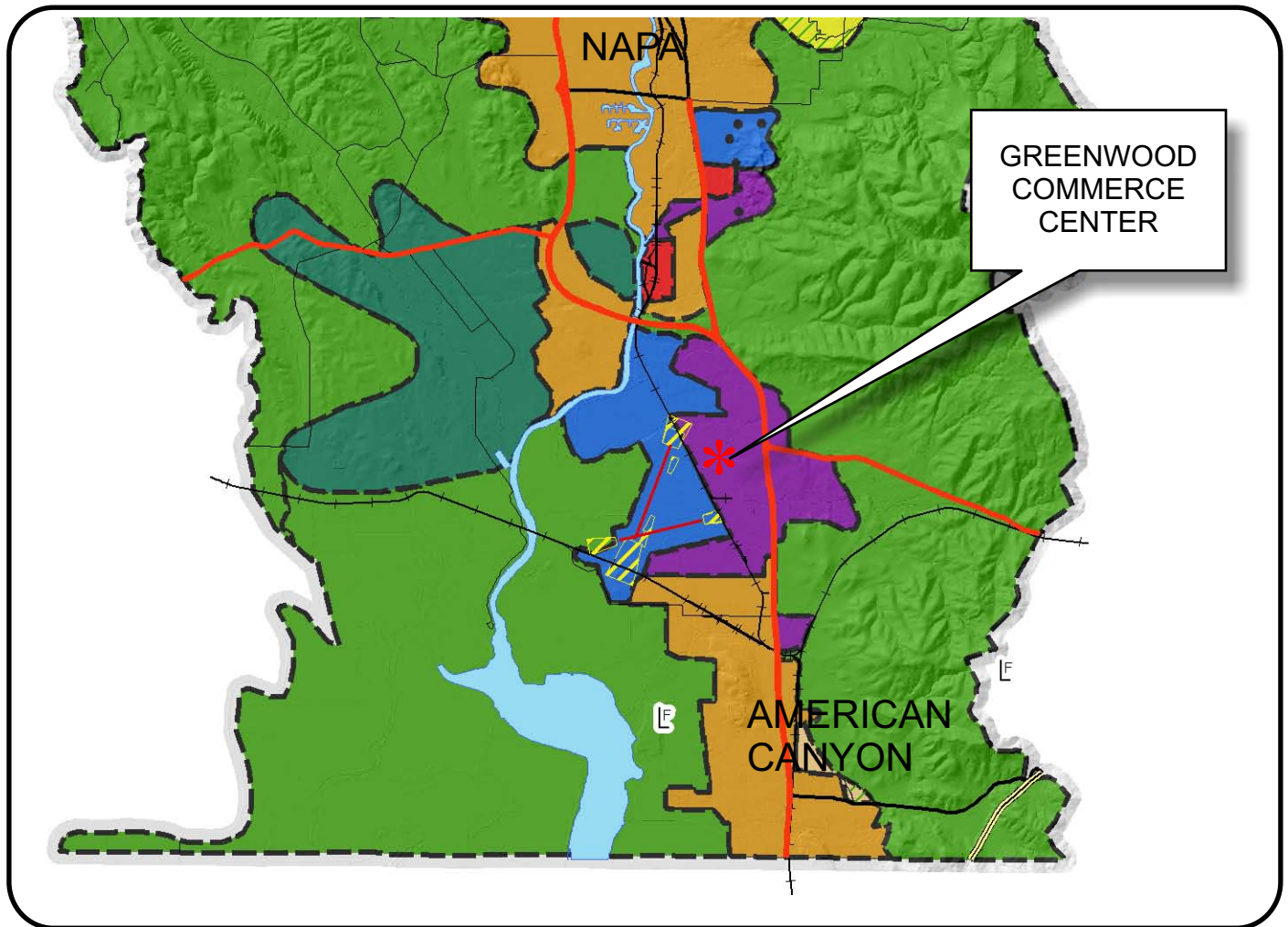


NAPA COUNTY LAND USE PLAN 2008 - 2030



LEGEND

URBANIZED OR NON-AGRICULTURAL

- Cities
- Urban Residential *
- Rural Residential *
- Industrial
- Public-Institutional
- Study Area

OPEN SPACE

- Agriculture, Watershed & Open Space
- Agricultural Resource

TRANSPORTATION

- Mineral Resource
- Railroad
- Limited Access Highway
- Major Road
- Secondary Road
- Airport
- Airport Clear Zone
- L

 Landfill - General Plan

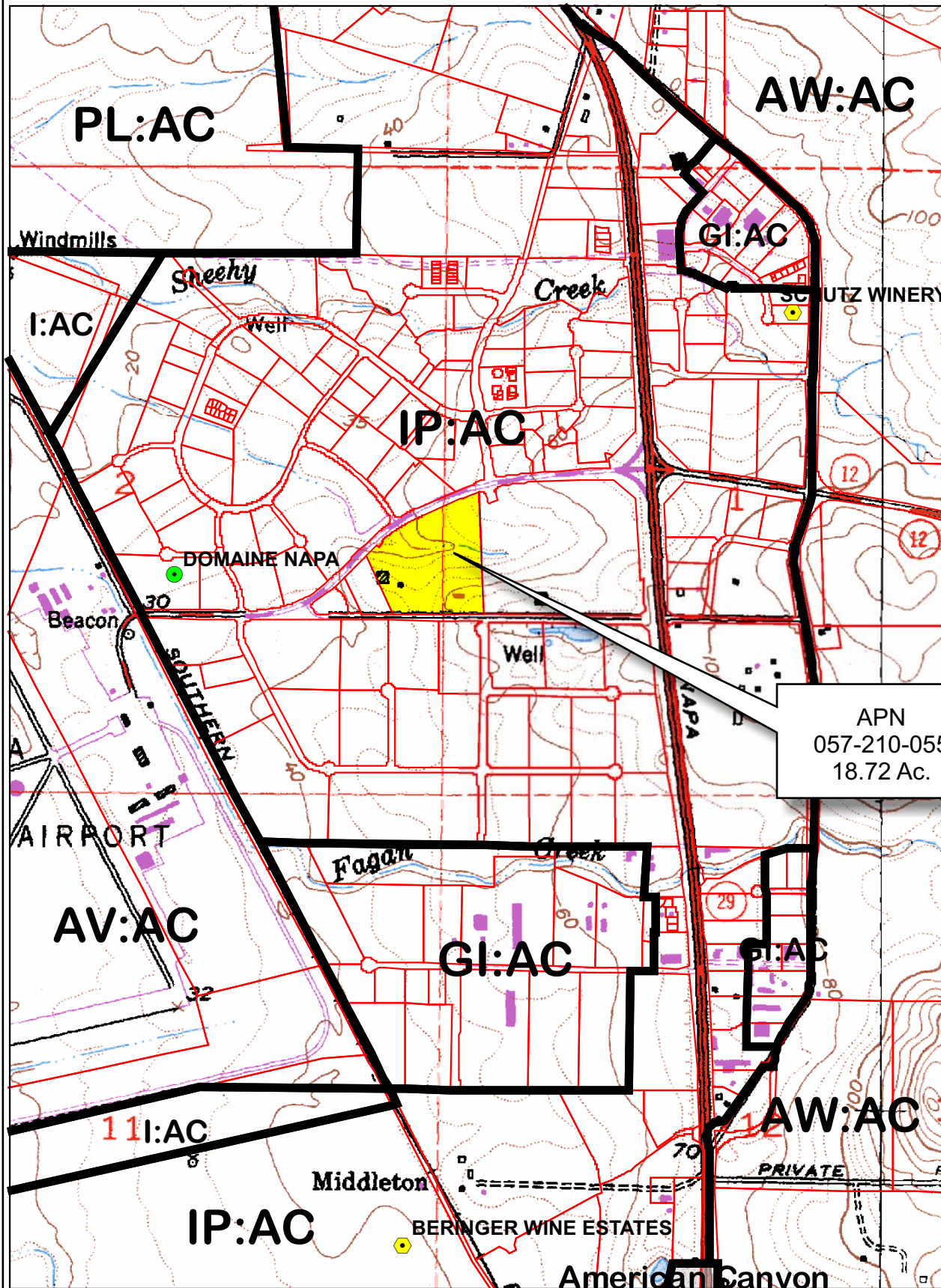
* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations

APN
057-210-055
07-23-2008
2C UP

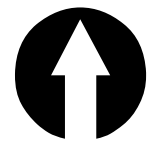
SCALE IN MILES
0 2



GREENWOOD COMMERCE CENTER



APN
057-210-055
18.72 Ac.



