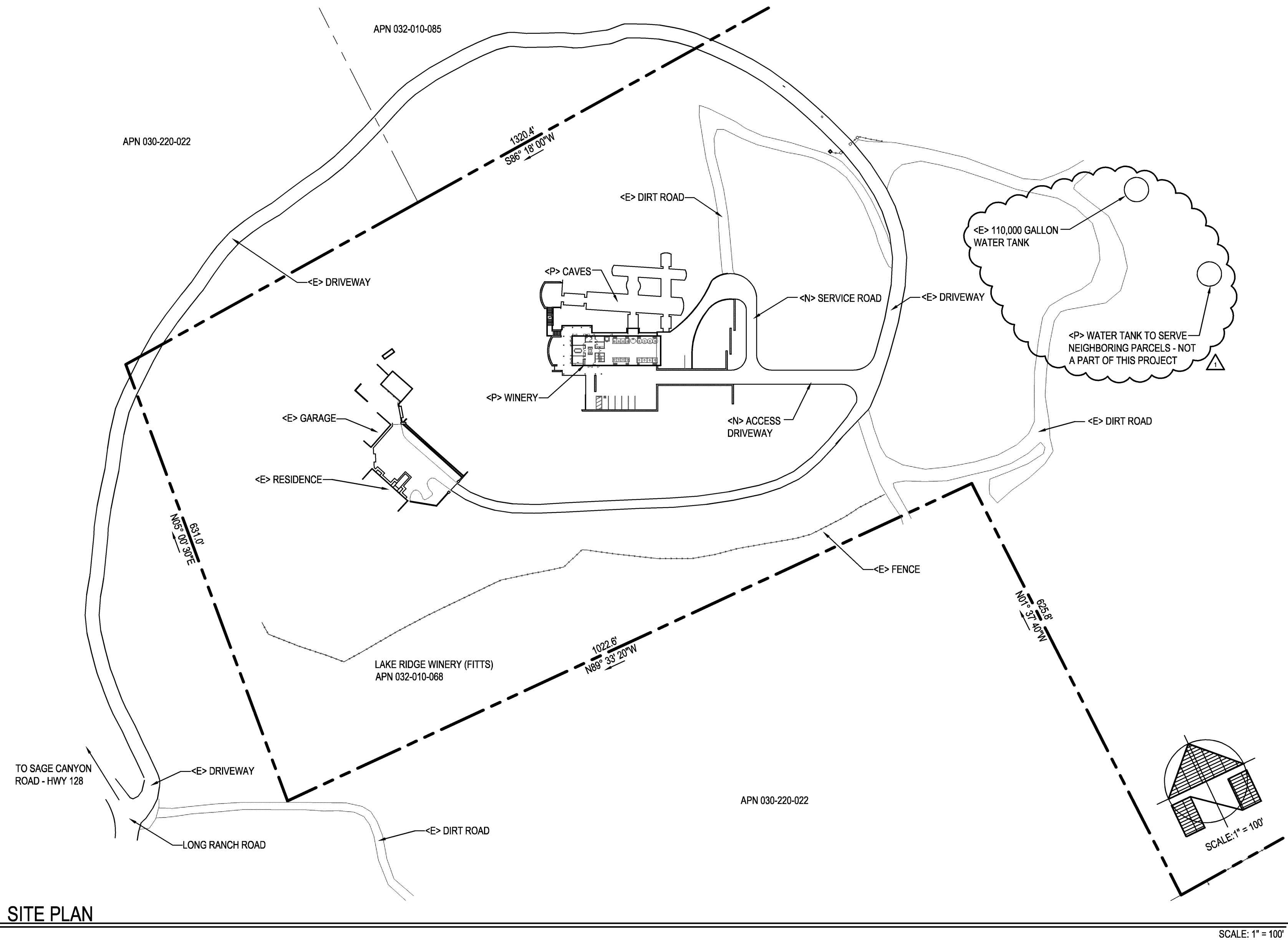




SITE PLAN

FIRE NOTES

THIS PROJECT WILL COMPLY WITH ALL FIRE DEPARTMENT REGULATIONS AND REQUIREMENTS. THIS REQUIREMENTS INCLUDE BUT ARE NOT LIMITED TO:

