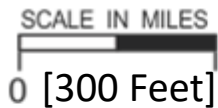


“J”

Graphics

NAPA COUNTY LAND USE PLAN 2008 – 2030



LEGEND



URBANIZED OR NON-AGRICULTURAL

- Study Area
- Cities
- Urban Residential*
- Rural Residential*
- Industrial
- Public-Institutional

OPEN SPACE

- Agriculture, Watershed & Open Space
- Agricultural Resource



TRANSPORTATION

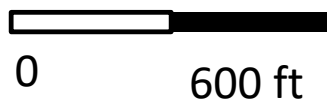
- Mineral Resource
- Limited Access Highway
- American Canyon ULL
- City of Napa RUL
- Landfill - General Plan
- Road
- Airport
- Railroad
- Airport Clear Zone

* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations



LEGEND

-  Zoning
-  Parcels



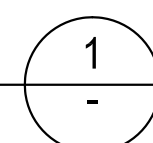
ZONING MAP



Existing Conditions



SITE & ROOF PLAN
Scale: 1/8" = 1'-0"



SHEET INDEX RESIDENCE:

- Architectural
- A0.1 Sheet Index, Project Data, Vicinity Map, Site & Roof Plan
- A1.1 Site Plan
- A2.1 Existing Lower Floor Plan
- A2.2 Existing Upper Floor Plan
- A2.3 Proposed Lower Floor Plan
- A2.4 Proposed Upper Floor Plan
- A3.1 Existing Elevations
- A3.2 Existing Elevations
- A3.3 Proposed Elevations
- A3.4 Proposed Elevations

PROJECT ADDRESS:

1677 Lewelling Lane
St. Helena, CA

APPLICANTS / PROPERTY OWNER:

Bill Taplin
(925) 963-1626
1677 Lewelling Lane
St. Helena, CA

SCOPE OF WORK:

AS-BUILT ARCHITECTURAL DRAWINGS

APN:

SPRINKLERS: Fire Sprinklers to be provided

BUILDING AREAS:

Private:

Vineyard / Utility:	1,054 sf
Stair	129 sf
Office	708 sf
Porch	331 sf
Total:	2,222 sf

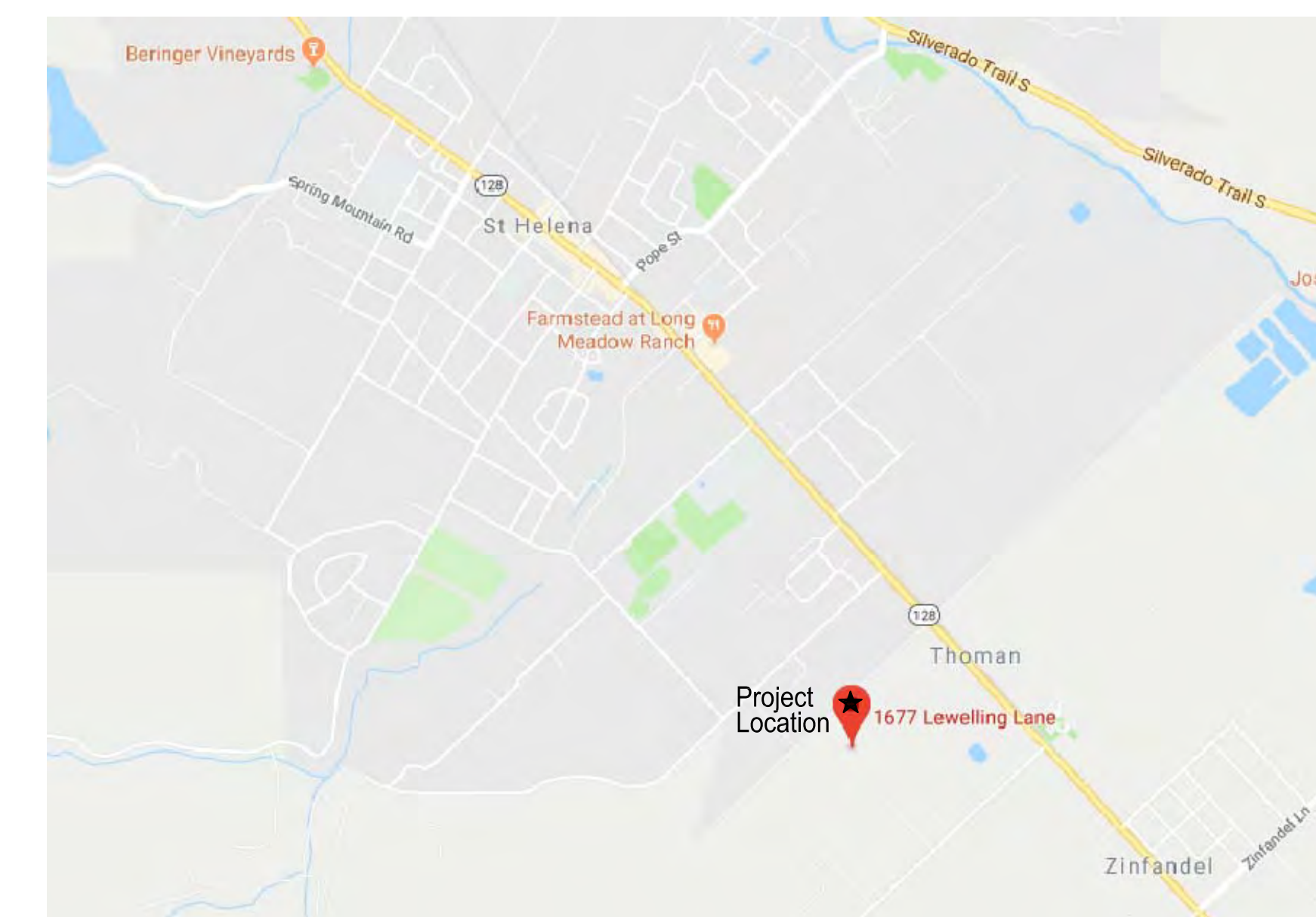
Accessory:

Tasting	636 sf
RR	79 sf
Hall	94 sf
Storage	92 sf
Total:	901 sf

Production (Conditioned):

Equipment	2,456 sf
Mechanical	117 sf
Storage	92 sf
Bath	49 sf
Total:	2,714 sf

Total Winery Conditioned Space: 901 + 2,714 = 3,615



Vicinity Map



Not to Scale

Revision	Date
△ Plan check comments	1/30/20

Structural:

Architectural Drafting:
n2k CAD Services
314 12th Street
Petaluma, CA 94452
info@n2kCAD.com

Drawings for:
Taplin Cellars Winery
1677 Lewelling Lane
St. Helena CA

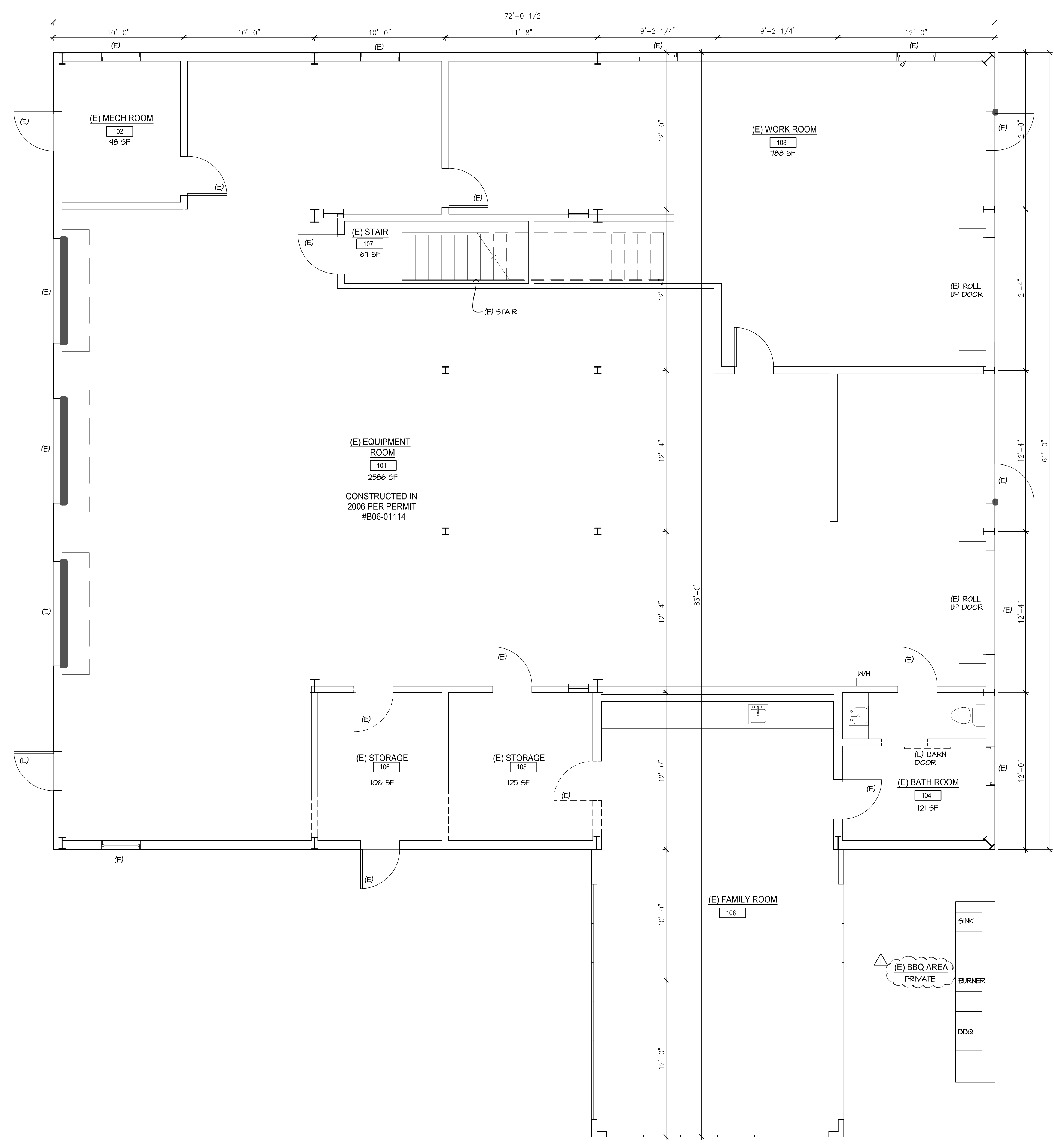
DRAWN n2k
ISSUED Permit
DATE March 30, 2020
SCALE AS NOTED
0 1/4" 1/2" 1"
SHEET

A0.1

Revision	Date
△ Plan check comments	1/30/20

LEGEND:

- ===== EXISTING WALLS
- DEMO WALLS



NORTH
EXISTING MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"

1
-

Structural:

Architectural Drafting:
 n2k CAD Services
 314 12th Street
 Petaluma, CA 94452
 info@n2kCAD.com

Drawings for:
Taplin Cellars Winery
 1677 Lewelling Lane
 St. Helena CA

DRAWN
 n2k
 ISSUED
 Permit
 DATE
 March 30, 2020
 SCALE
 AS NOTED

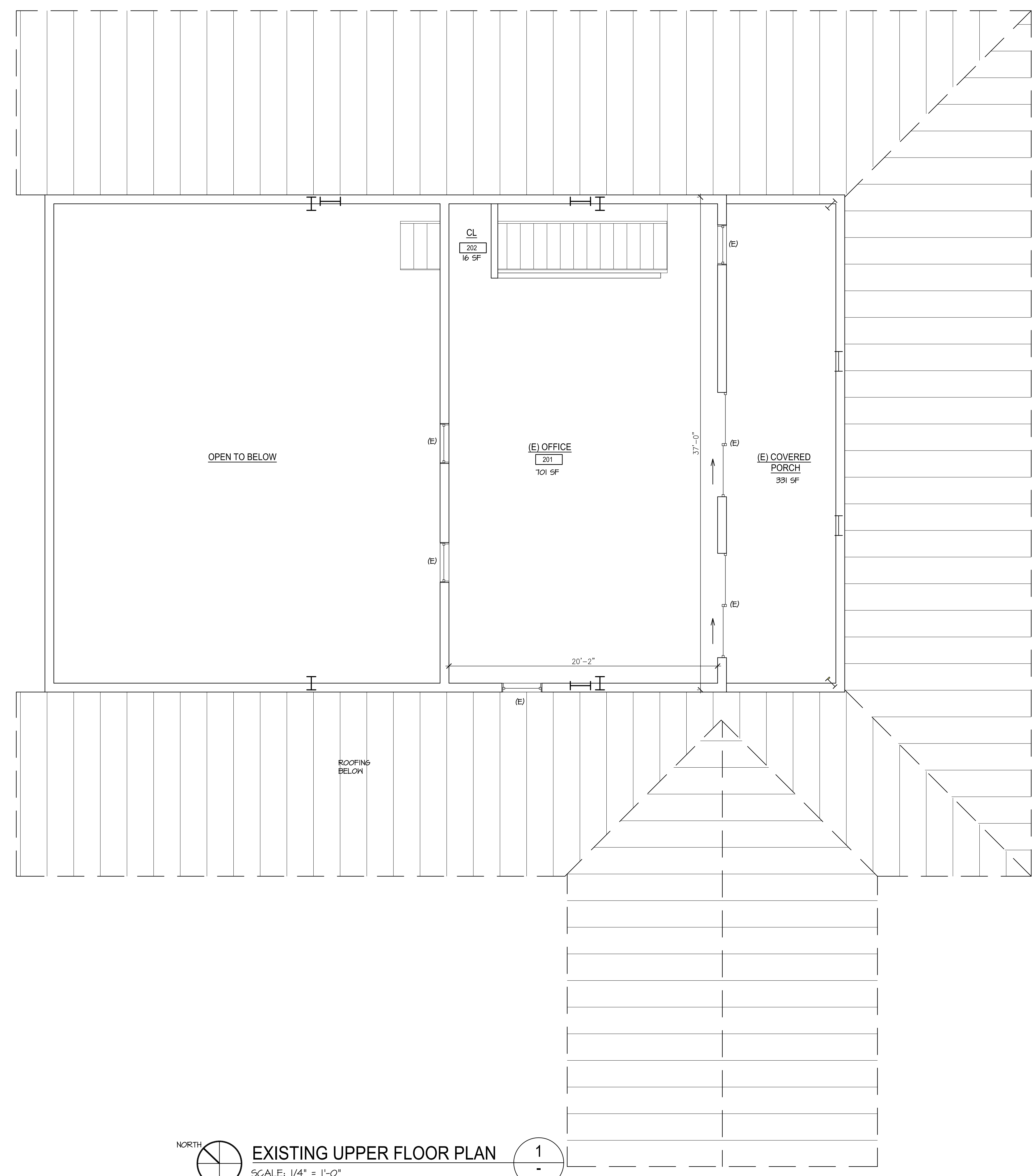
 SHEET

A2.1

Revision	Date
△ Plan check comments	1/30/20

LEGEND:

- ===== EXISTING WALLS
- DEMO WALLS



Structural:

Architectural Drafting:
 n2k CAD Services
 314 12th Street
 Petaluma, CA 94452
 info@n2kCAD.com

Drawings for:
Taplin Cellars Winery
 1677 Lewelling Lane
 St. Helena CA

DRAWN
n2k
 ISSUED
Permit
 DATE
March 30, 2020
 SCALE
AS NOTED

 SHEET

A2.2

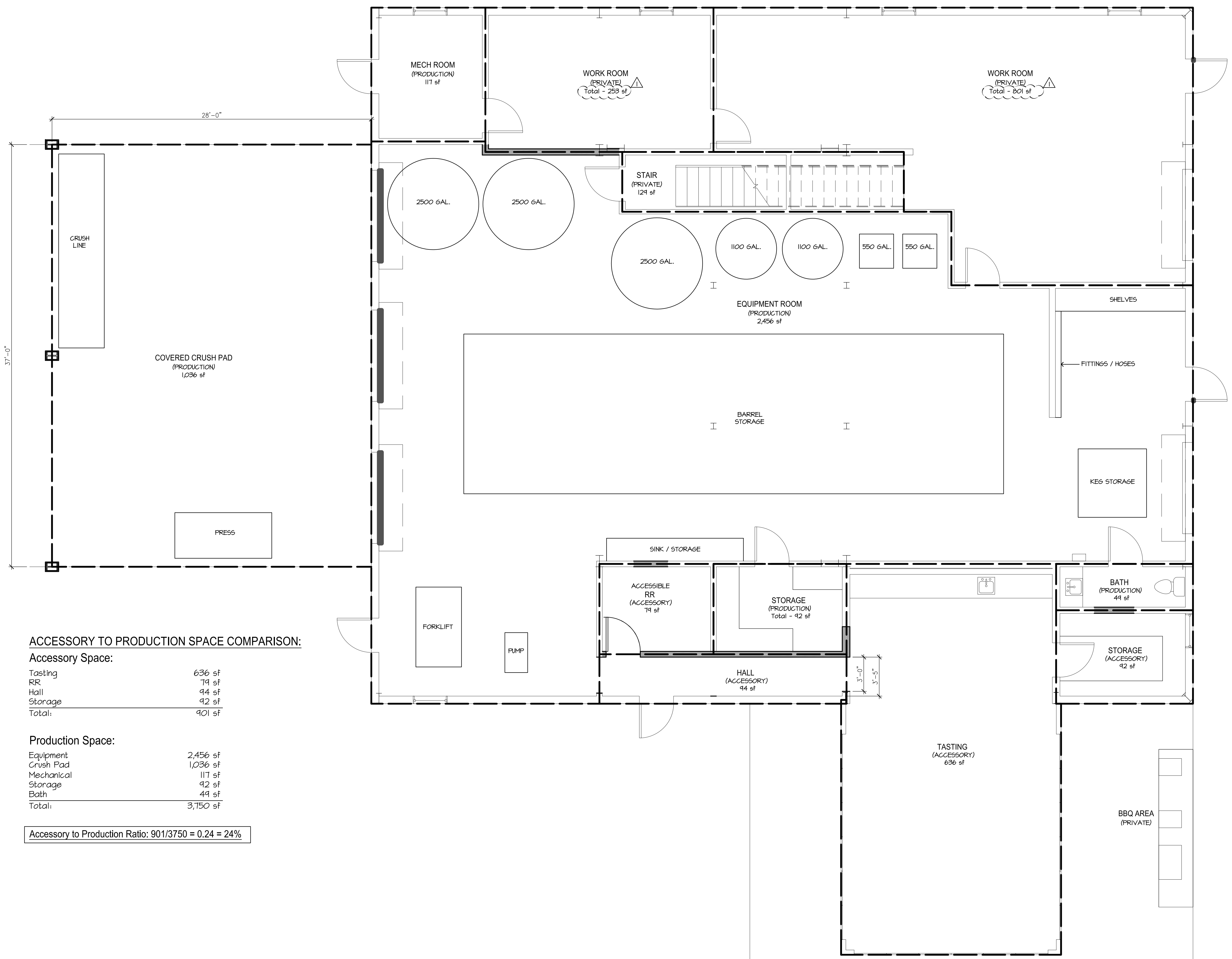
NORTH **EXISTING UPPER FLOOR PLAN**
 SCALE: 1/4" = 1'-0"

1
-

Revision	Date
△ Plan check comments	1/30/20

LEGEND:

- EXISTING WALLS
- PROPOSED WALLS



ACCESSORY TO PRODUCTION SPACE COMPARISON:

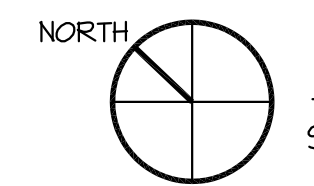
Accessory Space:

Tasting RR	636 sf
Hall	44 sf
Storage	42 sf
Total:	901 sf

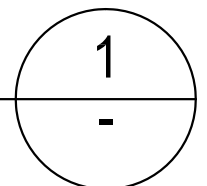
Production Space:

Equipment	2,456 sf
Crush Pad	1,036 sf
Mechanical	117 sf
Storage	42 sf
Bath	44 sf
Total:	3,750 sf

Accessory to Production Ratio: $901/3750 = 0.24 = 24\%$



PROPOSED MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"