Legend

- Wineries in Vicinity
- Producing
 - Approved
 - Pending
 - Zoning
 - Parcels

0 600 1,200 2,400 3,600 4,800 Feet

GREENWOOD COMMERCE CENTER

GREENWOOD COMMERCE CENTER



SITE PERSPECTIVE AT NORTH EAST CORNER OF PROJECT

BUILDING B
PROPOSED ONE STORY
DISTRIBUTION WAREHOUSE BUILDING
119,681 G.S.F.
TYPE IIB CONSTRUCTION
UNLIMITED AREA PER 2007CBC SEC.507

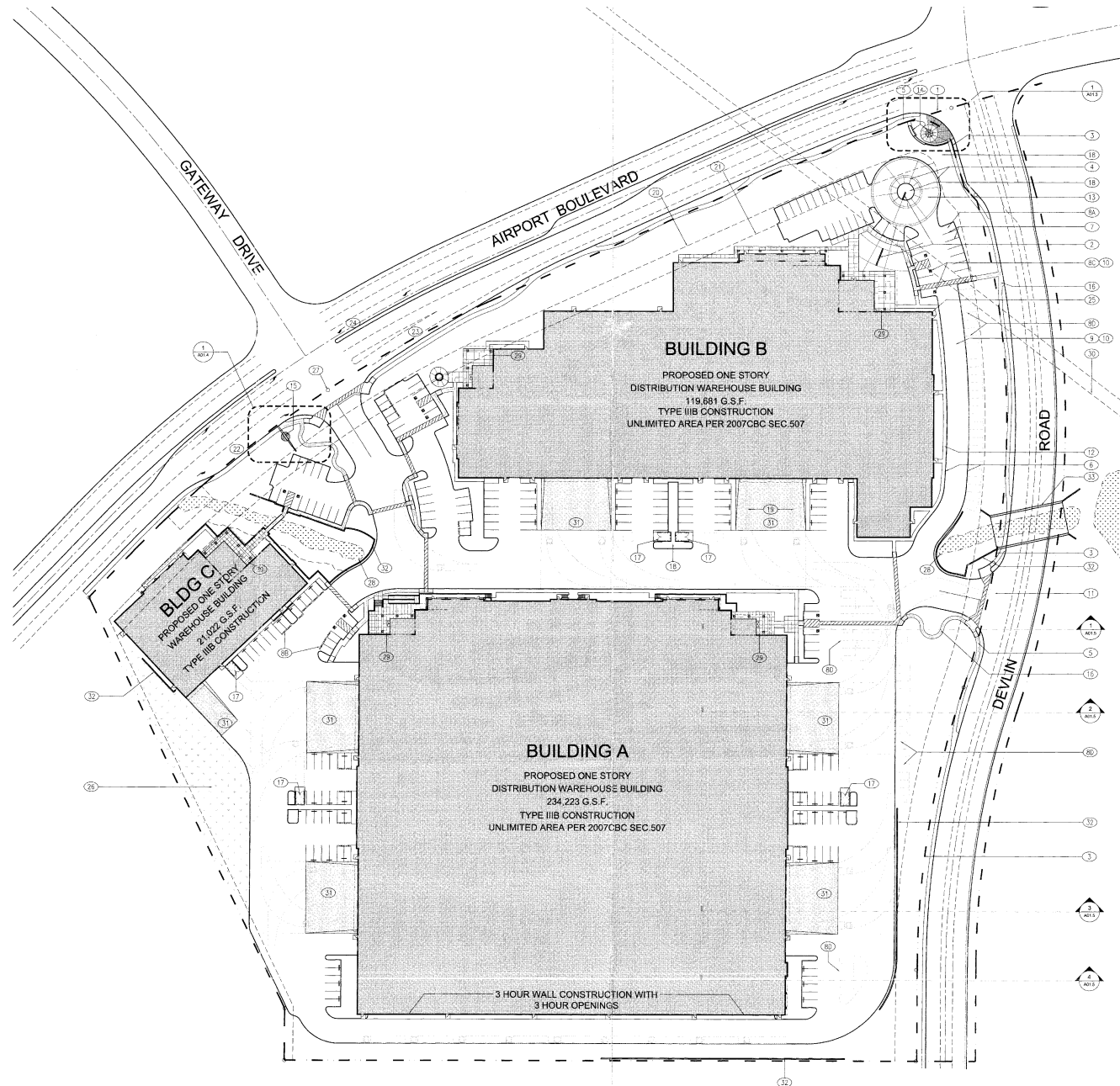
BUILDING A
PROPOSED ONE STORY
DISTRIBUTION WAREHOUSE BUILDING
234,223 G.S.F.
TYPE IIB CONSTRUCTION
UNLIMITED AREA PER 2007CBC SEC.507
3 HOUR WALL CONSTRUCTION WITH
3 HOUR OPENINGS

BLDG. C
PROPOSED ONE STORY
DISTRIBUTION WAREHOUSE BUILDING
21,023 G.S.F.
TYPE IIB CONSTRUCTION

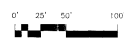
GATEWAY DRIVE
AIRPORT BOULEVARD
DEVLIN ROAD