1. THE APPLICANT SHALL BE RESPONSIBLE FOR MAINTAINING 10 FEET OF DEFENSIBLE SPACE ALONG EACH SIDE OF THE ROADWAY. THIS DEFENSIBLE ZONE SHALL INCLUDE THE REMOVAL OF ALL DEAD FUEL, DRY GRASS MOWED TO LESS THAN 4 INCHES IN HEIGHT, THE REMOVAL OR CUTTING OF ALL BRUSH, THE REMOVAL OF SMALL TREES LESS THAN 8 INCHES IN DIAMETER AND THE REMOVAL OF ALL LADDER FUEL ON EXISTING TREES UP TO 8 FEET IN HEIGHT, WITHIN 10 VERTICAL FEET OF EACH SIDE OF THE ROADWAY.
2. A DEFENSIBLE SPACE SHALL BE CREATED AROUND ALL STRUCTURES. THIS DEFENSIBLE SPACE SHALL BE 100 FEET FROM ALL POINTS OF A STRUCTURE. FLAMMABLE VEGETATION SHALL BE REMOVED AND/OR MODIFIED IN THE DEFENSIBLE SPACE ZONE TO CREATE A FUEL BREAK THAT WILL HELP PROTECT THE STRUCTURES FROM AN ENCRORCHING WILDLAND FIRE AND WILL PROTECT THE SURROUNDING WILDLAND AREAS FROM A STRUCTURE FIRE ORIGINATING ON-SITE.
3. BARRICADES SHALL BE PROVIDED TO PROTECT ANY NATURAL GAS METER, FIRE HYDRANT, OR OTHER FIRE DEPARTMENT CONTROL DEVICE, WHICH MAY BE SUBJECT TO VEHICULAR DAMAGE. APPROVED SIGNS MAY BE REQUIRED TO IDENTIFY THE LOCATION OF FIRE PROTECTION DEVICES.

PROJECT NOTES

THIS SET OF PRELIMINARY PLANS HAS BEEN PREPARED FOR LAKE RIDGE WINERY USE PERMIT. LAKE RIDGE WINERY PROPOSES TO CONSTRUCT A WINERY WITH A PRODUCTION CAPACITY OF 10,000 GALLONS PER YEAR. THIS SET OF PLANS CONTAINS A PRELIMINARY DESIGN OF THE WINERY SITE, WHICH INCLUDES ACCESS DRIVEWAYS, PARKING AREAS, GRADING AND DRAINAGE, UTILITIES, AND SEPTIC.

