



Sent by USPS

Sent by e-mail to:

John McDowell, john.mcdowell@countyofnapa.org

March 24, 2021

John McDowell
Napa County Airport Land Use Commission Staff
Napa County Planning, Building and Environmental Services Department
1195 Third St – Suite 210
Napa, CA 94559

Subject: Oat Hill Project Application for the Napa County Airport Land Use Commission

Dear Mr. McDowell,

The City of American Canyon received an application from RH Hess Development Company for development of apartment units on Oat Hill. The Oat Hill Project is located on the east side of Oat Hill south of Napa Junction Rd and consists of two Parcels, A and B. Parcel A includes 206 dwelling units on a 13.6-acre parcel and Parcel B includes 85 dwelling units on 7.2-acres. Three residential buildings in Parcel A (buildings #K, L, and M) are located in the Napa County Airport Land Use Compatibility Plan. The applicant requests the earliest available ALUC meeting for consideration of approval of the project. Please see the attached files for the submittal of the Oat Hill Project for the Napa County Airport Land Use Commission.

All submittal items are available in the March 25, 2021 Planning Commission Packet, item #4.1, link here: <https://cityofamericancanyon.civicweb.net/Portal/MeetingInformation.aspx?Id=789> . The following items are submitted in accordance with the application:

1. Project Description
2. Identification of specific potential aircraft hazards – N/A, the project did not identify any potential aircraft hazards.
3. Copy of local planning agency staff report
4. Copy of Initial Study / Mitigated Negative Declaration
5. Avigation Easement – The applicant will agree to recording an avigation easement in favor of the Napa County Airport, see Parcel A/B Tentative Map condition of approval #15.
6. Site Plans
7. Plan Sets – Items #1 to 6 has been printed for submittal
8. Address labels
9. Submittal Fee – Check for \$4,994.56



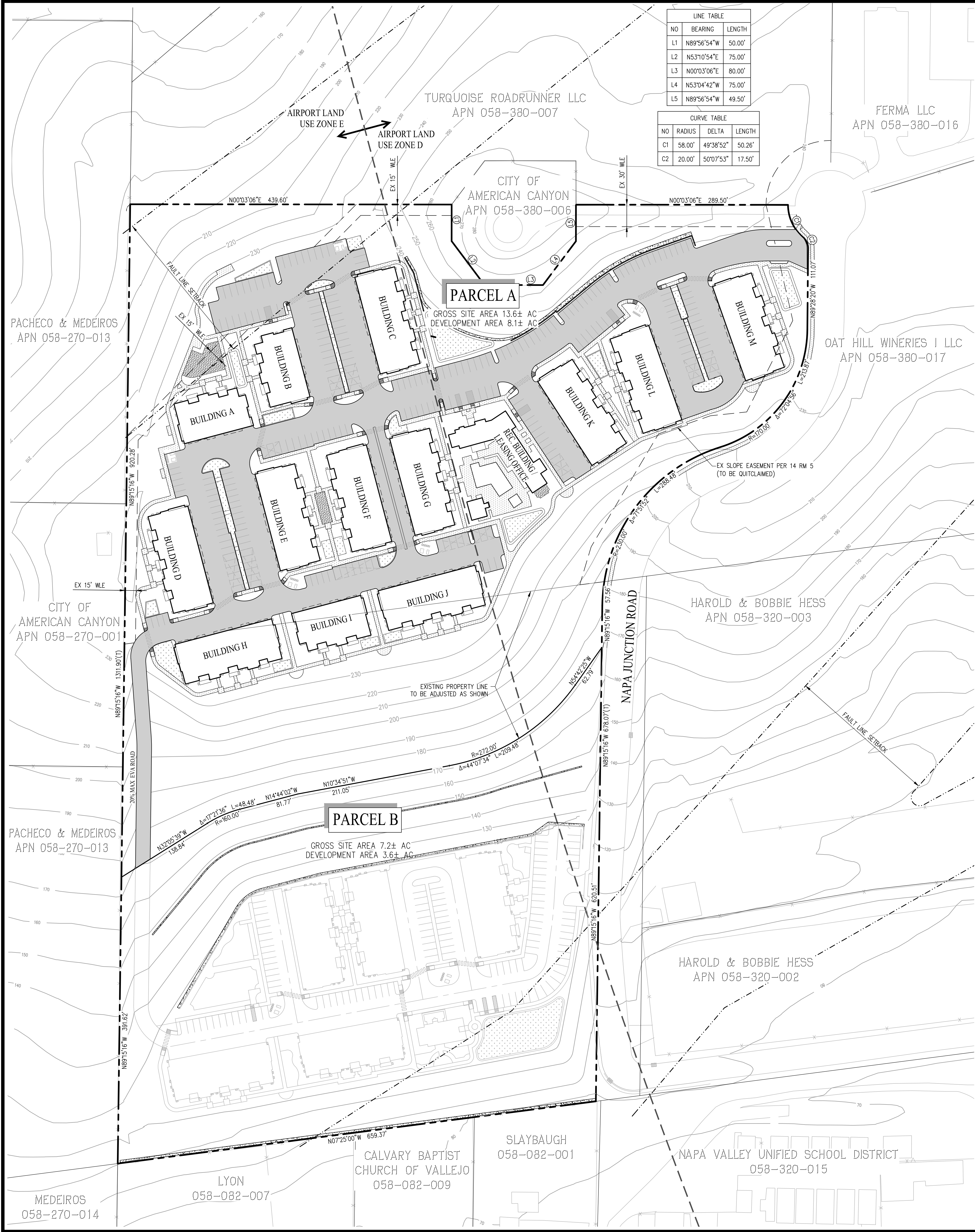
Sincerely,

A handwritten signature in blue ink, appearing to read "H/2Nai", with a long horizontal flourish extending to the right.

William He, AICP
Associate Planner, Community Development Department

Attachments: 1st Submittal of Oat Hill Project

EC: Rick Hess, RH Hess Development Co.
Brent Cooper, AICP, Community Development Director



GENERAL NOTES

- 1. OWNER: OAT HILL PROPERTIES II, LLC
PO BOX 3438
NAPA, CA 94558
- 2. DEVELOPER: RH HESS DEVELOPMENT
3423 BROADWAY, SUITE D-5
AMERICAN CANYON, CA 94503
- 3. CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC.
2633 CAMINO RAMON
SAN RAMON, CA 94583
COLT ALVERNAZ P.E. #75740
PHONE: (925) 866-0322
- 4. SOIL ENGINEER: REESE & ASSOCIATES
134 LYSTRA COURT
SANTA ROSA, CA 95403
PHONE: (707) 528-3078
- 5. ARCHITECT: WILLIAM HEZMALHALCH ARCHITECTS
6111 BOLLINGER CANYON ROAD, SUITE 495
SAN RAMON, CA 94583
PHONE: (925) 463-1700
- 6. LANDSCAPE ARCHITECT: VANDERTOOLEN ASSOCIATES
855 BORDEAUX WAY, SUITE 240
NAPA, CA 94558
PHONE: (707) 224-2299
- 7. ASSESSORS PARCEL NO. 058-380-008 & 058-320-001 (PORTION)
- 8. SITE AREA: 13.6± ACRES
- 9. LOTS: 1
- 10. EXISTING GENERAL PLAN: COMMERCIAL SPECIALTY (CS)
PROPOSED GENERAL PLAN: RESIDENTIAL HIGH (RH-1)
- 11. EXISTING ZONING: LIGHT INDUSTRIAL (LS)
PROPOSED ZONING: RESIDENTIAL HIGH (RH)
- 12. EXISTING LAND USE: VACANT LAND
PROPOSED LAND USE: MULTI-FAMILY RESIDENTIAL
- 13. DWELLING UNITS: 206
- 14. SITE DENSITY: 15.1 DU/AC
- 15. BENCHMARK: NAPA COUNTY BENCHMARK BM 934C. STATE WELL MONUMENT
STAMPED B-55 IN CUL DE SAC AT NORTH END OF LOMBARD ROAD.
EL = 58.37 FEET (NGVD29)
NAVD88 = NGVD29 + 2.4
- 16. BASIS OF BEARINGS: BETWEEN TWO FOUND MONUMENTS IN EUCALYPTUS DRIVE, THE BEARING BEING N89°26'36"W, PER 23 RM 25, RECORDED JUNE 28, 2002, IN THE OFFICE OF THE COUNTY RECORDER
- 17. FLOOD ZONE: ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN
SOURCE: FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP, MAP NUMBER 06055C0617F
DATE: AUGUST 3, 2016
- 18. UTILITIES: WATER: CITY OF AMERICAN CANYON
SEWER: CITY OF AMERICAN CANYON
STORM DRAIN: CITY OF AMERICAN CANYON
GAS & ELECTRIC: PG&E
TELEPHONE: PACIFIC BELL
- 19. BOUNDARY: AS SHOWN WAS COMPILED FROM RECORD INFORMATION AND DOES NOT REPRESENT A SURVEY OF THE PROPERTY.

LEGEND

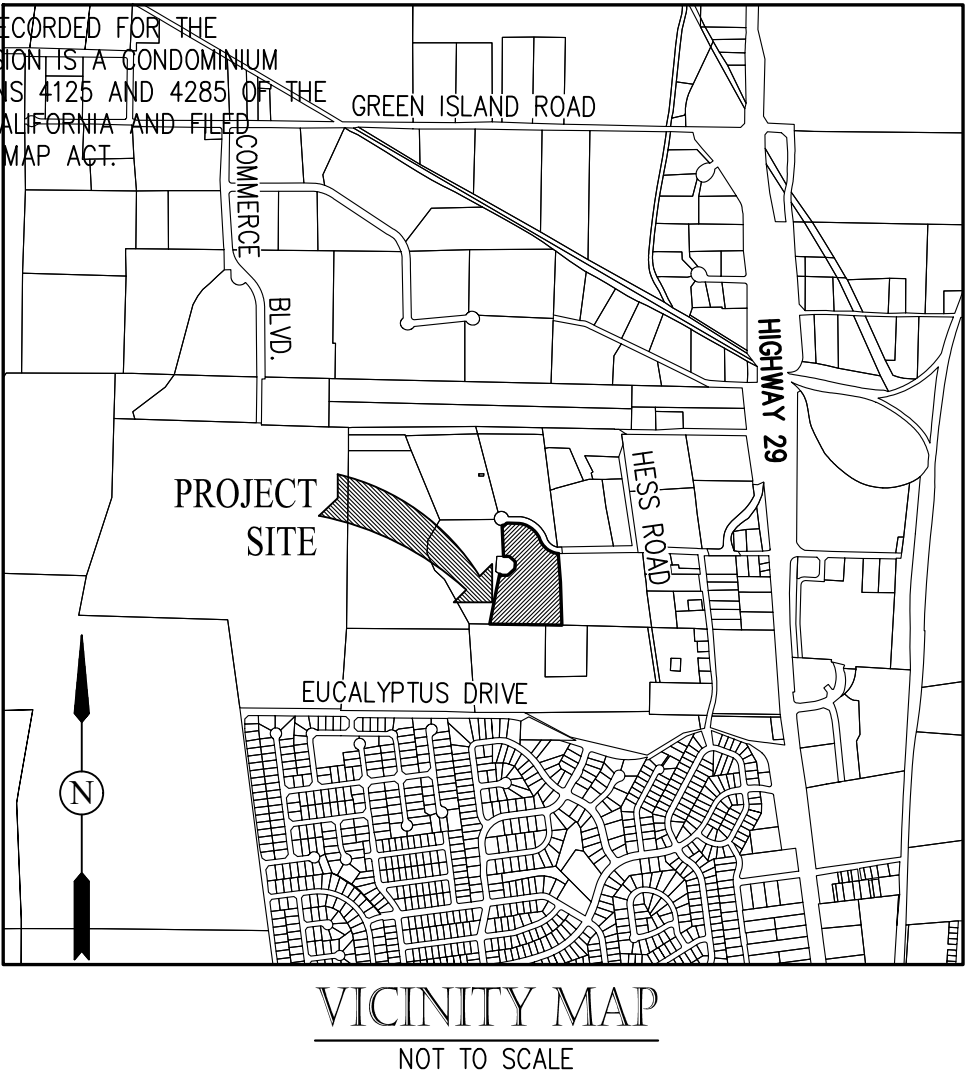
PROPOSED

- EXISTING BOUNDARY
- RIGHT OF WAY
- PROPOSED LOT LINE
- EXISTING LOT LINE
- TOP OF CURB
- CENTERLINE
- EASEMENT LINE
- FAULTLINE SETBACK
- AIRPORT LAND USE ZONE LINE
- LOT NUMBER
- FINISHED FLOOR ELEVATION
- 10' CONTOUR
- PARKING COUNT
- COVERED PARKING
- LOT DIMENSION
- STORM DRAIN AND CATCH BASIN
- SANITARY SEWER AND MANHOLE
- 8" W-PU
- 8" W
- 8" FS
- JOINT TRENCH
- LATERAL SERVICE
- FIELD INLET
- FIRE HYDRANT
- STREET LIGHT
- ASPHALT PAVEMENT
- CONCRETE WALKWAY
- BIORETENTION AREA
- TURF AREA

EXISTING

- EX 12" W
- EX 8" SS
- EX 30" SS
- WATER MAIN AND VALVE
- SANITARY SEWER AND MANHOLE
- STORM DRAIN AND CATCH BASIN
- UTILITY POLE
- FIRE HYDRANT

Attachment 5,
Exhibit A: Design
Permit Plans



RH ZONING STANDARDS

MINIMUM STANDARDS	ZONING	PROJECT
MINIMUM LOT AREA	20,000 SF	13.6± AC
MINIMUM LOT WIDTH	100 FT	100 FT +
MINIMUM LOT DEPTH	100 FT	100 FT +
MINIMUM SETBACK		
FIRST STORY	5 FT	20 FT
SECOND STORY/ REAR/STREET	10 FT	20 FT
MINIMUM BUILDING SEPARATION	-- FT	20 FT
MAXIMUM FLOOR AREA RATIO	50 %	17%
MAXIMUM BUILDING HEIGHT	42 FT	40 FT

DEVELOPMENT AREA SUMMARY - 13.6± ACRES

(AFTER LOT LINE ADJUSTMENT)

BUILDING FOOTPRINT:	97,930± SF	2.24± AC
PARKING/ASPHALT:	138,146± SF	3.17± AC
SIDEWALK/OTHER CONCRETE:	30,469± SF	0.70± AC
TRASH ENCLOSURE	1,290± SF	0.03± AC
LANDSCAPED AREA: *	94,923± SF	2.17± AC
WATER QUALITY BASIN (OFF-SITE):	N/A	N/A
OPEN SPACE:	229,421± SF	5.28± AC
TOTAL:	592,179± SF	13.6± AC
TOTAL IMPERVIOUS AREAS:	267,835± SF	6.15± AC
BUILDING COVERAGE:	17%	
*REQUIRED LANDSCAPED AREA (10% OF PARKING/ASPHALT AREA):	13,814 SF	0.31 AC

SHEET INDEX

- 1 PROJECT OVERVIEW
- 2 TECHNICAL SITE PLAN
- 3 PRELIMINARY GRADING & DRAINAGE PLAN
- 4 PRELIMINARY UTILITY PLAN
- 5 STREET SECTIONS & TRUCK TURNING PLAN
- 6 GRADING CROSS SECTIONS
- 7 PRELIMINARY STORMWATER CONTROL PLAN

DESIGN REVIEW
PROJECT OVERVIEW
OAT HILL MULTI-FAMILY - PARCEL A

CITY OF AMERICAN CANYON NAPA COUNTY CALIFORNIA
SCALE: 1" = 60' DATE: FEBRUARY 2021

cbg CIVIL ENGINEERS SURVEYORS PLANNERS

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SACRAMENTO (916) 375-1877
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SHEET NO. C-1 OF 7 SHEETS



LINE TABLE		
NO	BEARING	LENGTH
L1	N89°56'54"W	50.00'
L2	N53°10'54"E	75.00'
L3	N00°03'06"E	80.00'
L4	N53°04'42"W	75.00'
L5	N89°56'54"W	49.50'

CURVE TABLE		
NO	RADIUS	DELTA
C1	58.00'	49°38'52"
C2	20.00'	50°07'53"

LEGEND	
	PROPOSED BOUNDARY
	RIGHT OF WAY
	PROPOSED LOT LINE
	EXISTING LOT LINE
	TOP OF CURB
	CENTERLINE
	EASEMENT LINE
	FAULTLINE SETBACK
	AIRPORT LAND USE ZONE LINE
	BUILDING DESIGNATION
	10' CONTOUR
	PARKING COUNT
	COMPACT PARKING STALL
	PROPOSED ON STREET PARKING
	COVERED PARKING
	TRASH ENCLOSURE
	LOT DIMENSION
	ZERO EMISSIONS VEHICLE CHARGING STALL
	ACCESSIBLE PARKING (CALTRANS STD PLAN A90A)
	VAN ACCESSIBLE STALL

RH ZONING STANDARDS		
MINIMUM STANDARDS	ZONING	PROJECT
MINIMUM LOT AREA	20,000 SF	13.6 + AC
MINIMUM LOT WIDTH	100 FT	100 FT +
MINIMUM LOT DEPTH	100 FT	100 FT +
MINIMUM SETBACK		
FIRST STORY	5 FT	20 FT
SECOND STORY / REAR STREET	10 FT	20 FT
MINIMUM BUILDING SEPARATION	-- FT	20 FT
MAXIMUM FLOOR AREA RATIO	50 %	17 %
MAXIMUM BUILDING HEIGHT	42 FT	40 FT

UNIT SUMMARY			
	UNITS	BLDGs	TOTAL UNITS
12-UNIT BLDG	12	3	36
17-UNIT BLDG	17	10	170
TOTAL	13	206	

PARKING SUMMARY - REQUIRED						
UNIT TYPE	QTY	RATIO	COVERED PARKING REQUIRED	OPEN PARKING REQUIRED	GUEST PARKING REQUIRED	TOTAL REQUIRED
1 BED	52	1 COVERED SPACE, PLUS 0.5 UNCOVERED SPACES	52	26	13	91
2 BED	108	1 COVERED SPACE, PLUS 1 UNCOVERED SPACE, PLUS 1 GUEST SPACE PER 4 UNITS	108	108	27	243
3 BED	46		46	46	12	104
TOTALS	206		206	180	52	438

PARKING SUMMARY - PROVIDED				
GARAGE	CARPORTS	HEAD IN	OFF SITE	TOTAL
157	49	222	23	451

PARKING NOTES:
7 TOTAL ADA PARKING STALLS PROVIDED (1 VAN)
7 TOTAL ELECTRIC VEHICLE STALLS PROVIDED

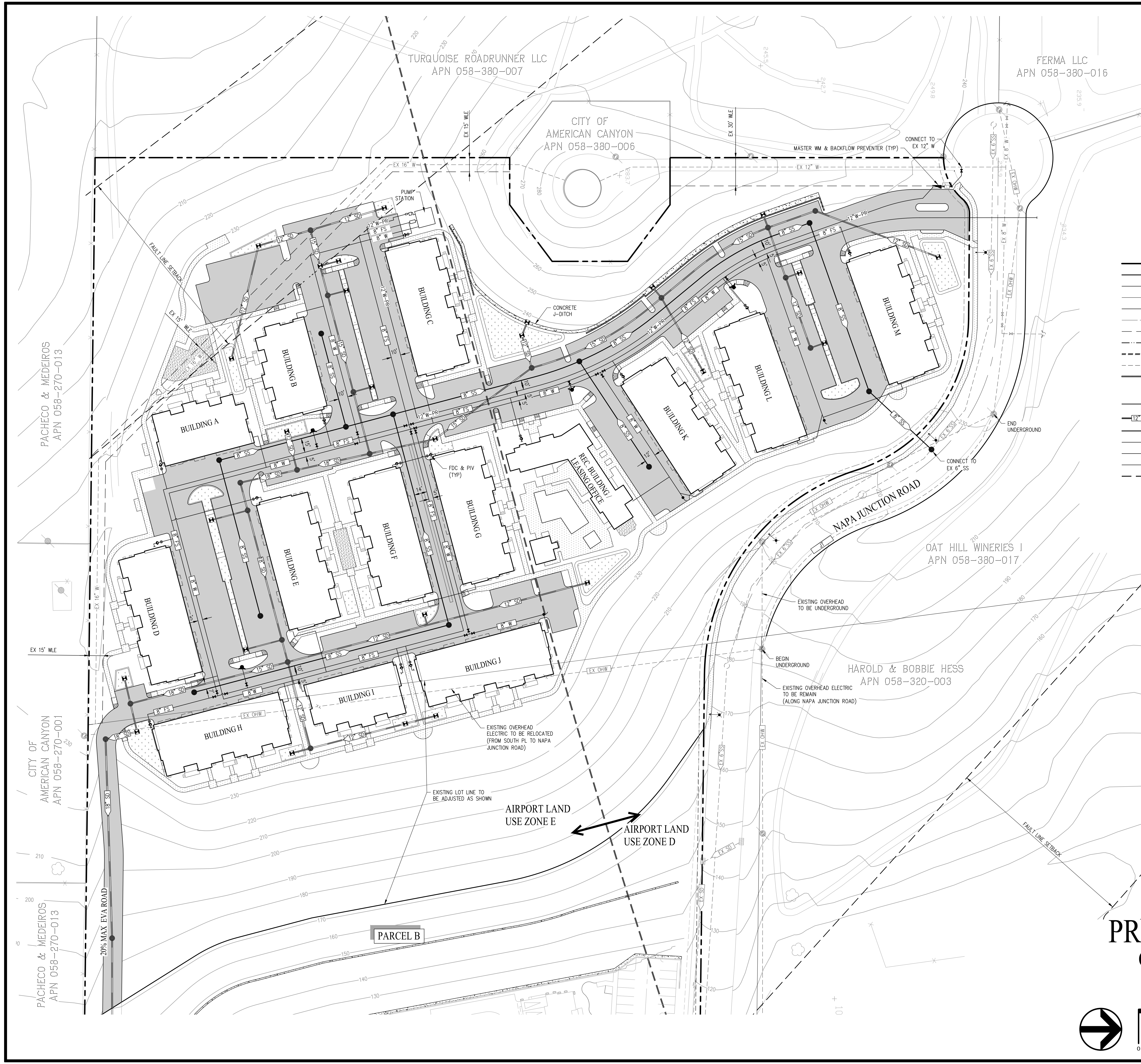
DESIGN REVIEW
TECHNICAL SITE PLAN
OAT HILL MULTI-FAMILY - PARCEL A
CITY OF AMERICAN CANYON NAPA COUNTY CALIFORNIA
SCALE: 1" = 40' DATE: FEBRUARY 2021

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SHEET NO.
C-2
OF 7 SHEETS





- NOTES:
1. ELECTRIC, TELEPHONE, AND CABLE SERVICE WILL BE PROVIDED FROM EXISTING FACILITIES ON NAPA JUNCTION ROAD. FINAL POINTS OF CONNECTION TO BE DETERMINED AT FINAL DESIGN.
 2. EXISTING OVERHEAD LINES ON NAPA JUNCTION ROAD WILL REMAIN.
 3. PROPOSED SANITARY SEWER MANHOLE CONNECTION ON NAPA JUNCTION ROAD MAY INCORPORATE A DROP STRUCTURE TO BE DETAILED ON THE CONSTRUCTION PLANS.

PROPOSED		LEGEND	
	EXISTING BOUNDARY	DDCV	DOUBLE DETECTOR CHECK VALVE
	RIGHT OF WAY	FDC	FIRE DEPARTMENT CONNECTION
	PROPOSED LOT LINE	EX	EXISTING
	EXISTING LOT LINE	FG	FINISHED GRADE
	TOP OF CURB	FL	FLOW LINE
	CENTERLINE	TC	TOP OF CURB
	EASEMENT LINE	HP	HIGH POINT
	FAULTLINE SETBACK	INV	INVERT
	AIRPORT LAND USE ZONE LINE	LP	LOW POINT
	TOP/TOE OF SLOPE	PIV	POST INDICATOR VALVE
	PROPOSED RETAINING WALL	SSCO	SANITARY SERVICE CLEAN OUT
	BUILDING DESIGNATION	WLE	WATER LINE EASEMENT
	10' CONTOUR	EXISTING	
	STORM DRAIN, CATCH BASIN & MANHOLE		STORM DRAIN, CATCH BASIN & MANHOLE
	SANITARY SEWER AND MANHOLE		WATER MAIN AND VALVE
	PRIVATE WATER MAIN AND VALVE		SANITARY SEWER AND MANHOLE
	PRIVATE FIRE SERVICE WATER MAIN AND VALVE		UTILITY POLE
	PRIVATE PUMP SUPPLY WATER MAIN AND VALVE		FIRE HYDRANT
	JOINT TRENCH		EXISTING 10' CONTOUR
	LATERAL SERVICE		PROPOSED 10' CONTOUR
	FIELD INLET		
	FIRE HYDRANT		
	STREET LIGHT		
	PIV		
	FDC		

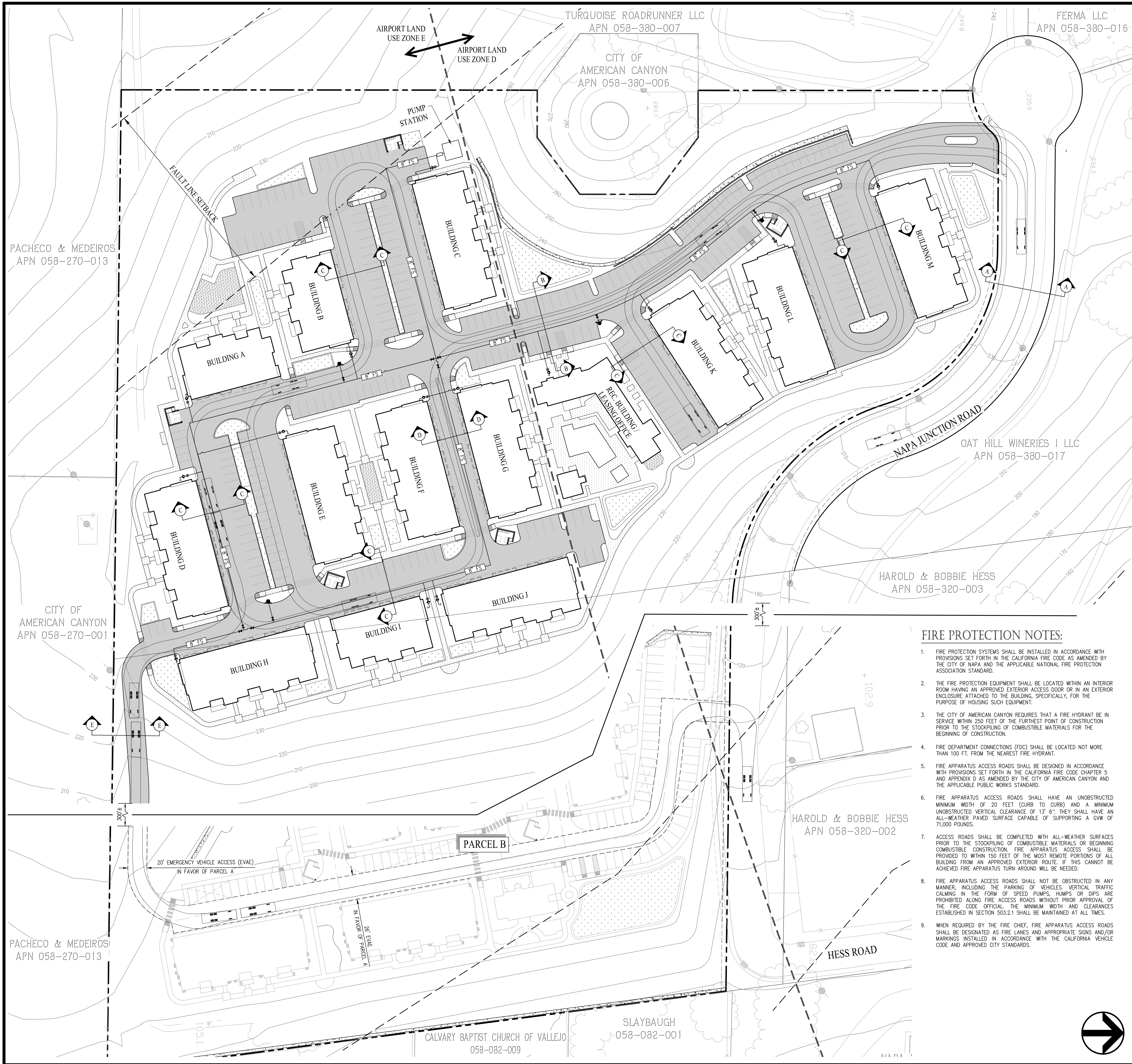
DESIGN REVIEW
PRELIMINARY UTILITY PLAN
OAT HILL MULTI-FAMILY - PARCEL A

CITY OF AMERICAN CANYON NAPA COUNTY CALIFORNIA
SCALE: 1" = 40' DATE: FEBRUARY 2021

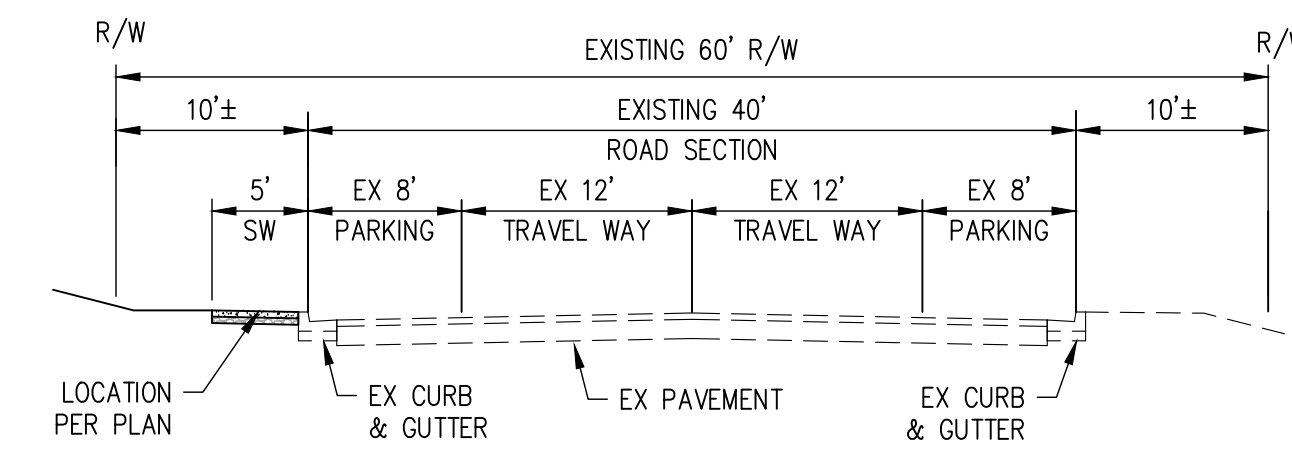
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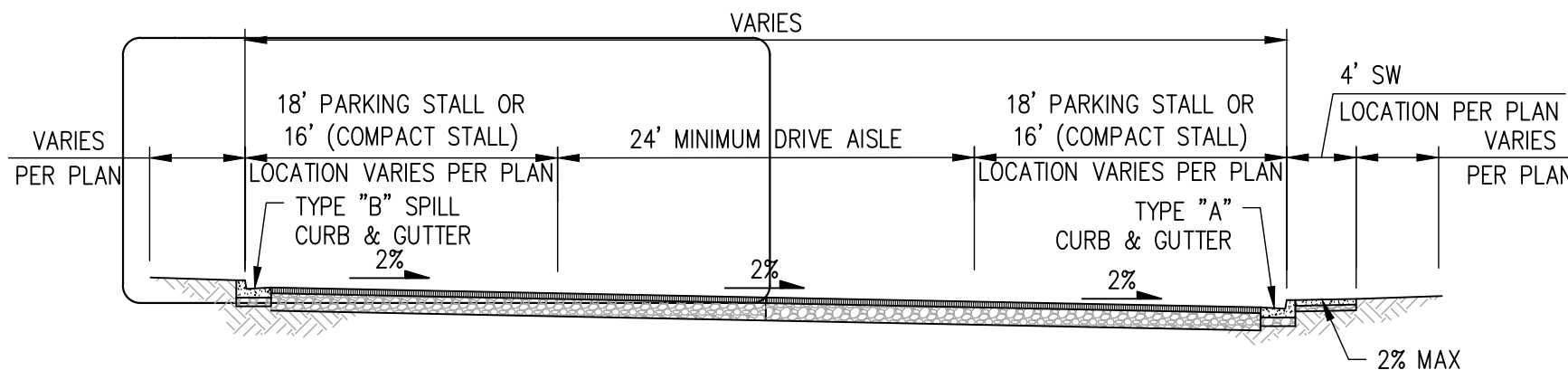
SHEET NO.
C-4
OF 7 SHEETS