0' 35' 50' 100'
PLAN NORTH
DIMENSIONED SITE PLAN
1

GREENWOOD COMMERCE CENTER



SITE PLAN















PRELIMINARY SITE PLAN

1

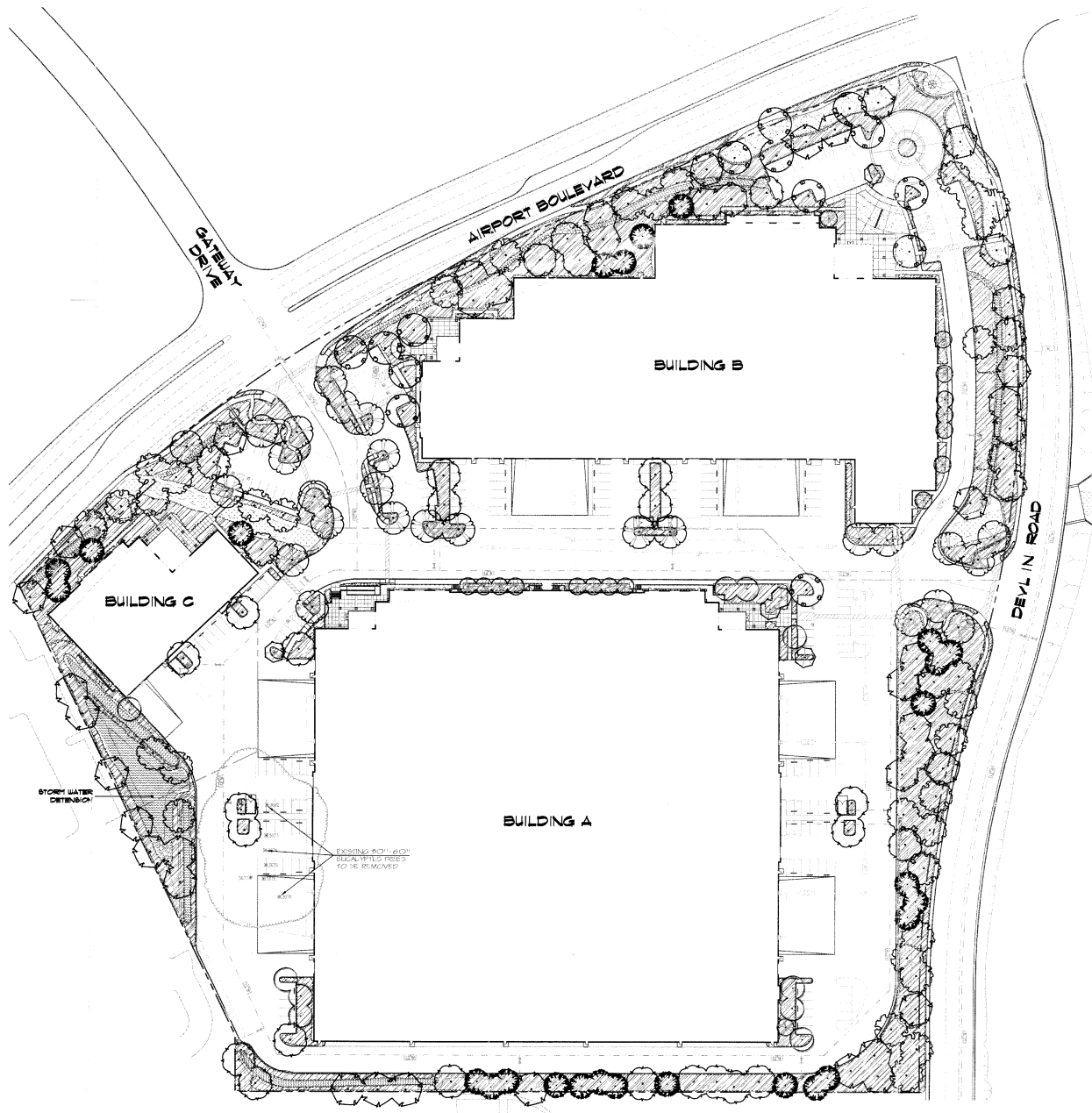
GREENWOOD COMMERCE CENTER

PLANT LIST & LEGEND

SYMBOL	BOTANIC NAME / COMMON NAME	SIZE	QUANTITY
	ACER PALMATUM 'SANGO KAKU' / JAPANESE MAPLE	15 GALLON	17
	LAGERSTROEMIA X. 'NATCHEZ' / CRAB MYRTLE	15 GALLON	9
	NYSSA SYLVATICA / TUPELO	15 GALLON	10
	PISTACHIA CHINENSIS / CHINESE PISTACHE	5 GALLON	27
	PLATANUS A. 'COLUMBIA' / LONDON PLANETREE	5 GALLON	14
	QUERCUS ILEX / HOLLY OAK	5 GALLON	25
	QUERCUS LOBATA / VALLEY OAK	5 GALLON	39
	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK	15 GALLON	42
	SEQUOIA SEMPERVIRENS 'APPOS BLUE' / COAST REDWOOD	15 GALLON	26
	SHRUB & GROUND COVER AREA:		
	AGAPANTHUS ORIENTALIS / LILY-OF-THE-NILE	1 GALLON	
	ARCTOSTAPHYLOS X. 'EMERALD CARPET' / DWF. MANZANITA	1 GALLON	
	ARCTOSTAPHYLOS D. 'HOWARD McMINN' / MANZANITA	5 GALLON	
	AZALEA C.S. 'INDICA' 'PHOENICIA' / VIOLET AZALEA	5 GALLON	
	CISTUS X. 'SUNSET' / ROCKROSE	5 GALLON	
	CALLISTEMON V. 'LITTLE JOHN' / DWF. BOTTLE BRUSH	5 GALLON	
	COPROSMA P. 'VERDE VISTA' / COPROSMA	1 GALLON	
	DIETES VEGETA / FORTNIGHT LILY	1 GALLON	
	ELAEAGNUS PLUNGENS 'FRUITLAND' / SILVERBERRY	5 GALLON	
	ERIGERON KARVINSKIANUS / FLEABANE	1 GALLON	
	EURYOPS PECTINATUS 'VIRIDIS' / EURYOPS	5 GALLON	
	GAZANIA X. 'MITSUA YELLOW' / GAZANIA	PLANTS	
	HETEROMELLES ARBUTIFOLIA / TOYON	1 GALLON	
	HEMEROCALLIS (MIXED EVERGREEN HYBRIDS) / DAYLILY	1 GALLON	
	IRIS DOUGLASSIANA / DOUGLAS IRIS	1 GALLON	
	LEPTOSPERMUM S. 'RUBY GLOW' / TEA SHRUB	5 GALLON	
	MAHONIA AQUIFOLIUM / OREGON GRAPE	5 GALLON	
	MUHLENBERGIA REGENS / DEER GRASS	1 GALLON	
	PHORMIUM T. 'PINK STRIPE' / NEW ZEALAND FLAX	5 GALLON	
	RHAPHIOLEPIS L. 'JACK EVANS' / PINK INDIAN HAWTHORN	5 GALLON	
	ROSMARINUS O. 'COLLINGWOOD INGRAM' / ROSEMARY	1 GALLON	
	SCAEVOLA 'BLUE WONDER' / SCAEVOLA	1 GALLON	
	TULIPACHIA VIOLACEA / SOCIETY GARLIC	1 GALLON	
	VIBURNUM T. 'SPRING BOULET' / COMPACT LAURUSTINUS	5 GALLON	
	VINCA MINOR / DWARF PERWINKLE	1 GALLON	
	XYLOSMA C. 'COMFACTA' / COMPACT XYLOSMA	5 GALLON	
	VEGETATED SWALES & DETENTION BASINS:		
	CAREX DITUSA / EURASIAN GRAY SEDGE		
	DESCHAMPSIA CESPIITOSA / TUFTED HAIR GRASS	LINER	
	JUNCUS PATENS 'CARMAN GRAY' / GRAY RUSH	LINER	
	TURN AREA		
	RECYCLED PLASTIC HEADERBOARD IN 2"x4" 6/12	1 GALLON	

LANDSCAPE NOTES

- ALL PLANTING AND IRRIGATION WILL BE DESIGNED IN ACCORD WITH THE NAPA COUNTY AIRPORT AREA SPECIFIC PLAN & EIR.
- ALL LANDSCAPE AREAS WILL BE AUTOMATICALLY IRRIGATED USING EFFICIENT DRIP, SPRAY OR ROTOR DISTRIBUTION SYSTEMS APPROPRIATE TO THE PLANTER SIZE.
- ALL WATER QUALITY FEATURES WILL BE TOP DRESSED WITH A LONG-TERM EROSION CONTROL BLANKET. ALL OTHER SHRUB AND GROUND COVER AREAS WILL BE TOP DRESSED WITH DYED, RECYCLED WOOD CHIPS TO A DEPTH OF 2 INCHES.



PRELIMINARY
LANDSCAPE
PLAN



GREENWOOD COMMERCE CENTER

GREENWOOD COMMERCE CENTER

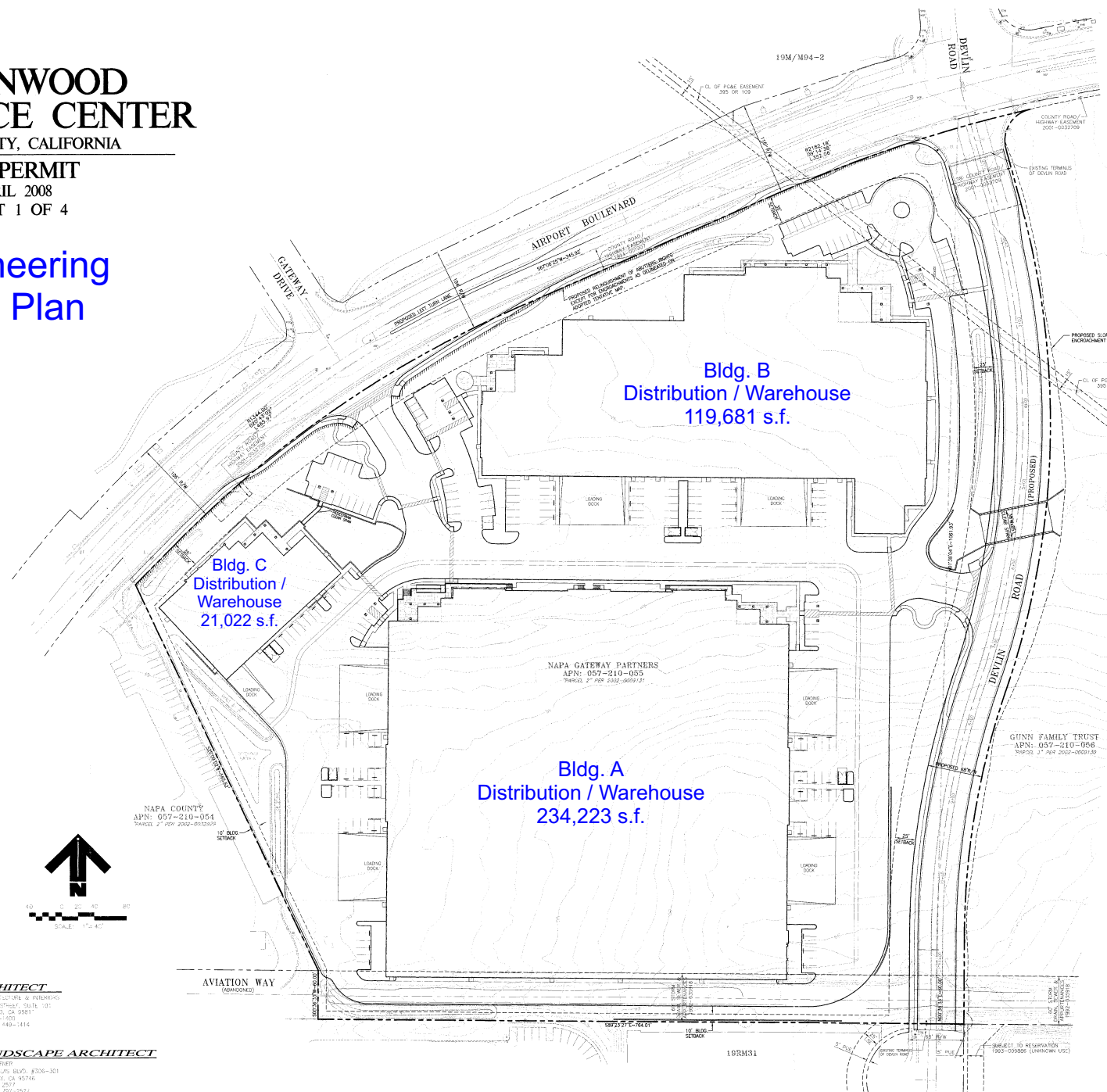
NAPA COUNTY, CALIFORNIA

USE PERMIT

APRIL 2008

SHEET 1 OF 4

Engineering Site Plan



SHEET INDEX

SHEET 1 USE PERMIT
SHEET 2 TENTATIVE MAP
SHEET 3 UTILITY PLAN
SHEET 4 GRADING & DRAINAGE PLAN

LEGEND

PROJECT BOUNDARY
EXISTING PARCEL LINES
R/W - EXISTING
R/W - PROPOSED
EASEMENT
DRAINAGE FLOW LINE

BUILDING SETBACKS

FROM AIRPORT B.V.E. REQUIRED 35' MINIMUM 55' MAX. 100'
PROPOSED 30' MINIMUM 8' AVERAGE
FROM OTHER ROAD REQUIRED 25' MINIMUM 40' AVERAGE
PROPOSED 77.1' MINIMUM 100' AVERAGE
SOUTH/EAST REQUIRED 10' MINIMUM
PROPOSED 14.1' MINIMUM

PROPOSED USES

BUILDING	DEVELOP. AREA (AC)	DEVELOP. AREA (SQ. FT.)	DEVELOP. AREA (SQ. FT.)
A	234,223	8,178	215,480
B	119,681	8,178	110,117
C	21,022	8,178	18,929
TOTAL	374,926	24,534	344,526

PARKING SUMMARY:

SEE PROPOSED MAP, SHEET NO. 1

OWNER / DEVELOPER

NAPA GATEWAY PARTNERS
C/O KATHYAN PROWSE
2481 SHARON BLVD., SUITE 200
COLUMBIA, CA 95019
(916) 853-2800
FAX: (916) 853-2800

ENGINEER

T.A. ENGINEERING & PLANNING, INC.
1009 EUREKA ROAD, SUITE 100
ROSELILLE, CA 95061
(916) 788-6485
FAX: (916) 788-0219

ARCHITECT

FRANK SHERIDAN & PARTNERS
1718 JRD. STREET, SUITE 101
SACRAMENTO, CA 95811
(916) 445-1100
FAX: (916) 440-1414

LANDSCAPE ARCHITECT

GARTH RIVIERE
6120 COLLEGE BLVD., #326-301
EMERYVILLE, CA 94608
(916) 797-1517
FAX: (916) 797-1517



GREENWOOD COMMERCE CENTER

GREENWOOD COMMERCE CENTER

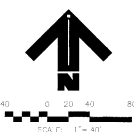
NAPA COUNTY, CALIFORNIA

APRIL 2008
SHEET 3 OF 4

Utility Plan

LEGEND

- PROJECT 30" WATER
- 10" LINES
- N/A - EXIST'G
- S/A - PROPOSED
- STORM
- STORM FLOW LINE
- EXIST'G WATER
- EXIST'G RECLAIMED WATER
- EXIST'G SANITARY & W.W.
- EXIST'G 30" SANITARY & W.W.
- PROPOSED WATER
- PROPOSED FIRE FLOW LINE
- PROPOSED RECLAIMED WATER
- PROPOSED SANITARY & W.W.
- PROPOSED STORM & W.W.
- PROPOSED STORM DRAIN INLET
- PROPOSED WATER VALVE
- PROPOSED WATER BLOWOFF VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED SANITARY OR RECLAIMED
- PROPOSED FIRE HYDRANT CONNECTION
- PROPOSED WATER METER



Bldg. B
Distribution / Warehouse
119,681 s.f.

