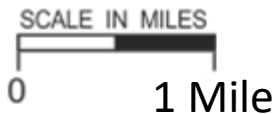
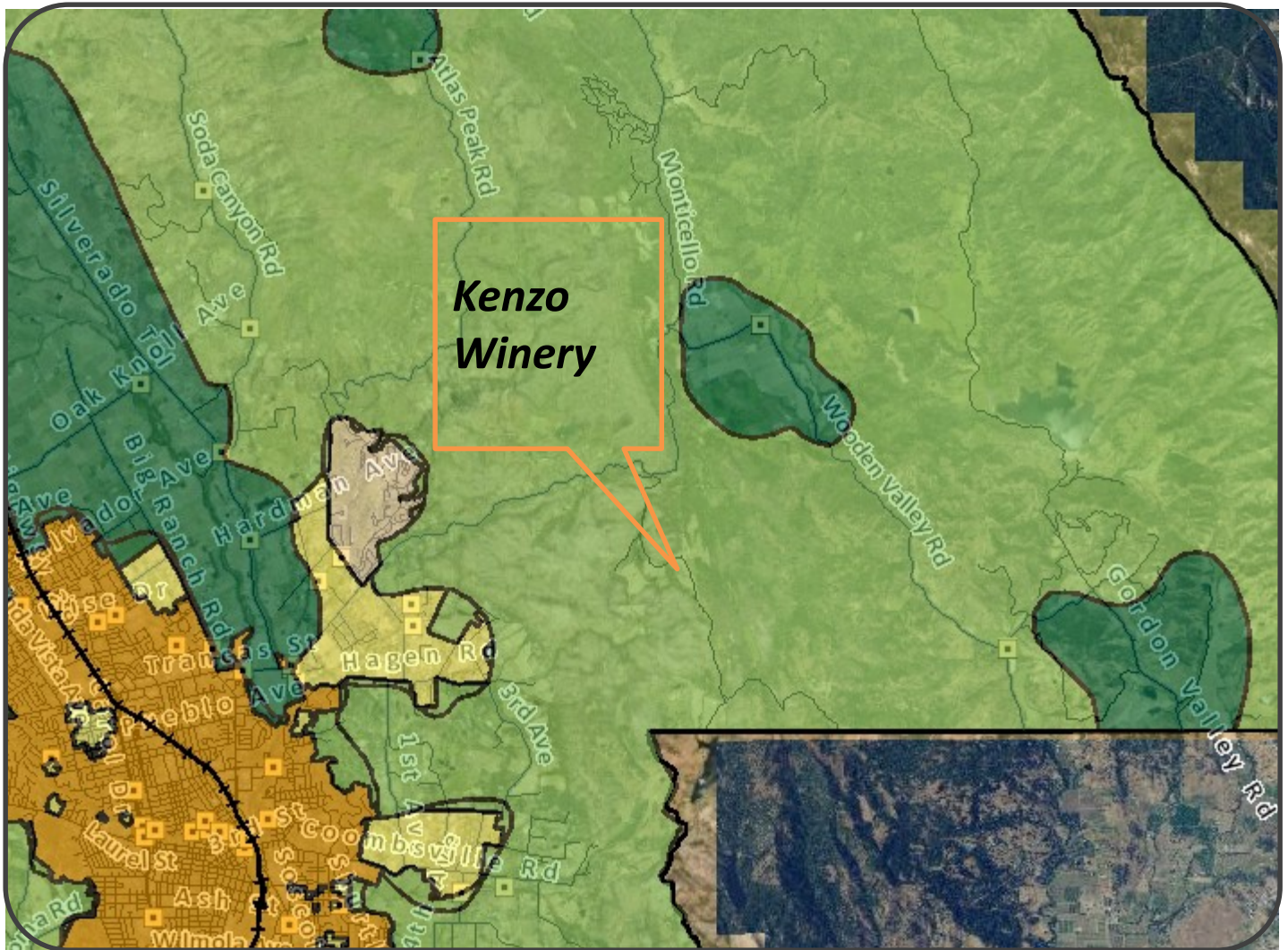


“K”

Graphics
Kenzo Estate
P19-00396-MOD

NAPA COUNTY LAND USE PLAN 2008 – 2030



LEGEND



URBANIZED OR NON-AGRICULTURAL

- Study Area
- Cities
- Urban Residential*
- Rural Residential*
- Industrial
- Public-Institutional

OPEN SPACE

- Agriculture, Watershed & Open Space
- Agricultural Resource

TRANSPORTATION

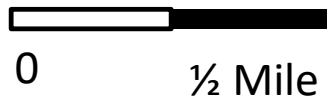
- Mineral Resource
- Limited Access Highway
- American Canyon ULL
- City of Napa RUL
- Landfill - General Plan
- Road
- Airport
- Railroad
- Airport Clear Zone

* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations



LEGEND

- Zoning
- Parcels



ZONING MAP



Existing Conditions

ABBREVIATIONS

ACOUS.	Acoustical	M.C.	Medicine Cabinet
A.D.	Area Drain	MECH.	Mechanical
ADJ.	Adjustable	MIN.	Minimum
A.F.F.	Above Finish Floor	MIR.	Mirror
AGGR.	Aggregate	MTL.	Metal
ARCH.	Architectural	M.P.R.	Multi-Purpose Room
ASPH.	Asphalt	(N)	New
AWN.	Awning	N.I.C.	Not In Contract
BI-FD. DR.	Bi-Fold Door	N.T.S.	Not To Scale
BLDG.	Building	NO.	Number
BLK.	Block		
BLKG.	Blocking	OBS.	Obscure
BM.	Beam	O.C.	On Center
B.O.	Bottom Of	O.D.	Outside Diameter
B.W.	Bottom Of Wall	OPNG.	Opening
BYND.	Beyond		
		PLAM.	Plastic Laminated
CPT.	Carpet	P.L.	Property Line
CAB.	Cabinet	PL.	Plaster
C.B.	Catch Basin	PLAS.	Plaster
CEM.	Cement	PLYWD.	Plywood
C.J.	Construction Joint	PT.	Point
CL.	Closet	QTY.	Quantity
CLG.	Ceiling	R.	Riser
CLR.	Clear	r.	Radius
C.O.	Clean Out	RET.	Retaining
COL.	Column	RET. AIR	Return Air
CONC.	Concrete	RD.	Round
CONT.	Continuous	R.D.	Roof Drain
CSMT.	Casement	REF.	Refrigerator
C.T.	Ceramic Tile	REG.	Register
C.L.	Centerline	REINF.	Reinforced
C.S.	Counter Sink	REQ'D	Required
		R.O.	Rough Opening
DEMO.	Demolition	RWD.	Redwood
DET.	Detail	R.W.L.	Rain Water Leader
D.H.	Double Hung		
DIAG.	Diagonal	S.A.G.	Supply Air Grill
DIM.	Dimension	s.f.	Square Foot
DWGS.	Drawings	S.V.	Sheet Vinyl
DN.	Down	S.H.	Single Hung
		SH.	Sheet
(E)	Existing	SHWR.	Shower
E.J.	Expansion Joint	SIM.	Similar
EL.	Elevation	S.M.	Sheet Metal
ELEC.	Electric	SKY.	Skylight
EQ.	Equal	SL.	Slider
EXT.	Exterior	SL.GL.DR.	Sliding Glass Door
		SO.	Square
FB.T.	Furnished By Tenant	S.S.D.	See Structural Drawings
F.D.	Floor Drain	S.S.	Stainless Steel
F.F.	Finish Floor	STD.	Standard
FIN.	Finish	STL.	Steel
F.Q.C.	Face Of Concrete	STG.	Storage
F.O.S.	Face Of Stud	STRUC.	Structural
F.O.W.	Face Of Wall		
FR. DR.	French Door	T.	Tread
FT.	Footing	TEMP.GL.	Tempered Glass
FX.	Fixed	T.O.	Top Of
		T.J.	Truss Joist
GA.	Gauge	T.O.C.	Top Of Concrete
GALV.	Galvanized	T.C.	Top Of Curb
G.B. or G.W.	Gypsum Board	T.O.F.	Top Of Fence
GLS.	Glass	T.O.R.	Top Of Roof
GLU. LAM.	Glue Laminated	T.P.D.	Toilet Paper Dispenser
G.L.	Ground Level	TYP.	Typical
G.S.F.	Gross Square Footage	T.W.	Top Of Wall
G.S.M.	Galvanized Sheet Metal	T.S.	Tube Steel
		U.O.N.	Unless Otherwise Noted
H.B.	Hose Bib	VERT.	Vertical
H.	Height	V.I.F.	Verify In Field
H.M.	Hollowed Metal		
HOR.	Horizontal	W/	With
H.P.	High Point	W.C.	Water Closet
H.W.H.	Hot Water Heater	WD.	Wood
		WDW.	Window
I.D.	Inside Diameter	WP.	Waterproof
INSUL.	Insulation	W.P.	Work Point
INT.	Interior	YD.	Yard
J.BOX	Junction Box		
JT.	Joint		
LAM.	Laminated		
LAV.	Lavatory		
LVR.	Louver		
L.P.	Low Point		

SYMBOL LEGEND

	Elevation Reference
	Section Reference
	Vantage Point Reference
	Grid Line
	Detail Reference
	Datum or Spot Elevation Point
	Elevation or Section Datum Symbol
Room Name	Room Number or Space Allocation ID
	100
	Door Symbol
	Window Symbol
	Louver Symbol
	Wall Tag

SHEET INDEX

ARCHITECTURAL SHEETS

A0.0	Cover Sheet
A0.1	Area Diagram
A0.2	Production Accessory Diagram
A0.3	Egress Route
A0.4	Egress Route
A1.1	Site Plan, Existing
A1.2	Site Plan, Proposed
A2.1	Floor Plan, Existing
A2.2	Floor Plan, Proposed
A5.1	Sections
A5.2	Sections
A5.3	Sections
A5.4	Elevations

PROJECT TEAM

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PROJECT DESCRIPTION

The Kenzo Estate (Winery) seeks a Use Permit Modification to increase existing cave and crush pad and wine volume production. Expansions are as follows: Annual production increase from 102,000 gallons (which is in compliance) to 150,000 gallons to accommodate estate vineyard growth; Expansion of the existing 22,470 s.f. Type 2 cave to a 68,415 s.f. Type 3 cave, including a 720 s.f. tasting area; Expand the existing crush pad canopy by 3,350 s.f. to connect new and existing spaces. The existing barrel storage cave is insufficient for current production capacity and is seeking to expand the underground cave to avoid negative visual and environmental impacts to the natural landscape. A portion of the underground cave will be designed to allow grape fermentation and production to meet current and future grape productions. The covered crush pad will be constructed at the entrance of a new cave portal to create a direct connection from crush pad to proposed production cave.

The winery will maintain the same number of employees: 17 full time and 6 part time, with just one varying shift time per day. The Winery's level of visitation will remain as is - allowing 50 visitors Monday through Thursday and 100 visitors Friday through Sunday for the months of May through October and 50 visitors Monday through Thursday and 75 Friday through Sunday for the months of November through April. Weekly maximums are capped at 250 from May through October and 150 from November through April.

All work shall comply with 2016 versions of California Building Code (CBC), California Residential Code (CRC), California Plumbing Code (CPC), California Mechanical Code (CMC), California Electrical Code (CEC), California Energy Code, California Green Building Standards Code (CGBS), California Fire Code (CFC, if applicable), 2013 California Energy Efficiency Standards (CEES), Napa County and all applicable local codes.

PARCEL INFORMATION

Site Address:	3200 Monticello Road, Napa, Ca, 94558
APN #:	033-110-075-000
Lot Size:	36.13 acres
Zoning Group:	AW
FEMA Flood Zone:	Parcel not in FEMA Floor Zone
Heritage Tree Removal:	None
Fire Jurisdiction for Structures:	Napa County Fire
Fire Jurisdiction for Wildland:	CalFire
School District:	Napa Valley Unified
Supervisor District:	District 4
Township & Range:	T06N-R03W28
USGS Topography Quadrant:	Mount George

BUILDING CODE INFORMATION

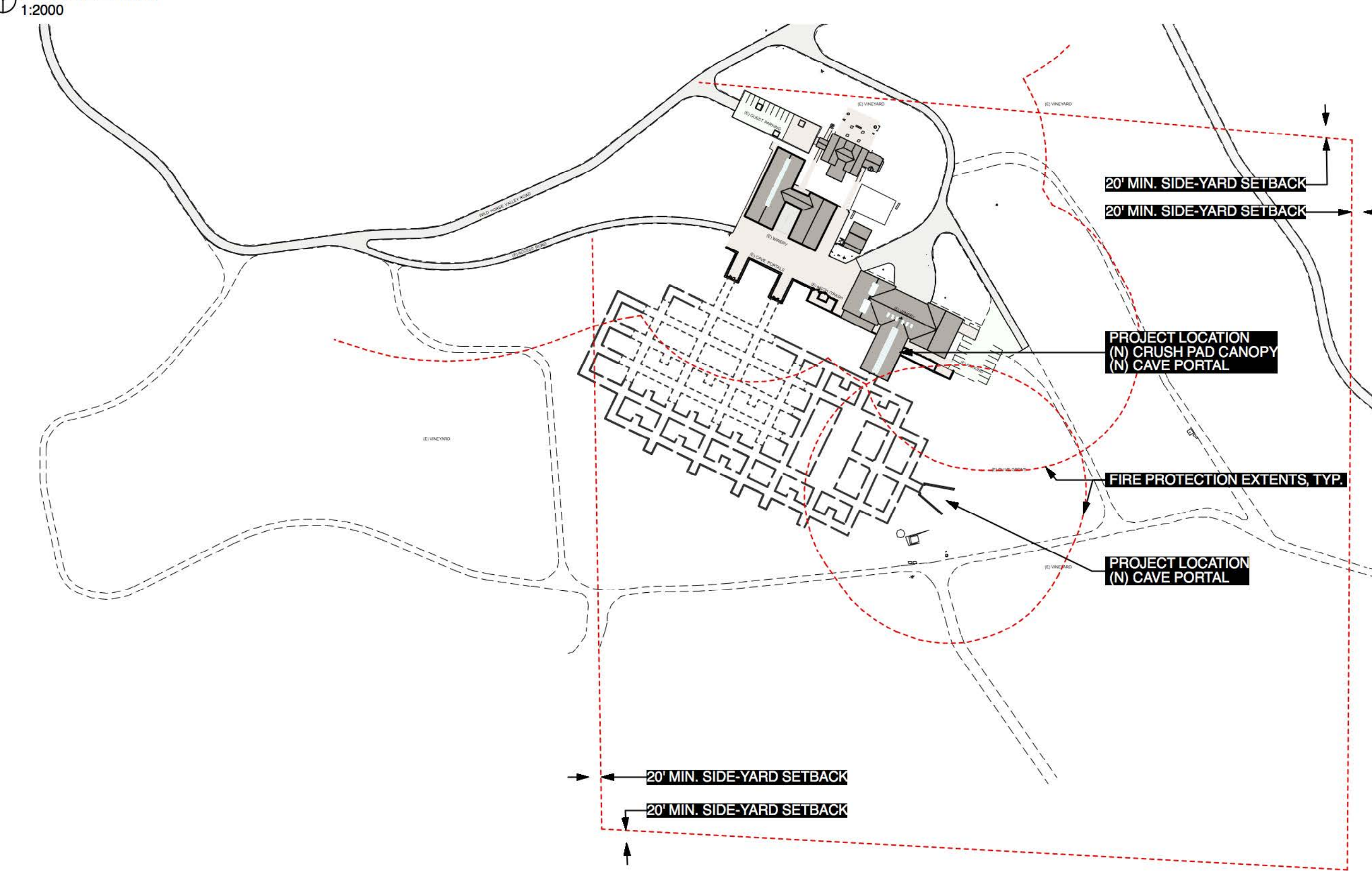
Use Group / Occupancy:	F-2 / S-2
	Type 2 Caves, natural or manmade, used solely for the storage and/or processing of wine at a winery facility. Type 2 Caves are accessible by the public on guided tours only. All Type 2 Caves require a minimum of an approved manual fire alarm system. Public tours for the public shall be continuously guided by staff knowledgeable in the location of exits and the use of the emergency notification devices, per Napa County Fire Marshal Development Guidelines XIV Subterranean Caves.
Building Type:	Type IB-2

SQUARE FOOTAGE

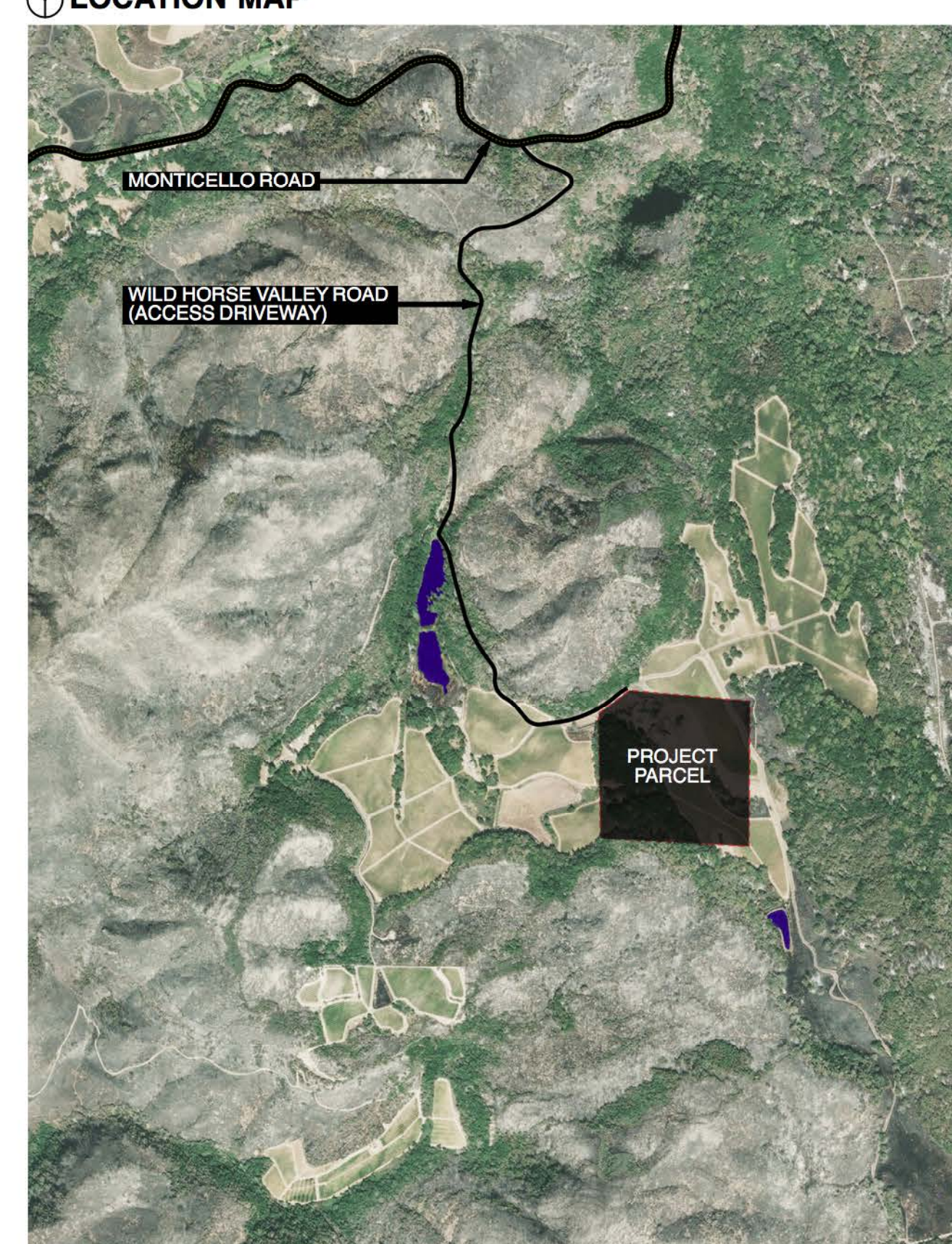
Above Ground Covered Area:	
Existing Building Area:	29,534 s.f.
Proposed Building Area:	4,170 s.f.
Below Ground Cave Expansion:	
Existing Cave:	22,470 s.f.
Proposed Cave:	45,945 s.f.
Total Project Area:	102,119 s.f.
Total New Construction Area:	50,115 s.f. (49.1% Increase)

(See Area Diagram for square footage and occupancy related information.)