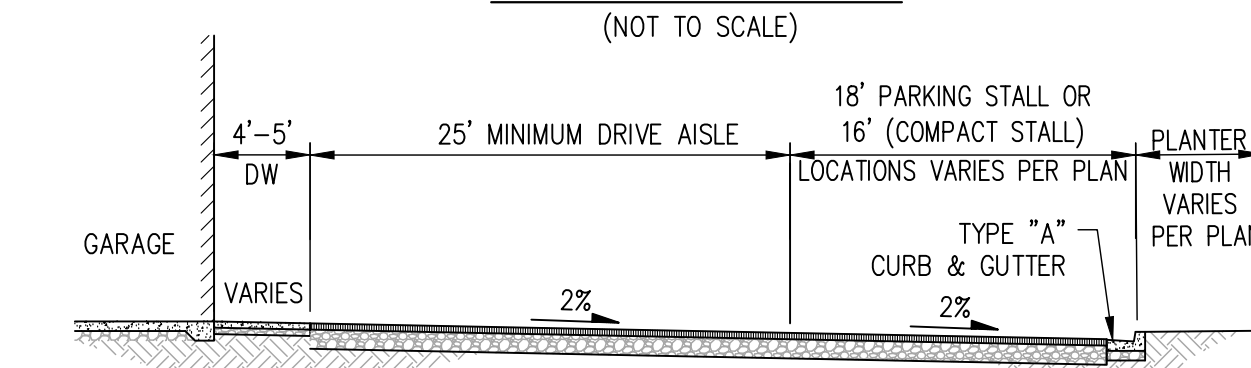
PROJECT
SITE



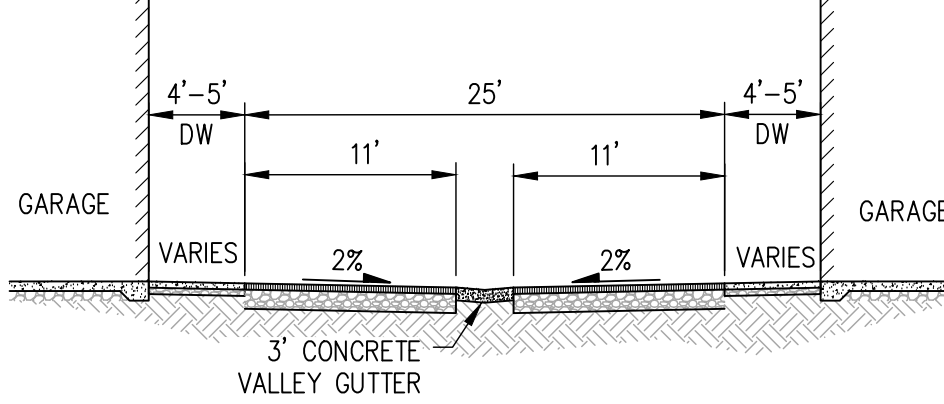
SECTION A-A
EXISTING NAPA JUNCTION ROAD
(NOT TO SCALE)



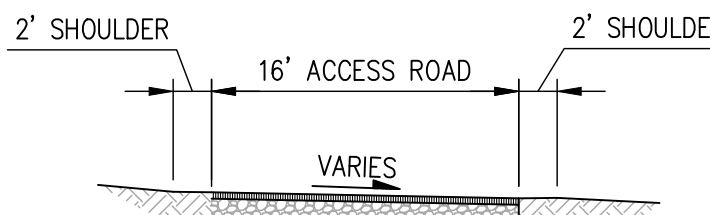
SECTION B-B
MAIN DRIVE AISLE
(NOT TO SCALE)



SECTION C-C
BUILDING DRIVE AISLE
(NOT TO SCALE)



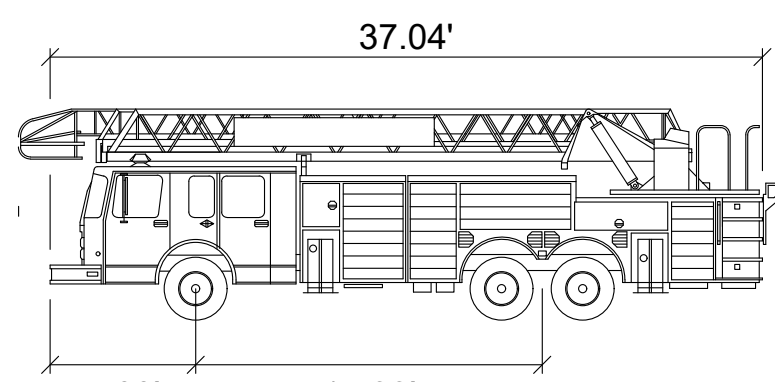
SECTION D-D
BUILDING DRIVE AISLE
(NOT TO SCALE)



SECTION E-E
16' EVA ROAD
(NOT TO SCALE)

LEGEND

- FRONT TIRE PATH OF TRAVEL
- REAR TIRE PATH OF TRAVEL
- TRASH ENCLOSURE
- PRIVATE FIRE SERVICE WATER MAIN AND VALVE
- FIRE HYDRANT



AMERICAN LA FRANCE 75'AERIAL	
Width	: 10.00'
Track	: 8.50'
Lock to Lock Time	: 6.00'
Steering Angle	: 45.00

TRUCK DIMENSIONS
DETAIL NOT TO SCALE

FIRE FLOW NOTES:

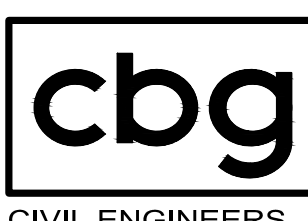
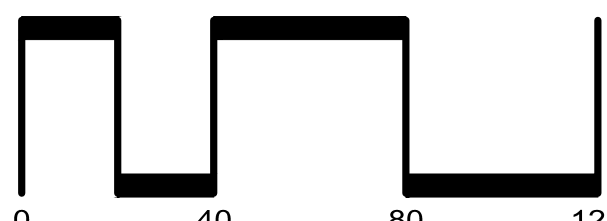
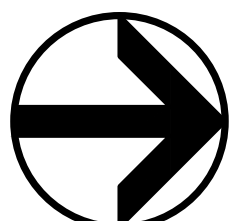
- BUILDING CONSTRUCTION TYPE: TYPE VA
 - MAXIMUM BUILDING SQUARE FOOTAGE: 23,712 SF
 - REQUIRED FIRE FLOW PER CFC, APPENDIX B: FULLY SPRINKLERED: 2,750 GPM
 - AVAILABLE FIRE FLOW AT PROJECT SITE: 1,500 GPM
 - MINIMUM NUMBER OF HYDRANTS: 1
 - AVERAGE HYDRANT SPACING: 500 FEET
 - PROJECT TO PROVIDE INCREASED NUMBER OF FIRE SPRINKLER HEADS OR OTHER APPROVED ALTERNATIVE.
- * CANNOT BE REDUCED TO LESS THAN 1,500 GPM

FIRE PROTECTION NOTES:

- FIRE PROTECTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH PROVISIONS SET FORTH IN THE CALIFORNIA FIRE CODE AS AMENDED BY THE CITY OF NAPA AND THE APPLICABLE NATIONAL FIRE PROTECTION ASSOCIATION STANDARD.
- THE FIRE PROTECTION EQUIPMENT SHALL BE LOCATED WITHIN AN INTERIOR ROOM HAVING AN APPROVED EXTERIOR ACCESS DOOR OR IN AN EXTERIOR ENCLOSURE ATTACHED TO THE BUILDING, SPECIFICALLY, FOR THE PURPOSE OF HOUSING SUCH EQUIPMENT.
- THE CITY OF AMERICAN CANYON REQUIRES THAT A FIRE HYDRANT BE IN SERVICE WITHIN 250 FEET OF THE FURTHEST POINT OF CONSTRUCTION PRIOR TO THE STOCKPILING OF COMBUSTIBLE MATERIALS FOR THE BEGINNING OF CONSTRUCTION.
- FIRE DEPARTMENT CONNECTIONS (FDC) SHALL BE LOCATED NOT MORE THAN 100 FT. FROM THE NEAREST FIRE HYDRANT.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED IN ACCORDANCE WITH PROVISIONS SET FORTH IN THE CALIFORNIA FIRE CODE CHAPTER 5 AND APPENDIX D AS AMENDED BY THE CITY OF AMERICAN CANYON AND THE APPLICABLE PUBLIC WORKS STANDARD.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED MINIMUM WIDTH OF 20 FEET (CURB TO CURB) AND A MINIMUM UNOBSTRUCTED VERTICAL CLEARANCE OF 13' 6". THEY SHALL HAVE AN ALL-WEATHER PAVED SURFACE CAPABLE OF SUPPORTING A GVW OF 71,000 POUNDS.
- ACCESS ROADS SHALL BE COMPLETED WITH ALL-WEATHER SURFACES PRIOR TO THE STOCKPILING OF COMBUSTIBLE MATERIALS OR BEGINNING COMBUSTIBLE CONSTRUCTION. FIRE APPARATUS ACCESS SHALL BE PROVIDED TO WITHIN 150 FEET OF THE MOST REMOTE PORTIONS OF ALL BUILDING FROM AN APPROVED EXTERIOR ROUTE. IF THIS CANNOT BE ACHIEVED FIRE APPARATUS TURN AROUND WILL BE NEEDED.
- FIRE APPARATUS ACCESS ROADS SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES, VERTICAL TRAFFIC CALMING IN THE FORM OF SPEED PUMPS, HUMPS OR DIPS ARE PROHIBITED ALONG FIRE ACCESS ROADS WITHOUT PRIOR APPROVAL OF THE FIRE CODE OFFICIAL. THE MINIMUM WIDTH AND CLEARANCES ESTABLISHED IN SECTION 503.2.1 SHALL BE MAINTAINED AT ALL TIMES.
- WHEN REQUIRED BY THE FIRE CHIEF, FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNATED AS FIRE LANES AND APPROPRIATE SIGNS AND/OR MARKINGS INSTALLED IN ACCORDANCE WITH THE CALIFORNIA VEHICLE CODE AND APPROVED CITY STANDARDS.

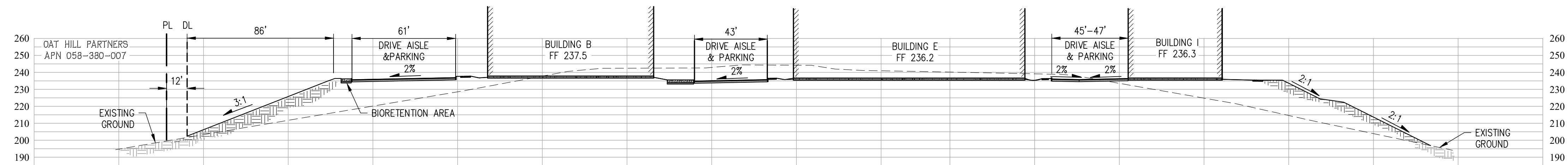
DESIGN REVIEW
STREET SECTIONS &
TRUCK TURNING PLAN
OAT HILL MULTI-FAMILY - PARCEL A

CITY OF AMERICAN CANYON NAPA COUNTY CALIFORNIA
SCALE: 1" = 40' DATE: FEBRUARY 2021

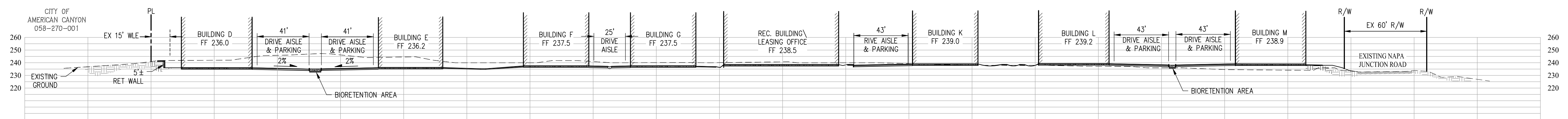


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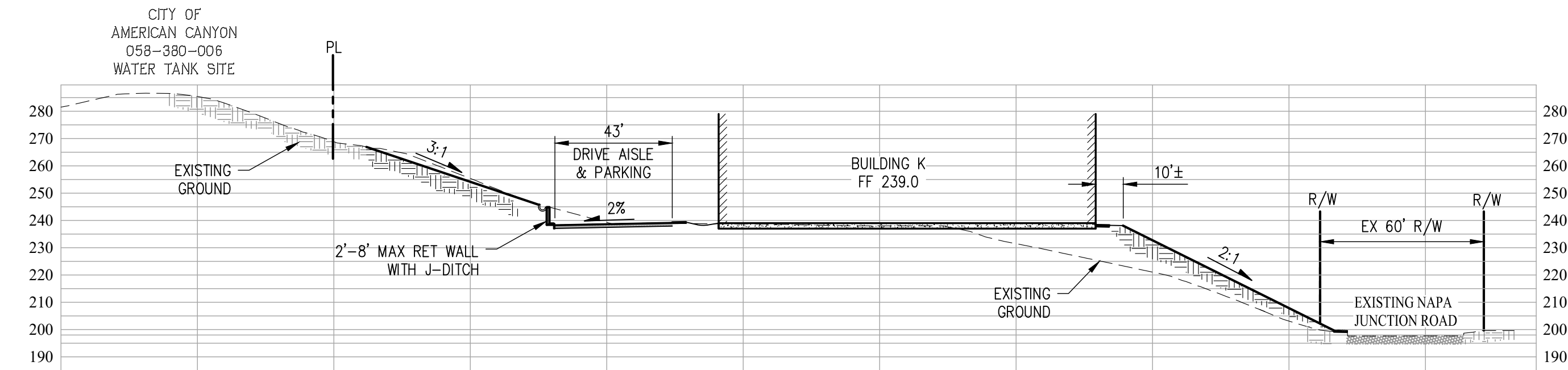
SHEET NO.
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OF 7 SHEETS



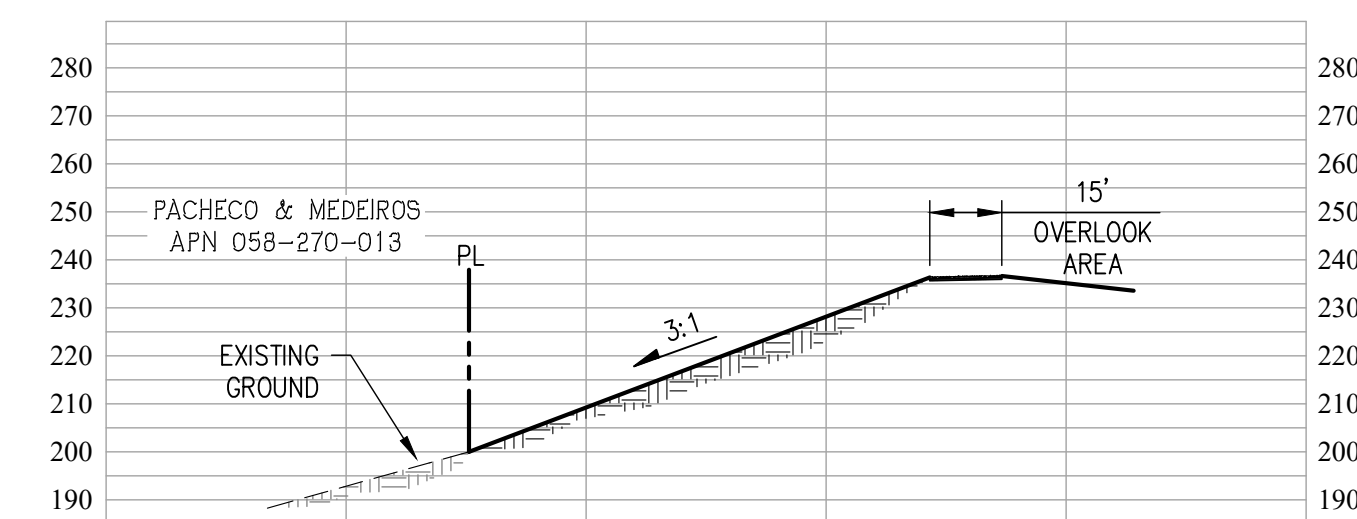
SECTION A-A
SCALE: 1" = 40'



SECTION B-B
SCALE: 1" = 40'



SECTION C-C
SCALE: 1" = 40'



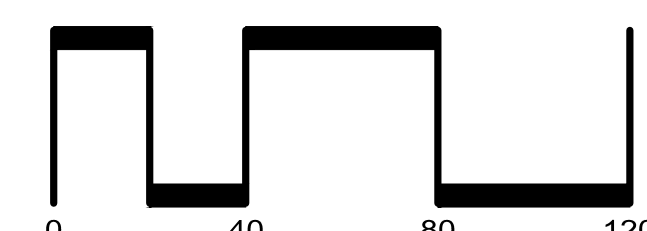
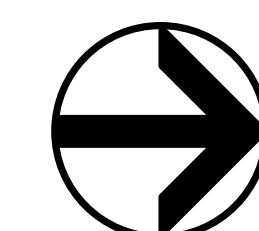
SECTION D-D
SCALE: 1" = 40'

NOTES:

- SECTION LOCATIONS ARE SHOWN ON SHEET C-3

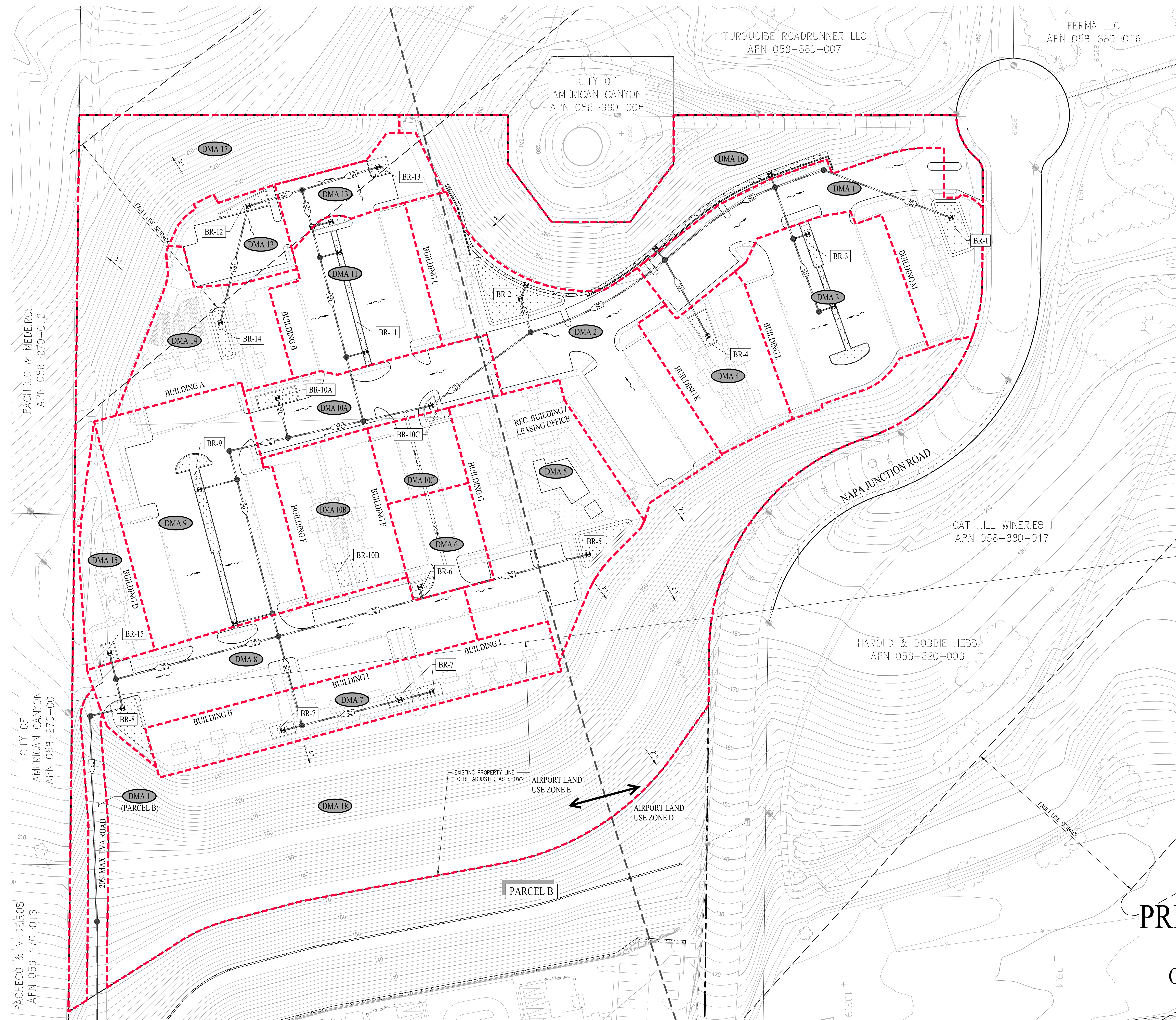
DESIGN REVIEW GRADING CROSS SECTIONS OAT HILL MULTI-FAMILY - PARCEL A

CITY OF AMERICAN CANYON NAPA COUNTY CALIFORNIA
SCALE: 1" = 40' DATE: FEBRUARY 2021



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SHEET NO.
C-6
OF 7 SHEETS



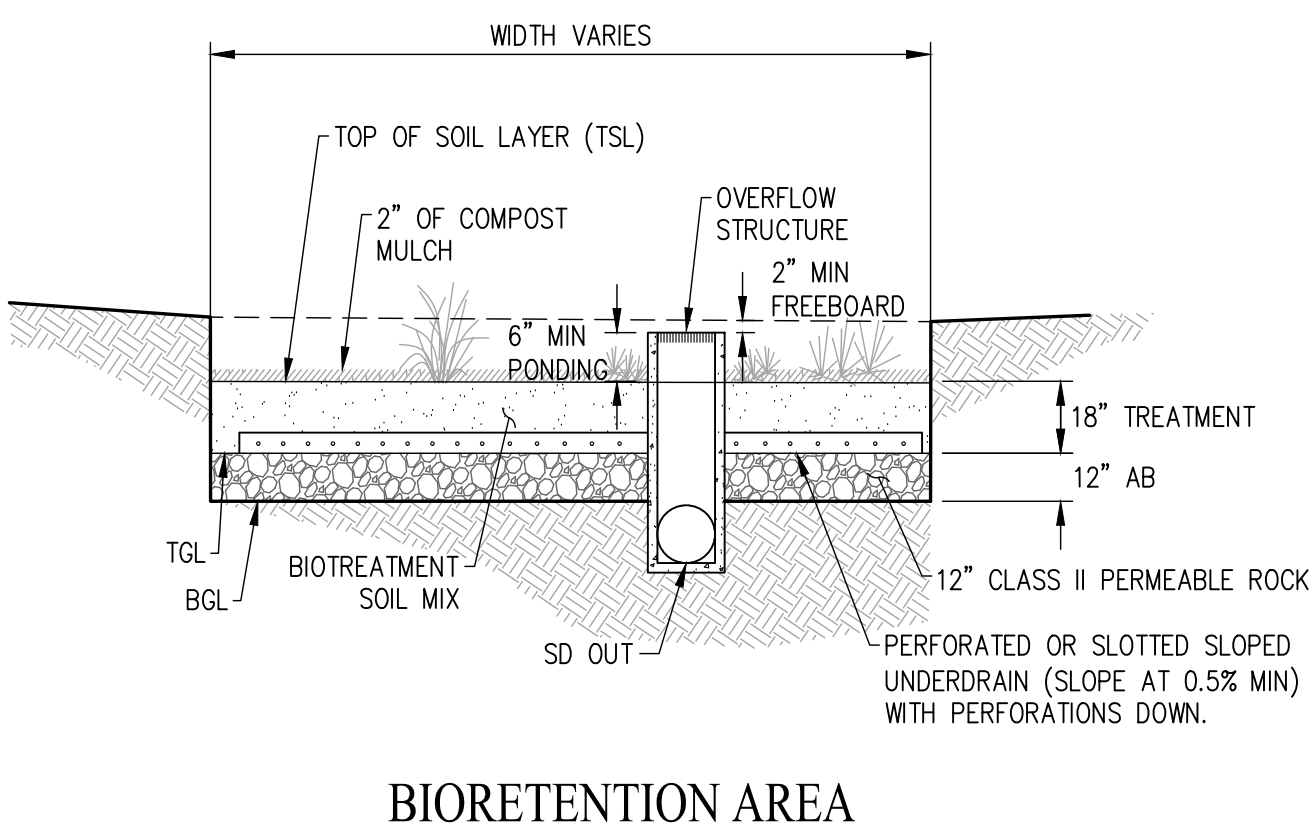
LEGEND

- EXISTING BOUNDARY
- RIGHT OF WAY
- PROPOSED LOT LINE
- EXISTING LOT LINE
- TOP OF CURB
- EASEMENT LINE
- FAULTLINE SETBACK
- AIRPORT LAND USE ZONE LINE
- TOP OF SLOPE/DAYLIGHT
- PROPOSED RETAINING WALL
- DRAINAGE AREA BOUNDARY
- BIORETENTION AREA
- DRAINAGE MANAGEMENT AREA
- BIORETENTION AREA
- PROPOSED STORM DRAIN

DRAINAGE MANAGEMENT AREA (DMA)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	DRAINAGE AREA (SF)	REQUIRED TREATMENT AREA (SF)	PROVIDED TREATMENT AREA (SF)	TREATMENT TYPE
DMA 1	22,718	7,560	30,278	939	1,146	BIORETENTION
DMA 2	29,698	10,080	39,778	1228	2,266	BIORETENTION
DMA 3	24,712	2,200	26,912	997	1,244	BIORETENTION
DMA 4	10,580	4,673	15,253	442	537	BIORETENTION
DMA 5	22,033	11,350	33,383	927	988	BIORETENTION
DMA 6	7,795	1,005	8,800	316	316	BIORETENTION
DMA 7	14,957	7,623	22,580	629	876	BIORETENTION
DMA 8	25,645	4,278	29,923	1043	1,177	BIORETENTION
DMA 9	33,553	5,230	38,783	1363	1,477	BIORETENTION
DMA 10A	14,484	2,142	16,626	588	588	BIORETENTION
DMA 10B	10,280	6,127	16,407	436	588	BIORETENTION
DMA 10C	6,205	695	6,900	251	251	BIORETENTION
DMA 11	20,057	1,826	21,883	810	927	BIORETENTION
DMA 12	6,984	2,372	9,356	289	494	BIORETENTION
DMA 13	6,463	2,868	9,331	270	336	BIORETENTION
DMA 14	8,562	8,688	17,250	377	476	BIORETENTION
DMA 15	4,136	6,246	10,382	190	302	BIORETENTION
DMA 16	-	42,364	42,364	-	-	SELF-TREATING
DMA 17	-	42,685	42,685	-	-	SELF-TREATING
DMA 18	-	147,133	147,133	-	-	SELF-TREATING

NOTES

- VALUES IN THE TABLE ABOVE ARE ESTIMATED BASED UPON THE AVAILABLE INFORMATION AT THE TIME OF THIS MAP.
- REQUIRED TREATMENT AREAS CALCULATED USING THE 4% RULE WITH A FACTOR OF 1.0 FOR IMPERVIOUS AREAS AND 0.1 FOR PERVIOUS AREAS (NAPA COUNTY IMP SIZING TOOL).