Bldg. C
Distribution / Warehouse
21,022 s.f.

Bldg. A
Distribution / Warehouse
234,223 s.f.

GREENWOOD COMMERCE CENTER

GREENWOOD COMMERCE CENTER

NAPA COUNTY, CALIFORNIA

APRIL 2008
SHEET 4 OF 4

Grading & Drainage

WETLAND IMPACTS:

WETLAND TYPE	TOTAL	PERCENT
PERMANENT WETLAND	2,116.54/18.84ac	27.38%/18.84ac
SEASONAL WETLAND	8,144.00/72.00ac	84.40%/72.00ac

GRADING DISTURBANCE:

TOTAL GRADING 20,413 AC

CUT/FILL 17,800 CY CUT 17,200 CY FILL

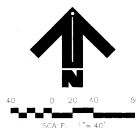
NET 5,600 CY FILL

GRADING CONCEPT NOTES:

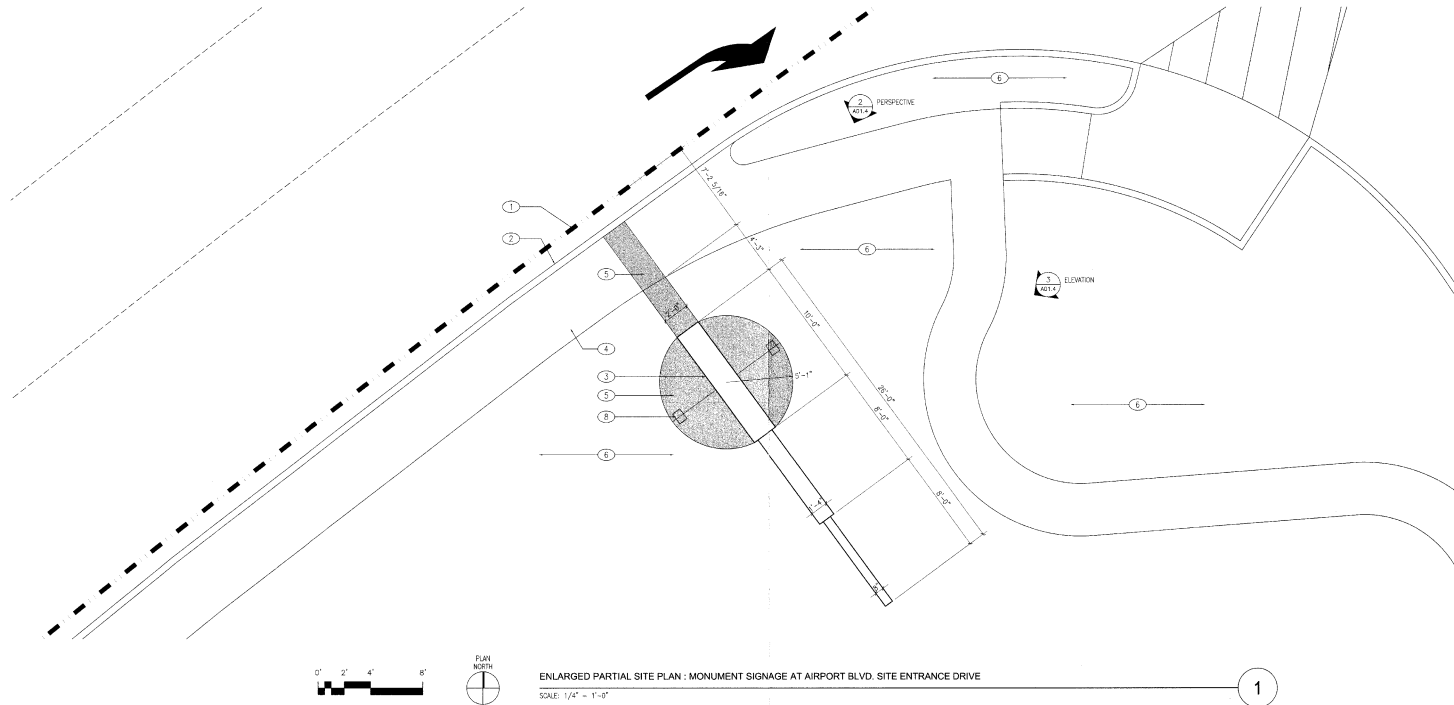
1. GRADEWATER SHALL BE 2 FT.
2. STORMWATER SHALL BE 2 FT. HIGH. STORMWATER SHALL BE 2 FT. HIGH. STORMWATER SHALL BE 2 FT. HIGH.

LEGEND

- PROJECT BOUNDARY
- LOT LINES
- R/W - EXISTING
- R/W - PROPOSED
- EASEMENT
- STORM DRAINAGE
- WETLAND
- WETLAND IMPACTS
- EXISTING STORM DRAIN & R/W
- PROPOSED STORM DRAIN & R/W
- PROPOSED STORM DRAIN "L" T
- COVERT OUTFALL & STREAM
- SLOPE PROTECTION



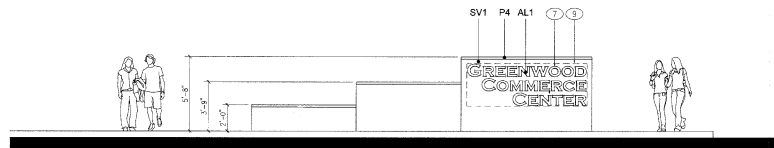
GREENWOOD COMMERCE CENTER



Monument Signage

KEYNOTES:

- ① PROPERTY LINE
- ② EDGE OF CURB AT STREET
- ③ MONUMENT SIGNAGE WALL
- ④ STREET SIDE WALK
- ⑤ HARDSCAPE AREA WITH POWDERED CONCRETE AS SHOWN IN 3D VIEW. ACTUAL POWDER COLORS TO BE DETERMINED
- ⑥ LANDSCAPE AREA
- ⑦ MONUMENT SIGNAGE TO CONSIST OF 15" TALL LETTERING IN "CORPUSCULE GOTHIC BOLD" FONT. LETTERS TO BE 1/2" BLOCK ALUMINUM LETTERS MOUNTED TO THE BACKGROUND SIGNAGE WALL WITH 1/4" DIA. ALUMINUM STUDS. LETTERING TO SET 1" FROM FACE OF WALL. SPACES ON BOTH SIDES OF WALL.
- ⑧ LOCATION OF ABOVE GROUND UPLIGHT FIXTURE FOR ILLUMINATION OF MONUMENT SIGNAGE. SEE DETAIL 16 ON SHEET A01.6. TYPICAL OF TWO AT THIS LOCATION.
- ⑨ NADA 29 S.F.



MONUMENT SIGNAGE ELEVATION

SCALE: 1/4" = 1'-0"



3



PERSPECTIVE IMAGE OF MONUMENT SIGNAGE

SCALE: NO SCALE

2

GREENWOOD COMMERCE CENTER

KEYNOTES:

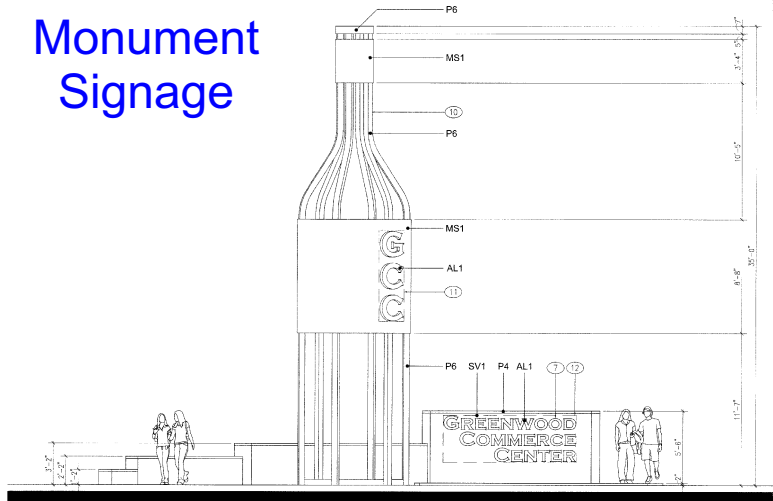
- 1 PROPERTY LINES
- 2 EDGE OF CURB AT STREET
- 3 MONUMENT SIGNAGE WALL
- 4 STREET SIDE WALK
- 5 HARDSCAPE AREA WITH FEMENTED CONCRETE AS SHOWN IN 3D VIEW. ACTUAL FEMENT COLORS TO BE DETERMINED
- 6 LANDSCAPE AREA
- 7 MONUMENT SIGNAGE TO CONSIST OF 16" TALL LETTERING IN "CORPORATE GOTHIC BOLD" FONT. LETTERS TO BE 1/2" BLOCK ALUMINUM LETTERS MOUNTED TO THE BACKGROUND SIGNAGE WALL WITH 1/4" DIA. ALUMINUM STUDS. LETTERING TO SIT 1" FROM FACE OF WALL. SIGNAGE ON SCULPTURE SIDE OF WALL ONLY
- 8 LOCATION OF ABOVE GROUND UPLIGHT FIXTURE FOR ILLUMINATION OF MONUMENT SIGNAGE. SEE DETAIL 15 ON SHEET A01.6. TYPICAL OF TWO AT THIS LOCATION
- 9 LOCATION OF FLUSH MOUNTED UPLIGHT FIXTURE FOR ILLUMINATION OF WINE BOTTLE SCULPTURE. 6 TOTAL. SEE DETAIL 15 ON SHEET A01.6
- 10 8'-0" DIAMETER X 30'-0" TALL WINE BOTTLE SCULPTURE CONSISTING OF 8'x4" SHAPED TUBE STEEL FRAMES WITH METAL SING ACCENTS. PROJECT INITIALS "GCC" TO CONSIST OF 16" TALL LETTERING IN "CORPORATE GOTHIC BOLD" FONT. LETTERS TO BE 2" THICK BLOCK ALUMINUM LETTERS MOUNTED TO THE BACKGROUND SIGNAGE WALL WITH 1/4" DIA. ALUMINUM STUDS. LETTERS TO BE ILLUMINATED WITH A CONCEALED LIGHT SOURCE (WALL LIGHTING)
- 11 AREA= 15 S.F
- 12 AREA= 35 S.F



ENLARGED PARTIAL SITE PLAN : MONUMENT SIGNAGE & WINE BOTTLE SCULPTURE AT THE INTERSECTION OF AIRPORT BLVD. AND DEVLIN ROAD
SCALE: 1/4" = 1'-0"

1

Monument Signage



MONUMENT SIGNAGE & WINE BOTTLE SCULPTURE ELEVATION

SCALE: 1/4" = 1'-0"