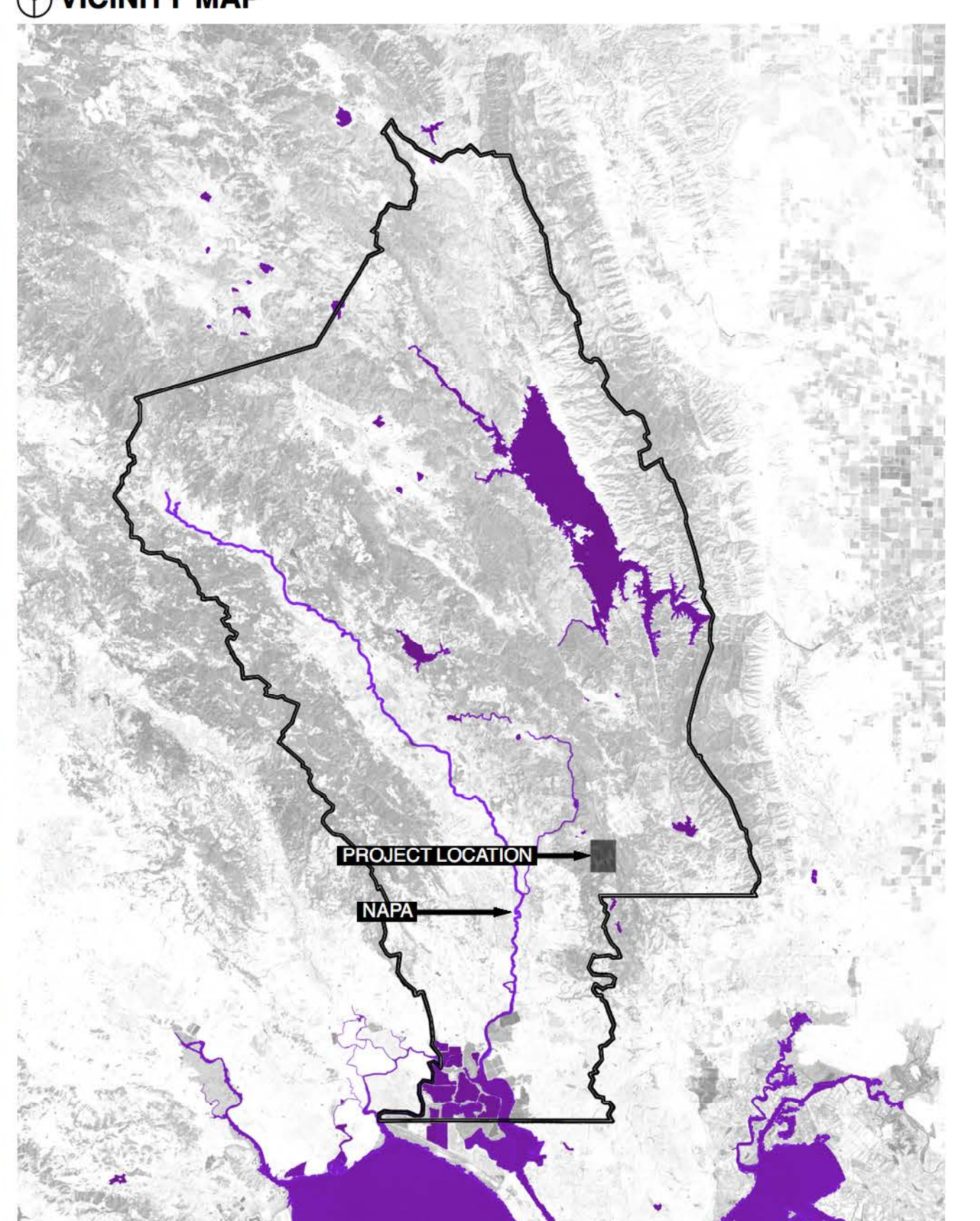
PARCEL MAP



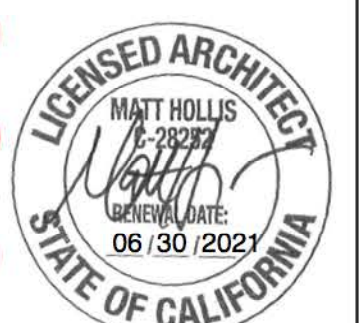
LOCATION MAP



VICINITY MAP



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 415 977 0194



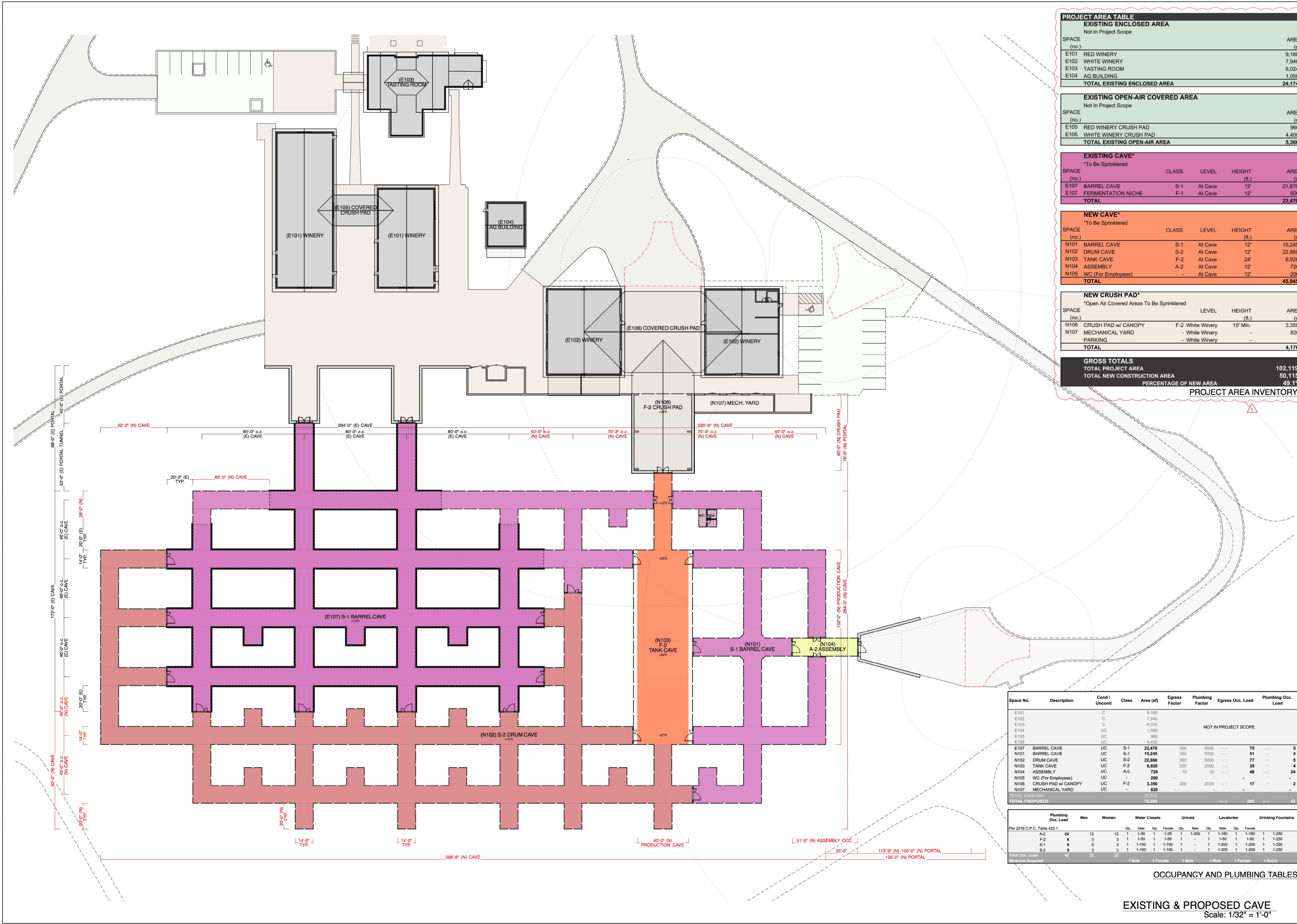
KENZO ESTATE
USE PERMIT MODIFICATION
 3200 MONTICELLO ROAD, NAPA, CA 94558
 APN 033-110-075-000

PUBLISH DATE
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 Drawn by: CS
 Project No: 1842
 Scale: SEE DRAWING

Cover Sheet

A0.0



PROJECT AREA TABLE	
EXISTING ENCLOSED AREA	
SPACE (no.)	AREA (sf)
Not In Project Scope	
E101 RED WINERY	9,160
E102 WHITE WINERY	7,940
E103 TASTING ROOM	6,024
E104 AG BUILDING	1,050
TOTAL EXISTING ENCLOSED AREA	24,174

EXISTING OPEN-AIR COVERED AREA	
SPACE (no.)	AREA (sf)
Not In Project Scope	
E105 RED WINERY CRUSH PAD	960
E106 WHITE WINERY CRUSH PAD	4,400
TOTAL EXISTING OPEN-AIR AREA	5,360

EXISTING CAVE*				
SPACE (no.)	CLASS	LEVEL	HEIGHT (ft.)	AREA (sf)
*To Be Sprinklered				
E107 BARREL CAVE	S-1	At Cave	12'	21,870
E107 FERMENTATION NICHE	F-1	At Cave	12'	600
TOTAL				22,470

NEW CAVE*				
SPACE (no.)	CLASS	LEVEL	HEIGHT (ft.)	AREA (sf)
*To Be Sprinklered				
N101 BARREL CAVE	S-1	At Cave	12'	15,245
N102 DRUM CAVE	S-2	At Cave	12'	22,860
N103 TANK CAVE	F-2	At Cave	24'	6,920
N104 ASSEMBLY	A-2	At Cave	12'	720
N105 WC (For Employees)	-	At Cave	12'	200
TOTAL				45,945

NEW CRUSH PAD*			
SPACE (no.)	LEVEL	HEIGHT (ft.)	AREA (sf)
*Open Air Covered Areas To Be Sprinklered			
N108 CRUSH PAD w/ CANOPY	F-2 White Winery	15' Min.	3,350
N107 MECHANICAL YARD	- White Winery	-	820
TOTAL			4,170

GROSS TOTALS	
SPACE (no.)	AREA (sf)
TOTAL PROJECT AREA	102,119
TOTAL NEW CONSTRUCTION AREA	50,115
PERCENTAGE OF NEW AREA	49.1%

PROJECT AREA INVENTORY

Space No.	Description	Cond / Uncond	Class	Area (sf)	Egress Factor	Plumbing Factor	Egress Occ. Load	Plumbing Occ. Load
E101		C		9,160				
E102		C		7,940				
E103		C		6,024				
E104		UC		1,050				
E105		UC		960				
E106		UC		4,400				
NOT IN PROJECT SCOPE								
N101	BARREL CAVE	UC	S-1	15,245	300	5000	75	5
N102	DRUM CAVE	UC	S-2	22,860	300	5000	35	4
N103	TANK CAVE	UC	F-2	6,920	200	2000	35	5
N104	ASSEMBLY	UC	A-2	720	15	30	48	24
N105	WC (For Employees)	UC	-	200	-	-	17	2
N106	CRUSH PAD w/ CANOPY	UC	F-2	3,350	-	200	-	-
N107	MECHANICAL YARD	UC	-	820	-	-	-	-
TOTAL EXISTING				25,534			362	42
TOTAL PROPOSED				72,985				

Per 2016 C.P.C. Table 422.1	Plumbing Occ. Load	Men	Women	Water Closets				Urinals				Lavatories				Drinking Fountains			
				Qty.	Male	Female	Qty.	Male	Female	Qty.	Male	Female	Qty.	Male	Female				
A-2	24	12	12	1	1-50	1	1-25	1	1-200	1	1-150	1	1-150	1	1-250				
F-2	6	3	3	1	1-50	1	1-50	1	1-150	1	1-50	1	1-50	1	1-250				
S-1	9	5	5	1	1-100	1	1-100	1	1-100	1	1-200	1	1-200	1	1-250				
S-2	5	3	3	1	1-100	1	1-100	1	1-100	1	1-200	1	1-200	1	1-250				
Total Occ. Load	42	22	22	1	1	1	1	1	1	1	1	1	1	1	1	1	1		
Minimum Required				1	1	1	1	1	1	1	1	1	1	1	1	1	1		

OCCUPANCY AND PLUMBING TABLES

EXISTING & PROPOSED CAVE
Scale: 1/32" = 1'-0"

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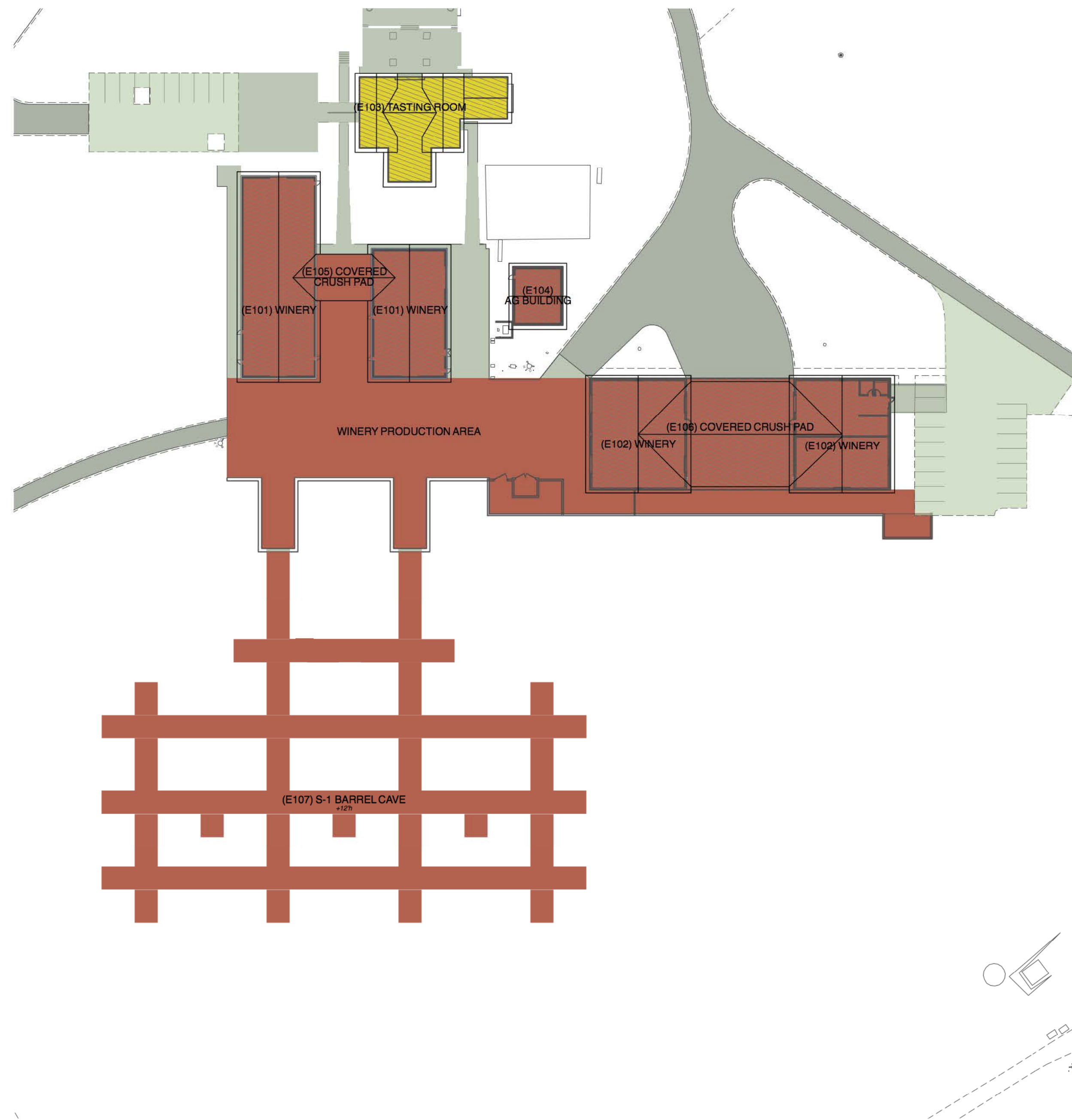
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3200 MONTICELLO ROAD, NAPA, CA 94558

PUBLISH DATE
2024.20

Date: 20200228
Drawn by: CS
Project No: 1842
Scale: SEE DRAWING

Area Diagram, At Cave

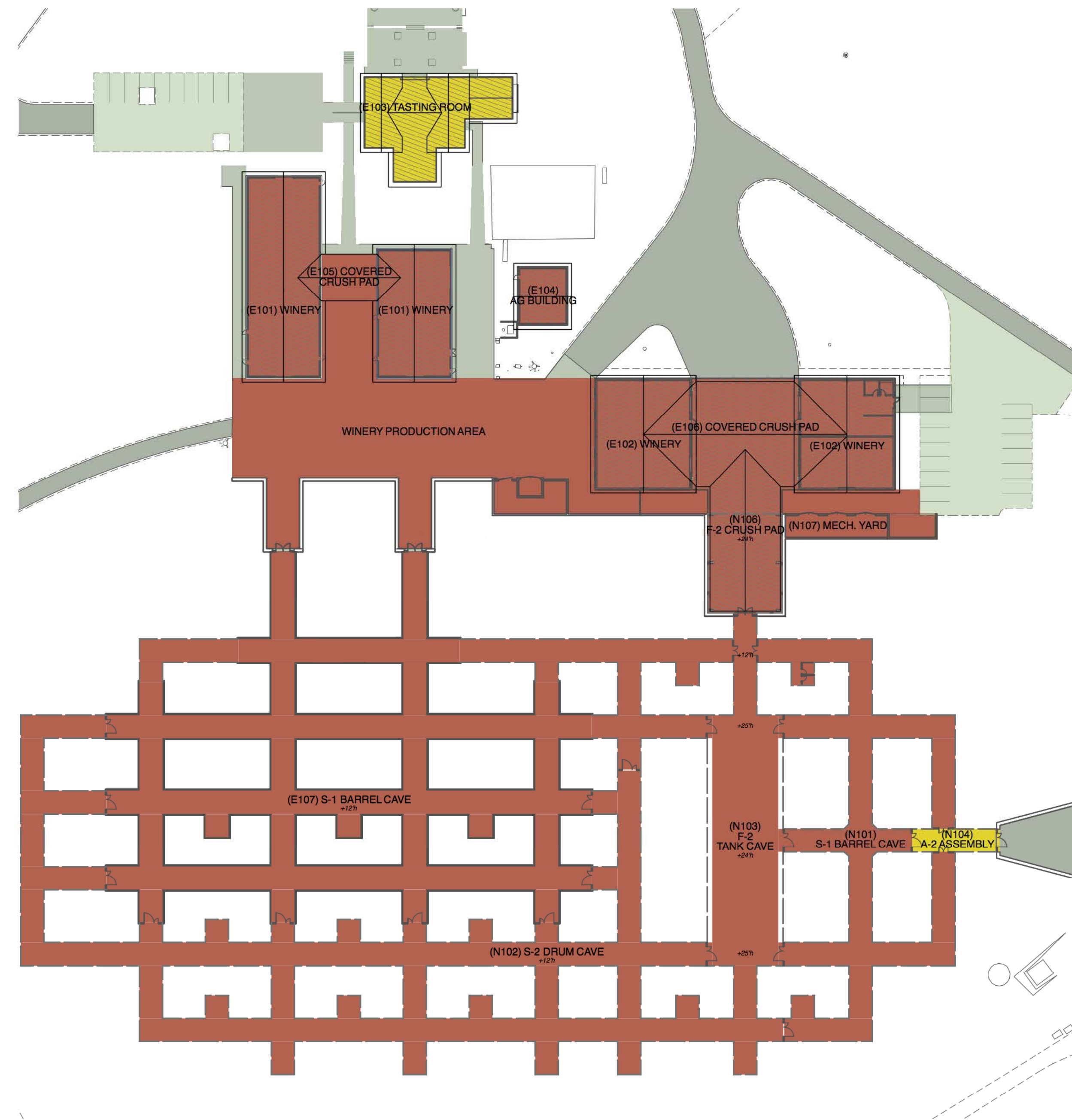
A0.1



EXISTING PRODUCTION / ACCESSORY TABLE		
EXISTING ENCLOSED AREA		
SPACE (no.)	AREA (sf)	
E101 RED WINERY	9,160	
E102 WHITE WINERY	7,940	NOT IN PROJECT SCOPE
E103 TASTING ROOM	6,024	
E104 AG BUILDING	1,050	
TOTAL EXISTING ENCLOSED AREA	24,174	
EXISTING OPEN-AIR & OPEN-AIR COVERED AREA		
SPACE (no.)	AREA (sf)	
E105 RED WINERY CRUSH PAD	960	
E106 WHITE WINERY CRUSH PAD	4,400	NOT IN PROJECT SCOPE
OPEN AIR, WINERY PRODUCTION AREA	21,270	
TOTAL EXISTING OPEN-AIR AREA	26,630	
EXISTING CAVE		
SPACE (no.)	AREA (sf)	
E107 BARREL CAVE	21,870	
E107 FERMENTATION NICHE	600	
TOTAL	22,470	
TOTALS FOR EXISTING		
TOTAL GROSS AREA	73,274	
PRODUCTION FACILITY	67,250	
ACCESSORY USE	6,024	9.0% of Production Facility

LEGEND	
	Winery Development Area: See Civil Drawings
	Winery Coverage: See Civil Drawings
	Production Facility
	Accessory Use
	Building Outline

EXISTING CAVE
Scale: 1" = 50'-0"



PROPOSED PRODUCTION / ACCESSORY TABLE		
NEW OPEN-AIR & OPEN-AIR COVERED AREA		
SPACE (no.)	AREA (sf)	
N106 CRUSH PAD w/ CANOPY	3,350	
N107 MECHANICAL YARD	820	
NEW COVERED, WINERY PRODUCTION AREA	(650) (Converted from open-air to open-air covered)	
PARKING	-	- See Civil Drawings
TOTAL	3,520	
NEW CAVE		
SPACE (no.)	AREA (sf)	
N101 BARREL CAVE (S-1)	15,245	
N102 DRUM CAVE (S-2)	22,860	
N103 TANK CAVE	6,920	
N104 ASSEMBLY	720	
N105 WC (For Employees)	200	
TOTAL	45,945	
TOTALS FOR PROPOSED		
TOTAL GROSS AREA	49,465	
PRODUCTION FACILITY	48,745	
ACCESSORY USE	720	1.5% of Production Facility

LEGEND	
	Winery Development Area: See Civil Drawings
	Winery Coverage: See Civil Drawings
	Production Facility
	Accessory Use
	Building Outline

GRAND TOTALS		
TOTAL GROSS AREA	122,739	
PRODUCTION FACILITY	115,995	
ACCESSORY USE	6,744	5.8% of Production Facility

PROPOSED CAVE
Scale: 1" = 50'-0"



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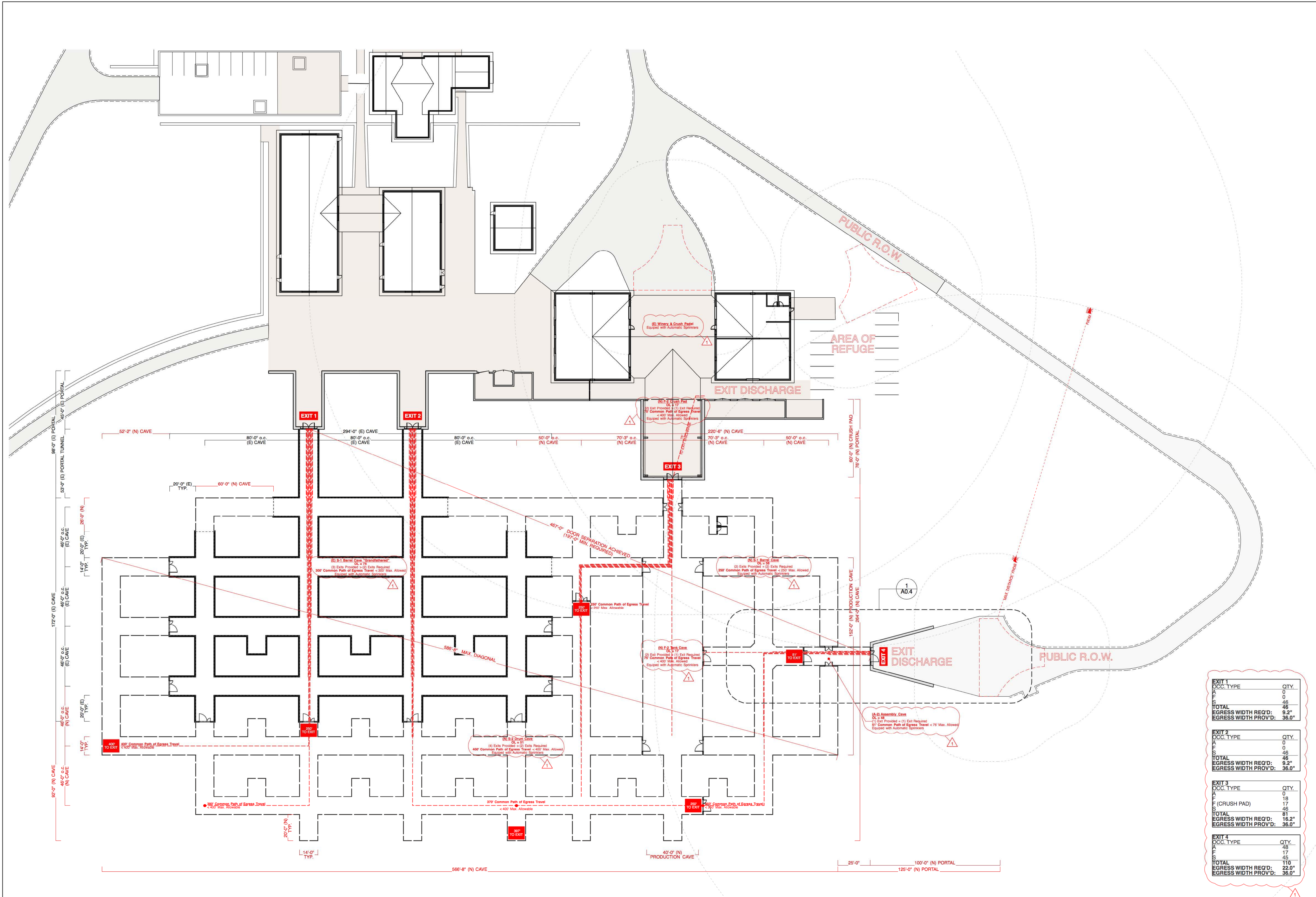
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**Production
Accessory
Diagram**