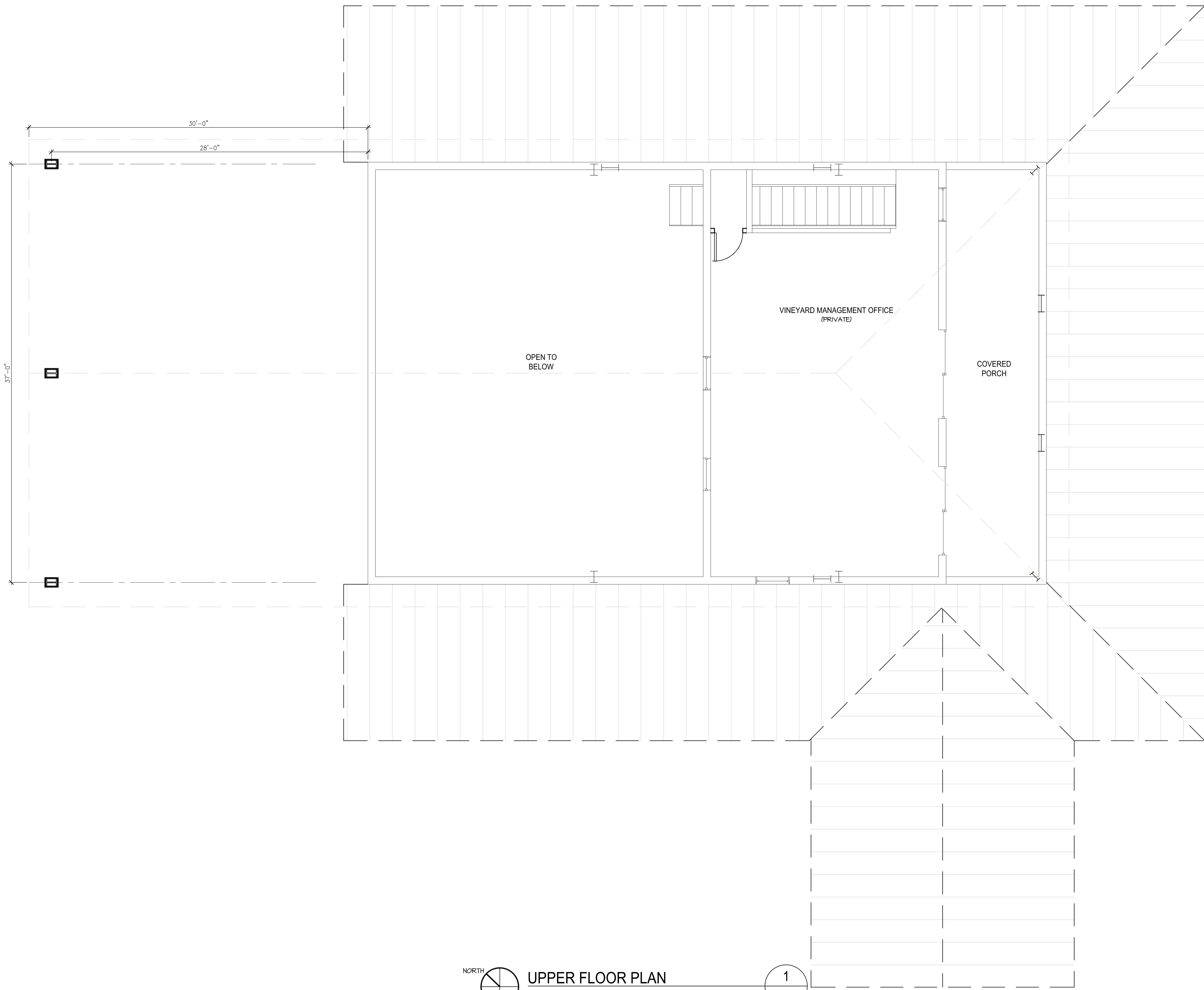
Structural:

Architectural Drafting:
n2k CAD Services
314 12th Street
Petaluma, CA 94452
info@n2kCAD.com

Drawings for:
Taplin Cellars Winery
1677 Lewelling Lane
St. Helena CA

DRAWN	n2k
ISSUED	Permit
DATE	March 30, 2020
SCALE	AS NOTED
SHEET	

A2.3



LEGEND:

— EXISTING WALLS

— PROPOSED WALLS

Revision	Date
△ Plan check comments	1/30/20

Structural:

Architectural Drafting:
 n2k CAD Services
 314 12th Street
 Petaluma, CA 94452
 info@n2kCAD.com

Drawings for:
Taplin Cellars Winery
 1677 Lewelling Lane
 St. Helena CA

DRAWN
n2k

ISSUED
Permit

DATE
March 30, 2020

SCALE
AS NOTED

0 1/4" 1/2" 1"

SHEET

A2.4

NORTH

UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

1

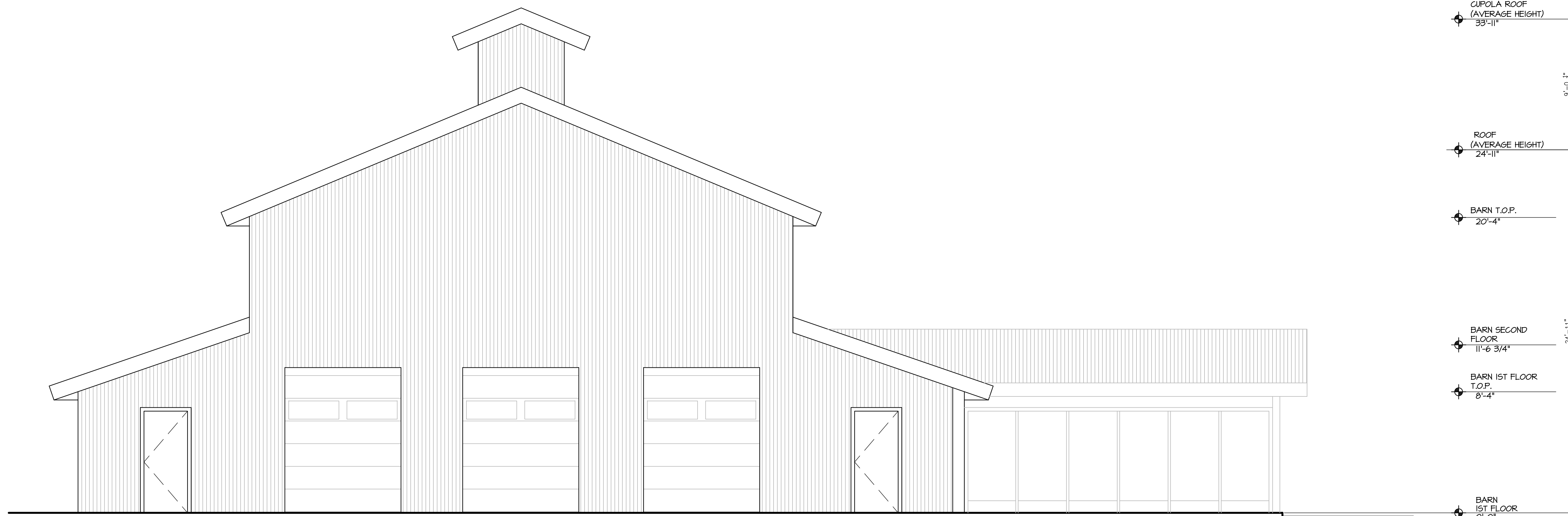
Revision	Date
△ Plan check comments	1/30/20



EXISTING SIDE ELEVATION - WEST

SCALE: 1/4" = 1'-0"

2
-



EXISTING FRONT ELEVATION - NORTH

SCALE: 1/4" = 1'-0"

1
-

Structural:

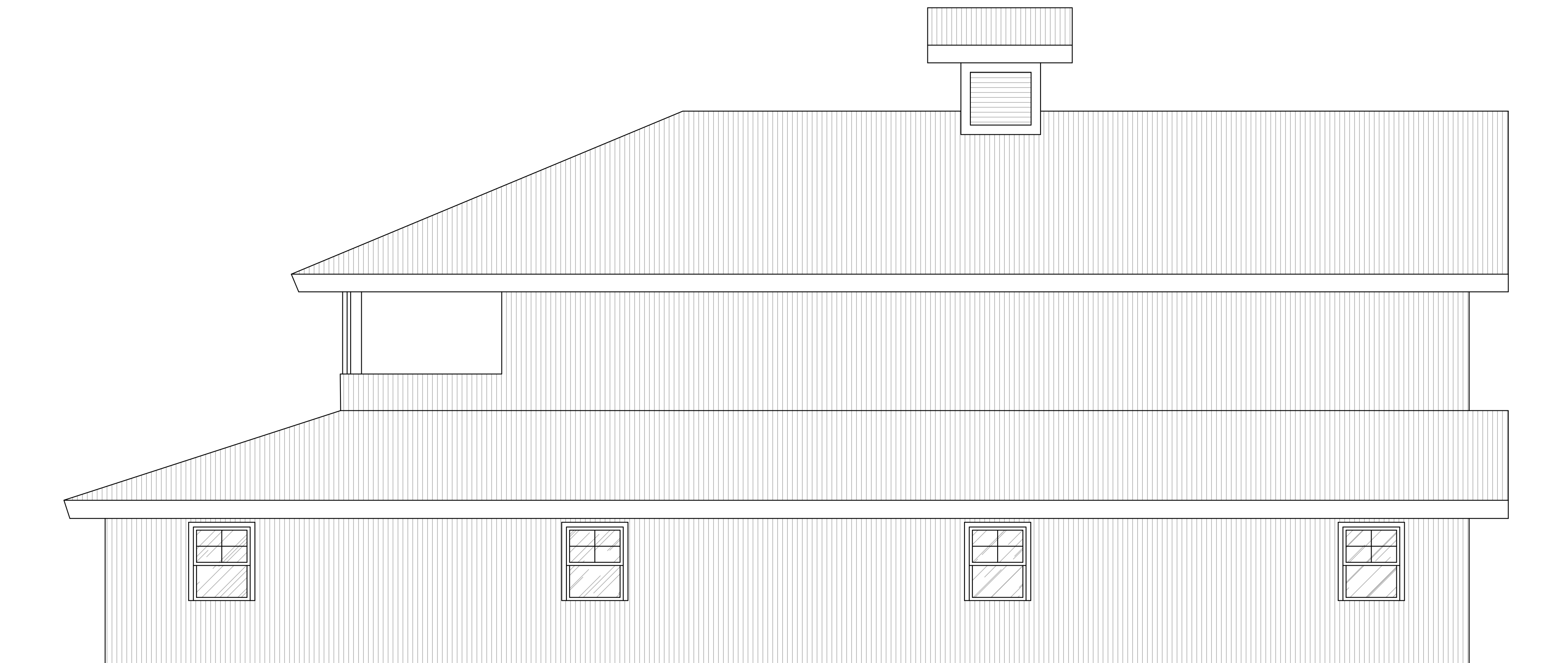
Architectural Drafting:
n2k CAD Services
314 12th Street
Petaluma, CA 94452
info@n2kCAD.com

Drawings for:
Taplin Cellars Winery
1677 Lewelling Lane
St. Helena CA

DRAWN
n2k
ISSUED
Permit
DATE
March 30, 2020
SCALE
AS NOTED
0 1/4 1/2 1'
SHEET

A3.1

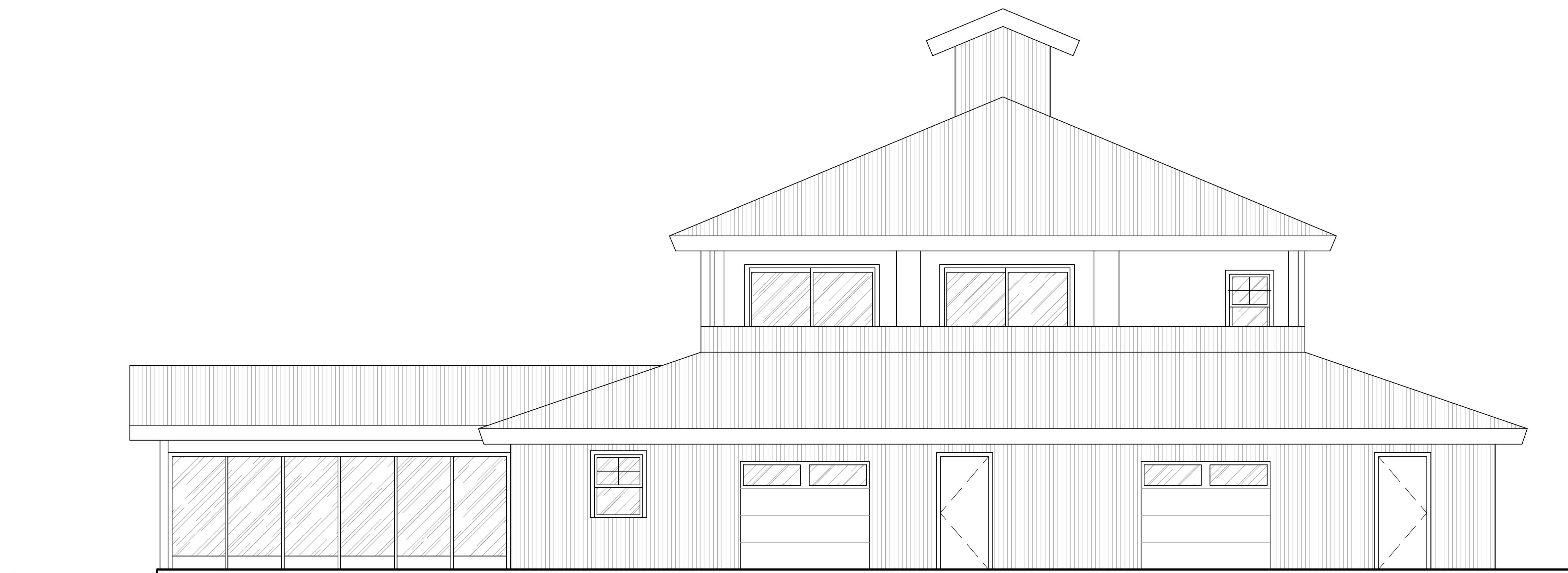
Revision	Date
△ Plan check comments	1/30/20



EXISTING SIDE ELEVATION - EAST

SCALE: 1/4" = 1'-0"

2
-



EXISTING REAR ELEVATION - SOUTH

SCALE: 1/4" = 1'-0"

1
-

Structural:

Architectural Drafting:
n2k CAD Services
314 12th Street
Petaluma, CA 94452
info@n2kCAD.com

Drawings for:

Taplin Cellars
Winery

1677 Lewelling Lane
St. Helena CA

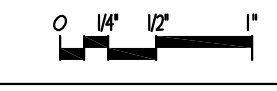
DRAWN
n2k

ISSUED
Permit

DATE
March 30, 2020

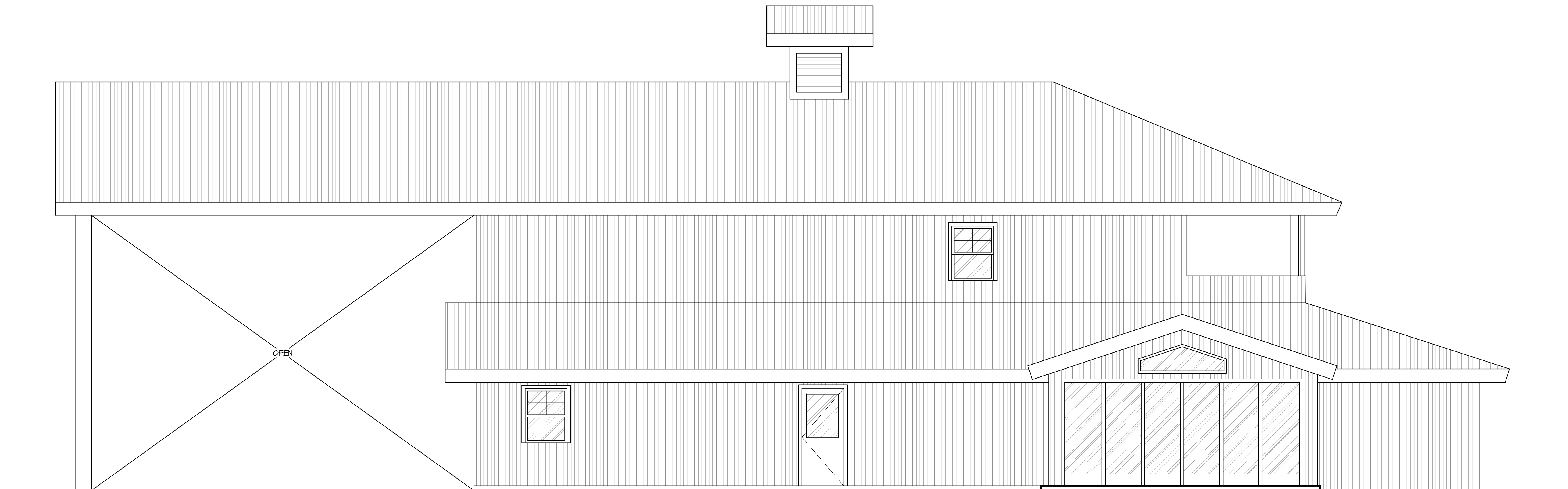
SCALE
AS NOTED

SHEET

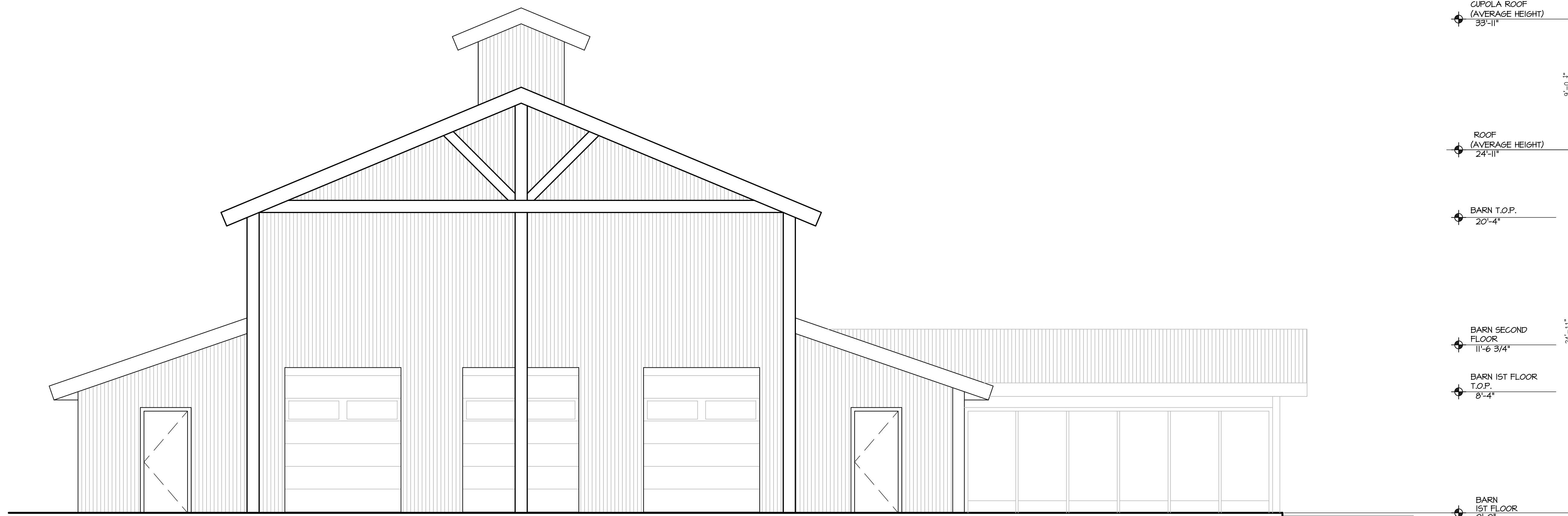


A3.2

Revision	Date
△ Plan check comments	1/30/20



PROPOSED SIDE ELEVATION - WEST 2
SCALE: 1/4" = 1'-0"



- ◆ CUPOLA ROOF (AVERAGE HEIGHT) 33'-11"
- ◆ ROOF (AVERAGE HEIGHT) 24'-11"
- ◆ BARN T.O.P. 20'-4"
- ◆ BARN SECOND FLOOR 11'-6 3/4"
- ◆ BARN 1ST FLOOR T.O.P. 8'-4"
- ◆ BARN 1ST FLOOR 0'-0"

PROPOSED FRONT ELEVATION - NORTH 1
SCALE: 1/4" = 1'-0"

Structural:

Architectural Drafting:
n2k CAD Services
314 12th Street
Petaluma, CA 94952
info@n2kCAD.com