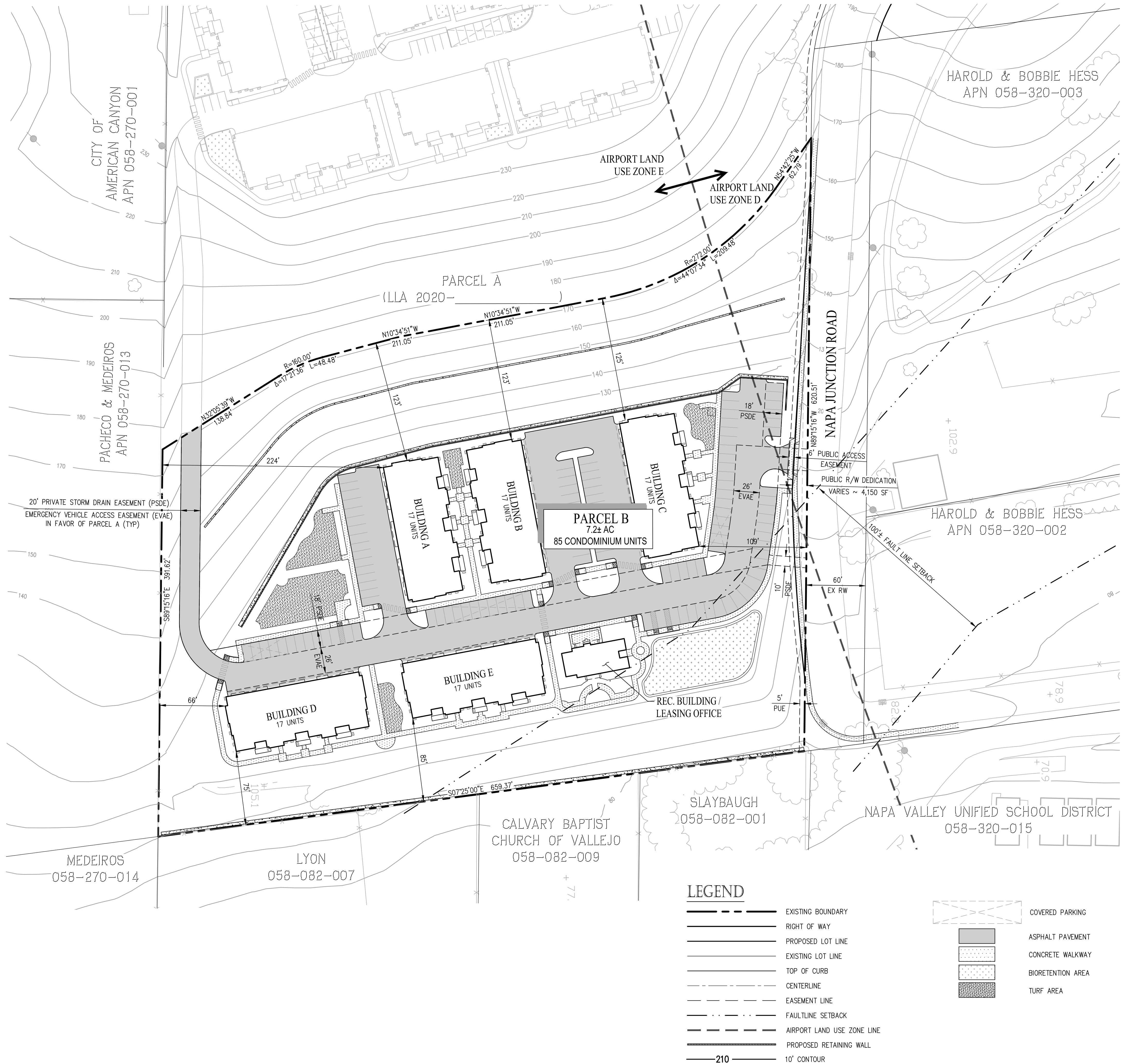


DESIGN REVIEW
PRELIMINARY STORMWATER
CONTROL PLAN
OAT HILL MULTI-FAMILY - PARCEL A

CITY OF AMERICAN CANYON NAPA COUNTY CALIFORNIA
SCALE: 1" = 40' DATE: FEBRUARY 2021

SAN RAMON : (925) 866-0322
SACRAMENTO : (916) 375-1877
WWW.CBANDG.COM

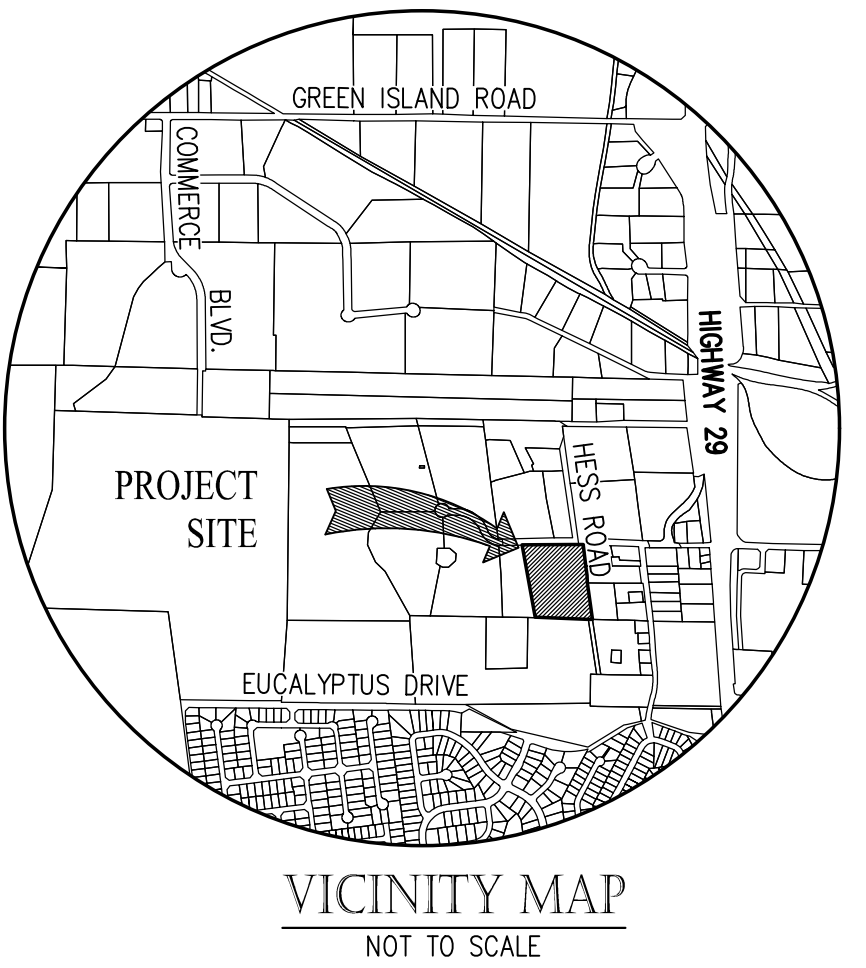
CIVIL ENGINEERS • SURVEYORS • PLANNERS



Attachment 8, Exhibit A:
Tentative Map Plans

GENERAL NOTES

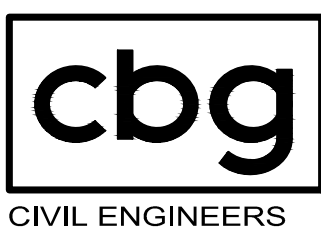
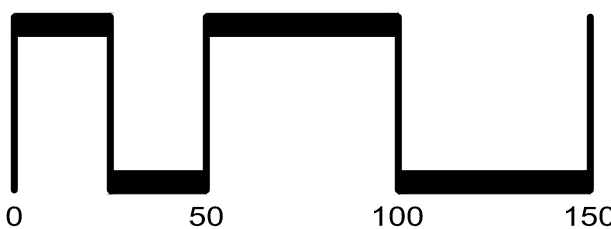
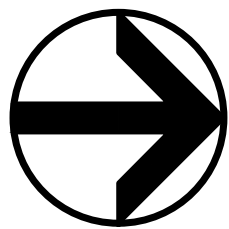
- OWNER: OAT HILL PROPERTIES III, LLC
PO BOX 3438
NAPA, CA 94558
- DEVELOPER: RH HESS DEVELOPMENT
3423 BROADWAY, SUITE D-5
AMERICAN CANYON, CA 94503
- CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC.
2633 CAMINO RAMON
SAN RAMON, CA 94583
COLT ALVERNATZ P.E. #75740
PHONE: (925) 866-0322
- SOIL ENGINEER: REESE & ASSOCIATES
134 LYSTRA COURT
SANTA ROSA, CA 95403
PHONE: (707) 528-3078
- ASSESSORS PARCEL NO. 058-320-001 (PORTION)
- SITE AREA: 7.2± ACRES
- LOTS: 1
- EXISTING GENERAL PLAN: RESIDENTIAL ESTATE (RE)
PROPOSED GENERAL PLAN: RESIDENTIAL MEDIUM (RM)
- EXISTING ZONING: RESIDENTIAL ESTATE (RE)
PROPOSED ZONING: RESIDENTIAL MEDIUM (RM)
- EXISTING LAND USE: VACANT LAND
PROPOSED LAND USE: MULTI-FAMILY RESIDENTIAL
- DWELLING UNITS: 85
- SITE DENSITY: 11.8 DU/AC
- BENCHMARK: NAPA COUNTY BENCHMARK BM 934C. STATE WELL MONUMENT
STAMPED B-55 IN CUL DE SAC AT NORTH END OF LOMBARD
ROAD.
EL = 58.37 FEET
- BASIS OF BEARINGS: BETWEEN TWO FOUND MONUMENTS IN EUCALYPTUS DRIVE, THE
BEARING BEING N89°26'36"W, PER 23 RM 25, RECORDED JUNE
28, 2002, IN THE OFFICE OF THE COUNTY RECORDER
- FLOOD ZONE: ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2%
ANNUAL CHANCE FLOODPLAIN
SOURCE: FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA),
FLOOD INSURANCE RATE MAP, MAP NUMBER 06055C0617F
DATE: AUGUST 3, 2016
- UTILITIES:
WATER: CITY OF AMERICAN CANYON
SEWER: CITY OF AMERICAN CANYON
STORM DRAIN: CITY OF AMERICAN CANYON
GAS & ELECTRIC: PG&E
TELEPHONE: PACIFIC BELL
- BOUNDARY: AS SHOWN WAS COMPILED FROM RECORD INFORMATION AND
DOES NOT REPRESENT A SURVEY OF THE PROPERTY.
- CONDOMINIUM MAP: A CONDOMINIUM MAP WILL BE RECORDED FOR THE
RESIDENTIAL LOTS. THE SUBDIVISION IS A CONDOMINIUM
PROJECT AS DEFINED IN SECTIONS 4125 AND 4285 OF THE
CIVIL CODE OF THE STATE OF CALIFORNIA AND FILED
PURSUANT TO THE SUBDIVISION MAP ACT.
- RECIPROCAL EASEMENT: PRIOR TO THE RECORDEMENT OF THE FINAL MAP ALL
RECIPROCAL EASEMENTS REQUIRED ON PARCEL A MUST BE
RECORDED IN FAVOR OF PARCEL B OR THE FINAL MAPS MUST
BE RECORDED CONCURRENTLY



TENTATIVE MAP FOR
CONDOMINIUM PURPOSES
OAT HILL MULTI-FAMILY
PARCEL B - LLA 2020-____

CITY OF AMERICAN CANYON NAPA COUNTY CALIFORNIA

SCALE: 1"=50' DATE: FEBRUARY 2021



SAN RAMON (925) 866-0322
SACRAMENTO (916) 375-1877
WWW.CBANDG.COM
CIVIL ENGINEERS SURVEYORS PLANNERS

JOB NO.: 1305-050



17-Plex
Color Scheme #3

12-Plex
Color Scheme #2

CONCEPTUAL STREETSCENE

OAT HILL MULTI-FAMILY – PARCEL A

AMERICAN CANYON, CALIFORNIA

October 19, 2020

SITE PLAN

Context	SP1
Conceptual Site Plan	SP2

ARCHITECTURE

Recreation Building: Floor Plan	A1
Recreation Building: Elevations	A2
12 Plex Building Plan.....	A3
12 Plex Building Plan.....	A4
12 Plex Building Elevations.....	A5
17 Plex Building Plan.....	A6
17 Plex Building Plan.....	A7
17 Plex Building Elevations.....	A8

Unit Plans Plan 1.....	A9
Unit Plans Plan 1X.....	A10
Unit Plans Plan 2.....	A11
Unit Plans Plan 3.....	A12
Unit Plans Plan 4.....	A13
Unit Plans Plan 5.....	A14
Unit Plans Plan 6.....	A15
Trash Enclosure & Carport Sample	A16
Exterior Color & Materials Lighting Fixture	A17

Project Information

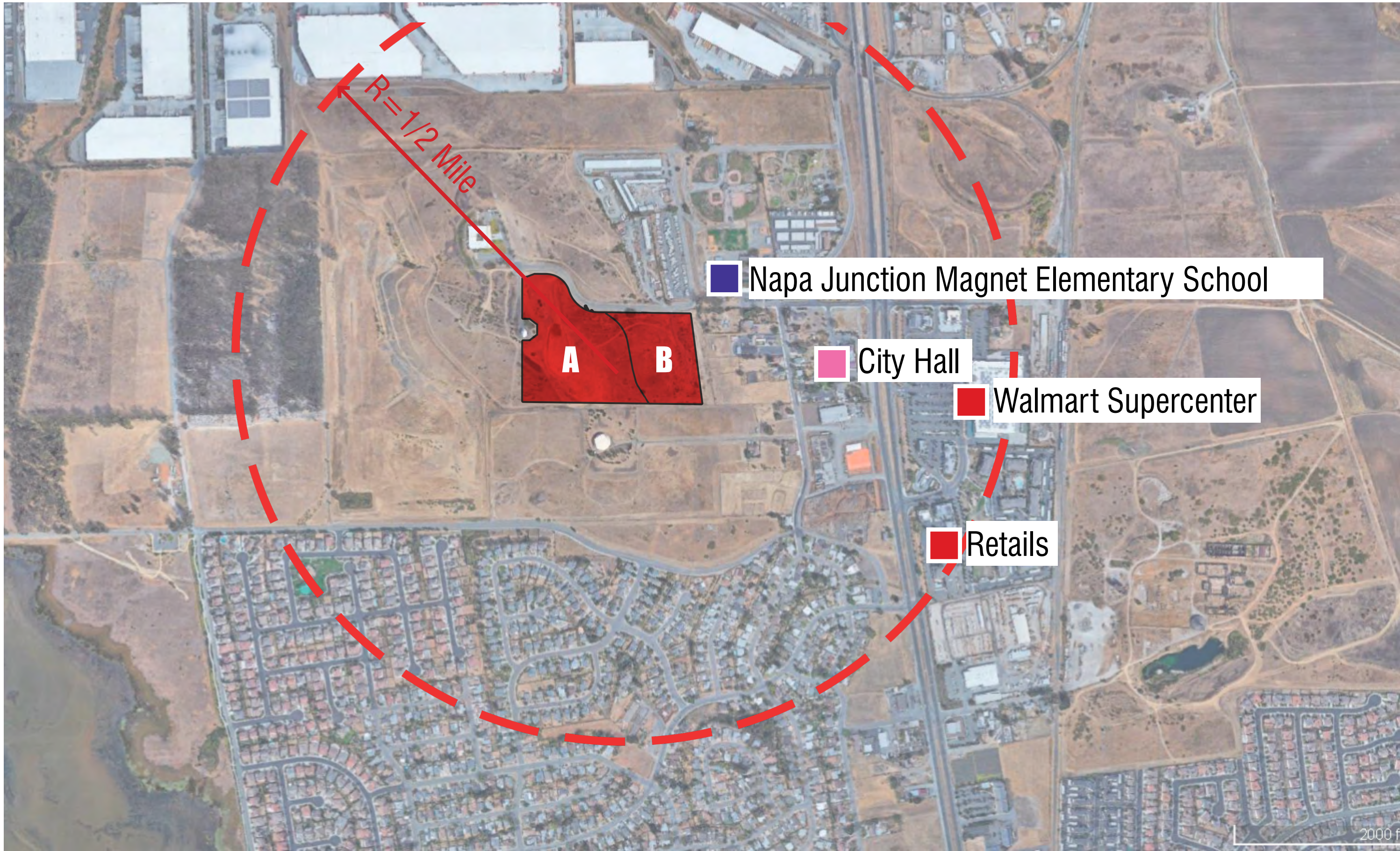
Building Type: V-A
NFPA 13R Sprinkler



BUS ROUTE (American Canyon Transit - Monday - Friday)

- AM Timepoint Stops within 1/2 Mile
- PM Timepoint Stops within 1/2 Mile
- AM Timepoint Bus Route (4 Trips per Day except Wed, 5 Trips on Wed)
- AM Loops Timepoint Bus Route (1 Trip per Day)

*Note:
More Details about Bus Schedule is available at American Canyon Transit Website*



Context

- School
- Institution
- Commercial

*Note:
More Details about Bus Schedule is available at American Canyon Transit Website*



Project Summary

Parcel A	
Gross Site Area:	+ 13.6 Acres
Total Units:	206 Homes <ul style="list-style-type: none">▪ (52) 1 Bdrm Units▪ (108) 2 Bdrm Units▪ (46) 3 Bdrm Units
Density:	15.1 DU per Gross Acre
Parking:	
Required:	438 Spaces <ul style="list-style-type: none">▪ (52) 1 Bedroom x 1.5 Spaces =78 Spaces▪ (154) 2 or more Bedroom x 2 Spaces =308 Spaces▪ (206) Guest x 0.25 Spaces =52 Spaces▪ 5 Handicapped + 2 Van Required
Provided:	454 On-site & Off-site Spaces
	431 On-site Spaces <ul style="list-style-type: none">▪ Garage: 157 Spaces▪ Carports: 49 Spaces▪ Head In: 225 Spaces
	23 Off-site Spaces
Open Space	
	▪ Common Open Space: 52,245 SF
	▪ Hillside Slope Area: 140,718 SF



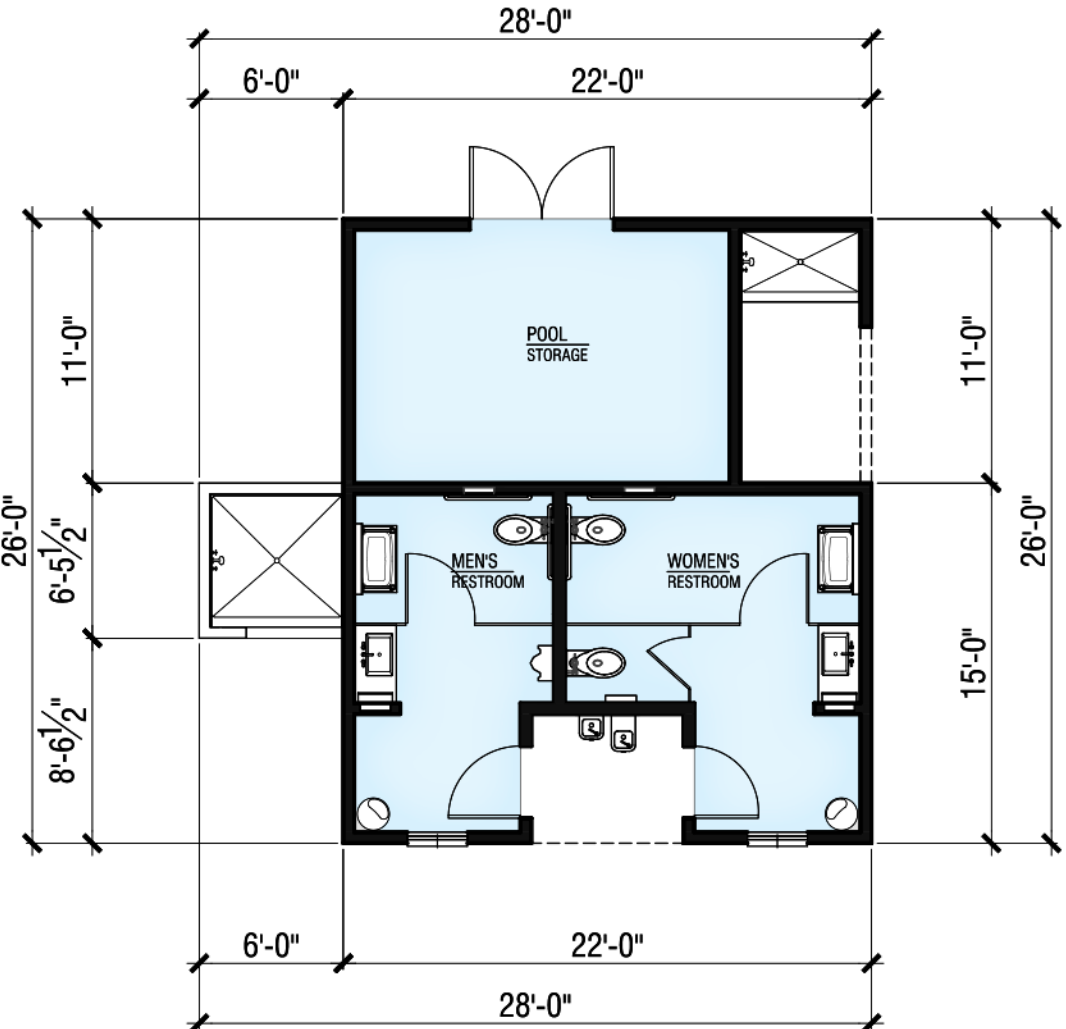
KEY MAP
N.T.S

- Notes:
- 1.Site plan must be reviewed by planning, building, and fire departments for code compliance.
 - 2.Base information per civil engineer.
 - 3.Civil engineer to verify all setbacks and grading information
 - 4.Please refer to landscape plan for final landscape details.
 - 5.Building setbacks are measured from property lines to building foundation lines.

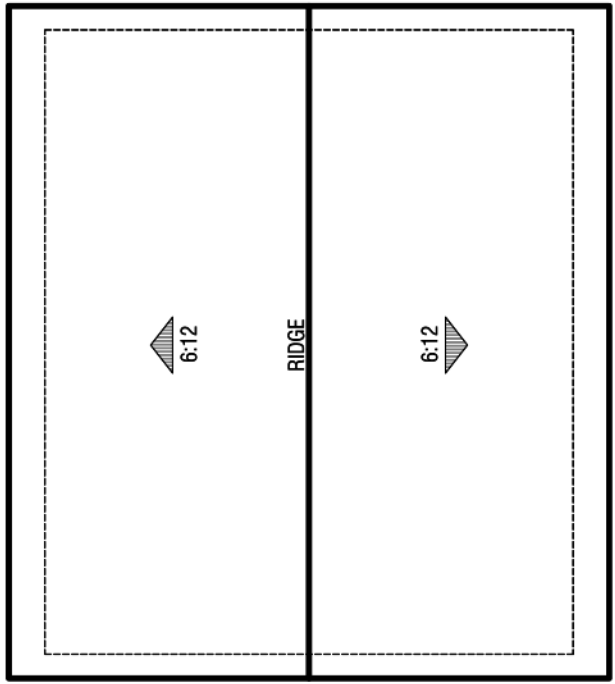


PLAN KEY: Pool Building

611 SF



Pool Building Floor Plan: Parcel A
611 SF Total



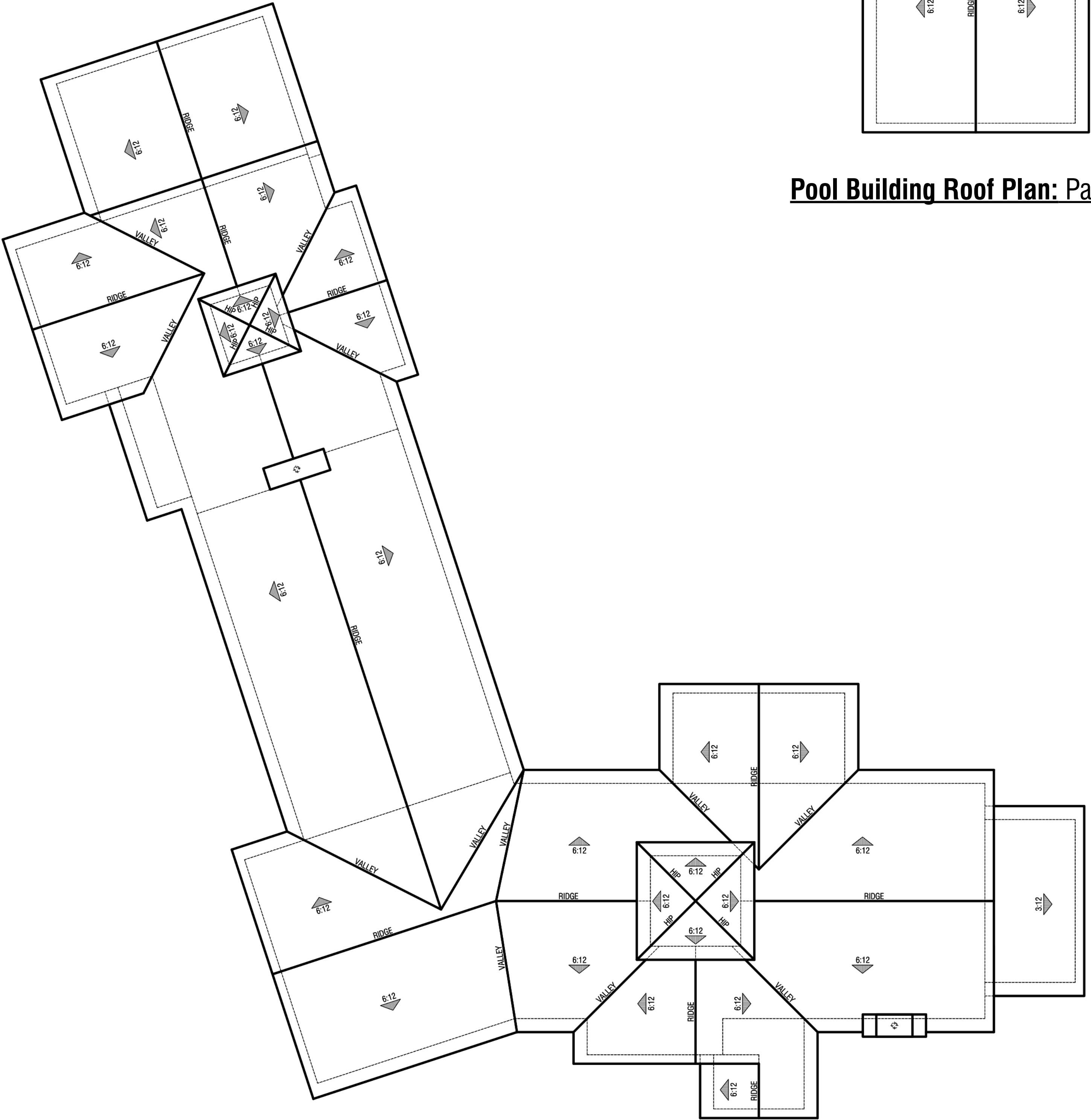
Pool Building Roof Plan: Parcel A



Recreation Building Floor Plan: Parcel A
3,335 SF Total

PLAN KEY: Recreation Building

- Conditioned Space: 3,335 SF
- Entry Porch: 96 SF
- Covered Patio & Porch: 1,175 SF
- Covered Outdoor Fitness: 384 SF



Recreation Building Roof Plan: Parcel A

RECREATION BUILDING FLOOR PLAN

OAT HILL MULTI-FAMILY – PARCEL A

AMERICAN CANYON, CALIFORNIA

**RH HESS
DEVELOPMENT**

0 4 8 16
A1



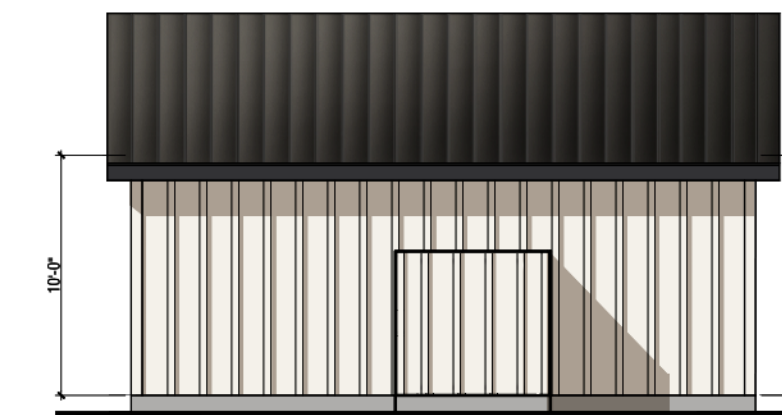
Recreation Building Right



Pool Building Right



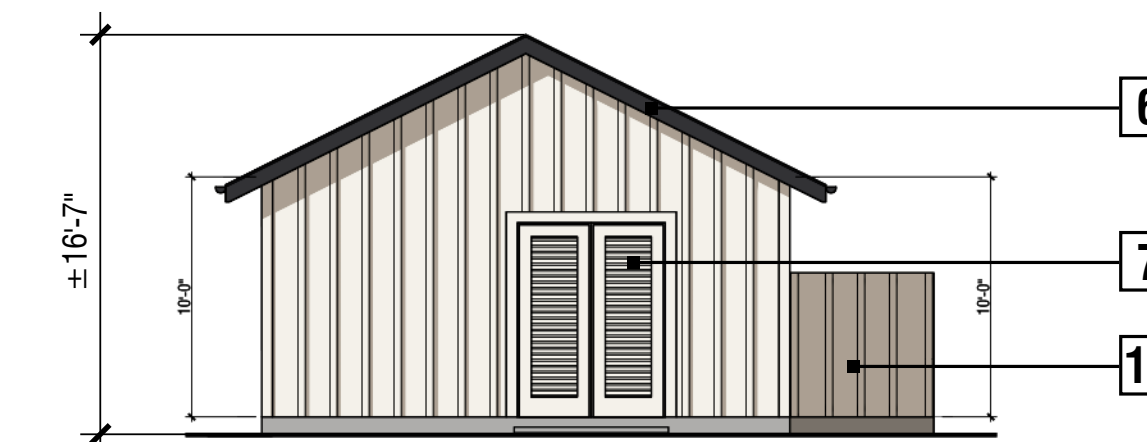
Recreation Building Left



Pool Building Left



Recreation Building Rear



Pool Building Rear



Recreation Building Front



Pool Building Front

EXTERIOR COLORS & MATERIALS

Color Scheme #4

- 1** Metal Roof - *Dark Bronze (50)*
- 2** Insulated Vinyl Windows
- 3** Board & Batten Vertical Fiber Cement Siding With Corner Boards
- 4** Stone - *Creative Mines Craft Split Modular (Shadowplay)*
- 5** Fiber Cement Trim
- 6** Wood Fascia
- 7** Utility Doors
- 8** Fiberglass Door with Panel Sytem
- 9** Fiber Cement Louvered Panels
- 10** Shower Enclosure

