COMPLETED BY NOVEMBER 1.
10. WATER AND / OR DUST POLLUTIVES SHALL BE APPLIED IN SUFFICIENT QUANTITIES DURING GRADING AND OTHER GROUND DISTURBING ACTIVITIES ON-SITE TO MINIMIZE THE AMOUNT OF DUST PRODUCED.
11. OUTDOOR NOISE PRODUCING ACTIVITIES SHALL BE LIMITED TO WEEKDAYS BETWEEN 7:30 AM AND 4:30 PM.
12. TREES AND/OR VINES THAT ARE TO BE REMOVED SHALL ALSO HAVE THEIR STUMPS AND MAJOR ROOT SYSTEMS REMOVED. AFTER A TREE, VINE, OR A STUMP IS REMOVED, THE RESULTING CAVITY SHALL BE CLEANED OR LARGER ROOTS (2 INCH DIAMETER OR LARGER); SOIL SHOULD BE REMOVED AND DISHD TO PROVIDE ACCESS FOR COMPACTION EQUIPMENT.
13. ORGANIC MATERIAL SHALL BE HAULED OFFSITE AND DISPOSED OF BY THE CONTRACTOR IN A RESPONSIBLE MANNER (COUNTY APPROVED LANDFILL OR ANOTHER COUNTY APPROVED SITE).
14. ALL EARTHWORK, SCARIFICATION, BACKFILL, AND COMPACTION SHALL BE PERFORMED PER THE PLANS AND COUNTY OF NAPA REQUIREMENTS.
15. ALL STATIONS (SHOWN ON THE PLAN AND PROFILE) ARE TAKEN ALONG CENTERLINE UNLESS OTHERWISE NOTED ON PLAN, AND SHOW MEASUREMENTS IN A HORIZONTAL PLANE.

ABBREVIATIONS

AB	AGGREGATE BASE	FW	FIRE HYDRANT	PVI	POINT OF VERTICAL INTERSECTION
AC	ASPHALT CONCRETE	FRM	FLOOD INSURANCE RATE MAP	PP	PROCESS WASTE
AD	AREA DRAIN	FL	FLOW LINE	R	RADIUS
ARV	AIR RELEASE VALVE	FM	FORCE MAIN	RC	RELATIVE COMPACTION
BC	BEGIN CURVE	FS	FINISH SURFACE	RT	RIGHT
BFE	BASE FLOOD ELEVATION PER FRM	GB	GRADE BREAK	ROW	RIGHT OF WAY
BM	BENCHMARK	GL	GUTTER LINE	RWL	RAIN WATER LEADER
BO	BLOWOFF	GR	GRAVEL	RCP	REINFORCED CONCRETE PIPE
BCR	BEGIN CURB RETURN	HP	HIGH POINT	RS	SLOPE (FEET/FOOT)
BVC	BEGIN VERTICAL CURVE	IE	INVERT ELEVATION	SAD	SEE ARCHITECTURAL DRAWINGS
BS	BOTTOM OF STAIRS	INST	INSTALL	SD	SUBDRAIN PIPE
BSW	BACK OF SIDEWALK	INV	INVERT	SED	SEE ELECTRICAL DRAWINGS
CB	CATCH BASIN	IP	IRON PIPE	SID	SEE LANDSCAPE DRAWINGS
CAG	CURB AND GUTTER	IRR	IRRIGATION	SMD	SEE MECHANICAL DRAWINGS
CAU	CONCRETE MASONRY UNIT	JP	JOINT POLE	SPD	SEE PLUMBING DRAWINGS
CP	CONCRETE PIPE	LF	LINEAL FEET/FOOT	SS	SANITARY SEWER
CL	CENTERLINE	LH	LAMP HOLE	SSCO	SANITARY SEWER CLEAN OUT
CO	CLEANOUT	LP	LOW POINT	SSPH	SANITARY SEWER FLUSH HOLE
CV	CHECK VALVE	MAN	MANHOLE	SSMH	SANITARY SEWER MANHOLE
CW	COLD WATER	MON	MONUMENT	STA	STATION
DOV	DOUBLE CHECK VALVE	N	NORTH	STD	STANDARD
DGP	DECOMPOSED GRANITE	OC	ON CENTER	SW	SIDEWALK
DP	DUCTILE IRON PIPE	OG	ORIGINAL GROUND	TC	TOP OF CURB
DS	DOWNSPOUT	OH	OVERHEAD	TCC	TOP OF CONCRETE
DW	DRAINWAY/DOMESTIC WASTE	CHL	OVERHEAD LINE	TS	TOP OF STAIRS
DWG	DRAWING	CHL	OVERHEAD LINE	TW	TOP OF WALL
EC	END OF CURVE	CHL	OVERHEAD LINE	TYP	TYPICAL
ED	EAST	CHL	OVERHEAD LINE	UG	UNDERGROUND
EDR	EXISTING	CHL	OVERHEAD LINE	VC	VERTICAL CURVE
EG	EXISTING GROUND	CHL	OVERHEAD LINE	VG	VALLEY LINE
EGR	EDGE OF GRAVEL	CHL	OVERHEAD LINE	W	WEST
EP	EDGE OF PAVEMENT	CHL	OVERHEAD LINE	WM	WATER METER
EVC	END VERTICAL CURVE	CHL	OVERHEAD LINE	WS	WATER SERVICE
FC	FACE OF CURB	CHL	OVERHEAD LINE	WV	WATER VALVE
FDC	FRONT DEPTH CONNECTION	CHL	OVERHEAD LINE		
FQ	FINISH GRADE	CHL	OVERHEAD LINE		

UTILITY NOTES

1. CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (U.S.A.) AT 1-800-227-2600 PRIOR TO START OF ANY CONSTRUCTION.
2. ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (O.S.H.A.) STANDARDS AS SET FORTH BY THE FEDERAL DEPARTMENT OF LABOR AND/OR THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL SECURE A TRENCH PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO EXCAVATION OF ANY TRENCH OVER FIVE (5) FEET IN DEPTH.
3. CONTRACTOR SHALL NOTIFY ALL PUBLIC OR PRIVATE UTILITY COMPANIES 48 HOURS PRIOR TO COMMENCEMENT OF WORK ADJACENT TO EXISTING UTILITY LINES UNLESS THE COUNTY ENCROACHMENT PERMIT SPECIFIES OTHERWISE.
4. ONE WEEK PRIOR TO ANY EXCAVATION IN EXISTING STREET AREAS, THE CONTRACTOR SHALL CONTACT AND REQUEST PG&E, CURRENT TELEPHONE COMPANY, CITY ENGINEER (WATER DIVISION), NAPA SANITATION DISTRICT AND CURRENT CABLE PROVIDER FOR MARKING THE LOCATION OF THEIR RESPECTIVE FACILITIES. COSTS OF REPAIRING ANY INJURIES OR DAMAGES CAUSED BY THE CONTRACTOR SHALL BE BORNE BY THE CONTRACTOR. VARIOUS UNDERGROUND UTILITY LINES WERE PLOTTED ON THE PLANS FROM THE INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, THEREFORE, NO WARRANTY, EXPRESSED OR IMPLIED, IS MADE AS TO THE COMPLETENESS OR CORRECTNESS OF THEIR LOCATION. BURIED UTILITIES WERE NOT VERIFIED, NOR WAS ANY SUBSURFACE EXPLORATION CONDUCTED.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING UTILITIES IN THE FIELD. LOCATIONS OF UTILITIES AND UNDERGROUND FACILITIES SHOWN ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY. SEE NOTE 3 ABOVE.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING FACILITIES AND IMPROVEMENTS FROM DAMAGE RESULTING FROM CONTRACTORS WORK. ANY DAMAGE CAUSED BY CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
7. CONTRACTOR SHALL COORDINATE WITH ALL NECESSARY UTILITY RELOCATIONS, IF REQUIRED, WITH THE APPROPRIATE UTILITY COMPANIES AND/OR THE OWNER.
8. ALL UNDERGROUND UTILITY WORK IN THE STREET AREAS SHALL BE COMPLETED PRIOR TO PLACEMENT OF BASE ROCK UNLESS OTHERWISE NOTED.
9. TRENCHING AND BACKFILL WITHIN THE PUBLIC RIGHT OF WAY AND UNDER PRIVATE ROADS SHALL COMPLY WITH THE COUNTY OF NAPA STANDARDS. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY STANDARDS FOR TRENCH SAFETY.
10. IF ELECTRIC, GAS, TELEPHONE, CABLE T.V. LINES AND/OR OTHER SERVICES, ETC., MUST BE INSTALLED BY OTHERS, THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THESE FACILITIES WITH PG&E, CURRENT TELEPHONE COMPANY, CURRENT CABLE TV PROVIDER OR THEIR CONTRACTOR(S) AND COOPERATE FULLY IN THE EXECUTION OF THIS WORK CONCURRENTLY WITH THE PROGRESS OF THE REST OF THE WORK.
11. EXISTING UTILITIES SHALL BE KEPT IN SERVICE AT ALL TIMES. UTILITIES THAT INTERFERE WITH THE WORK TO BE PERFORMED SHALL BE PROTECTED AS REQUIRED BY COUNTY OF NAPA, PG&E, OTHER UTILITIES, AND THE OWNER.
12. ALL STORM DRAIN SYSTEM INSTALLATION SHALL BE COMPLETED IN ACCORDANCE WITH COUNTY OF NAPA STANDARDS. PLASTIC PIPE FOR THE STORM DRAIN SHALL COMPLY WITH SECTION 64 OF THE CALIFORNIA STANDARD SPECIFICATIONS. CORRUGATED METAL PIPE (C.M.P.) SHALL COMPLY WITH SECTION 66 OF THE CALTRANS STANDARD SPECIFICATIONS. REINFORCED CONCRETE PIPE (R.C.P.) SHALL BE CLASS 3 PER SECTION 65 OF THE CALTRANS STANDARD SPECIFICATIONS.
13. CONTRACTOR HAS THE FOLLOWING OPTIONS FOR STORM DRAIN PIPING. REINFORCED CONCRETE PIPE (R.C.P.) SHALL BE CLASS III PER CALTRANS STANDARD SPECIFICATIONS. POLYVINYL CHLORIDE PIPE (P.V.C.) FOR THE STORM DRAIN SHALL COMPLY WITH ANSI/ASTM D 3034-78. SDR 35 REQUIREMENTS OR CORRUGATED POLYETHYLENE PIPE SUCH AS ADVANCED DRAINAGE SYSTEMS (A.D.S.) M-12 OR APPROVED EQUAL, USE OTHER IF SPECIFIED ON THE PLANS.
14. ASBESTOS CEMENT PIPE (A.C.P.) SHALL NOT BE ALLOWED UNDER ANY CIRCUMSTANCES.

GEOTECHNICAL NOTES

1. A GEOTECHNICAL REPORT HAS BEEN PREPARED BY RGH CONSULTANTS, INC. THE GEOTECHNICAL REPORT SHOULD BE CONSIDERED A PART OF THESE PLANS. ALL GRADING, FOUNDATION EXCAVATIONS, AND DRAINAGE SHALL BE IN ACCORD WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.
2. THE GEOTECHNICAL ENGINEER SHALL BE RETAINED TO PROVIDE OBSERVATION AND TESTING SERVICES DURING CONSTRUCTION, INCLUDING SITE EXCAVATIONS, FILL PLACEMENT AND COMPACTION, EXCAVATION OF SPREAD FOOTING FOUNDATIONS PRIOR TO FORMING OR STEEL PLACEMENT, OBSERVATION OF RETAINING WALL BACKDRAINS, CRAWL SPACE GRADING AND DRAINAGE, AND OBSERVATION AND TESTING OF RETAINING WALL BACKFILL.
3. THE GEOTECHNICAL ENGINEER SHALL BE PROVIDED AT LEAST 48 HOURS NOTICE PRIOR TO THE START OF GRADING, FOUNDATION EXCAVATIONS, OR OTHER ITEMS REQUIRING OBSERVATION AND TESTING.
4. A PRECONSTRUCTION CONFERENCE SHALL BE CALLED BY THE CONTRACTOR PRIOR TO ANY EQUIPMENT BEING MOVED ONTO THE SITE. TO BE PRESENT AT THIS CONFERENCE ARE:  
OWNER'S REPRESENTATIVE  
GRADING CONTRACTOR  
GEOTECHNICAL ENGINEER  
CIVIL ENGINEER

SURVEY NOTES

1. THE BOUNDARY ON THESE DRAWINGS DOES NOT REPRESENT A PROPERTY LINE. SURVEY, PROPERTY LINES SHOWN HEREON ARE BASED ON RECORD DATA, AND MAY NOT REPRESENT THE TRUE POSITIONS OF THE LINES.
2. THE TOPOGRAPHY IS BASED ON SEVERAL FIELD SURVEYS DATED 3/20/06, 3/30/06, 4/19/06, 4/20/06, 6/31/13, 6/4/13, AND 6/5/13 PERFORMED BY TERRA FIRMA SURVEYS, INC.
3. THIS SURVEY IS ON A VERTICAL DATUM FROM AN EXISTING SURVEY BY TERRA FIRMA SURVEYS.
4. SITE BENCHMARK DESCRIPTION IS AS FOLLOWS:  
SET MAG NAIL #1762 2.3' FROM EDGE OF GRAVEL, 25' FROM SOUTHEAST CORNER OF GARAGE.  
ELEVATION = 95.14'
5. DELTA CONSULTING & ENGINEERING ASSUMES NO LIABILITY, REAL OR ALLEGED, REGARDING THE ACCURACY OF THE TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS.
6. CONTRACTOR SHALL PROTECT EXISTING SURVEY MONUMENTS OR REPLACE THEM AT HIS OWN EXPENSE.