A0.2



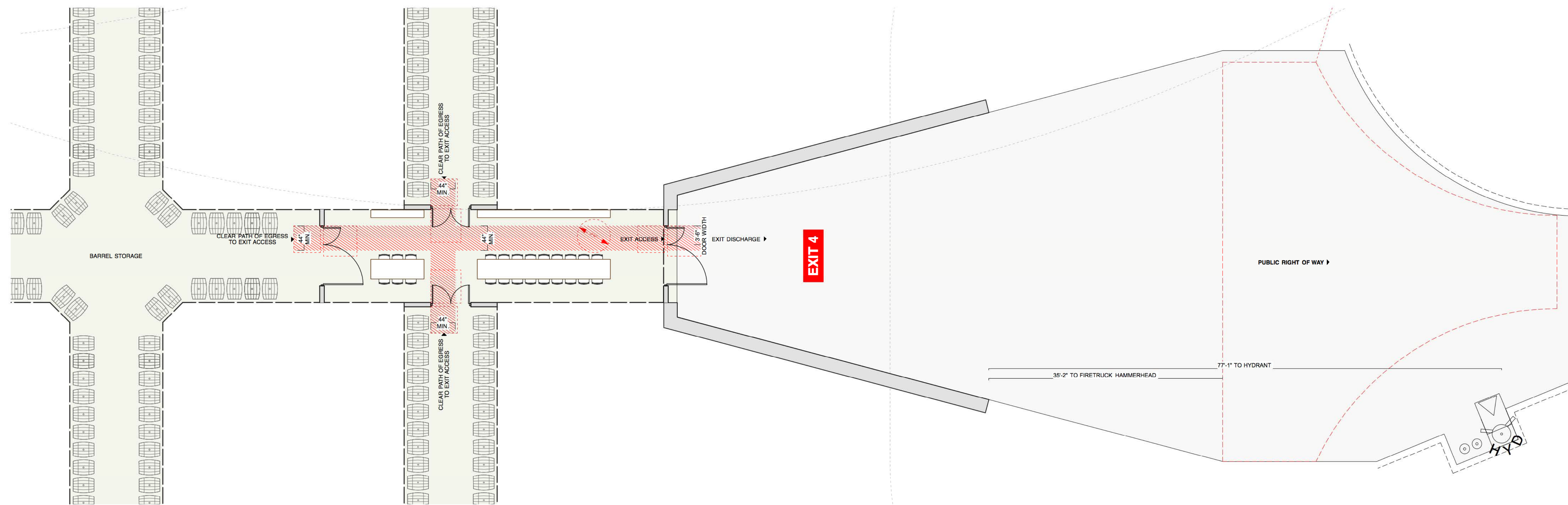
EXIT 1	
OCC. TYPE	QTY.
A	0
F	0
S	46
TOTAL	46
EGRESS WIDTH REQ'D:	9.2"
EGRESS WIDTH PROV'D:	36.0"

EXIT 2	
OCC. TYPE	QTY.
A	0
F	0
S	46
TOTAL	46
EGRESS WIDTH REQ'D:	9.2"
EGRESS WIDTH PROV'D:	36.0"

EXIT 3	
OCC. TYPE	QTY.
A	0
F (CRUSH PAD)	18
S	46
TOTAL	64
EGRESS WIDTH REQ'D:	18.2"
EGRESS WIDTH PROV'D:	36.0"

EXIT 4	
OCC. TYPE	QTY.
A	48
F	17
S	45
TOTAL	110
EGRESS WIDTH REQ'D:	22.0"
EGRESS WIDTH PROV'D:	36.0"

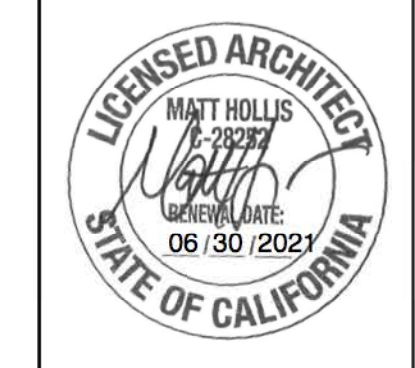
EGRESS ROUTE, SPRINKLERED CAVE
Scale: 1/32" = 1'-0"



EGRESS ROUTE, THROUGH SPRINKLERED ASSEMBLY ROOM
 Scale: 1/8" = 1'-0"



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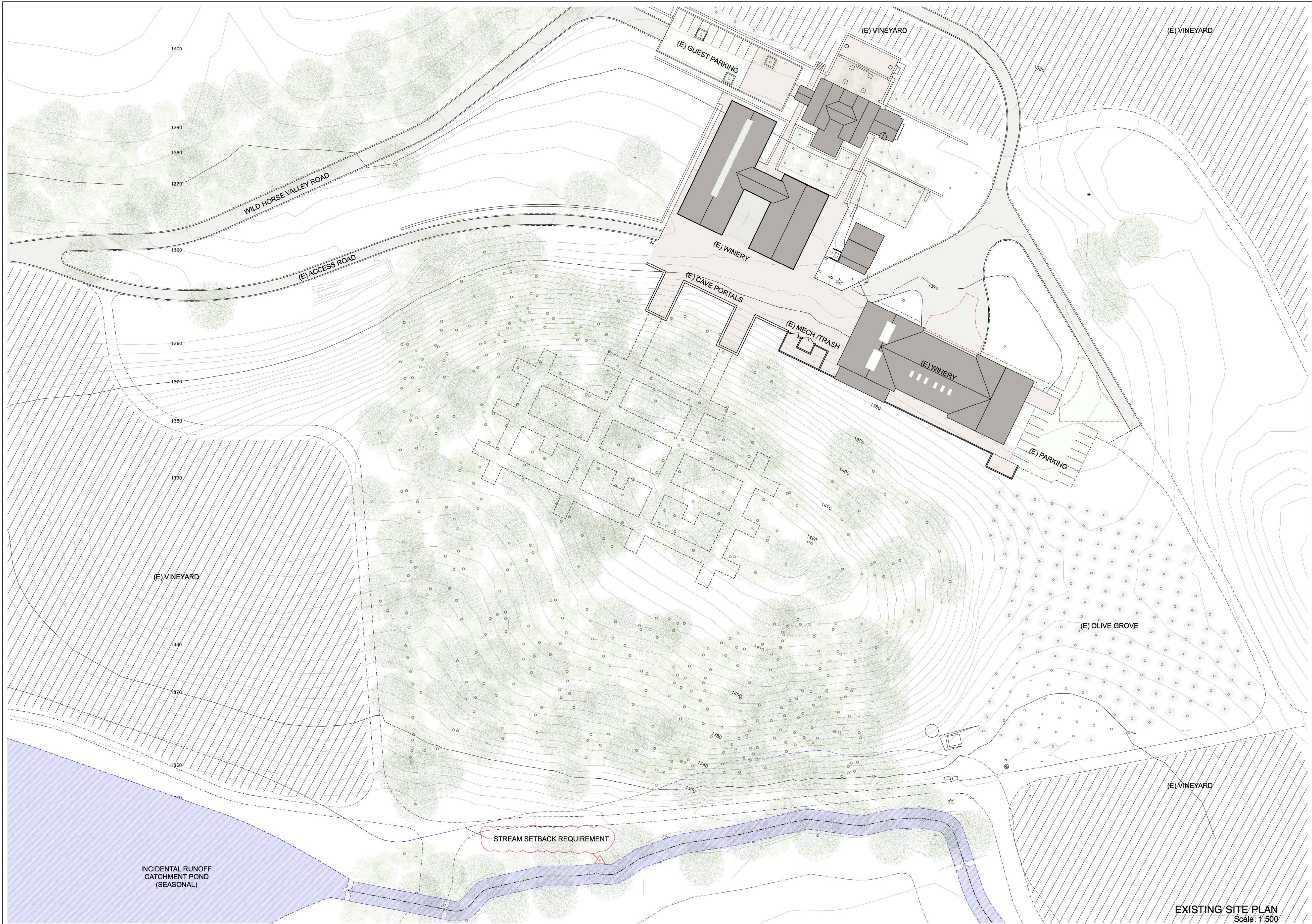
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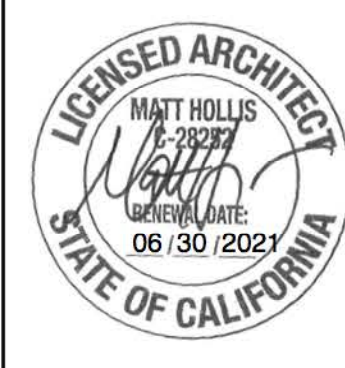
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Egress Route

A0.4



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Site Plan

A1.1

EXISTING SITE PLAN
 Scale: 1:500

INCIDENTAL RUNOFF
 CATCHMENT POND
 (SEASONAL)

STREAM SETBACK REQUIREMENT

(E) VINEYARD

(E) OLIVE GROVE

(E) VINEYARD

(E) WINERY

(E) MECH./TRASH

(E) CAVE PORTALS

(E) WINERY

(E) GUEST PARKING

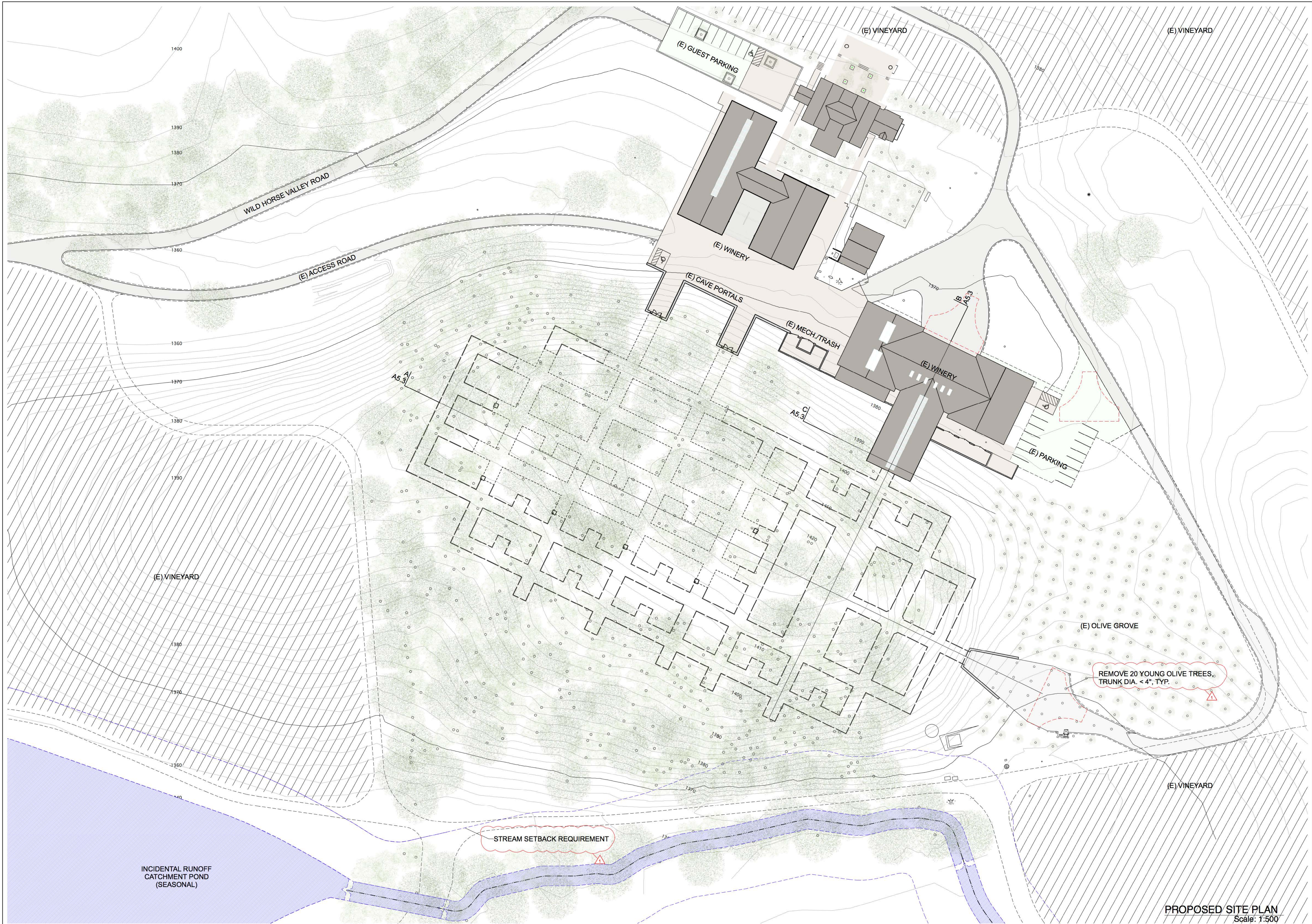
(E) VINEYARD

(E) VINEYARD

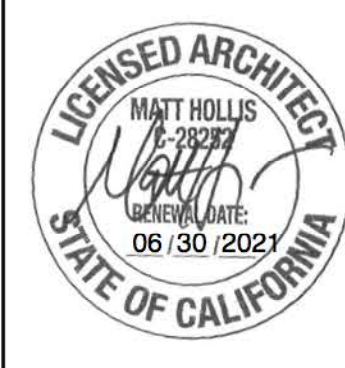
WILD HORSE VALLEY ROAD

(E) ACCESS ROAD

(E) PARKING



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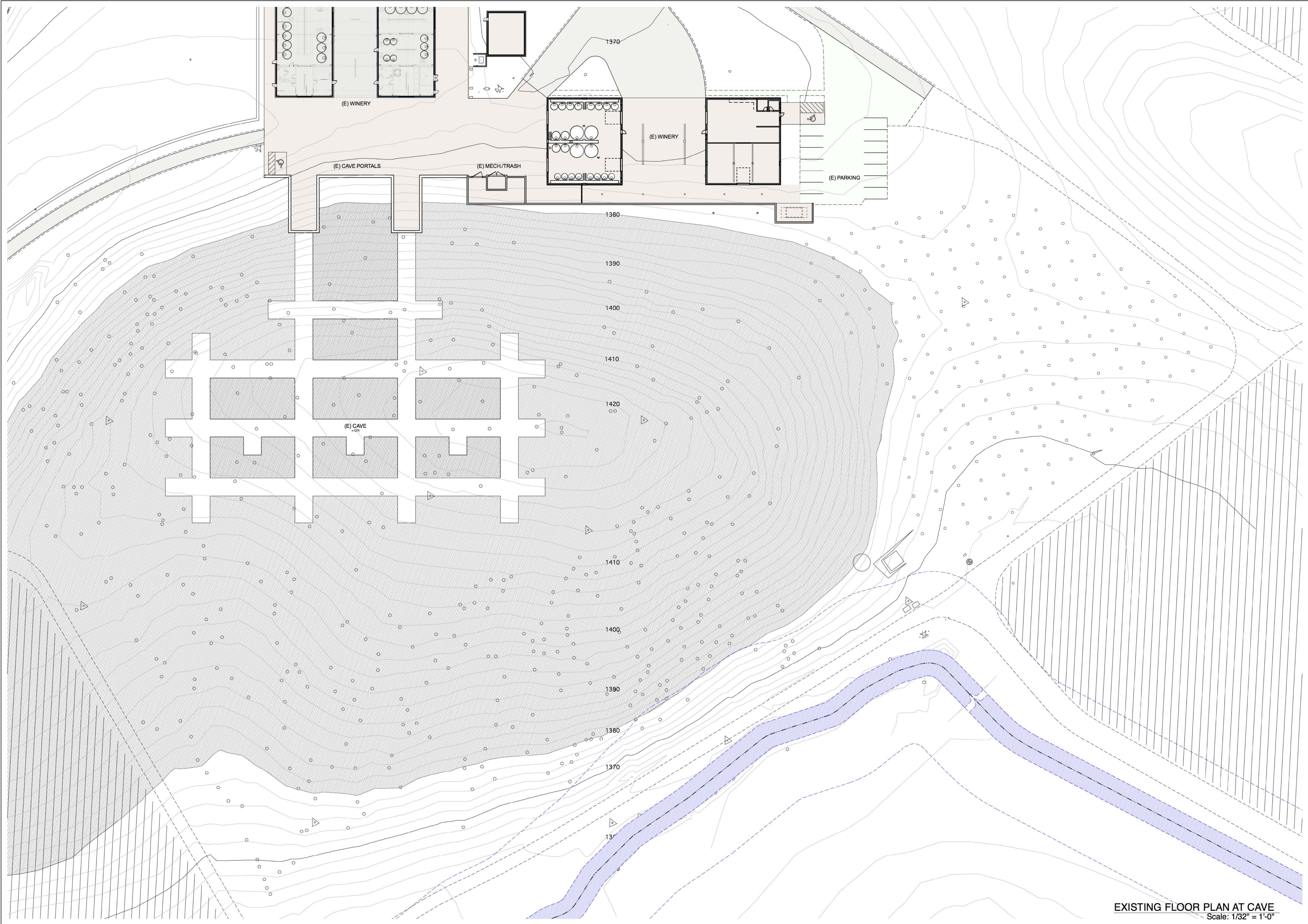
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 Project No: 1842
 Scale: SEE DRAWING

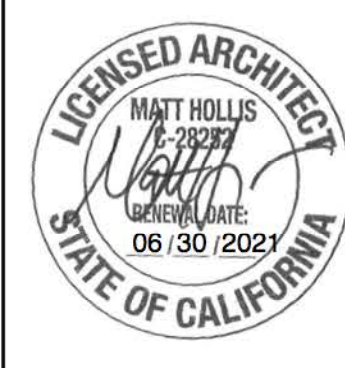
Site Plan

A1.2

PROPOSED SITE PLAN
 Scale: 1:500



MH ARCHITECTS
 2325 3rd st. studio 426
 san francisco, ca 94107
 info@matthollis.com
 matthollis.com
 415 977 0194



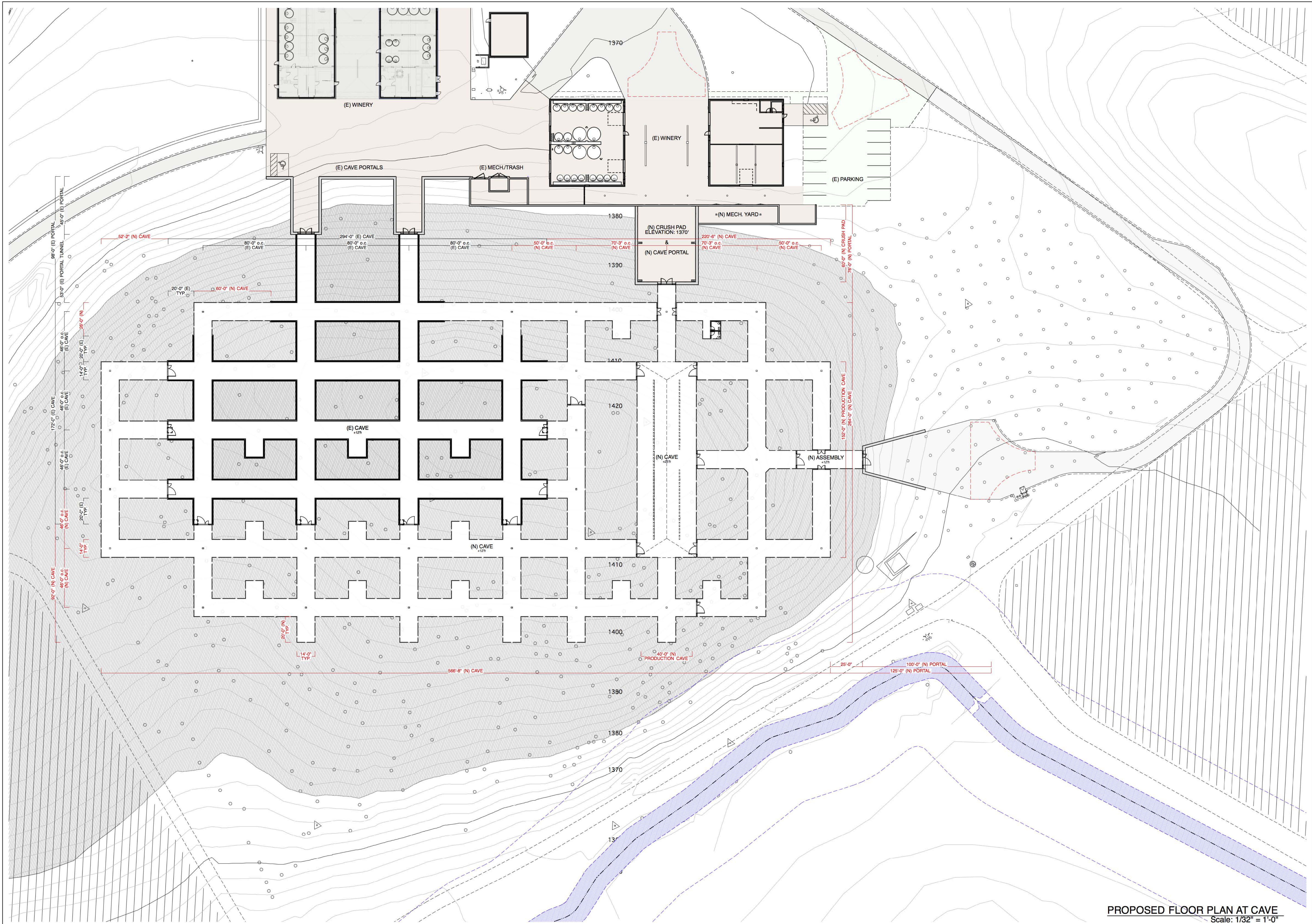
KENZO ESTATE
USE PERMIT MODIFICATION
 3200 MONTICELLO ROAD, NAPA, CA 94558
 PUBLISH DATE

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 Date: 20200228
 Drawn by: CS
 Project No: 1842
 Scale: SEE DRAWING

Floor Plan

A2.1

EXISTING FLOOR PLAN AT CAVE
 Scale: 1/32" = 1'-0"



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 san francisco, ca 94107
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 Date: 20200228
 Drawn by: CS
 Project No: 1842
 Scale: SEE DRAWING

Floor Plan

A2.2

PROPOSED FLOOR PLAN AT CAVE
 Scale: 1/32" = 1'-0"