EARTH WORK CALCULATIONS:
CAVE AND WINE LIBRARY

6,700 SQ FT
80,400 CU FT = 2,890 CU YDS OF CUT

LOWER FLOOR, MECH/ELEC, WORK PAD

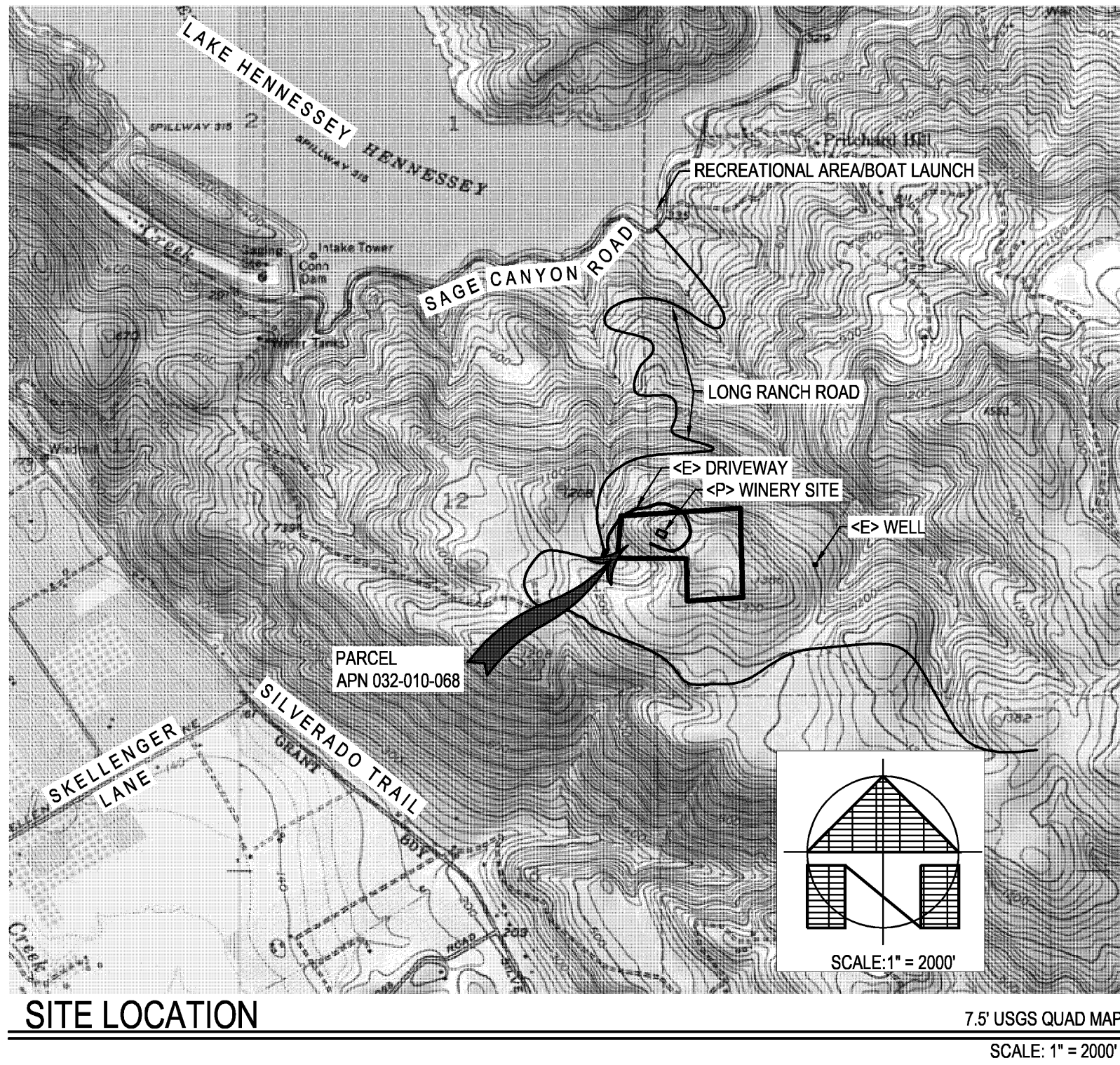
7,160 SQ FT
103,820 CU FT = 3,845 CU YDS OF CUT

WIDENING OF EXISTING DRIVEWAY

46,700 CU FT = 1730 CU YDS OF CUT
13,900 CU FT = 515 CU YDS OF FILL

EXCESS SPOILS FROM PROJECT GRADING SHALL BE PLACED ON-SITE. LOCATION TO BE DETERMINED BY OWNER AND CONTRACTOR PRIOR TO CONSTRUCTION OF PROJECT.

USE PERMIT PLANS FOR:
LAKE RIDGE WINERY
90 LONG RANCH ROAD
ST. HELENA, CALIFORNIA



PROJECT INFORMATION

OWNER/SUBDIVIDER: ED FITTS
KELLY BERRYMAN, CONTACT
PO BOX 513
CALISTOGA, CA 94515
707/942-0750

SITE ADDRESS: 90 LONG RANCH ROAD
ST. HELENA, CA 94574

ASSESSOR PARCEL #
PARCEL SIZE: 032-010-068
40 ACRES

SURVEYOR: MICHAEL BROOKS AND ASSOCIATES, INC
VINTAGE 1870, SUITE D3
YOUNTVILLE, CA 94599
MICHAEL BROOKS
707/944-8743

CIVIL ENGINEER: DELTA CONSULTING & ENGINEERING, INC.
1104 ADAMS STREET, SUITE 203
ST. HELENA, CA 94574
KRISTI WAGNER
707/963-8456

