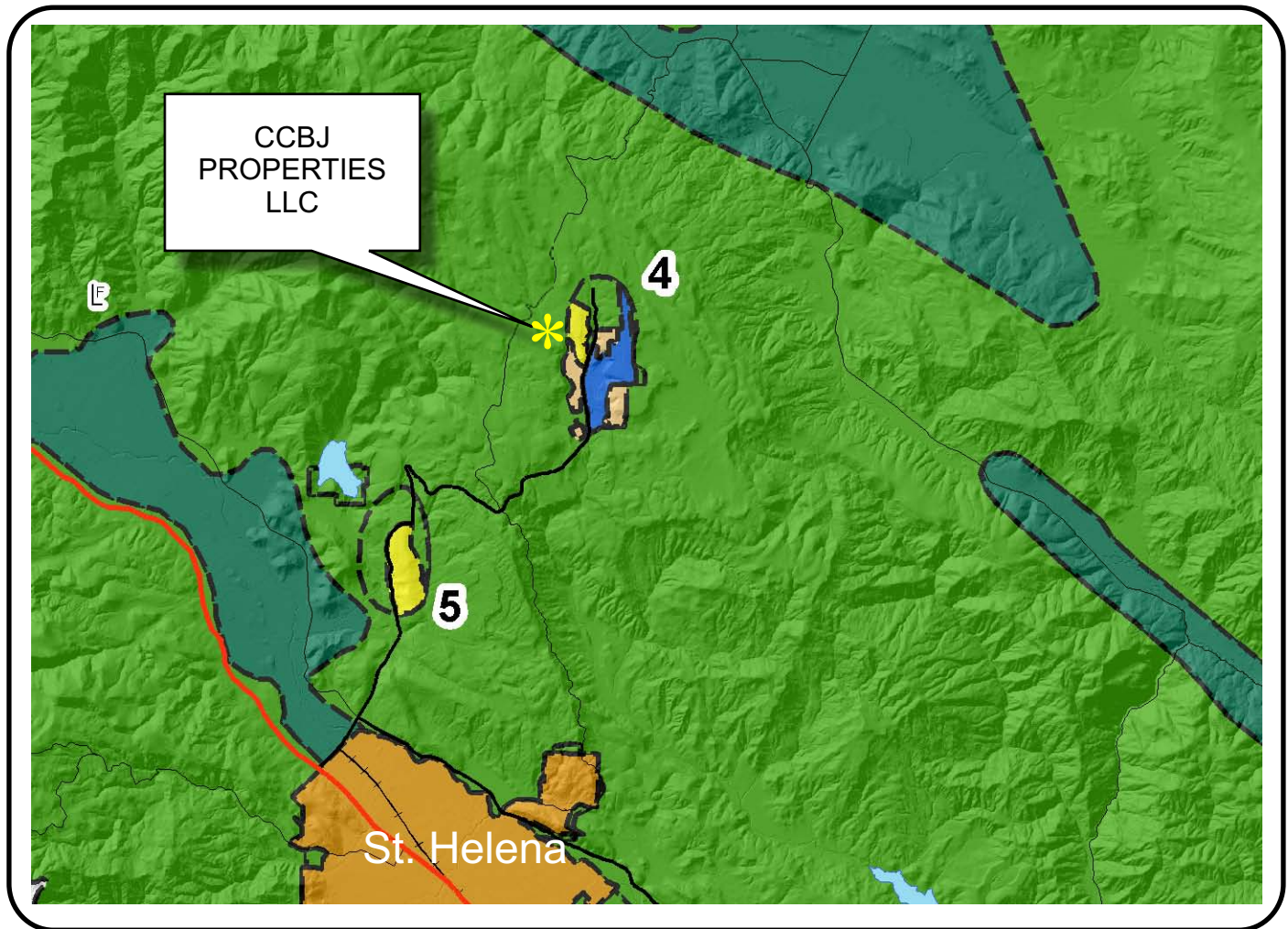


NAPA COUNTY LAND USE PLAN 2008 - 2030



LEGEND

URBANIZED OR NON-AGRICULTURAL

- Cities
- Urban Residential *
- Rural Residential *
- Industrial
- Public-Institutional
- Study Area

OPEN SPACE

- Agriculture, Watershed & Open Space
- Agricultural Resource

TRANSPORTATION

- Mineral Resource
- Railroad
- Limited Access Highway
- Major Road
- Secondary Road
- Airport
- Airport Clear Zone
- Landfill - General Plan