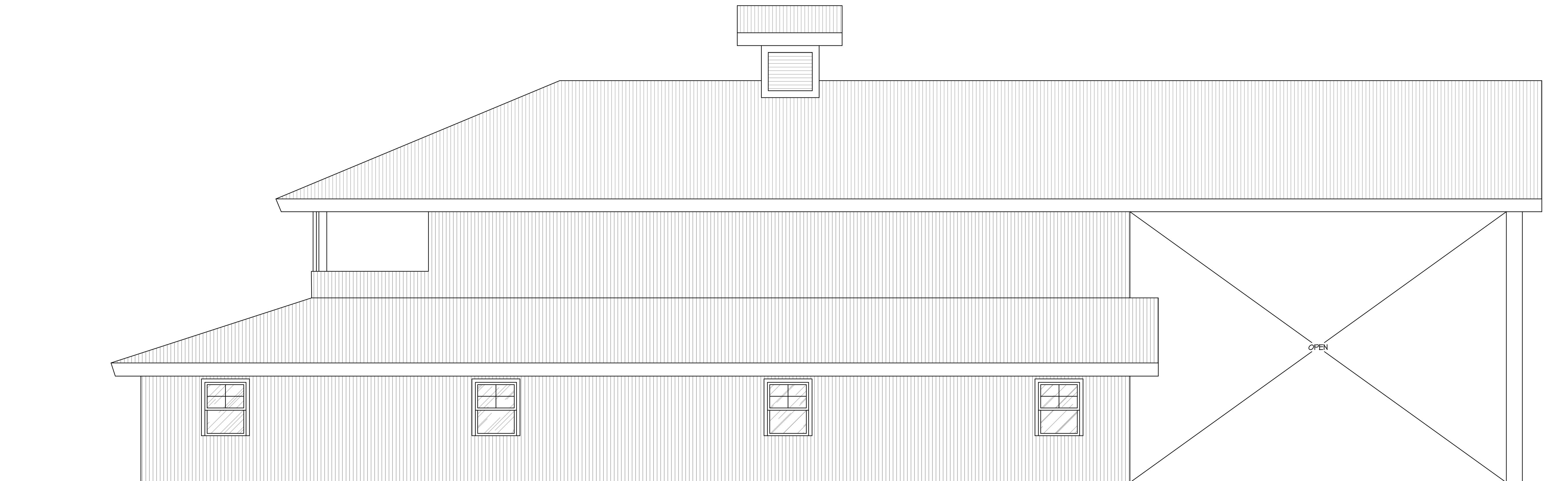
Drawings for:
Taplin Cellars Winery

1677 Lewelling Lane
St. Helena CA

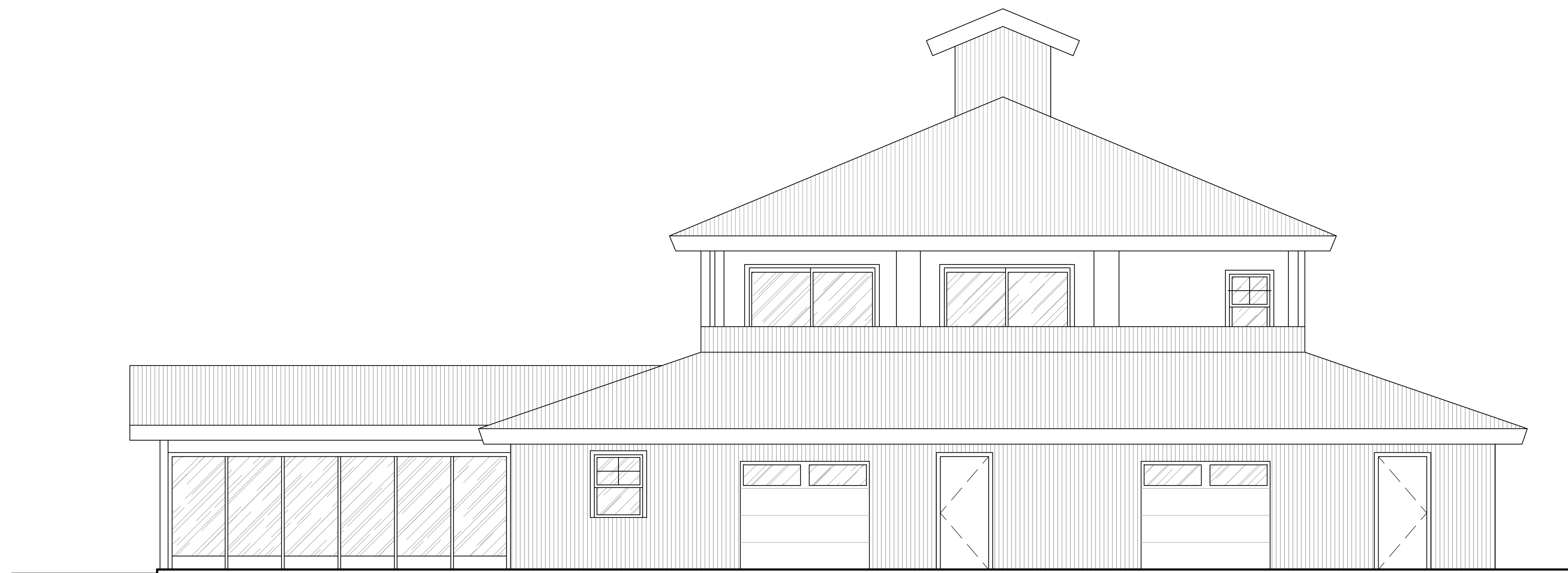
DRAWN
n2k
ISSUED
Permit
DATE
March 30, 2020
SCALE
AS NOTED
0" 1/4" 1/2" 1"

SHEET
A3.3

Revision	Date
△ Plan check comments	1/30/20



△ PROPOSED SIDE ELEVATION - EAST (2) -
SCALE: 1/4" = 1'-0"



△ PROPOSED REAR ELEVATION - SOUTH (1) -
SCALE: 1/4" = 1'-0" (NO CHANGE TO EXISTING) △

Structural:

Architectural Drafting:
n2k CAD Services
314 12th Street
Petaluma, CA 94452
info@n2kCAD.com

Drawings for:
Taplin Cellars Winery
1677 Lewelling Lane
St. Helena CA

DRAWN
n2k
ISSUED
Permit
DATE
March 30, 2020
SCALE
AS NOTED
0 1/4" 1/2" 1"
SHEET

A3.4

PROJECT STATEMENT

THESE PLANS WERE PREPARED TO SUPPORT A USE PERMIT TO ESTABLISH A 20,000 GALLON PER YEAR WINERY. THE REQUESTED IMPROVEMENTS TO SUPPORT THE WINERY INCLUDE:
 -CONVERSION OF THE EXISTING STEEL BARN INTO A 20,000 GALLON WINERY
 -ADD A COVER CRUSH AREA
 -CONSTRUCT A CONCRETE MECHANICAL PAD
 -IMPROVE/UPGRADE ACCESS DRIVEWAY TO CURRENT ROAD STREET STANDARDS
 -ADD SIX PARKING SPACES FOR GUEST AND EMPLOYEES
 -CONSTRUCT A CONCRETE PAD TO CONNECT PARKING AREA TO FUTURE WINERY
 -ADD LANDSCAPE/LAWN AREAS

FOLLOWING IS A LIST OF ASSOCIATED REPORTS AND REQUESTS TO SUPPORT THIS MODIFICATION WHICH WERE PREPARED BY THIS OFFICE:
 STORMWATER CONTROL PLAN
 WASTEWATER FEASIBILITY REPORT
 WATER AVAILABILITY REPORT
 WATER SYSTEM FEASIBILITY REPORT

THIS SET OF PLANS & REPORTS SHALL BE CONSIDERED AS A COMPLETE SET TO SUPPORT THE WINERY APPLICATION AND SHALL NOT BE USED FOR ANY OTHER PURPOSES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION.

PROJECT PERMITS

DATE:	PERMIT #:	DESCRIPTION:
06/27/2019	E19-00344	SITE EVALUATION (APPROVED)
02/20/2015	B15-00244	BARN IMPROVEMENTS
06/21/2011	B11-00603	DWELLING GUEST ALTERATION (FINALED)
08/10/2010	B10-00872	NEW PERGOLA STRUCTURE (FINALED)
06/30/2006	B06-01114	AG BUILDING WITH BATH (FINALED)

OTHER PERMITS MAY BE RELATED TO THIS PROJECT. DELTA CONSULTING & ENGINEERING IS NOT RESPONSIBLE FOR ANY PREVIOUS PERMITTING.

STORMWATER REPORT NOTES

THE REPORTS REFERENCED BELOW HAVE BEEN PREPARED FOR THIS PROJECT BY DELTA CONSULTING & ENGINEERING TO ACCOMPANY THE USE PERMIT AND/OR USE PERMIT MODIFICATION. THE REPORT OUTLINES THEORETICAL CONSTRUCTION SEDIMENT AND EROSION MEASURES TO BE IMPLEMENTED AFTER CONSTRUCTION IS COMPLETE. AN EROSION AND SEDIMENT CONTROL PLAN (ESCP) SHALL BE INCLUDED WITH THE CONSTRUCTION PLANS AT THE TIME OF BUILDING PERMIT.

THIS PROJECT REQUIRES FILING OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WITH THE STATE OF CALIFORNIA STORM WATER MULTIPLE APPLICATION AND REPORT TRACKING SYSTEMS (SMARTS) PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT.

NAPA COUNTY PLANNING, BUILDING, AND ENVIRONMENTAL SERVICES.
 A STORMWATER CONTROL PLAN (SCP) DATED FEBRUARY 2020 HAS BEEN PREPARED FOR THIS PROJECT.

SURVEY/TOPOGRAPHY NOTES

- THE BOUNDARY ON THESE DRAWINGS DOES NOT REPRESENT A PROPERTY LINE SURVEY. PROPERTY LINES SHOWN HEREON ARE BASED ON RECORD DATA, AND MAY NOT REPRESENT THE TRUE POSITIONS OF THE LINES.
- THE TOPOGRAPHY IS BASED ON A FIELD SURVEY OF APRIL 19, 2019 PERFORMED BY TERRA FIRMA SURVEYS, INC.
- SINCE COMPLETION OF THE FIELD SURVEY, CERTAIN STRUCTURES MAY HAVE BEEN DEMOLISHED AND/OR FIELD CONDITIONS HAVE BEEN ALTERED. AS SUCH, CONTRACTOR UNDERSTANDS, ACCEPTS, AND WILL ACCOMMODATE FOR CHANGED FIELD CONDITIONS WHICH ARE NOT SHOWN ON THESE PLANS DUE TO THE LACK OF AN UPDATED FIELD SURVEY. IF CONTRACTOR FINDS FIELD CONDITIONS HAVE BEEN ALTERED TO THE POINT WHERE ENGINEERING DESIGNS MUST BE ALTERED FOR CONSTRUCTION, CONTRACTOR SHALL STOP WORK AND NOTIFY THE PROJECT OWNER AND ENGINEERING TEAM FOR DIRECTION, ADDITIONAL SURVEYING, AND POSSIBLE REDESIGN.
- THE VERTICAL DATUM OF THIS MAP IS NAVD 88
- SITE BENCHMARK DESCRIPTION: SET SPIKE 500 IN APPROXIMATE CL OF VINEYARD AVENUE, 16.2' NORTHEAST OF GATE POST AND 12.2' SOUTHWEST OF VINE ROW ANCHOR AT CORNER OF VINEYARD. ELEVATION = 232.84'
- DELTA CONSULTING & ENGINEERING ASSUMES NO LIABILITY, REAL OR ALLEGED, REGARDING THE ACCURACY OF THE TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS.
- EXISTING SURVEY MONUMENTS SHALL BE PROTECTED AT ALL TIMES AND IF DAMAGED OR ALTERED IN ANY WAY, REPLACED TO THEIR ORIGINAL CONDITION AT THE EXPENSE OF THOSE RESPONSIBLE FOR THE DAMAGE OR ALTERATION.
- THE GENERAL CONTRACTOR OR PRIMARY CONTRACTOR WORKING ON THE PROJECT SHALL COORDINATE WITH PROJECT SURVEYOR PRIOR TO DEMOLITION OF ANY PERMANENT AND/OR TEMPORARY SURVEY MONUMENTS. FAILURE TO DO SO WILL RESULT IN REPLACEMENT OF THE MONUMENTS AT THE CONTRACTORS EXPENSE IF DEMOLITION, DAMAGE, OR ALTERATION OF A SURVEY MONUMENT OCCURS.
- SHADED BACKGROUND REPRESENTS EXISTING TOPOGRAPHIC FEATURES.

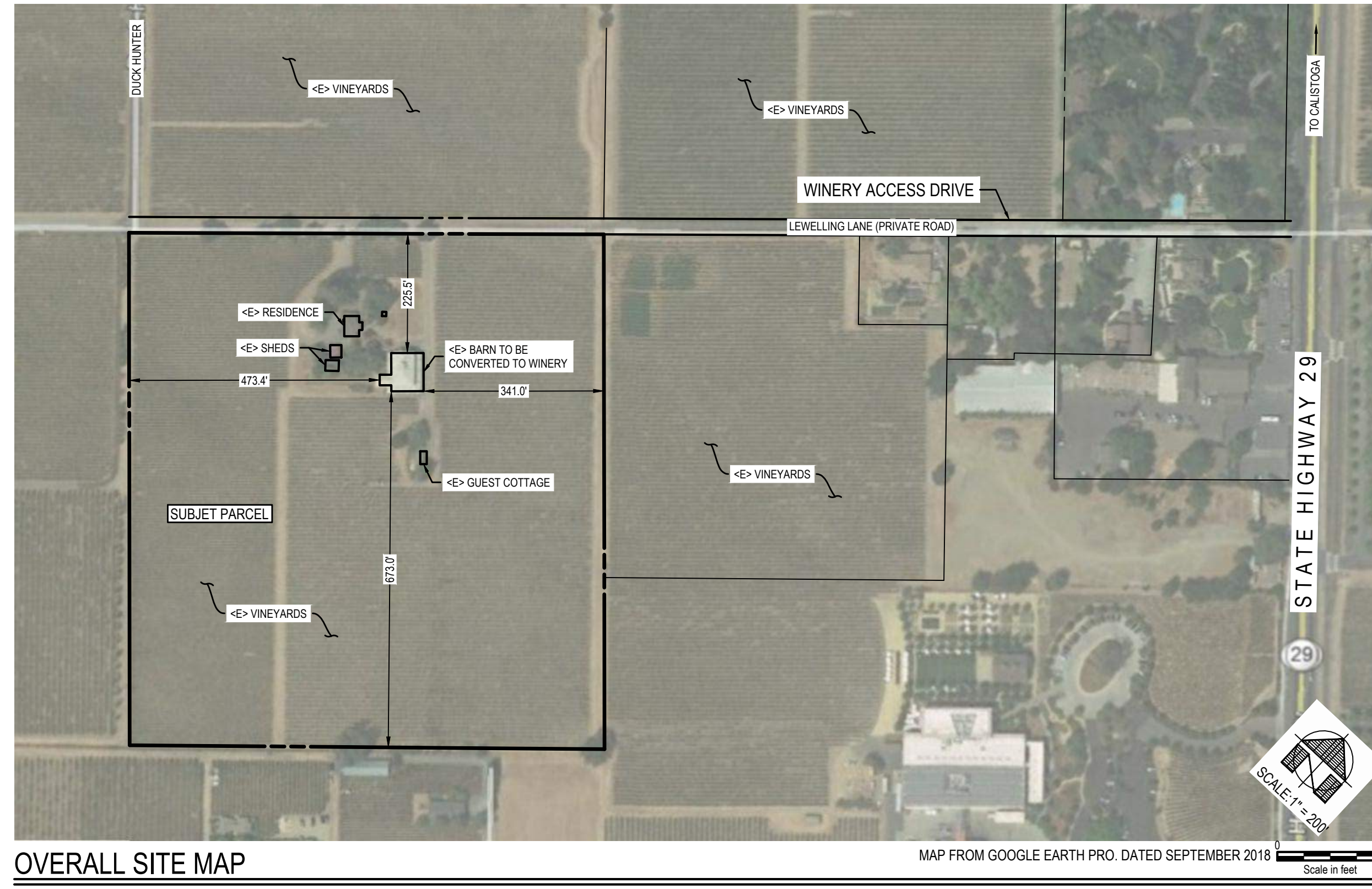
ESTIMATED EARTHWORK QUANTITIES

- THE CUT AND FILL QUANTITIES LISTED BELOW ARE ESTIMATES ONLY AND WILL VARY DUE TO FACTORS INCLUDING BUT NOT LIMITED TO SOIL TYPE, SOIL COMPACTION AND BULKING FACTORS, GRADING PRACTICES, ACTUAL SOIL COMPACTION VALUES ACHIEVED IN THE FIELD, SOIL MOISTURE CONTENT, BUILDING PAD SECTION THICKNESS, DRIVEWAY SECTION THICKNESS, AND HARDSCAPE SECTION THICKNESS.
- THE FOLLOWING METHODS AND ASSUMPTIONS HAVE BEEN USED WHEN DEVELOPING THE ESTIMATED CUT AND FILL QUANTITIES:
 2.1. CUT AND FILL QUANTITIES LISTED BELOW HAVE BEEN ESTIMATED USING A VOLUMETRIC ANALYSIS IN AUTOCAD CIVIL 3D SOFTWARE. THE VOLUMETRIC ANALYSIS COMPARES A THREE-DIMENSIONAL SURFACE MODEL OF THE EXISTING GROUND SURFACE ELEVATION PROVIDED BY THE PROJECT SURVEY WITH A THREE-DIMENSIONAL MODEL OF THE PROPOSED FINISHED SURFACE ELEVATION BASED ON THE GRADING CALL-OUTS PROVIDED IN THE GRADING PLAN ON SHEET(S) UP1.8.
 2.2. THE VOLUMETRIC ANALYSIS ASSUMES EQUAL DENSITY OF ALL CUT AND FILL MATERIAL (1:1 RATIO OF COMPACTION AND BULKING FACTORS).
- CUT AND FILL QUANTITIES FROM THE VOLUMETRIC ANALYSIS HAVE NOT BEEN ADJUSTED FOR HARDSCAPE OR BUILDING PAD SECTION THICKNESS, DRIVEWAY SECTION THICKNESS, FOUNDATION/FOOTING EXCAVATION, RETAINING WALL THICKNESS, AND/OR ANY OTHER SITE IMPROVEMENTS TO REFLECT EARTHWORK REQUIRED TO REACH SUB-GRADE.
- CUT AND FILL QUANTITIES LISTED BELOW DO NOT INCLUDE VOLUMES FOR POOLS, SPAS, UTILITY TRENCHES, FOUNDATION FOOTINGS, STORMWATER DETENTION BASINS OR BIO-RETENTION FACILITIES, CAVES, SEPTIC AND/OR OTHER SUB-SURFACE TANKS, AND ANY OTHER UTILITY EXCAVATIONS.
- SOIL EXPORT/IMPORTATION SHALL BE CONDUCTED ONLY AFTER APPROVAL OF A GRADINGS/SEDIMENT CONTROL PLAN AND PERMIT.
- SEE THE TABLE BELOW FOR THE PROJECT'S ESTIMATED EARTHWORK QUANTITIES.

ESTIMATED PROJECT EARTHWORK		
	UNADJUSTED QUANTITIES (CY)	ADJUSTED QUANTITIES (CY)
CUT	53	53
FILL	96	96
ESTIMATED TOTAL EARTHWORK		43 IMPORT

• THE APPROXIMATE AREA OF DISTURBED SOIL IS 54,237 SF.

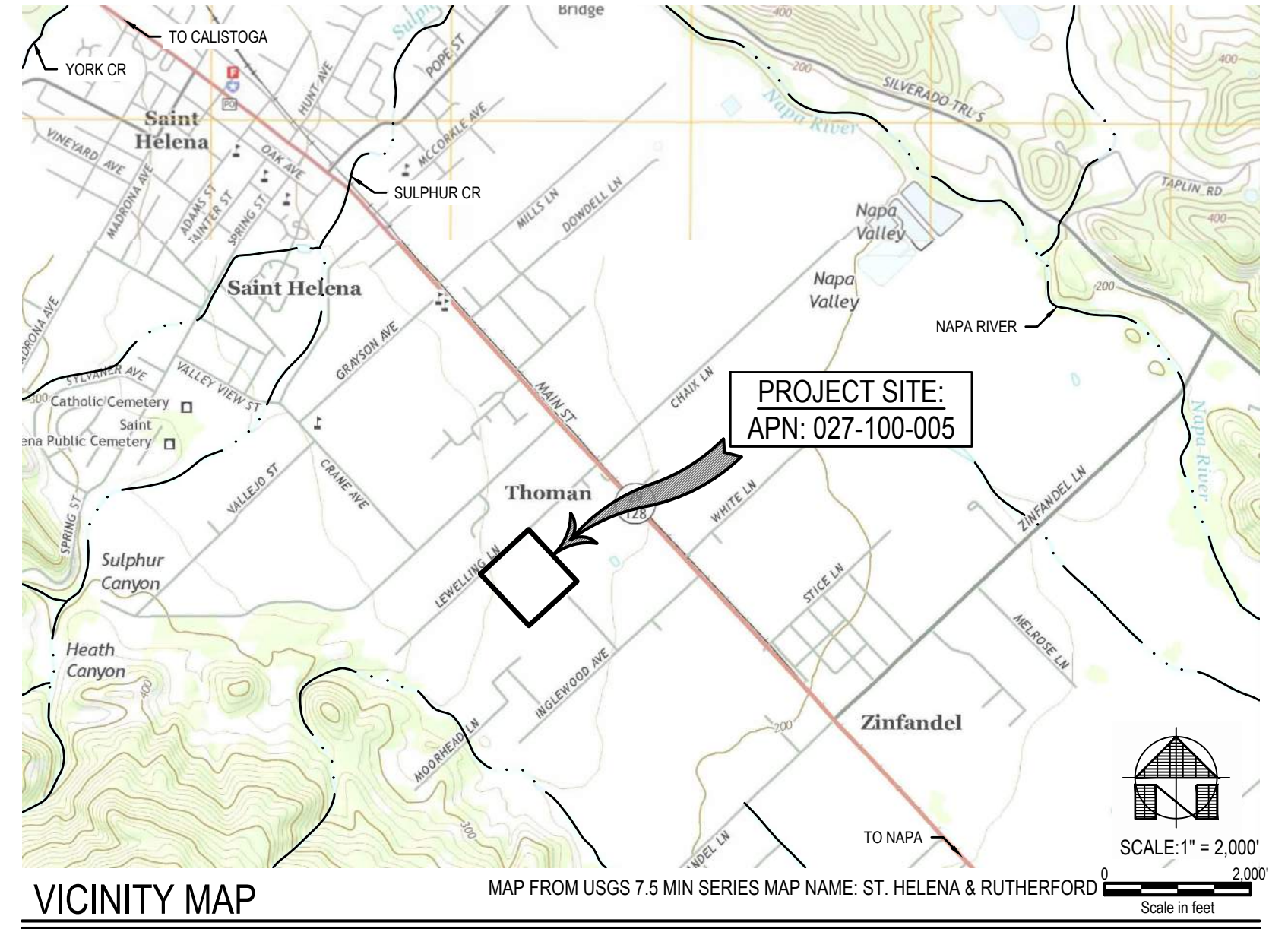
USE PERMIT PLANS FOR:
TAPLIN CELLARS WINERY
 1677 LEWELLING LANE
 ST. HELENA, CALIFORNIA, 94574