RECREATION BUILDING ELEVATIONS

OAT HILL MULTI-FAMILY – PARCEL A

AMERICAN CANYON, CALIFORNIA

RH HESS
DEVELOPMENT

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A2

0 4 8 16

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ORANGE COUNTY . LOS ANGELES . BAY AREA



Second Floor



First Floor

Note: 8'-6" Ceiling at Garages

PLAN KEY

- Plan 1X
- Plan 1
- Plan 2
- Plan 3
- Plan 4
- Plan 5
- Plan 6
- Garages
- Common Space
- Balcony / Patio

12-Plex Total Building Area: 16,478 SF
(Includes all covered areas on all three levels)

12-PLEX | Building Plan

OAT HILL MULTI-FAMILY – PARCEL A

AMERICAN CANYON, CALIFORNIA

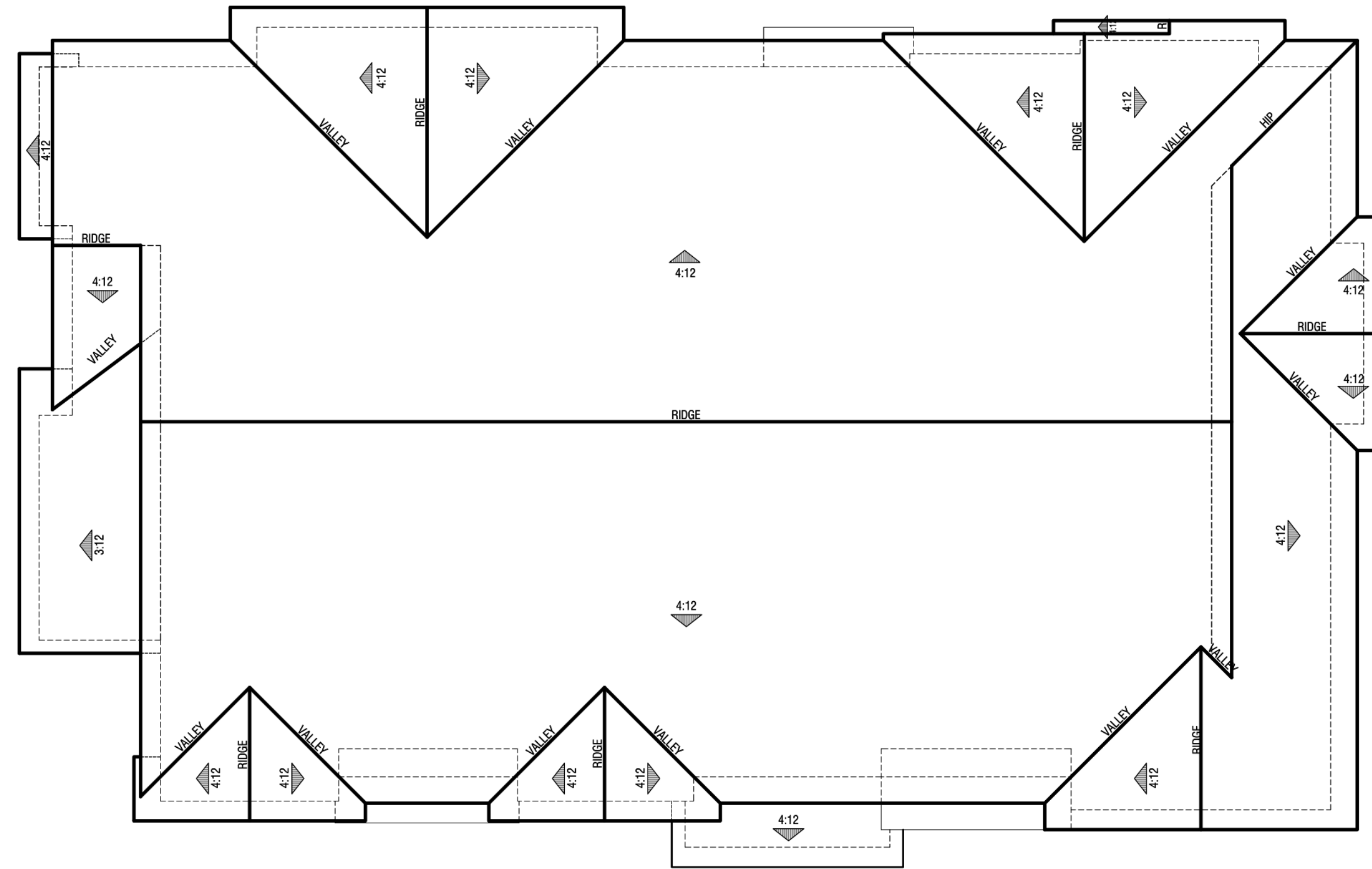
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A3

0 4 8 16

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Roof Plan

PLAN KEY

- Plan 1X
- Plan 1
- Plan 2
- Plan 3
- Plan 4
- Plan 5
- Plan 6
- Garages
- Common Space
- Balcony / Patio



Third Floor

12-PLEX | Building Plan

OAT HILL MULTI-FAMILY – PARCEL A

AMERICAN CANYON, CALIFORNIA

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A4

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Right



Rear



Left



Front

EXTERIOR COLORS & MATERIALS

Color Scheme #2

- | | | |
|--|--------------------------------------|--|
| 1 Concrete Slate Roofing -
<i>Eagle, Sierra Madre</i> | 6 Board & Batten Gable Siding | 12 Wood Fascia |
| 2 Metal Roof - <i>Mettalic Silver (K7)</i> | 7 Fiber Cement Trim | 13 Garage Door: Metal Sectional Roll-up |
| 3 Stucco | 8 Stucco Over Foam Trim | 14 Light Fixture, Refer to Sheet A17 |
| 4 Insulated Vinyl Windows | 9 Metal Railing | |
| 5 Board & Batten Vertical Fiber
Cement Siding With Corner Boards | 10 Unit Doors | |
| | 11 Utility Doors | |

12-PLEX | Building Elevations

OAT HILL MULTI-FAMILY – PARCEL A

AMERICAN CANYON, CALIFORNIA

RH HESS
DEVELOPMENT

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A5

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Second Floor

PLAN KEY

- Plan 1X
- Plan 1
- Plan 2
- Plan 3
- Plan 4
- Plan 5
- Plan 6
- Garages
- Common Space
- Balcony / Patio



First Floor

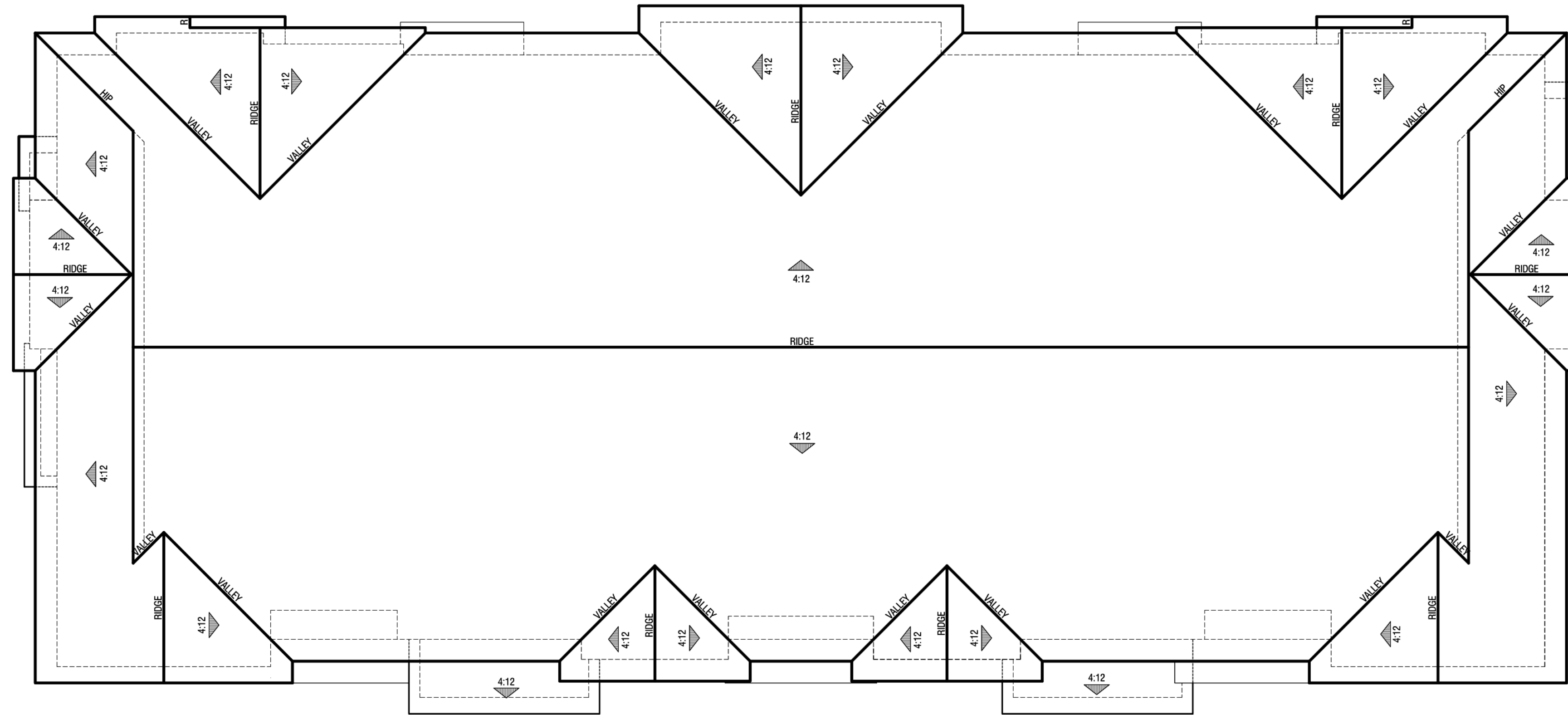
Note: 8'-6" Ceiling at Garages

17-Plex Total Building Area: 23,712 SF
(Includes all covered areas on all three levels)

17-PLEX | Building Plan

OAT HILL MULTI-FAMILY – PARCEL A

AMERICAN CANYON, CALIFORNIA



Roof Plan

PLAN KEY

- Plan 1X
- Plan 1
- Plan 2
- Plan 3
- Plan 4
- Plan 5
- Plan 6
- Garages
- Common Space
- Balcony / Patio



Third Floor

17-PLEX | Building Plan

OAT HILL MULTI-FAMILY – PARCEL A

AMERICAN CANYON, CALIFORNIA

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A7

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Right



Rear



Left



Front

EXTERIOR COLORS & MATERIALS

Color Scheme #1

- | | | |
|--|--------------------------------------|--|
| 1 Concrete Slate Roofing -
<i>Eagle, Brown Range</i> | 6 Board & Batten Gable Siding | 12 Wood Fascia |
| 2 Metal Roof - <i>Mettalic Silver (K7)</i> | 7 Fiber Cement Trim | 13 Garage Door: Metal Sectional Roll-up |
| 3 Stucco | 8 Stucco Over Foam Trim | 14 Light Fixture, Refer to Sheet A17 |
| 4 Insulated Vinyl Windows | 9 Metal Railing | |
| 5 Board & Batten Vertical Fiber
Cement Siding With Corner Boards | 10 Unit Doors | |
| | 11 Utility Doors | |

17-PLEX | Building Elevations

OAT HILL MULTI-FAMILY – PARCEL A

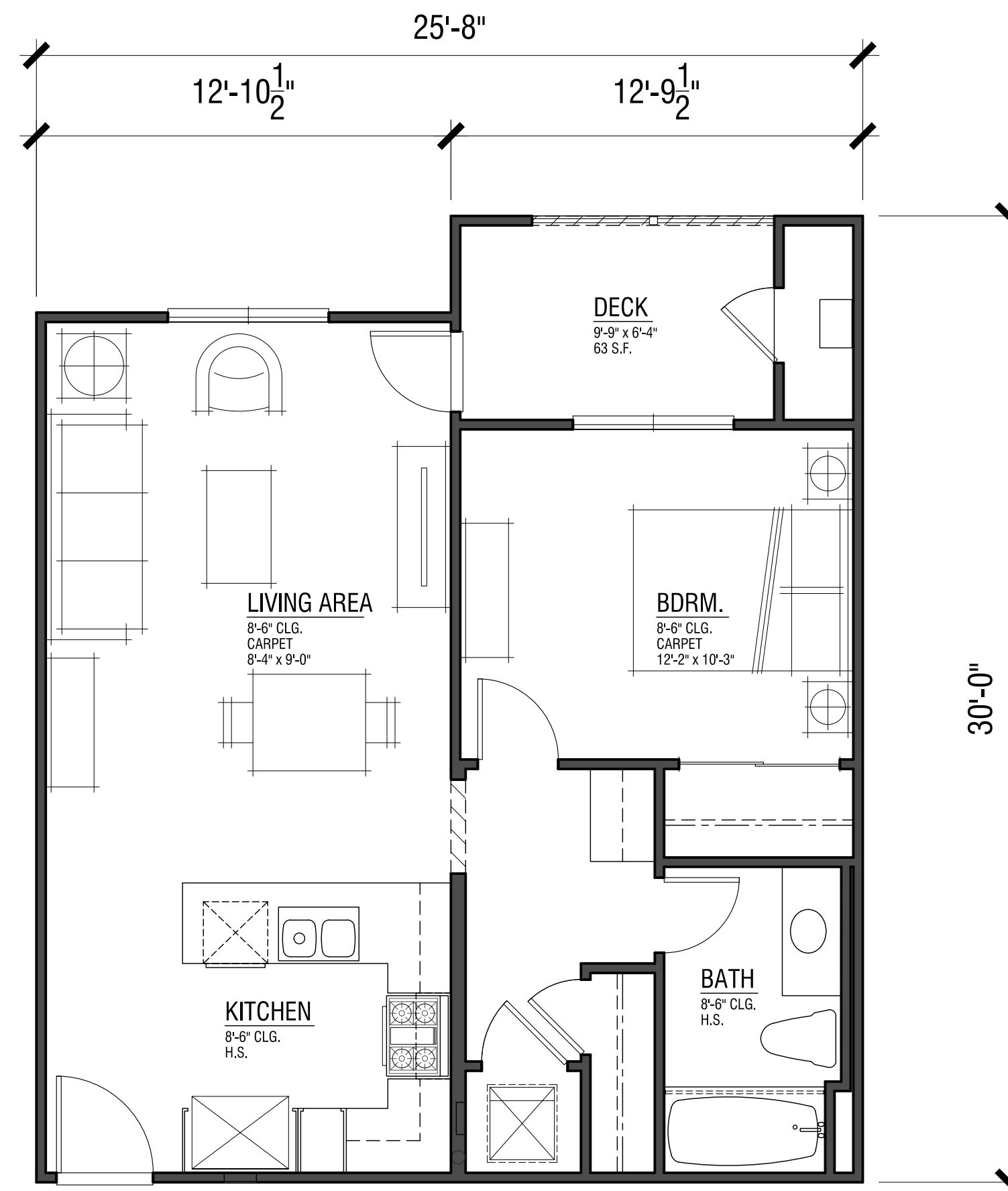
AMERICAN CANYON, CALIFORNIA

RH HESS
DEVELOPMENT

0 4 8 16
A8

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Plan 1
611 SF
1 Bdrm | 1 Bath

UNIT PLANS | Plan 1

OAT HILL MULTI-FAMILY – PARCEL A

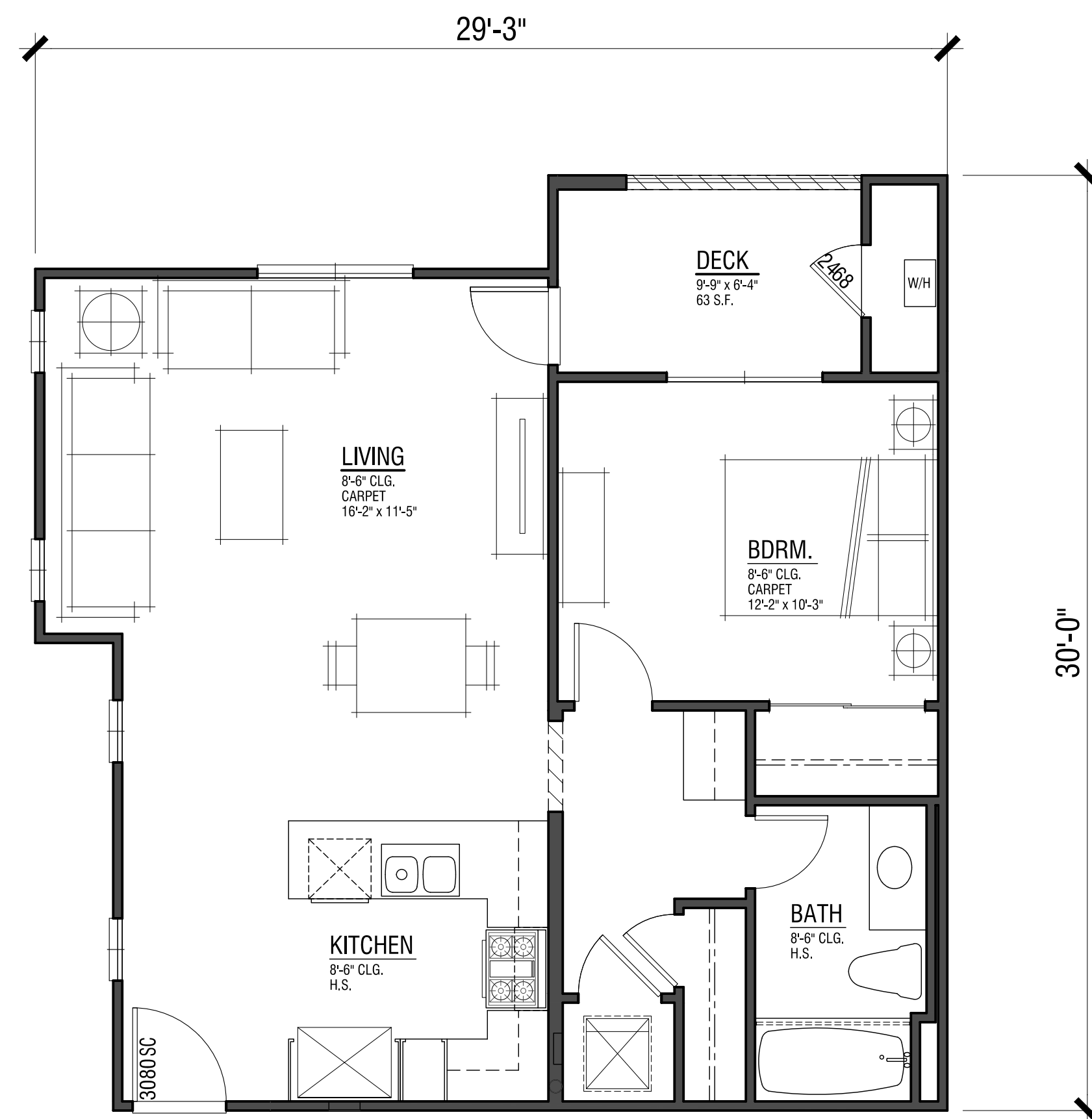
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RH HESS
DEVELOPMENT

A9
0 4 8 16

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ORANGE COUNTY . LOS ANGELES . BAY AREA



Plan 1X
672 SF
1 Bdrm | 1 Bath

UNIT PLANS | Plan 1X

OAT HILL MULTI-FAMILY – PARCEL A

AMERICAN CANYON, CALIFORNIA

RH HESS
DEVELOPMENT

0 4 8 16
A10

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Plan 2
1,106 SF
2 Bdrm | 2 Bath

UNIT PLANS | Plan 2

OAT HILL MULTI-FAMILY – PARCEL A

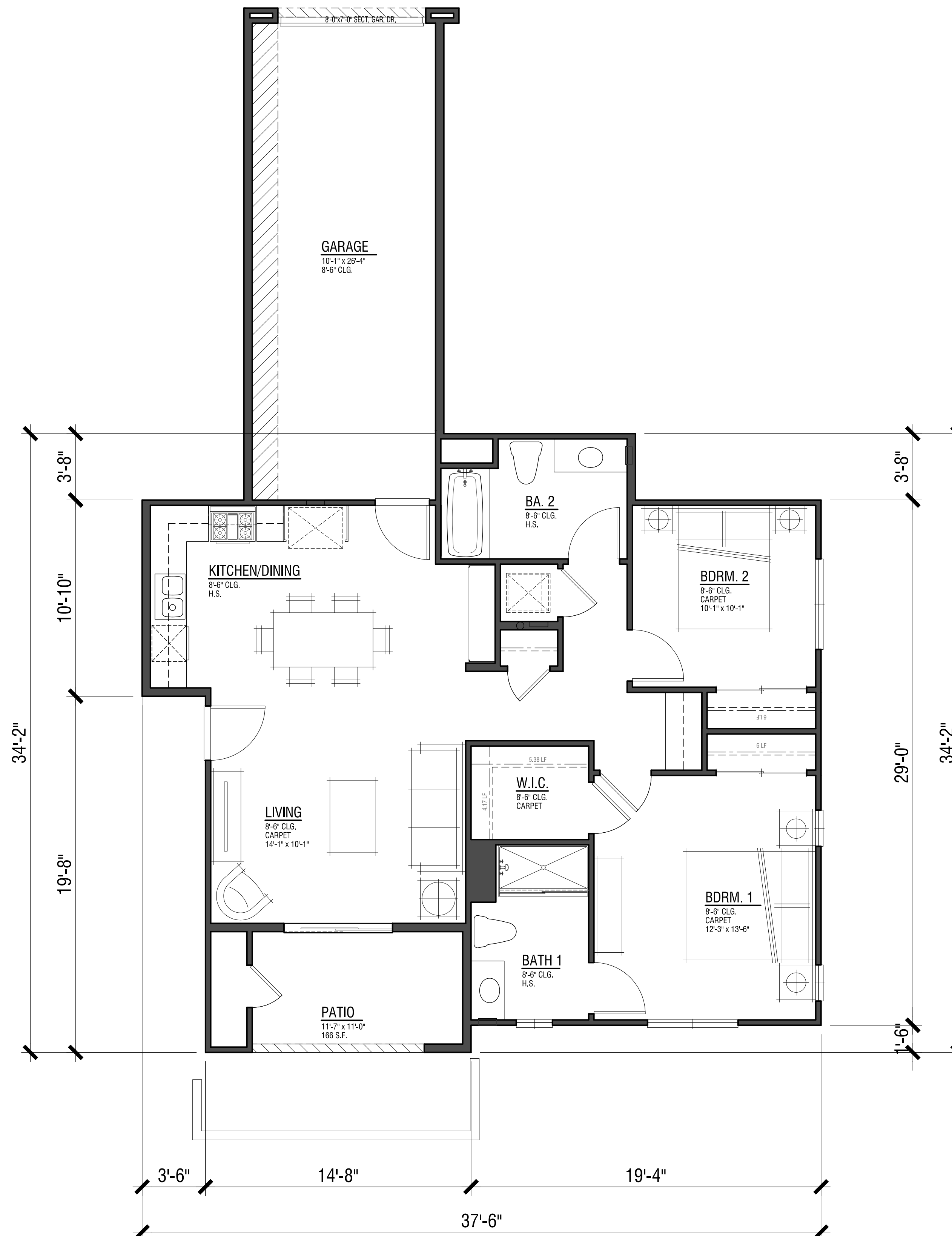
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A11
0 4 8 16

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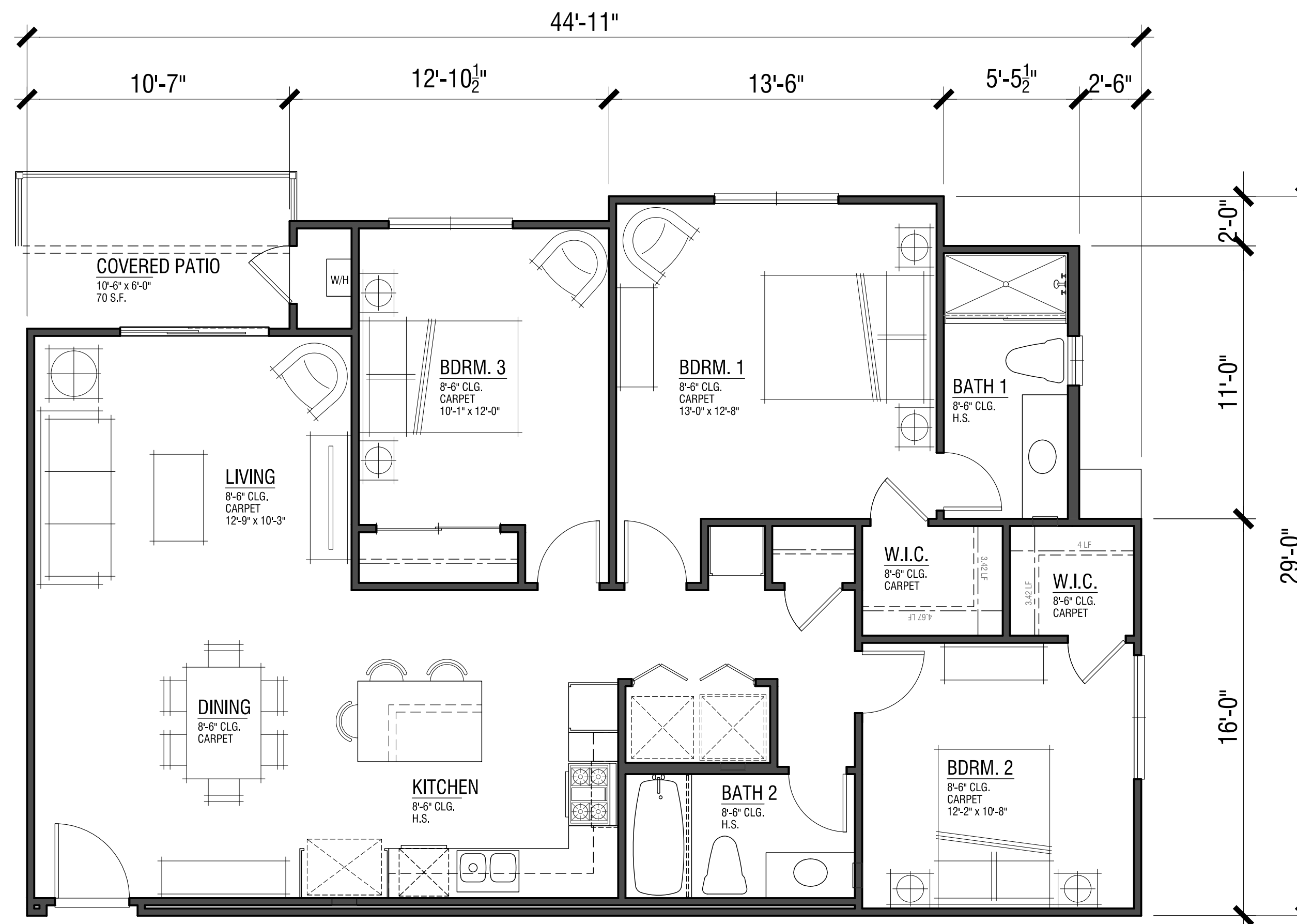


Plan 3
932 SF
2 Bdrm | 2 Bath

UNIT PLANS | Plan 3

OAT HILL MULTI-FAMILY – PARCEL A

AMERICAN CANYON, CALIFORNIA



Plan 4
1,113 SF
3 Bdrm | 2 Bath

UNIT PLANS | Plan 4

OAT HILL MULTI-FAMILY – PARCEL A

AMERICAN CANYON, CALIFORNIA

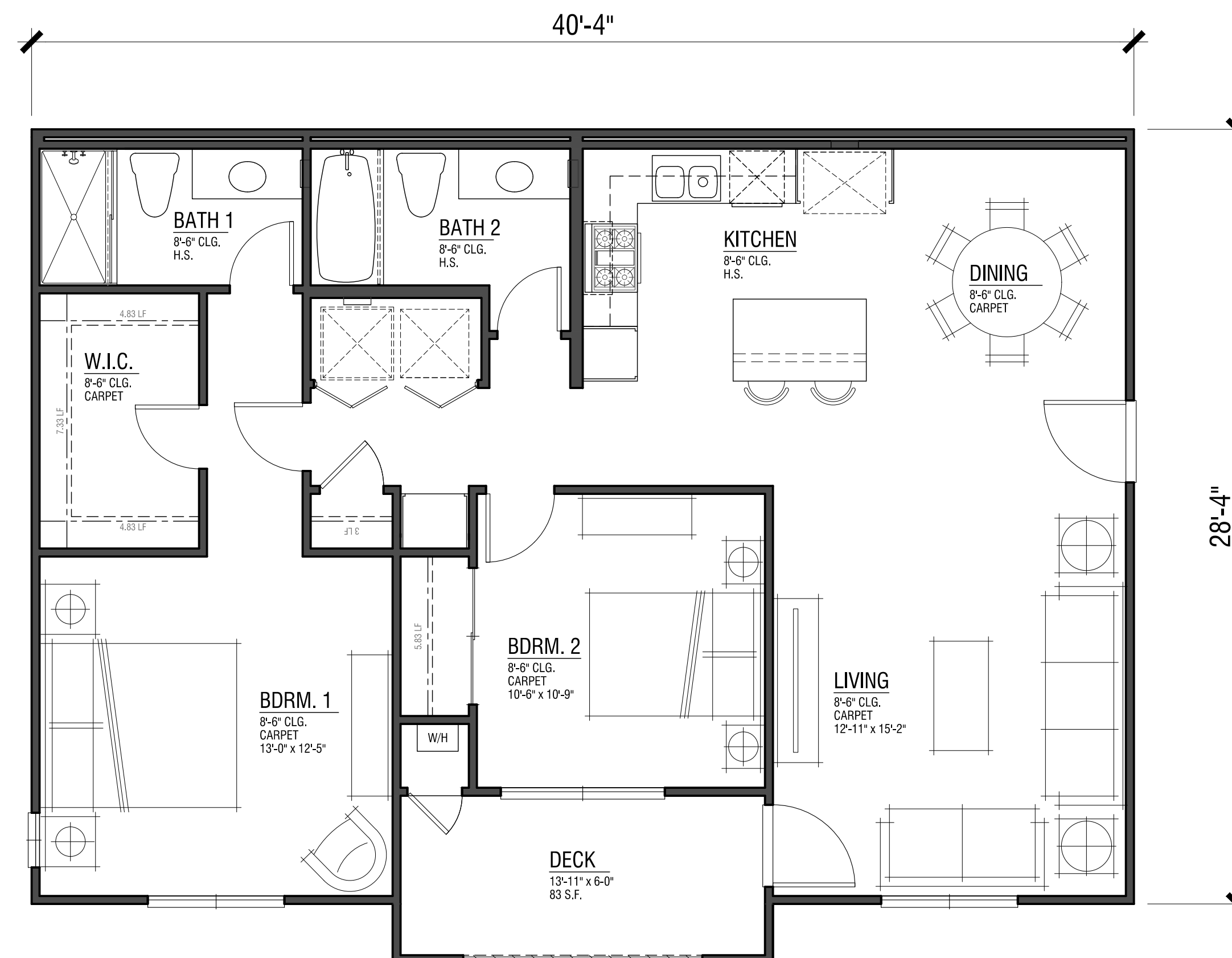
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A13