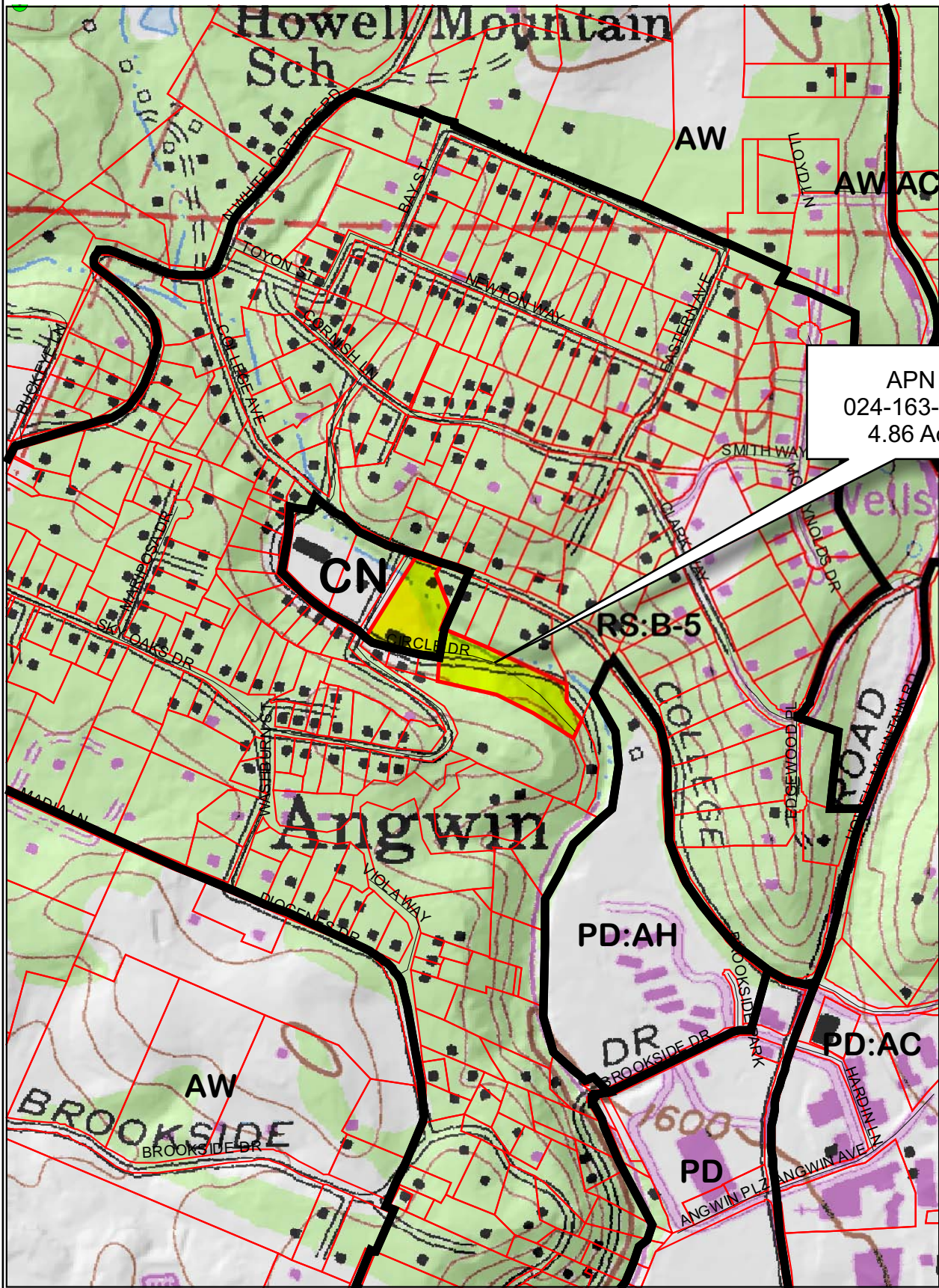
* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations

APN
024-163-010
08-10-2009
10D UP

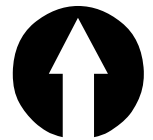
SCALE IN MILES
0 2



CCBJ PROPERTIES LLC



APN
024-163-010
4.86 Ac.



Legend

Wineries in Vicinity

- Producing
- Approved
- Pending
- Zoning
- Parcels

0 300 600 1,200 1,800 2,400 Feet

08-10-2009

10D

UP

Napa County Conservation
Development and Planning Department

CCBJ_up1.cdr

A hand-drawn site plan of a property. The plan shows several boundary lines with bearings and distances: N 78° 00' W 178.00', N 69° 45' E 20.00', N 22° 15' E 20.00', S 88° 45' E 55.12', S 88° 45' E 55.12', N 64° 20' N 52.33', N 97° 20' N 22.00', N 38° 20' N 24.00', N 70° 00' W 75.00', and N 70° 00' W 75.00'. A blue arrow points to a dashed rectangle labeled "BLDG. LOCATION". Other features include "COLLEGE AVENUE" at the top, "SKY OAKS DRIVE" on the left, a "PARKING" area with 10 spaces, a "DRIVEWAY", and two "(B) SEPTIC FIELD"s. A north arrow is located near the bottom center. The title "SITE PLAN" is at the bottom left.