ARCHITECT: LAIL DESIGN GROUP
1505 MAIN STREET
ST. HELENA, CA 94574
JUAN CARLOS FERNANDEZ
707/963-1565

SHEET INDEX

UP1.0 COVER SHEET
UP2.0 PRELIMINARY GRADING & CIRCULATION PLAN
UP2.1 PRELIMINARY GRADING & CIRCULATION PLAN
UP2.2 PRELIMINARY PROFILES
UP2.3 PRELIMINARY ROAD PLAN
UP2.4 PRELIMINARY ROAD PLAN
UP3.0 PRELIMINARY UTILITY PLAN
UP3.1 PRELIMINARY UTILITY PLAN
UP4.0 PRELIMINARY CIRCULATION PLAN

REVISIONS

05/05/09 SHEETS UP2.3, UP2.4, UP3.1, AND UP4.0 ADDED
NOTES ON WATER TANKS REVISED
EARTHWORK CALCULATIONS UPDATED
FIRE NOTES ADDED

ABBREVIATIONS

AB AGGREGATE BASE	EC END OF CURVE	LP LOW POINT	(S) SOUTH
AC ASPHALT CONCRETE	(E) EAST	MH MAN-HOLE	S SLOPE (FEET/FOOT)
AD AREA DRAIN	<E> EXISTING	MON MONUMENT	SAD SEE ARCHITECTURAL DWGS
ARV AIR RELEASE VALVE	ECR END CURB RETURN	(N) NORTH	SMD SEE MECHANICAL DWGS
BC BEGIN CURVE / BACK OF CURB	EG EXISTING GROUND	<N> NEW	SED SEE ELECTRICAL DWGS
BFE BASE FLOOD ELEVATION PER FIRM	EP EDGE OF PAVEMENT	NDS NATIONAL DIVERSIFIED SALES	SD STORM DRAIN
BM BENCHMARK	EVC END VERTICAL CURVE	OC ON CENTER	SDP SUB DRAIN PIPE
BO BLOWOFF	FC FACE OF CURB	OG ORIGINAL GROUND	SIL SEWER LATERAL
BCR BEGIN CURB RETURN	FDC FIRE DEPT. CONNECTION	OH OVERHEAD	SS SANITARY SEWER
BR BOTTOM OF RAMP	FG FINISH GRADE	OHL OVERHEAD LINE	SSCO SANITARY SEWER CLEAN OUT
BVC BEGIN VERTICAL CURVE	FH FIRE HYDRANT	PCC PORTLAND CONCRETE CEMENT	SSFH SANITARY SEWER FLUSH HOLE
BS BOTTOM OF STAIRS	FIRM FLOOD INSURANCE RATE MAP	PG&E PACIFIC GAS AND ELECTRIC	SSMH SANITARY SEWER MANHOLE
BSW BACK OF SIDEWALK	FL FLOW LINE	PI POINT OF INTERSECTION	STA STATION
CB CATCH BASIN	FF FINISHED FLOOR	PIV POST INDICATOR VALVE	STD STANDARD
C&G CURB AND GUTTER	<F> FUTURE	R PROPERTY LINE	SW SIDEWALK
CMU CONCRETE MASONRY UNIT	FM FORCE MAIN	PRC POINT OF REVERSE CURVE	TC TOP OF CURB
CP CONCRETE PIPE	GB GRADE BREAK	PSI POUNDS PER SQUARE INCH	TR TOP OF RAMP
Q CENTERLINE	HP HIGH POINT	PUE PUBLIC UTILITY EASEMENT	TS TOP OF STAIRS
CO CLEANOUT	IE INVERT ELEVATION	PVC POLYVINYL CHLORIDE	TW TOP OF WALL
CV CHECK VALVE	INST INSTALL	PVI POINT OF VERTICAL INTERSECTION	UG UNDERGROUND
CW COLD WATER	INV INVERT	PW PROCESS WASTE	VC VERTICAL CURVE
CWS 100 YEAR WATER SURFACE	IP IRON PIPE	R RADIUS	VG VALLEY GUTTER
DCV DOUBLE CHECK VALVE	IRR IRRIGATION	RC RELATIVE COMPACTION	(W) WEST
DI DROP INLET	JP JOINT POLE	RT RIGHT	W WATER
DS DOWNSPOUT	LF LINEAL FEET/FOOT	ROW RIGHT OF WAY	WM WATER METER
DW DRIVEWAY / DOMESTIC WASTE	LH LAMP HOLE	RWL RAIN WATER LEADER	WS WATER SERVICE
DWG DRAWING	LT LEFT	RCP REINFORCED CONCRETE PIPE	WV WATER VALVE