0 4 8 16

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Plan 5
1,024 SF
2 Bdrm | 2 Bath

UNIT PLANS | Plan 5

OAT HILL MULTI-FAMILY – PARCEL A

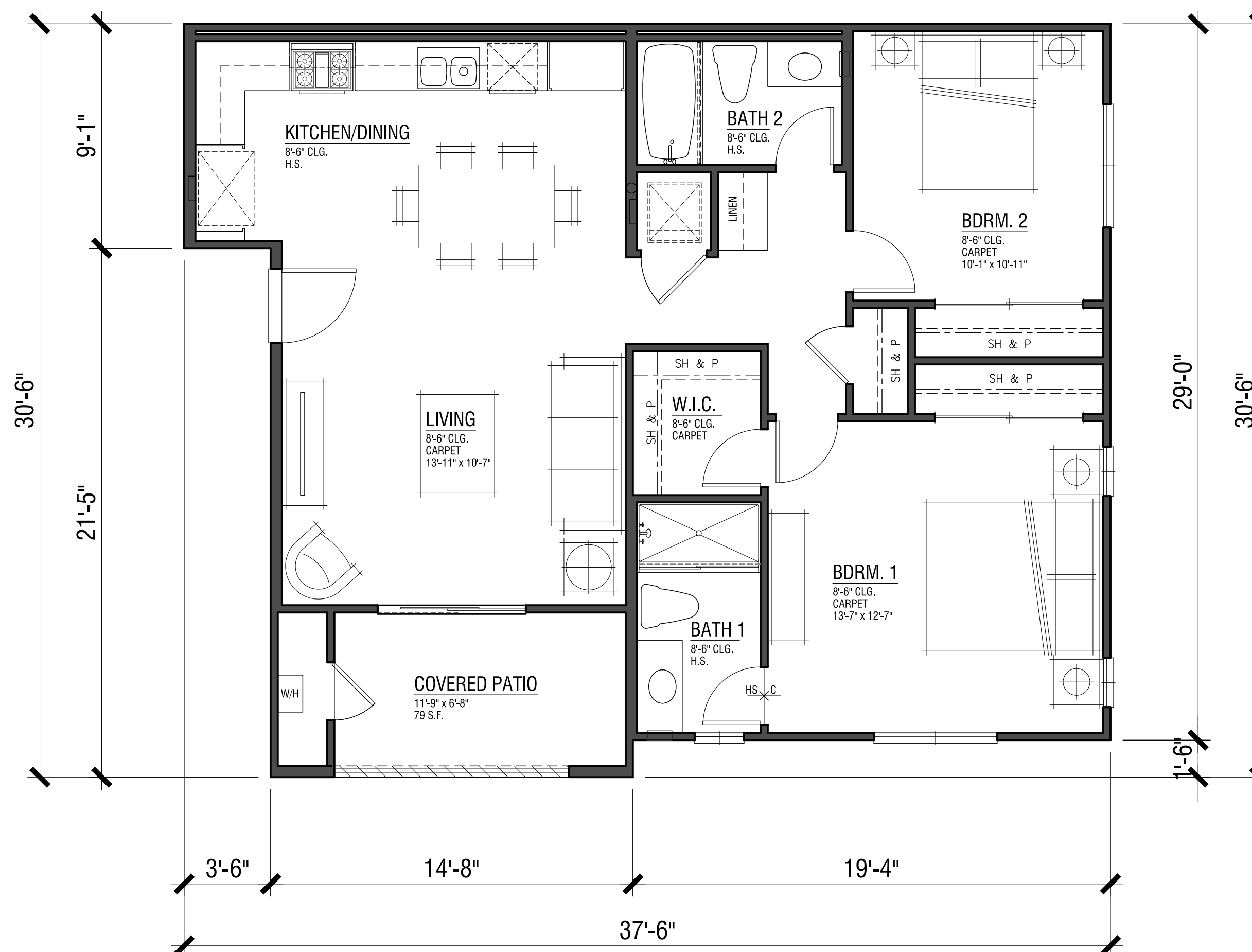
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A14

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Plan 6
883 SF
2 Bdrm | 2 Bath

UNIT PLANS | Plan 6

OAT HILL MULTI-FAMILY – PARCEL A

AMERICAN CANYON, CALIFORNIA

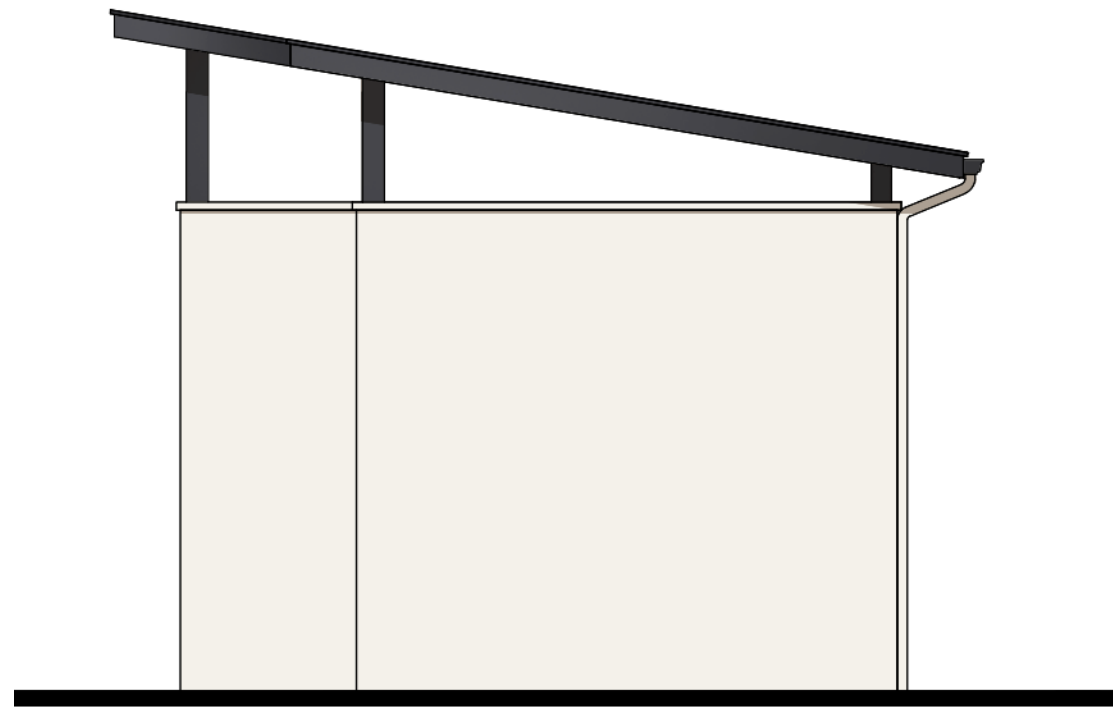
RH HESS
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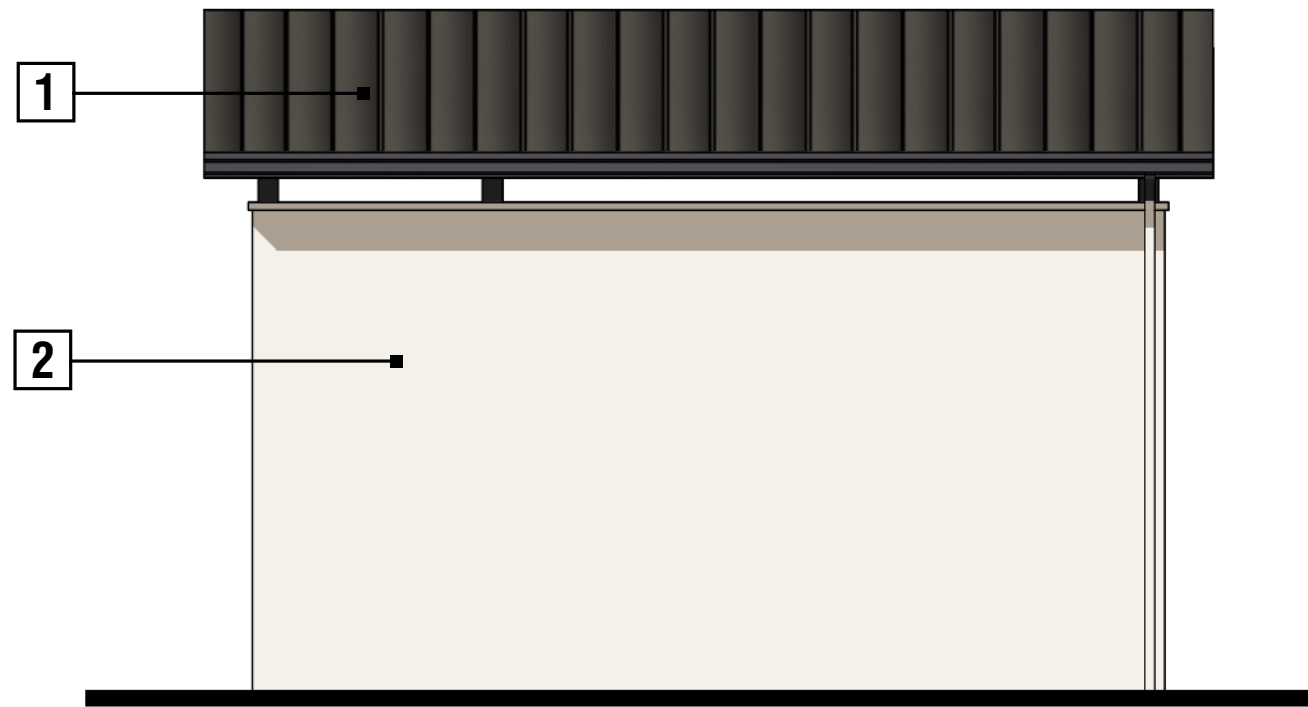
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0 4 8 16

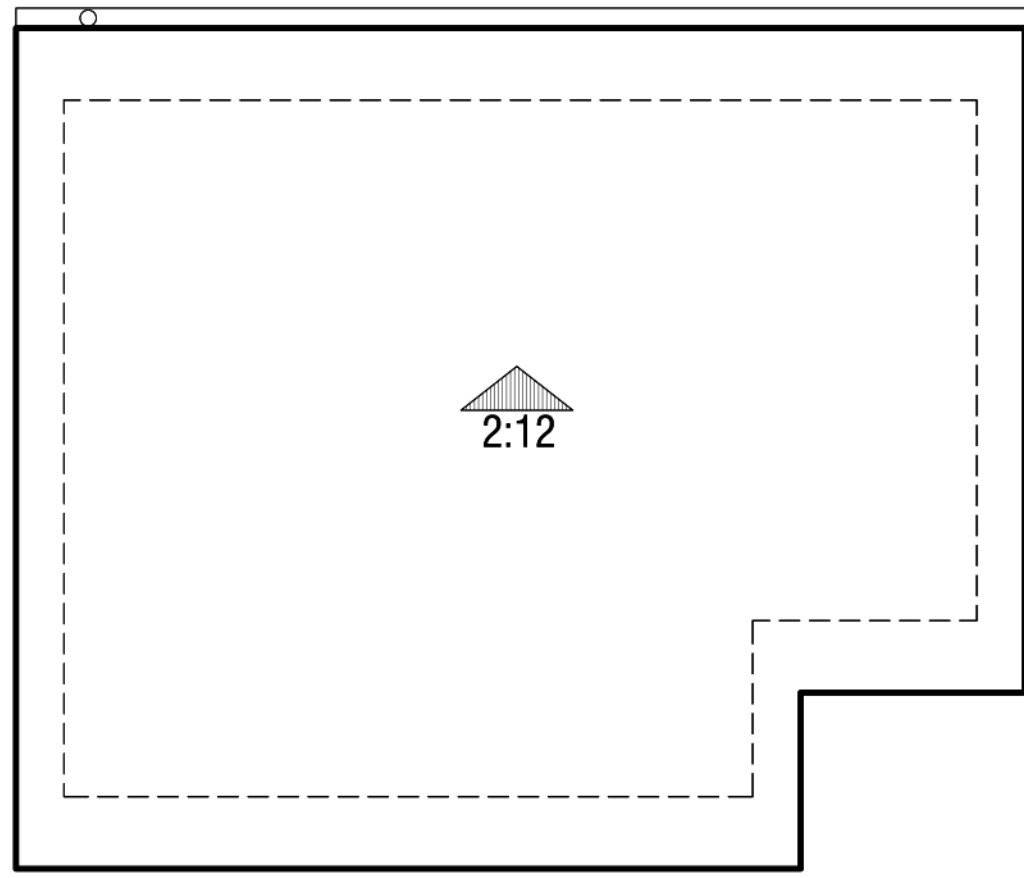
ARCHITECTS . PLANNERS . DESIGNERS
WHA.
ORANGE COUNTY . LOS ANGELES . BAY AREA



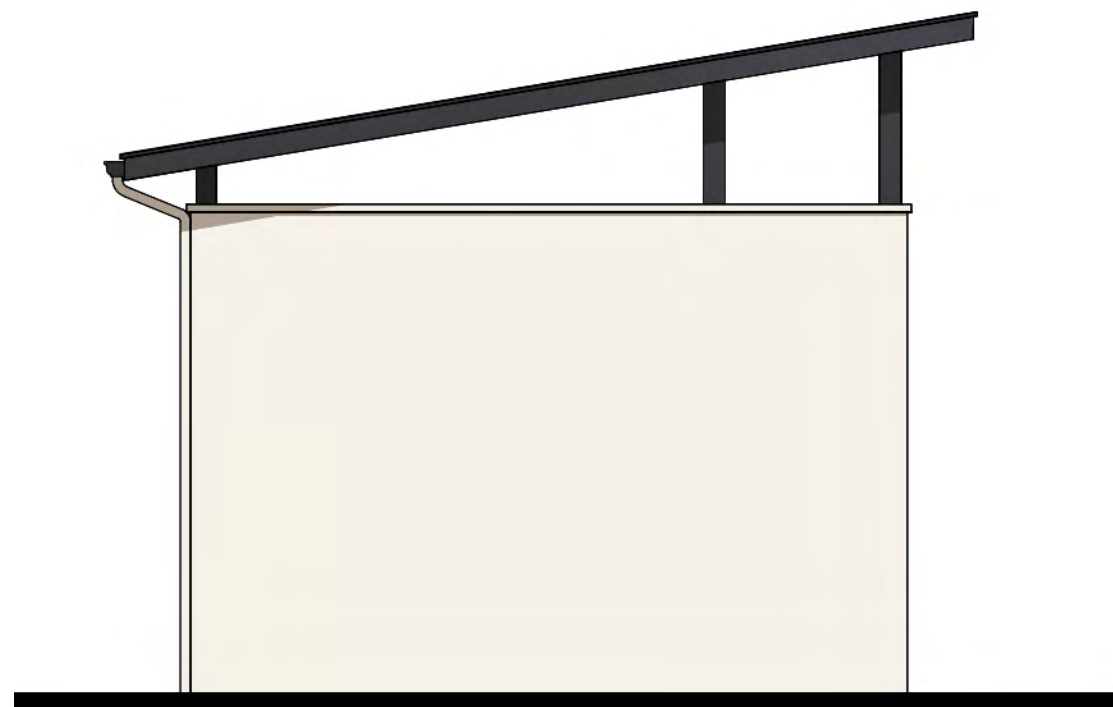
Trash Enclosure Left



Trash Enclosure Front



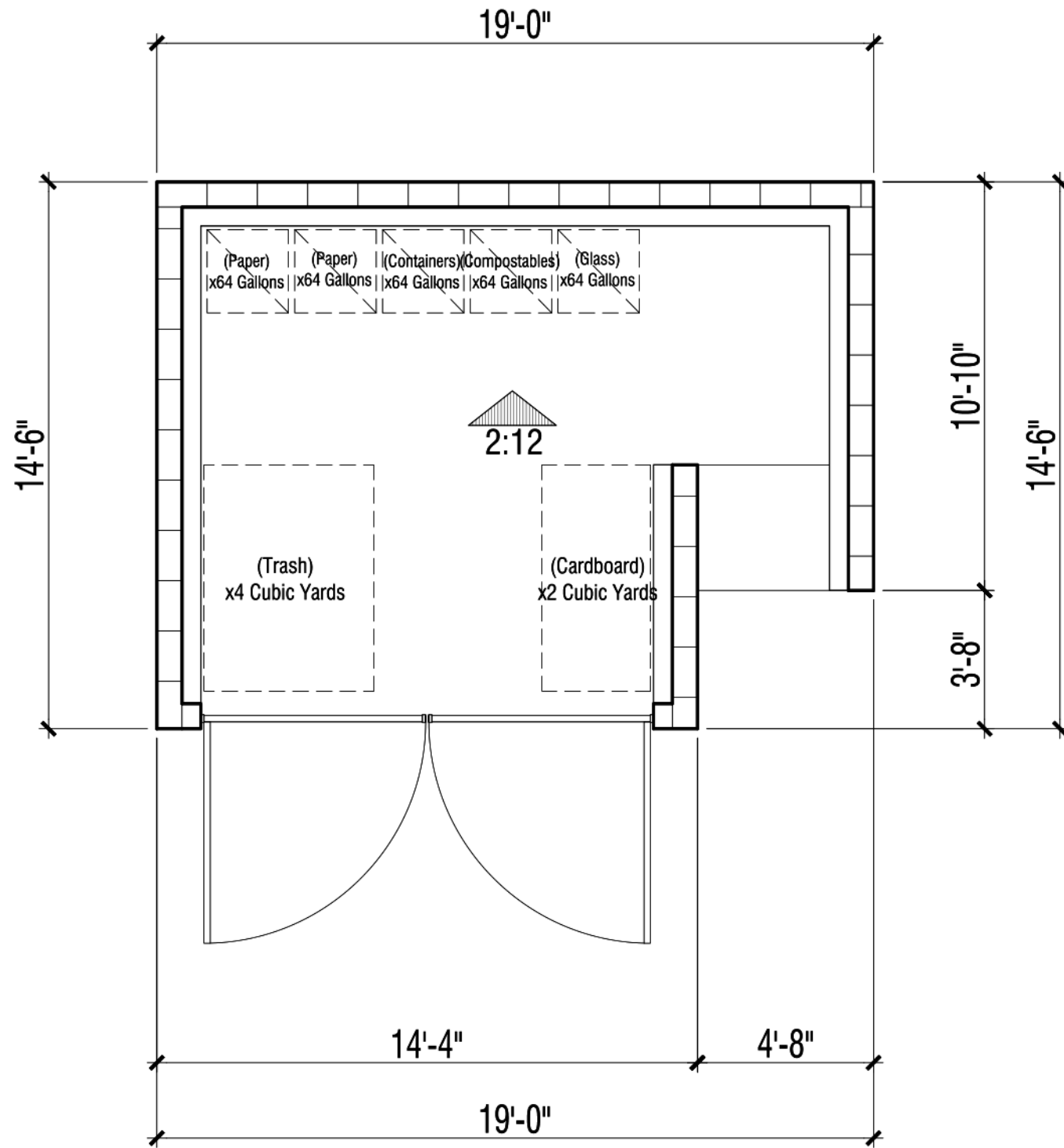
Trash Enclosure
Roof Plan



Trash Enclosure Left



Trash Enclosure Front



Trash Enclosure
Floor Plan



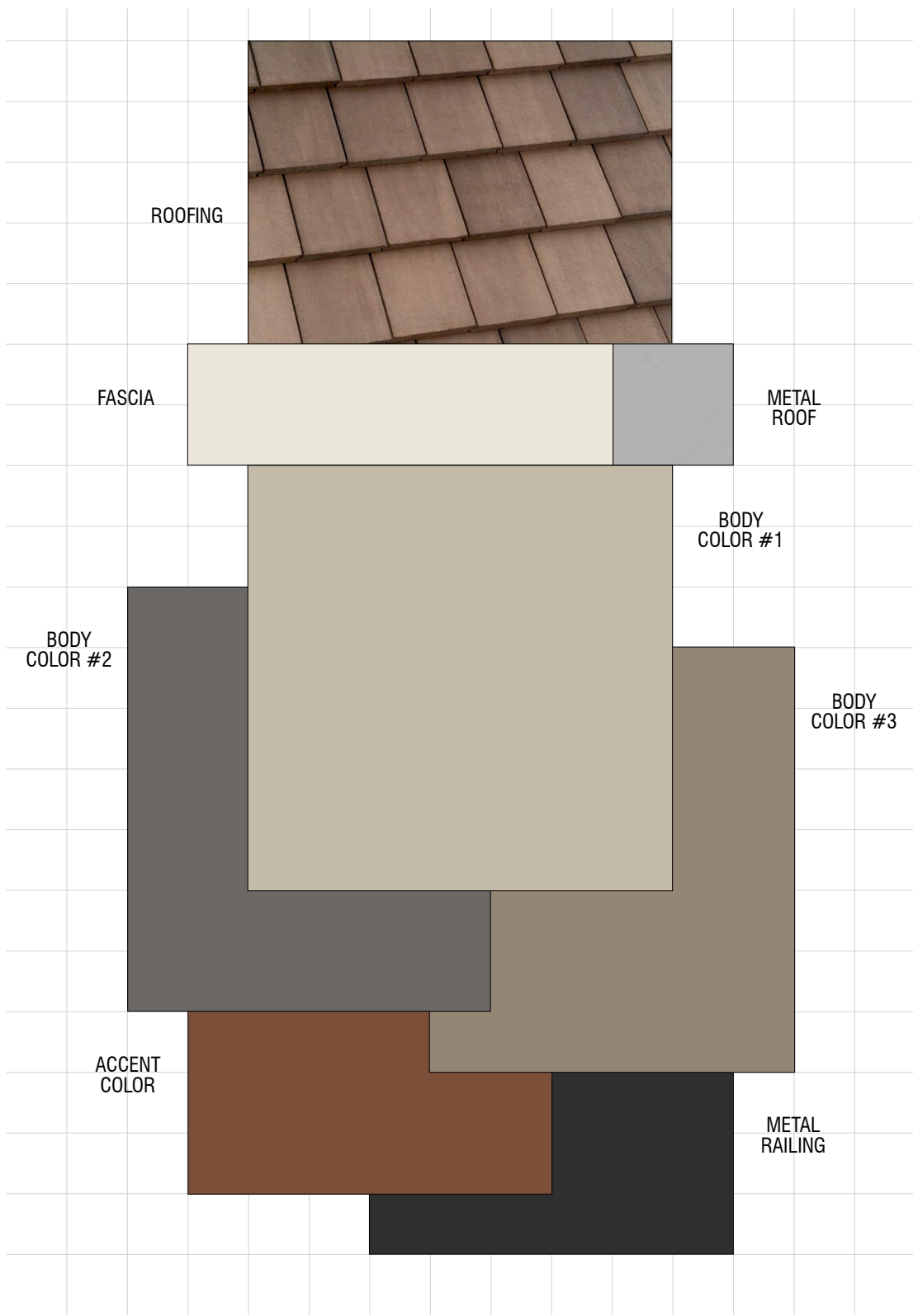
Carport Sample

EXTERIOR COLORS & MATERIALS

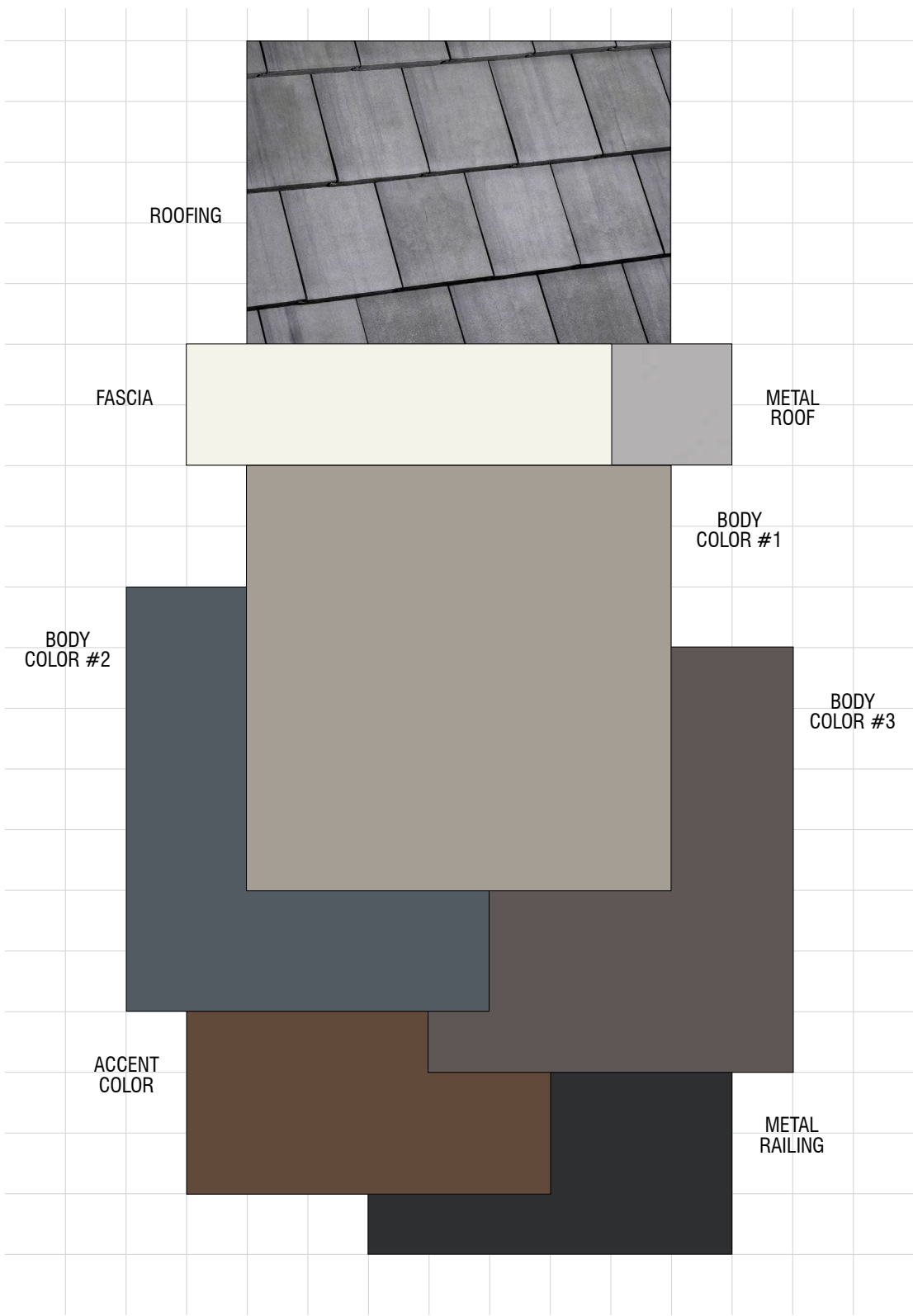
Color Scheme #4

- 1 Metal Roof - *Dark Bronze (50)*
- 2 Stucco over CMU
- 3 Metal Door
- 4 Cane Bolt