SYMBOL LEGEND

	UTILITY POLE		SEWER MANHOLE/SEWER WITH ID #
	WELL TYPE MONUMENT		STORM DRAIN MANHOLE WITH ID #
	SIGN		WATER VALVE
	WELL		WATER SERVICE & DCV
	TREE		FOOTCIV WITH CHECK VALVE
	SANITARY SEWER		FIRE HYDRANT WITH GATE VALVE
	GAS LINE		CLEANOUT
	WATER LINE		PROPOSED CONTOUR
	EXISTING CONTOUR		SOLID STORM DRAIN
	PROPERTY LINE		PERFORATED STORM DRAIN
	CENTERLINE		GRADE SWALE
	OVERLAND RELEASE ROUTE		

PROJECT STATEMENT

THE PURPOSE OF THIS PROJECT IS TO CONSTRUCT A NEW BARREL STORAGE ROOM ON THE OWNERS PROPERTY IN ORDER TO INCREASE THE WINE PRODUCTION CAPACITY. THE BARREL ROOM WILL BE CONSTRUCTED ADJACENT TO THE EXISTING WINERY FOR EASE OF ACCESS BETWEEN THE TWO BUILDINGS.

COUNTY FIRE NOTES

- DRIVEWAY LENGTH: 1.425' WIDTH: 14' MINIMUM  
MATERIAL: ASPHALT CONCRETE  
MINIMUM SIZE OF PIPE TO HYDRANT: 4"
- NOTES:
1. NUMERICAL ADDRESS SHALL BE POSTED AT THE PUBLIC ROADWAY AND AT ANY OTHER INTERSECTION OR RESIDENTIAL ROADWAY. HEIGHT OF NUMBERS SHALL BE A MINIMUM OF 4" REFLECTIVE, OR ON A CONTRASTING BACKGROUND, AND/OR ILLUMINATED. SEE DETAIL #14 OF THE NAPA COUNTY FIRE STANDARDS.
2. DEFENSIBLE SPACE FOR WLD/FIRE SHALL BE A MINIMUM OF 100 FEET AROUND ALL STRUCTURES OR TO THE PROPERTY LINES. GREATER CLEARANCE MAY BE REQUIRED UPON INSPECTIONS AS DETERMINED DUE TO SLOPE AND FUEL LOADS.
3. OVERHEAD CLEARANCE OF TREE LIMBS AND BRUSH ALONG THE ENTIRE LENGTH OF THE DRIVEWAY SHALL BE A MINIMUM OF 13 FEET 6 INCH VERTICAL CLEARANCE. SEE DETAIL #8 OF THE NAPA COUNTY FIRE STANDARDS.
4. HORIZONTAL DEFENSIBLE SPACE CLEARANCE SHALL BE A MINIMUM OF 10 FEET ON EACH SIDE OF THE DRIVEWAY. SEE DETAIL #8 OF THE NAPA COUNTY FIRE STANDARDS.
5. THE WATER STORAGE REQUIREMENTS FOR DOMESTIC USE SHALL BE IN ADDITION TO THE REQUIRED STORAGE FOR FIRE PROTECTION AND ALL PIPES OR VALVES REQUIRED FOR DOMESTIC USE SHALL BE INSTALLED ON THE TANK ABOVE THE LEVEL DESIGNATED FOR FIRE PROTECTION PURPOSES ONLY. SWIMMING POOLS ARE AN ACCEPTABLE USE FOR FIRE PROTECTION. SEE DETAILS #4 OR #5 OF THE NAPA COUNTY FIRE STANDARDS.
6. THE FIRE HYDRANT SHALL BE LOCATED NO CLOSER THAN 30 FEET AND NO FURTHER THAN 150 FEET FROM THE RESIDENCE OF BUILDING. THE FIRE HYDRANT SHALL BE LOCATED CENTERED IN A TURNOUT AREA AND SHALL BE WITHIN 5 FEET TO THE EDGE OF CURB OR DRIVEWAY. THE HYDRANT OUTLET MUST BE WITHIN 24 TO 36 INCHES ABOVE THE FINISHED GRADE OF THE TURNOUT AREA. SEE DETAILS #2 AND #3 OF THE NAPA COUNTY FIRE STANDARDS.  
NOTE: THE FIRE HYDRANT TURNOUT LOCATION SHALL BE ESTABLISHED IN AN AREA SEPARATE FROM THE FIRE APPARATUS TURN AROUND AREA. THE FIRE HYDRANT TURNOUT AREA IS FOR FIRE APPARATUS TO BE PARKED DURING DRAFTING OPERATIONS AND SHALL NOT INTERFERE WITH THE FIRE APPARATUS ACCESS TO AND FROM THE STRUCTURE.
7. WET DRAFT HYDRANTS SHALL BE PAINTED "RED" AND SHALL HAVE 1 INCH "WHITE" LETTERS POSTED ON IT TO READ: "WET DRAFT". SEE DETAILS #2 AND #3 OF THE NAPA COUNTY FIRE STANDARDS.
8. A "BLUE DOT REFLECTOR" SHALL BE ADJACENT TO ALL HYDRANTS. SEE DETAILS #2 AND #3 OF THE NAPA COUNTY FIRE STANDARDS.
9. BOLLARD PROTECTION OF REQUIRED AT ALL HYDRANTS. SEE DETAILS #2 AND #3 OF THE NAPA COUNTY FIRE STANDARDS.
10. NEW OR EXISTING BRIDGES ON THE PROPERTY THAT WILL BE UTILIZED FOR THE FIRE APPARATUS TO ACCESS ANY STRUCTURE SHALL COMPLY WITH THE NAPA COUNTY FIRE SAFE STANDARDS. SEE DETAIL #15 OF THE NAPA COUNTY FIRE STANDARDS.
11. FIRE SPRINKLER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE (2010 EDITION) AND NFPA 13D FOR ONE OR TWO FAMILY DWELLINGS - 2013 EDITION AND SHALL BE SUBMITTED UNDER A SEPARATE PERMIT.
12. ALL GATED ENTRANCES SHALL HAVE A MEANS OF FIRE DEPARTMENT ENTRY. MANUAL GATES SHALL PROVIDE A KNOX PADLOCK. ELECTRONIC GATES SHALL PROVIDE A KNOX KEY SWITCH. KNOX PRODUCTS SHALL BE ORDERED ONLINE AT WWW.KNOXBOX.COM OR CALL 1-800-552-5569.  
NOTE: WHEN ORDERING ANY KNOX LOCKING DEVICES, BE SURE TO SPECIFY THE LOCKS TO BE KEYED FOR "CAL FIRE/NAPA COUNTY."
13. ALL GATES SHALL OPEN INWARD. GATE ENTRANCES SHALL BE 2 FEET WIDER THAN THE LAN SERVING THE GATE AND SHALL BE LOCATED A MINIMUM OF 30 FEET FROM THE ROADWAY. SEE DETAILS #6 AND #7 OF THE NAPA COUNTY FIRE STANDARDS.
14. AN INDICATOR GAUGE SHALL BE PROVIDED ON THE OUTSIDE OF THE TANK TO DETERMINE THE LEVEL OF WATER.
15. SIZE OF PIPE LEADING TO FIRE HYDRANT FROM THE WATER SOURCE SHALL BE A MINIMUM OF 4 INCHES IN DIAMETER C-900 OR DUCTILE IRON WITH A GATE VALVE AND A 4 1/2 INCH NATIONAL HOSE MALE OUTLET. SEE DETAIL #2 OF THE NAPA COUNTY FIRE STANDARDS.

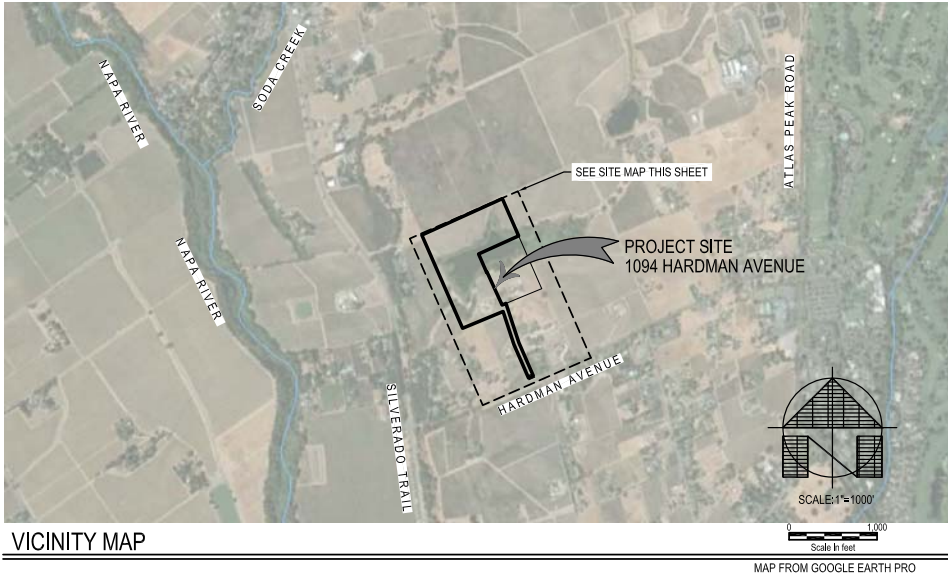
ESTIMATED EARTHWORK QUANTITIES

THE EARTHWORK QUANTITIES LISTED BELOW ARE ESTIMATES ONLY AND MAY VARY DUE TO SOIL TYPE, COMPACTION AND BULKING FACTORS, AND GRADING PRACTICES AND COMPACTION VALUES. THE CUT AND FILL QUANTITIES HAVE BEEN DERIVED USING A VOLUMETRIC ANALYSIS BETWEEN THE EXISTING AND PROPOSED GRADE ELEVATIONS. CONTRACTOR SHALL WORK WITH THE PROJECT GEOTECHNICAL ENGINEER TO DETERMINE IF COMPACTION AND BULKING FACTORS ARE APPLICABLE FOR THE PROPOSED GRADING ACTIVITIES. SEE THE TABLE BELOW FOR THE ESTIMATED EARTHWORK QUANTITIES FOR THE PROJECT:

ESTIMATED PROJECT EARTHWORK			
	CUT VOLUME (CY)	FILL VOLUME (CY)	NET VOLUME (CY)
AREA 1	20	0	20 CUT

NOTE: EXCESS MATERIAL WILL BE OFF-HAULED TO AN APPROVED SPOILS LOCATION.  
THE AREA OF DISTURBED SOIL IS APPROXIMATELY 8,000 SF.

USE PERMIT PLANS FOR:  
KITCHAK CELLARS  
1094 HARDMAN AVENUE  
NAPA, CALIFORNIA 94558



SITE MAP

SHEET INDEX	
C1.0	COVER SHEET
C1.1	EXISTING DIMENSION PLAN
C2.0	GRADING PLAN
C2.1	FIRE PROTECTION PLAN
C2.2	CROSS SECTIONS & PROFILE
C3.0	UTILITY PLAN
C4.0	BMP PLAN
C5.0	BMP DETAILS

PROJECT INFORMATION			
OWNER/SUBDIVIDER:	PETER KITCHAK KITCHAK CELLARS P.O. BOX 4047 NAPA, CA 94558	ARCHITECT:	SIKES ARCHITECTURE 1461 RAILROAD AVENUE, SUITE 200 ST. HELENA, CA 94574 MARY SIKES 707/963-8063
SITE ADDRESS:	1094 HARDMAN AVENUE NAPA, CA 94558	GEOTECHNICAL ENGINEER:	RGH CONSULTANTS, INC. P.O. BOX 10830 NAPA, CA 94581 JUAN B. HIDALGO TRAVIS A. WHITTED 707/252-8105
ASSESSOR PARCEL #:	039-190-038		
PARCEL SIZE:	±14.77 ACRES		
SURVEYOR:	TERRA FIRMA SURVEYS, INC. 345 LA FATA, SUITE G ST. HELENA, CA 94574 CHRIS COLE, PLS 707/963-7565		
CIVIL ENGINEER:	DELTA CONSULTING & ENGINEERING, INC. 1104 ADAMS STREET, SUITE 203 ST. HELENA, CA 94574 BRYAN JACKSON, P.E. DANE MOINE 707/963-8456		

REVISIONS

- 8/21/13  
• REVISED SHEET INDEX AND ADDED SHEETS  
• UPDATED EARTHWORK QUANTITY  
9/18/13  
• NO CHANGES THIS SHEET

USE PERMIT PLANS  
COVER SHEET

KITCHAK CELLARS  
1094 HARDMAN AVENUE  
NAPA, CA 94558  
APN: 039-190-035  
PROJECT: M-101



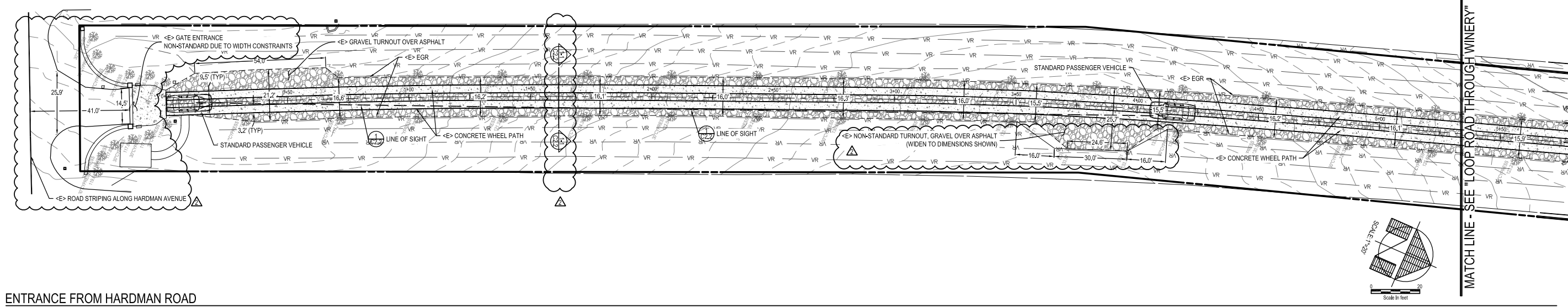
EVERY PERSON PLANNING TO DO  
CALL USA AT 1-800-227-2600  
FOR MORE INFORMATION  
SEE WWW.DELTACON.COM