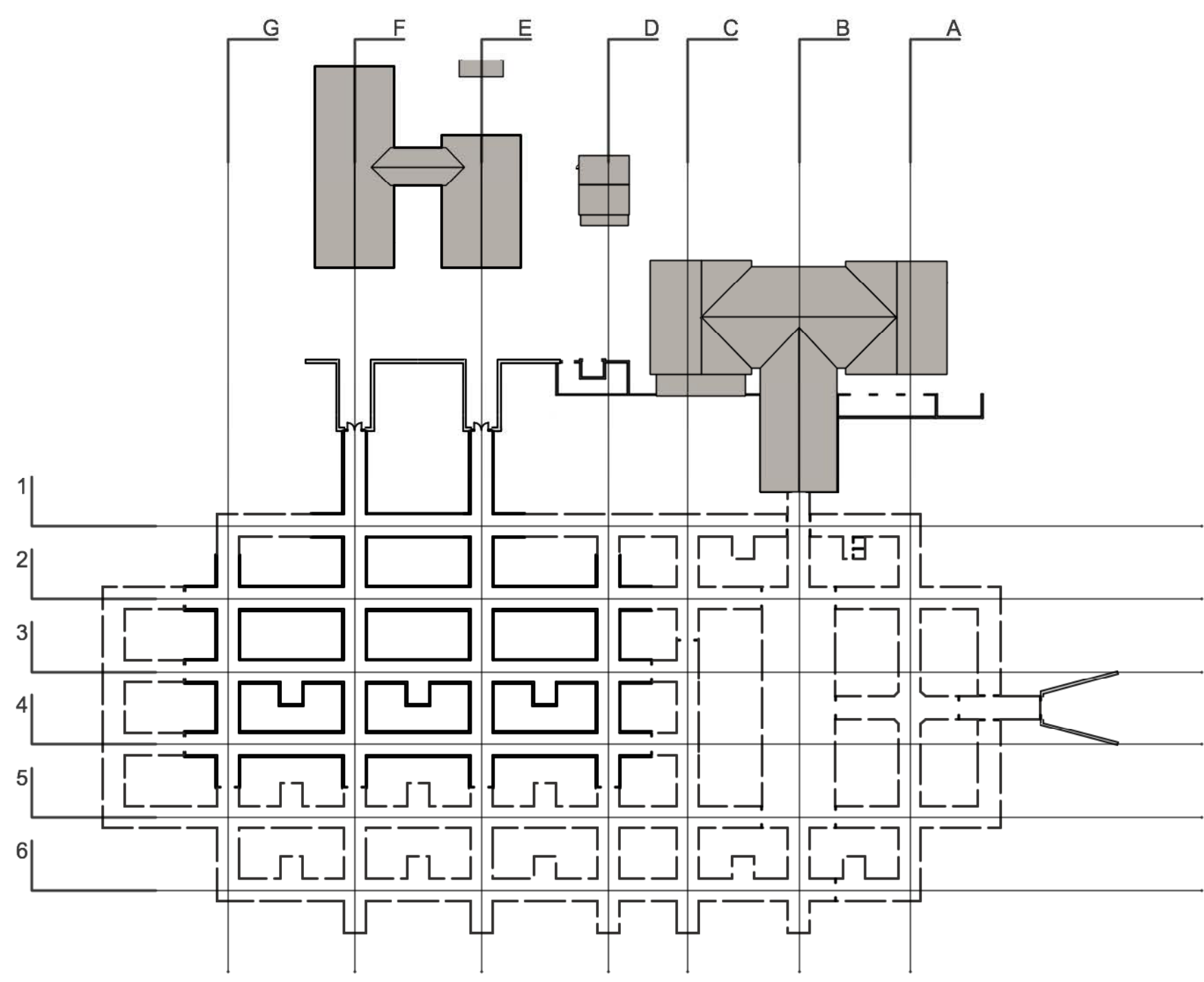
MH ARCHITECTS
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 san francisco, ca 94107
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 415 977 0194



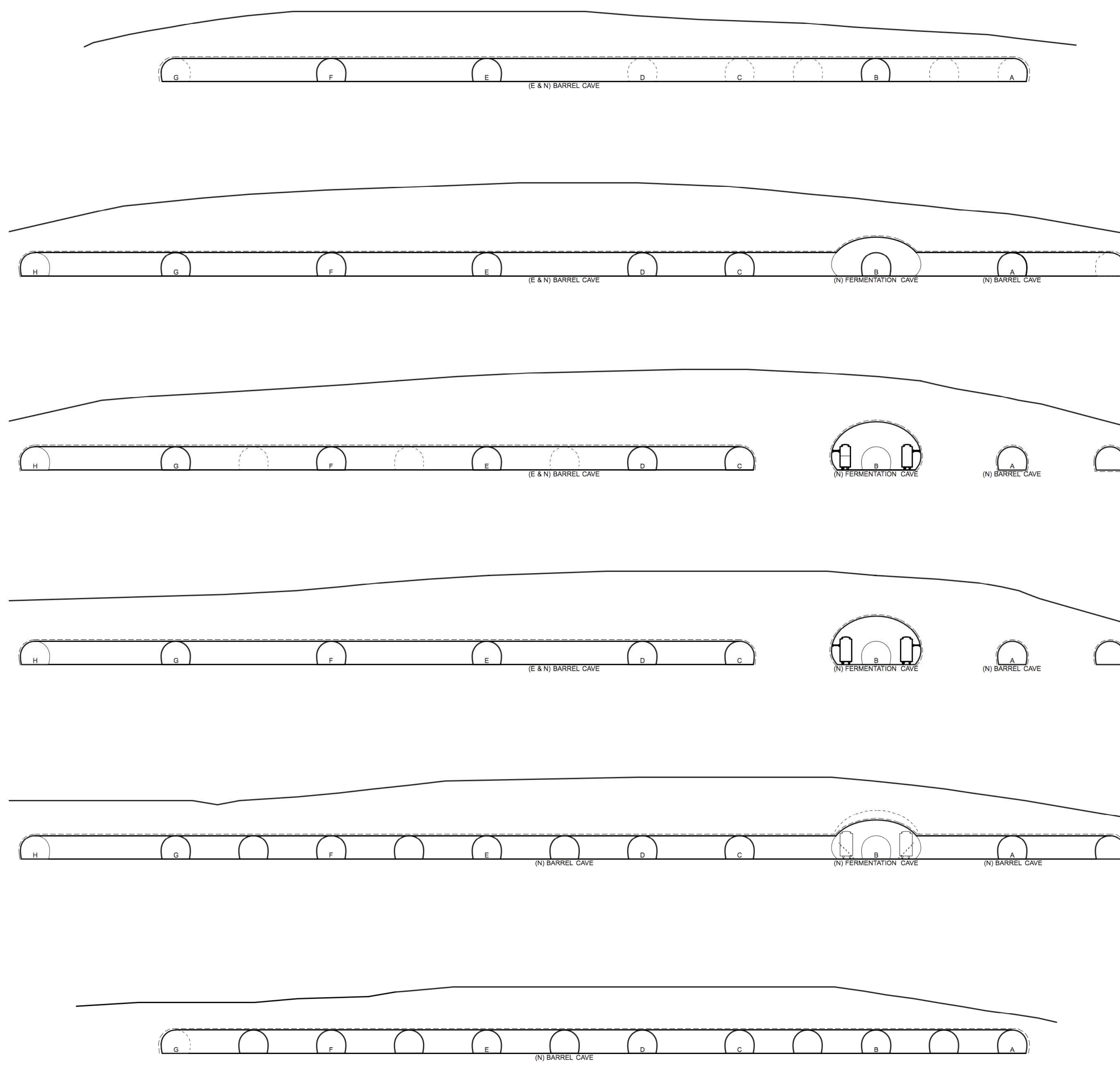
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PUBLISH DATE

APN 033-110-075-000



PLAN DIAGRAM

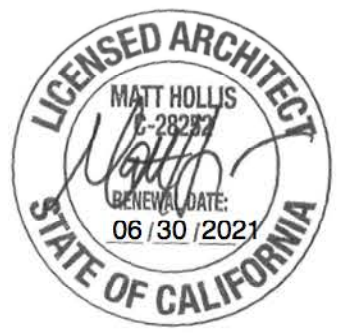


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 Project No: 1842
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Sections



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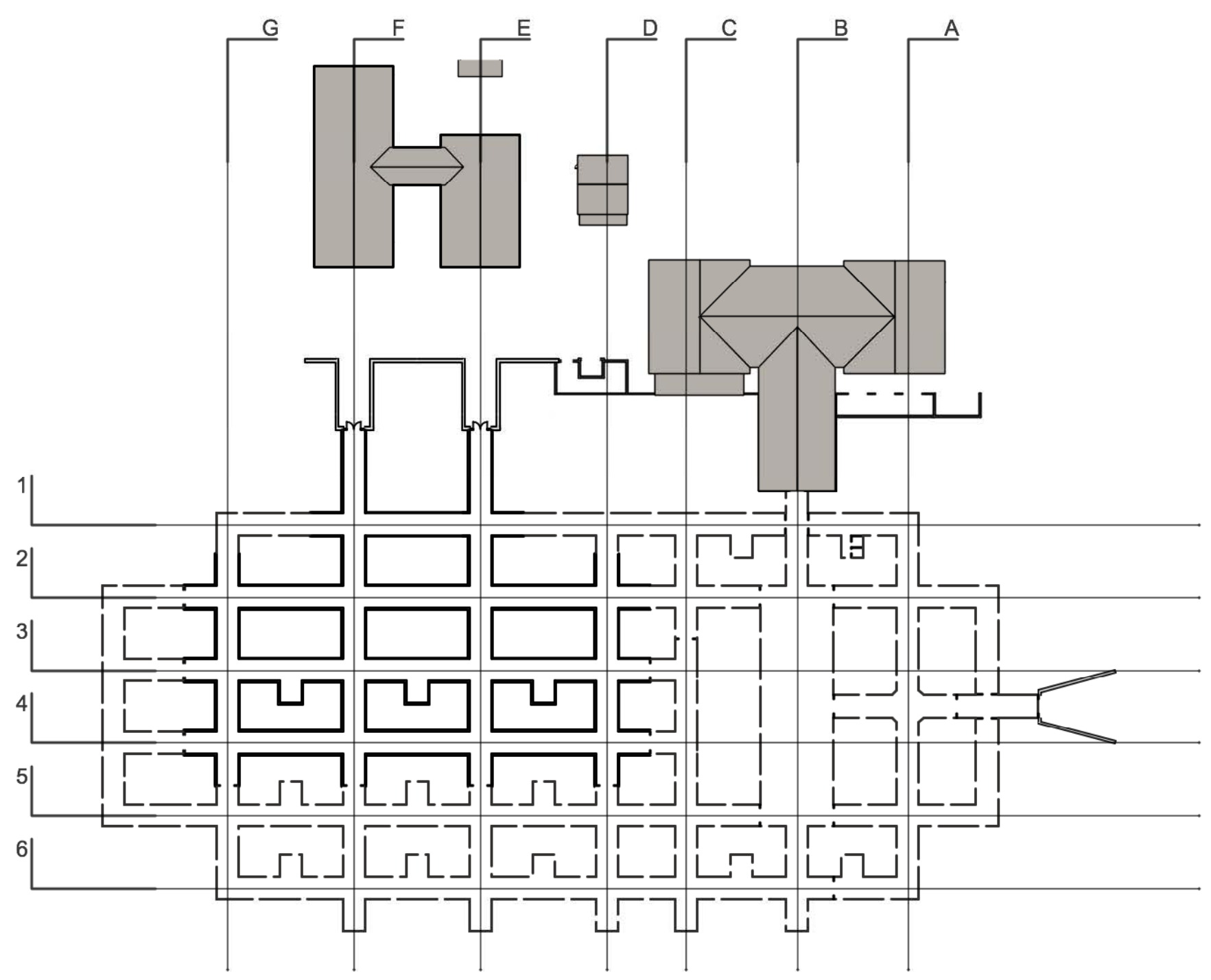
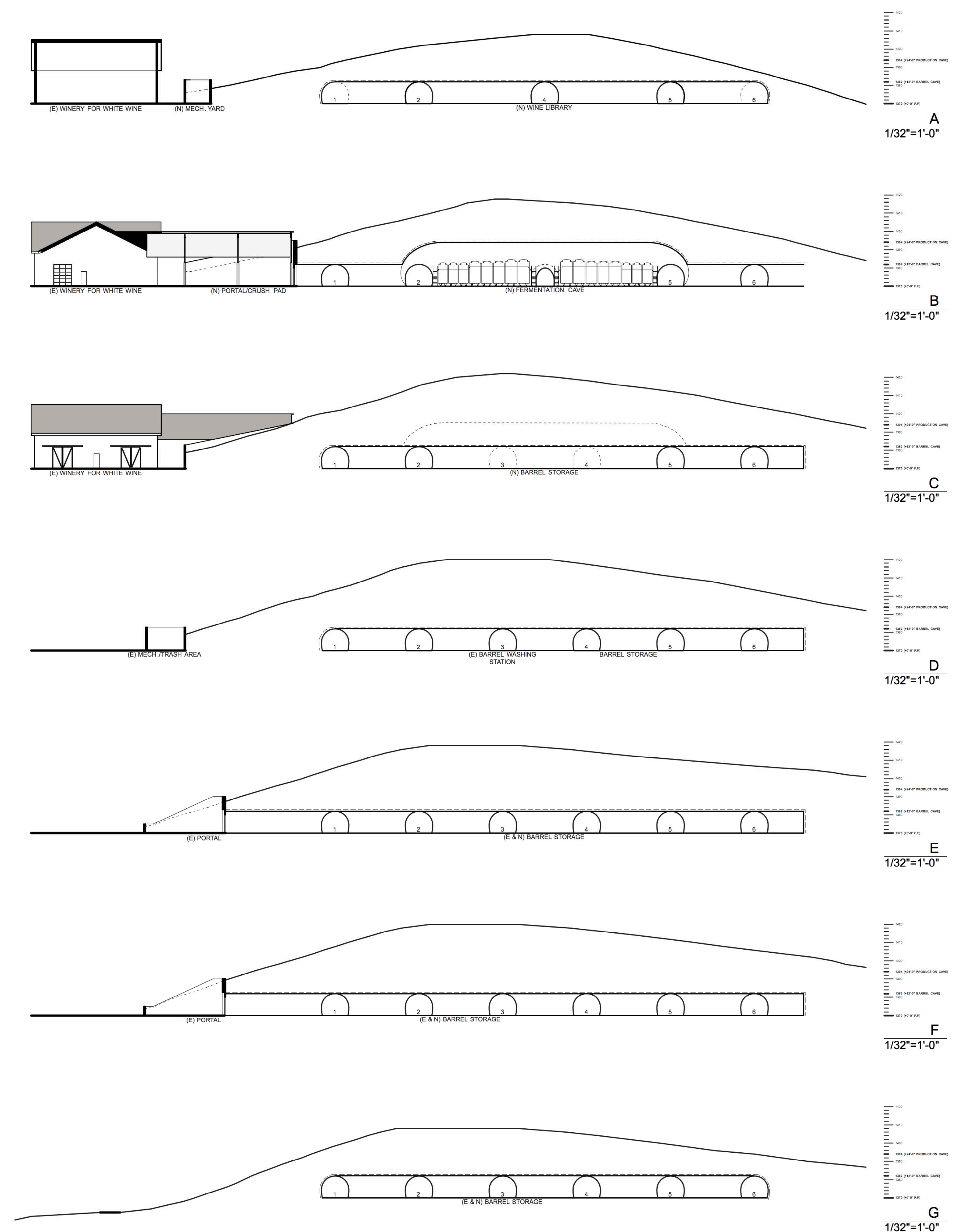
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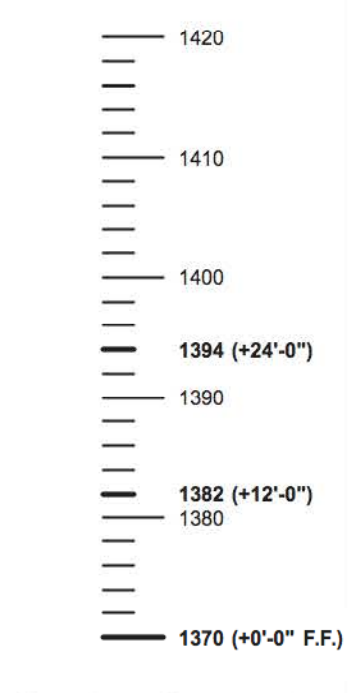
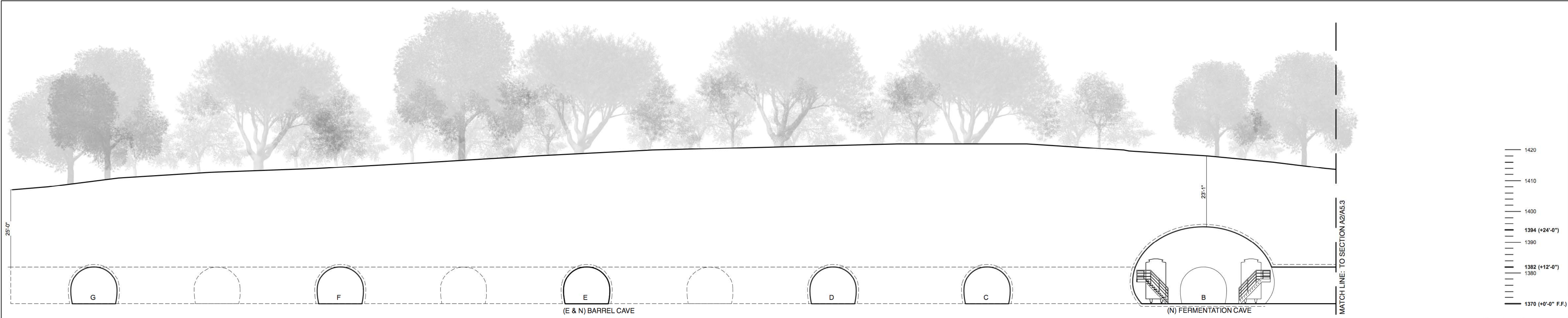
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 Date: 20200228
 Drawn by: CS
 Project No: 1842
 Scale: SEE DRAWING

Sections

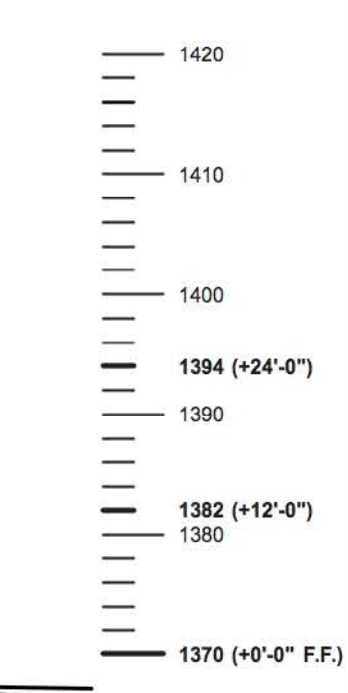
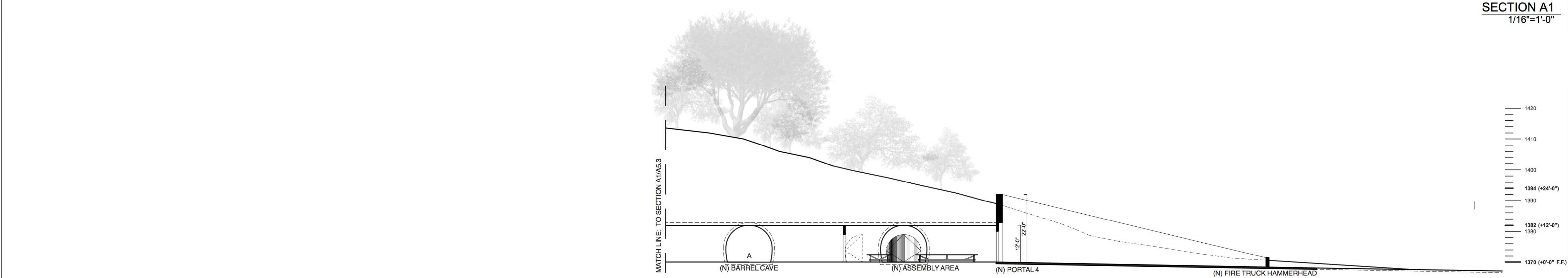
A5.2



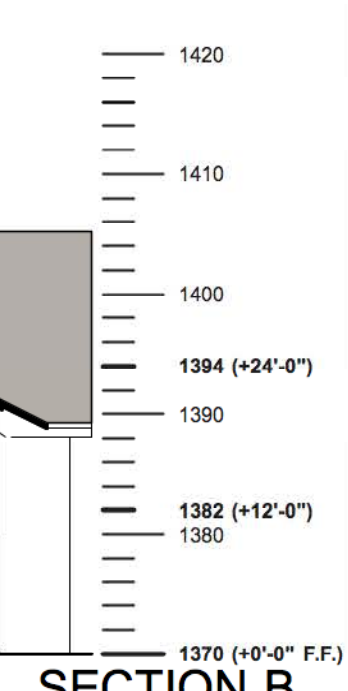
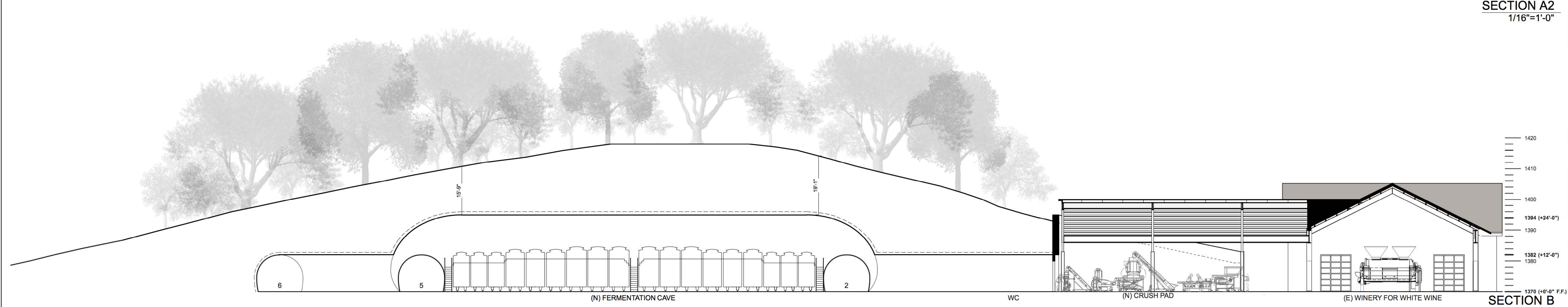
PLAN DIAGRAM



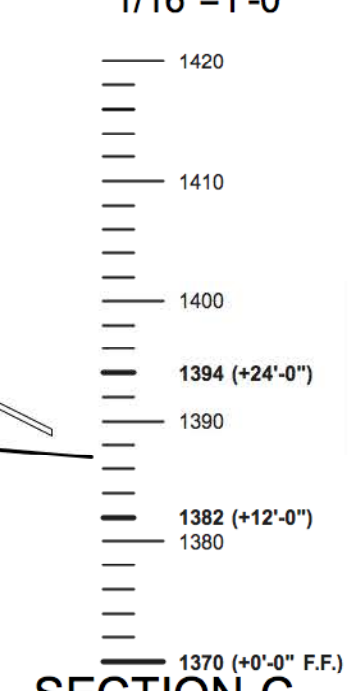
SECTION A1
1/16"=1'-0"



