



Fee Methodology Questions and Outreach Options

Napa Sanitation District
Board of Directors Meeting
July 19, 2017



Discussion Outline

1. Sewer Service Charge Questions

- 100% fixed vs. variable component
- Water use assumptions
- Fee collection options
- Flow & SF – applicability to commercial

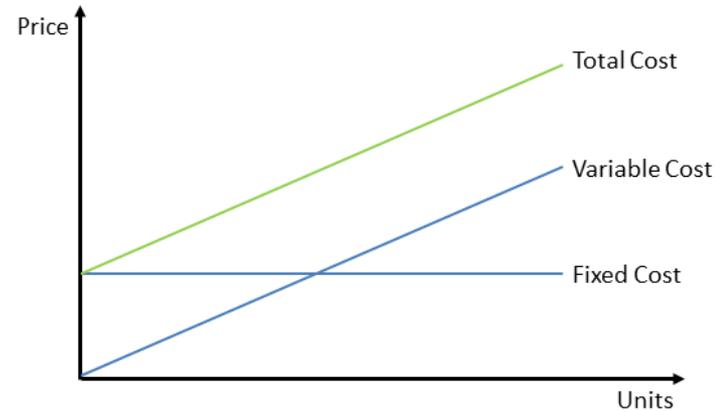
2. Capacity Charges Questions

- Fee assessment
- Methodology



SSC Methodology

Q1: Should residential fees be 100% fixed, or should they be variable based on water usage?





SSC Methodology

Q1: Should residential fees be 100% fixed, or should they be variable based on water usage?

Pros / Cons / Issues

- Less water use = lower bill
- Expect to find 80% to 90% of costs are fixed
- Little cost difference between large & small users
- Revenue fluctuations / Increased reserves
- Increased administrative costs
- Applied to commercial users?

SSC Methodology

Q2: If 100% fixed, should we evaluate average water usage assumptions for SFR, condos, apartments, ADUs, mobile homes?





SSC Methodology

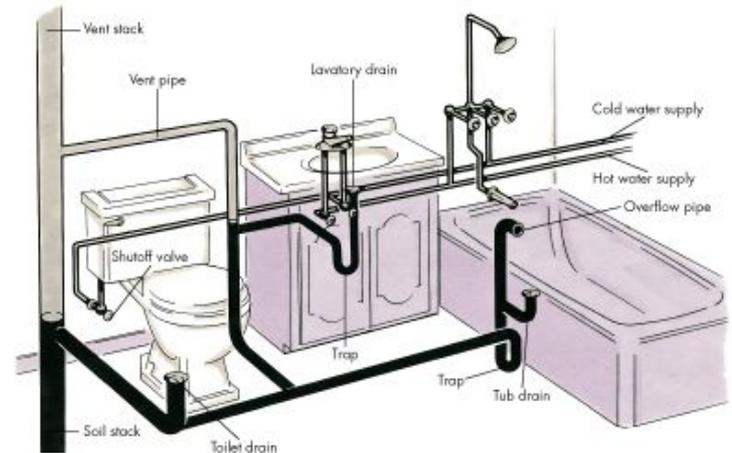
Q2: If 100% fixed, should we evaluate average water usage assumptions for SFR, condos, apartments, ADUs, mobile homes?

Pros / Cons / Issues

- Initial study shows SFR usage much lower than assumed in Code
- Potential to find that SRF, condos and apartments have similar water usage

SSC Methodology

Q3: Should average strength factors for a “typical EDU” be updated?





SSC Methodology

Q3: Should average strength factors for a “typical EDU” be updated?

Pros / Cons / Issues

- If strength factors are updated, it impacts commercial and industrial customer rates
- Updated BOD and TSS numbers for residential units will help to balance the formula

Capacity Charges

Q4: Should the capacity charge fee amount be recalculated?





Capacity Charges

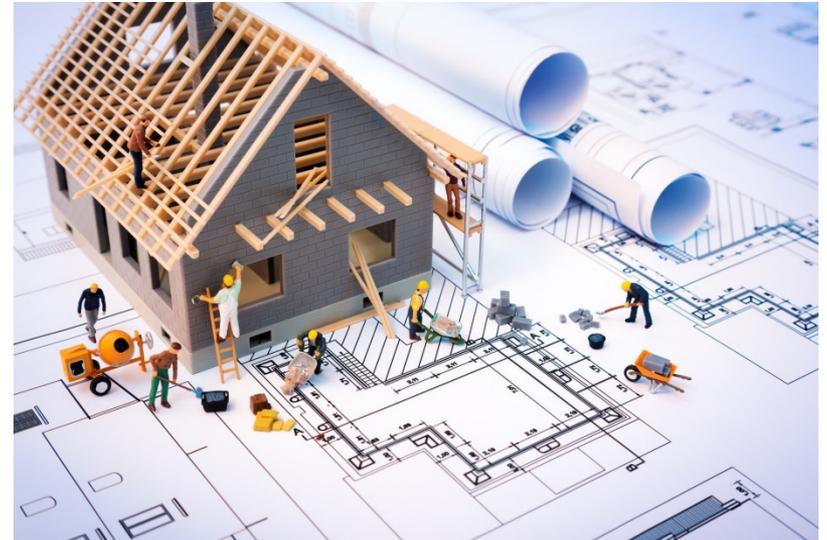
Q4: Should the capacity charge fee amount be recalculated?

Pros / Cons / Issues

- Fee has not been calculated since 2009
- Potential for fee to increase or decrease

Capacity Charges

Q5: Should the capacity charge methodology for residential development be evaluated?





Capacity Charges

Q5: Should the capacity charge methodology for residential development be evaluated?

Pros / Cons / Issues

- Potential to assess fees for all unit types based on square feet (consistent with ADUs and commercial)



Direction

- Q1: Should residential fees be 100% fixed, or should they be variable based on water usage?
- Q2: If 100% fixed, should we evaluate average water usage assumptions for SFR, condos, apartments, ADUs, mobile homes?
- Q3: Should average strength and flow factors for a “typical EDU” be updated?
- Q4: Should the capacity charge fee amount be recalculated?
- Q5: Should the capacity charge methodology for residential development be evaluated?