DATE: 07/15/13  
08/21/13  
09/18/13

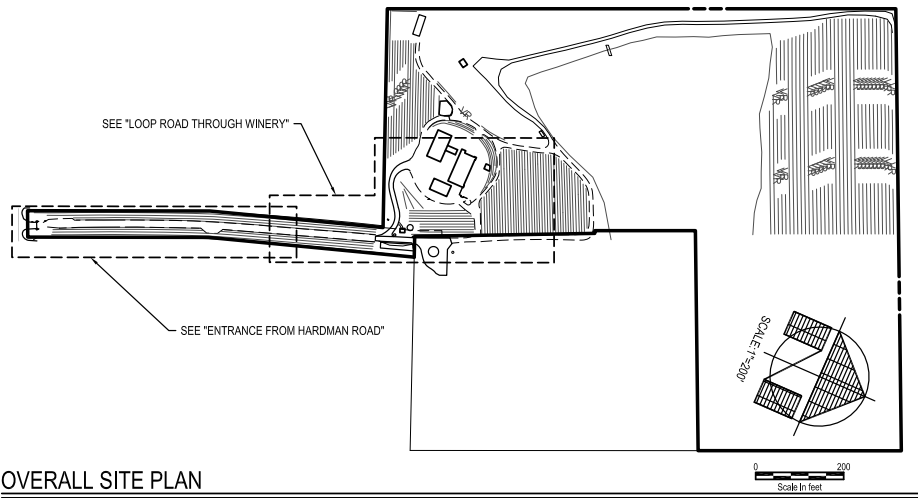
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REVISION 1 SET  
REVISION 2 SET

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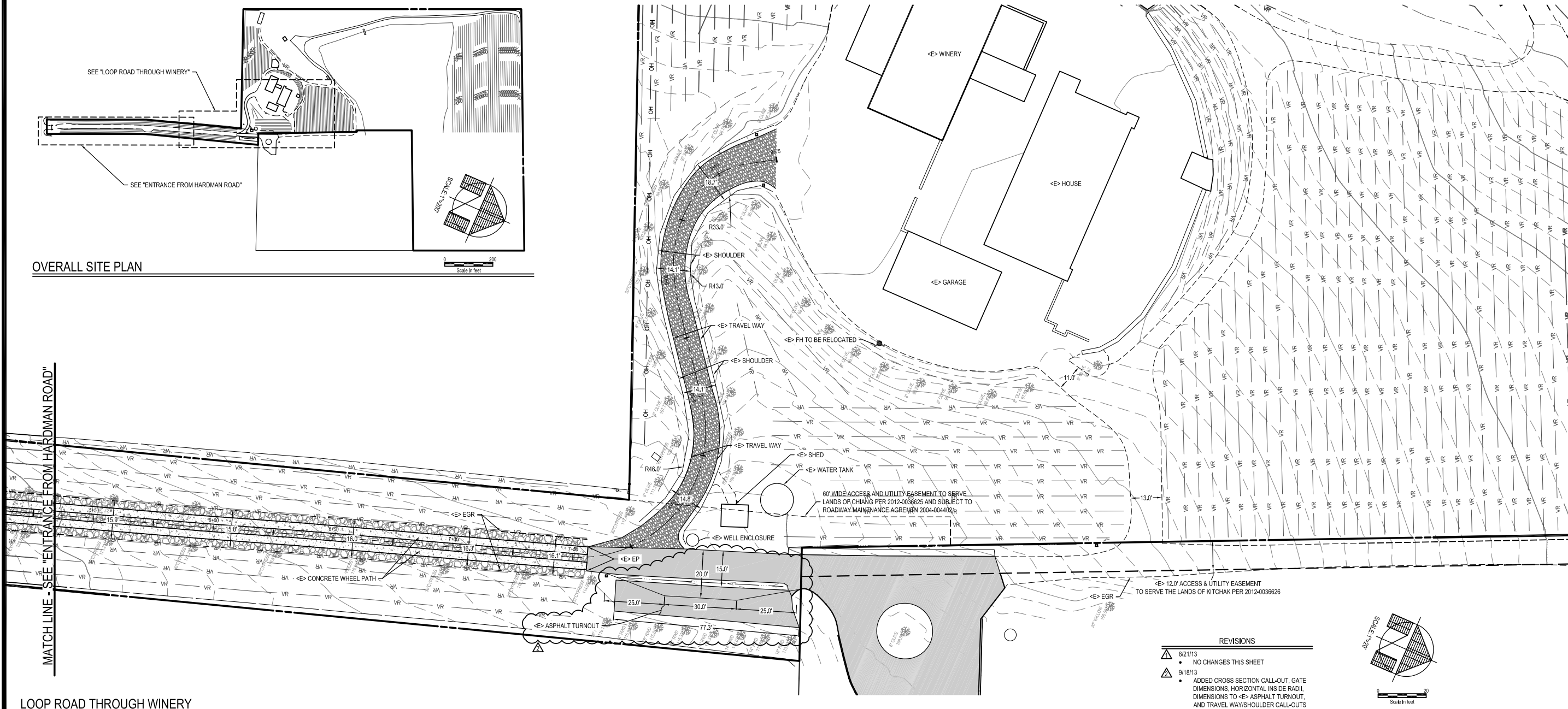
C1.0



ENTRANCE FROM HARDMAN ROAD



OVERALL SITE PLAN



LOOP ROAD THROUGH WINERY

REVISIONS	
8/21/13	NO CHANGES THIS SHEET
9/18/13	ADDED CROSS SECTION CALL-OUT, GATE DIMENSIONS, HORIZONTAL INSIDE RADI, DIMENSIONS TO <E> ASPHALT TURNOUT, AND TRAVEL WAY/SHOULDER CALL-OUTS

THE INFORMATION AND DATA INCORPORATED HEREIN IS AN INSTRUMENT OF PROFESSIONAL SERVICE AND IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF DELTA CONSULTING & ENGINEERING, INC. ANY CHANGES TO THE INFORMATION AND DATA INCORPORATED HEREIN SHALL BE THE RESPONSIBILITY OF THE USER. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

DELTA CONSULTING & ENGINEERING  
OF ST. HELENA  
1104 ADAMS STREET, SUITE 203 - ST. HELENA, CALIFORNIA 94574  
707-963-9456 • 707-963-9528 FAX

USE PERMIT PLANS  
EXISTING DIMENSION PLAN

KITCHAK CELLARS  
1094 HARDMAN AVENUE  
NAPA, CA 94558  
APN: 039-190-055  
PROJECT: M-101

REGISTERED PROFESSIONAL ENGINEER  
BRYAN C. JACKSON  
No. 80603  
Exp. 03-31-15  
CIVIL  
STATE OF CALIFORNIA

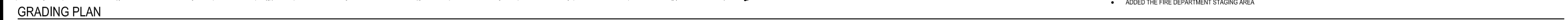
EVERY PERSON PLANNING TO DRG  
CALL USA AT 1-800-427-2800  
FOR MORE INFORMATION  
SEE WWW.CALIFORNIA.DWG

DATE: 07/15/13  
08/21/13  
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REVISION 1 SET  
REVISION 2 SET

SHEET:

C1.1



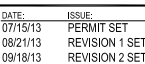



  
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 OF ST. HELENA

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 707.063.0425 • 707.063.0630 • FAX

**KITCHAK CELLARS**  
1094 HARDMAN AVENUE  
NAPA, CA 94558  
APN: 039-190-055  
PROJECT: M-101

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C2.0

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NAPA COUNTY FIRE / CAL-FIRE NOTES

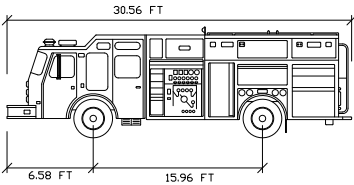
DRIVEWAY LENGTH: 1'-22" WIDTH: 14' MINIMUM  
DRIVEWAY MATERIAL: ASPHALT CONCRETE  
SIZE OF PIPES TO HYDRANT: 4"