SECTION A2
1/16"=1'-0"



SECTION B
1/16"=1'-0"



SECTION C
1/16"=1'-0"



MH ARCHITECTS
2325 3rd st. studio 426
san francisco, ca 94107
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matthollis.com
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3200 MONTICELLO ROAD, NAPA, CA 94558
APN 033-110-075-000

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Date: 20200228
Drawn by: CS
Project No: 1842
Scale: SEE DRAWING

Sections

A5.3



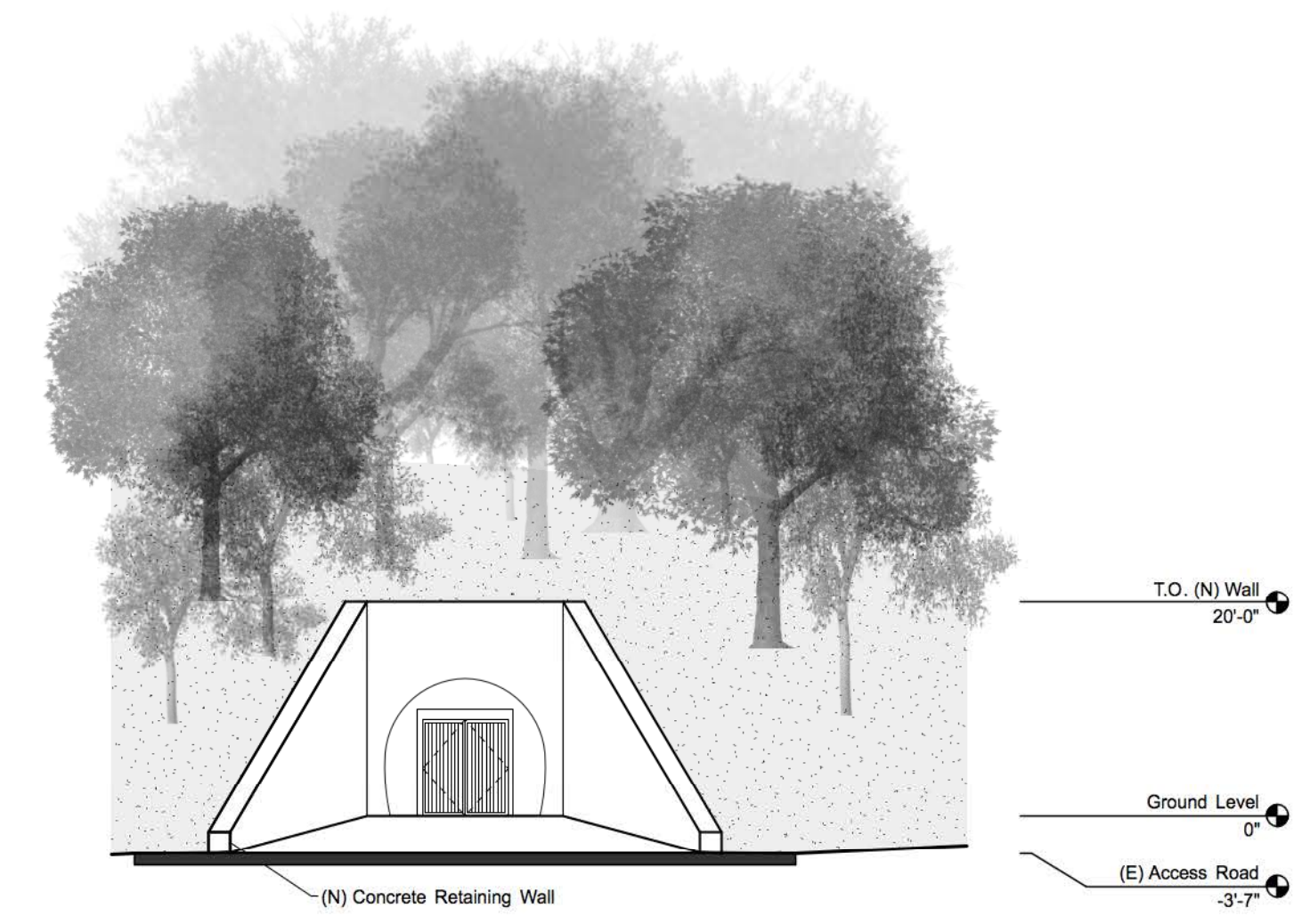
MH ARCHITECTS
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 san francisco, ca 94107
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 matthollis.com
 415 977 0194



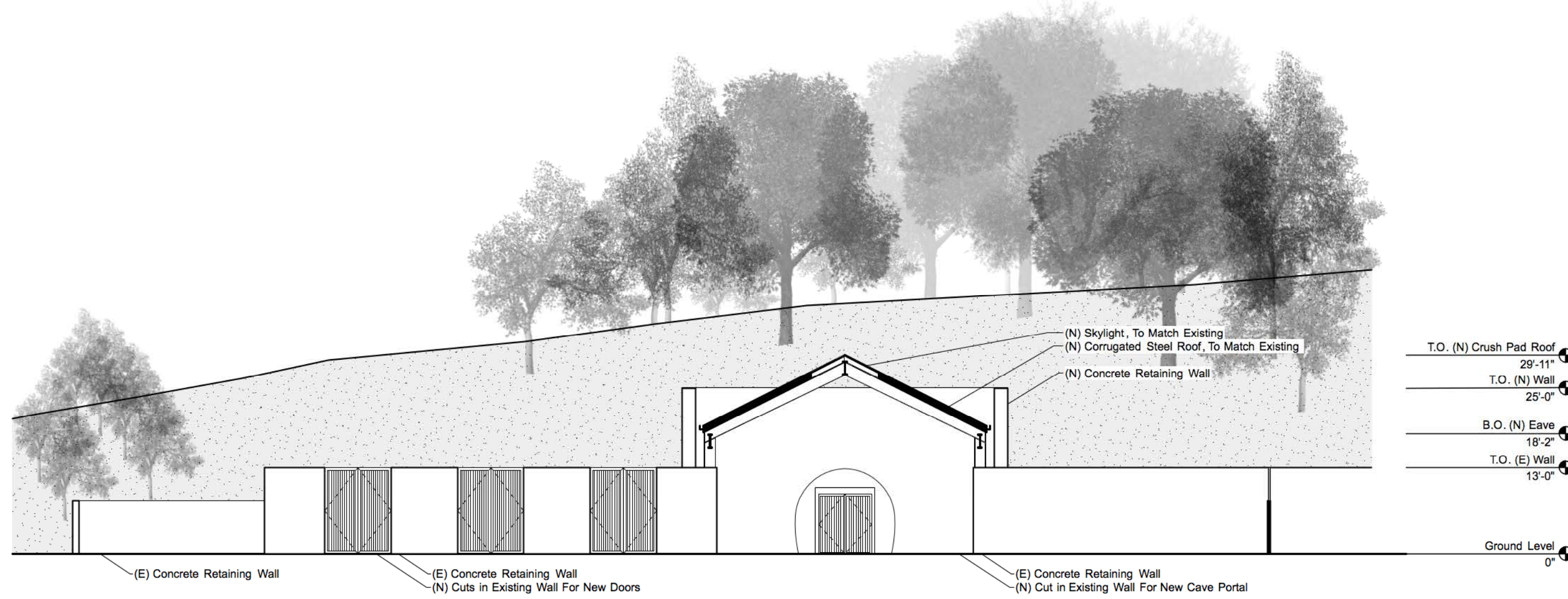
**KENZO ESTATE
 USE PERMIT MODIFICATION**
 3200 MONTICELLO ROAD, NAPA, CA 94558

PUBLISH DATE

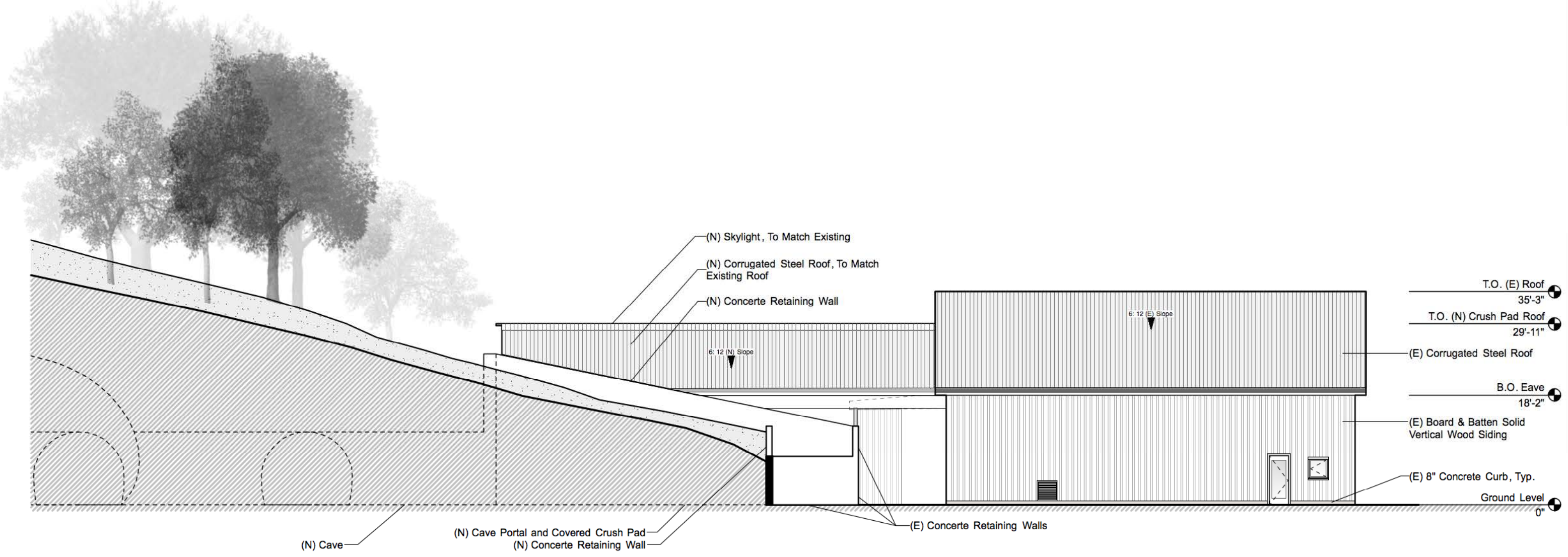
APN 033-110-075-000



WEST ELEVATION AT CAVE PORTAL 4
 1/16"=1'-0" 03



EAST ELEVATION AT CRUSH PAD
 1/16"=1'-0" 02



SOUTH ELEVATION AT CRUSH PAD
 1/16"=1'-0" 01

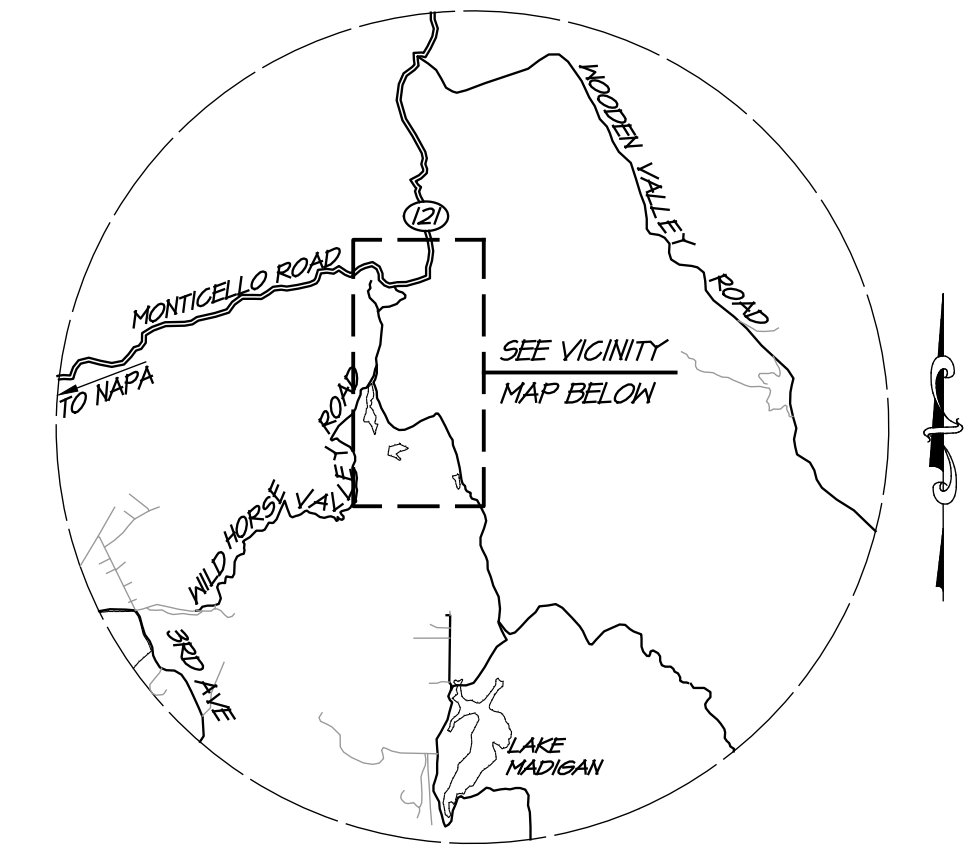
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 Date: 20200228
 Drawn by: CS
 Project No: 1842
 Scale: SEE DRAWING

Elevations

A5.4

KENZO ESTATES USE PERMIT MODIFICATION

NAPA COUNTY CALIFORNIA



LOCATION MAP
NO SCALE

PROJECT INFORMATION

OWNER: KENZO ESTATE INC.
 SITE ADDRESS: 3200 MONTICELLO ROAD NAPA, CA 94558
 CIVIL ENGINEER: RSA
 1515 FOURTH STREET NAPA, CA 94559
 APN: 033-110-075
 PARCEL AREA: 36.13 ACRES
 EXISTING USE: WINERY AND VINEYARD
 EXISTING ZONING: AH

SURVEY NOTES

1. DRIVEWAY TOPOGRAPHIC SURVEY MAP PREPARED BY RSA+ DATED JUNE 2014.
2. HILLTOP SURVEY MAP PREPARED BY MICHAEL W. BROOKS AND ASSOCIATES, INC. DATED SEPTEMBER 2007, AND SUPPLEMENTAL SURVEY DATED SEPTEMBER 2011.
3. EXISTING WHITE WINERY BUILDING LOCATIONS FROM MH ARCHITECTS CONSTRUCTION DRAWINGS.
4. REMAINING TOPOGRAPHIC SURVEY MAP PREPARED BY REICHERS SPENCE & ASSOCIATES DATED NOVEMBER 2011, AND SUPPLEMENTAL SURVEY DATED NOVEMBER 2016.

BOUNDARY NOTE

THE BOUNDARIES SHOWN HEREIN ARE BASED UPON ASSESSOR PARCEL MAPS. THE INFORMATION SHOULD BE CONSIDERED APPROXIMATE.

SHEET INDEX

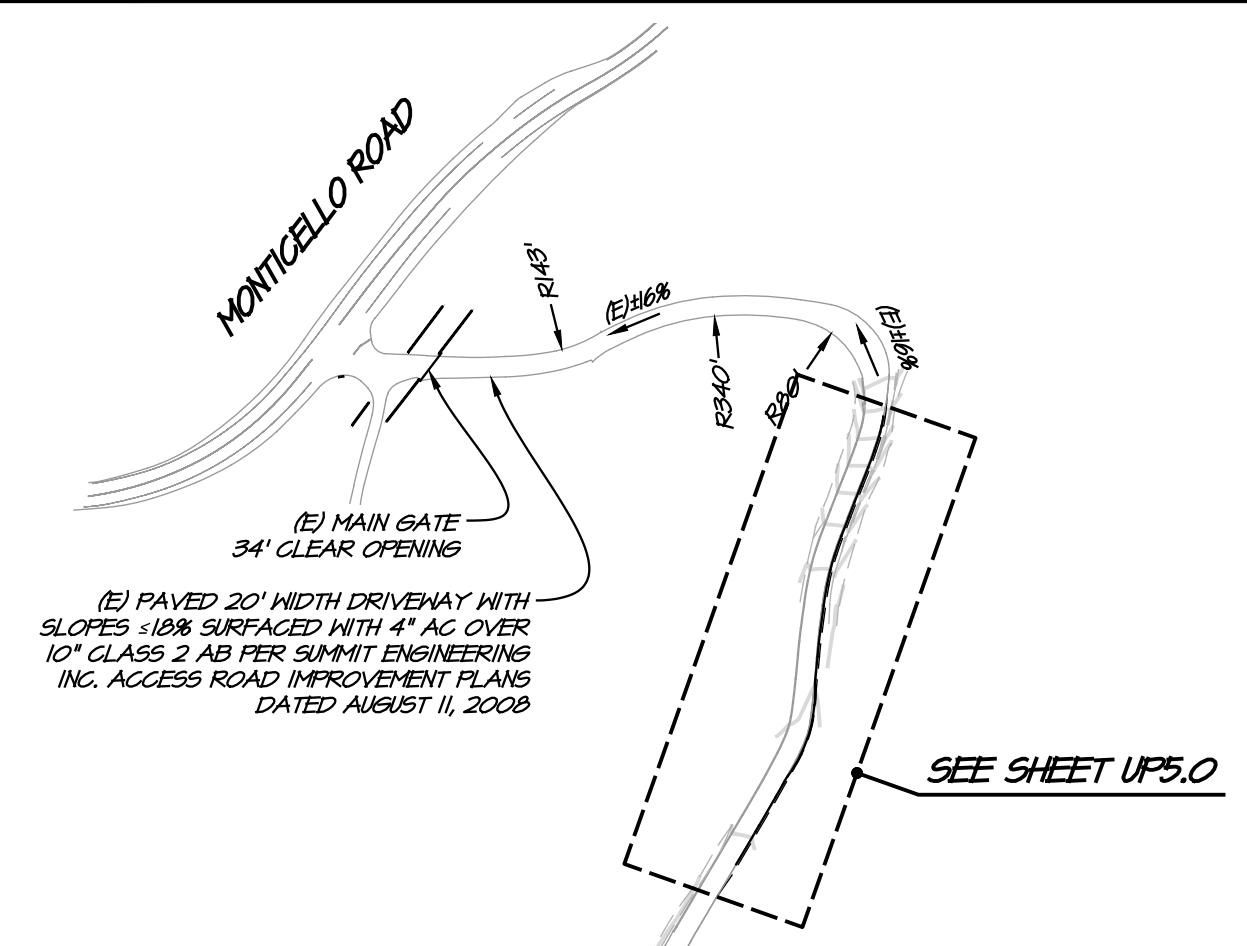
UP1.0	COVER SHEET
UP2.0	CAVE PORTAL PLAN
UP3.0	CAVE SPOILS GRADING PLAN
UP4.0	COVERAGE AND DEVELOPMENT PLAN
UP5.0	STA 6400 TO 12400
UP5.1	STA 40400 TO 52400
UP5.2	STA 52400 TO 64400
UP5.3	STA 64400 TO 10400

SYMBOL LEGEND

EXISTING	PROPOSED
	SD STORM DRAIN LINE
	SS SANITARY SEWER LINE
	DW DOMESTIC WATER LINE
	FW FIRE WATER LINE
	CG CURB AND GUTTER
	VC VERTICAL CURB
	FL FLOW LINE
	SSCO SANITARY SEWER CLEANOUT
	WV WATER VALVE
	DI DROP INLET
	SDCO STORM DRAIN CLEANOUT
	RM RIGHT OF WAY / PROPERTY LINE
	EL EASEMENT LINE
	GB GRADE BREAK LINE
	FD FLOOR DRAIN
	DCV DETECTOR CHECK VALVE
	FDV FIRE DEPARTMENT CONNECTION
	CV CONTROL VALVE