OVERALL SITE MAP

PROJECT INFORMATION

OWNER:	TAPLIN ASSOCIATES, LLC 1677 LEWELLING LANE ST. HELENA, CA 94574 925-963-1626	PLANNING CONSULTING:	MONTEVERDI CONSULTING, LLC GEORGE MONTEVERDI P.O. BOX 6079 NAPA, CA 94581 707-761-2516
SITE ADDRESS:	1677 LEWELLING LANE ST. HELENA, CA 94574	ARCHITECT/DRAFTER:	n2k CAD SERVICES 319 12th STREET PETALUMA, CA 94952 info@n2kCAD.com
ASSESSOR PARCEL #:	027-100-005	PARCEL SIZE:	20 ACRES
COUNTY ZONING:	AP	SURVEYOR:	TERRA FIRMA SURVEYS, INC. P.O. BOX 533 ST. HELENA, CA 94574 707-963-7985
CIVIL ENGINEER:	DELTA CONSULTING & ENGINEERING, INC. 1104 ADAMS STREET, SUITE 203 ST. HELENA, CA 94574 ANDREW SIMPSON, P.E. DANE HOMER, P.E. LUSIVIA ARALDO 707-963-8456		

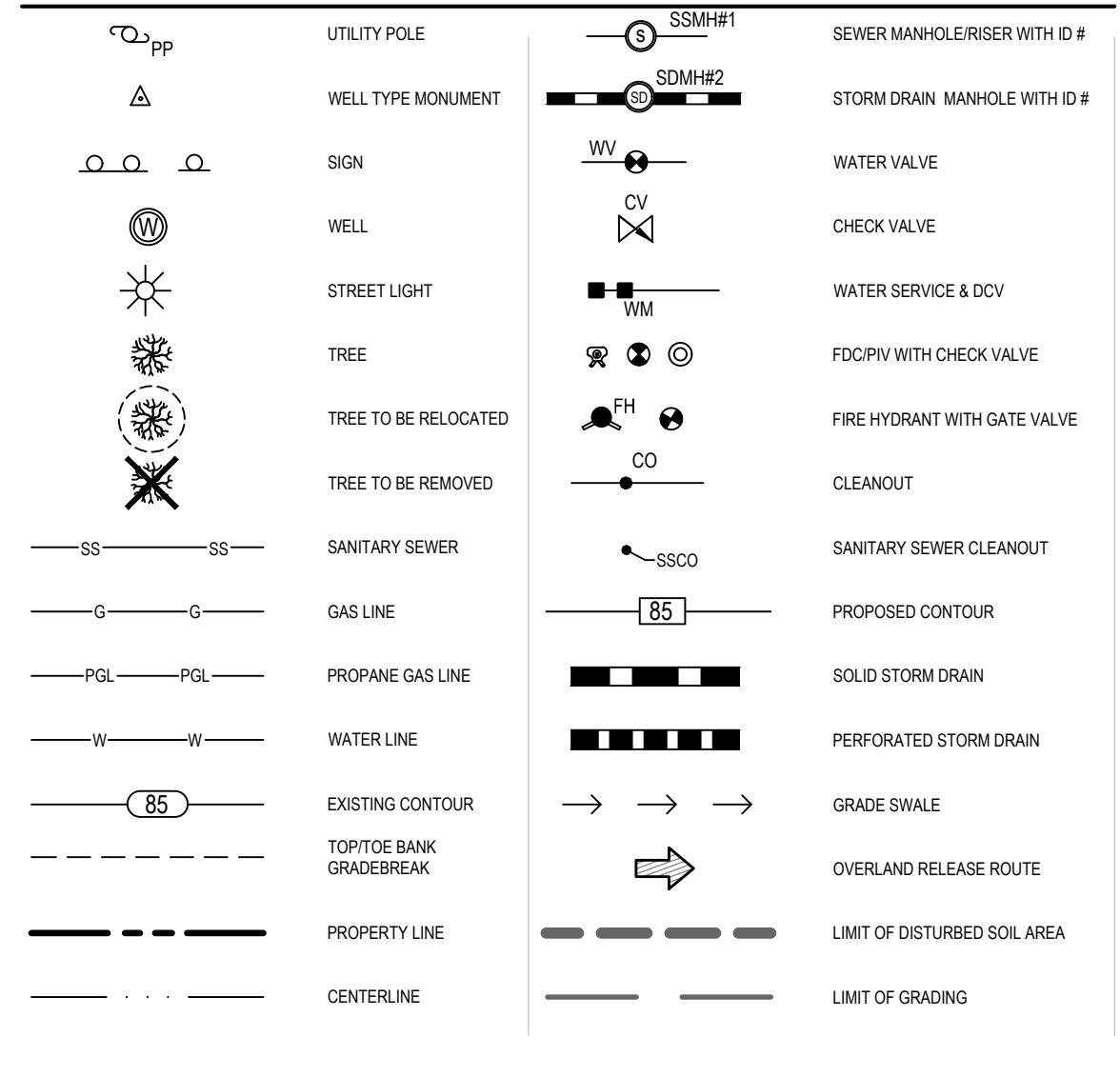


VICINITY MAP

ABBREVIATIONS

AB	AGGREGATE BASE	FIRM	FLOOD INSURANCE RATE MAP	R	RADIUS
AC	ASPHALT CONCRETE	FL	FLOW LINE	RC	RELATIVE COMPACTION
AD	AREA DRAIN	FM	FORGE MAN	RT	RIGHT BANK
ARV	AIR RELEASE VALVE	FS	FINISH SURFACE	ROW	RIGHT OF WAY
BC	BEGIN CURVE	GB	GRADE BREAK	RWL	RAIN WATER LEADER
BFE	BASE FLOOD ELEVATION PER FIRM	GL	GUTTER LINE	RCP	REINFORCED CONCRETE PIPE
BM	BENCHMARK	GR	GRAVEL	(S)	SOUTH
BO	BLOWOFF	HPB	HIGH DUTY PULL BOX	S	SLOPE (FEET/FOOT)
BOR	BEGIN CURB RETURN	HP	HIGH POINT	SAD	SEE ARCHITECTURAL DRAWINGS
BVC	BEGIN VERTICAL CURVE	IE	INVERT ELEVATION	SD	STORM DRAIN
BS	BOTTOM OF STAIRS	INST	INSTALL	SOP	SUBDRAIN PIPE
BSL	BUILDING SETBACK LINE	INV	INVERT	SED	SEE ELECTRICAL DRAWINGS
BSW	BACK OF SIDEWALK	IP	IRON PIPE	SLE	SEE LANDSCAPE DRAWINGS
CB	CATCH BASIN	IRR	IRRIGATION	SLV	SLOPE
C&G	CURB AND GUTTER	JP	JOINT POLE	SMD	SEE MECHANICAL DRAWINGS
CMU	CONCRETE MASONRY UNIT	LF	LINEAL FEET/FOOT	SP	SEE PLUMBING DRAWINGS
CP	CONCRETE PIPE	LH	LAMP HOLE	SSP	SANITARY SEWER CLEAN OUT
CSB	CREEK SETBACK LINE	LPB	LIGHT DUTY PULL BOX	SSD	SEE STRUCTURAL DRAWINGS
CL	CENTERLINE	LP	LOW POINT	SSPH	SANITARY SEWER FLUSH HOLE
CO	CLEANOUT	PGL	PROPANE GAS LINE	SSMH	SANITARY SEWER MANHOLE
COMM	COMMUNICATION	MH	MANHOLE	SSMH#1	SANITARY SEWER MANHOLE WITH ID #
CV	CHECK VALVE	MON	MONUMENT	SSMH#2	STORM DRAIN MANHOLE WITH ID #
CW	COLD WATER	MPB	MEDIUM DUTY PULL BOX	WV	WATER VALVE
DCV	DOUBLE CHECK VALVE	(N)	NORTH	CV	CHECK VALVE
DG	DECOMPOSED GRANITE	NEW	NEW	WM	WATER SERVICE & DCV
DC	DUCTILE IRON PIPE	OC	ON CENTER	FHC/PV	FIRE HYDRANT WITH CHECK VALVE
DS	DOWNSPOUT	OG	ORIGINAL GROUND	FH	FIRE HYDRANT WITH GATE VALVE
DSD	DRIVEWAY/DOMESTIC WASTE DRAWING	OH	OVERHEAD	CO	CLEANOUT
END	END OF CURVE	OH	OVERHEAD LINE	SSCO	SANITARY SEWER CLEANOUT
(E)	EAST	+P+	PROPOSED	STD	STANDARD
EG	EDGE OF CONCRETE	PCC	PORTLAND CONCRETE CEMENT	SW	SIDEWALK
EGR	EDGE OF GRAVEL	PD	PRESSURE DISTRIBUTION	TC	TOP OF CURB
EGR	EDGE OF GRAVEL	PG&E	PACIFIC GAS AND ELECTRIC	TC	TOP OF CONCRETE
EGR	EDGE OF GRAVEL	PI	POINT OF INTERSECTION	TFC	TOP FACE OF CURB
EGR	EDGE OF GRAVEL	PV	POST INDICATOR VALVE	TOS	TOP OF BANK
EP	EDGE OF PAVEMENT	PL	PROPERTY LINE	TOC	TOP OF CONCRETE
EVC	END VERTICAL CURVE	PRC	POINT OF REVERSE CURVE	TS	TOP OF STAIRS
FG	FACE OF CURB	PSI	POUNDS PER SQUARE INCH	TV	TOP OF WALL
FDC	FIRE DEPT. CONNECTION	PUE	PUBLIC UTILITY EASEMENT	TYP	TYPICAL
FG	FINISH GRADE	PVC	POLYVINYL CHLORIDE	UG	UNDERGROUND
FH	FIRE HYDRANT	PVI	POINT OF VERTICAL INTERSECTION	VC	VERTICAL CURVE
		PW	PROCESS WASTE	VG	VALLEY GUTTER
				(W)	WEST
				WM	WATER METER
				WSE	WATER SURFACE ELEVATION
				WS	WATER SERVICE
				WV	WATER VALVE

SYMBOL LEGEND



SHEET INDEX

UP1.0	COVER SHEET
UP1.1	OVERALL EXISTING SITE PLAN
UP1.2	OVERALL PROPOSED SITE PLAN
UP1.3	PROPOSED SITE PLAN
UP1.4	WINERY COVERAGE SITE PLAN
UP1.5	ACCESS DRIVEWAY & PROFILE
UP1.6	ACCESS DRIVEWAY & PROFILE
UP1.7	ACCESS DRIVEWAY & PROFILE
UP2.0	GRADING SITE PLAN
UP3.0	CIRCULATION PLAN
UP4.0	UTILITY SITE PLAN

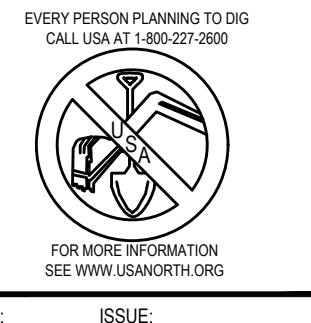
REVISIONS

07-27-2020	ISSUE	07-27-2020	ISSUE
03/27/2020	SUBMITTAL	07/27/2020	RE-SUBMITTAL
07/27/2020	RE-SUBMITTAL	09/02/2020	RE-SUBMITTAL
09/18/2020	RE-SUBMITTAL	10/14/2020	RE-SUBMITTAL
10/14/2020	RE-SUBMITTAL		

• UPDATED SHEET INDEX
 • ADDED DIMENSIONS TO PROPERTY LINES
 • NO CHANGES
 • NO CHANGES
 • NO CHANGES
 • NO CHANGES

USE PERMIT PLANS
 COVER SHEET

TAPLIN CELLARS WINERY
 1677 LEWELLING LANE
 ST. HELENA, CA 94574
 APN: 027-100-005
 PROJECT: R-16-101.00



UP1.0

THESE PLANS AND THE INFORMATION CONTAINED HEREIN ARE INSTRUMENTS OF PROFESSIONAL SERVICE. THEY ARE THE PROPERTY OF DELTA CONSULTING & ENGINEERING AND ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DELTA CONSULTING & ENGINEERING. THESE PLANS, AS CHANGED TO THE EXTENT INDICATED BY THE CHANGES, ARE THE PROPERTY OF DELTA CONSULTING & ENGINEERING. DELTA CONSULTING & ENGINEERING ASSUMES NO LIABILITY FOR THE USE OF THESE PLANS FOR ANY PURPOSES OTHER THAN THAT AUTHORIZED BY THE CONTRACT. DELTA CONSULTING & ENGINEERING IS NOT RESPONSIBLE FOR THE ACTIONS OF ANY CONTRACTOR OR SUBCONTRACTOR.

DELTA CONSULTING & ENGINEERING
 OFF ST. HELENA
 1104 ADAMS STREET, SUITE 203, ST. HELENA, CALIFORNIA, 94574
 707-963-8456 + 707-963-8528 FAX

CONTRACTOR SHALL VERIFY ALL INFORMATION PROVIDED BY THE CLIENT AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.

DELTA CONSULTING & ENGINEERING
OF ST. HELENA
1104 ADAMS STREET, SUITE 203 - ST. HELENA, CALIFORNIA 94574
707-963-8456 + 707-963-8528 FAX

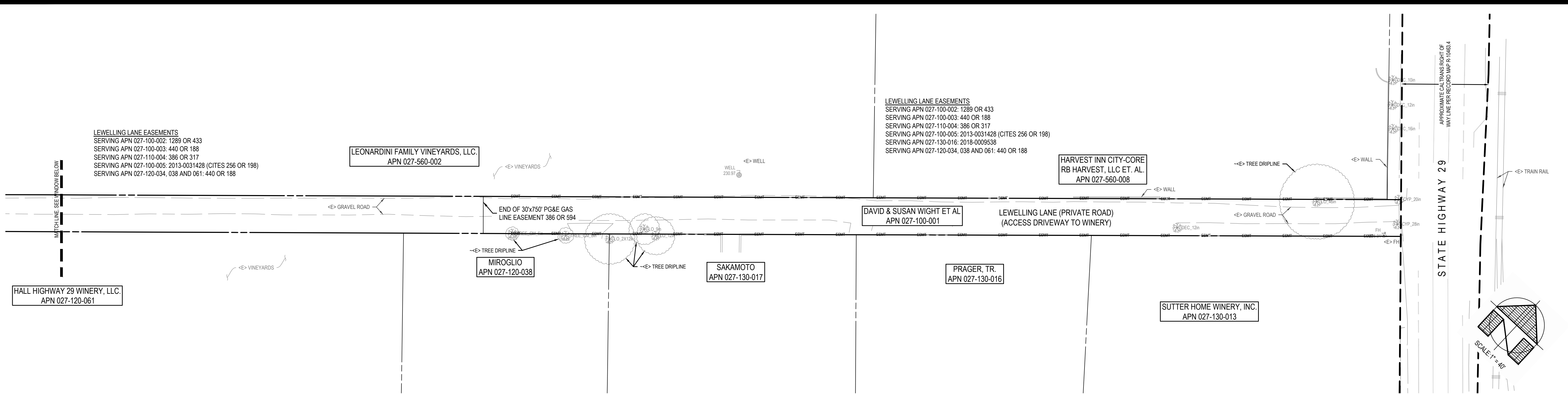
**USE PERMIT PLANS
OVERALL EXISTING SITE PLAN**

TAPLIN CELLARS WINERY
167 LEWELLING LANE
ST. HELENA, CA 94574
APN: 027-100-005
PROJECT: R-101.00

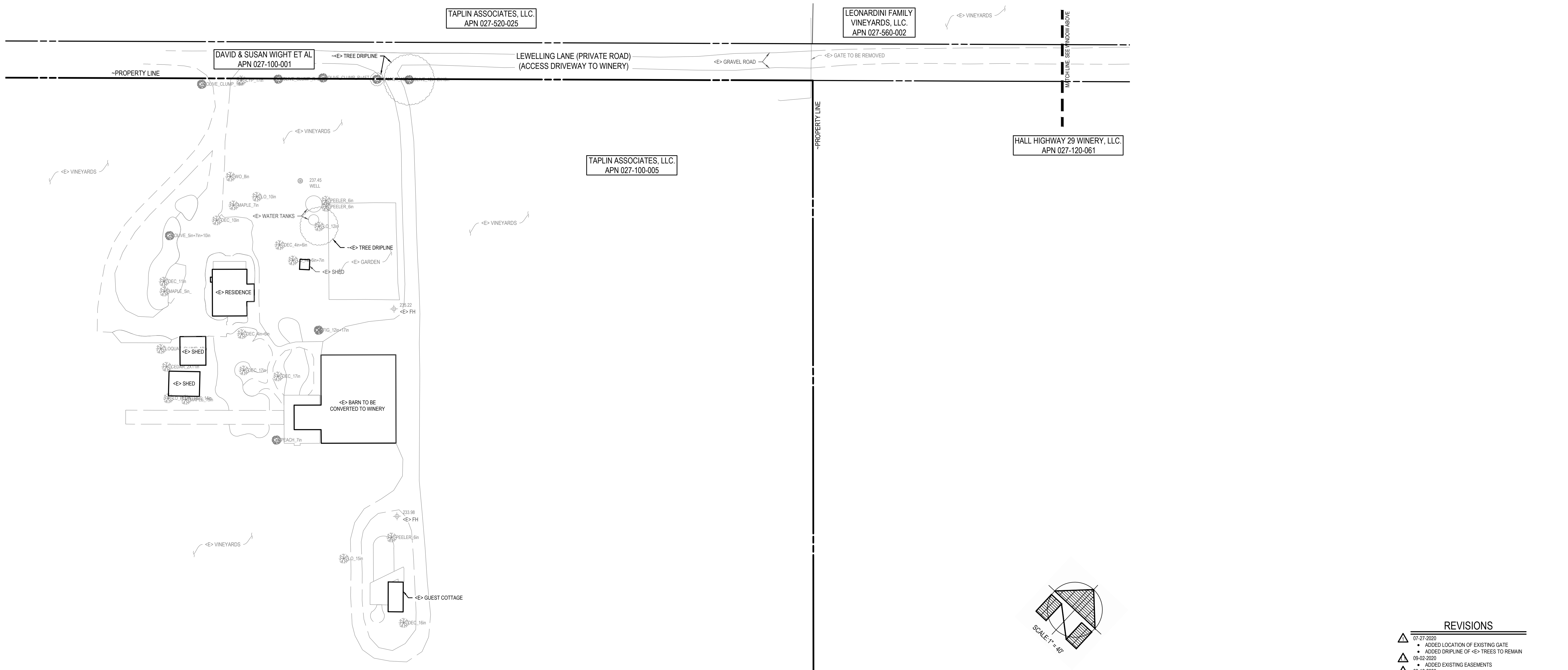


DATE	ISSUE
03/27/2020	SUBMITTAL
07/27/2020	RE-SUBMITTAL
09/02/2020	RE-SUBMITTAL
09/18/2020	RE-SUBMITTAL
10/14/2020	RE-SUBMITTAL

UP1.1



EXISTING ACCESS DRIVEWAY (HIGHWAY 29 INTERSECTION)



EXISTING SITE PLAN

REVISIONS

DATE	ISSUE
07-27-2020	ADDED LOCATION OF EXISTING GATE
09-02-2020	ADDED DRIPLINE OF <-> TREES TO REMAIN
09-18-2020	ADDED EXISTING EASEMENTS
10-14-2020	NO CHANGES
	NO CHANGES

EVERY PERSON PLANNING TO DIG CALL USA AT 1-800-227-2669

FOR MORE INFORMATION SEE WWW.USAND0TH.ORG

DATE: 07/27/2020
ISSUE: SUBMITTAL

07/27/2020 RE-SUBMITTAL

09/02/2020 RE-SUBMITTAL

09/18/2020 RE-SUBMITTAL

10/14/2020 RE-SUBMITTAL

PROJECT: R-101.00

1104 ADAMS STREET, SUITE 203 - ST. HELENA, CALIFORNIA 94574
707-963-8456 + 707-963-8528 FAX

DELTA CONSULTING & ENGINEERING
OF ST. HELENA

USE PERMIT PLANS
OVERALL PROPOSED SITE PLAN

TAPLIN CELLARS WINERY
1677 LEVELLING LANE
ST. HELENA, CA 94574
APN: 027-100-005
PROJECT: R-101.00

LEVELLING LANE EASEMENTS
SERVING APN 027-100-002: 1289 OR 433
SERVING APN 027-100-003: 440 OR 188
SERVING APN 027-110-004: 386 OR 317
SERVING APN 027-100-005: 2013-0031428 (CITES 256 OR 198)
SERVING APN 027-120-034, 038 AND 061: 440 OR 188

LEVELLING LANE EASEMENTS
SERVING APN 027-100-002: 1289 OR 433
SERVING APN 027-100-003: 440 OR 188
SERVING APN 027-110-004: 386 OR 317
SERVING APN 027-100-005: 2013-0031428 (CITES 256 OR 198)
SERVING APN 027-130-016: 2018-0009538
SERVING APN 027-120-034, 038 AND 061: 440 OR 188