3

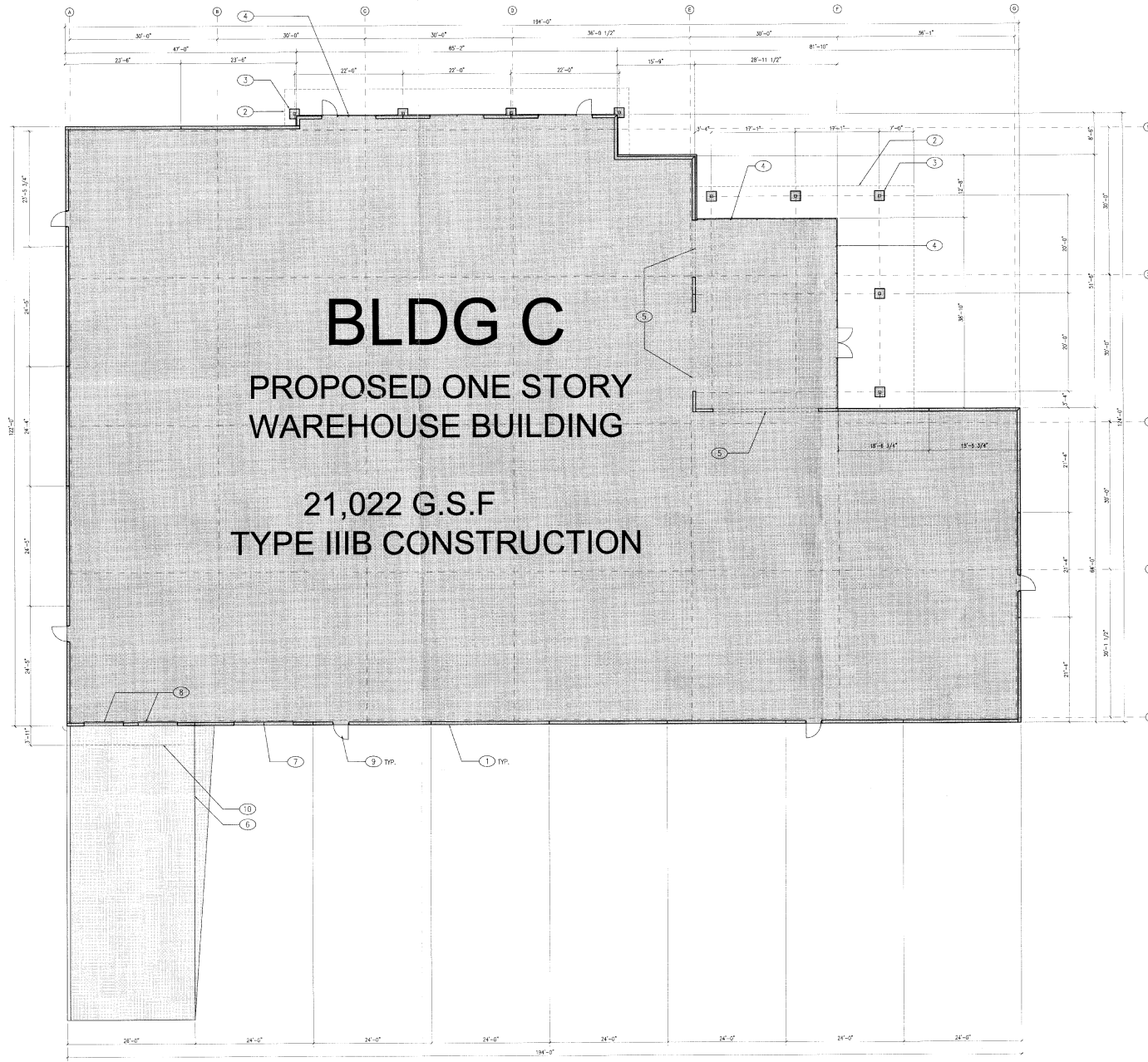


PERSPECTIVE IMAGE OF MONUMENT SIGNAGE & WINE BOTTLE SCULPTURE

SCALE: NO SCALE

2

GREENWOOD COMMERCE CENTER



Trials	Percentage of correct responses
0	50
5	60
10	70
20	70

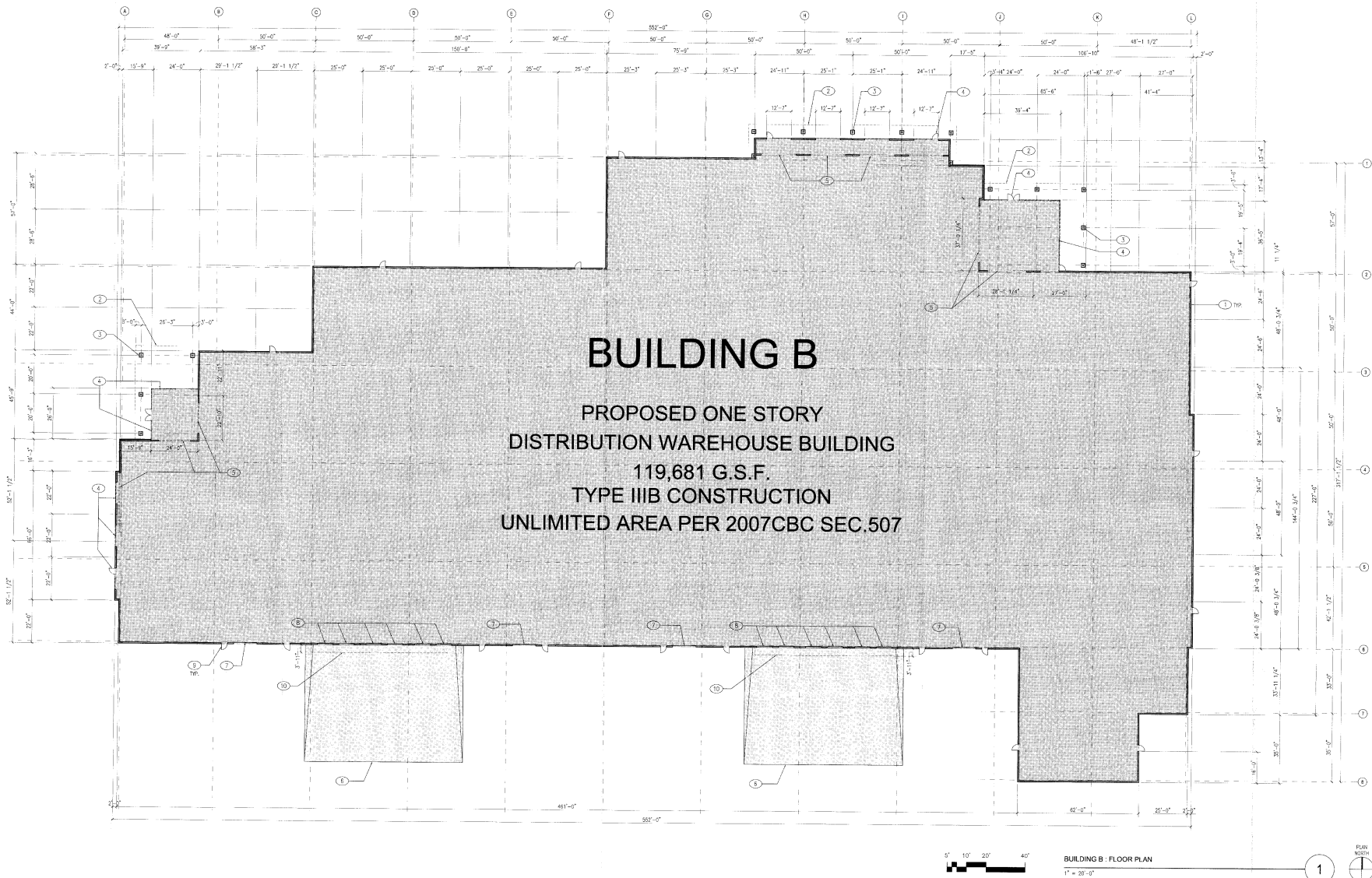
BUILDING C : FLOOR PLAN

1

PLAN
NORTH



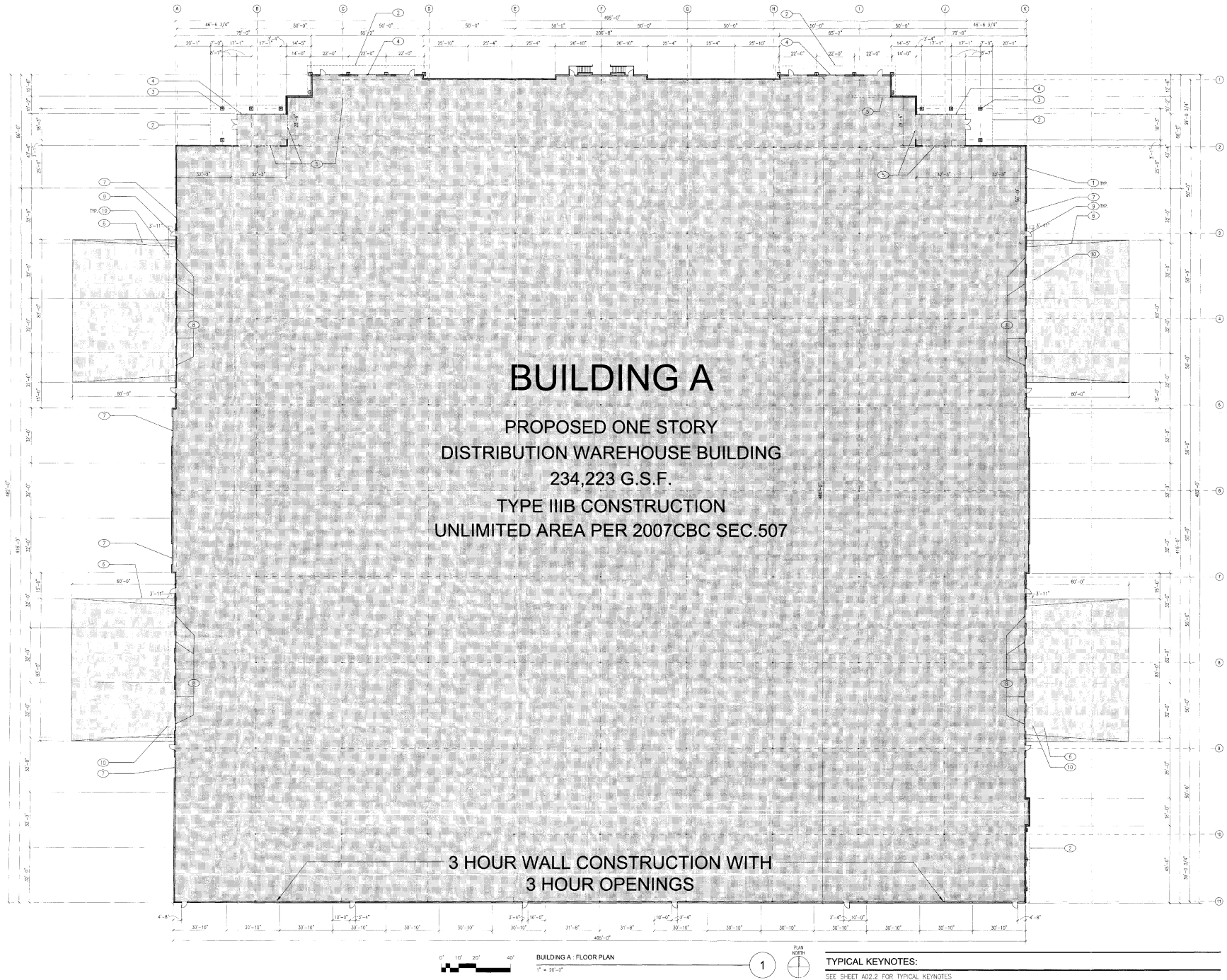
GREENWOOD COMMERCE CENTER



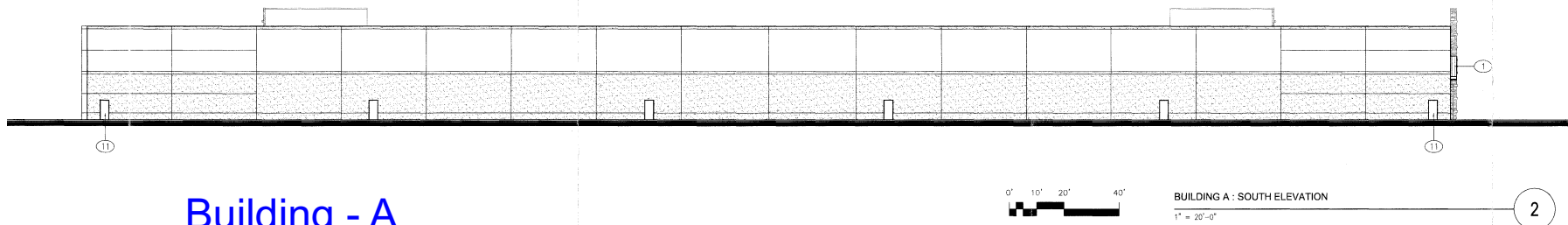
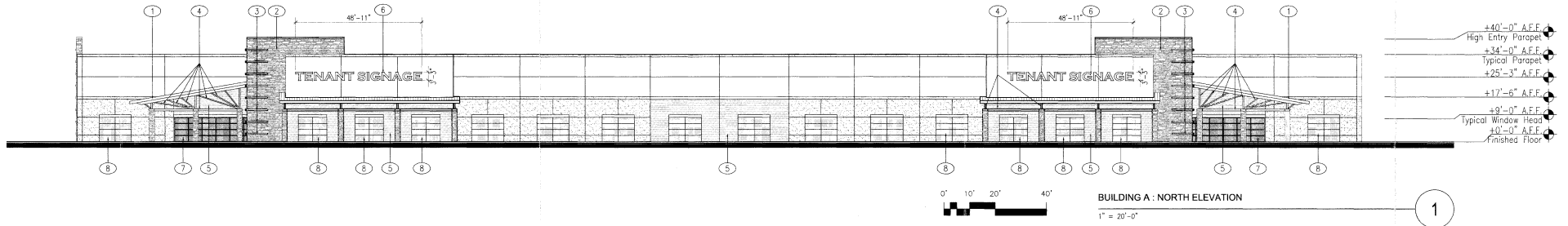
TYPICAL KEYNOTES:

- 1 TYPICAL EXTERIOR WALLS TO BE TILT-UP CONCRETE WITH 3/4" X 3/4" DOUBLE CHAMFER REVEALS AND A MULTICOLOR PAINT PALLET. SEE EXTERIOR ELEVATIONS AND AD4.1
- 2 LINE OF ARCHITECTURAL METAL ROOF ABOVE
- 3 2'-0" SQ. COLUMNS WITH STONE VENEER
- 4 TINTED GLAZING IN ALUMINUM FRAMES
- 5 LINE OF WALL ABOVE
- 6 DEPRESSED TRUCK DOCK
- 7 12' X 14' GRADE LEVEL ROLL UP DOOR
- 8 8' X 9' DOCK LEVEL ROLL UP DOOR
- 9 3' X 7' STEEL MAN DOOR, WHERE DOORS ARE SHOWN AT GLAZING, DOORS TO BE STOREFRONT DOORS
- 10 TYPICAL CANOPY AT TRUCK DOCK, 3'-11" DEEP CANOPY CONSISTING OF STANDING SEAM METAL ROOFING OVER A STEEL SUPPORT FRAME

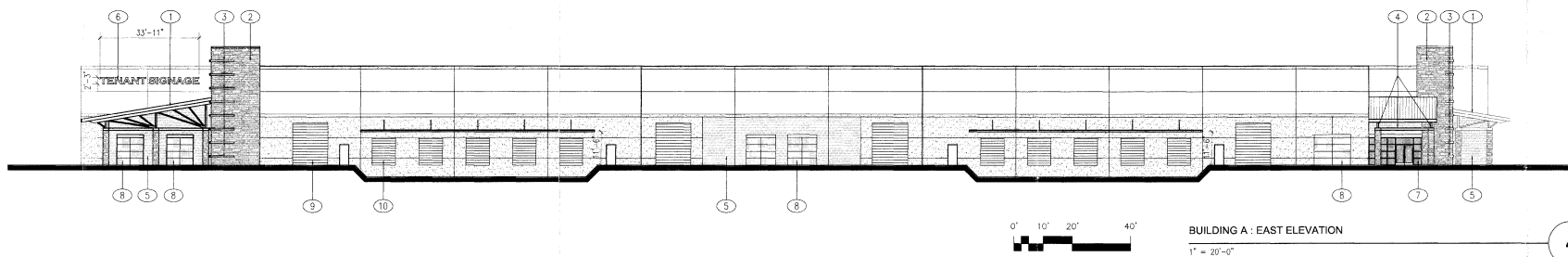
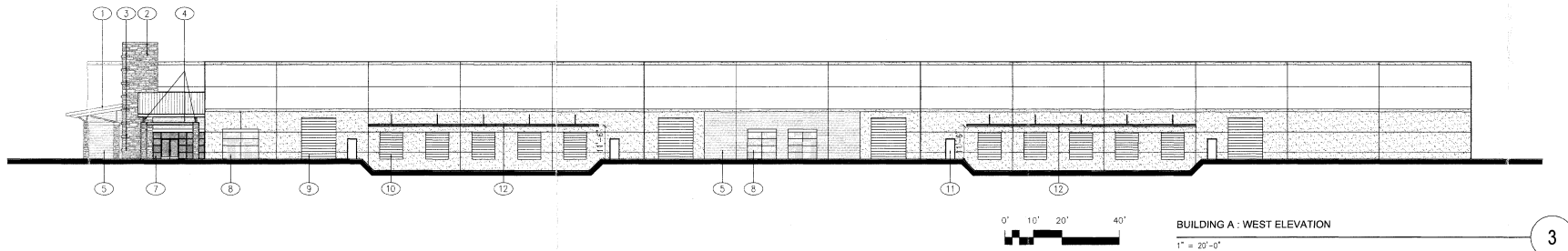
GREENWOOD COMMERCE CENTER