SYMBOLS AND ABBREVIATIONS

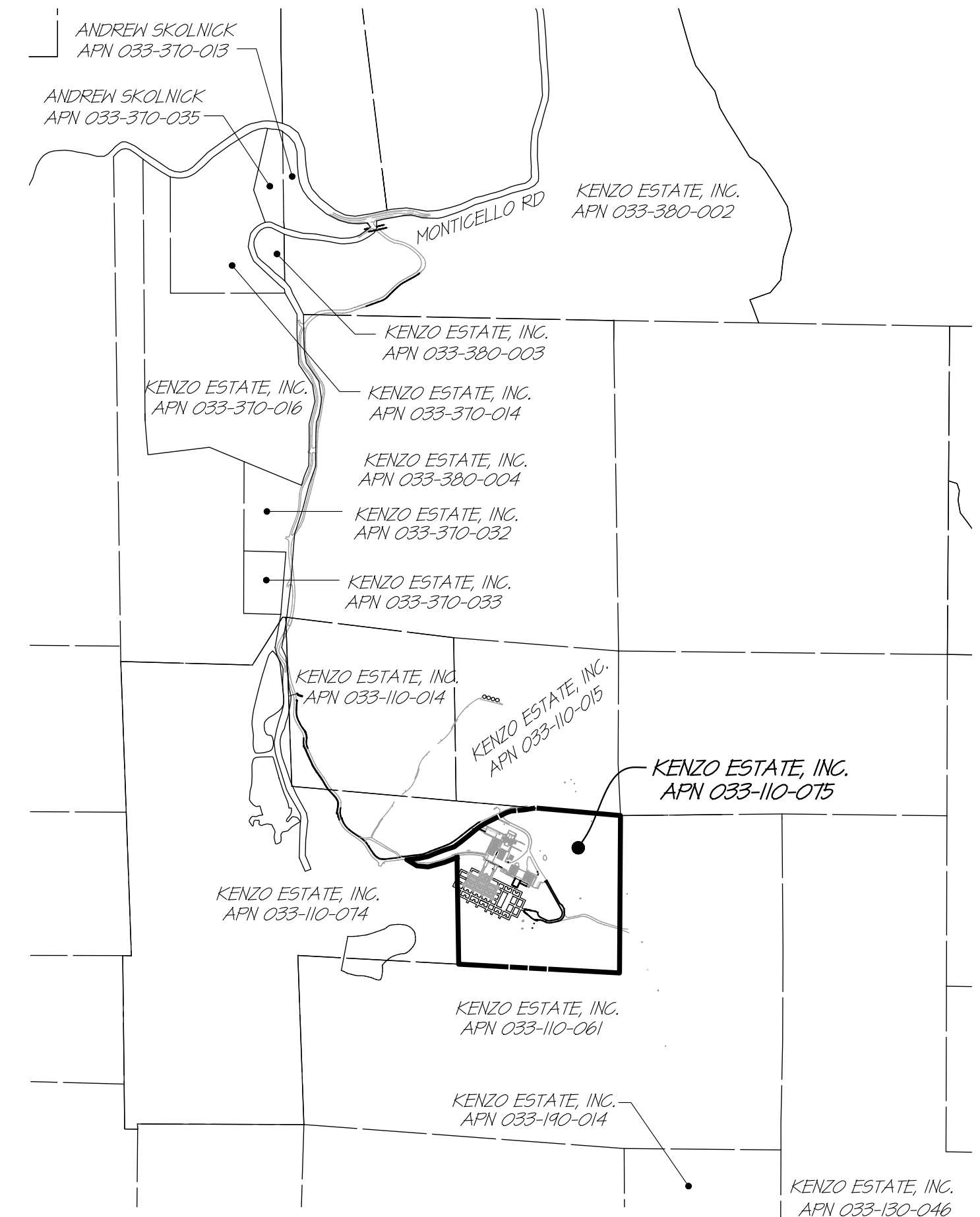
AT	AGGREGATE BASE	HP	HIGH POINT
AC	ASPHALT CONCRETE	INV	INVERT
AD	AREA DRAIN	IRR	IRRIGATION
ARCH	ARCHITECT	JB	JUNCTION BOX
ARH	ASSESSORS PARCEL NUMBER	JP	JOINT POLE
ARV	AIR RELEASE VALVE	LF	LINEAL FOOT / FEET
BLDG	BUILDING	LP	LOW POINT
BM	BENCHMARK	LT	LEFT
BR	BIO-RETENTION	MH	MANHOLE
BSH	BACK OF SIDEWALK	MON	MORUMENT
BO	BLOW OFF	N	NORTH
BVG	VERTICAL CURVE	OH	OVER HEAD
CB	CATCH BASIN	POC	POINT OF CONNECTION
C	COMPACT PARKING	POH	PARKING OVERHANG
C&G	CURB AND GUTTER	PRKG	PARKING
CL	CENTER LINE	PL	PROPERTY LINE
CONC	CONCRETE	PA	PLANTING AREA SLAD
CONN	CONNECTION	(P)	PROPOSED
CV	CHECK VALVE	R.C.	RELATIVE COMPACTION
CONF	CONFORM	ROW	RIGHT OF WAY
DCV	DOUBLE CHECK VALVE	RWL	RAIN WATER LEADER
DI	DROP INLET / DRAIN INLET	RH	RETAINING WALL
DS	DOWN SPOUT	S	SOUTH
DW	DOMESTIC WATER	S=	SLOPE EQUALS
DWG	DRAINING	SAD	SEE ARCHITECTURAL DRAWINGS
DWY	DRIVEWAY	SD	STORM DRAIN
E	EAST	SDMH	STORM DRAIN MANHOLE
(E) EX	EXISTING	SED	SEE ELECTRICAL DRAWINGS
ELEC	ELECTRICAL	SF	SQUARE FOOT
ENGR	ENGINEER	SLD	SEE LANDSCAPE DRAWINGS
E.O.R.	ENGINEER OF RECORD	SHD	SEE MECHANICAL DRAWINGS
EP	EDGE OF PAVEMENT	SPD	SEE PLUMBING DRAWINGS
ESENT	EASEMENT	SSD	SEE STRUCTURAL DRAWINGS
EV	ELECTRIC VEHICLE	SPR	SPRINKLER
FD	FIRE DEPT CONNECTION	SS	SANITARY SEWER
FF	FINISH FLOOR	SSCO	SANITARY SEWER CLEANOUT
FS	FINISH GRADE	SSMH	SANITARY SEWER MANHOLE
FH	FIRE HYDRANT	STD	STANDARD
FL	FLOW LINE	SWK	SIDEWALK
FSB	FORCED SANITARY SEWER	TC	TOP OF CURB
FT	FOOT / FEET	TB	TOP OF BANK
FW	FIRE WATER LINE	TOP	TOP OF PIPE
GB	GRADE BREAK	TOS	TOP OF SLOPE
GV	GATE VALVE	TOW	TOP OF WALL
		TYP	TYPICAL
		N	NORTH
		NM	WATER METER
		WV	WATER VALVE



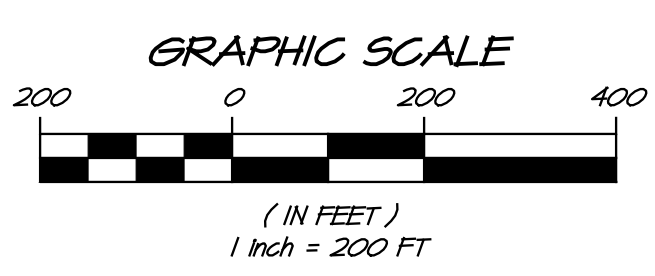
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(E) PAVED 12' WIDTH DRIVEWAY WITH SLOPE 1:108 PER SUMMIT ENGINEERING INC. ACCESS ROAD IMPROVEMENT PLANS DATED AUGUST 11, 2008

(E) PAVED 20' WIDTH DRIVEWAY WITH SLOPE 1:106 PER SUMMIT ENGINEERING INC. ACCESS ROAD IMPROVEMENT PLANS DATED AUGUST 11, 2008



VICINITY MAP
SCALE: 1" = 1000'



APPROXIMATE LOCATION OF (E) ON-STREAM POND

SEE SHEET UP5.1

APPROXIMATE LOCATION OF (E) EPHEMERAL STREAM

SEE SHEET UP5.2

SEE SHEET UP5.3

SITE PLAN
SCALE: 1" = 200'

APPROXIMATE LOCATION OF (E) ON-STREAM POND

APPROX LOCATION OF 2 (E) 51,200 GAL TANKS WITH (E) 82,000 GALLONS RESERVED FOR FIRE WATER STORAGE CONNECTED TO 10' FH LINE. ELEV 41615'

APPROX LOCATION OF 2 (E) 51,200 GAL IRRIGATION WATER TANKS ELEV 41615'

- (E) ADMINISTRATION BUILDING
- (E) FERMENTATION BUILDING
- (E) AG BUILDING
- (E) BARREL COOL STORAGE
- (E) FERMENTATION BUILDING
- (P) CAVE ACCESS ROAD
- (P) MECH YARD
- (P) COVERED CRUSH PAD
- (P) CAVE ACCESS

- (E) DRIVEWAY TO SPOILS STACKPILE
- (E) 45' STREAM SETBACK
- (E) 55' STREAM SETBACK

- (E) 14' GATE TO BE WIDENED TO 22'
- (E) BARREL CAVE
- (P) BARREL CAVE EXPANSION

1515 FOURTH STREET
NAPA, CALIF. 94559
OFFICE (707) 252-3301
WWW.RSACIVIL.COM

RSA+

REGISTERED PROFESSIONAL ENGINEER
No. 77859
Exp. 6-30-21
CIVIL ENGINEER
STATE OF CALIFORNIA

REVISIONS

NO.	DATE	BY	APPD
0	08/01/2020	FJH	BNF
1	08/12/2020	DCB	BNF
2	07/10/2020	DCB	JCK
3	08/01/2020	DCB	JCK

KENZO ESTATES
COVER SHEET

NAPA COUNTY
CALIFORNIA

DATE: AUG 31, 2020

DRAWN: DCB

DESIGNED: JCK

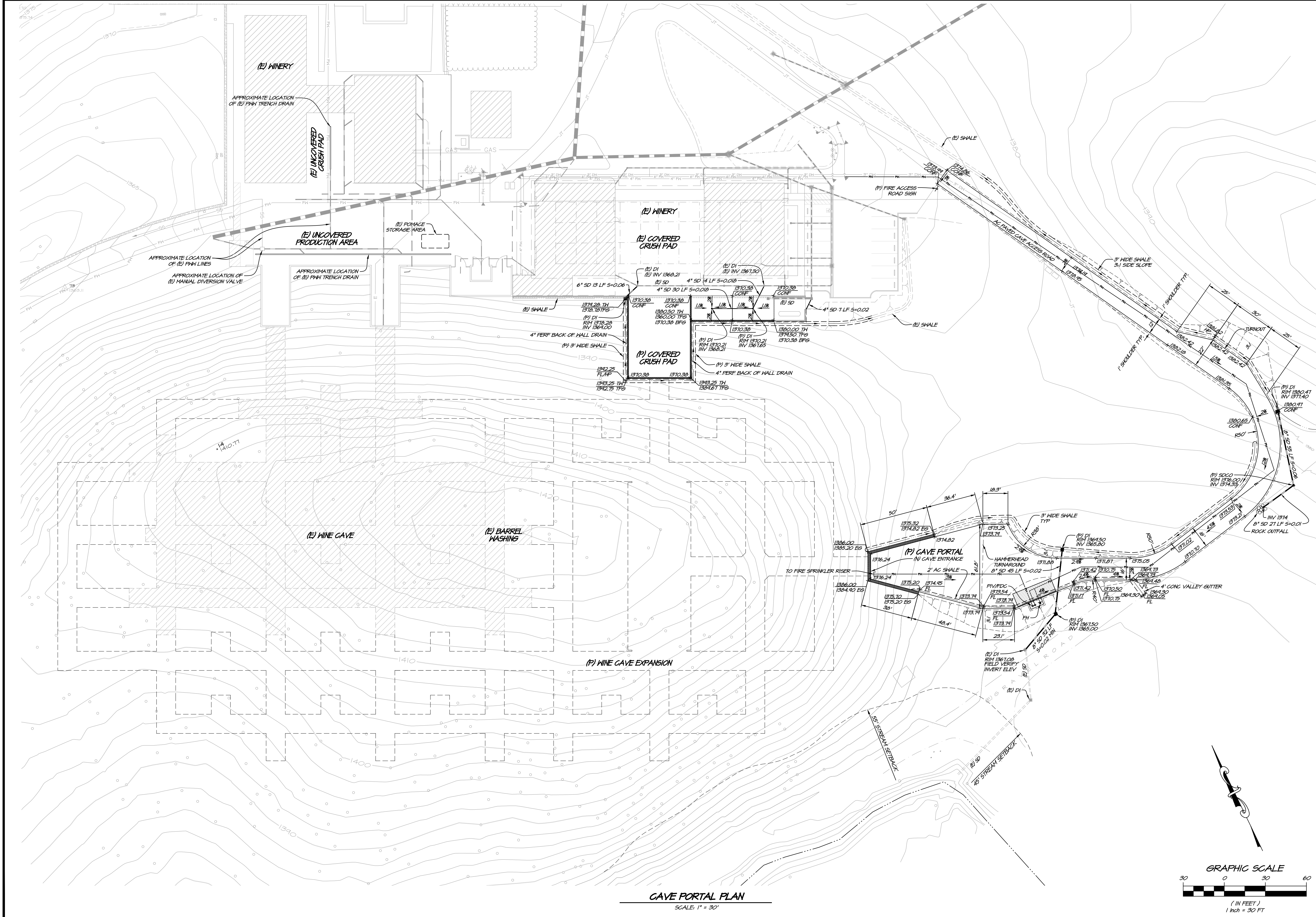
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JOB NO.: 4114010.0

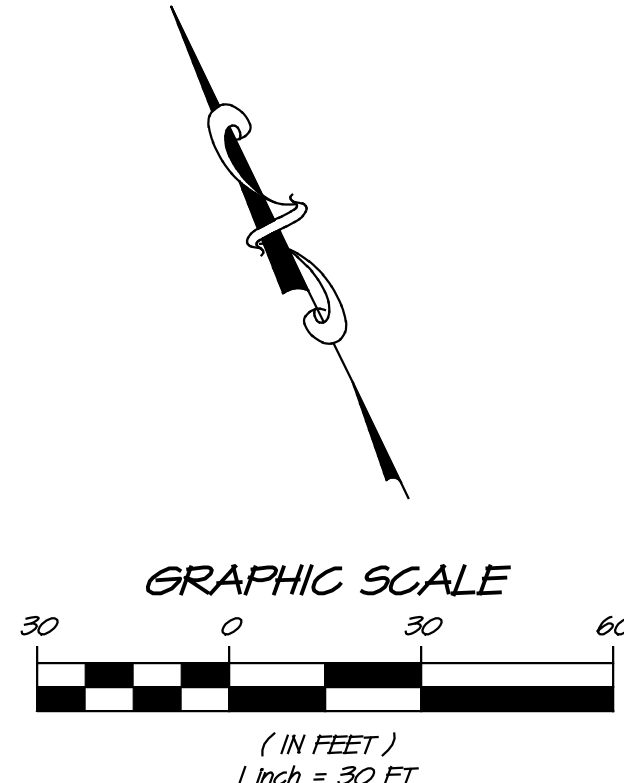
SHEET NO.: UP1.0

1 OF 8 SHEETS

REVISIONS

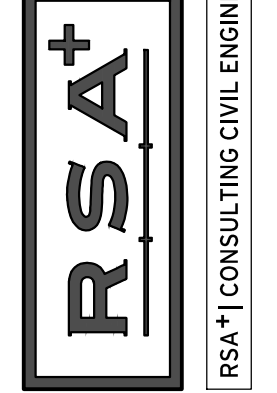


CAVE PORTAL PLAN
SCALE: 1" = 30'

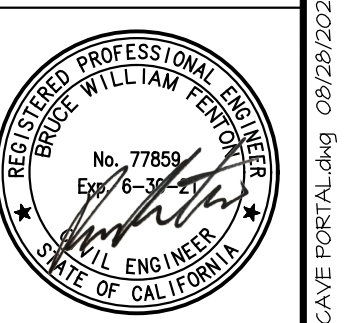


NO.	DATE	REVISIONS	BY	APPD
0	04/30/2024	FIRST SUBMITTAL	BNF	
1	03/12/2023	RESPONSE TO COMMENTS	DCB	BNF
2	07/10/2022	RESPONSE TO COMMENTS	DCB	JCK
3	02/01/2020	RESPONSE TO COMMENTS	DCB	JCK

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KENZO ESTATES
CAVE PORTAL PLAN
CALIFORNIA
NAPA COUNTY



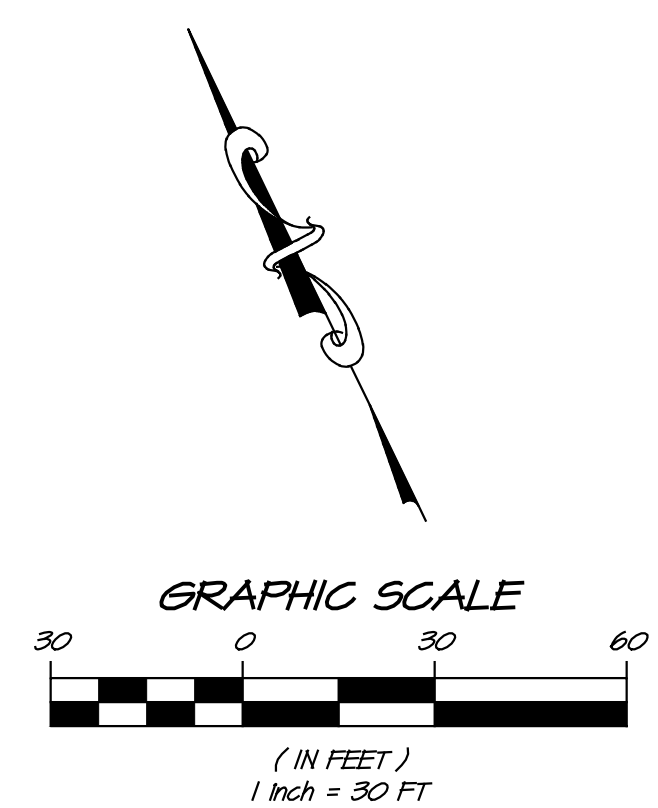
DATE	AUG 31, 2020
DRAWN	DCB
DESIGNED	JCK
CHECKED	BNF
JOB NO.	419010.0
SHEET NO.	UP2.0
	2 OF 8 SHEETS



LANDS OF KENZO ESTATES
APN 033-190-015

CAVE SPOILS
STOCKPILE VOLUME 20,300 CU YDS

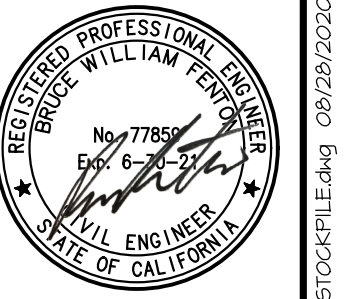
CAVE SPOILS GRADING PLAN
SCALE: 1" = 30'



RSA+
RSA+ CONSULTING CIVIL ENGINEERS + SURVEYORS + DESIGNERS

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KENZO ESTATES
CAVE SPOILS GRADING PLAN
CALIFORNIA
NAPA COUNTY



DATE	AUG 31, 2020
DRAWN	DCB
DESIGNED	JCK
CHECKED	BNF

JOB NO. 419010.0
SHEET NO. **UP3.0**
3 OF 8 SHEETS

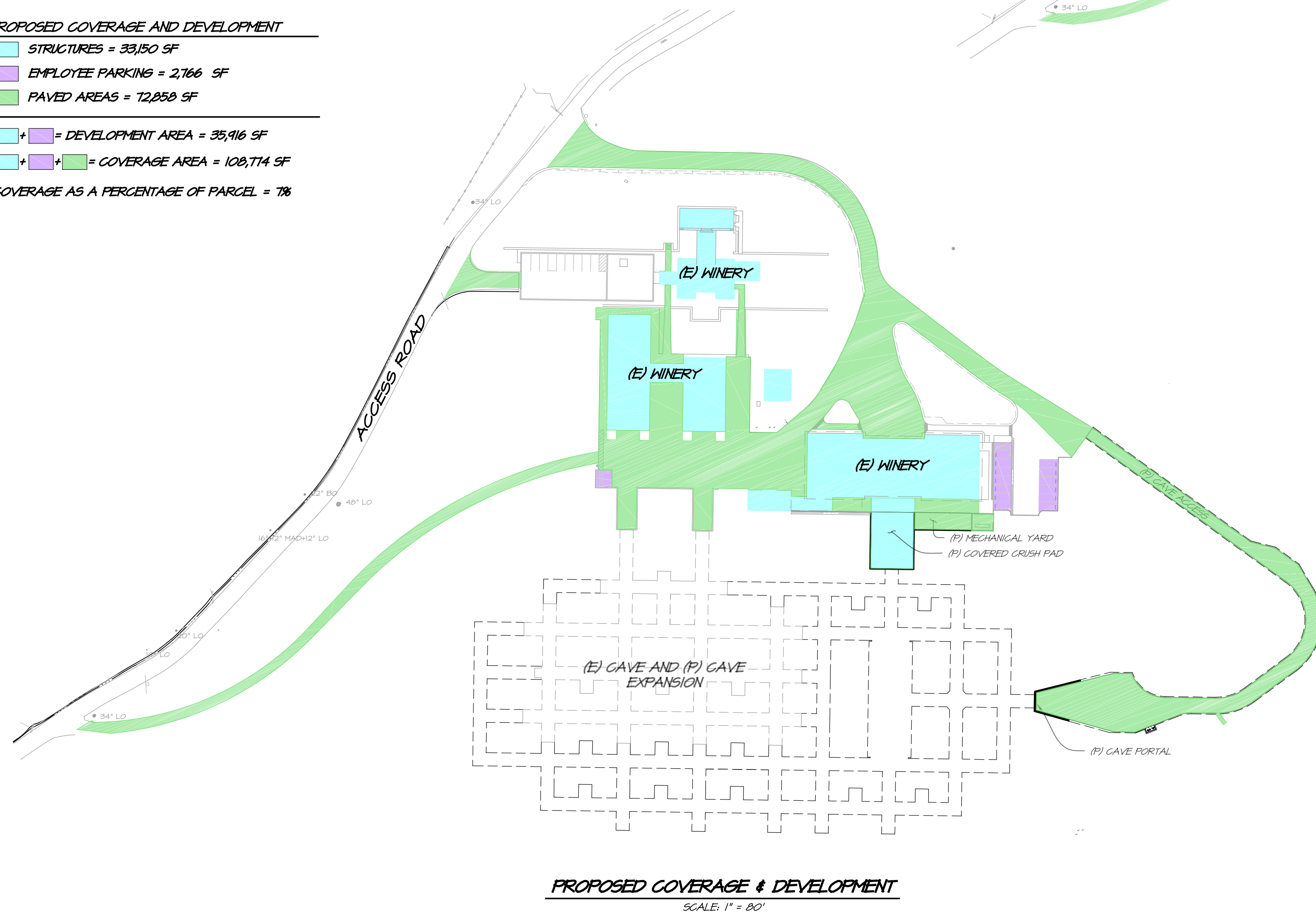
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1	03/12/2020	RESPONSE TO COMMENTS		
2	07/10/2020	RESPONSE TO COMMENTS		
3	08/01/2020	RESPONSE TO COMMENTS		

PROPOSED COVERAGE AND DEVELOPMENT

STRUCTURES = 33,150 SF
 EMPLOYEE PARKING = 2,166 SF
 PAVED AREAS = 72,858 SF

+ = DEVELOPMENT AREA = 35,316 SF
 + = COVERAGE AREA = 108,174 SF

COVERAGE AS A PERCENTAGE OF PARCEL = 7%

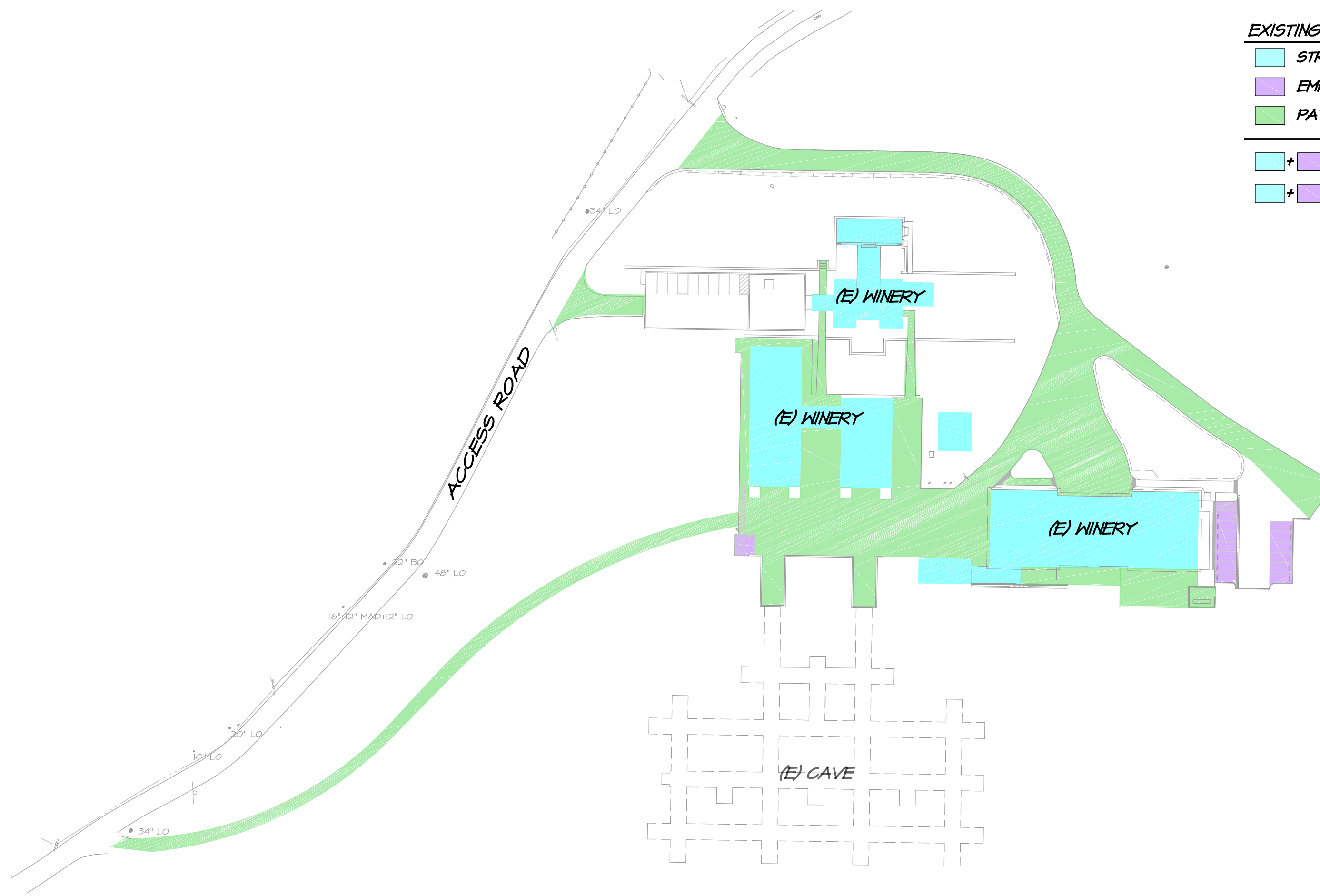


PROPOSED COVERAGE & DEVELOPMENT
 SCALE: 1" = 80'