LEONARDINI FAMILY VINEYARDS, LLC.
APN 027-560-002

HARVEST INN CITY-CORE
RB HARVEST, LLC ET. AL.
APN 027-560-008

DAVID & SUSAN WIGHT ET AL
APN 027-100-001

MIROGLIO
APN 027-120-038

SAKAMOTO
APN 027-130-017

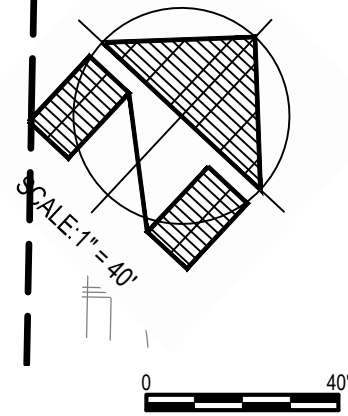
PRAGER, TR.
APN 027-130-016

DRIVEWAY APPROACH PER CALTRANS
ENCROACHMENT PERMIT SECTION 205.4

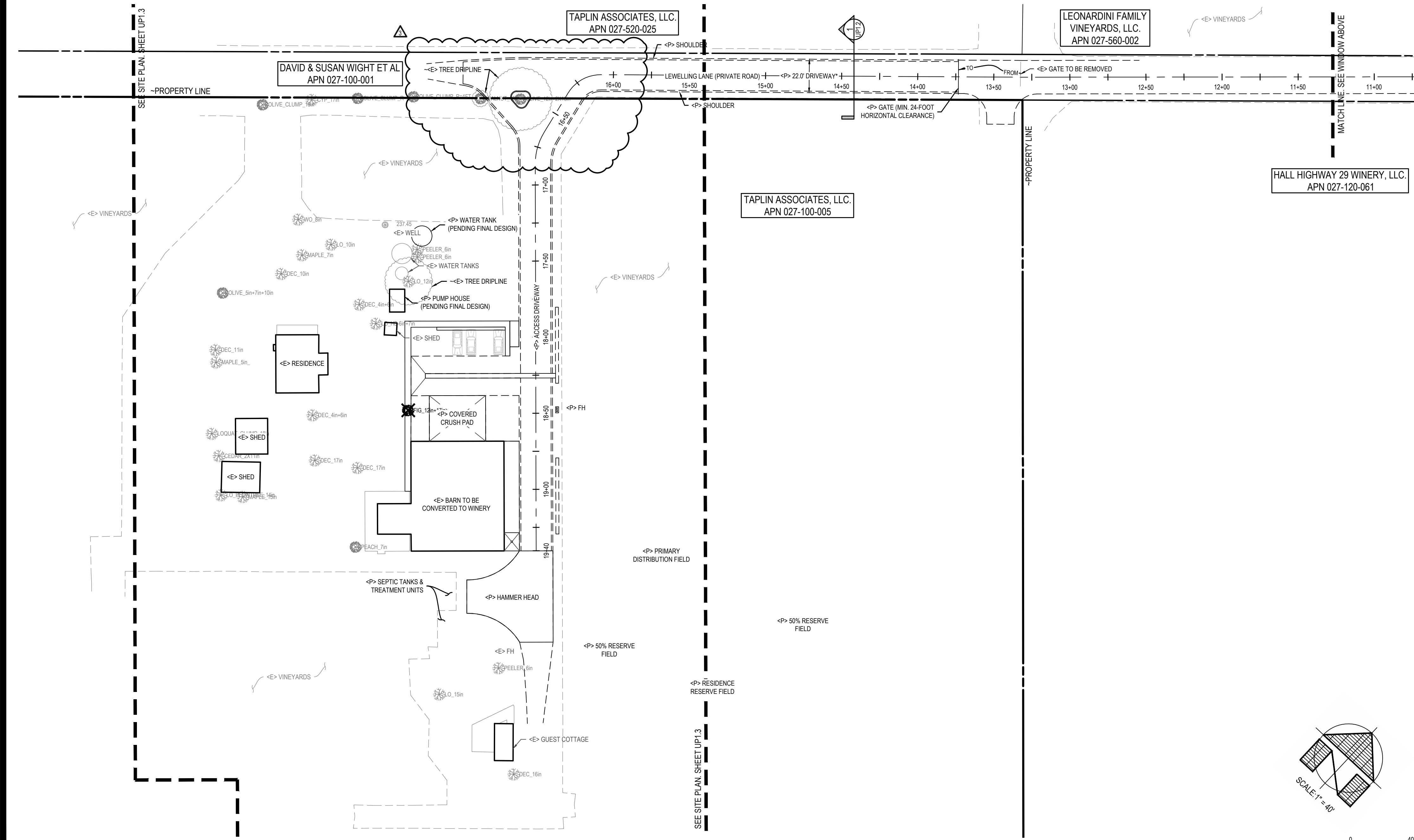
SUTTER HOME WINERY, INC.
APN 027-130-013

HALL HIGHWAY 29 WINERY, LLC.
APN 027-120-061

STATE HIGHWAY 29



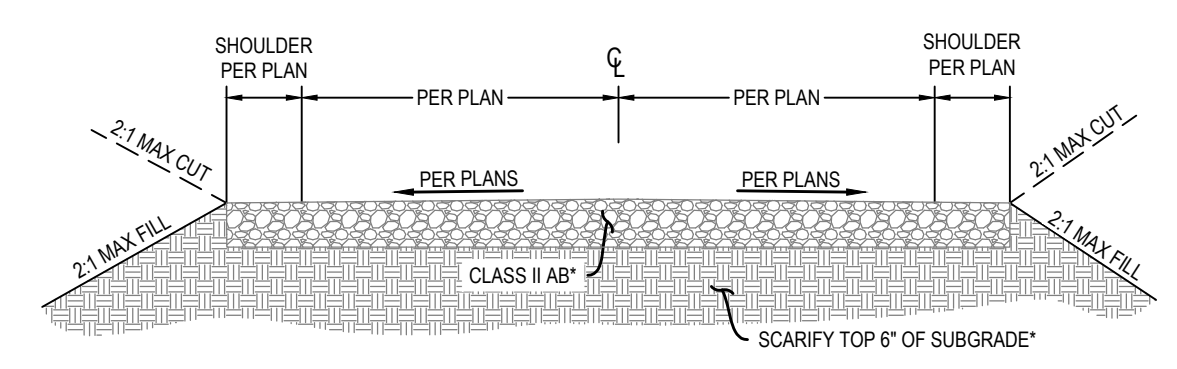
PROPOSED ACCESS DRIVEWAY (HIGHWAY 29 INTERSECTION)



<E> TREE LEGEND

	TREE TO REMAIN
	TREE TO BE REMOVED
QTY	
02	CYPRESS
01	DECIDUOUS
01	FIG TREE
04	TOTAL TREES TO BE REMOVED

PER TREE PROTECTION ORDINANCE, OWNER SHALL REPLACE REMOVED TREES BY A RATION OF 2:1. AREA OF PLANTATION SHALL BE SPECIFIED BY OWNER AND COORDINATED WITH NAPA COUNTY OFFICIALS.

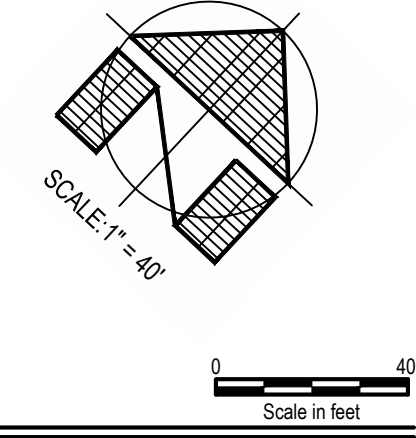


1 GRAVEL DRIVEWAY SECTION
*COMPACTION AND SOIL PREPARATION PER GEOTECHNICAL ENGINEER NOT TO SCALE

REVISIONS

07-27-2020	UPDATED TREE TABLE
09-02-2020	ADDED DRIFLINE OF <E> TREES TO REMAIN
09-18-2020	UPDATED SITE PLAN WITH EXISTING GATE AND ITS RELOCATION
09-02-2020	ADDED EXISTING EASEMENTS
09-18-2020	UPDATED <P> GATE LABEL
10-14-2020	UPDATED DRIVEWAY INTERSECTION

PROPOSED SITE PLAN



CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.

DELTA CONSULTING & ENGINEERING
OF ST. HELENA
1104 ADAMS STREET, SUITE 203 - ST. HELENA, CALIFORNIA 94574
707-963-8456 + 707-963-8528 FAX

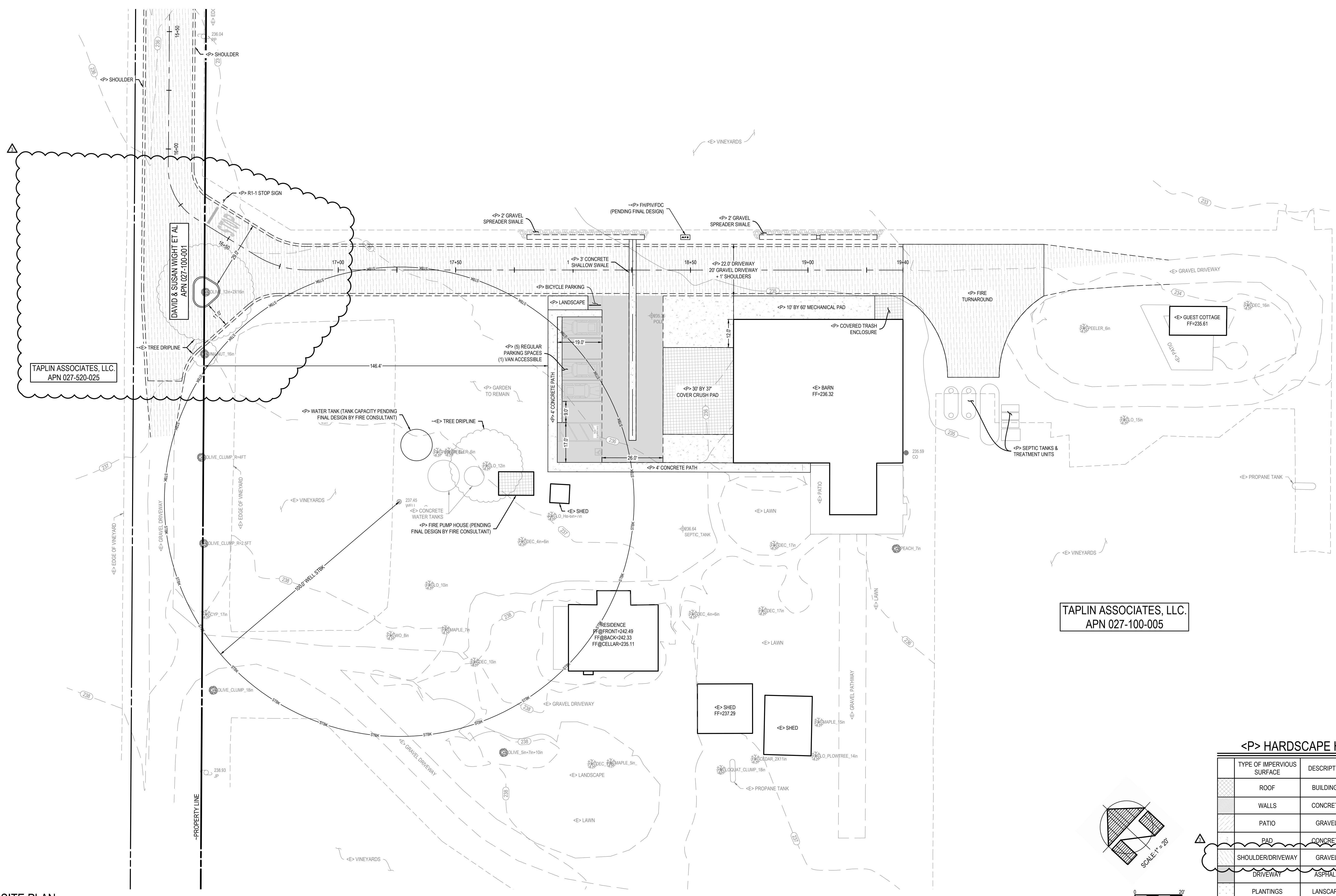
USE PERMIT PLANS
PROPOSED SITE PLAN

TAPLIN CELLARS WINERY
1677 LEWELLING LANE
ST. HELENA, CA 94574
APN: 027-100-005
PROJECT: R-101.00

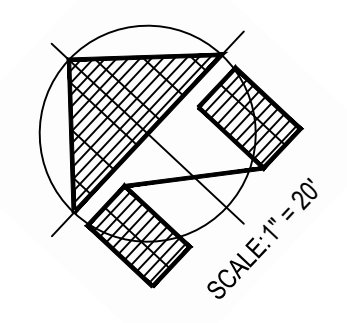
EVERY PERSON PLANNING TO DIG
CALL USA AT 1-800-277-2600

DATE	ISSUE
03/27/2020	SUBMITTAL
07/27/2020	RE-SUBMITTAL
09/02/2020	RE-SUBMITTAL
09/18/2020	RE-SUBMITTAL
10/14/2020	RE-SUBMITTAL

UP1.3



TAPLIN ASSOCIATES, LLC.
APN 027-100-005



Scale: 1" = 20'

<P> HARDSCAPE HATCH LEGEND

TYPE OF IMPERVIOUS SURFACE	DESCRIPTION	AREA (SF)	AREA (AC)	PERVIOUS/ IMPERVIOUS
ROOF	BUILDINGS	1380	0.03	IMPERVIOUS
WALLS	CONCRETE	0	0.07	IMPERVIOUS
PATIO	GRAVEL	3085	1.01	IMPERVIOUS
PAD	CONCRETE	2646	0.00	IMPERVIOUS
SHOULDER/DRIVEWAY	GRAVEL	43941	1.01	IMPERVIOUS
DRIVEWAY	ASPHALT	3449	0.08	IMPERVIOUS
PLANTINGS	LANDSCAPE	191	0.00	PERVIOUS
TOTAL		54,501	1.251	

1. ADDITIONAL PLANTING AREAS MAYBE PROPOSED. SEE LANDSCAPE DRAWINGS FOR COMPLETE LANDSCAPE PLAN

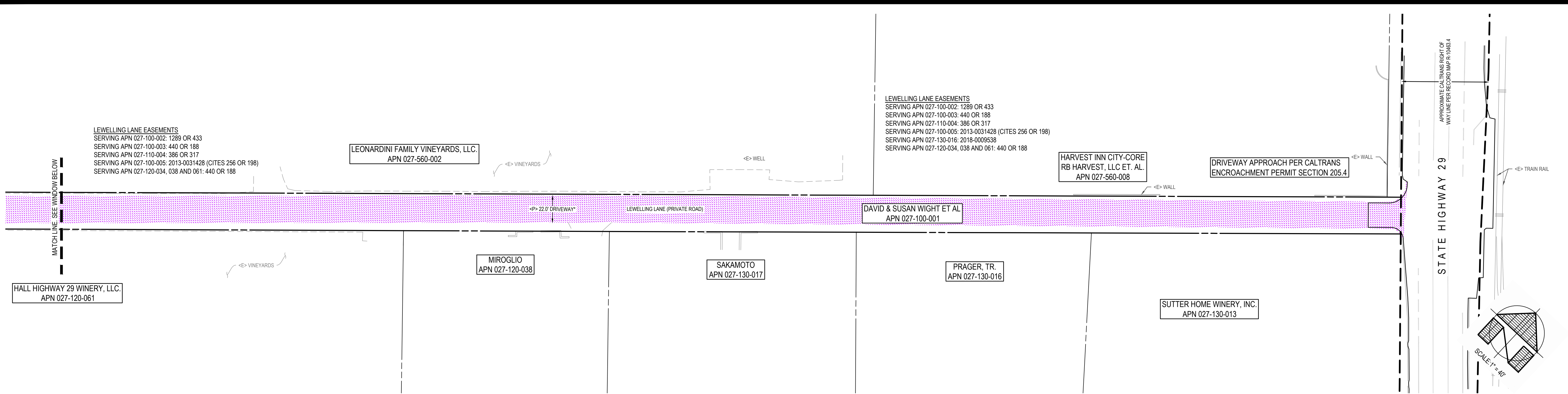
REVISIONS

- 07-27-2020
 - UPDATED NOTES REGARDING WATER TANKS AND FIRE EQUIPMENT
 - UPDATED NOTE FOR TRASH ENCLOSURE
 - UPDATED HARDSCAPE LEGEND
 - ADDED BICYCLE PARKING
- 09-02-2020
 - NO CHANGES
- 09-18-2020
 - NO CHANGES
- 10-14-2020
 - UPDATED DRIVEWAY INTERSECTION
 - UPDATED HATCHING LEGEND, GRAVEL AREA INCREASED BY 230 SQUARE FEET

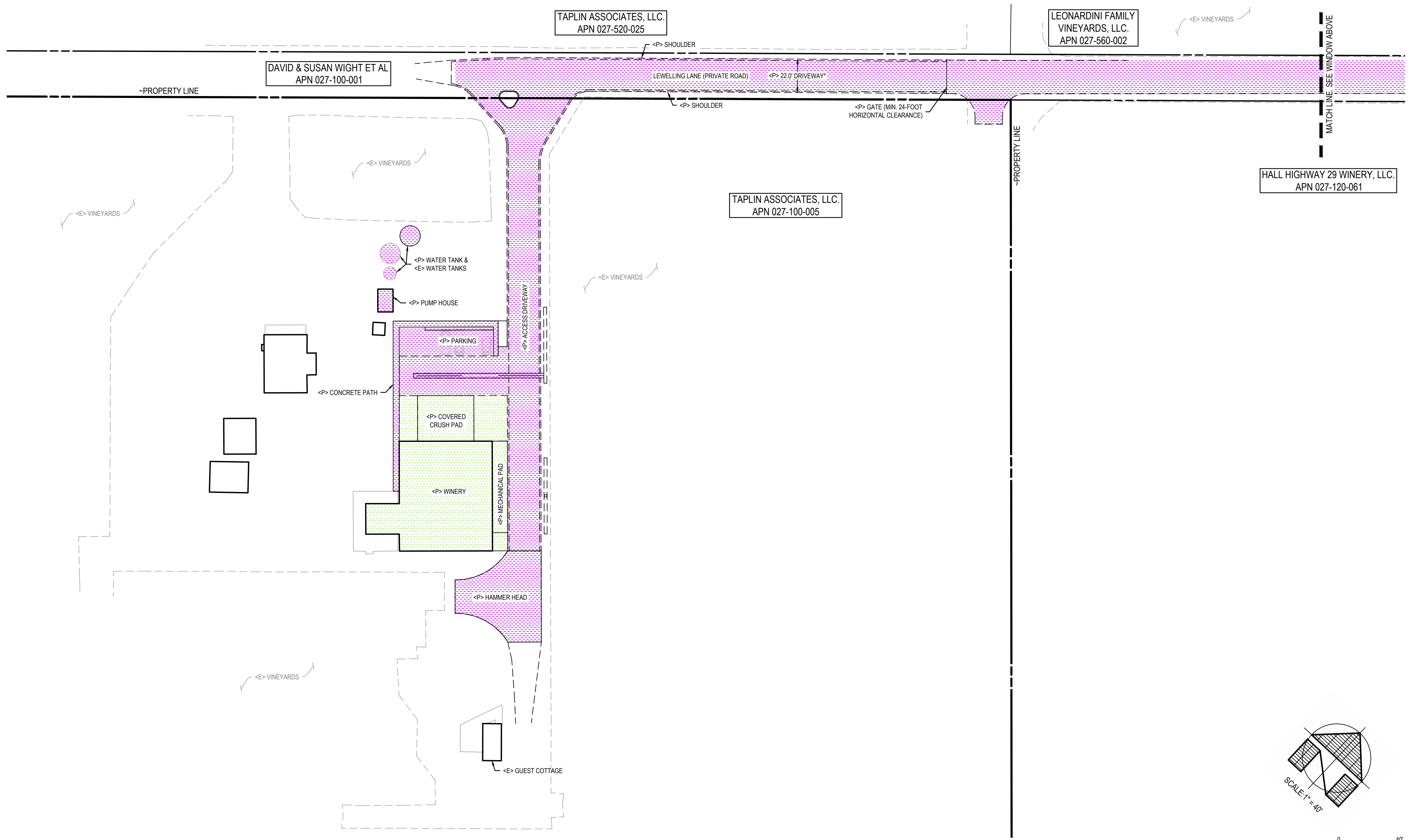
PROPOSED SITE PLAN

TAPLIN ASSOCIATES, LLC.
APN 027-520-025

DAVID & SUSAN WICHT ET AL
APN 027-100-001



WINERY COVERAGE ACCESS DRIVEWAY (HIGHWAY 29 INTERSECTION)



WINERY COVERAGE SITE PLAN

WINERY COVERAGE AND DEVELOPMENT AREAS

AREA	COVERAGE (SF)	DEVELOPMENT (SF)
<P> WINERY PRODUCTION	3,615	3,615
<P> WINERY HOSPITALITY	901	901
<P> GUEST PARKING	1,218	
<P> EMPLOYEE PARKING	0	0
<P> WINERY COVERED CRUSH PAD	1,110	1,110
<P> EQUIPMENT AREA	1,032	1,032
<P> MECHANICAL AREA	601	601
<P> TRASH ENCLOSURE	120	120
<E> DRIVEWAY APRON	665	
<E> GRAVEL DRIVEWAY (RE-GRADED)	44,527	
<E> WATER TANKS	338	
<P> FIRE PUMP	190	
TOTAL DEVELOPMENT AREA (SF):		7,379
TOTAL COVERAGE (SF):	54,273	
TOTAL COVERAGE (ACRES):	1.2	
TOTAL PARCEL (ACRES):	20	
PERCENT COVERAGE:	6.2%	

NOTE:
1. HATCHING DENOTES THE AREAS INCLUDED IN THE CALCULATIONS FOR THE "WINERY DEVELOPMENT AREA" AND THE "WINERY COVERAGE" ACCORDING TO THE DEFINITIONS FOUND IN THE SUPPLEMENTAL APPLICATION FOR WINERY USES IN THE USE PERMIT APPLICATION.