1. ALL CONSTRUCTION AND USE OF THE FACILITY SHALL COMPLY WITH ALL APPLICABLE STANDARDS, REGULATIONS, CODES, AND ORDINANCES AT TIME OF BUILDING PERMIT ISSUANCE.
2. ALL UNDERGROUND PIPING FOR FIRE PROTECTION SHALL BE INSTALLED PER NATIONAL FIRE PROTECTION STANDARD 24, 2002 EDITION.
4. ALL FIRE ALARM SYSTEMS SHALL BE INSTALLED AND TESTED PER NATIONAL FIRE PROTECTION STANDARD 70 & 72, 2002 EDITION. FIRE ALARM SYSTEMS SHALL BE MONITORED BY AN APPROVED CENTRAL, REMOTE OR PROPRIETARY STATION. FIRE ALARM SYSTEMS ARE REQUIRED FOR ALL COMMERCIAL SYSTEMS WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM.
5. FIRE PROTECTION LINES, FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS, DRAFTING HYDRANTS, AND POST INDICATOR VALVES ARE SHOWN FOR LOCATION AND COORDINATION PURPOSES ONLY. CONTRACTOR SHALL INCLUDE ALL NECESSARY VALVES, PIPING, AND APPURTENANCES IN ORDER TO MAKE THE SYSTEM COMPLETE, OPERATIONAL, AND IN CONFORMANCE WITH HIS APPROVED DESIGN AND ALL APPLICABLE CODES AND STANDARDS.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THRUST BLOCKS OR RESTRAINED JOINTS AT ALL HORIZONTAL AND VERTICAL BENDS ON THE FINAL FIRE PROTECTION LINE ALIGNMENT. THE BEARING PRESSURES OF THRUST BLOCKING ON THE SUPPORTING SOIL SHALL NOT EXCEED THAT ALLOWABLE FOR THE SOIL INVOLVED (VERIFY VALUE WITH THE PROJECTS GEOTECHNICAL ENGINEER). THE FINAL THRUST BLOCK SIZING AND LOCATIONS TO BE SUBMITTED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THRUST BLOCK SIZING SHALL CONFORM TO NATIONAL FIRE PROTECTION STANDARD, 2002 EDITION.
7. BUILDING ADDRESS SHALL BE A MINIMUM OF 4 INCHES IN HEIGHT ON A CONTRASTING BACKGROUND. ALL NUMBERS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL AND NUMBERS SHALL BE REFLECTIVE OR ILLUMINATED. SEE DETAIL 14 OF THE NAPA COUNTY FIRE STANDARDS.
8. ALL GATED ENTRANCES SHALL PROVIDE A KNOX PADLOCK OR KEY FOR MEANS OF FIRE DEPARTMENT ENTRY. CONTACT NAPA COUNTY FIRE MARSHAL'S OFFICE FOR APPLICATION AT (707) 967-1419 OR ONLINE AT WWW.KNOXBOX.COM
9. GATED ENTRANCES SHALL OPEN INWARD AND SHALL BE TWO FEET WIDER THAN THE DRIVEWAY. ALL GATES SHALL BE LOCATED AT A MINIMUM OF 30 FEET FROM THE PUBLIC RIGHT OF WAY. SEE DETAIL 7 OF THE NAPA COUNTY STANDARDS.
10. WATER STORAGE REQUIREMENTS FOR COMMERCIAL, IRRIGATION, AND DOMESTIC USE SHALL BE IN ADDITION TO THE REQUIRED STORAGE FOR FIRE PROTECTION AND ALL PIPES OR VALVES REQUIRED FOR DOMESTIC USE SHALL BE INSTALLED ON THE TANK ABOVE THE LEVEL DESIGNATED FOR FIRE PROTECTION PURPOSES ONLY. SEE DETAIL 4 OF THE NAPA COUNTY FIRE STANDARDS FOR REFERENCE.
11. THE PIPE LEADING TO THE FIRE HYDRANT CONNECTION SHALL BE INSTALLED AT OR NEAR THE BOTTOM OF THE WATER STORAGE TANK, SO THAT WATER WILL READILY FLOW THROUGH THE CONNECTION WHEN OPENED.
12. AN INDICATOR GAUGE SHALL BE PROVIDED ON THE OUTSIDE OF THE WATER STORAGE TANK TO DETERMINE THE LEVEL OF WATER.
13. FIRE HYDRANTS SHALL BE IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE, 2007 EDITION, APPENDIX B.
14. ALL COMMERCIAL FIRE HYDRANTS SHALL HAVE TWO 2 1/2 INCH OUTLETS WITH ONE 4 1/2 INCH OUTLET AND SHALL HAVE MALE NATIONAL HOSE THREAD CONNECTIONS.
15. FIRE HYDRANTS SHALL BE LOCATED WITHIN 250 FEET FROM ANY PORTION OF THE EXTERIOR OF THE BUILDING AS MEASURED ALONG AN APPROVED VEHICULAR ACCESS ROADS.
16. FIRE HYDRANTS SHALL BE LOCATED A MINIMUM OF 30 FEET FROM ALL BUILDINGS.
17. A 3" BLUE REFLECTIVE MARKER SHALL BE INSTALLED TO IDENTIFY ALL HYDRANTS.
18. FIRE HYDRANTS SHALL HAVE MINIMUM OF 18 INCHES OF CLEARANCE FROM THE CENTER OF THE 4 1/2 INCH DISCHARGE TO FINISHED GRADE LEVEL.
19. THE MINIMUM MAIN SIZE OF ALL FIRE HYDRANTS SHALL BE 8 INCHES IN DIAMETER. PIPING SHALL BE INSTALLED WITH C-400 CLASS 200 PIPING OR DUCTILE IRON OR EQUIVALENT PER NATIONAL FIRE PROTECTION STANDARD 824, 2002 EDITION.
20. THE FIRE HYDRANT CONNECTION SHALL BE A GRAVITY FLOW CAPABLE OF DELIVERING 300 GALLONS PER MINUTE WITH 30 PSI RESIDUAL PRESSURE. THE REQUIRED FLOW SHALL BE CERTIFIED BY A LICENSED ENGINEER. SEE HYDRAULIC CALCULATIONS PREPARED BY THIS OFFICE FOR VERIFICATION OF THE SIZE OF PIPE NEEDED TO PROVIDE THE REQUIRED FLOW.
21. FIRE SPRINKLER SYSTEM SHALL BE DESIGNED AND INSTALLED PER NATIONAL FIRE PROTECTION STANDARD 13, 2002 EDITION AND SHALL BE PART OF A DEFERRED SUBMITTAL.
22. FIRE PUMPS, IF REQUIRED, SHALL BE UL LISTED AND INSTALLED IN ACCORDANCE WITH NATIONAL FIRE PROTECTION STANDARD 20, 2002 EDITION. FIRE PUMPS MAY BE EITHER DIESEL DRIVEN OR ELECTRIC WITH AN EMERGENCY BACKUP GENERATOR FOR A BACK UP POWER SOURCE.
23. THE FIRE APPARATUS ACCESS ROAD SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING, BUT NOT LIMITED TO PARKING OF VEHICLES, PLACEMENT OF DUMPSTERS, STACKING OF BUILDING MATERIALS, OVERHEAD OBSTRUCTIONS, UNDER 13.5 FEET, OR ANY OTHER ITEMS. WHERE REQUIRED, APPROVED SIGNS OR OTHER NOTICES PROHIBITING PARKING OR OBSTRUCTIONS SHALL BE PROVIDED AND MAINTAINED.
24. FIRE LANES SHALL BE SIGNED TO READ: "NO PARKING FIRE LANE CVC 22500.1" SIGNAGE SHALL BE POSTED EVERY 50 FEET BY 4" WHITE LETTERS ON TOP OF CURB OR OTHER ALL WEATHER SIGNAGE WITH ONE INCH RED LETTERING ON A WHITE BACKGROUND.
25. THERE ARE NO BRIDGES BETWEEN THE COUNTY ROAD AND THE SUBJECT PARCEL. ALL BRIDGES SHALL BE CAPABLE OF SUPPORTING A 40,000 POUND LOAD AND SHALL BE CERTIFIED BY A LICENSED ENGINEER. BRIDGES SHALL HAVE THEIR HEIGHT LIMITS AND VERTICAL CLEARANCES POSTED. SEE DETAIL 15 OF THE NAPA COUNTY FIRE STANDARDS.
26. FIRE HYDRANTS, POST INDICATOR VALVES, AND FIRE DEPARTMENT CONNECTIONS SHALL HAVE NO OBSTRUCTION TO ACCESS AND SHALL NOT BE BLOCKED BY PARKING STALLS, LOADING ZONES, LANDSCAPING, STORAGE AREAS, ETC. AND SHALL BE PROTECTED BY BOLLARDS.
27. BOLLARDS, IF REQUIRED, SHALL BE SET 3 FEET FROM THE FIRE HYDRANT, SHALL BE 4-INCH STEEL FILLED WITH CONCRETE AND PAINTED CHROME YELLOW.
28. TAMPER SWITCHES ARE REQUIRED ON ALL FIRE PROTECTION CONTROL VALVES.
29. FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON THE STREET SIDE OF THE BUILDING, FULLY VISIBLE AND RECOGNIZABLE FROM THE STREET OR NEAREST POINT OF FIRE APPARATUS ACCESS ROADS. FIRE DEPARTMENT SHALL BE LOCATED WITHIN 50 FEET OF AN APPROVED FIRE HYDRANT.
30. ALL FIRE DEPARTMENT CONNECTIONS SHALL HAVE PERMANENT STEEL SIGNS ATTACHED STATING WHAT EACH SUPPLIES (MANUAL, WET STANDPIPE, WET STANDPIPE, AUTO SPRINKLER SYSTEM, ETC.). ALL WEATHER SIGNAGE SHALL BE ONE INCH WHITE LETTERING ON A RED BACKGROUND.
31. HORIZONTAL DEFENSIBLE SPACE CLEARANCE SHALL BE A MINIMUM OF 10 FEET ON EACH SIDE OF THE FIRE APPARATUS ACCESS ROADS. DRY GRASS SHALL BE CUT TO LESS THAN 4" IN HEIGHT, LADDER FUEL FROM TREES SHALL BE REMOVED UP TO 6 FEET, BRUSH SHALL BE CUT OR REMOVED AND ALL DEAD FUEL SHALL BE REMOVED.
32. OVERHEAD VERTICAL CLEARANCE OF TREE LIMBS, BRUSH, ETC. ALONG THE ENTIRE LENGTH OF THE FIRE APPARATUS ACCESS ROADS SHALL BE A MINIMUM OF 13.5 FEET.

FIRE DEPARTMENT PLAN NOTES

1. SEE COVER SHEET FOR LOCATION OF WATER STORAGE TANKS. FIRE PROTECTION WATER STORAGE SHALL BE PROVIDED IN THE AMOUNT OF 2,500 GALLONS. SEE "NAPA COUNTY FIRE / CAL-FIRE NOTES" ABOVE FOR ADDITIONAL INFORMATION ON WATER STORAGE.
2. FIRE TRUCK DRIVE PATH SHOWN ALONG DRIVEWAYS TO INDICATE THAT THE FIRE TRUCK CAN MANEUVER THROUGH THE SITE.
3. SPRINKLER SYSTEMS, AS REQUIRED, WILL BE PART OF A DEFERRED SUBMITTAL.
4. FIRE HYDRANTS SHALL PROVIDE 200 GPM AT 20 PSI. SEE FIRE FLOW CALCULATIONS REPORT SUBMITTED SEPARATELY.

NAPA COUNTY FIRE APPARATUS



WIDTH: 8.00 FT  
TRACK: 7.18 FT  
LOCK TO LOCK:  
TIME: 6.0 FT  
STEERING ANGLE:  
40.0 FT



FIRE PROTECTION PLAN

DELTA CONSULTING & ENGINEERING  
OF ST. HELENA

USE PERMIT PLANS  
FIRE PROTECTION PLAN

KITCHAK CELLARS  
1094 HARDMAN AVENUE  
NAPA, CA 94558  
APN: 039-190-055  
PROJECT: M-101



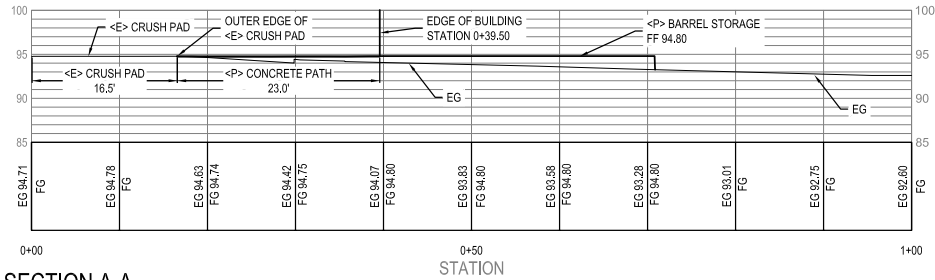
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REVISION 2 SET

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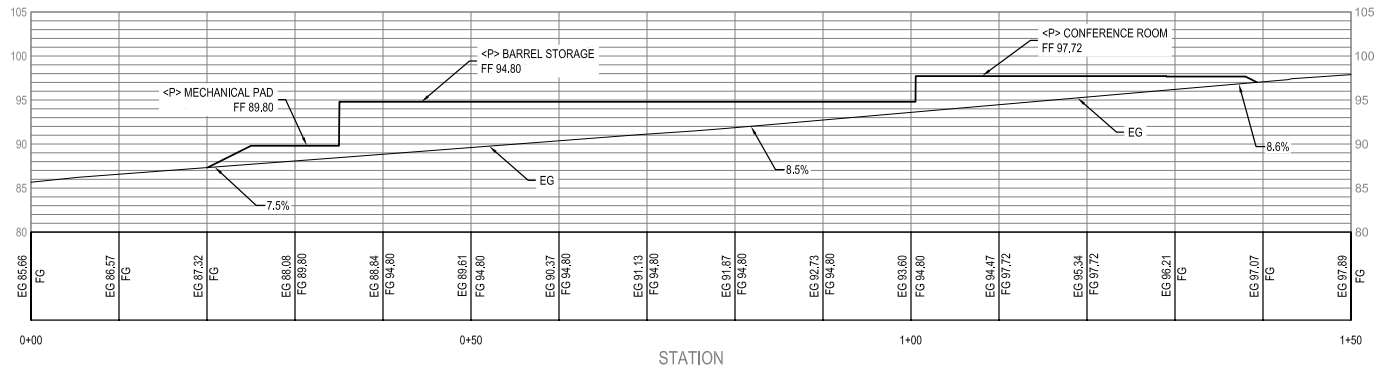




SECTION A-A

SEE SHEET C2.0 FOR THE PLAN VIEW LOCATION OF SECTION A-A

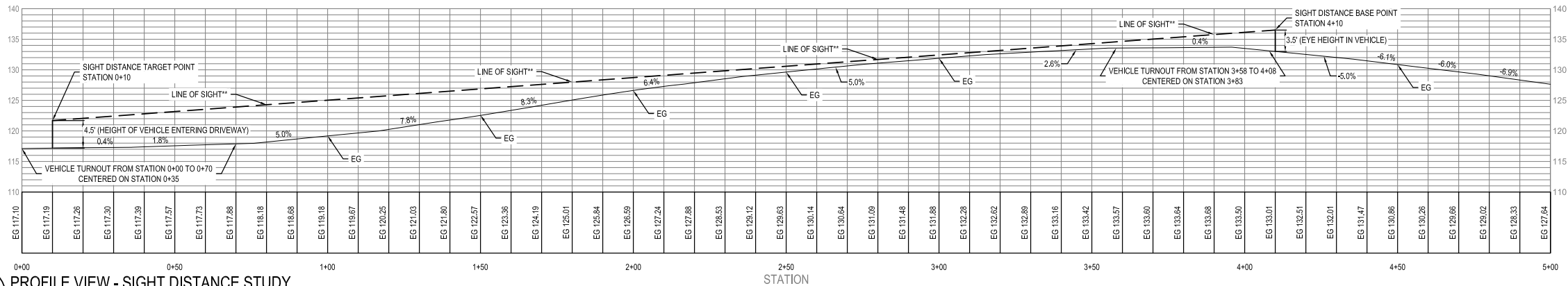
VERTICAL SCALE: 1" = 10'  
HORIZONTAL SCALE: 1" = 10'



SECTION B-B

SEE SHEET C2.0 FOR THE PLAN VIEW LOCATION OF SECTION B-B

VERTICAL SCALE: 1" = 10'  
HORIZONTAL SCALE: 1" = 10'

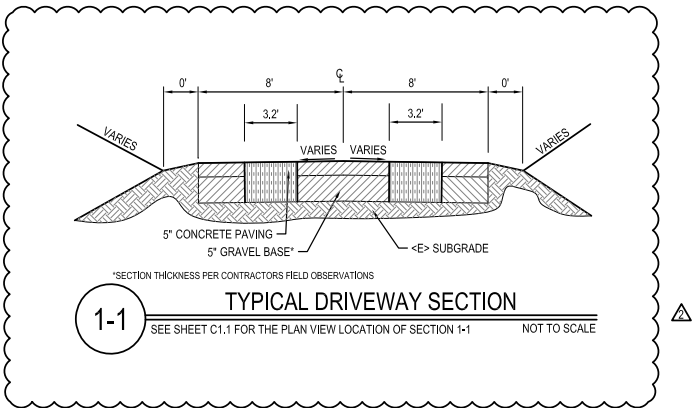


1

PROFILE VIEW - SIGHT DISTANCE STUDY

\*\*LINE OF SIGHT ANALYSIS WAS PERFORMED USING THE "POINT TO POINT" COMMAND IN AUTOCAD CIVIL 3D. VEHICLES ARE INTER-VISIBLE AT THE TURNOUT LOCATIONS SHOWN. ADDITIONALLY, VEHICLES ARE INTER-VISIBLE BETWEEN THE TURNOUT AT STATION 3+83 AND THE TURNOUT NEAR STATION 14+00 (NOT SHOWN). SEE SHEET C1.1 FOR THE PLAN VIEW LOCATION OF PROFILE VIEW - SIGHT DISTANCE STUDY.