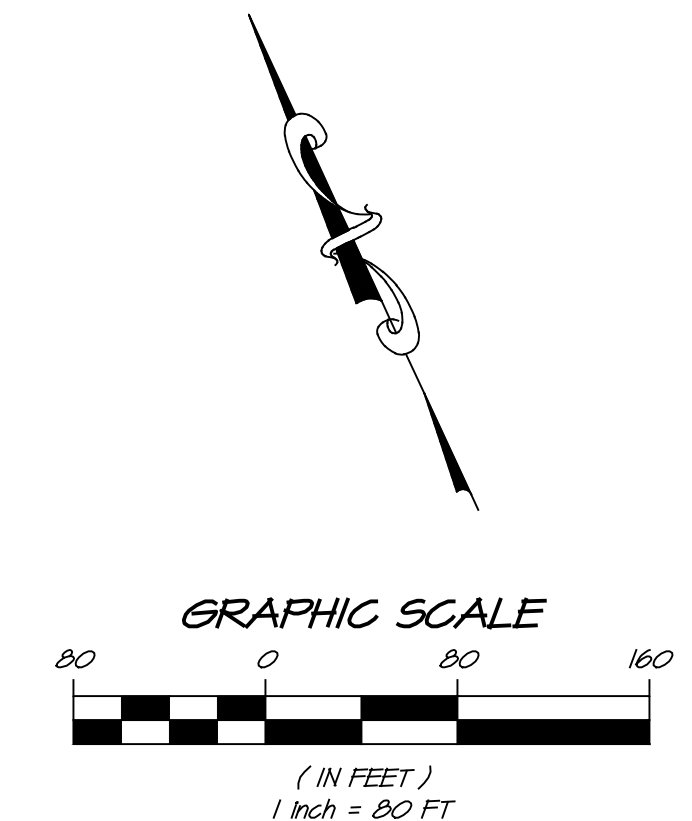
EXISTING COVERAGE AND DEVELOPMENT

STRUCTURES = 24,606 SF
 EMPLOYEE PARKING = 2,166 SF
 PAVED AREAS = 59,884 SF

+ = DEVELOPMENT AREA = 32,312 SF
 + = COVERAGE AREA = 91,256 SF



EXISTING COVERAGE & DEVELOPMENT
 SCALE: 1" = 80'

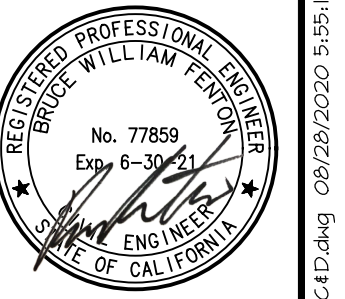


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1	09/12/2020	RESPONSE TO COMMENTS		
2	07/10/2020	RESPONSE TO COMMENTS		
3	08/03/2020	RESPONSE TO COMMENTS		

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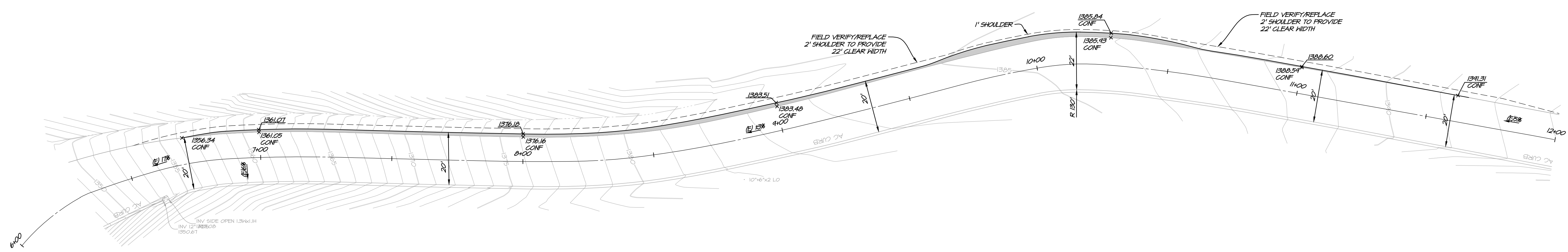
1515 FOURTH STREET
 SUITE 100
 NAPA, CA 94559
 OFFICE PHONE: 707.252.2301
 WWW.RSA+CALIFORNIA.COM

**KENZO ESTATES
 COVERAGE & DEVELOPMENT AREAS**
 CALIFORNIA
 NAPA COUNTY



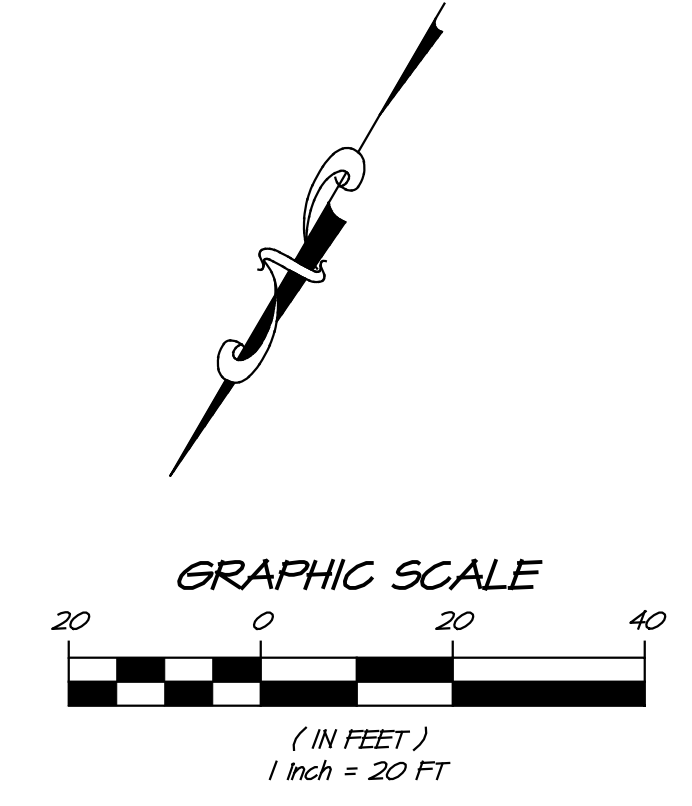
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DRAWN	DCB
DESIGNED	JCK
CHECKED	BNF
JOB NO.	419010.D

SHEET NO.
UP4.0
 4 OF 8 SHEETS



LEGEND:
 (P) AC PAVEMENT

STA 6+00 TO 12+00
 SCALE: 1" = 20'

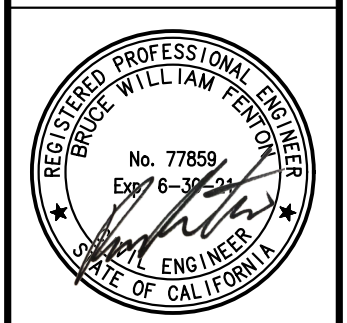


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1	08/12/20	RESPONSE TO COMMENTS		
2	07/10/20	RESPONSE TO COMMENTS		
3	08/01/20	RESPONSE TO COMMENTS		

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 1515 FOURTH STREET
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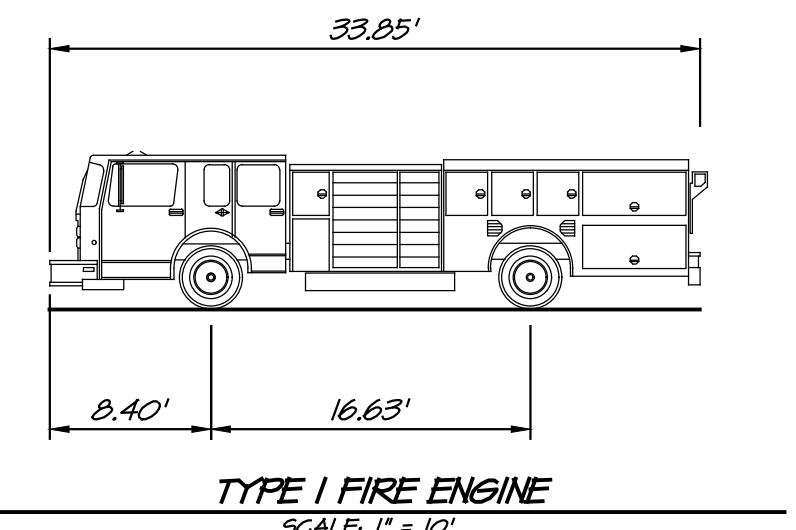
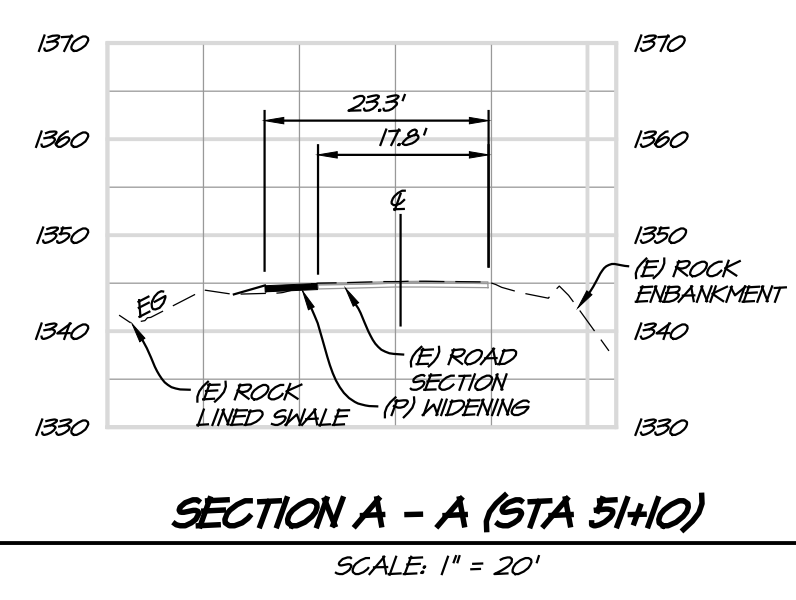
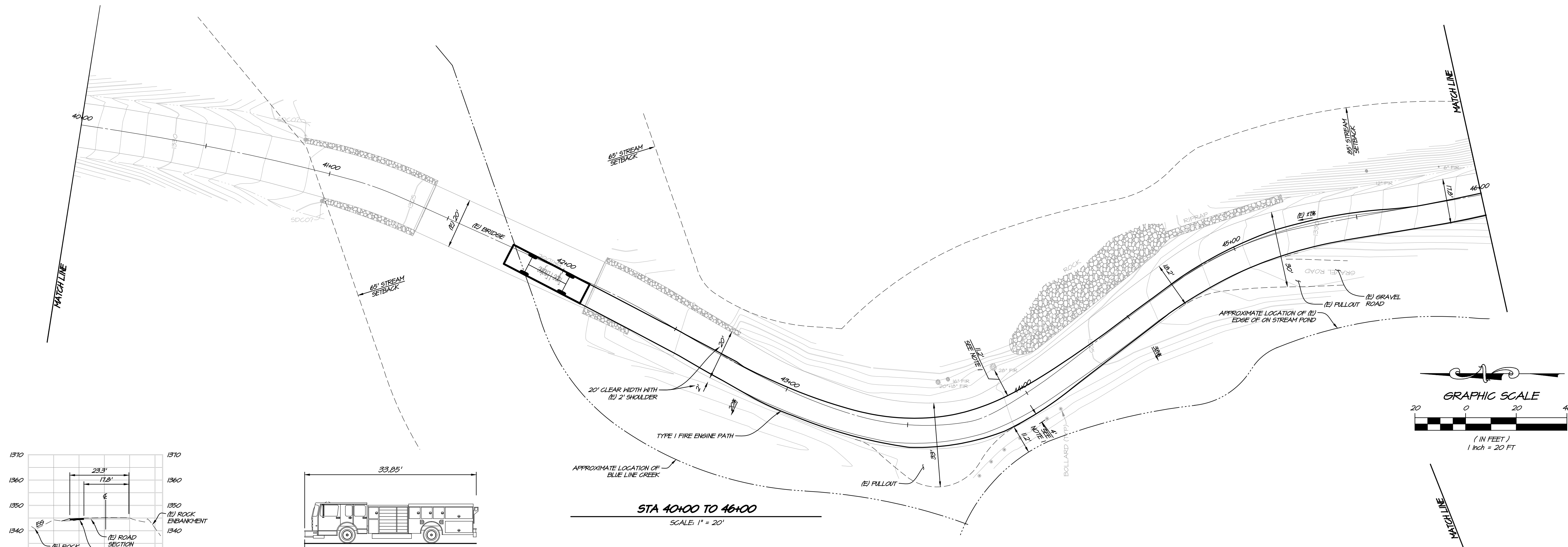
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KENZO ESTATES
STA 40+00 TO 52+00
 NAPA COUNTY CALIFORNIA



DATE	AUG 31, 2020
DRAWN	DCB
DESIGNED	JCK
CHECKED	BNF
JOB NO.	4111010.0

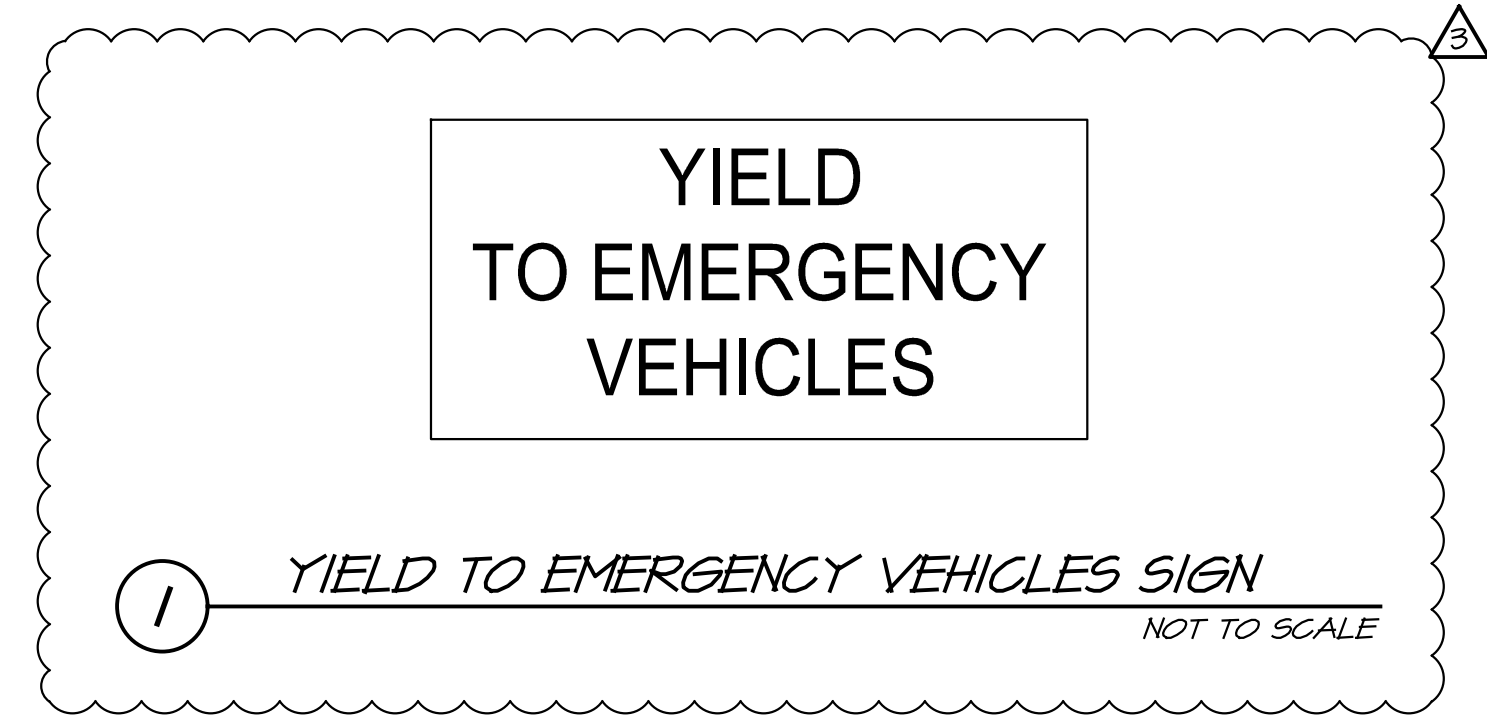
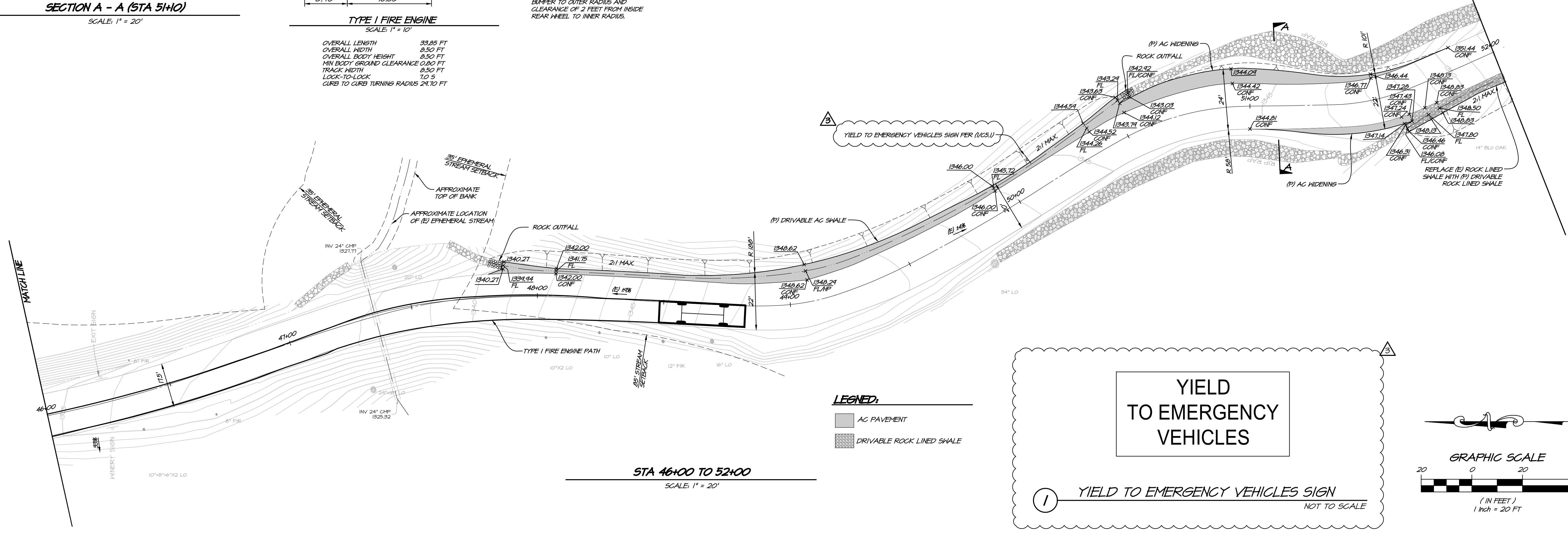
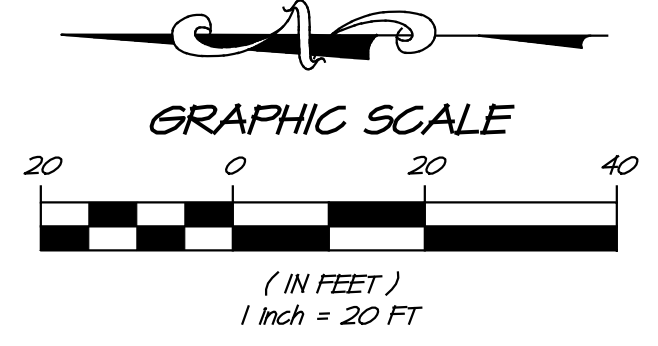
SHEET NO.
UP5.0
 5 OF 8 SHEETS



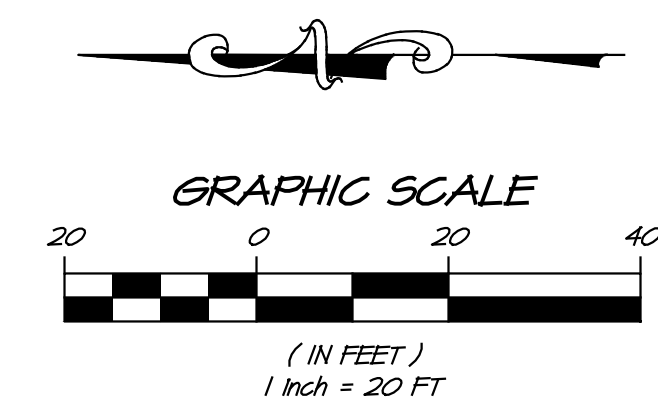
TYPE I FIRE ENGINE
SCALE: 1" = 10'

OVERALL LENGTH 33.85 FT
OVERALL WIDTH 8.50 FT
OVERALL BODY HEIGHT 8.50 FT
MIN BODY GROUND CLEARANCE 0.80 FT
TRACK WIDTH 8.50 FT
LOCK-TO-LOCK CURB TO CURB TURNING RADIUS 24.70 FT

NOTE:
1. CLEARANCE OF 3 FEET FROM FRONT BUMPER TO OUTER RADIUS AND CLEARANCE OF 2 FEET FROM INSIDE REAR WHEEL TO INNER RADIUS.