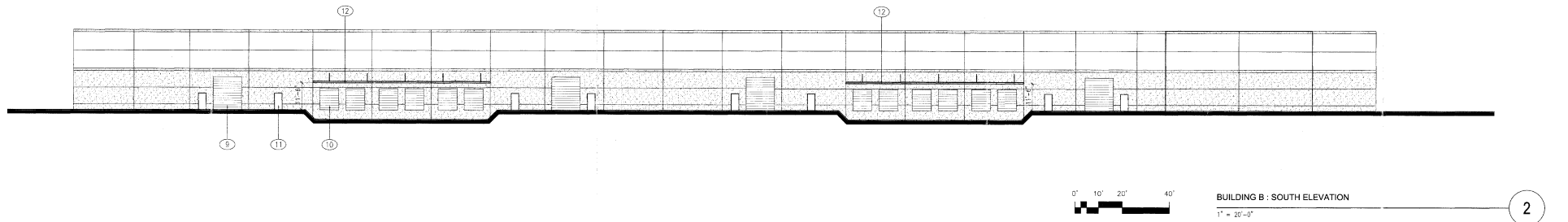
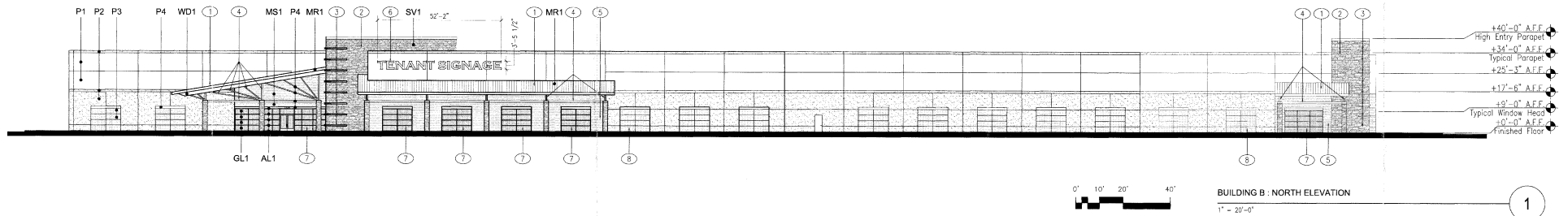
GREENWOOD COMMERCE CENTER



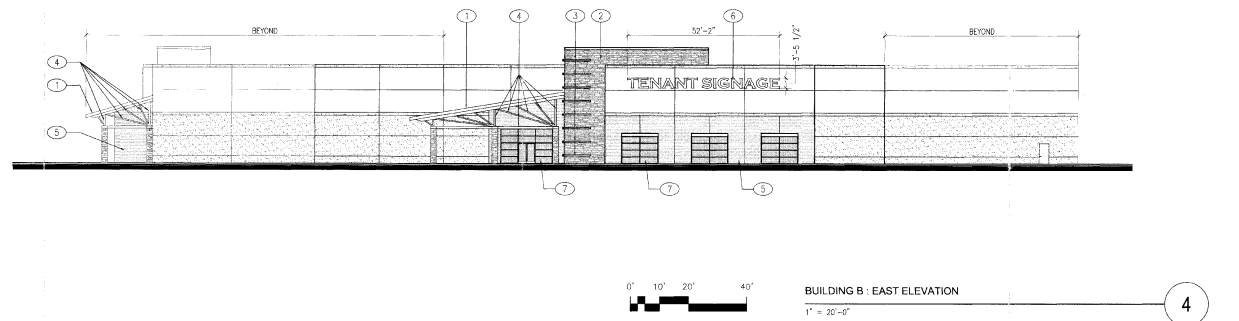
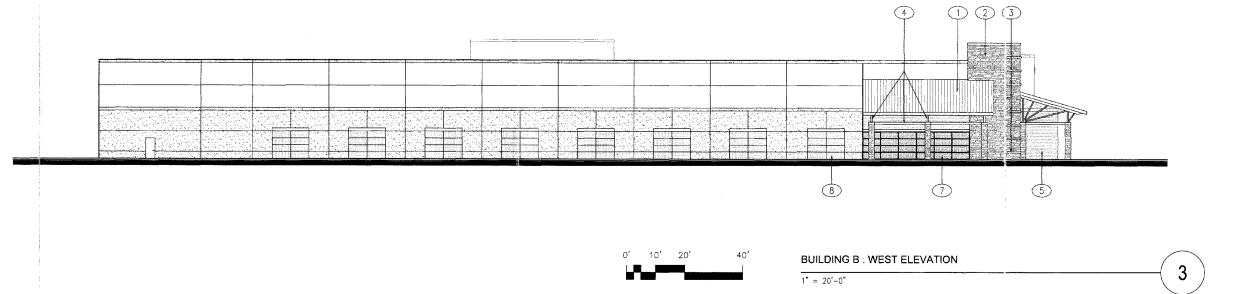
Building - A Elevations



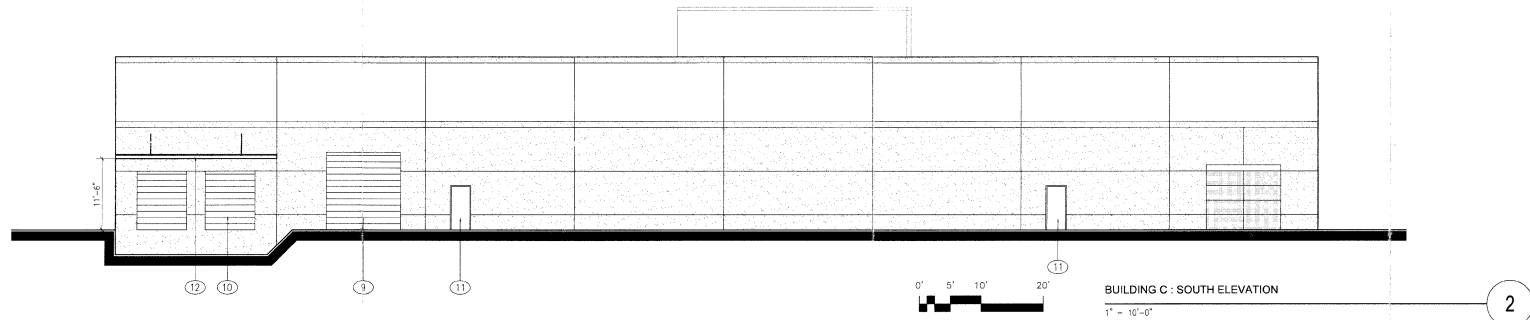
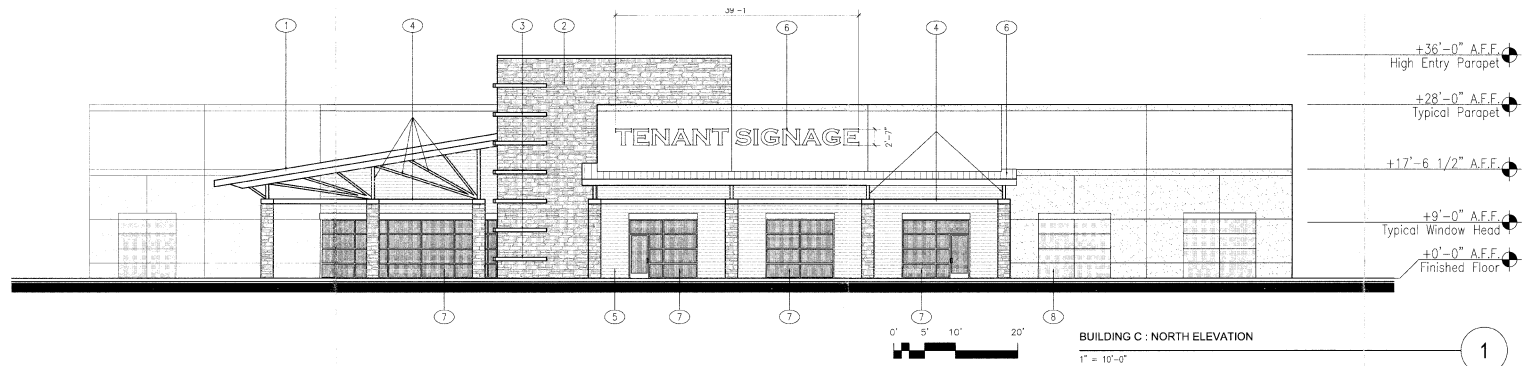
GREENWOOD COMMERCE CENTER