VERTICAL SCALE: 1" = 10'  
HORIZONTAL SCALE: 1" = 20'



1-1

TYPICAL DRIVEWAY SECTION

SEE SHEET C1.1 FOR THE PLAN VIEW LOCATION OF SECTION 1-1

NOT TO SCALE

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USE PERMIT PLANS  
CROSS SECTIONS & PROFILE

KITCHAK CELLARS  
1094 HARDMAN AVENUE  
NAPA, CA 94558  
APN: 039-190-055  
PROJECT: M-101



EVERY PERSON PLANNING TO DRG  
CALL USA AT 1-800-427-8800



DATE: 07/15/13  
08/21/13  
09/18/13  
ISSUE: PERMIT SET  
REVISION 1 SET  
REVISION 2 SET

SHEET:

C2.2

REVISIONS

- 8/21/13  
• CHANGED SHEET NUMBER FROM C4.0 TO C2.2
- 9/18/13  
• ADDED TYPICAL DRIVEWAY CROSS SECTION

UTILITY PLAN

WET UTILITY NOTES

WASTEWATER

1. SEE PLUMBING PLAN PREPARED BY STEVE SILVA PLUMBING INC. FOR PROCESS AND DOMESTIC WASTEWATER PLANS WITHIN THE BUILDING
2. SEE PLANS PREPARED BY THIS OFFICE TITLED "HOLD AND HAUL SYSTEM PLANS FOR: KITCHAK CELLARS" FOR DETAILS REGARDING THE PROCESS WASTEWATER (PW) SYSTEM.
3. DOMESTIC WASTEWATER (DW) FROM THE <P> BARREL STORAGE BUILDING SHALL BE CONNECTED TO THE EXISTING TREATMENT SYSTEM. A CLEAN-OUT SHALL BE INSTALLED 2 FEET OUTSIDE THE BUILDING AS-SHOWN AND AT MINIMUM INTERVALS OF 100 FEET THEREAFTER.

WATER

1. SEE PLANS BY STEVE SILVA PLUMBING, INC. FOR THE WATER LINE CONNECTIONS INTO THE BUILDING.
2. A WATER METER(S) MUST BE INSTALLED IN THE WATER LINE(S) THAT IS DESIGNATED FOR PROCESS WATER USE.

FIRE WATER

1. THE EXISTING HYDRANT SHALL BE RE-LOCATED AS SHOW ON THE PLANS.

STORM WATER

1. NO NEW DROP INLETS OR AREA DRAINS ARE TO BE INSTALLED. THE SITE GRADING WILL BE MINIMAL, AND WILL DIRECT STORM WATER TO VINEYARD AREA OR EXISTING DROP INLETS.
2. BUILDING DOWNSPOUTS WILL BE CONNECTED TO THE 6" STORM DRAIN PIPE THAT RUNS BETWEEN THE <E> WINERY AND THE <P> BARREL STORAGE BUILDING. SEE SHEET C5.0 FOR THE CONNECTION DETAIL BETWEEN THE BUILDING DOWNSPOUT AND THE STORM DRAIN PIPE.

FOUNDATION DRAINAGE

1. SUB-DRAINS INSTALLED FOR THE BUILDING FOUNDATION WALLS ARE TO BE CONNECTED AT THE SOUTHWEST CORNER OF THE BUILDING, AND OUTFALL INTO THE VINEYARDS. THE APPROXIMATE LOCATION OF THE OUTFALL IS SHOWN ON THE PLANS.

DRY UTILITY NOTES

1. POWER AND COMMUNICATIONS TO BE COORDINATED BY CONTRACTOR AND JRA ELECTRICAL ENGINEERS INC.
2. SEPARATE GAS SERVICE IS NOT REQUIRED FOR THE <P> BARREL STORAGE BUILDING

APPROXIMATE LOCATION AND ALIGNMENT OF  
<E> 6" SD PIPE, CONTRACTOR TO VIF

APPROXIMATE LOCATION AND ALIGNMENT OF  
<E> 6" SD PIPE, CONTRACTOR TO VIF

APPROXIMATE LOCATION AND ALIGNMENT OF  
<E> 6" SD PIPE, CONTRACTOR TO VIF

CONNECT TO <E> SS LINE  
INVERT ELEVATION AND PIPE LOCATION  
TO BE DETERMINED IN FIELD

<E> DOMESTIC WASTEWATER  
TREATMENT SYSTEM AREA

<E> 1,500 GALLON PW  
HOLDING TANKS

<P> LOCATION OF PROCESS  
WASTEWATER HOLDING TANKS

SEE PLANS PREPARED BY STEVE SILVA PLUMBING, INC AND  
JRA ELECTRICAL ENGINEERS, INC. FOR DETAILS REGARDING  
UTILITIES IN THE JOINT TRENCH FROM THE <E> MECHANICAL PAD  
TO THE <P> BARREL STORAGE BUILDING

<E> COVERED CRUSH PAD

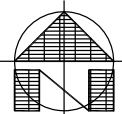
APPROXIMATE LOCATION AND ALIGNMENT OF  
<E> 6" SD PIPE, CONTRACTOR TO VIF

<P> 10,000 GALLON WATER STORAGE TANK  
WATER TANKS TO PROVIDE 12,000 GALLONS OF  
STORAGE DESIGNATED FOR FIRE PROTECTION

<E> FIRE PIPE TO REMAIN IN SERVICE  
<P> 4" C900 FIRE PIPE TO BE EXTENDED TO NEW  
FIRE HYDRANT LOCATION. INSTALL THRUST  
BLOCK AT THE LOCATION OF THE <E> HYDRANT

REVISIONS

- |         |            |
|---------|------------|
| 8/21/13 | NEW SHEET  |
| 9/18/13 | NO CHANGES |



SCALE: 1"=20'

Scale In feet

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USE PERMIT PLANS  
UTILITY PLAN

KITCHAK CELLARS  
1094 HARDMAN AVENUE  
NAPA, CA 94558  
APN: 039-190-055  
PROJECT: M-101



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DATE:	ISSUE:
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08/21/13	REVISION 1 SET
09/18/13	REVISION 2 SET

SHEET:

C3.0

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BEST MANAGEMENT PRACTICES PLAN

LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR TO LOCATE AS NEEDED AND ENSURE FIBER ROLLS ARE INSTALLED ON-CONTOUR

FIBER ROLLS (TYPICAL)

\*CONTRACTOR MAY RELOCATE CONCRETE WASHOUT AND COVERED MATERIAL STORAGE AS NEEDED PER FIELD CONDITIONS AND CONSTRUCTION ACTIVITIES.

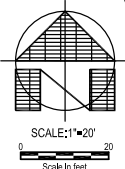
\*COVERED MATERIALS STORAGE

\*CONTRACTOR TO PURCHASE PRE-MANUFACTURED CONCRETE WASHOUT

APPROXIMATE LOCATION AND ALIGNMENT OF <E> 6" SD PIPE, CONTRACTOR TO VIF

\*\* STORMWATER INLET PROTECTION NOTE \*\*  
ALL STORMWATER INLETS TO BE PROTECTED BY GRAVEL BAG SEDIMENT BARRIERS. SEE DETAIL 5 ON SHEET C 5.0 FOR INSTALLATION INSTRUCTIONS.

- REVISIONS
- 8/21/13 • NEW SHEET
  - 9/18/13 • NO CHANGES



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OF ST. HELENA

USE PERMIT PLANS  
BEST MANAGEMENT PRACTICES PLAN

KITCHAK CELLARS  
1094 HARDMAN AVENUE  
NAPA, CA 94558  
APN: 039-190-055  
PROJECT: M-101



EVERY PERSON PLANNING TO DRG  
CALL US AT 1-800-427-2800  
FOR MORE INFORMATION  
SEE WWW.DCEENGINEERING.COM

DATE: 07/15/13  
08/21/13  
09/18/13

ISSUE: PERMIT SET  
REVISION 1 SET  
REVISION 2 SET

SHEET:

C4.0

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EROSION CONTROL NOTES

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW BARREL STORAGE BUILDING ON A PREVIOUSLY DEVELOPED SITE. GRADING FOR THE PROJECT WILL CONSIST OF MINOR CUTTING INTO EXISTING VINEYARD AREA TO DIG FOOTINGS FOR THE BUILDING FOUNDATION. FILL MATERIAL FOR THE PROJECT SHALL BE IMPORTED GRAVEL. SEE THE "ESTIMATED EARTHWORK QUANTITIES" NOTES ON THE COVER SHEET FOR OUT AND FILL QUANTITIES. EROSION CONTROL MEASURES SHALL BE TAKEN TO PREVENT SEDIMENT FROM LEAVING THE PROJECT SITE.

1. GRADING ON THE SITE WILL BE LIMITED TO THE AREAS SHOWN ON THE PLAN.
2. ALL MOVEMENT OF EARTH SHALL COMPLY WITH THE SPECIFICATIONS CONTAINED IN THE NAPA COUNTY GRADING ORDINANCE AND THE EROSION CONTROL PLAN.
3. CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN TO MEET FIELD CONDITIONS WILL BE MADE ONLY WITH THE APPROVAL OF/OR AT THE DIRECTION OF THE DIRECTOR OF PUBLIC WORKS.
4. BETWEEN OCTOBER 15 AND APRIL 1, EROSION CONTROL MEASURES WILL BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY AND/OR AT THE END OF A STORM EVENT. ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE WILL BE MAINTAINED SO THAT A MINIMUM OF SEDIMENT-ADEN RUNOFF LEAVES THE SITE.
5. THE CONTRACTOR WILL INFORM ALL CONSTRUCTION SITE WORKERS ABOUT THE MAJOR PROVISIONS OF THE EROSION AND SEDIMENT CONTROL PLAN AND SEEK THEIR COOPERATION IN AVOIDING THE DISTURBANCE OF THESE CONTROL MEASURES.

VEGETATION REMOVAL CONSISTS OF CLEARING GRAPE VINES FROM THE SITE. ALL ORGANIC MATERIAL SHALL BE MULCHED AND SPREAD ON-SITE.

SOILS WITHIN THE GRADING ENVELOPE HAVE BEEN CLASSIFIED IN THE USDA SOIL CONSERVATION SERVICE'S, NAPA COUNTY SOIL SURVEY, INCLUDING THE HAZARD OF EROSION AS FOLLOWS:

SCS#	SOIL TYPE	% SLOPE	HAZARD OF EROSION
146	HAIRE LOAM	2%-9%	MODERATE

TEMPORARY EROSION CONTROL MEASURES WILL CONSIST OF THE INSTALLATION OF A TEMPORARY STOCKPILE COVER AREA ACCORDING TO DETAIL 1 ON SHEET C5.0, A COVERED MATERIAL STORAGE AREA ACCORDING TO DETAIL 2 SHEET C5.0, FIBER ROLLS ACCORDING TO DETAIL 3 ON SHEET C5.0, AND DROP INLET PROTECTORS ACCORDING TO DETAIL 5 ON SHEET C5.0. PERMANENT EROSION CONTROL MEASURES WILL CONSIST OF THE INSTALLATION OF A STORM DRAIN OUTFALL AND ROCK ENERGY DISSIPATORS AT ALL BUILDING DOWNSPOUT LOCATIONS AS SHOWN ON THIS PLAN.

COVER CROP MAINTENANCE:

A PERMANENT COVER CROP SHALL BE PLANTED PRIOR TO OCTOBER 15. THIS COVER CROP MAY BE MOWED EACH SPRING AFTER THE SEED HAS FULLY MATURED (HARD DOUGH STAGE) TO ENSURE ANNUAL GRASS SPECIES REGENERATION FOR THE FOLLOWING YEAR. MINIMUM MOWING HEIGHT OF 4" SHALL BE MAINTAINED FOR ESTABLISHING ANNUAL AND PERENNIAL GRASSES. NO RIPPING OR OTHER TILLAGE SHALL TAKE PLACE WITHIN THESE AREAS AFTER THE COMPLETION OF GRADING. OPTIMALLY, A GROUND COVER OF 70% OR GREATER WILL BE OBTAINED WITH THE OWNER BEING RESPONSIBLE FOR RESEEDING AND MAINTENANCE IN ORDER TO REACH THE DESIRED DEGREE OF COVER.

EROSION CONTROL MEASURES AND BEST MANAGEMENT PRACTICES TO BE INSTALLED AND MAINTAINED:

FIBER ROLLS SHALL BE EXPLICITLY INSTALLED ON CONTOURS AT THE LOCATIONS SHOWN ON THE PLAN IN ACCORDANCE WITH DETAIL 3 ON SHEET C5.0. FIBER ROLLS SHALL NOT BE INSTALLED ON ANY CROSS SLOPES. FIBER ROLLS DO NOT REQUIRE REMOVAL AND CAN BE ABANDONED IN PLACE. STOCKPILING: ALL STOCKPILES SHALL BE PLACED A MINIMUM OF 50 FEET FROM ANY WATERCOURSE. STOCKPILES SHALL BE PROTECTED FROM RUN-ON BY

THE USE OF TEMPORARY SEDIMENT BARRIERS SUCH AS SILT FENCES, FIBER ROLLS, OR STRAW BALES, SEE PLANS. STOCKPILE SHALL BE COVERED NIGHTLY. SEE DETAIL 1 ON SHEET C5.0 FOR INSTALLATION. STOCKPILES THAT SHALL REMAIN OVER A RAINY SEASON SHALL BE SEEDED PER HYDRO SEEDING REQUIREMENTS AND COVERED WITH EROSION CONTROL BLANKETS. CROP COVER SHALL BE PLANTED PRIOR TO OCTOBER 15. SEE COVER CROP MAINTENANCE NOTES FOR ADDITIONAL REQUIREMENTS.