USE PERMIT PLANS FOR:
LAKE RIDGE WINERY
90 LONG RANCH ROAD
ST. HELENA, CALIFORNIA

DELTA CONSULTING & ENGINEERING
OF ST. HELENA

USE PERMIT
COVER SHEET

LAKE RIDGE WINERY
90 LONG RANCH ROAD
ST. HELENA, CA 94574
APN 032-010-068

DATE: 01/30/09
SCALE: AS NOTED
PROJECT: H-125
FILE: UP1.0-COVER

UP1.0
OF
9

PRELIMINARY GRADING AND CIRCULATION PLAN

SCALE: 1" = 10'

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OF ST. HELENA



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USE PERMIT GRADING PLAN

LAKE RIDGE WINERY
90 LONG RANCH ROAD
ST. HELENA, CA 94574
APN 032-010-068

DATE:	01/30/09 
SCALE:	AS NOTED
SUBJECT:	H-125
REVISION:	UP2 1-GRAD

OF
9

PRELIMINARY GRADING AND CIRCULATION PLAN

SCALE: 1" = 10'

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USE PERMIT GRADING PLAN

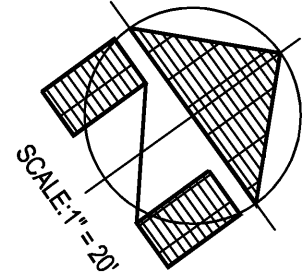
LAKE RIDGE WINERY
90 LONG RANCH ROAD
ST. HELENA, CA 94574
APN 032-010-068

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SUBJECT:	H-125
REVISION:	UP2.1-GRAD