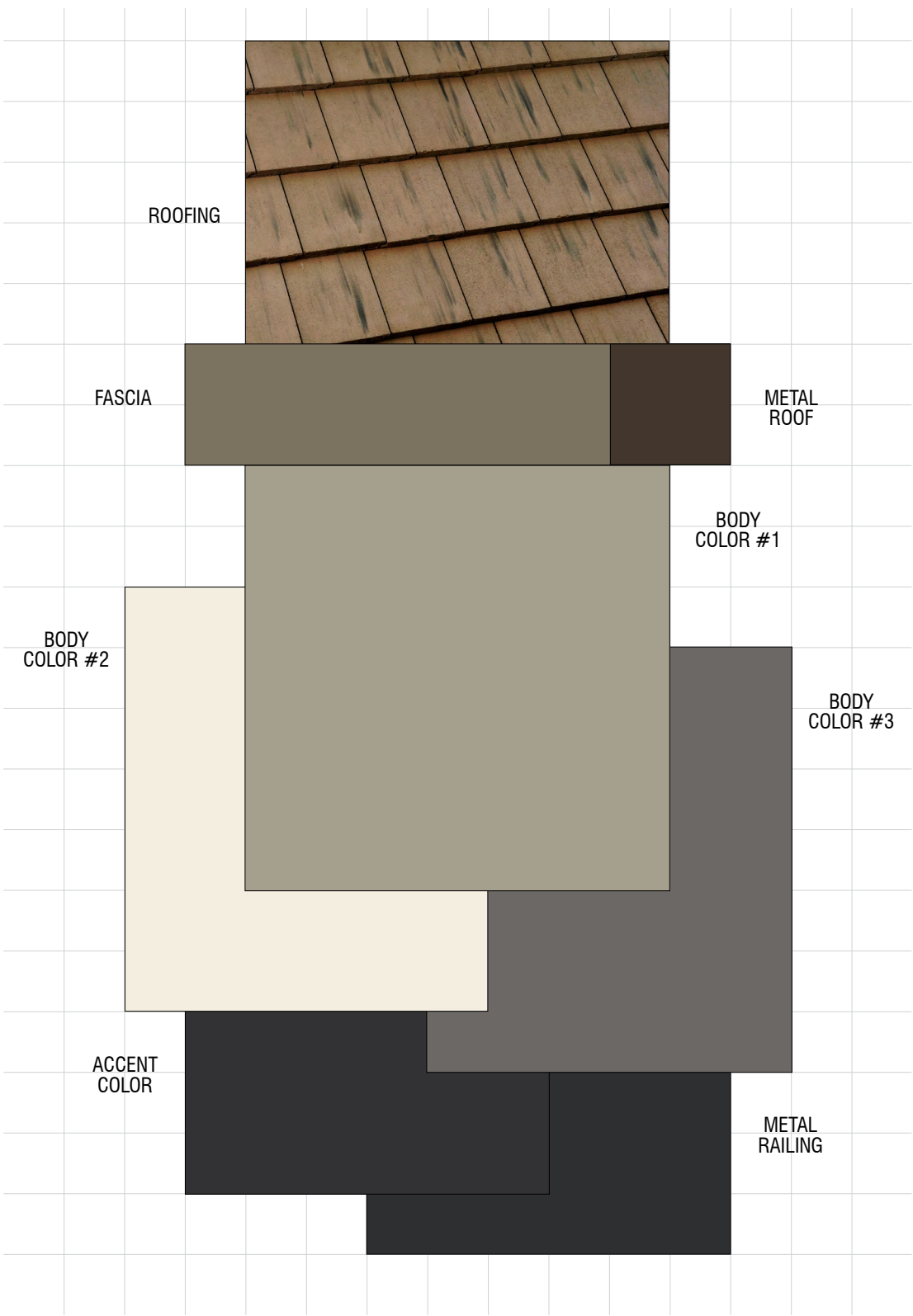
Muli-Family
Color Scheme #1



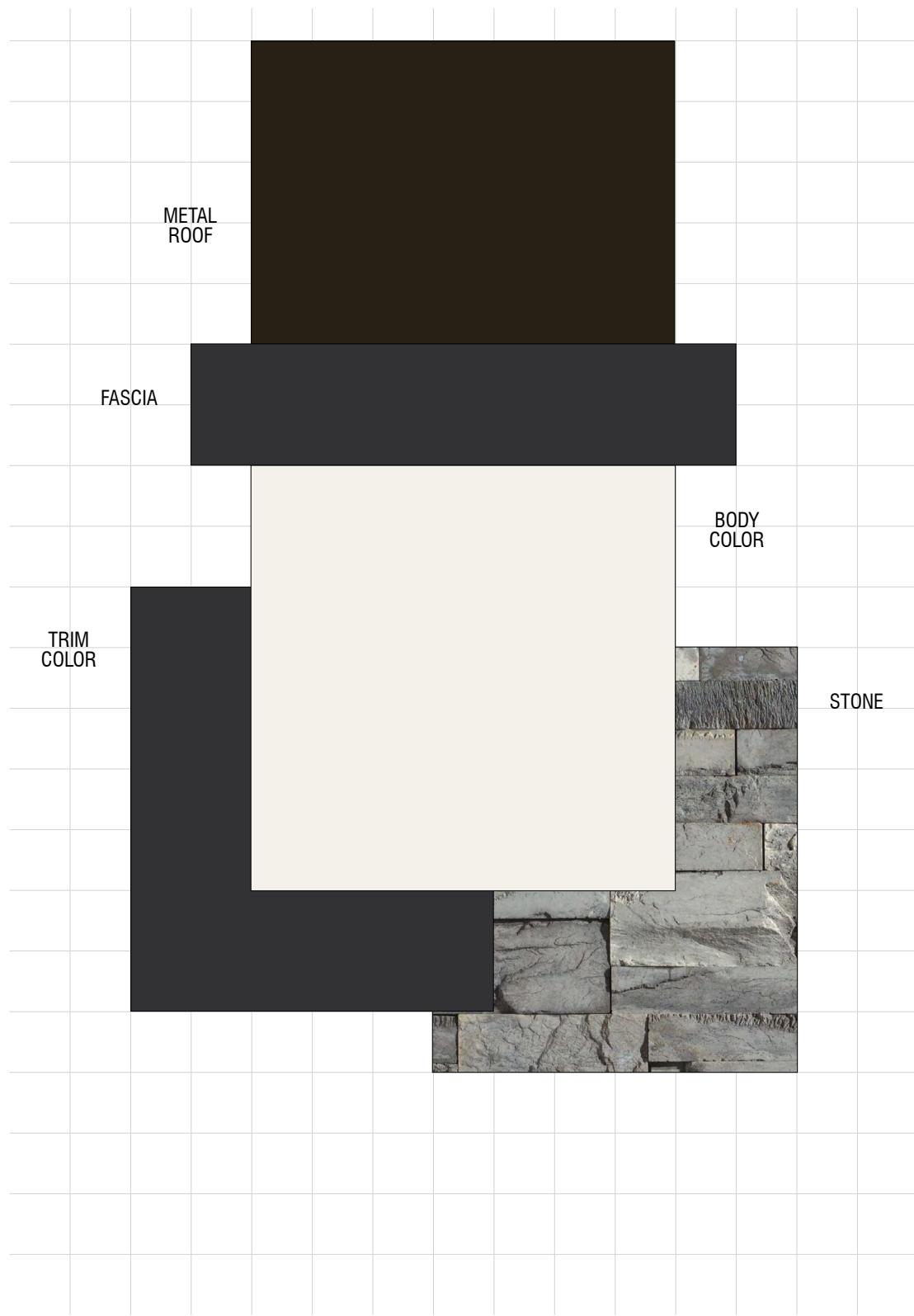
Muli-Family
Color Scheme #2



Multi-Family
Color Scheme #3



Recreation Buildings
Color Scheme #4



Lighting Fixture

Manufacturer: Sea Gull Lighting
Product Name: Bancroft Collection
(One Light Outdoor Wall Lantern)
Product Number: 89316PBLE-12
Finish: Black Finish, Smooth White Glass
Dimensions: W 9" x H 12-1/2"

Material	Color	Manufacturer
Roofing: Concrete Slate Tile	4689 Brown Range Ref. 15 Emi. 92 A.SRI: 17 CRRC: 0918-0026	Eagle
Metal Roof (factory finish)	Metallic Silver (K7)	Metal Sales or Equal
Vinyl Windows (factory finish)	White	Ply Gen or Equal
Gutters & Downspouts (factory finish)	Match Adjacent Color	Kelly Moore
Body Color #1 (applied to): Low Wall @ Covered Patio Entry Stucco Columns Stucco Trim Band @ Stucco	KM 4704 Dusty Trail Rider	Kelly Moore
Body Color #2 (applied to): Board & Battens Corner Boards @ Board & Battens Gable Siding Trim Band @ Board & Battens	KM 5826 Volcanic Rock	Kelly Moore
Body Color #3 (applied to): Stucco	KM 5785 Country Club	Kelly Moore
Trim Color (applied to): Barge Boards Eaves Fascia Garage Doors Utility Doors Stucco Trim Band @ Stucco Trim	KM 4786 Fresh Linen	Kelly Moore
Accent Color (applied to): Unit Doors	KM A68 Leather Satchel	Kelly Moore
Metal Railing	KM 4853 Black Cat	Kelly Moore
Garage Door Weatherstrip (factory finish)	Match Garage Door Color	TBD

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Core Path (925) 463-1700.

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Material	Color	Manufacturer
Roofing: Concrete Slate Tile	4503 Sierra Madre Ref. 11 Emi. 92 A.SRI: 12 CRRC: 0918-0111	Eagle
Metal Roof (factory finish)	Metallic Silver (K7)	Metal Sales or Equal
Vinyl Windows (factory finish)	White	Ply Gen or Equal
Gutters & Downspouts (factory finish)	Match Adjacent Color	Kelly Moore
Body Color #1 (applied to): Low Wall @ Covered Patio Entry Stucco Columns Stucco Trim Band @ Stucco	KM 4936 Smoky Day	Kelly Moore
Body Color #2 (applied to): Board & Battens Corner Boards @ Board & Battens Gable Siding Trim Band @ Board & Battens	KM 4882 Titanium Gray	Kelly Moore
Body Color #3 (applied to): Stucco	KM 4924 Thunderstruck	Kelly Moore
Trim Color (applied to): Barge Boards Eaves Fascia Garage Doors Utility Doors Stucco Trim Band @ Stucco Trim	KM W48 Whipped Cream	Kelly Moore
Accent Color (applied to): Unit Doors	KM A76 Log Cabin	Kelly Moore
Metal Railing	KM 4883 Black Cat	Kelly Moore
Garage Door Weatherstrip (factory finish)	Match Garage Door Color	TBD

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Core Path (925) 463-1700.

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Material	Color	Manufacturer
Roofing: Concrete Slate Tile	4502 Arcadia Canyon Brown Ref. 13 Emi. 94 A.SRI: 16 CRRC: 0918-0043	Eagle
Metal Roof (factory finish)	Medium Bronze (H4)	Metal Sales or Equal
Vinyl Windows (factory finish)	White	Ply Gen or Equal
Gutters & Downspouts (factory finish)	Match Adjacent Color	Kelly Moore
Body Color #1 (applied to): Low Wall @ Covered Patio Entry Stucco Columns Stucco Trim Band @ Stucco	KM 5771 Apple Hill	Kelly Moore
Body Color #2 (applied to): Board & Battens Corner Boards @ Board & Battens Gable Siding Trim Band @ Board & Battens	KM W23 Bechamel	Kelly Moore
Body Color #3 (applied to): Stucco	KM 5826 Volcanic Rock	Kelly Moore
Trim Color (applied to): Barge Boards Eaves Fascia Garage Doors Utility Doors Stucco Trim Band @ Stucco Trim	KM 5769 Backcountry	Kelly Moore
Accent Color (applied to): Unit Doors	KM A87 Siletto	Kelly Moore
Metal Railing	KM 4883 Black Cat	Kelly Moore
Garage Door Weatherstrip (factory finish)	Match Garage Door Color	TBD

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Core Path (925) 463-1700.

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Material	Color	Manufacturer
Metal Roof (factory finish)	Dark Bronze (50)	Metal Sales or Equal
Gutters & Downspouts (factory finish)	Match Adjacent Color	Kelly Moore
Vinyl Windows (factory finish)	White	Ply Gen or Equal
Manufactured Stone (1/8" standard raked joints)	Shadowplay Craft Split Modular	Creative Mines or Equal
Mortar @ Stone	Misty Cove	Orco
Body Color (applied to): Board & Battens Corner Boards @ Board & Battens Louvered Panels Posts Stucco Utility Doors Trim	KM W46 Picker Fence	Kelly Moore
Trim Color (applied to): Barge Boards Braces Chimney Cap Eaves Entry Door w/ Panel System Fascia Metal Door @ Trash Enclosure Steel Beams @ Trash Enclosure	KM A87 Siletto	Kelly Moore

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Core Path (925) 463-1700.

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17-Plex

Color Scheme #3

CONCEPTUAL STREETSCENE

OAT HILL MULTI-FAMILY – PARCEL B

AMERICAN CANYON, CALIFORNIA

October 19 , 2020

SITE PLAN

ContextSP1
Conceptual Site PlanSP2

ARCHITECTURE

Recreation Building: Floor PlanA1
Recreation Building: ElevationsA2
17 Plex | Building Plan.....A3
17 Plex | Building Plan.....A4
17 Plex | Building Elevations.....A5

Unit Plans | Plan 1.....A6
Unit Plans | Plan 1X.....A7
Unit Plans | Plan 2.....A8
Unit Plans | Plan 3.....A9
Unit Plans | Plan 4.....A10
Unit Plans | Plan 5.....A11
Unit Plans | Plan 6.....A12
Trash Enclosure & Carport SampleA13
Exterior Color & Materials | Lighting FixtureA14

Project Information

Building Type: V-A
NFPA 13R Sprinkler



BUS ROUTE (American Canyon Transit - Monday - Friday)

- AM Timepoint Stops within 1/2 Mile
- PM Timepoint Stops within 1/2 Mile
- AM Timepoint Bus Route (4 Trips per Day except Wed, 5 Trips on Wed)
- AM Loops Timepoint Bus Route (1 Trip per Day)

Note:
More Details about Bus Schedule is available at American Canyon Transit Website



Context

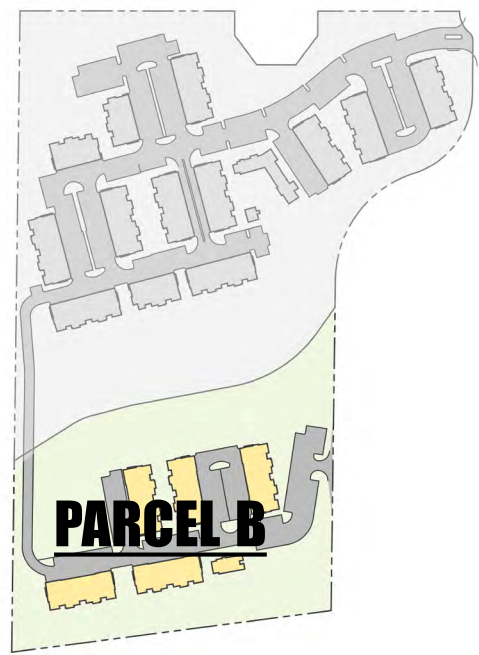
- School
- Institution
- Commercial

Note:
More Details about Bus Schedule is available at American Canyon Transit Website



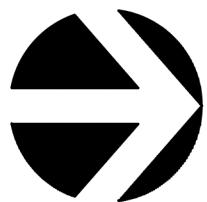
Project Summary

Parcel B	
Gross Site Area:	+ 7.2 Acres
Total Units:	85 Units <ul style="list-style-type: none">▪ (20) 1 Bdrm Units▪ (45) 2 Bdrm Units▪ (20) 3 Bdrm Units
Density:	11.8 DU per Gross Area
Parking:	
Required:	182 Spaces <ul style="list-style-type: none">▪ (20) 1 Bedroom x 1.5 Spaces =30 Spaces▪ (45) 2 or more Bedroom x 2 Spaces =130 Spaces▪ (85) Guest x 0.25 Spaces =22 Spaces▪ 4 Handicapped + 1 Van Required
Provided:	182 Spaces <ul style="list-style-type: none">▪ Garage: 65 Spaces▪ Carports: 20 Spaces▪ Head In: 97 Spaces (9' x 18')
Open Space	<ul style="list-style-type: none">▪ Common Open Space: 27,647 SF▪ Hillside Slope Area: 257,004 SF



KEY MAP
N.T.S

- Notes:
- 1.Site plan must be reviewed by planning, building, and fire departments for code compliance.
 - 2.Base information per civil engineer.
 - 3.Civil engineer to verify all setbacks and grading information
 - 4.Please refer to landscape plan for final landscape details.
 - 5.Building setbacks are measured from property lines to building foundation lines.

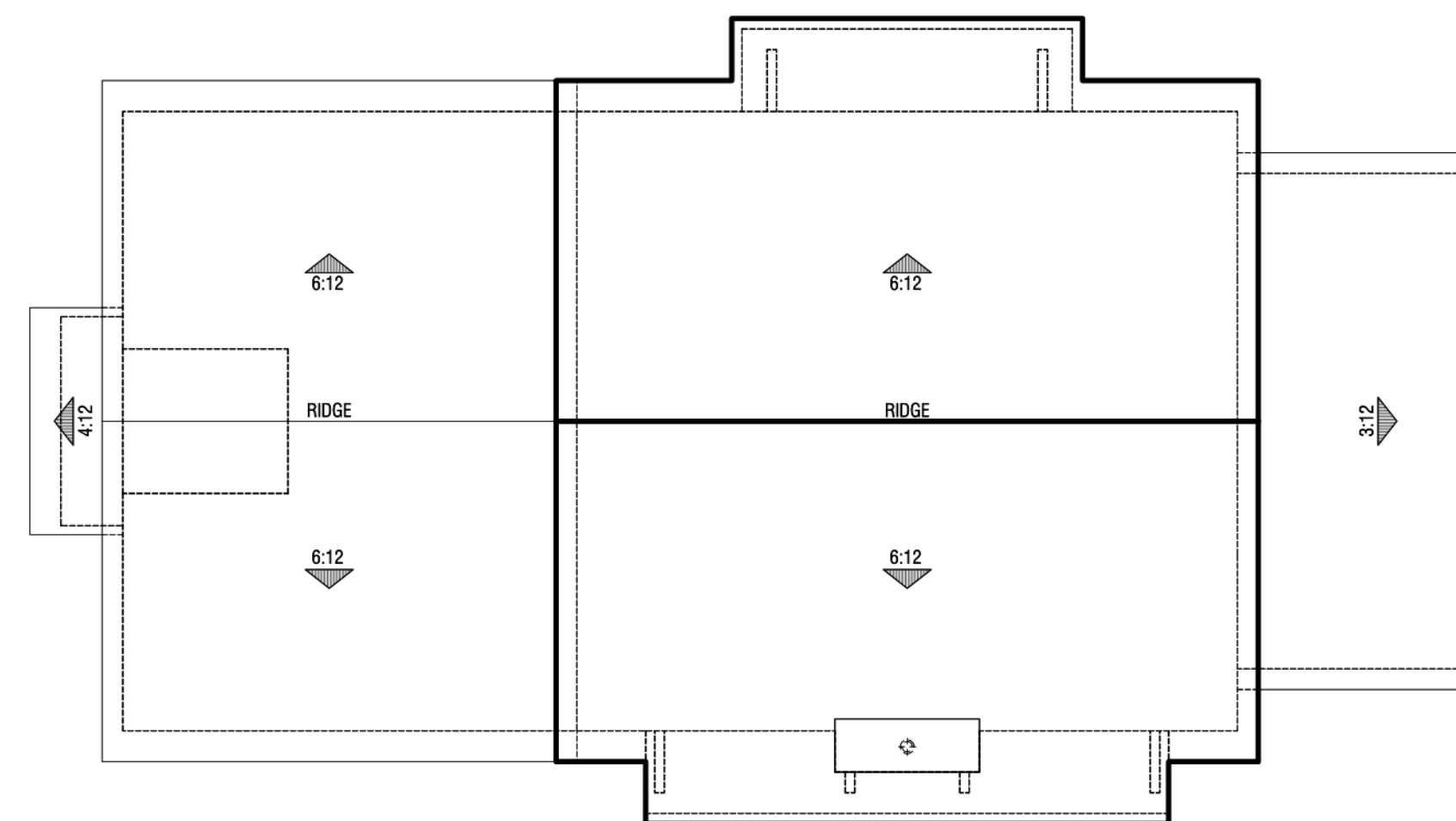


Conditioned Space: 1,842 SF

Entry Porch: 56 SF



Recreation Building Floor Plan: Parcel B
1,842 SF Total

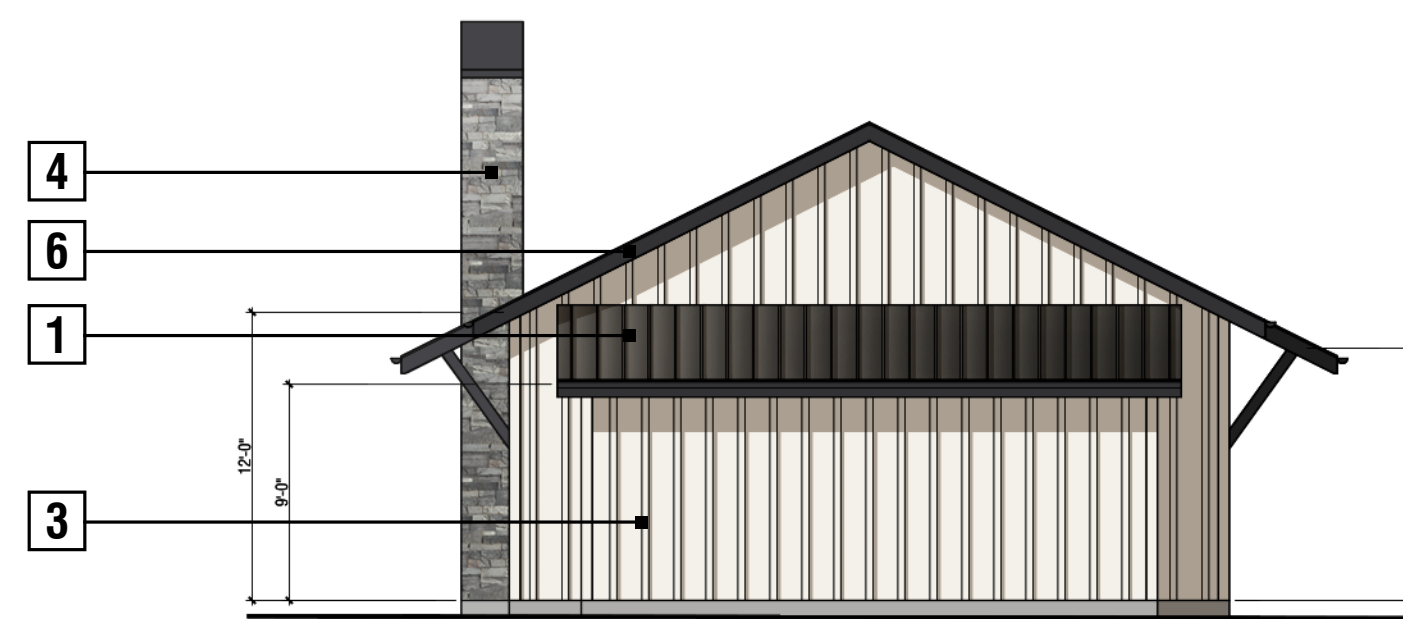


Recreation Building Roof Plan: Parcel B

RECREATION BUILDING FLOOR PLAN

OAT HILL MULTI-FAMILY – PARCEL B

AMERICAN CANYON, CALIFORNIA



Recreation Building Right



Recreation Building Rear



Recreation Building Left



Recreation Building Front

EXTERIOR COLORS & MATERIALS

Color Scheme #4

- | | |
|---|---|
| 1 Metal Roof - <i>Dark Bronze (50)</i> | 5 Fiber Cement Trim |
| 2 Insulated Vinyl Windows | 6 Wood Fascia |
| 3 Board & Batten Vertical Fiber Cement Siding With Corner Boards | 7 Utility Doors |
| 4 Stone - <i>Creative Mines Craft Split Modular (Shadowplay)</i> | 8 Fiberglass Door with Panel Sytem |

RECREATION BUILDING ELEVATIONS

OAT HILL MULTI-FAMILY – PARCEL B

AMERICAN CANYON, CALIFORNIA

RH HESS
DEVELOPMENT

0 4 8 16

A2

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Second Floor

PLAN KEY

- Plan 1X
- Plan 1
- Plan 2
- Plan 3
- Plan 4
- Plan 5
- Plan 6
- Garages
- Common Space
- Balcony / Patio



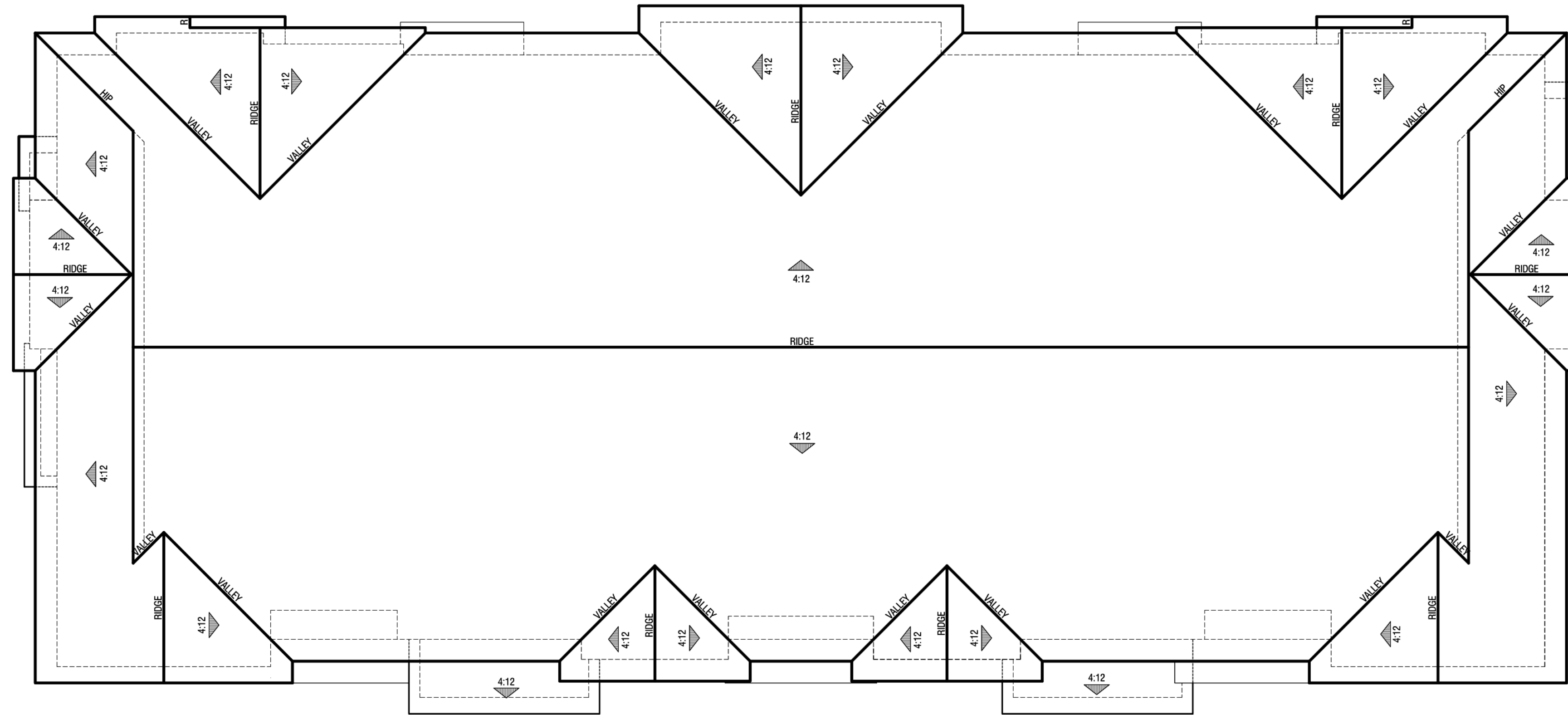
First Floor

17-Plex Total Building Area: 23,712 SF
(Includes all covered areas on all three levels)

17-PLEX | Building Plan

OAT HILL MULTI-FAMILY – PARCEL B

AMERICAN CANYON, CALIFORNIA



Roof Plan

PLAN KEY

- Plan 1X
- Plan 1
- Plan 2
- Plan 3
- Plan 4
- Plan 5
- Plan 6
- Garages
- Common Space
- Balcony / Patio



Third Floor

17-PLEX | Building Plan

OAT HILL MULTI-FAMILY – PARCEL B

AMERICAN CANYON, CALIFORNIA

**RH HESS
DEVELOPMENT**

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A4

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Right



Rear



Left



Front

EXTERIOR COLORS & MATERIALS

Color Scheme #1

- | | | |
|--|--------------------------------------|--|
| 1 Concrete Slate Roofing -
<i>Eagle, Brown Range</i> | 6 Board & Batten Gable Siding | 12 Wood Fascia |
| 2 Metal Roof - <i>Mettalic Silver (K7)</i> | 7 Fiber Cement Trim | 13 Garage Door: Metal Sectional Roll-up |
| 3 Stucco | 8 Stucco Over Foam Trim | 14 Light Fixture, Refer to Sheet A14 |
| 4 Insulated Vinyl Windows | 9 Metal Railing | |
| 5 Board & Batten Vertical Fiber
Cement Siding With Corner Boards | 10 Unit Doors | |
| | 11 Utility Doors | |