STRAW MULCH SHALL BE SPREAD OVER ALL DISTURBED AND SEEDED AREAS. THE MULCH SHALL BE SPREAD MECHANICALLY OR BY HAND AT A RATE OF 2 TONS/ACRE.

COVERED MATERIAL STORAGE AREA: ALL CONSTRUCTION MATERIALS INCLUDING, BUT NOT LIMITED TO PLASTER, PETROLEUM PRODUCTS, ASPHALT AND CONCRETE COMPONENTS, HAZARDOUS CHEMICALS, SHALL BE STORED IN A COVERED, CONTAINED AREA, TO PREVENT POLLUTION OF ANY WATERCOURSE. SEE DETAIL 2 SHEET C5.0. MATERIAL DATA SAFETY SHEETS SHALL BE AVAILABLE FOR ALL MATERIALS STORED. MATERIALS SHALL BE COVERED AND SECURED NIGHTLY.

CONCRETE WASHOUT: CONCRETE WASHOUT SHALL BE PROVIDED TO WASH TOOLS AND OTHER ITEMS USED DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE A PREFABRICATED CONCRETE WASHOUT. HARDENED AND SETTLED CONCRETE SHALL BE DISPOSED OF IN AN APPROVED DISPOSAL FACILITY.

DROP INLET PROTECTORS: EVERY DI RECEIVING STORMWATER SHALL BE PROTECTED WITH AN INLET BARRIER, SEE DETAIL 5 SHEET C5.0 (DROP INLET SEDIMENT BARRIER). STRAW BALES ARE NOT EFFICIENT INLET PROTECTORS. DI INLET PROTECTORS SHALL BE INSPECTED BEFORE AND AFTER EACH STORM EVENT.

SWEEPING: PUBLIC AND PRIVATE ROADS SHALL BE SWEEPED NIGHTLY TO REMOVE ANY SEDIMENT GENERATING FROM THE PROJECT SITE. SWEEPING IS NOT EFFECTIVE WHEN THE SEDIMENT IS WET OR CAKED. SCRAPE CAKED SOIL PRIOR TO SWEEPING. KICK BROOMS AND SWEEPER ATTACHMENTS SHALL NOT BE USED AS A SWEEPING TOOL. IF THE COLLECTED MATERIAL IS FREE OF DEBRIS AND TRASH CONSIDER INCORPORATING BACK INTO THE PROJECT SITE, OTHERWISE DISPOSE OF IN AN APPROVED LOCATION.

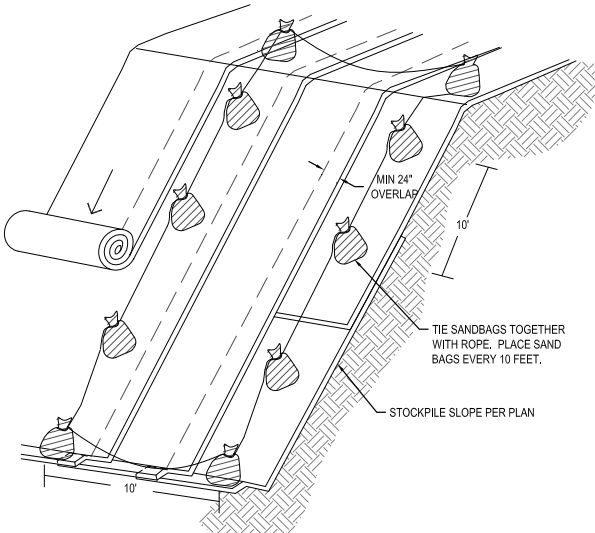
CONTRACTOR SHALL COORDINATE THE FOLLOWING INSTALLATION INSPECTIONS:

1. PRE-INSTALLATION MEETING AT SITE.
2. POST-INSTALLATION INSPECTION MEETING AT SITE.
3. SCHEDULE COUNTY INSPECTIONS IN ADDITION TO THESE MEETINGS.

CONTRACTOR SHALL LEAD THE FOLLOWING MAINTENANCE RESPONSIBILITIES:

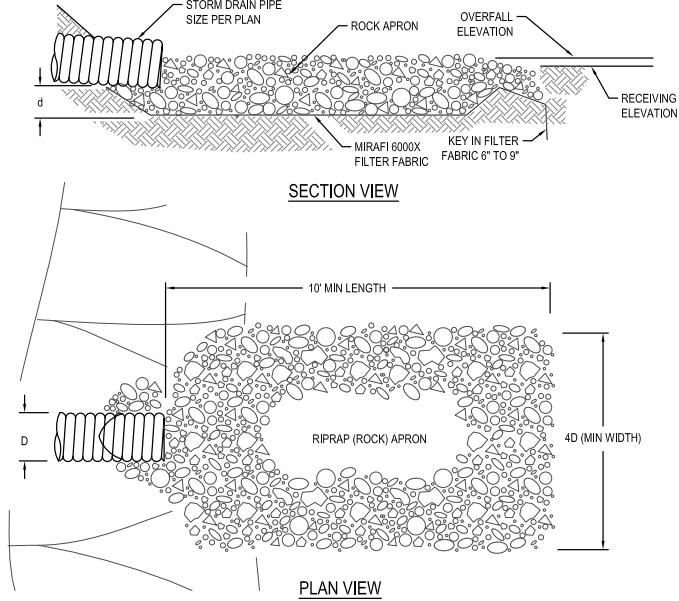
1. REVIEW SOMP.
2. PROVIDE IRRIGATION (A SIMPLE LAWN SPRINKLER) TO ALL SEEDED AREAS TO PROMOTE SEED GERMINATION PRIOR TO THE BEGINNING OF RAINY SEASON.
3. INSPECT ALL EROSION CONTROL MEASURES PRIOR TO ALL RAIN EVENTS.
4. MAKE NECESSARY REPAIRS OR PROVIDE MAINTENANCE OF ANY SEDIMENT BUILDUP WHICH MAY HAVE ACCUMULATED.
5. INSPECT ALL EROSION CONTROL MEASURES DURING HEAVY STORM EVENTS AND MAKE EMERGENCY REPAIRS OR ADDITIONS WHERE NECESSARY.
6. INSPECT ALL EROSION CONTROL MEASURES AFTER RAIN EVENTS. REPAIRS SHALL BE PROMPTLY PERFORMED.
7. CONTACT DESIGN ENGINEER FOR QUESTIONS OR TO PROVIDE FEEDBACK ON TROUBLE AREAS.

CONTRACTOR IS RESPONSIBLE FOR TRAINING ALL SUBCONTRACTORS ON PROPER STORMWATER MANAGEMENT. NO ADDITIONAL GRADING SHALL COMMENCE WITHOUT PROPER PERMITTING.



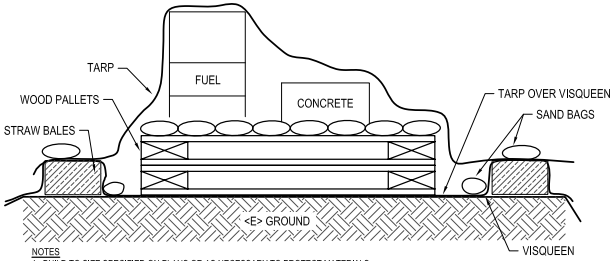
- NOTES:
1. STOCKPILE SHALL BE COVERED WITH VISQUEEN OR EQUIVALENT.
  2. COVER SHALL BE INSTALLED VERTICALLY DOWNSLOPE.
  3. COVER SHALL BE INSTALLED SECURELY IN ORDER TO PROTECT FROM WIND AND RAIN.
  4. STOCKPILE SHALL BE PROTECTED FROM RUN-ON BY INSTALLING SEDIMENT BARRIERS AROUND TOE OF PILE.

1 STOCKPILE COVER NOT TO SCALE



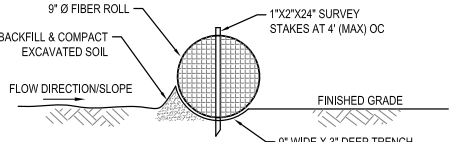
- NOTES:
1. 10" = PIPE DIAMETER PER PLAN
  2. 10" = RIPRAP THICKNESS, 1.5 X MAX ROCK DIAMETER (d = MINIMUM 6")
  3. USE 4 INCH TO 12 INCH MINIMUM SOUND, DURABLE, AND ANGULAR RIPRAP FOR THE ROCK APRON.
  4. CAREFULLY PLACE RIPRAP TO AVOID DAMAGING THE FILTER FABRIC.
  5. ALIGN APRON WITH RECEIVING STREAM AND KEEP STRAIGHT THROUGH ITS LENGTH.

4 STORM DRAIN OUTFALL NOT TO SCALE



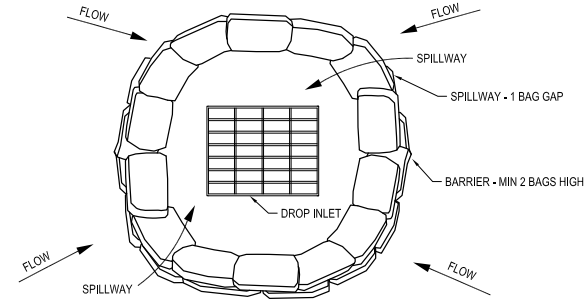
- NOTES:
1. BUILD TO SIZE SPECIFIED ON PLANS OR AS NECESSARY TO PROTECT MATERIALS.
  2. EXISTING GROUND SHALL BE PROTECTED BY A LAYER OF 6 MIL (MIN) VISQUEEN PLUS A TARP OVER THE VISQUEEN LAYER.
  3. VISQUEEN, SANDBAGS, AND STRAW BALES SHALL ACT AS A BASIN FOR CONTAINMENT OF ANY SPILLS.
  4. TARP SHALL BE PLACED OVER CONSTRUCTION MATERIALS NIGHTLY. TARP SHALL BE SECURED USING SANDBAGS.

2 COVERED MATERIAL STORAGE AREA NOT TO SCALE



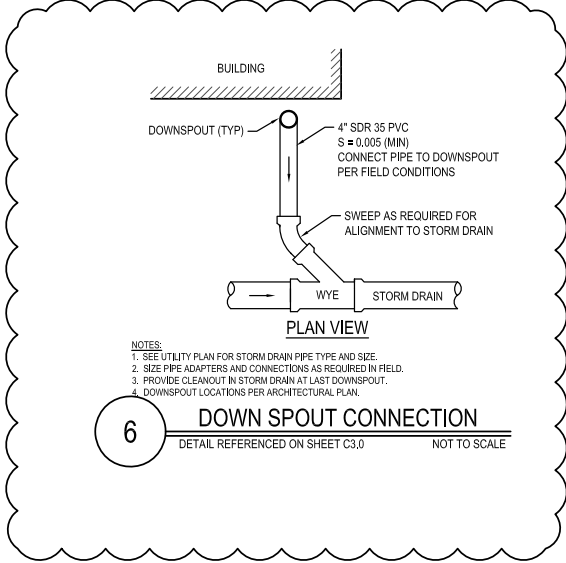
- NOTES:
1. FIBER ROLLS SHALL BE PLACED "ON CONTOUR" (PARALLEL TO CONTOUR), PERPENDICULAR TO WATER MOVEMENT, AND IN SUCH A WAY TO NOT CONCENTRATE WATER FLOWS.
  2. ENDS OF THE ROLLS SHALL BE TURNED UP SLOPE TO PREVENT RUN-OFF FROM GOING AROUND THE ROLLS.
  3. EXCAVATE SHALLOW TRENCH. TRENCH DEPTH SHALL BE 1/4 TO 1/3 OF THE DIAMETER OF THE ROLL AND THE WIDTH SHALL BE EQUAL TO THE DIAMETER. LAY FIBER ROLL IN TRENCH AND STAKE.
  4. IF MORE THAN ONE ROLL IS NEEDED, ROLLS SHALL OVERLAP AND NOT ABUT. OVERLAP SHALL BE A MINIMUM OF 2 FEET.
  5. STAKE FIBER ROLLS AT 4 FOOT MAXIMUM INTERVALS. IF GROUND IS IMPENETRABLE, PRE-DRILL HOLE PRIOR TO STAKE INSTALLATION.
  6. FIBER ROLLS LAID ON THE GROUND WILL BE REQUIRED TO BE REMOVED AND RE-INSTALLED CORRECTLY.

3 FIBER ROLL SEDIMENT BARRIER NOT TO SCALE



- NOTES:
1. BAGS SHALL BE EITHER BURLAP OR WOVEN "GEOTEXTILE" FABRIC.
  2. BAGS SHALL BE FILLED WITH 1/2 INCH TO 1 INCH CLEAN CRUSHED ROCK
  3. BAGS SHALL BE OVERLAPPED AND PACKED TIGHTLY TOGETHER. LEAVE A ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
  4. GRAVEL BAG BARRIER MAY BE USED DURING ROUGH GRADING OR AFTER FINISH SURFACE INSTALLATION TO PROTECT DROP INLET.
  5. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT.

5 GRAVEL BAG SEDIMENT BARRIER NOT TO SCALE



- NOTES:
1. SEE UTILITY PLAN FOR STORM DRAIN PIPE TYPE AND SIZE.
  2. SIZE PIPE ADAPTERS AND CONNECTIONS AS REQUIRED IN FIELD.
  3. PROVIDE CLEANOUT IN STORM DRAIN AT LAST DOWNSPOUT.
  4. DOWNSPOUT LOCATIONS PER ARCHITECTURAL PLAN.