OF
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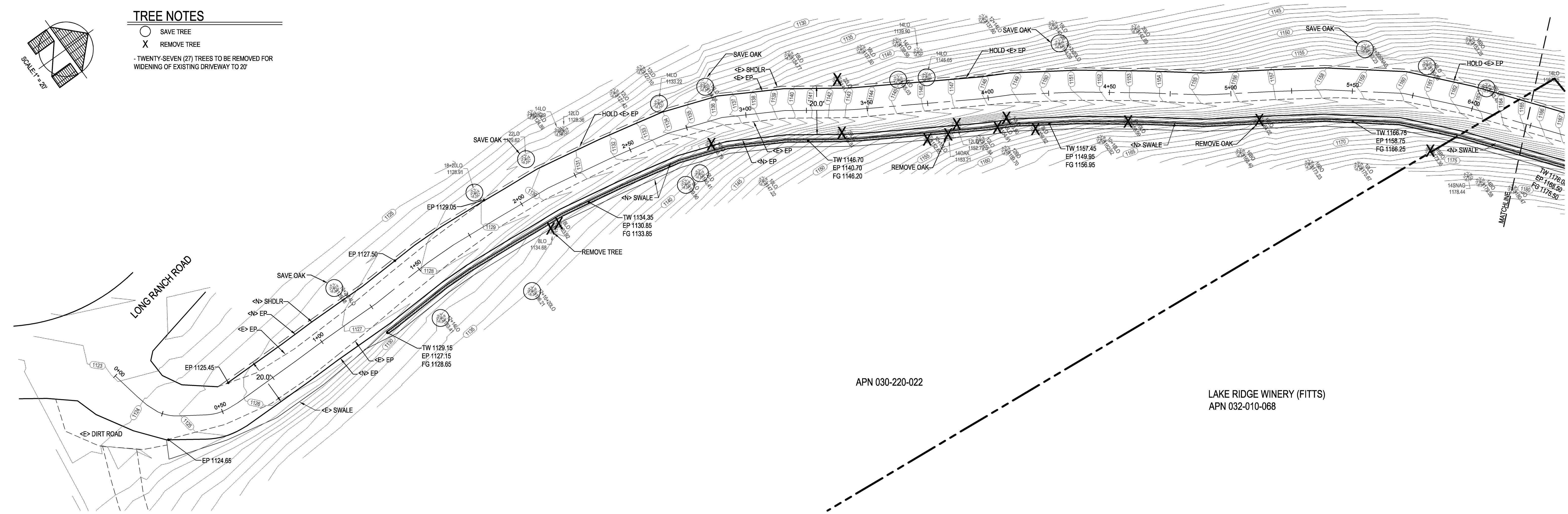
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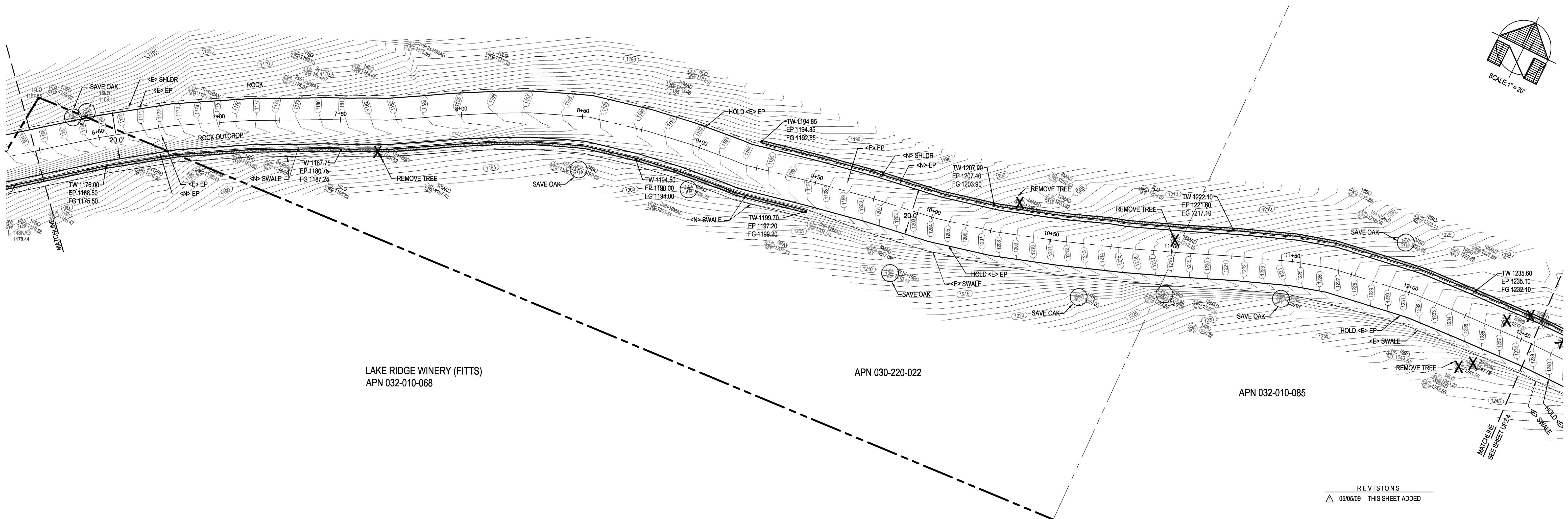
TREE NOTES

- SAVE TREE
- ✕ REMOVE TREE

- TWENTY-SEVEN (27) TREES TO BE REMOVED FOR WIDENING OF EXISTING DRIVEWAY TO 20'



PRELIMINARY ROAD GRADING PLAN: STA 0+00 TO 6+25



PRELIMINARY ROAD GRADING PLAN: STA 6+25 TO 12+50

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USE PERMIT
ROAD PLAN

PROJECT & LOCATION:
LAKE RIDGE WINERY
90 LONG RANCH ROAD
ST. HELENA, CA 94574
APN 032-010-068

DATE: 05/05/09
SCALE: AS NOTED
PROJECT: H-125
FILE: UP2.3-ROAD

UP2.3
OF
9

REVISIONS
05/05/09 THIS SHEET ADDED

TREE NOTES

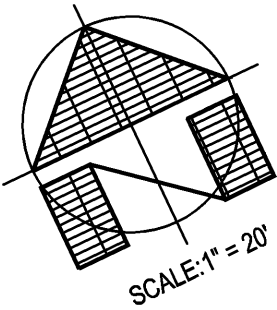
- SAVE TREE
- ✕ REMOVE TREE

- TWENTY-SEVEN (27) TREES TO BE REMOVED FOR WIDENING OF EXISTING DRIVEWAY TO 20'