17-PLEX | Building Elevations

OAT HILL MULTI-FAMILY – PARCEL B

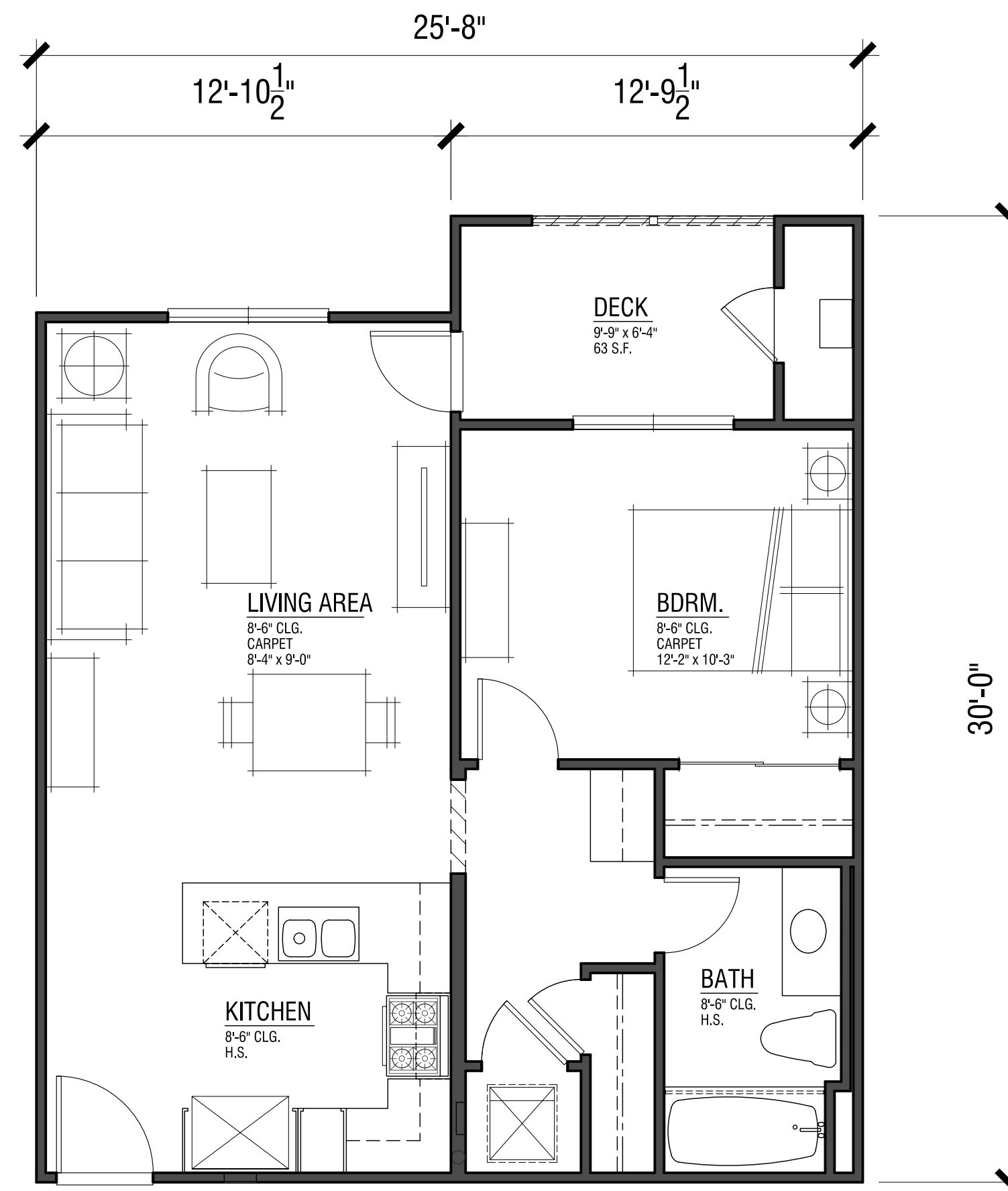
AMERICAN CANYON, CALIFORNIA

RH HESS
DEVELOPMENT

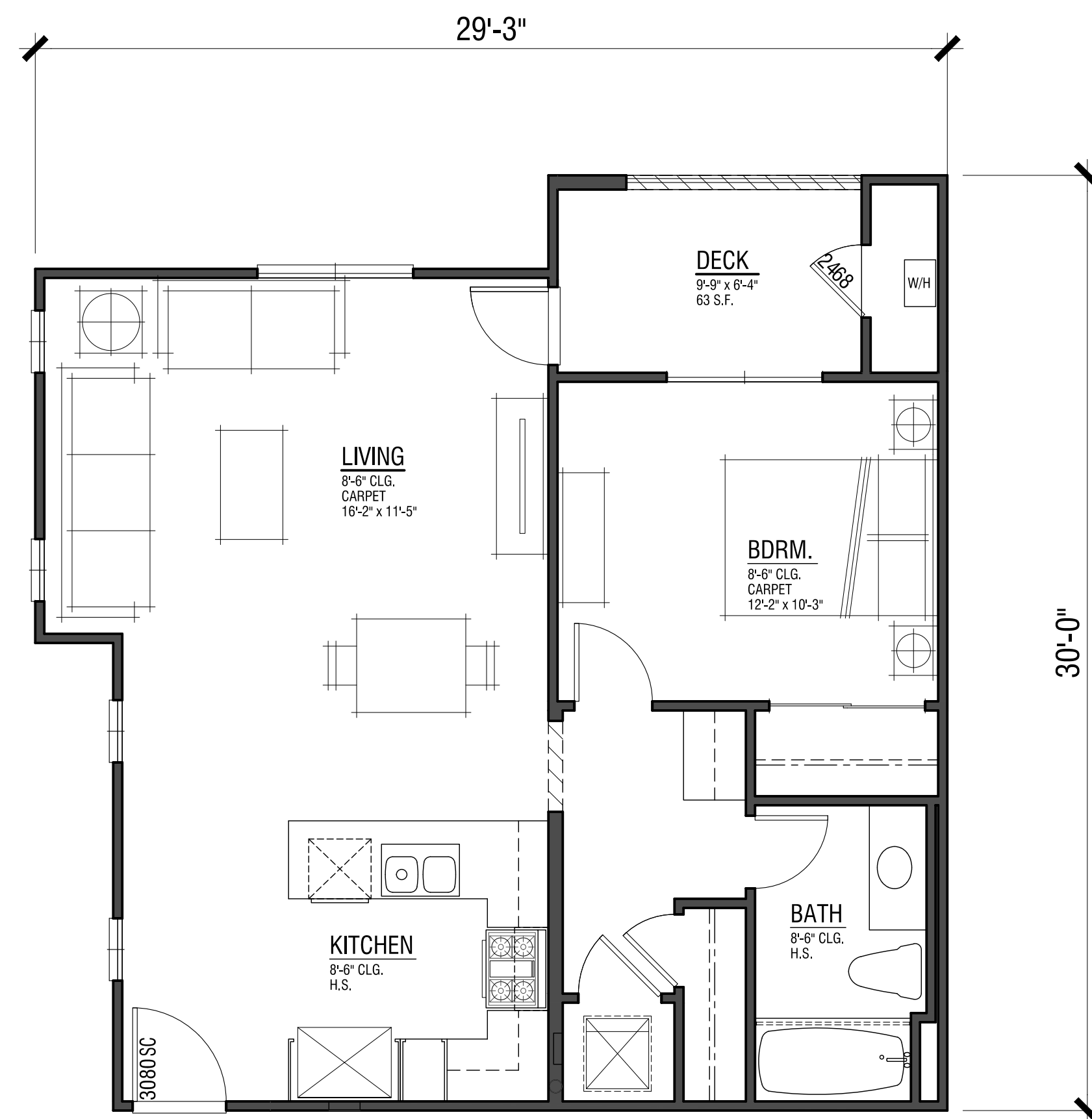
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A5

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Plan 1
611 SF
1 Bdrm | 1 Bath



Plan 1X
672 SF
1 Bdrm | 1 Bath

UNIT PLANS | Plan 1X

OAT HILL MULTI-FAMILY – PARCEL B

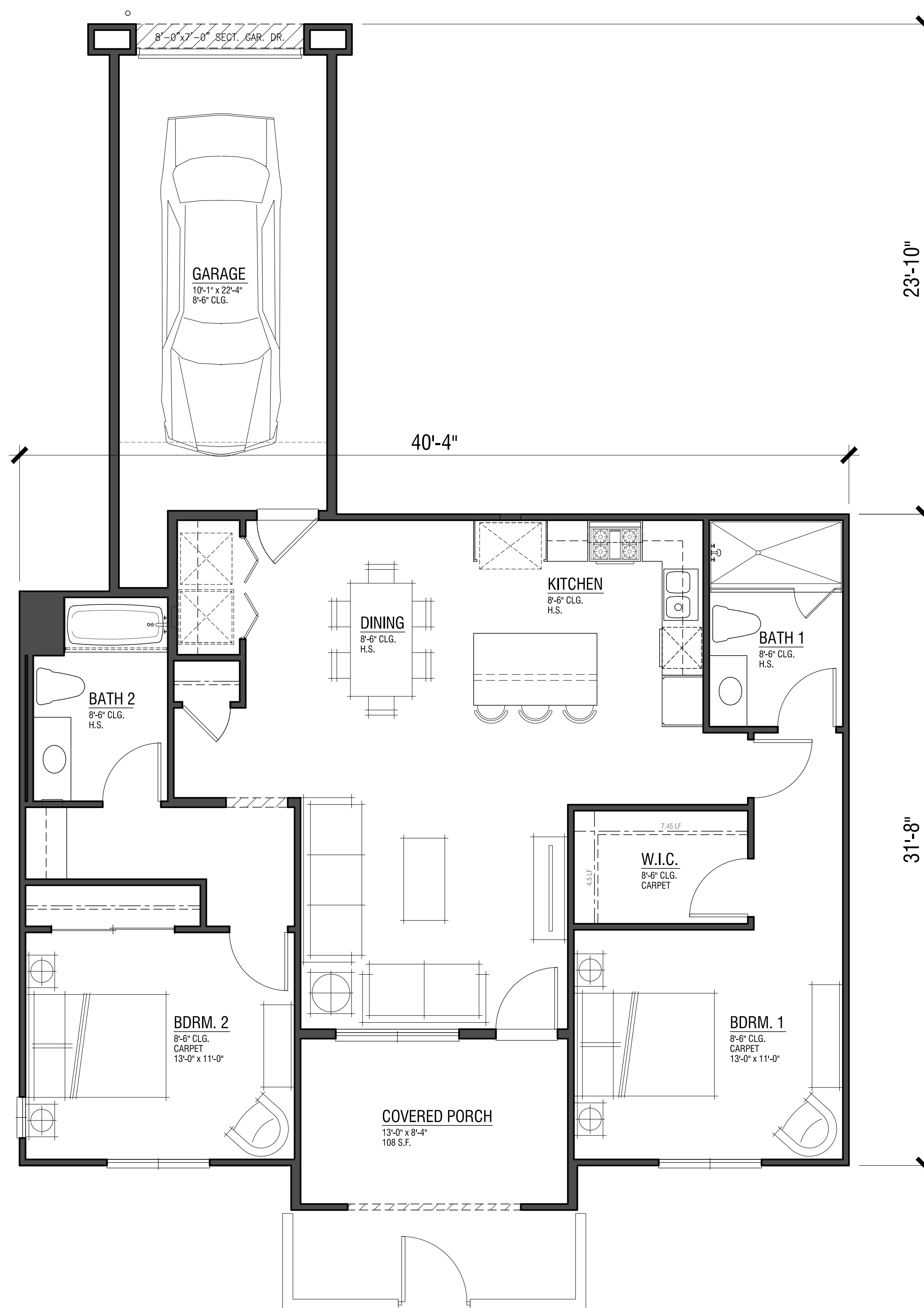
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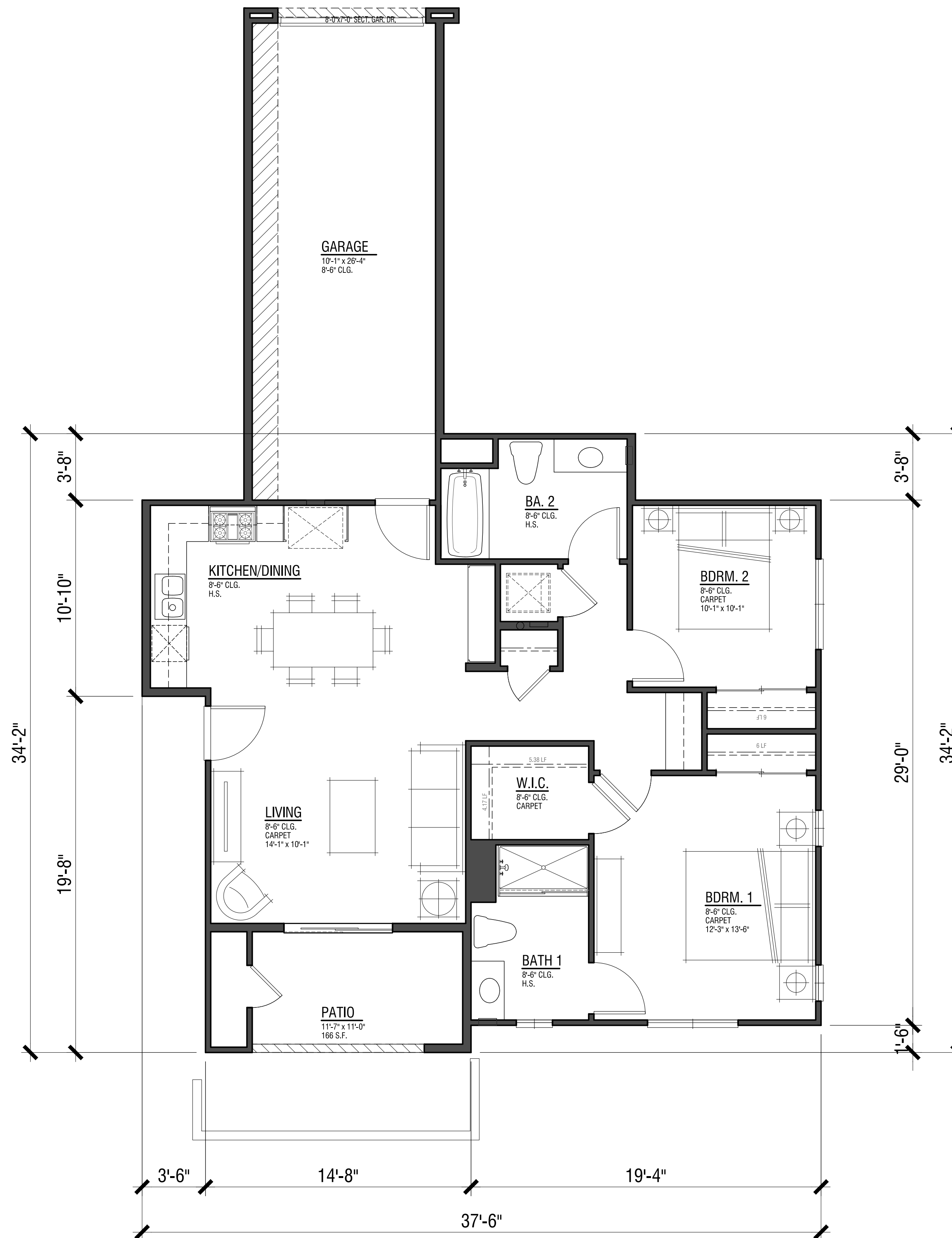
Plan 2
1,106 SF
2 Bdrm | 2 Bath

UNIT PLANS | Plan 2

OAT HILL MULTI-FAMILY – PARCEL B

AMERICAN CANYON, CALIFORNIA

RH HESS
DEVELOPMENT



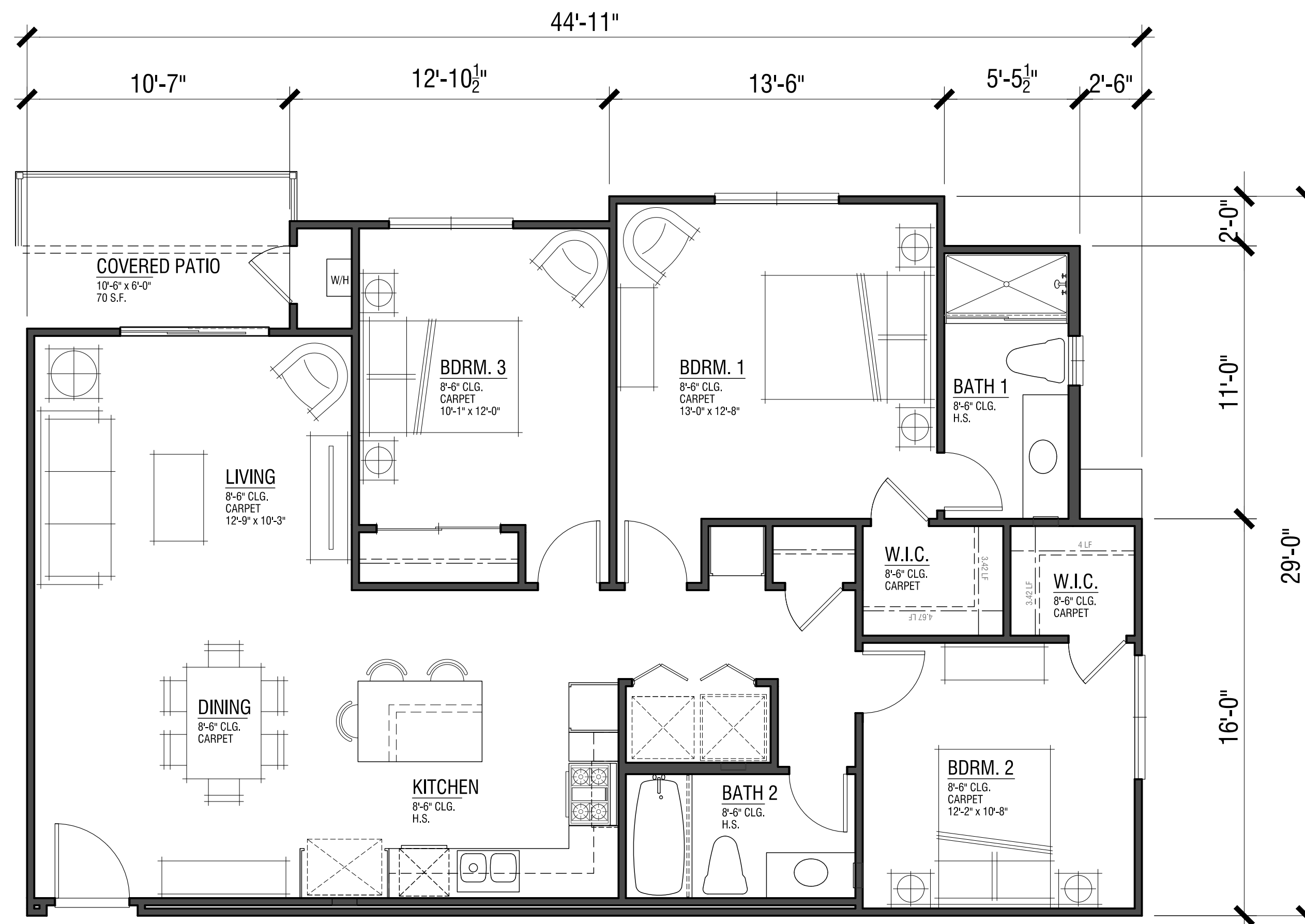
Plan 3
932 SF
2 Bdrm | 2 Bath

UNIT PLANS | Plan 3

OAT HILL MULTI-FAMILY – PARCEL B

AMERICAN CANYON, CALIFORNIA

RH HESS
DEVELOPMENT



Plan 4
 1,113 SF
 3 Bdrm | 2 Bath

UNIT PLANS | Plan 4

OAT HILL MULTI-FAMILY – PARCEL B

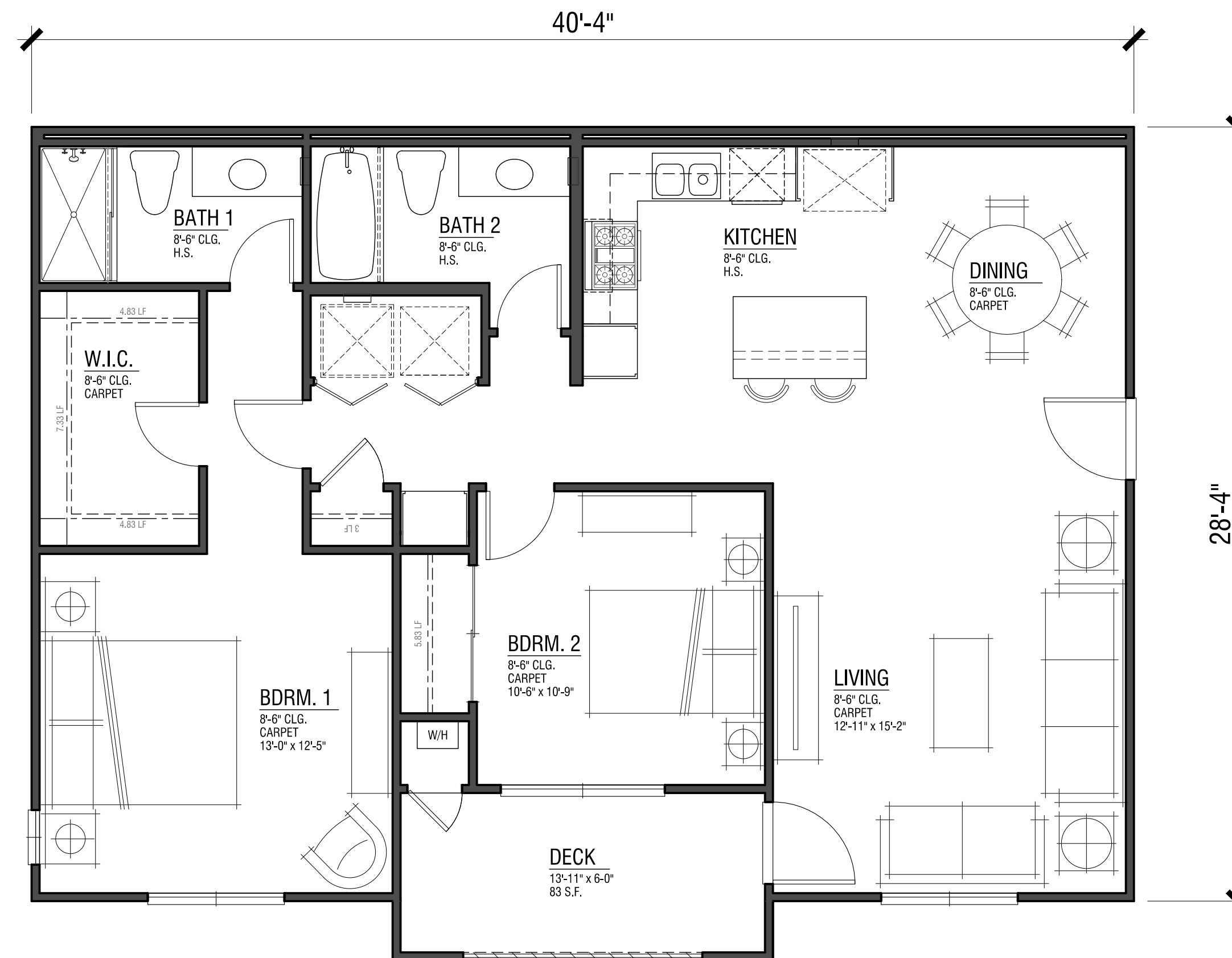
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A10

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Plan 5
1,024 SF
2 Bdrm | 2 Bath

UNIT PLANS | Plan 5

OAT HILL MULTI-FAMILY – PARCEL B

AMERICAN CANYON, CALIFORNIA

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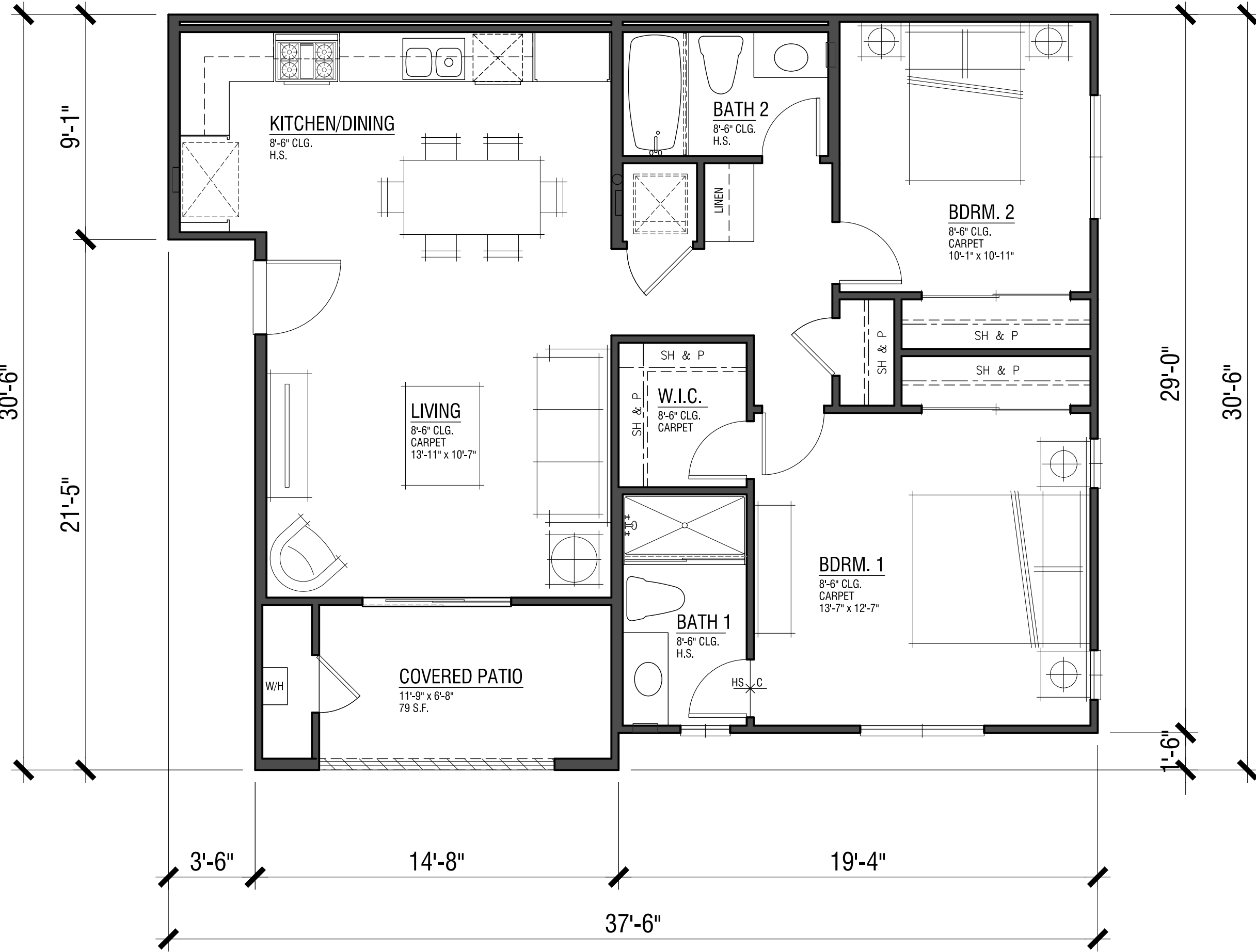
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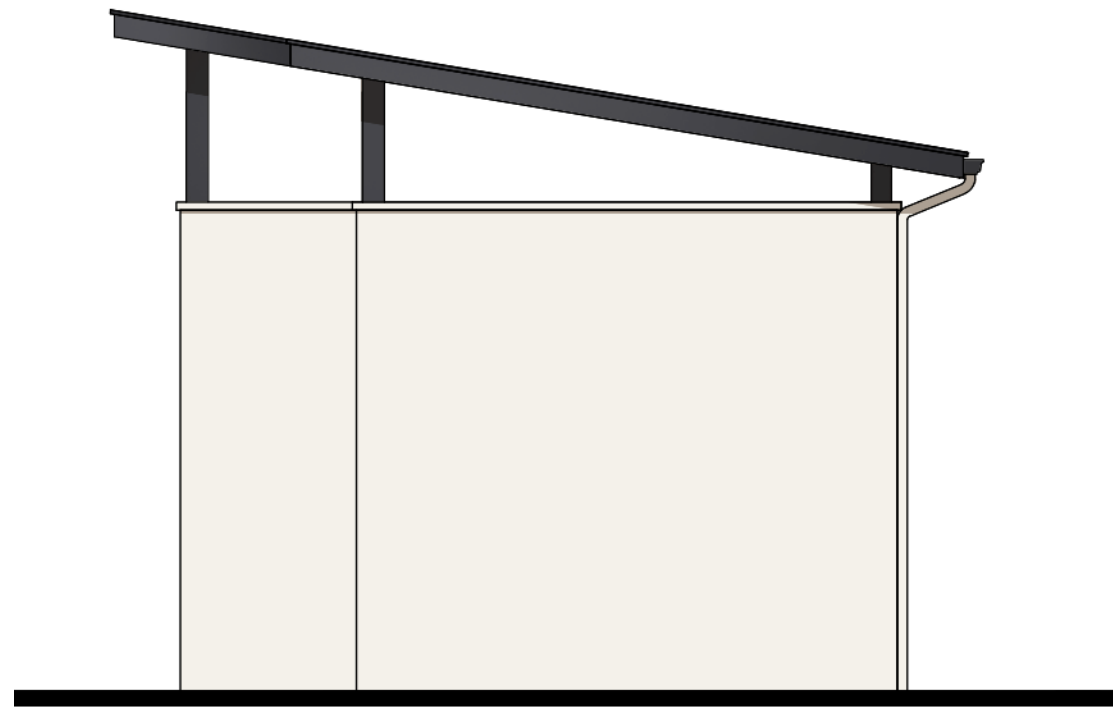
UNIT PLANS | Plan 6