6 DOWN SPOUT CONNECTION NOT TO SCALE

REVISIONS	
8/21/13	NEW SHEET
9/18/13	ADDED DOWNSPOUT CONNECTION DETAIL

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USE PERMIT PLANS  
BMP DETAILS

KITCHAK CELLARS  
1094 HARDMAN AVENUE  
NAPA, CA 94558  
APN: 039-190-055  
PROJECT: M-101



DATE	ISSUE
07/15/13	PERMIT SET
08/21/13	REVISION 1 SET
09/18/13	REVISION 2 SET

SHEET:

C5.0



**EXHIBIT B**  
**2010 CONDITIONS OF APPROVAL**

## EXHIBIT B

### PROPOSED CONDITIONS OF APPROVAL

**Kitchak Winery Use Permit  
#P09-00148-UP & #P09-00149-VAR  
1094 Hardman Avenue, Napa  
Assessor's Parcel #'s: 039-190-038-000**

#### **Approval of Variance request #P09-00149- VAR to allow the following:**

Approval of a Variance (#P09-00149-VAR) from the required winery road setbacks set forth in Napa County Code section 18.104.230 (A.) (2.) to allow a winery to be established 196 feet from the centerline of a private road where 300 feet is required.

#### **Approval of a Use Permit request #P09-00148-UP to allow the following:**

**1. SCOPE:** The use permit shall be limited to:

- Establishment of a new, 5,000 gallon maximum per year winery (consistent with the Napa County Winery Production Process);
- Conversion of an existing 2,048 square foot, single-story, residential garage to be used as a winery production / wine tasting retail sales building for a winery totaling 2,048 square feet;
- Construction of a 300 square foot covered crush pad or Napa County Public Works approved alternative;
- Use of a 400 square foot uncovered hospitality patio;
- One full-time and two part-time employees;
- Six parking spaces;
- Tours and tasting by appointment only with a maximum of 12 visitors per day (84 visitors per week max.);
- A marketing plan with: six 20-person promotional events with catered meals per year; four 30-person release events per year with No Tours & Tasting Appointments or Marketing Events to be held on the same day and will hold no Temporary Events;
- Installation of a hold and haul winery process wastewater system;
- Improvement of the existing driveway from Hardman Avenue to the winery structure to comply with Napa County Road and Street Standards **with consideration for the existing conditions so as to: 1) have the least amount of effect on existing improvements; 2) conserve costs to the permittee; and, 3) preserve existing landscape design aesthetics.**

The winery shall be designed in substantial conformance with the submitted site plan, elevation drawings, and other submittal materials and shall comply with all requirements of the Napa County Code. It is the responsibility of the applicant to communicate the requirements of these conditions and mitigations (if any) to all designers, contractors, employees, and guests of the winery to ensure compliance is achieved. Any expansion or changes in use shall be in accordance with Section 18.124.130 of the Napa County Code and may be subject to the Use Permit modification process.



## **EXHIBIT B**

### **PROPOSED CONDITIONS OF APPROVAL**

**Kitchak Winery Use Permit  
#P09-00148-UP & #P09-00149-VAR  
1094 Hardman Avenue, Napa  
Assessor's Parcel #'s: 039-190-038-000**

**2. \*MARKETING:** Marketing events shall be limited as follows:

- a. Frequency: 6 times per month (and shall not be held on the same day as any other marketing event or any tours and tasting appointment.)  
Number of persons: 20 maximum  
Time of Day: 11:00 AM to 10:00 PM  
Days per Week: Seven  
Meals shall be catered with food prepared at an off-site, County approved location.
- b. Frequency: 4 times per year (and shall not be held on the same day as any other marketing event or any tours and tasting appointment.)  
Number of persons: 30 maximum  
Time of Day: 11:00 AM to 10:00 PM  
Days per Week: Seven
- c. No Temporary Events shall be allowed.

**\*\*"Marketing of wine"** means any activity of a winery identified in this paragraph which is conducted at the winery and is limited to members of the wine trade, persons who have pre-established business or personal relationships with the winery or its owners, or members of a particular group for which the activity is being conducted on a prearranged basis.

Marketing of wine is limited to activities for the education and development of the persons or groups listed above with respect to wine which can be sold at the winery on a retail basis, and may include food service without charge except to the extent of cost recovery when provided in association with such education and development, but shall not include cultural and social events unrelated to such education and development. (Ord. 1104 § 11, 1996: Ord. 947 § 9 (part), 1990: prior code § 12071). All activity, including cleanup, shall cease by 10:00 PM. Start and finish time of all activities shall be scheduled to minimize all vehicles arriving or leaving between 4:00 PM and 6:00 PM.

**3. \*TOURS AND TASTING:**

Tours and tastings shall be limited to a maximum of 12 visitors per day (84 maximum visitors per week;

**\*\*"Tours and tastings"** means tours of the winery and/or tastings of wine, where such tours and tastings are limited to members of the wine trade, persons invited by a winery who have pre-established business or personal relationships with the winery or its owners, and

## **EXHIBIT B**

### **PROPOSED CONDITIONS OF APPROVAL**

**Kitchak Winery Use Permit  
#P09-00148-UP & #P09-00149-VAR  
1094 Hardman Avenue, Napa  
Assessor's Parcel #'s: 039-190-038-000**

persons who have made unsolicited prior appointments for tours or tastings. (Ord. 947 § 9 (part), 1990: prior code § 12070).

Start and finish time of tours and tastings shall be scheduled to minimize vehicles arriving or leaving between 4:00 PM and 6:00 PM, and shall be limited to those wines set forth in Napa County Code Sec. 18.16.030(G)(5)(c). A log book (or similar record) shall be maintained which documents the number of visitors to the winery, and the dates of their visit. This record of visitors shall be made available to the Department upon request.

#### **4. GRAPE SOURCE:**

At least 75% of the grapes used to make the winery's wine shall be grown within the County of Napa. The permittee shall keep records of annual production documenting the source of grapes to verify that 75% of the production is from Napa County grapes. The report shall recognize the Agriculture Commission's format for County of origin of grapes and juice used in the Winery Production Process. The report shall be provided to the Conservation, Development and Planning Department upon request, but shall be considered proprietary information not available to the public.

#### **5. SIGNS:**

Prior to installation of any winery identification or directional signs, detailed site plans and sign design plans, including locations, elevations, materials, color, and lighting, shall be submitted to the Planning Department for administrative review and approval. Administrative review and approval is not required if signage to be installed is consistent with signage plans submitted, reviewed and approved as part of this use permit approval. All signs shall meet the design standards as set forth in Chapter 18.116 of the County Code. At least one sign placed and sized in a manner to inform the public must legibly and visibly include wording stating "Tours and Tasting by Prior Appointment Only".

#### **6. GATES/ENTRY STRUCTURES:**

Any gate installed at the winery entrance shall be reviewed by the Conservation, Development and Planning Department, Public Works Department and the Napa County Fire Department to assure that it is designed to allow large vehicles, such as motorhomes, to turn around if the gate is closed without backing into the public roadway, and that fire suppression access is available at all times. If the gate is part of an entry structure an additional permit shall be required according to the County Code. A separate entry structure permit is not required if the entry structure is consistent with entry structure plans submitted, reviewed and approved as part of this use permit approval.

## EXHIBIT B

### PROPOSED CONDITIONS OF APPROVAL

Kitchak Winery Use Permit  
#P09-00148-UP & #P09-00149-VAR  
1094 Hardman Avenue, Napa  
Assessor's Parcel #'s: 039-190-038-000

#### 7. LIGHTING:

All exterior lighting, including landscape lighting, shall be shielded and directed downward, shall be located as low to the ground as possible, and shall be the minimum necessary for security, safety, or operations and shall incorporate the use of motion detection sensors to the greatest extent practical. No flood-lighting or sodium lighting of the building is permitted, including architectural highlighting and spotting. Low-level lighting shall be utilized in parking areas as opposed to elevated high-intensity light standards. Prior to issuance of any building permit for construction of the winery, two (2) copies of a detailed lighting plan showing the location and specifications for all lighting fixtures to be installed on the property shall be submitted for Department review and approval. All lighting shall comply with Uniform Building Code (UBC).

#### 8. LANDSCAPING/PARKING:

Two (2) copies of a detailed landscaping plan, including parking details, shall be submitted for review and approval prior to issuance of building permits. The plan shall indicate the names and locations of all plant materials to be used along with the method of maintenance. **Plant materials shall be purchased locally when practical. The Agricultural Commissioner's office (707-253-4357) shall be notified of all impending deliveries of live plants with points of origin outside of Napa County.** The location of employee and visitor parking and truck loading zone areas shall be identified along with proposed circulation and traffic control signage (if any). Landscaping and parking shall be completed prior to occupancy, and shall be permanently maintained in accordance with the landscaping plan.

All existing trees within the area planned for development shall be indicated on the landscaping plan according to species and size. Trees planned for removal shall be indicated on the detailed landscaping plan. **No trees greater than 6" DBH shall be removed, except for those identified on the submitted site plan.** Any trees that are removed shall be replaced elsewhere on the property on a 2 for 1 basis of equivalent caliper. Replaced trees shall be identified on the landscaping plan. Trees to be retained shall be protected during construction.

Evergreen screening shall be permanently installed between the industrial portions of the operation (e.g. tanks, crushing area, parking area, etc.) and off-site residences that can view these areas. This permanent screening requirement shall also include any cave portal, cave portal retaining wall and entrance pad that are visible from a public or private road.

Parking shall be limited to approved parking spaces only and shall not occur along access roads or in other locations except during harvest or approved marketing events. In no case shall parking impede emergency vehicle access or public roads. If any event is held which will exceed the available on-site parking, the applicant shall arrange for off-site parking and shuttle service to the winery.



**EXHIBIT C**  
**LEGAL EASEMENT AND MAINTENANCE AGREEMENT**

2006-0011396

**RECORDING REQUESTED BY:**

Fidelity National Title Company  
Escrow No.: 06-280200119-DC  
Locate No.: CAFNT0928-0928-0002-0280200119  
Title No.: 06-280200119-CM

Recorded | REC FEE 13.00  
Official Records |  
County of |  
Napa |  
JOHN TUTEUR |  
Assessor Clerk Record |  
VB  
012:18PM 03-Apr-2006 | Page 1 of 3

**When Recorded Mail Document  
and Tax Statement To:**

Mr. and Mrs. Peter R. Kitchak  
1922 IDS Center, 80 S. Eighth Street  
Minneapolis, MN 55402

APN: 039-190-038

SPACE ABOVE THIS LINE FOR RECORDER'S USE

**GRANT DEED  
(COMMUNITY PROPERTY WITH RIGHT OF SURVIVORSHIP)**

**DOCUMENTARY TAX**

THE UNDERSIGNED GRANTOR(s) DECLARE(s): **DECLARATION FILED**  
DOCUMENTARY TRANSFER TAX is -----

- [ ☒ ] computed on full value of property conveyed, or  
[ ] computed on full value less value of liens or encumbrances remaining at time of sale or transfer,  
[ ] Unincorporated Area: [ ] City of and  
[ ] Check when grantees are expressly declaring that the transfer of the property is to be community property  
with right of survivorship.

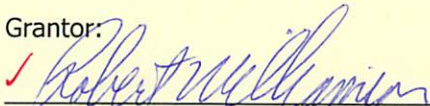
FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,  
**Robert Williamson, Jr. and Joni Lynn Williamson, husband and wife**

hereby GRANT(s) to **Peter R. Kitchak and Patricia D. Kitchak, husband and wife as community property with  
rights of survivorship**

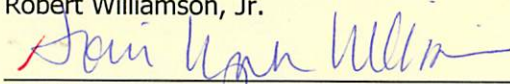
the following described real property in the County of **Napa**, State of **California**:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

Grantor:

  
Robert Williamson, Jr.

Date: 3/27/06

  
Joni Lynn Williamson

Date: 3/27/06



"GRANTEES HEREBY EXPRESSLY DECLARE AND ACCEPT THE TRANSFER OF THE HEREIN DESCRIBED PROPERTY AS COMMUNITY PROPERTY WITH RIGHT OF SURVIVORSHIP."

Grantee:

✓ Peter R. Kitchak  
Peter R. Kitchak

Date: 3-24-06

✓ Patricia D. Kitchak  
Patricia D. Kitchak

Date: 3-24-06

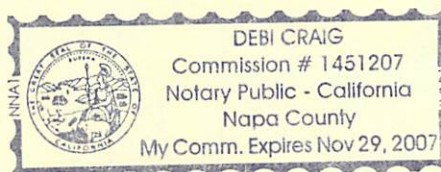
STATE OF CALIFORNIA )  
COUNTY OF Napa )

ON March 27, 2006 before me,  
Debi Craig, Notary Public (here insert name and title of the officer), personally appeared  
Robert Williamson, Jr., Joni Lynn Williamson

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

Witness my hand and official seal.

Signature Debi Craig



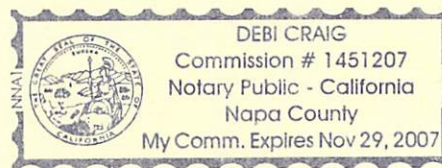
STATE OF CALIFORNIA )  
COUNTY OF Napa )

ON March 24, 2006 before me,  
Debi Craig, Notary Public (here insert name and title of the officer), personally appeared  
Peter R. Kitchak, Patricia D. Kitchak

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

Witness my hand and official seal.

Signature Debi Craig





END OF DOCUMENT

Escrow No.: 06-280200119-DC  
Locate No.: CAFNT0928-0928-0002-0280200119  
Title No.: 06-280200119-CM

## EXHIBIT "A"

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN AN UNINCORPORATED AREA, COUNTY OF NAPA, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

**Parcel One:**

Parcel A and X as shown on the map entitled, "Parcel Map of the Lands of Ernest Eun-Ho Shin, et ux", filed August 30, 1977 in Book 9 of Parcel Maps at page 11 in the office of the County Recorder of said Napa County.