- REVISIONS**
- 07-27-2020 NO CHANGES
 - 09-02-2020 NO CHANGES
 - 08-18-2020 NO CHANGES
 - 10-14-2020 UPDATED <P> GATE LABEL
 - 10-14-2020 UPDATED COVERAGE AND DEVELOPMENT AREAS TABLE. GRAVEL DRIVEWAY INCREASED BY 290 SQUARE FEET

EVERY PERSON PLANNING TO DIG
CALL USA AT 1-800-277-2609

FOR MORE INFORMATION
SEE WWW.USANDIOTH.ORG

DATE: 03/27/2020
ISSUE: SUBMITTAL

07/27/2020 RE-SUBMITTAL

09/02/2020 RE-SUBMITTAL

09/18/2020 RE-SUBMITTAL

10/14/2020 RE-SUBMITTAL

PROJECT: R-101.00

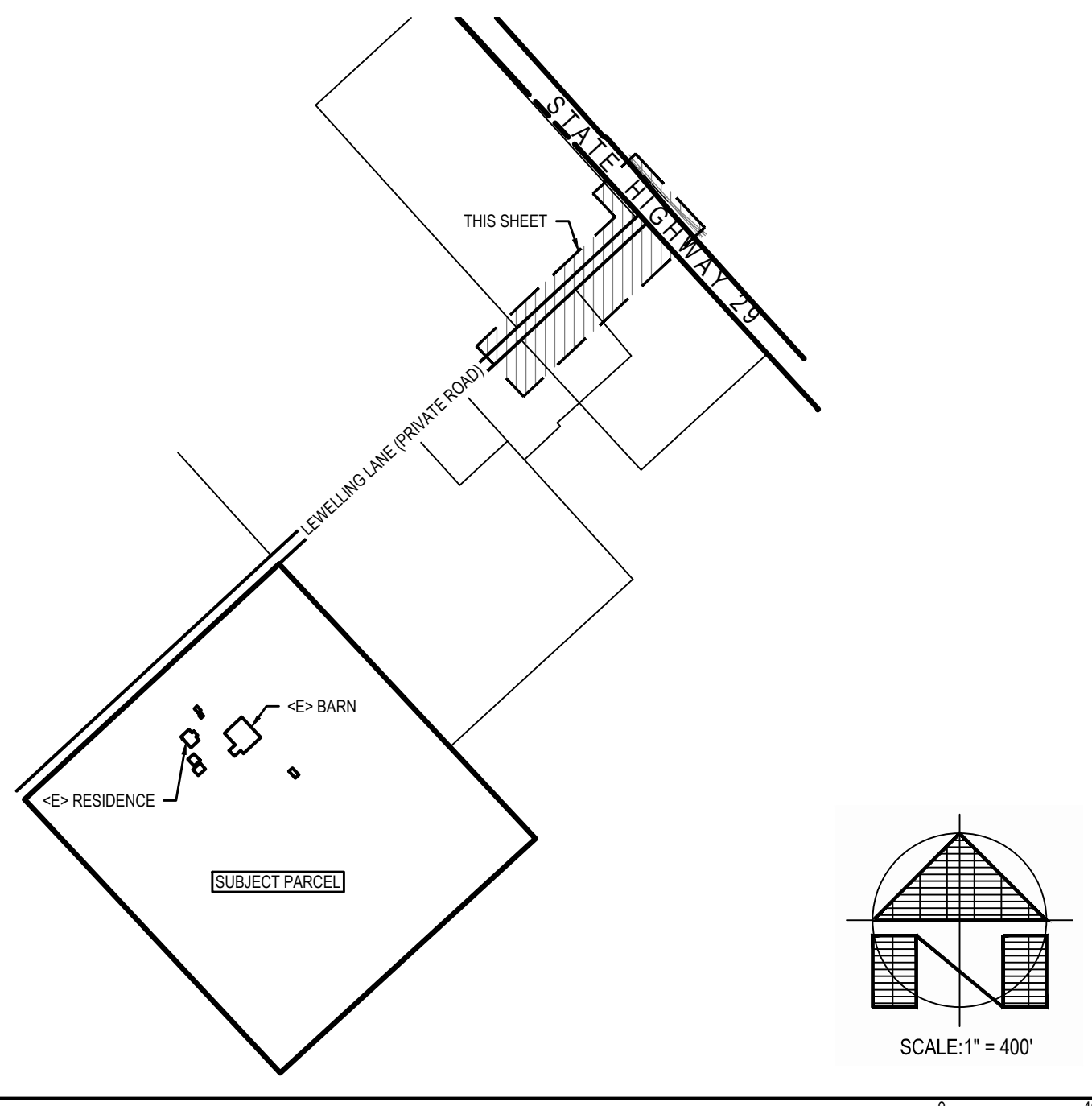
DELTA CONSULTING & ENGINEERING
OF ST. HELENA

1104 ADAMS STREET, SUITE 203 - ST. HELENA, CALIFORNIA 94574
707-963-8456 + 707-963-8528 FAX

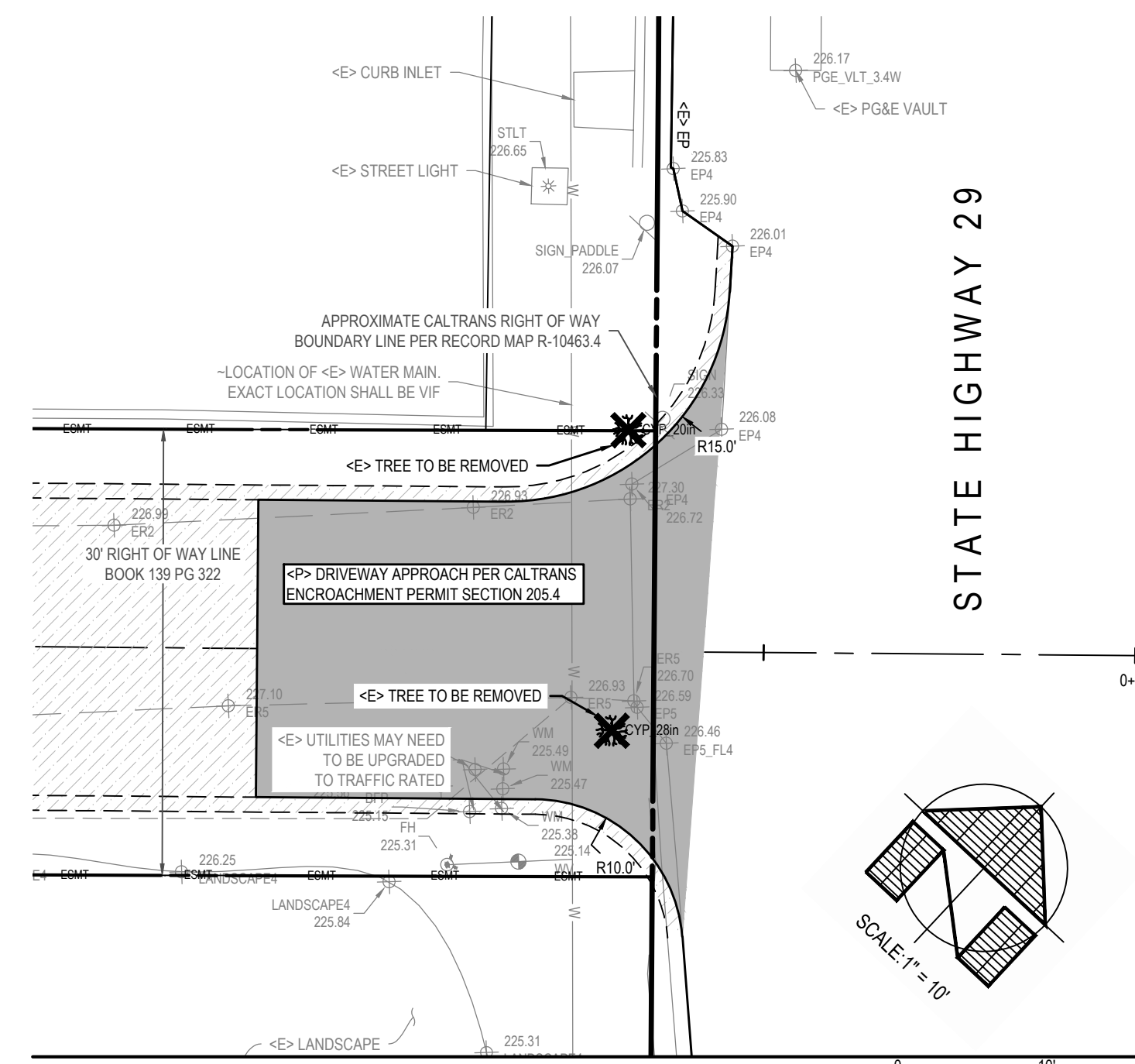
USE PERMIT PLANS
WINERY COVERAGE AREAS

TAPLIN CELLARS WINERY
1677 LEWELLING LANE
ST. HELENA, CA 94574
APN: 027-100-005
PROJECT: R-101.00

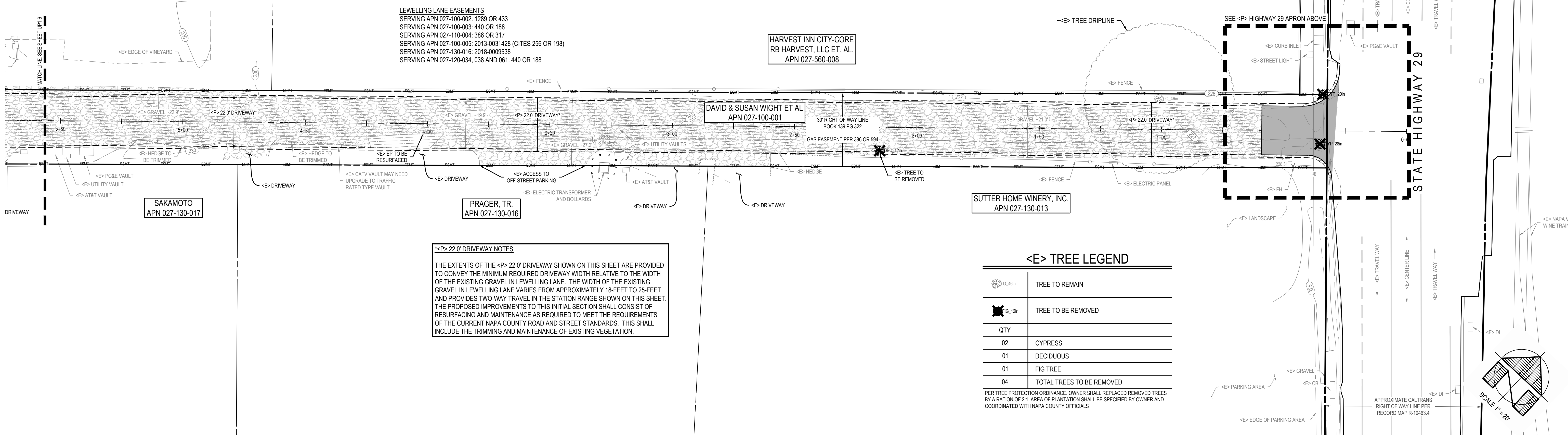
UP1.4



SITE MAP



<P> HIGHWAY 29 APRON



LEWELLING LANE EASEMENTS
 SERVING APN 027-100-002: 1289 OR 433
 SERVING APN 027-100-003: 440 OR 188
 SERVING APN 027-110-004: 386 OR 317
 SERVING APN 027-100-005: 2013-0031428 (CITES 256 OR 198)
 SERVING APN 027-130-016: 2018-0009538
 SERVING APN 027-120-034, 038 AND 061: 440 OR 188

HARVEST INN CITY-CORE
 RB HARVEST, LLC ET. AL.
 APN 027-560-008

DAVID & SUSAN WIGHT ET AL
 APN 027-100-001

SUTTER HOME WINERY, INC.
 APN 027-130-013

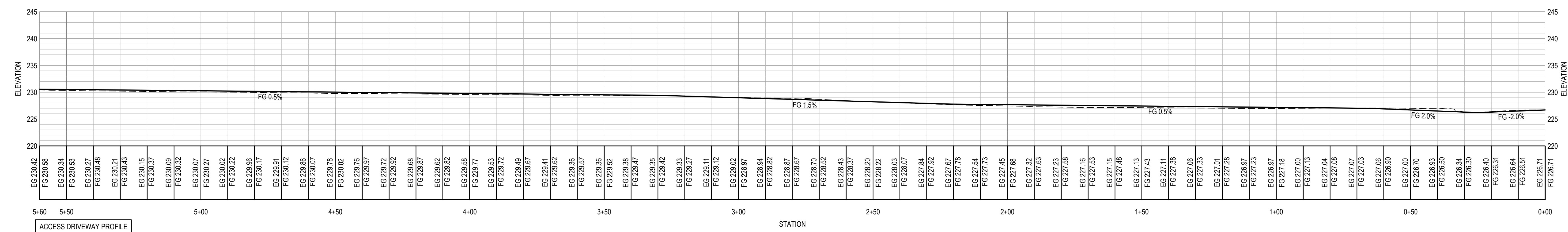
<<P> 22.0' DRIVEWAY NOTES
 THE EXTENTS OF THE <<P> 22.0' DRIVEWAY SHOWN ON THIS SHEET ARE PROVIDED TO CONVEY THE MINIMUM REQUIRED DRIVEWAY WIDTH RELATIVE TO THE WIDTH OF THE EXISTING GRAVEL IN LEWELLING LANE. THE WIDTH OF THE EXISTING GRAVEL IN LEWELLING LANE VARIES FROM APPROXIMATELY 18- FEET TO 25- FEET AND PROVIDES TWO-WAY TRAVEL IN THE STATION RANGE SHOWN ON THIS SHEET. THE PROPOSED IMPROVEMENTS TO THIS INITIAL SECTION SHALL CONSIST OF RESURFACING AND MAINTENANCE AS REQUIRED TO MEET THE REQUIREMENTS OF THE CURRENT NAPA COUNTY ROAD AND STREET STANDARDS. THIS SHALL INCLUDE THE TRIMMING AND MAINTENANCE OF EXISTING VEGETATION.

<E> TREE LEGEND

	TREE TO REMAIN
	TREE TO BE REMOVED
QTY	
02	CYPRESS
01	DECIDUOUS
01	FIG TREE
04	TOTAL TREES TO BE REMOVED

PER TREE PROTECTION ORDINANCE OWNER SHALL REPLACE REMOVED TREES BY A RATION OF 2:1. AREA OF PLANTATION SHALL BE SPECIFIED BY OWNER AND COORDINATED WITH NAPA COUNTY OFFICIALS

PROPOSED ACCESS DRIVEWAY STA 0+00 TO STA 5+50



PROPOSED DRIVEWAY PROFILE STA 0+00 TO STA 5+50

- REVISIONS**
- 07-27-2020: UPDATED TREE TABLE
 - 07-27-2020: ADDED DRIPLINE OF <E> TREES TO REMAIN
 - 07-27-2020: ADDED NOTE REGARDING EXISTING VERSUS PROPOSED DRIVEWAY WIDTH
 - 09-02-2020: ADDED EXISTING EASEMENTS
 - 09-18-2020: NO CHANGES
 - 10-14-2020: NO CHANGES

GENERAL NOTES
 PROPOSED DRIVEWAY IMPROVEMENTS SHALL CONFORM TO EXISTING DRIVEWAY ELEVATIONS & MAINTAIN CURRENT DRAINAGE PATTERNS

EVERY PERSON PLANNING TO DIG CALL USA AT 1-800-227-2909
 FOR MORE INFORMATION SEE WWW.USACALLING.ORG

DELTA CONSULTING & ENGINEERING
 OF ST. HELENA
 1104 ADAMS STREET, SUITE 203 - ST. HELENA, CALIFORNIA 94574
 707-963-8456 + 707-963-8528 FAX

USE PERMIT PLANS
PROPOSED DRIVEWAY & PROFILE

TAPLIN CELLARS WINERY
 1677 LEWELLING LANE
 ST. HELENA, CA 94574
 APN: 027-100-005
 PROJECT: R-101.00

DATE: 03/27/2020
 ISSUE: SUBMITTAL
 07/27/2020: RE-SUBMITTAL
 09/02/2020: RE-SUBMITTAL
 09/18/2020: RE-SUBMITTAL
 10/14/2020: RE-SUBMITTAL
 SHEET:

UP1.5

CONSUMER PROTECTION ACT
 EVERY PERSON PLANNING TO DIG
 CALL USA AT 1-800-277-2609

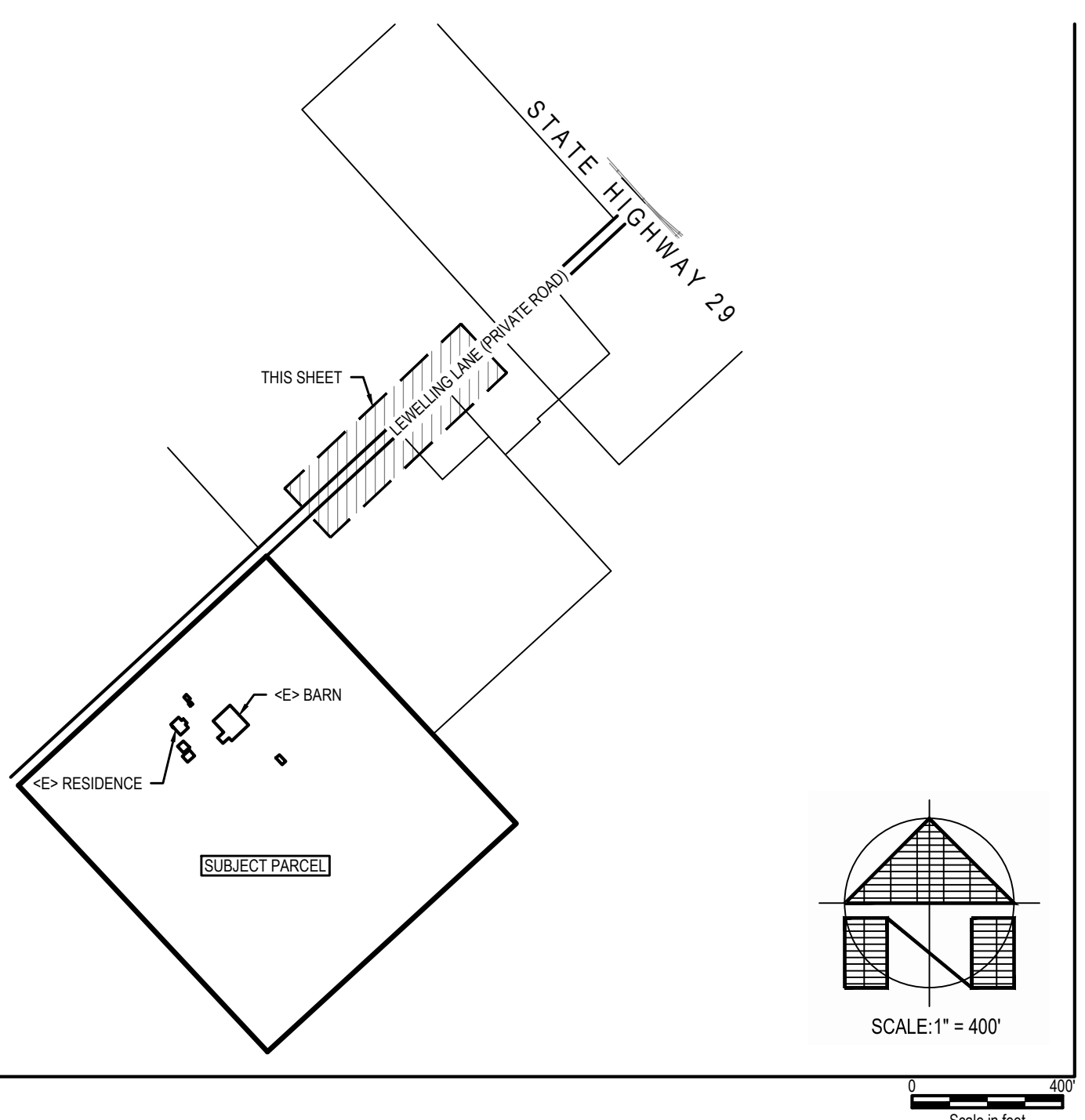
DELTA CONSULTING & ENGINEERING
 OF ST. HELENA
 1104 ADAMS STREET, SUITE 203 - ST. HELENA, CALIFORNIA 94574
 707-963-8456 + 707-963-8528 FAX

USE PERMIT PLANS
 PROPOSED DRIVEWAY & PROFILE
 TAPLIN CELLARS WINERY
 1677 LEWELLING LANE
 ST. HELENA, CA 94574
 APN: 027-100-005
 PROJECT: R-101.00