1 TYPICAL ROAD SECTION - CUT CONDITION
NOT TO SCALE

2 TYPICAL ROAD SECTION - FILL CONDITION
NOT TO SCALE



PRELIMINARY ROAD GRADING PLAN: STA 12+25 TO 20+00

SCALE: 1" = 10'

DELTA CONSULTING & ENGINEERING
OF ST. HELENA

USE PERMIT
ROAD PLAN

PROJECT & LOCATION:
LAKE RIDGE WINERY
90 LONG RANCH ROAD
ST. HELENA, CA 94574
APN 032-010-068

DATE: 05/05/09
SCALE: AS NOTED
PROJECT: H-125
FILE: UP2.4-ROAD

UP2.4
OF
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PRELIMINARY UTILITY PLAN

SCALE: 1" = 10'

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USE PERMIT

UTILITY PLAN

DATE: 01/15/2025

TIME: 10:00 AM

LOCATION: 12345 Main St, Anytown, CA 90210

PROJECT: New Building Construction

CLIENT: ABC Construction Co.

DESIGNER: DEF Engineering Inc.

REVISIONS: 1.0

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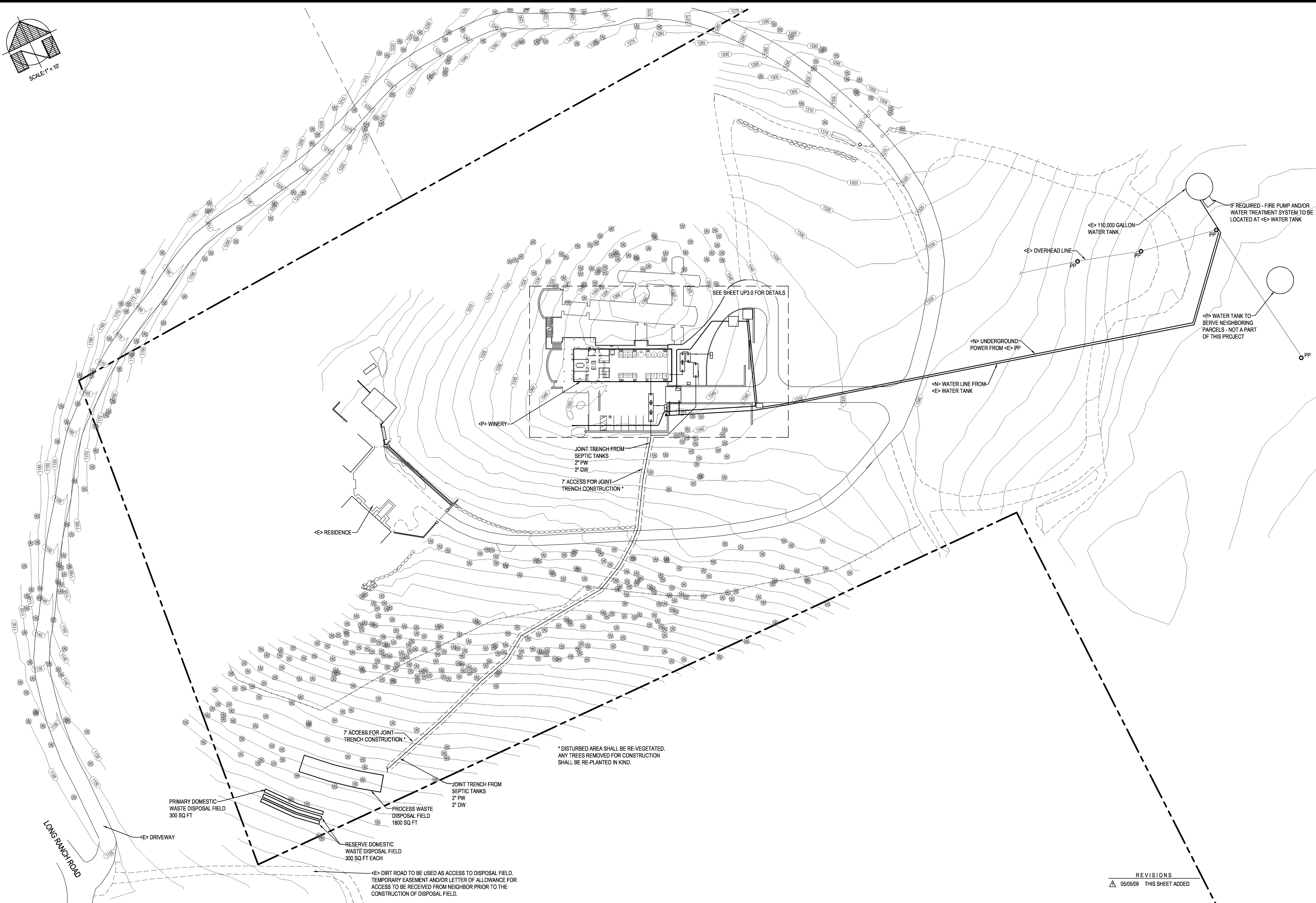
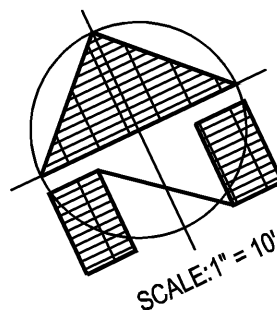
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LAKE RIDGE WINERY
90 LONG RANCH ROAD
ST. HELENA, CA 94574
APN 032-010-068