**Parcel Two:**

That portion of Parcel B according to the Parcel Map of the Lands of Ernest Eun-Ho Shin, et ux, recorded August 30, 1977 in Book 9 of Maps at Page 11, in the Office of the County Recorder lying within the lines of Parcel X as shown on said Parcel Map. "Parcel X (60' Wide)", all as shown on said Map.

Reserving from the above referenced Parcels:

A non-exclusive easement in favor of the Grantors for ingress and egress, and the installation, use and maintenance of utilities, over, under, and across said Parcel X, and that portion of Parcel B lying with the lines of said Parcel X as shown on said Map.

✓ PRW  
✓ JW

✓ PRK  
✓ pdk

Initials: \_\_\_\_\_

01/26/2006 12:15 7079630300

PAGE 02/03

10/01/2004 11:27 7079633594

+028022798

T-512 P.002/003 F-310

OCT-01-04 12:17PM FROM-INTERO REAL ESTATE

## PRIVATE ROADWAY MAINTENANCE AGREEMENT

This agreement is made this 1<sup>st</sup> day of October 2004, between Anthony & Ione Cataldo and Robert & Joni Williamson herein referred to as the owners of 1100 and 1094 Hardman Ave, Napa Ca 94558.

### Article I - Easements

- 1.1 Easements Established: The portions of said parcels that lie within the private road on exhibit "A" are subject to an easement of ingress and egress and roadway purposes for the benefit of 1100 and 1094 Hardman avenue, Napa Ca.

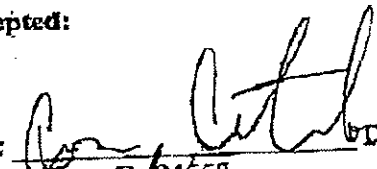
### Article II - Maintenance

- 2.1 Roadway: It shall be the responsibility of the owners of 1100 and 1094 Hardman to maintain, repair and reconstruct as necessary.

- 2.2 Maintenance: The owners of 1100 and 1094 Hardman shall be responsible for the maintenance of said roadway and utility facilities, including patching and sealing and shall be responsible for maintaining the surface in substantially the same condition of repair as public streets in the area.

- 2.3 Cost Allocation: The cost and expense of maintenance and repair including reconstruction as needed, shall be split on a 50/50 basis between the owners of 1100 and 1094 Hardman.

Agreed and Accepted:

Anthony Cataldo:   
1100 Hardman Ave, Napa Ca 94558

Date: 10-1-04

Ione Cataldo: 

Date: 10-1-04



2004-0044021

**RECORDING REQUESTED BY:**

Fidelity National Title Company

**WHEN RECORDED MAIL TO, AND  
MAIL TAX STATEMENTS TO:**Robert and Joni Williamson  
PO Box 1004  
Half Moon Bay, CA 94019Recorded  
Official Records  
County Of  
Napa  
JOHN TUTEUR  
Recorder

REC FEE 37.00

01:03PM 21-Oct-2004

EU  
Page 1 of 11

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039-190-038

**ROADWAY MAINTENANCE AGREEMENT**

THIS ROADWAY MAINTENANCE AGREEMENT ("Agreement") is entered into as of this 14 day of October 2004, by and between ANTHONY J. CATALDO and IONE A. CATALDO, husband and wife (collectively, the "Cataldos") and ROBERT WILLIAMSON JR. and JONI LYNN WILLIAMSON, husband and wife as Joint Tenants (collectively, the "Williamsons").

1. **Recitals.** This Agreement is entered into with respect to the following facts and objectives:

1.1 The Cataldos are the owners of that certain real property described in Exhibit A (the "Cataldo Parcel").

1.2 By grant deed of even date herewith (the "Grant Deed"), the Williamsons have acquired from the Cataldos, and are now the owners of, that certain real property described in Exhibit B (the "Williamson Parcel"). The Williamson Parcel and the Cataldo Parcel are from time to time referred to herein as the "Parcels."

1.3 The Cataldos and Williamsons gain access to their respective Parcels over an access road (the "Roadway") on the portion of the Williamson Parcel described in Exhibit C (the "Roadway Strip"), which Roadway runs from the Cataldo Parcel to Hardman Avenue. The approximate boundaries of the Parcels and the Roadway Strip are shown on Exhibit D. The Cataldos reserved an easement over the Roadway Strip for ingress, egress and utility purposes in the Grant Deed, for the benefit of the Cataldo Parcel.

1.4 The Cataldos and Williamsons desire to enter into this Agreement regarding the maintenance of the Roadway.

2. **Road Maintenance.**

2.1 **Roadway.** The owners and occupants of the Williamson Parcel and Cataldo Parcel shall be jointly and severally responsible for the repair and maintenance of the Roadway. The Roadway shall be maintained in good, clean condition, free of potholes and other

012207.0001\722585.2

1

hazards or other obstructions and in a condition that ensures the safe and efficient ingress and egress of pedestrians and motor vehicles. The costs for repairs and maintenance of the Roadway shall be allocated between the Williamson Parcel and Cataldo Parcel on an equal basis. The foregoing provisions of this Section 2.1 to the contrary notwithstanding, to the extent that any repair or maintenance work to the Roadway is necessitated due to the negligence or disproportionate heavy use by the owners or occupants of the Williamson Parcel or Cataldo Parcel, such responsible party shall fully bear the costs of such repair or maintenance work without the right of contribution from the other party.

**2.2 Initiating Work.** In the event that the owner of the Williamson Parcel or the owner of the Cataldo Parcel desire to have repair or maintenance work performed upon the Roadway, such party (the "Initiating Party") shall give written notice upon the other party (the "Other Party"). This repair/maintenance notice shall contain a description of the proposed work and an estimate of the costs of the proposed maintenance or repair. Such notice shall be given at least ten (10) days prior to the commencement of such maintenance or repair. Within such ten (10) day period, the Initiating Party must secure the written consent of the Other Party. Upon obtaining such approval, the costs of such maintenance or repair work shall be allocated between the Williamson Parcel and Cataldo Parcel as provided above in Section 2.1, and all the parties shall be unconditionally obligated to pay their allocated share of such costs in the proportions set forth in Section 2.1.

**2.3 Default.** Upon the failure of a responsible party to promptly pay its designated share of the maintenance and repair costs pursuant to this Section 2, such party shall be in default of this Agreement.

**3. Gates.** No gates shall be erected on the Roadway in a manner or location which creates an unsafe condition for pedestrians or vehicles, or in any case without the approval of the owners of both Parcels.

**4. Indemnity.** The owners and occupants of the Williamson Parcel and Cataldo Parcel shall each indemnify, protect, defend and hold the occupants and owners of the other parcel harmless from all damages, actions, judgments, costs, claims, demands, liabilities and expenses (including reasonable attorneys' fees and defense costs) to the extent arising out of the negligence by the indemnitor related to the use or maintenance of the Roadway or Roadway Strip.

**5. Successors.** All deeds and other instruments by which any portion of either Parcel may be conveyed after the recording of this Agreement shall be subject and subordinate to the terms and provisions of this Agreement whether or not such deed or other instrument makes reference to this Agreement. It is the express intent of the parties to this Agreement that the covenants and obligations pursuant to this Agreement are intended to run with the land and be for the benefit of, or burden, the respective Parcels.

**6. Miscellaneous.**

**6.1 Attorneys' Fees.** If any action is commenced against a party to this Agreement or any successor owner or occupant of either of the Parcels to enforce any of the

provisions of this Agreement or because of the breach or threatened breach of any provision of this Agreement (after notice to the other party and reasonable opportunity for such party to cure such breach or threatened breach), the prevailing party in such action shall be entitled to collect from the other party reasonable attorneys' fees, costs and expenses incurred in connection with the prosecution or defense of such action.

**6.2 Severability.** If any provision or a portion of any provision of this Agreement is or shall become illegal or void for any reason, or be so held by any court of competent jurisdiction, the remaining provisions of this Agreement shall remain in full force and effect.

**6.3 Amendments.** This Agreement may only be amended or modified by a written agreement signed by the then-owners of the Parcels, which agreement shall take effect upon the recordation thereof in the Official Records of Napa County.

**6.4 Remedies for Breach.** In the event of any violation or threatened violation of any provision contained in this Agreement, in addition to any other remedies provided in this Agreement or available at law or in equity, any party shall have the right to enjoin such violation or threatened violation in any court of competent jurisdiction.

**6.5 Breach Shall Not Terminate.** No breach of this Agreement by any party hereto shall entitle any other party to cancel, rescind, or otherwise terminate this Agreement.

**6.6 No Waiver.** The failure by a party to enforce any provision of this Agreement by any party to this Agreement shall in no event be deemed to be a waiver of the right to do so thereafter nor of the right to enforce any other provision of this Agreement.

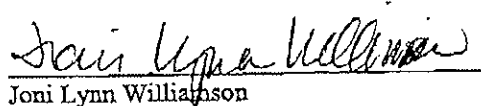
**6.7 No Third Party Beneficiaries.** This Agreement is made for the sole benefit and protection and benefit of those persons (including their successors) and those parcels referred to in this Agreement, and no other person, entity shall have any right of action based upon this Agreement.

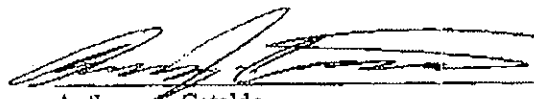
**6.8 No Merger.** There shall be no merger of any easement rights, interests or obligations created by or referred to in this Agreement by reason of the fact that the parcels or any portion thereof may be owned or held, directly or indirectly, by or for the account of the same person, unless and until all persons at the time having an interest in the Parcels (including, but not limited to, the holders of any bona fide deed of trust or mortgage) shall join in and properly record a written agreement effecting such merger.

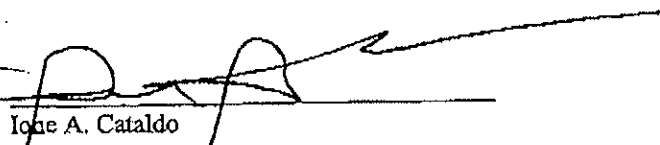
**6.9 Recitals/Exhibits.** The recitals contained in Section 1 and the Exhibits attached to this Agreement are incorporated in and made a part of this Agreement.

IN WITNESS WHEREOF, the Agreement is effective as of the date first written above.

  
Robert Williamson Jr.

  
Joni Lynn Williamson

  
Anthony J. Cataldo

  
Ione A. Cataldo



STATE OF California

COUNTY OF Napa

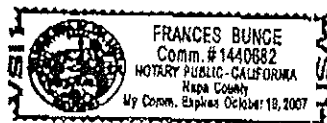
On October 18, 2004 before me, the undersigned  
(Name of Notary Public)

personally appeared Anthony J. Cataldo and Ione A. Cataldo and Robert Williamson, Jr. and Joni Lynn Williamson

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Frances Bunge  
(Signature of Notary Public)



(This area for notarial seal)

(notary)(07-02)

Project: M-101  
Kitchak Cellars



## EXHIBIT D DRIVEWAY IMPROVEMENTS OPPOSITION

## Bryan Jackson

---

**Subject:** RE: Driveway entrance into our two properties

---

**From:** TK Chiang [<mailto:TKChiang@orionpartners.com>]  
**Sent:** Saturday, June 29, 2013 9:36 AM  
**To:** Peter Kitchak  
**Subject:** Re: Driveway entrance into our two properties

Dear Mr. Kitchak,

When we purchased and made the substantial improvements to our property, we did so in part because of wonderful aesthetics of the driveway and the entrance it provides to our property. We think those should remain as is and as a result we could not support or approve your request to remove the trees either on one side or on both sides of the driveway. We hope you can understand and appreciate our position on the matter since this is such a special and unique driveway.

Best regards.  
TK and Madelaine Chiang

---

**From:** Peter Kitchak <[pkitchak@kitchakcellars.com](mailto:pkitchak@kitchakcellars.com)>  
**Date:** Sat, 29 Jun 2013 13:40:05 +0000  
**To:** TK Chiang <[tkchiang@orionpartners.com](mailto:tkchiang@orionpartners.com)>  
**Subject:** Driveway entrance into our two properties

TK and Madelaine,  
I hope all is well with the Chiang Family. We are looking forward to seeing you later this summer.

As you know, we are applying to the county for a permit to build a new winery barrel storage building, an increase in the capacity of our winery, and an increase in the number of people permitted at tastings. Thank you for your indication of approval of that project.

However, we have somewhat of a complication. The County Engineering Department has indicated that our joint driveway from Hardman Ave is substandard according to Napa County Road and Street Standards (RSS). The overall drive between the Cypress trees is only around 17 feet and the standards require that dimension to be at least 20 feet. The Engineering department has requested that we bring the road of to the RSS, which may require the removal of the concrete strips and replacing them with an 18' wide asphalt drive with a two foot shoulder. At a minimum the work would require the removal of all of the Cypress trees on either one or on both sides of the drive.

Since the terms of our driveway maintenance agreement requires you approval to undertake any work on the drive, we thought it was important to ask if you would be willing to give your approval to do so.

Thank You for your consideration.  
Personal Regards,  
Peter and Patricia Kitchak



Peter Kitchak, Proprietor  
Kitchak Cellars

Napa, CA 94558  
612-889-0910 Mobile  
707-225-2276 Winery  
[www.kitchakcellars.com](http://www.kitchakcellars.com)  
@kitchakcellars

***Bottled Music From the Napa Valley***