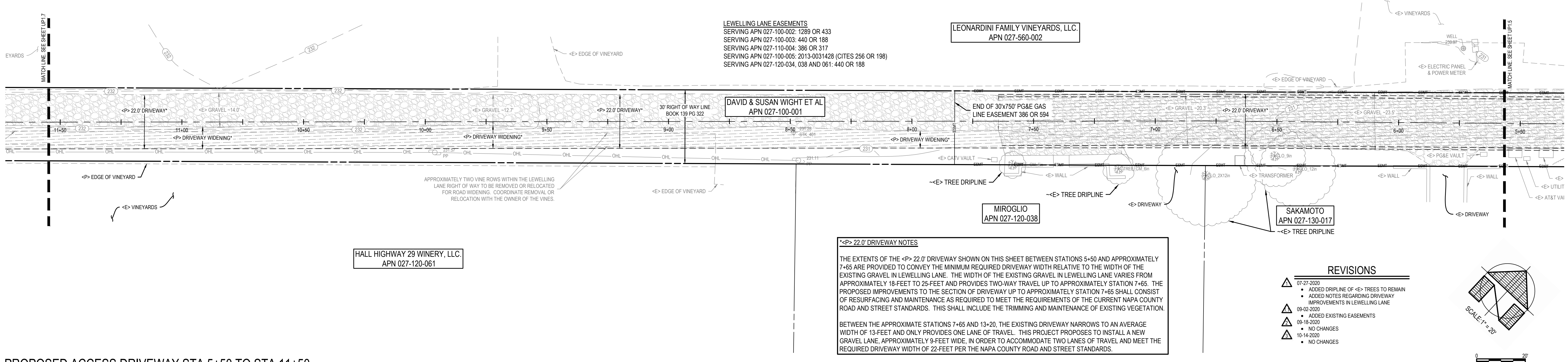
EVERY PERSON PLANNING TO DIG
 CALL USA AT 1-800-277-2609
 FOR MORE INFORMATION
 SEE WWW.USADIG.COM

DATE	ISSUE
03/27/2020	SUBMITTAL
07/27/2020	RE-SUBMITTAL
09/02/2020	RE-SUBMITTAL
09/18/2020	RE-SUBMITTAL
10/14/2020	RE-SUBMITTAL

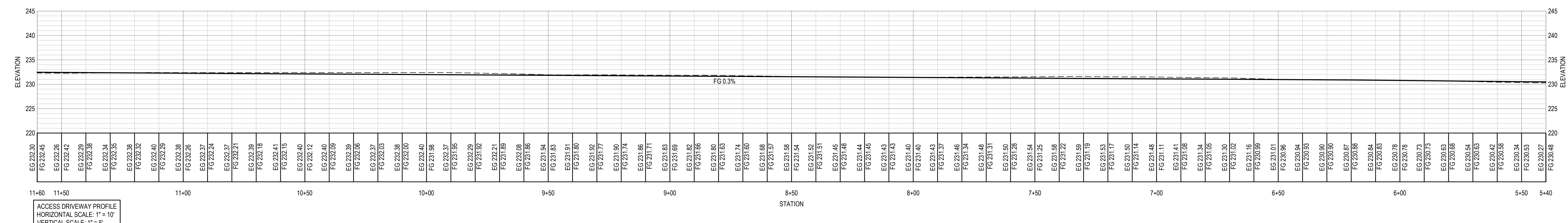
UP1.6



SITE MAP



PROPOSED ACCESS DRIVEWAY STA 5+50 TO STA 11+50



PROPOSED DRIVEWAY PROFILE STA 5+50 TO STA 11+50

CONSUMER PROTECTION NOTICE: THIS PROJECT HAS BEEN PREPARED BY AN ENGINEER AND ARCHITECT REGISTERED IN THE STATE OF CALIFORNIA. THE ENGINEER AND ARCHITECT ARE NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE USE OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE MADE IN WRITING AND MUST BE APPROVED BY THE ENGINEER AND ARCHITECT. THE ENGINEER AND ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS. THE ENGINEER AND ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS. THE ENGINEER AND ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS.

DELTA CONSULTING & ENGINEERING
OF ST. HELENA
1104 ADAMS STREET, SUITE 203 - ST. HELENA, CALIFORNIA 94574
707-963-8456 + 707-963-8528 FAX

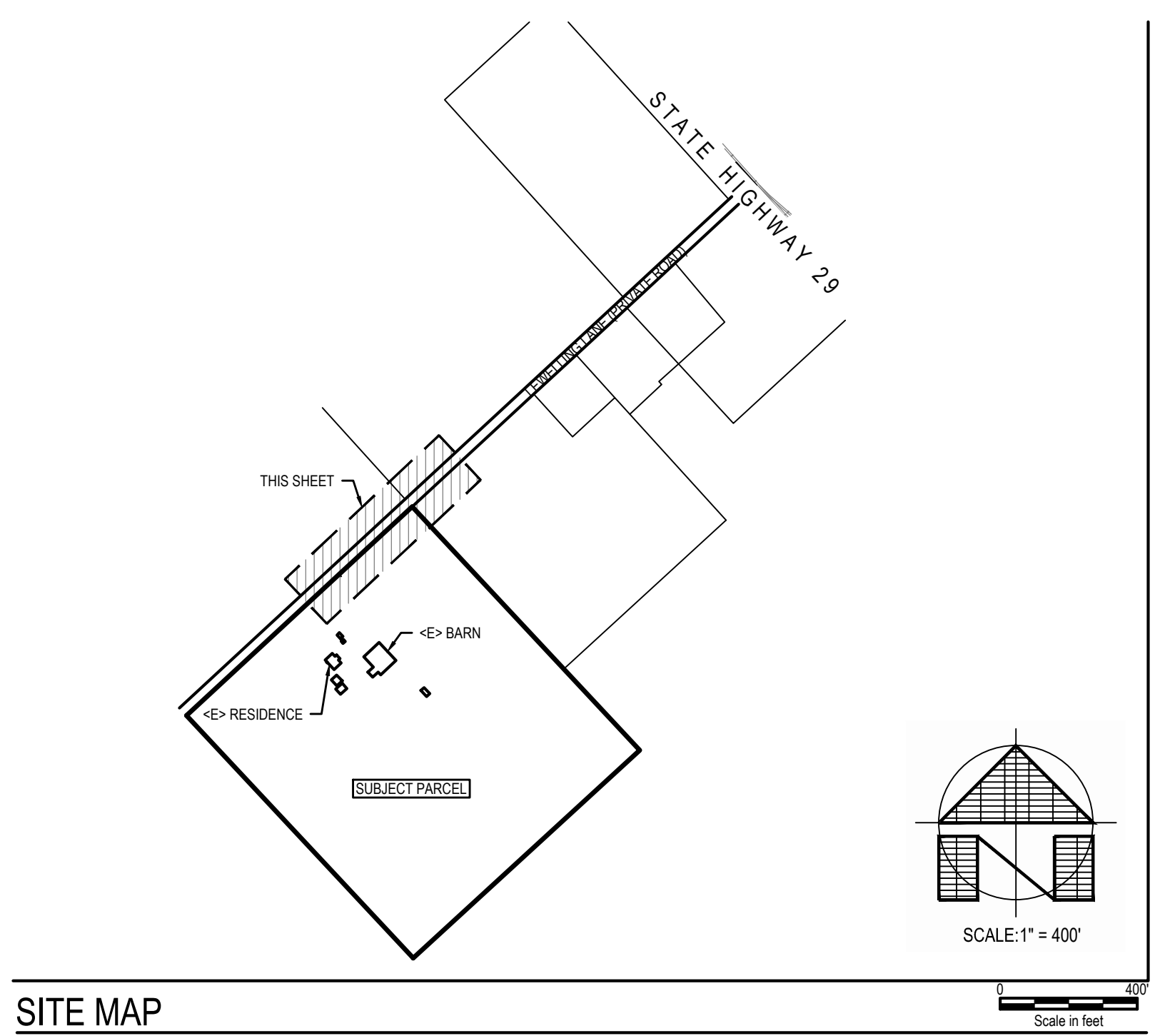
USE PERMIT PLANS
PROPOSED DRIVEWAY & PROFILE

TAPLIN CELLARS WINERY
1677 LEWELLING LANE
ST. HELENA, CA 94574
APN: 027-100-005
PROJECT: R-101.00

EVERY PERSON PLANNING TO DIG
CALL USA AT 1-800-277-2609

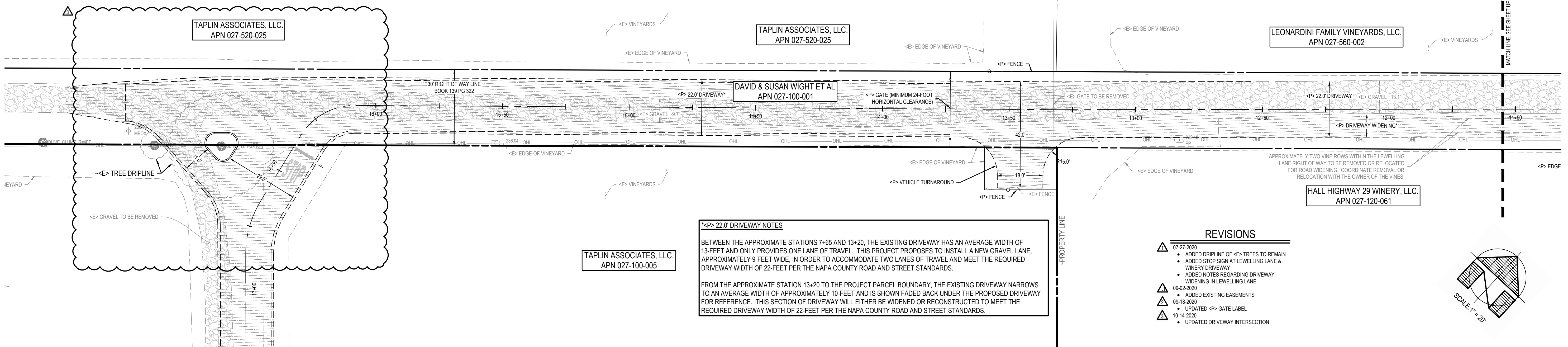
DATE	ISSUE
03/27/2020	SUBMITTAL
07/27/2020	RE-SUBMITTAL
09/02/2020	RE-SUBMITTAL
09/18/2020	RE-SUBMITTAL
10/14/2020	RE-SUBMITTAL

UP1.7



SITE MAP

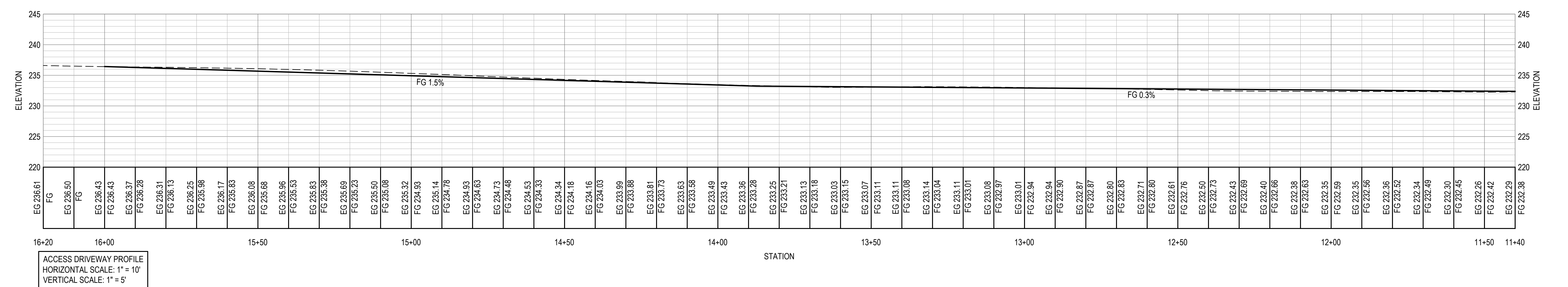
LEWELLING LANE EASEMENTS
SERVING APN 027-100-002: 1289 OR 433
SERVING APN 027-100-003: 440 OR 188
SERVING APN 027-110-004: 388 OR 317
SERVING APN 027-100-005: 2013-0031428 (CITES 256 OR 198)
SERVING APN 027-120-034, 038 AND 061: 440 OR 188



<P> 22.0' DRIVEWAY NOTES
BETWEEN THE APPROXIMATE STATIONS 7+65 AND 13+20, THE EXISTING DRIVEWAY HAS AN AVERAGE WIDTH OF 13-FEET AND ONLY PROVIDES ONE LANE OF TRAVEL. THIS PROJECT PROPOSES TO INSTALL A NEW GRAVEL LANE, APPROXIMATELY 9-FEET WIDE, IN ORDER TO ACCOMMODATE TWO LANES OF TRAVEL AND MEET THE REQUIRED DRIVEWAY WIDTH OF 22-FEET PER THE NAPA COUNTY ROAD AND STREET STANDARDS.
FROM THE APPROXIMATE STATION 13+20 TO THE PROJECT PARCEL BOUNDARY, THE EXISTING DRIVEWAY NARROWS TO AN AVERAGE WIDTH OF APPROXIMATELY 10-FEET AND IS SHOWN FADED BACK UNDER THE PROPOSED DRIVEWAY FOR REFERENCE. THIS SECTION OF DRIVEWAY WILL EITHER BE WIDENED OR RECONSTRUCTED TO MEET THE REQUIRED DRIVEWAY WIDTH OF 22-FEET PER THE NAPA COUNTY ROAD AND STREET STANDARDS.

- REVISIONS**
- 07-27-2020
 - ADDED DRIPLINE OF <E> TREES TO REMAIN
 - ADDED STOP SIGN AT LEWELLING LANE & WINERY DRIVEWAY
 - ADDED NOTES REGARDING DRIVEWAY WIDENING IN LEWELLING LANE
 - 09-02-2020
 - ADDED EXISTING EASEMENTS
 - 08-18-2020
 - UPDATED <P> GATE LABEL
 - 10-14-2020
 - UPDATED DRIVEWAY INTERSECTION

PROPOSED ACCESS DRIVEWAY STA 11+50 TO STA 16+00



PROPOSED DRIVEWAY PROFILE STA 11+50 TO STA 16+00

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES.

DELTA CONSULTING & ENGINEERING
OF ST. HELENA
1104 ADAMS STREET, SUITE 203 - ST. HELENA, CALIFORNIA 94574
707-963-8456 + 707-963-8528 FAX

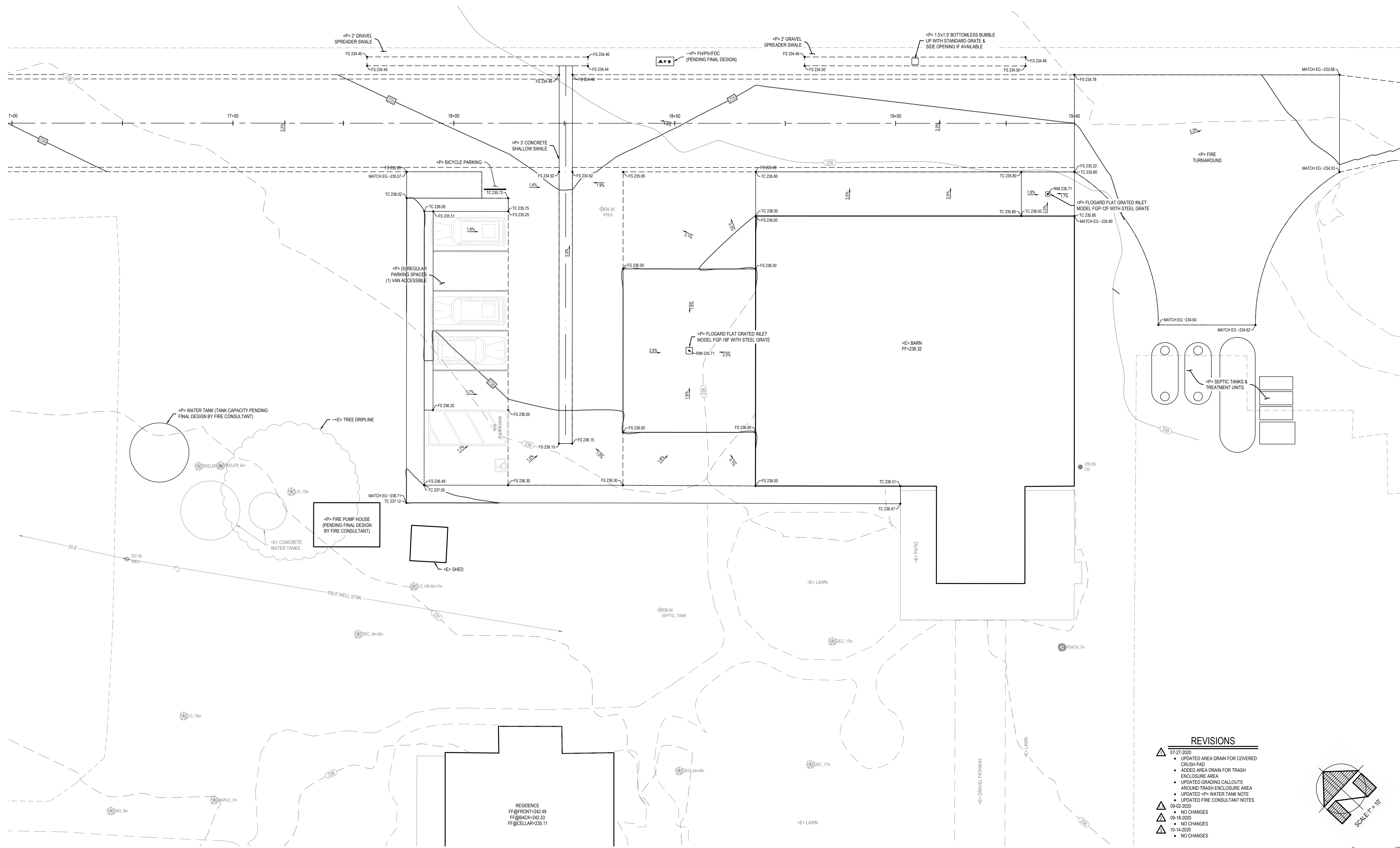
USE PERMIT PLANS
GRADING SITE PLAN

TAPLIN CELLARS WINERY
1677 LEWELLING LANE
ST. HELENA, CA 94574
APN: 027-100-005
PROJECT: R-101.00

EVERY PERSON PLANNING TO DIG
CALL USA AT 1-800-277-2600

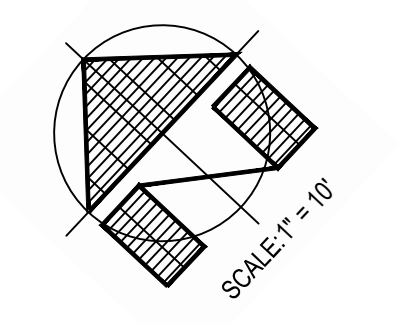
DATE	ISSUE
03/27/2020	SUBMITTAL
07/27/2020	RE-SUBMITTAL
09/02/2020	RE-SUBMITTAL
09/18/2020	RE-SUBMITTAL
10/14/2020	RE-SUBMITTAL