CCBJ PROPERTIES LLC



0 65 130 260 390 520 Feet

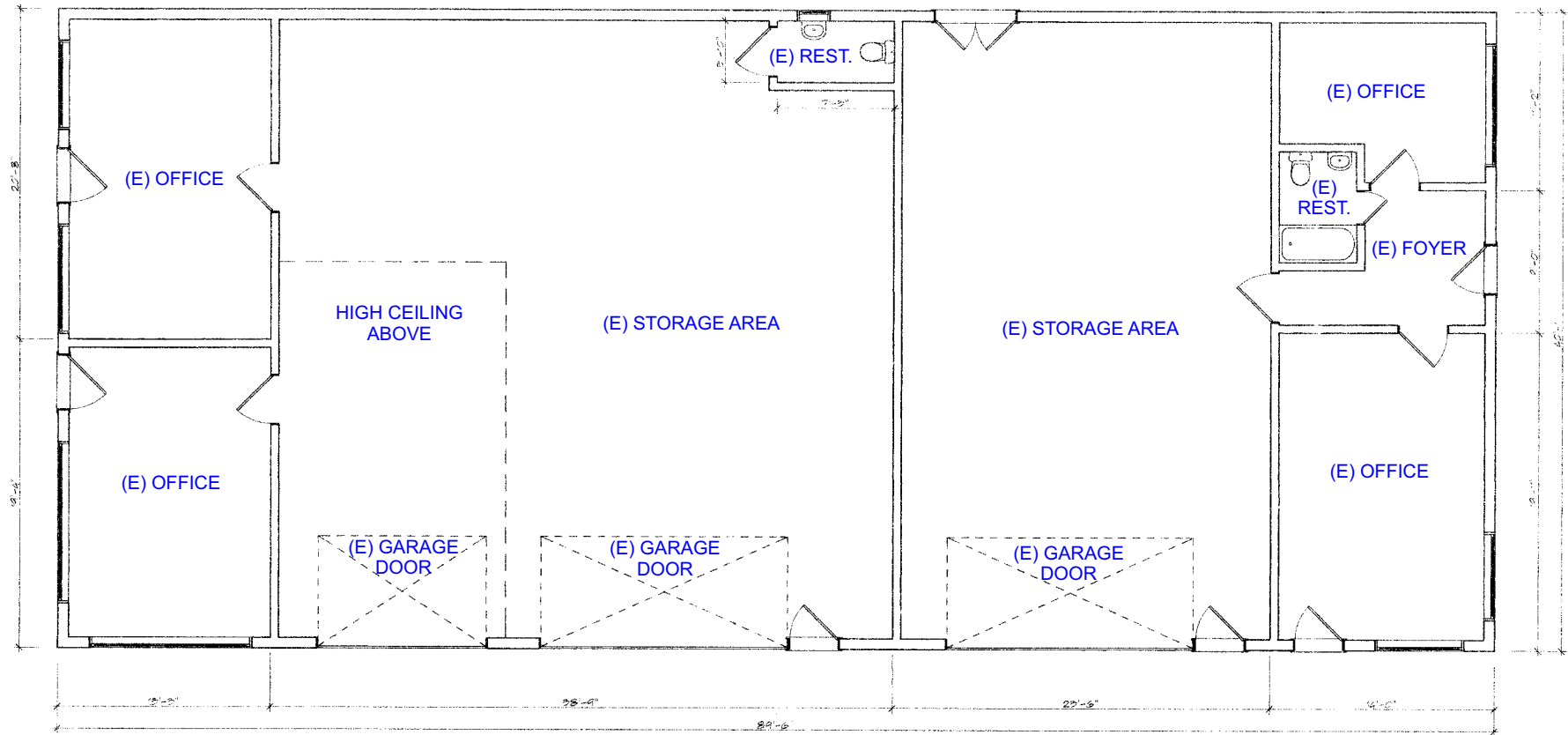


EXISTING PARCEL CONDITIONS

08-10-2009 10D UP

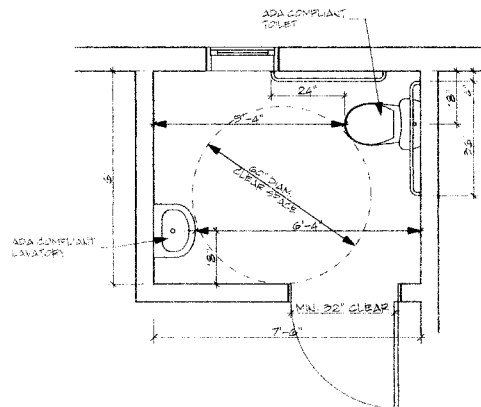
 Napa County Conservation
Development and Planning Department

CCBJ_up1.cdr



EXISTING FLOOR PLAN

CCBJ PROPERTIES LLC



PROPOSED FLOOR PLAN