DATE:	01/30/09	
SCALE:	AS NOTED	
PROJECT:	H-125	
FILE:	UP3.0-UTIL	

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PRELIMINARY UTILITY PLAN

SCALE: 1" = 10'

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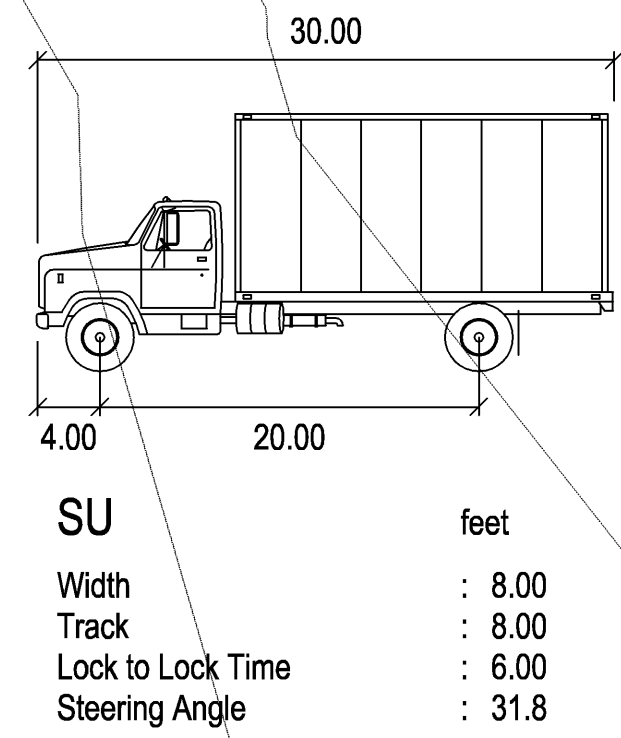
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USE PERMIT UTILITY PLAN

PROJECT & LOCATION:
LAKE RIDGE WINERY
90 LONG RANCH ROAD
ST. HELENA, CA 94574
APN 032-010-068

DATE: 05/05/09
SCALE: AS NOTED
PROJECT: H-125
FILE: UP3.1-UTIL

UP3.1
OF
9



UP4.0
OF
9

REVISIONS

1	05/05/09	THIS SHEET ADDED
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SCALE: 1" = 10'