Building - B Elevations



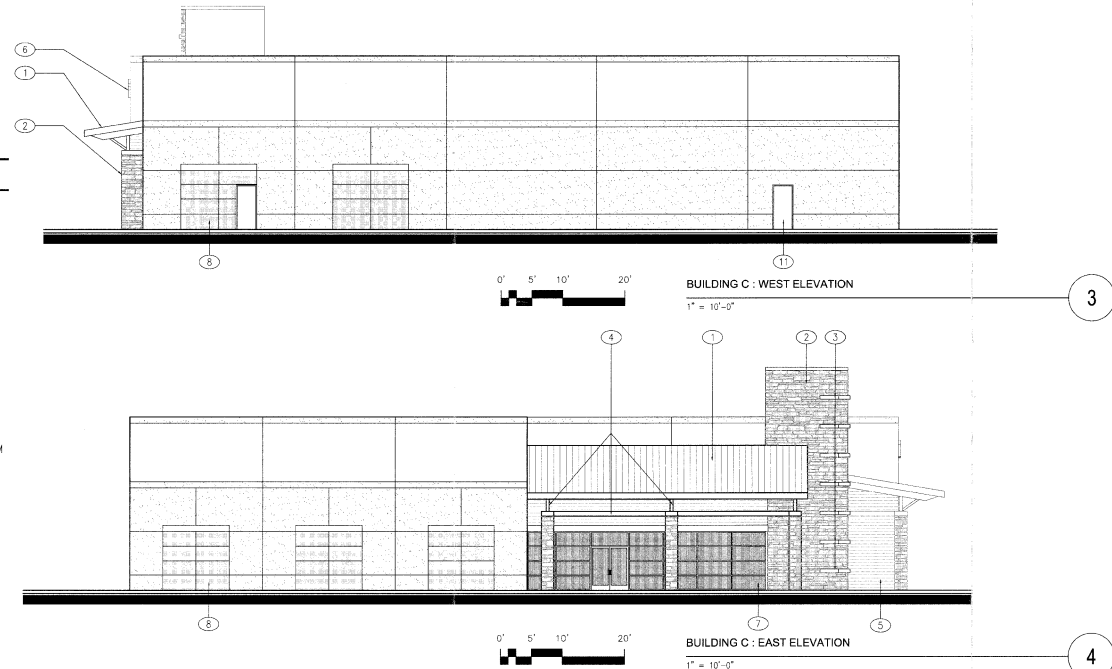
GREENWOOD COMMERCE CENTER



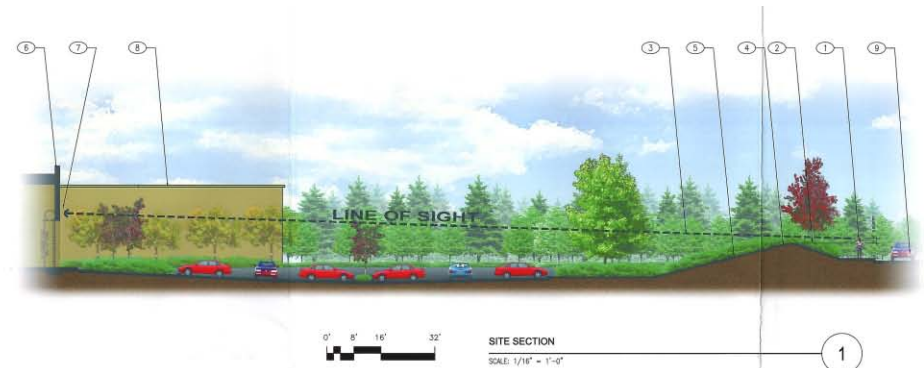
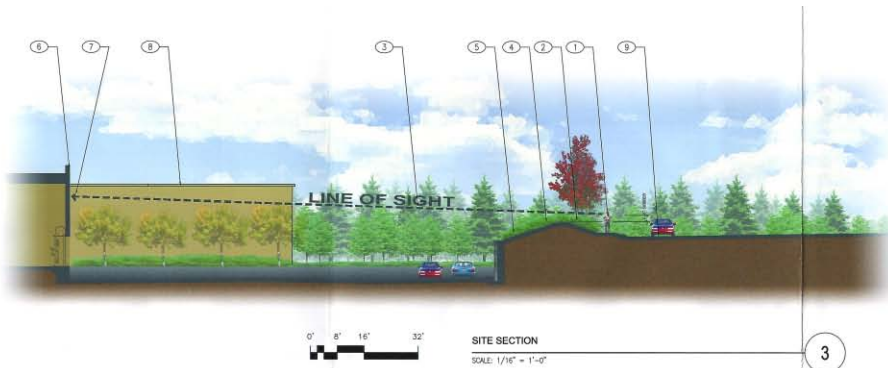
Building - C Elevations

KEYNOTES :

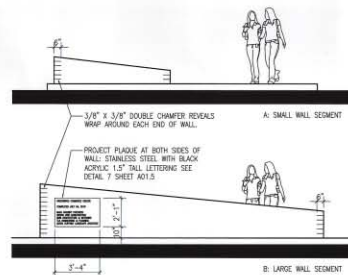
- ① ARCHITECTURAL METAL ROOF OVER WOOD FRAMING ATOP EXPOSED ARCHITECTURAL GLUE LAM BEAMS
- ② ACCENT WALL CLAD IN STONE VENEER
- ③ HORIZONTAL ACCENT STRIPS CONSISTING OF PAINTED STEEL ACCENT STRIPS WRAP OUTSIDE CORNER OF ACCENT WALL
- ④ ARCHITECTURAL TUBE STEEL SUPPORTS: VERTICALS 6"x6", DIAGONALS 4"x4", HORIZONTALS 10"x6"
- ⑤ METAL SIDING
- ⑥ PROPOSED LOCATION OF TENANT SIGNAGE - HALO LIGHTING (TYP AT BLDGS)
- ⑦ TINTED GLAZING IN ALUMINUM FRAMES
- ⑧ FAUX WINDOW CONSISTING OF REVEALS AND PAINT TO MATCH GLAZING COLOR
- ⑨ 12'X14' GRADE LEVEL ROLL UP DOORS
- ⑩ 8'X9' DOCK LEVEL ROLL UP DOORS
- ⑪ 3'X7' STEEL MAN DOORS
- ⑫ TYPICAL CANOPY AT TRUCK DOCK: 3'-11" DEEP CANOPY CONSISTING OF STANDING SEAM METAL ROOFING OVER A STEEL SUPPORT FRAME



GREENWOOD COMMERCE CENTER

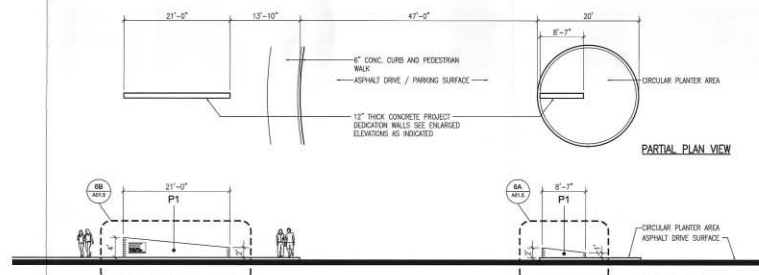


GREENWOOD COMMERCE CENTER
COMPLETED JULY 04, 2010
NAPA GATEWAY PARTNERS
SIERRA VIEW CONSTRUCTION
RMW ARCHITECTURE & INTERIORS
TLA ENGINEERING & PLANNING
GARTH RUFFNER LANDSCAPE ARCHITECT



PROJECT PLAQUE
SCALE: 1" = 1'-0"

PROJECT DEDICATION WALLS - ENLARGED ELEVATIONS
SCALE: 1/4" = 1'-0"



PROJECT DEDICATION WALL
SCALE: 3/32" = 1'-0"

KEYNOTES:

- ① AVERAGE 5'-8" TALL PERSON
- ② TYPICAL 1'-6" TALL SHRUB
- ③ LINE OF SIGHT FROM PEDESTRIAN RIGHT OF WAY SIDEWALK
- ④ TALL SCREENING BERRY, TYP.
- ⑤ LANDSCAPE AREA
- ⑥ BUILDING WALL WITH DOCK DOOR
- ⑦ LINE OF SIGHT ENDS ABOVE DOCK DOOR
- ⑧ BUILDING BEYOND
- ⑨ DEADLY ROAD

Site
Elevations

GREENWOOD COMMERCE CENTER



BUILDING A : SOUTH EAST CORNER AND EAST BUILDING FACE

A2



BUILDING A : NORTH EAST ENTRY

A1



BUILDING B : NORTH WEST ENTRY

B2



BUILDING B : NORTH EAST ENTRY

B1



BUILDING C : NORTH BUILDING FACE

C2



BUILDING C : NORTH EAST ENTRY

C1

EXTERIOR FINISHES :

GL1 : EXTERIOR GLAZING



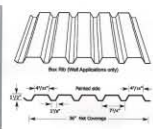
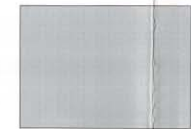
AL1 :
ALUMINUM
MULLIONS



MR1 : STANDING SEAM METAL ROOF



MS1 : METAL WALL PANELS



SV1 : STONE VENEER



WD1 : STAINED & SEALED EXPOSED WOOD



P1 : PAINT 1



P2 : PAINT 2



P3 : PAINT 3



P4 : PAINT 4



P5 : PAINT 5



P6 : PAINT 6



Perspective Views & Exterior Finishes