UP2.0



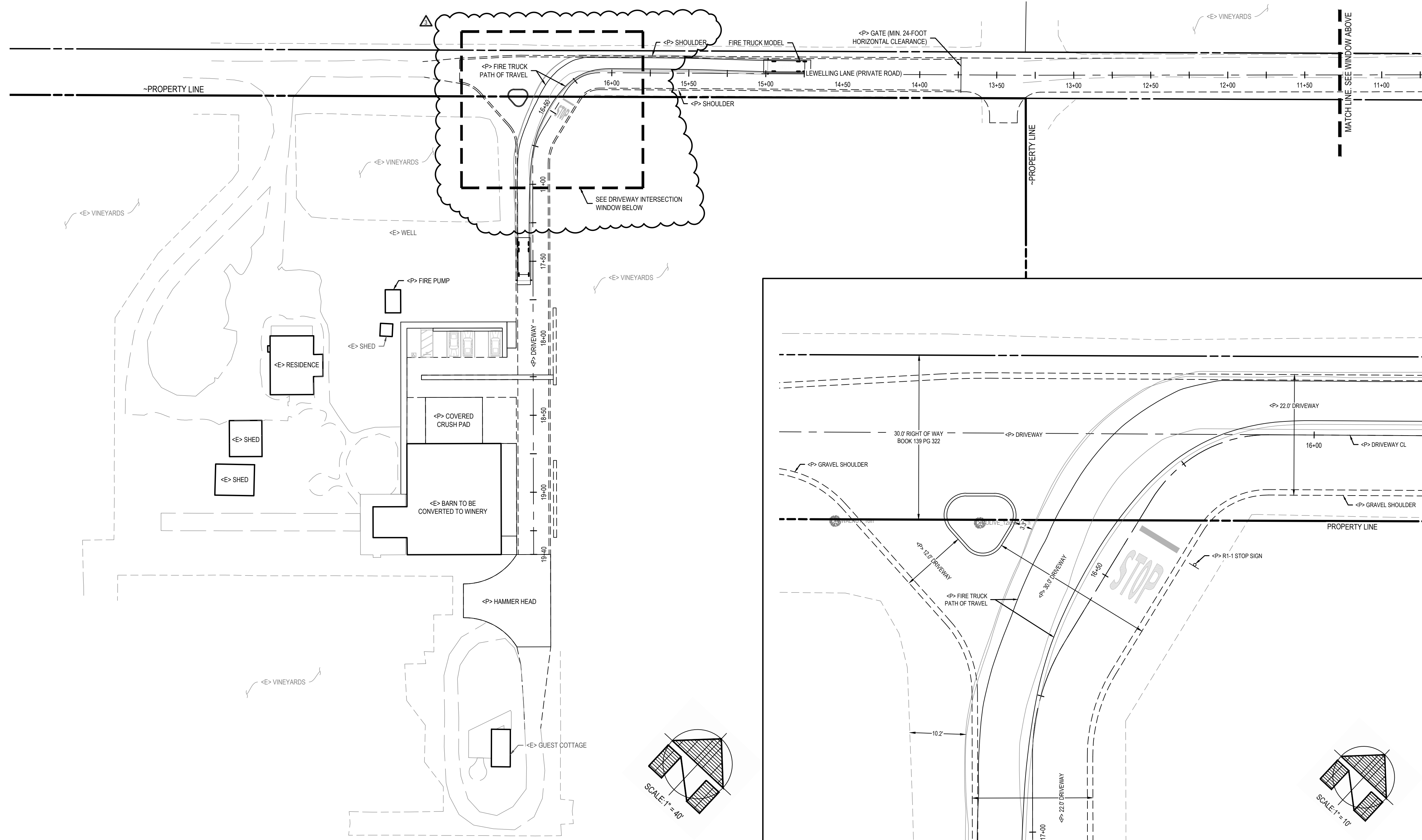
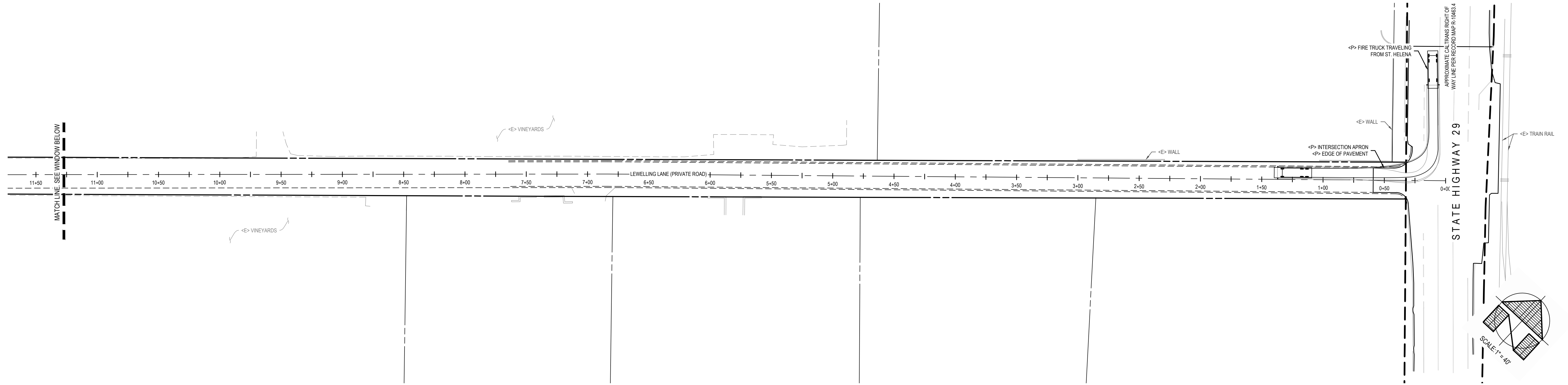
REVISIONS

07-27-2020	• UPDATED AREA DRAIN FOR COVERED CRUSH PAD
	• ADDED AREA DRAIN FOR TRASH ENCLOSURE AREA
	• UPDATED GRADING CALLOUTS AROUND TRASH ENCLOSURE AREA
	• UPDATED #P-WATER TANK NOTE
	• UPDATED FIRE CONSULTANT NOTES
09-02-2020	• NO CHANGES
09-18-2020	• NO CHANGES
10-14-2020	• NO CHANGES



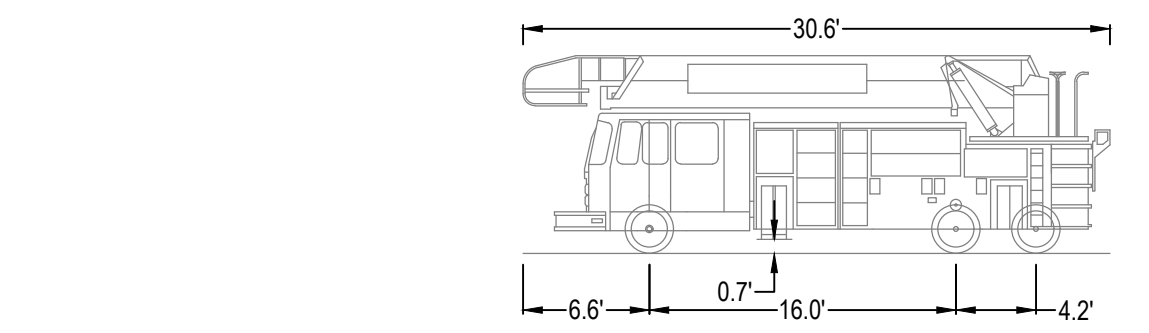
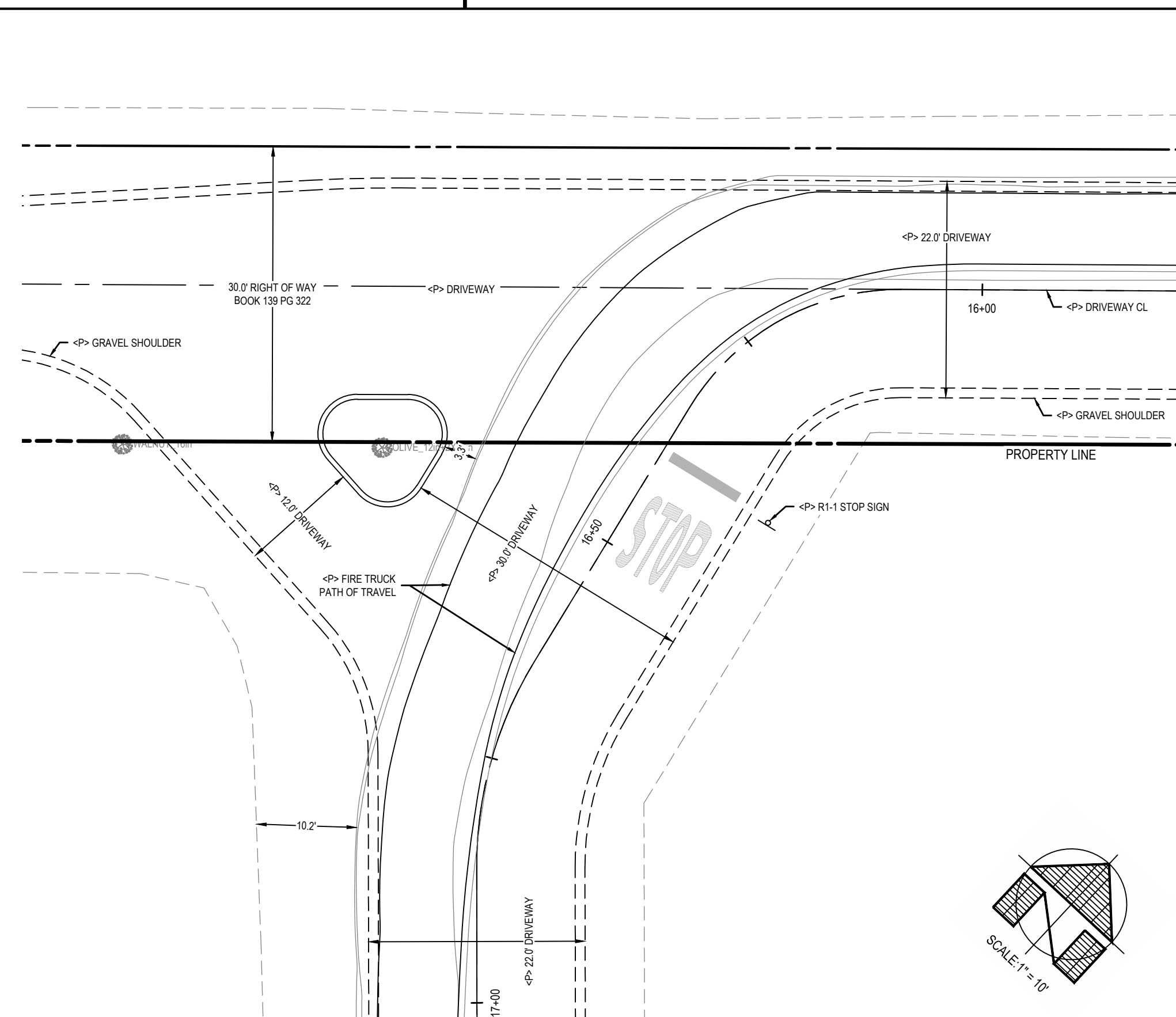
GRADING SITE PLAN

CIRCULATION SITE PLAN (HIGHWAY 29 INTERSECTION)



CIRCULATION SITE PLAN

DRIVEWAY INTERSECTION

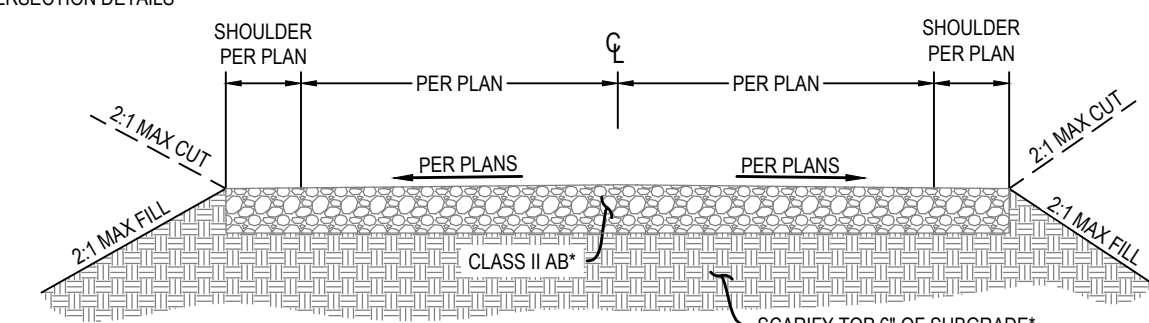


NAPA COUNTY FIRE TRUCK	
OVERALL LENGTH	30.56'
OVERALL WIDTH	8.50'
OVERALL BODY HEIGHT	10.29'
MIN. BODY GROUND CLEARANCE	0.72'
MAX. TRACK WIDTH	7.18'
LOCK-TO-LOCK TIME	6.00s
MAX. STEERING ANGLE (VIRTUAL)	40.40°

FIRE DEPARTMENT PLAN NOTES

1. FIRE TRUCK DRIVE PATH SHOWN ALONG DRIVEWAYS TO INDICATE THAT THE FIRE TRUCK CAN MANUEVER THROUGH THE SITE AT 5 MPH.
2. THE ABOVE FIRE TRUCK SCHEMATIC SHOWS THE LENGTH, WIDTH, AND TURNING RADIUS OF A TYPICAL FIRE APPARATUS USED BY CAL FIRE NAPA COUNTY. THESE SCHEMATICS WERE INPUT INTO VEHICLE TRACKING SOFTWARE, DEVELOPED BY AUTODESK, INC., AND USED IN THE ANALYSIS TO DETERMINE THE INGRESS AND EGRESS CAPABILITIES OF FIRE EQUIPMENT TO THE PROPOSED WINERY. THE RESULTS OF THIS ANALYSIS CAN BE SEEN ON THIS SHEET.

- REVISIONS
- 07-27-2020 SHEET ADDED
 - 09-02-2020 NO CHANGES
 - 09-18-2020 UPDATED GATE LABEL
 - UPDATED VEHICLE TRACKING MODEL
 - 10-14-2020 UPDATED VEHICLE TRACKING MODEL
 - UPDATED DRIVEWAY INTERSECTION
 - ADDED DRIVEWAY INTERSECTION DETAILS



GRAVEL DRIVEWAY SECTION

COMPACTION AND SOIL PREPARATION PER GEOTECHNICAL ENGINEER NOT TO SCALE

CONSECRATED DOCUMENT
 ENGINEERING AND ARCHITECTURAL DRAWING
 THIS DRAWING IS THE PROPERTY OF DELTA CONSULTING & ENGINEERING. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF DELTA CONSULTING & ENGINEERING IS STRICTLY PROHIBITED. THESE PLANS, SPECIFICATIONS AND SCHEDULES ARE TO BE USED IN CONJUNCTION WITH THE PERMITS AND REGULATIONS OF THE COUNTY OF DELA CONADA AND THE APPLICABLE CODES AND ORDINANCES. THE DRAWING IS NOT TO BE USED FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE WRITTEN PERMISSION OF DELTA CONSULTING & ENGINEERING. IT REPRESENTS THE LATEST INFORMATION RELATIVE TO THE PROJECT.

DELTA CONSULTING & ENGINEERING
 OF ST. HELENA
 1104 ADAMS STREET, SUITE 203 - ST. HELENA, CALIFORNIA 94574
 707.963.8456 + 707.963.8528 FAX

USE PERMIT PLANS
 CIRCULATION SITE PLAN

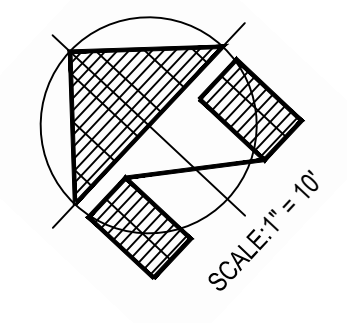
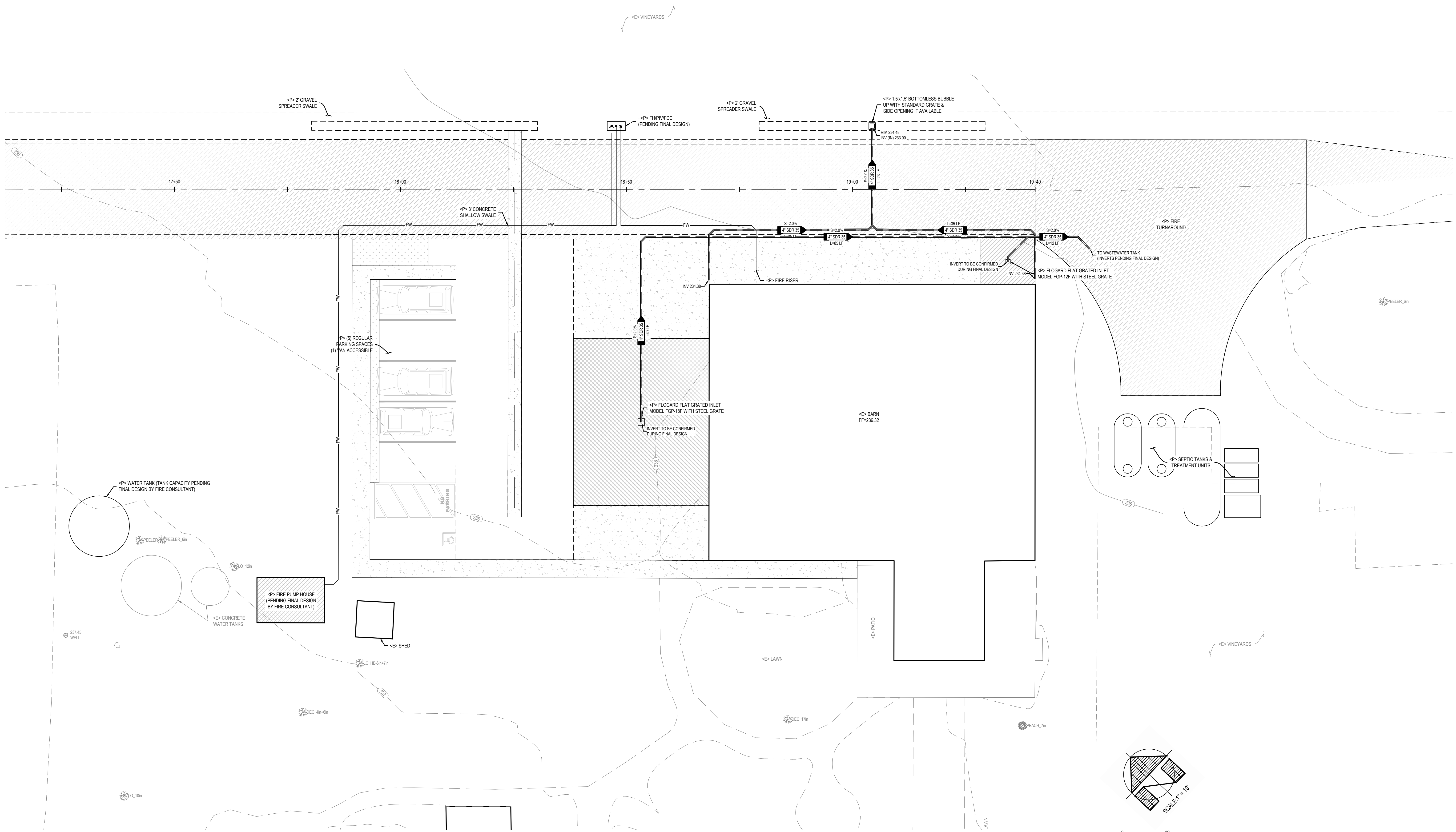
TAPLIN CELLARS WINERY
 1677 LEWELLING LANE
 ST. HELENA, CA 94574
 APN: 027-100-005
 PROJECT: R-101.00

EVERY PERSON PLANNING TO DIG
 CALL USA AT 1-800-277-2609

DATE	ISSUE
03/27/2020	SUBMITTAL
07/27/2020	RE-SUBMITTAL
09/02/2020	RE-SUBMITTAL
09/18/2020	RE-SUBMITTAL
10/14/2020	RE-SUBMITTAL
11/11/2020	RE-SUBMITTAL

UP3.0

UTILITY PLAN



REVISIONS

07-27-2020	<ul style="list-style-type: none"> ADDED FDC ON SITE PLAN ADDED AREA DRAIN ON TRASH ENCLOSURE UPDATED UTILITY NOTES UPDATED <P> WATER TANK NOTE UPDATED GRAVITY NETWORK
09-02-2020	<ul style="list-style-type: none"> NO CHANGES
09-18-2020	<ul style="list-style-type: none"> NO CHANGES
10-14-2020	<ul style="list-style-type: none"> NO CHANGES

UTILITY NOTES

EXISTING UTILITY NOTES
 LOCATION OF EXISTING UTILITIES HAVE BEEN APPROXIMATED BASED ON GROUND SURVEY PERFORMED BY TERRA FIRMA SURVEYS DATED APRIL 2019. CONTRACTOR/OWNERSHIP SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO EXCAVATE OR PERFORM ANY EARTHWORK ACTIVITIES. EXISTING UTILITIES NOT SHOWN INCLUDE:
 -GAS
 -POWER
 -COMMUNICATION
 ALL PROPOSED UTILITIES ARE SUBJECT TO CHANGE PENDING FUTURE DESIGN.

STORMWATER NOTES
 STORMWATER RUNOFF WILL BE TREATED AS PER SCP REPORT PREPARED BY THIS OFFICE. REFER TO THE REPORT FOR SPECIFIC DETAILS

WASTEWATER NOTES
 SEE SEPTIC FEASIBILITY REPORT PREPARED BY THIS OFFICE FOR MORE INFORMATION ON THE WASTEWATER USE.

FIREWATER NOTES
 FIREWATER FOR ON-SITE HYDRANTS AND FUTURE BUILDING SPRINKLERS WILL BE PROVIDED FROM EXISTING & A FUTURE WATER TANK ON SITE. THE SYSTEM WILL BE PRESSURIZED BY A FIRE PUMP WITH A BACKUP POWER GENERATOR. WATER TANK CAPACITY AND FIRE FEATURES WILL BE COORDINATED WITH FIRE CONSULTANT DURING CONSTRUCTION PHASE DESIGN.

CONTRACTOR/OWNER/ENGINEER SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO EXCAVATE OR PERFORM ANY EARTHWORK ACTIVITIES. EXISTING UTILITIES NOT SHOWN INCLUDE: GAS, POWER, COMMUNICATION. ALL PROPOSED UTILITIES ARE SUBJECT TO CHANGE PENDING FUTURE DESIGN.

DELTA CONSULTING & ENGINEERING
 OF ST. HELENA
 1104 ADAMS STREET, SUITE 203 • ST. HELENA, CALIFORNIA 94574
 707-963-8456 • 707-963-8528 FAX

USE PERMIT PLANS
 UTILITY PLAN

TAPLIN CELLARS WINERY
 1677 LEWELLING LANE
 ST. HELENA, CA 94574
 APN: 027-100-005
 PROJECT: R-101.00

EVERY PERSON PLANNING TO DIG
 CALL USA AT 1-800-227-2609

DATE	ISSUE
03/27/2020	SUBMITTAL
07/27/2020	RE-SUBMITTAL
09/02/2020	RE-SUBMITTAL
09/18/2020	RE-SUBMITTAL
10/14/2020	RE-SUBMITTAL
SHEET:	

UP4.0