OAT HILL MULTI-FAMILY – PARCEL B

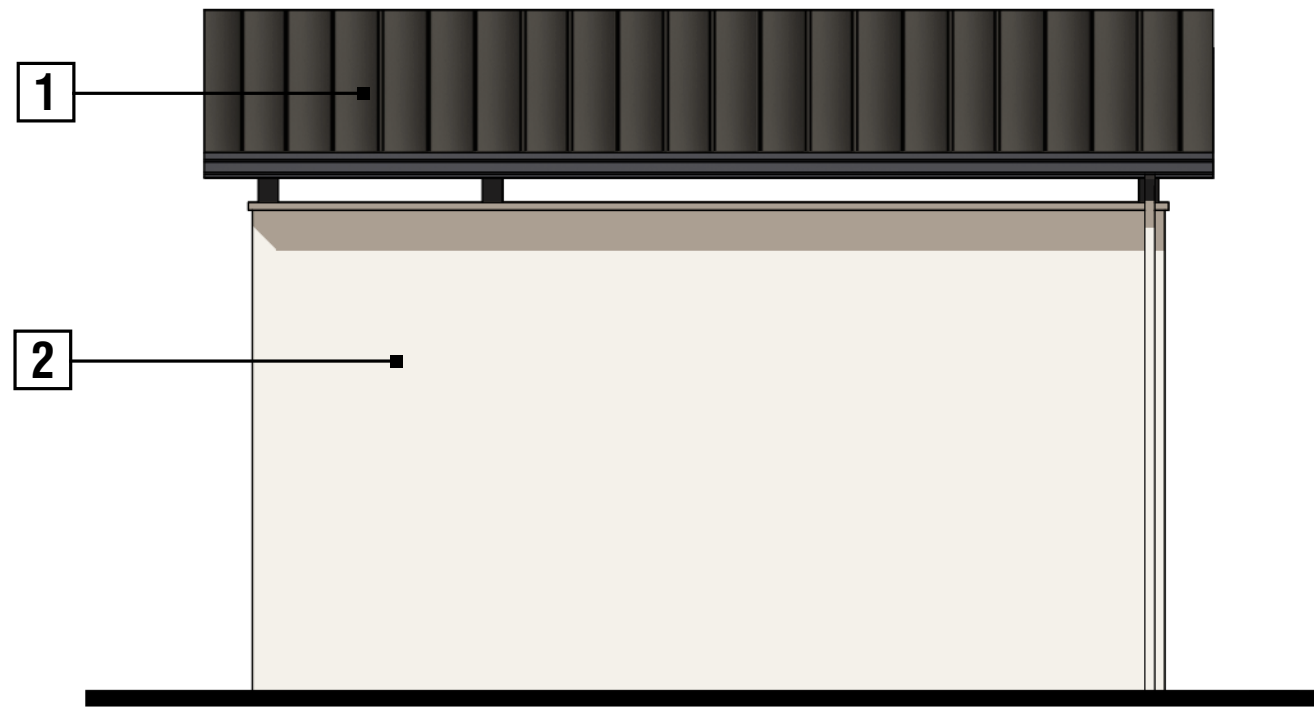
AMERICAN CANYON, CALIFORNIA



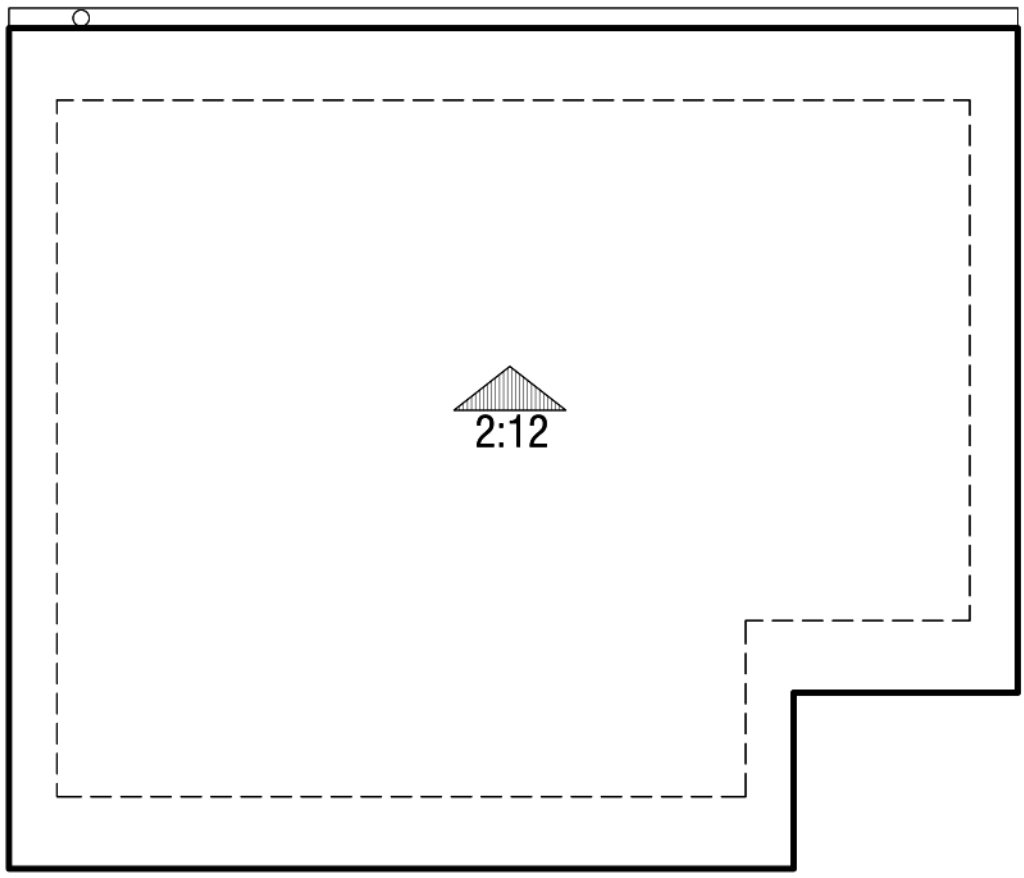
Plan 6
883 SF
2 Bdrm | 2 Bath



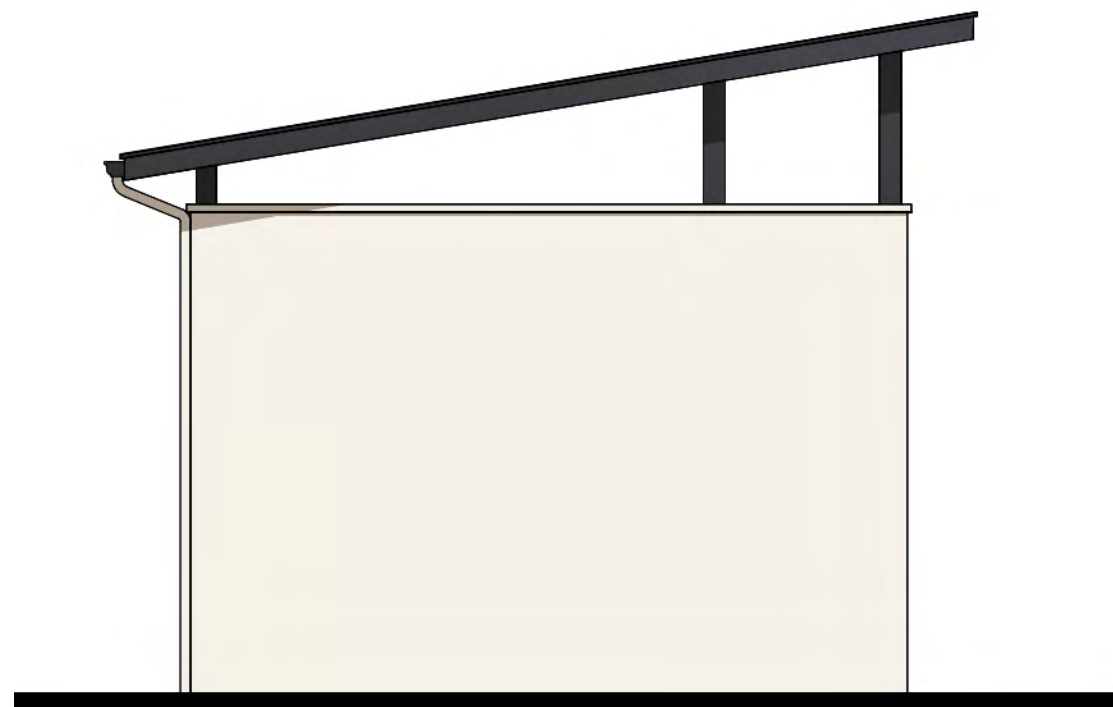
Trash Enclosure Left



Trash Enclosure Front



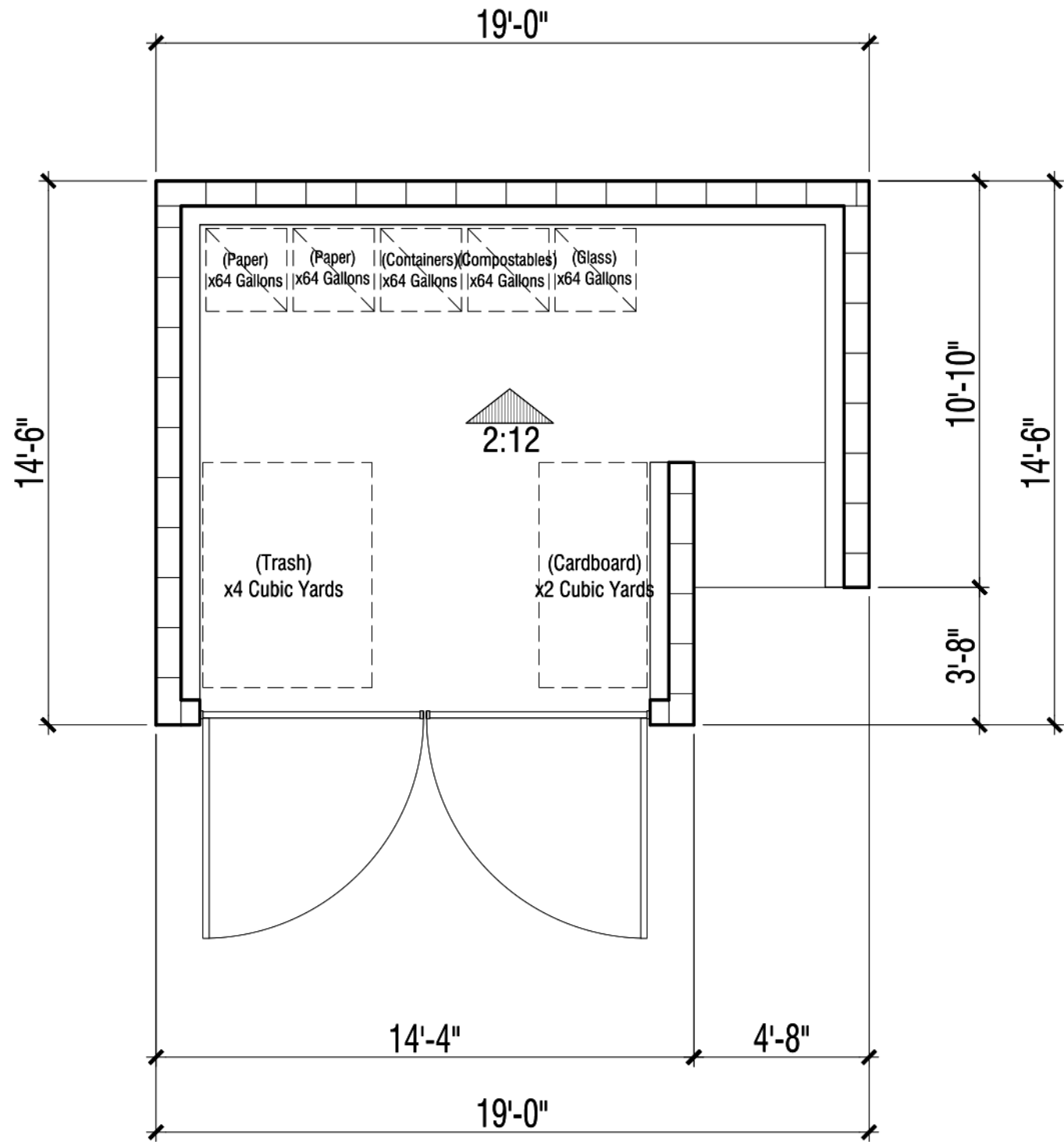
Trash Enclosure
Roof Plan



Trash Enclosure Left



Trash Enclosure Front



Trash Enclosure
Floor Plan



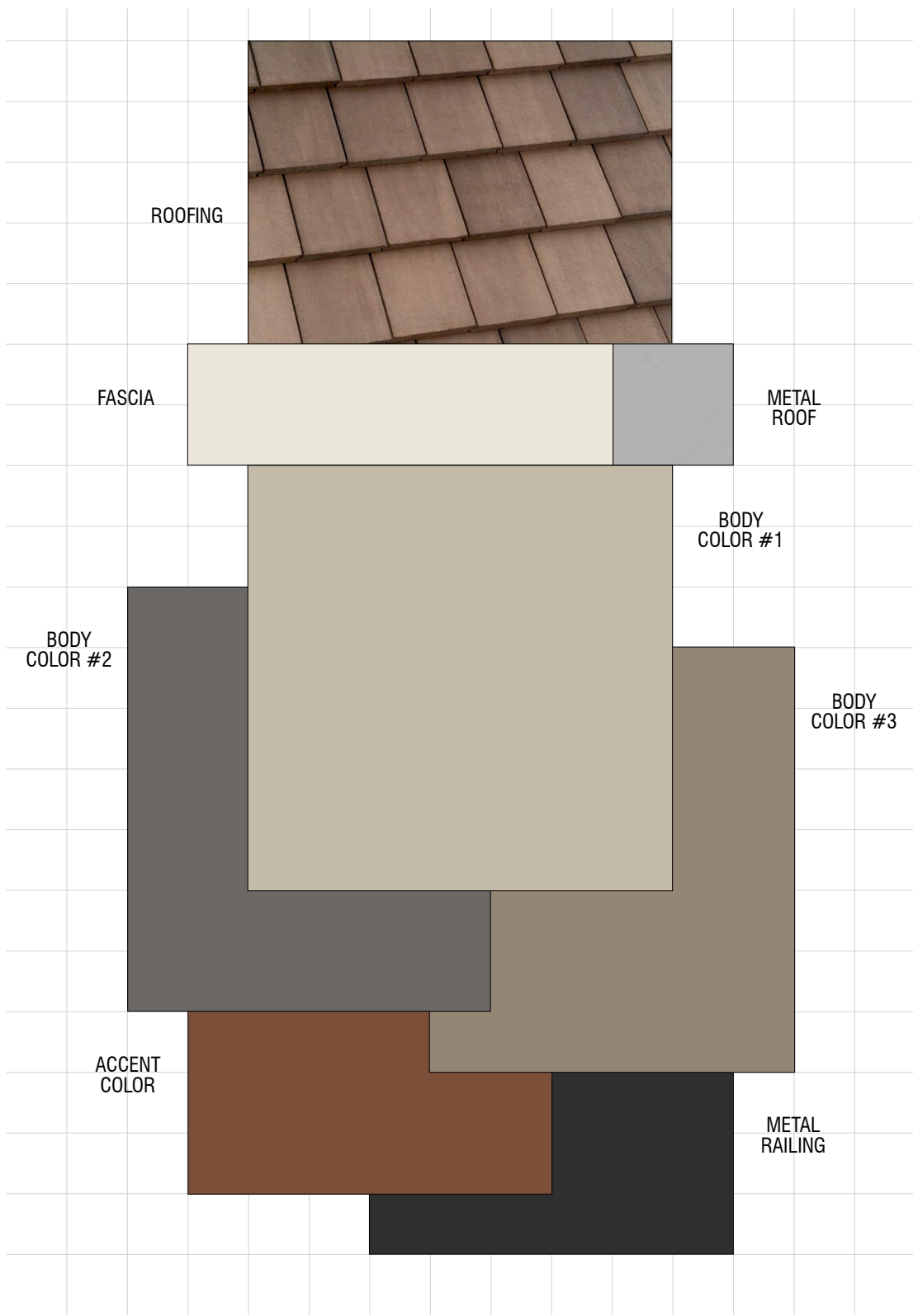
Carport Sample

EXTERIOR COLORS & MATERIALS

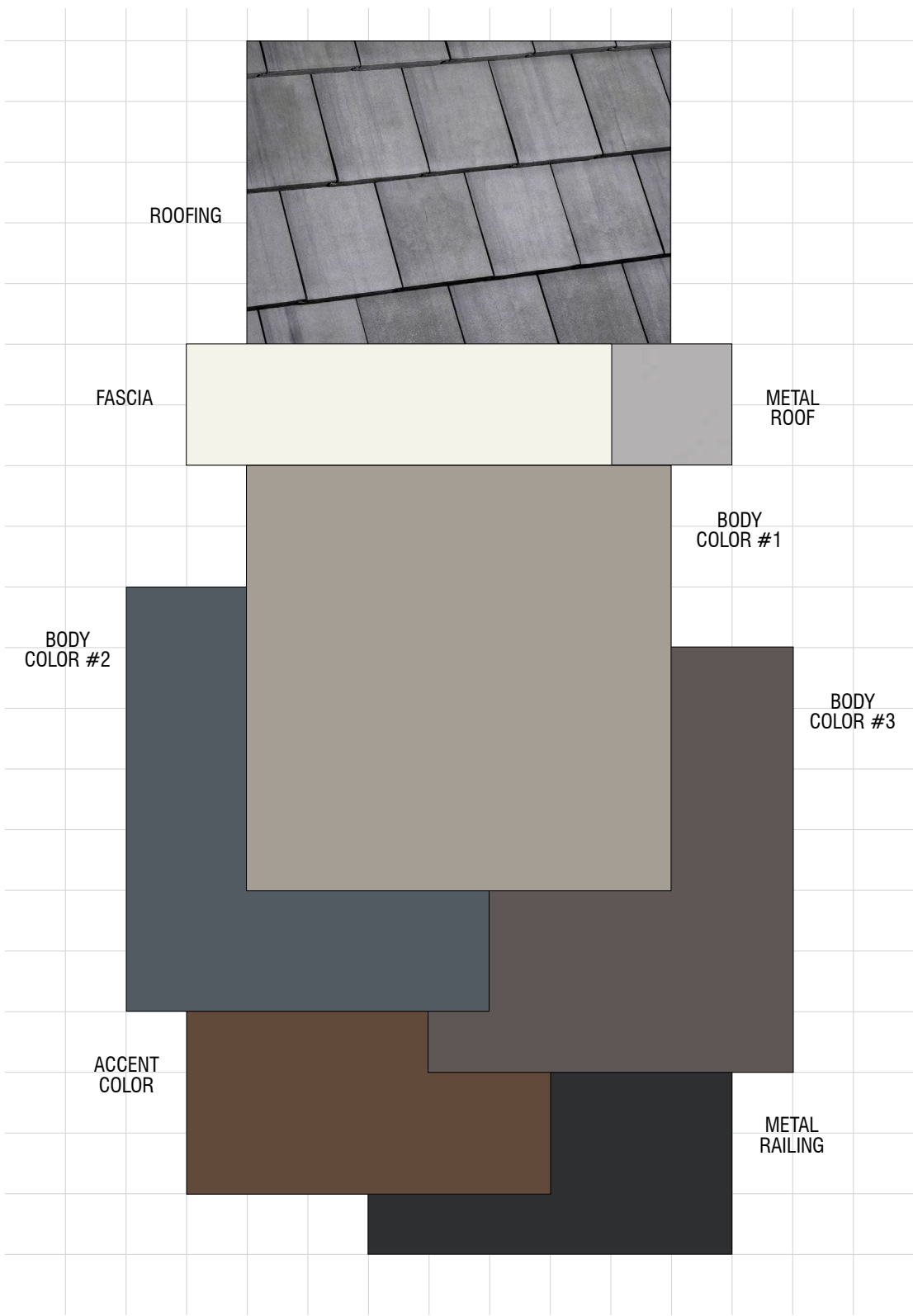
Color Scheme #4

- 1 Metal Roof - *Dark Bronze (50)*
- 2 Stucco over CMU
- 3 Metal Door
- 4 Cane Bolt

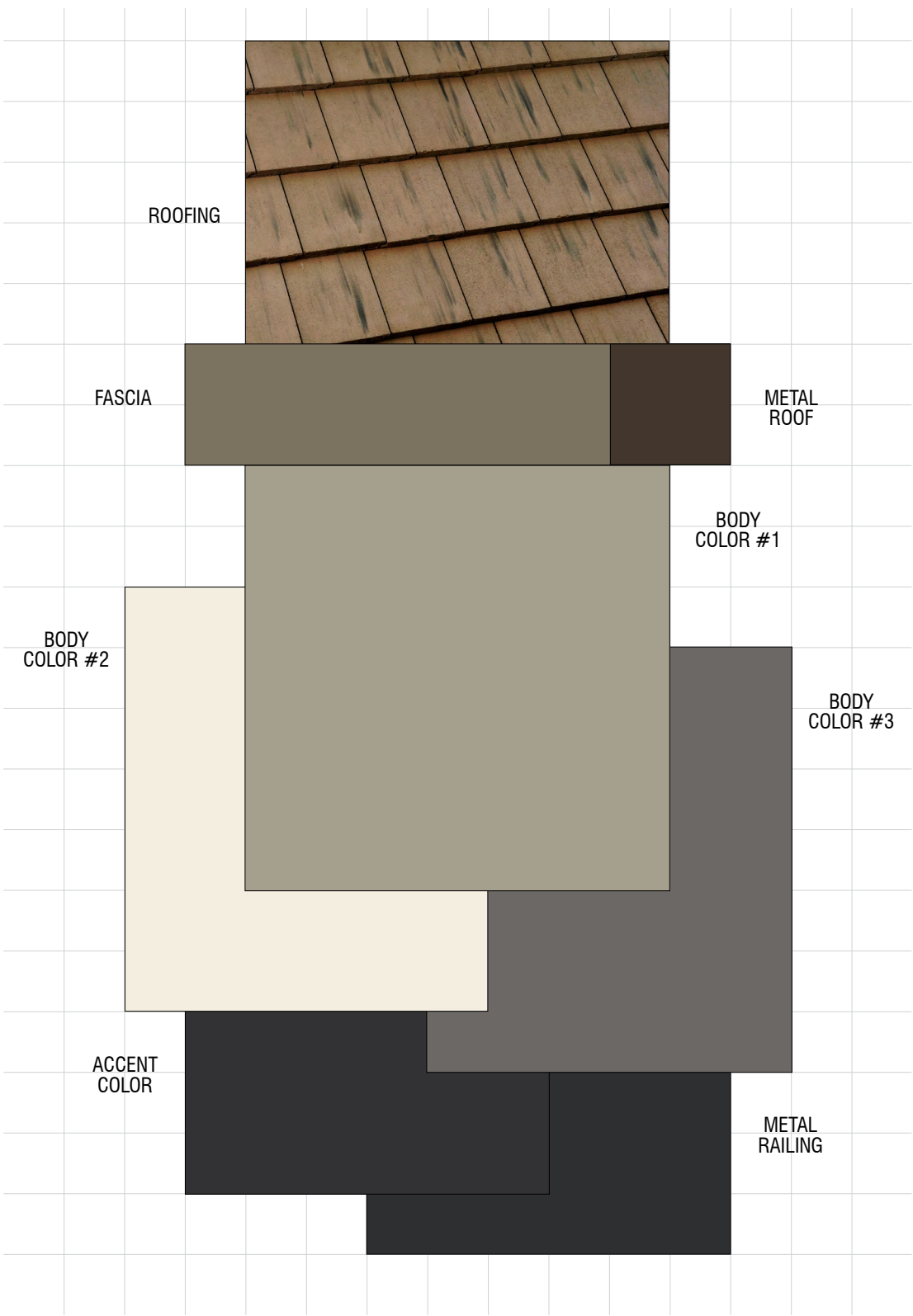
Muli-Family
Color Scheme #1



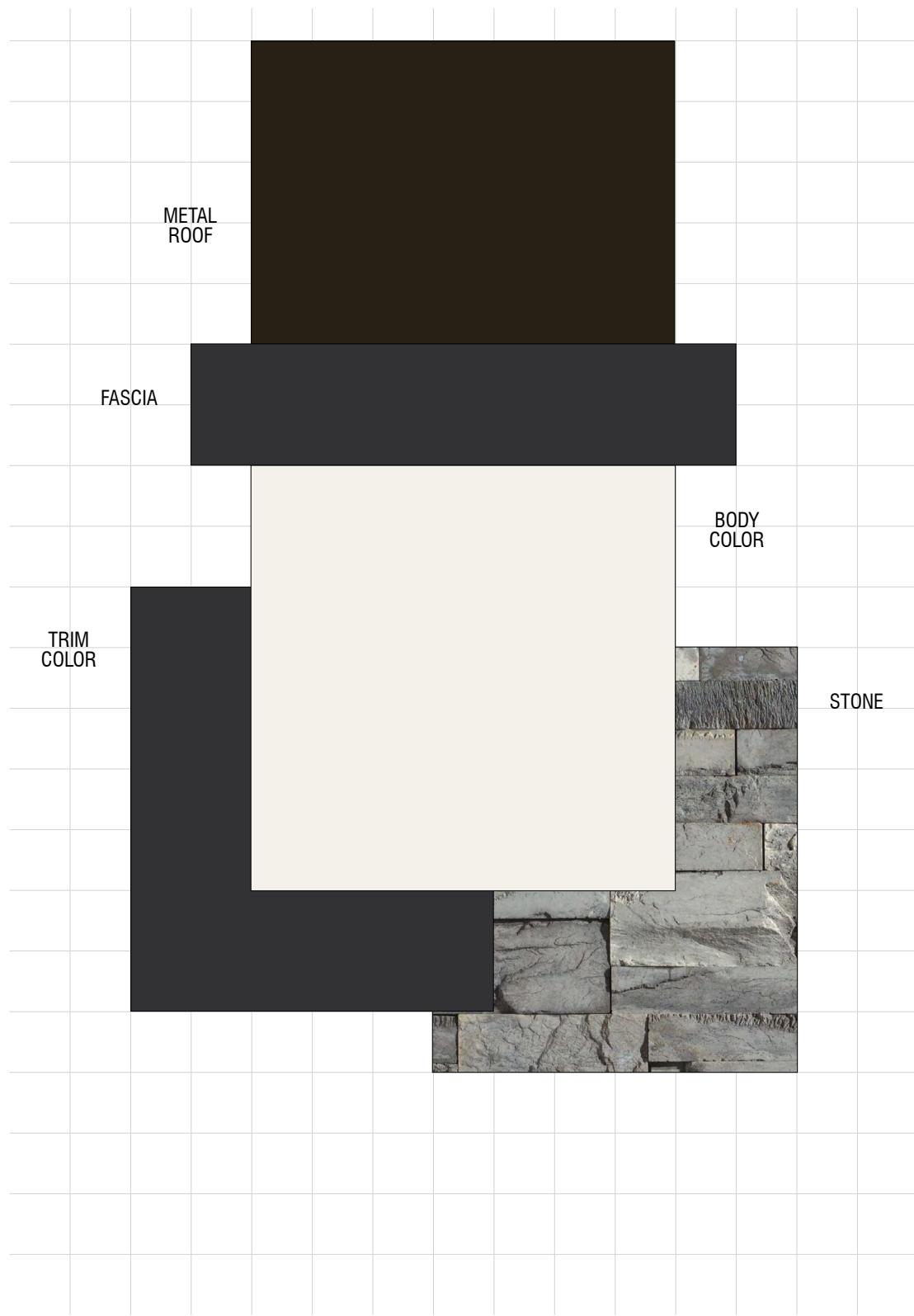
Muli-Family
Color Scheme #2



Multi-Family
Color Scheme #3



Recreation Buildings
Color Scheme #4



Lighting Fixture

Manufacturer: Sea Gull Lighting
Product Name: Bancroft Collection
(One Light Outdoor Wall Lantern)
Product Number: 89316PBLE-12
Finish: Black Finish, Smooth White Glass
Dimensions: W 9" x H 12-1/2"

Material	Color	Manufacturer
Roofing: Concrete Slate Tile	4689 Brown Range Ref. 15 Emi. 92 A.SRI: 17 CRRC: 0918-0026	Eagle
Metal Roof (factory finish)	Metallic Silver (K7)	Metal Sales or Equal
Vinyl Windows (factory finish)	White	Ply Gen or Equal
Gutters & Downspouts (factory finish)	Match Adjacent Color	Kelly Moore
Body Color #1 (applied to): Low Wall @ Covered Patio Entry Stucco Columns Stucco Trim Band @ Stucco	KM 4704 Dusty Trail Rider	Kelly Moore
Body Color #2 (applied to): Board & Battens Corner Boards @ Board & Battens Gable Siding Trim Band @ Board & Battens	KM 5826 Volcanic Rock	Kelly Moore
Body Color #3 (applied to): Stucco	KM 5785 Country Club	Kelly Moore
Trim Color (applied to): Barge Boards Eaves Fascia Garage Doors Utility Doors Stucco Trim Band @ Stucco Trim	KM 4786 Fresh Linen	Kelly Moore
Accent Color (applied to): Unit Doors	KM A68 Leather Satchel	Kelly Moore
Metal Railing	KM 4853 Black Cat	Kelly Moore
Garage Door Weatherstrip (factory finish)	Match Garage Door Color	TBD

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Core Path (925) 463-1700

Material	Color	Manufacturer
Roofing: Concrete Slate Tile	4503 Sierra Madre Ref. 11 Emi. 92 A.SRI: 12 CRRC: 0918-0111	Eagle
Metal Roof (factory finish)	Metallic Silver (K7)	Metal Sales or Equal
Vinyl Windows (factory finish)	White	Ply Gen or Equal
Gutters & Downspouts (factory finish)	Match Adjacent Color	Kelly Moore
Body Color #1 (applied to): Low Wall @ Covered Patio Entry Stucco Columns Stucco Trim Band @ Stucco	KM 4936 Smoky Day	Kelly Moore
Body Color #2 (applied to): Board & Battens Corner Boards @ Board & Battens Gable Siding Trim Band @ Board & Battens	KM 4882 Titanium Gray	Kelly Moore
Body Color #3 (applied to): Stucco	KM 4924 Thunderstruck	Kelly Moore
Trim Color (applied to): Barge Boards Eaves Fascia Garage Doors Utility Doors Stucco Trim Band @ Stucco Trim	KM W48 Whipped Cream	Kelly Moore
Accent Color (applied to): Unit Doors	KM A76 Log Cabin	Kelly Moore
Metal Railing	KM 4883 Black Cat	Kelly Moore
Garage Door Weatherstrip (factory finish)	Match Garage Door Color	TBD

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Core Path (925) 463-1700

Material	Color	Manufacturer
Roofing: Concrete Slate Tile	4502 Arcadia Canyon Brown Ref. 13 Emi. 94 A.SRI: 16 CRRC: 0918-0043	Eagle
Metal Roof (factory finish)	Medium Bronze (H4)	Metal Sales or Equal
Vinyl Windows (factory finish)	White	Ply Gen or Equal
Gutters & Downspouts (factory finish)	Match Adjacent Color	Kelly Moore
Body Color #1 (applied to): Low Wall @ Covered Patio Entry Stucco Columns Stucco Trim Band @ Stucco	KM 5771 Apple Hill	Kelly Moore
Body Color #2 (applied to): Board & Battens Corner Boards @ Board & Battens Gable Siding Trim Band @ Board & Battens	KM W23 Bechamel	Kelly Moore
Body Color #3 (applied to): Stucco	KM 5826 Volcanic Rock	Kelly Moore
Trim Color (applied to): Barge Boards Eaves Fascia Garage Doors Utility Doors Stucco Trim Band @ Stucco Trim	KM 5769 Backcountry	Kelly Moore
Accent Color (applied to): Unit Doors	KM A87 Siletto	Kelly Moore
Metal Railing	KM 4883 Black Cat	Kelly Moore
Garage Door Weatherstrip (factory finish)	Match Garage Door Color	TBD

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Core Path (925) 463-1700

Material	Color	Manufacturer
Metal Roof (factory finish)	Dark Bronze (50)	Metal Sales or Equal
Gutters & Downspouts (factory finish)	Match Adjacent Color	Kelly Moore
Vinyl Windows (factory finish)	White	Ply Gen or Equal
Manufactured Stone (1/8" standard raked joints)	Shadowplay Craft Split Modular	Creative Mines or Equal
Mortar @ Stone	Misty Cove	Orco
Body Color (applied to): Board & Battens Corner Boards @ Board & Battens Louvered Panels Posts Stucco Utility Doors Trim	KM W46 Picker Fence	Kelly Moore
Trim Color (applied to): Barge Boards Braces Chimney Cap Eaves Entry Door w/ Panel System Fascia Metal Door @ Trash Enclosure Steel Beams @ Trash Enclosure	KM A87 Siletto	Kelly Moore

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Core Path (925) 463-1700

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Exterior Color & Materials | Lighting Fixture

OAT HILL MULTI-FAMILY – PARCEL B

AMERICAN CANYON, CALIFORNIA

RH HESS
DEVELOPMENT

A14
0 4 8 16

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