LEGEND:
 [Symbol] AC PAVEMENT
 [Symbol] DRIVABLE ROCK LINED SHALE

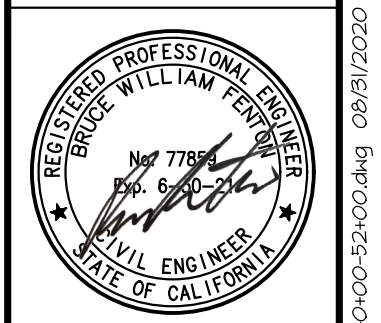


NO.	DATE	REVISIONS	BY	APPD
0	08/20/2024	FIRST SUBMITTAL		
1	08/12/2024	RESPONSE TO COMMENTS		
2	07/10/2024	RESPONSE TO COMMENTS		
3	08/01/2024	RESPONSE TO COMMENTS		

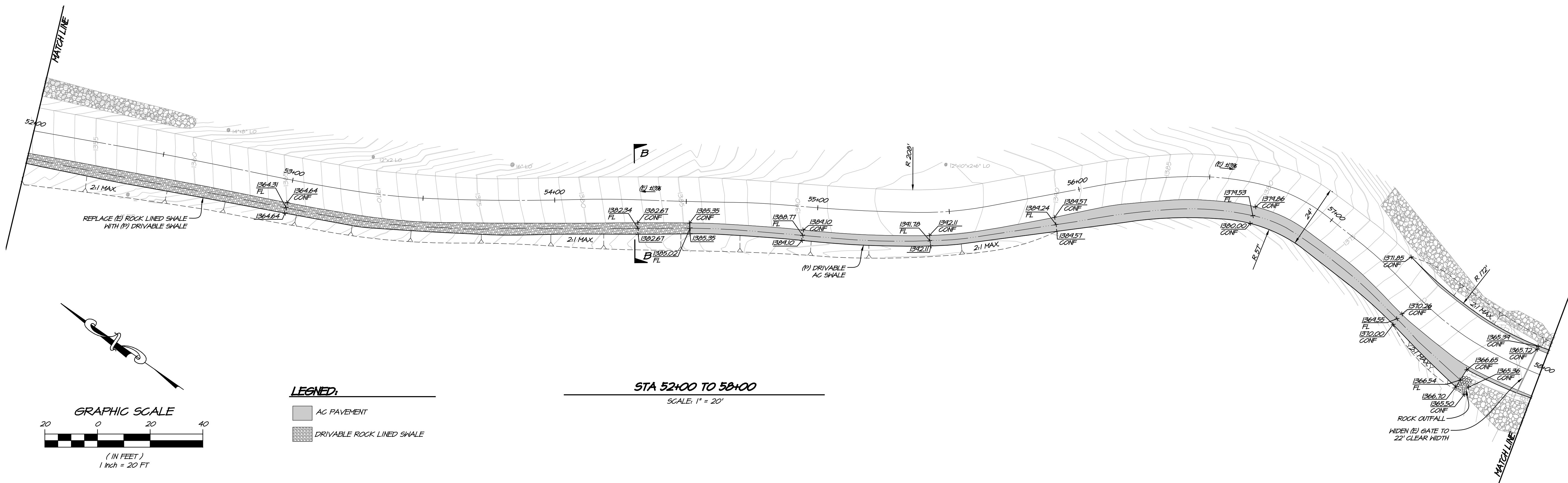
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 NAPA, CALIF. 94559
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 * www.rsacivil.com *

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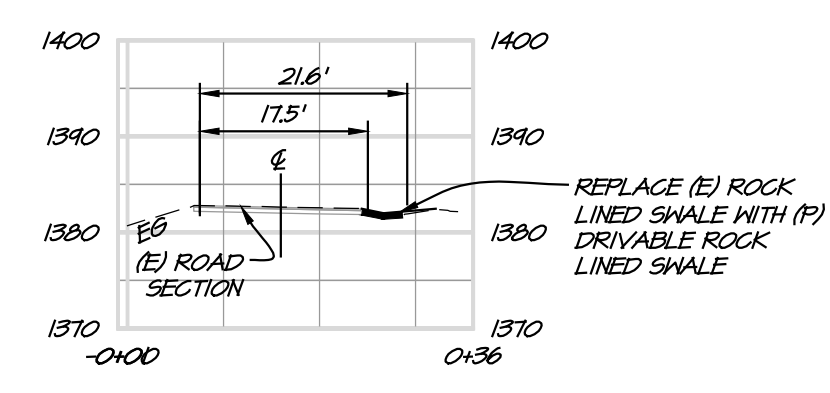
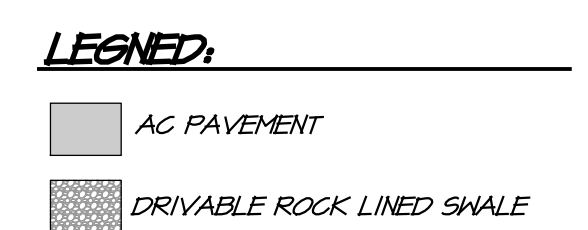
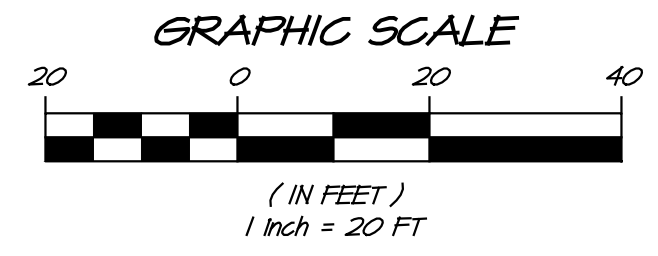
KENZO ESTATES
STA 40+00 TO 52+00
 CALIFORNIA
 NAPA COUNTY



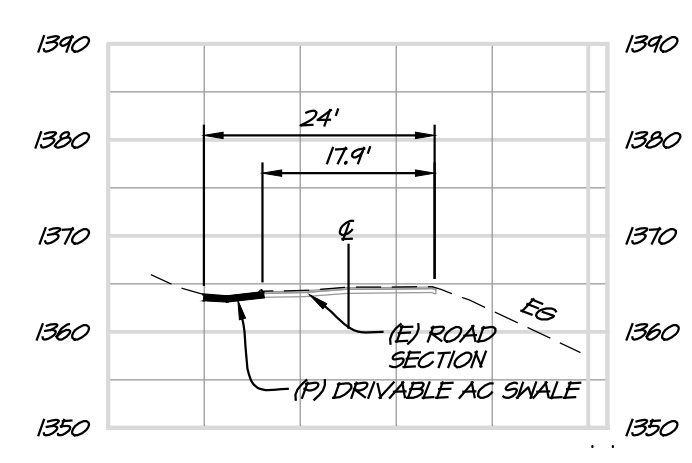
DATE	AUG 31, 2020
DRAWN	DCB
DESIGNED	JCK
CHECKED	BNF
JOB NO.	419010.0
SHEET NO.	UP5.1
	6 OF 8 SHEETS



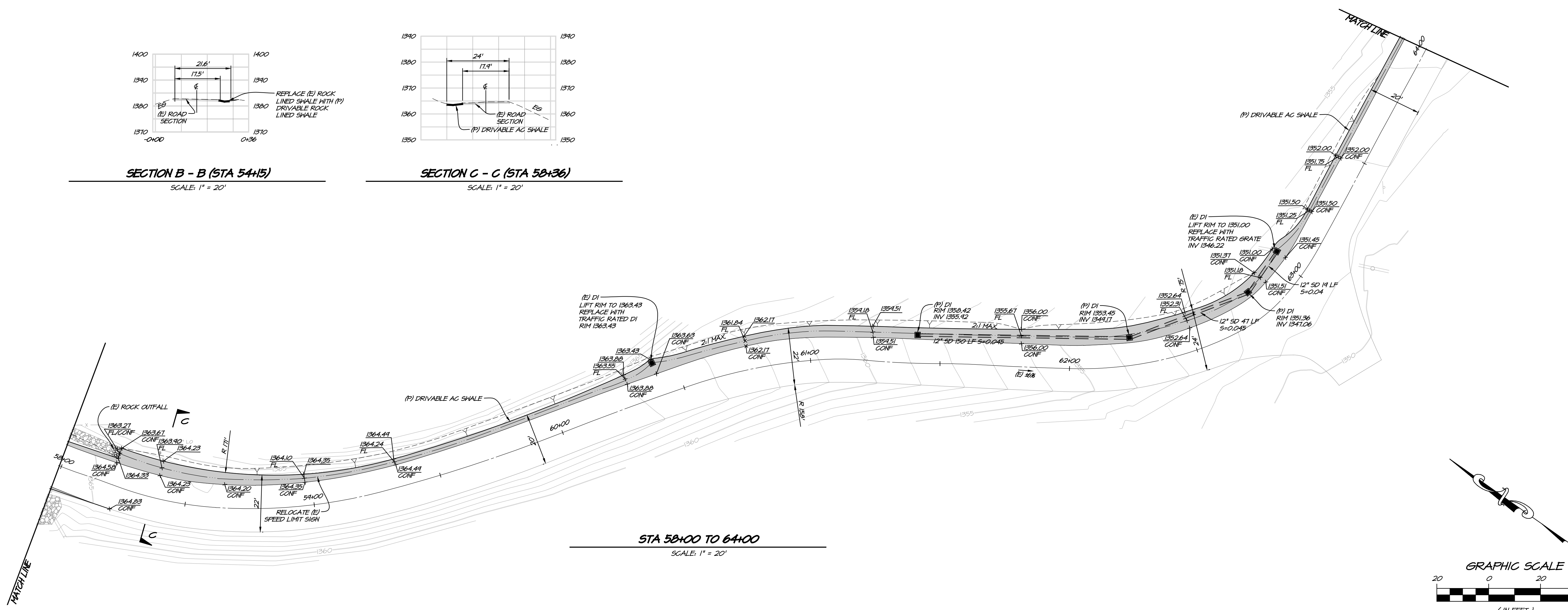
STA 52+00 TO 58+00
SCALE: 1" = 20'



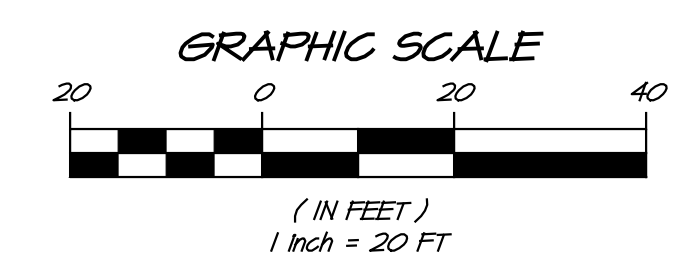
SECTION B - B (STA 54+15)
SCALE: 1" = 20'



SECTION C - C (STA 58+36)
SCALE: 1" = 20'



STA 58+00 TO 64+00
SCALE: 1" = 20'

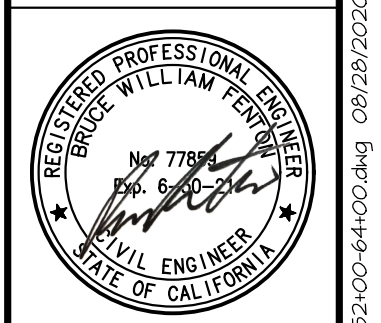


NO.	DATE	REVISIONS	BY	APPD
0	08/20/20	FIRST SUBMITTAL		
1	09/10/20	RESPONSE TO COMMENTS		
2	07/10/20	RESPONSE TO COMMENTS		
3	08/31/20	RESPONSE TO COMMENTS		

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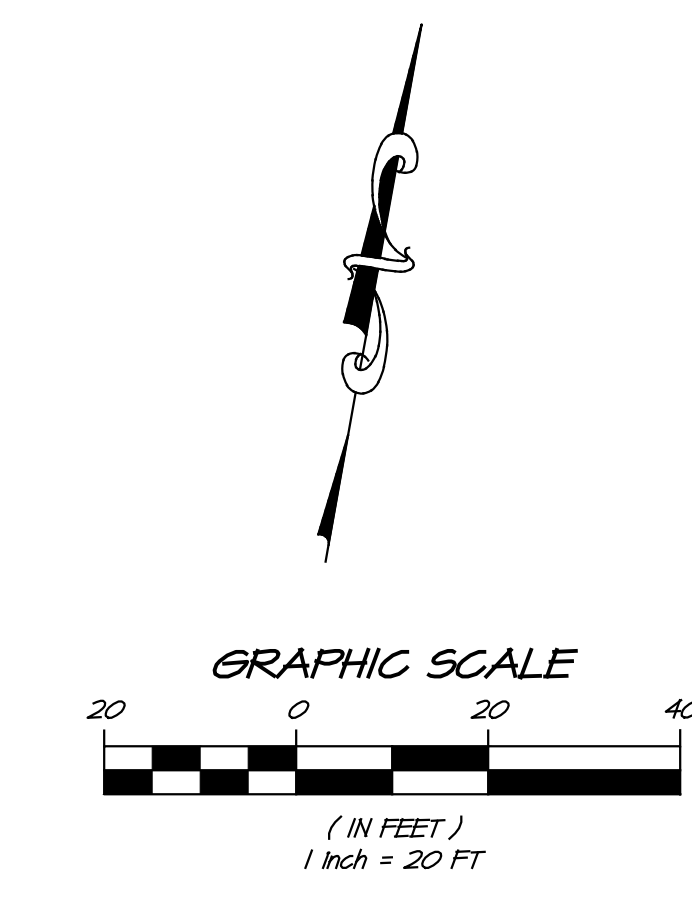
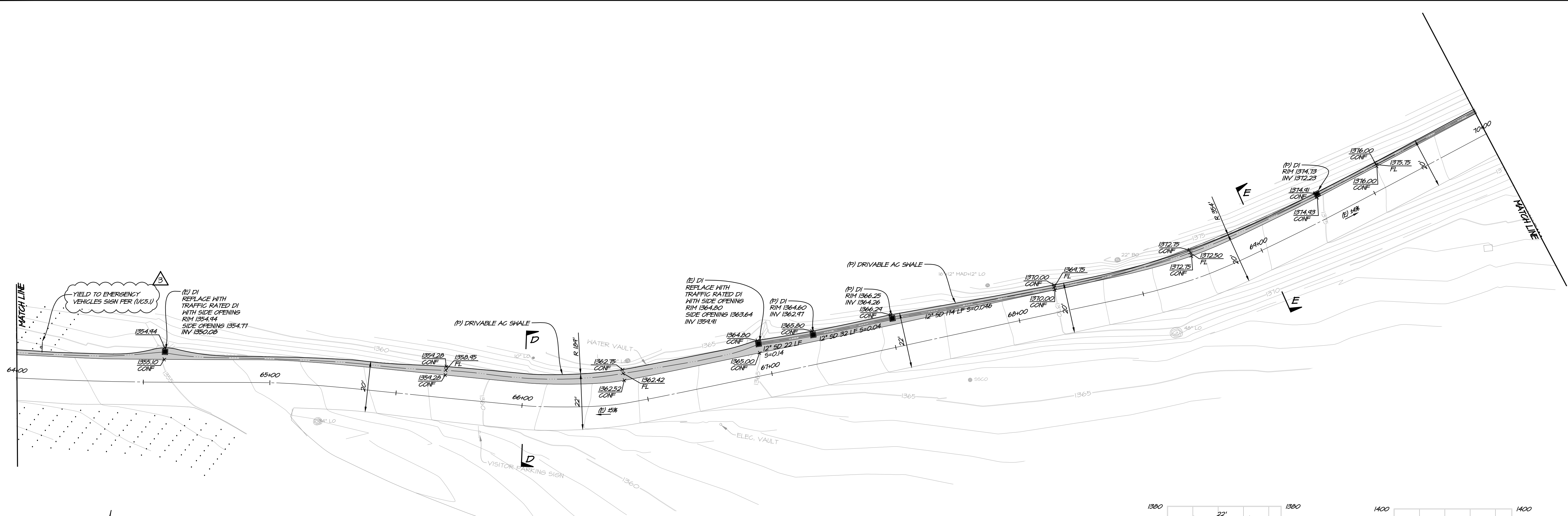
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KENZO ESTATES
STA 52+00 TO 64+00
CALIFORNIA
NAPA COUNTY



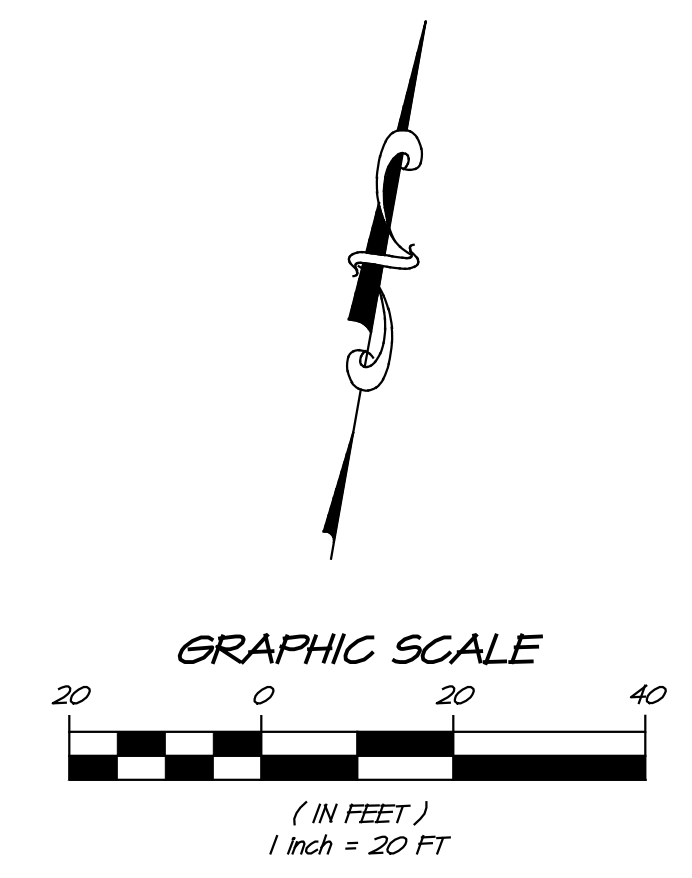
DATE	AUG 31, 2020
DRAWN	DCB
DESIGNED	JCK
CHECKED	BNF

JOB NO. 411010.0
SHEET NO. **UP5.2**
7 OF 8 SHEETS

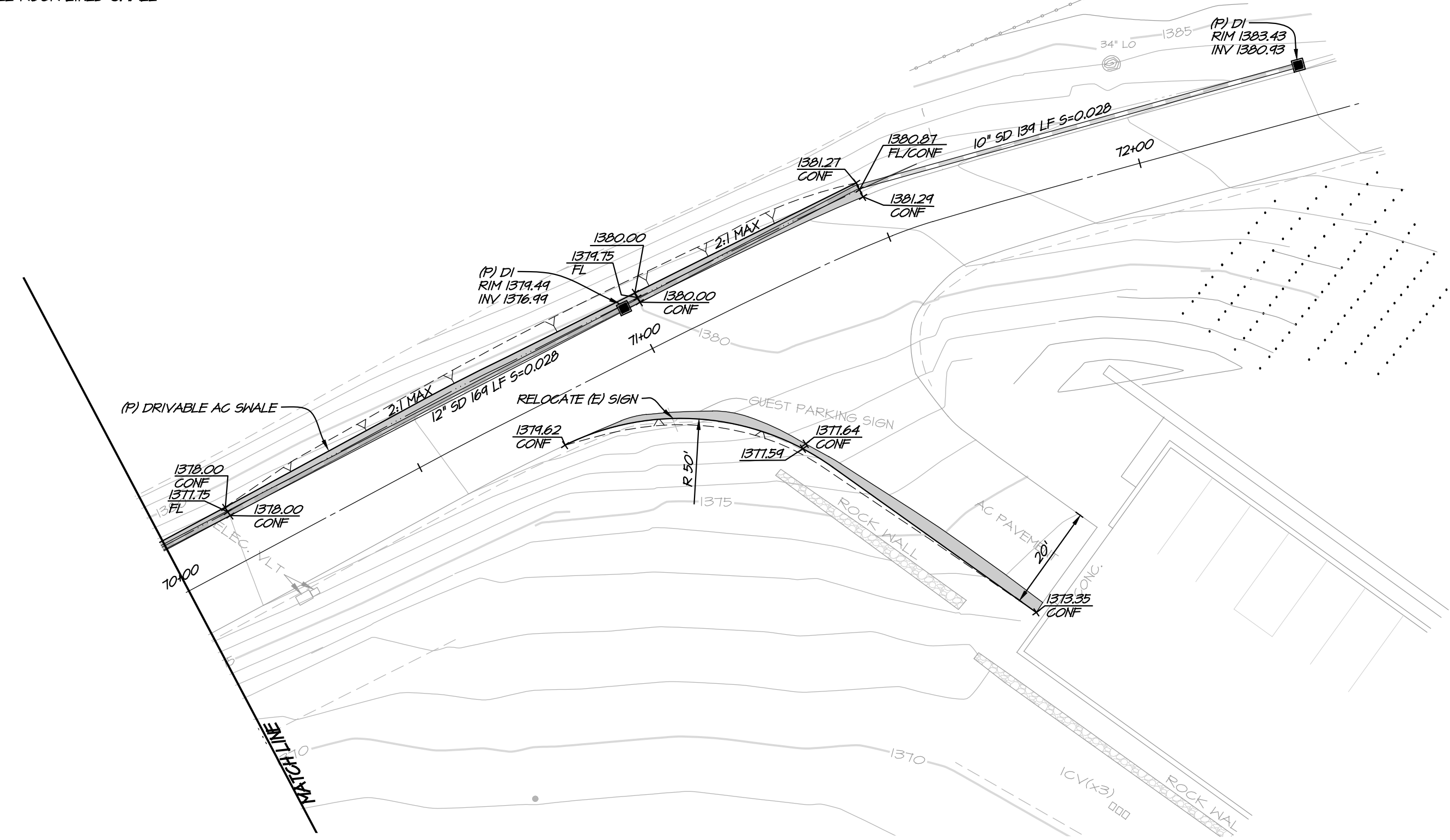
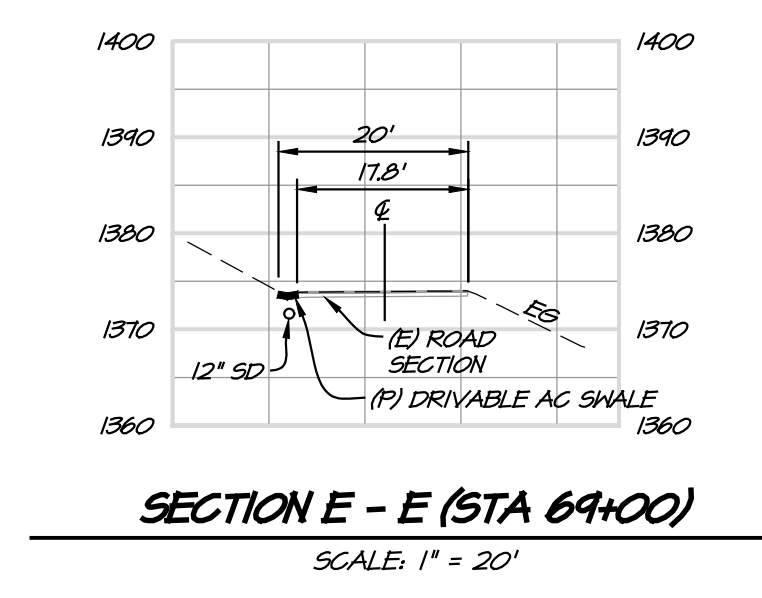
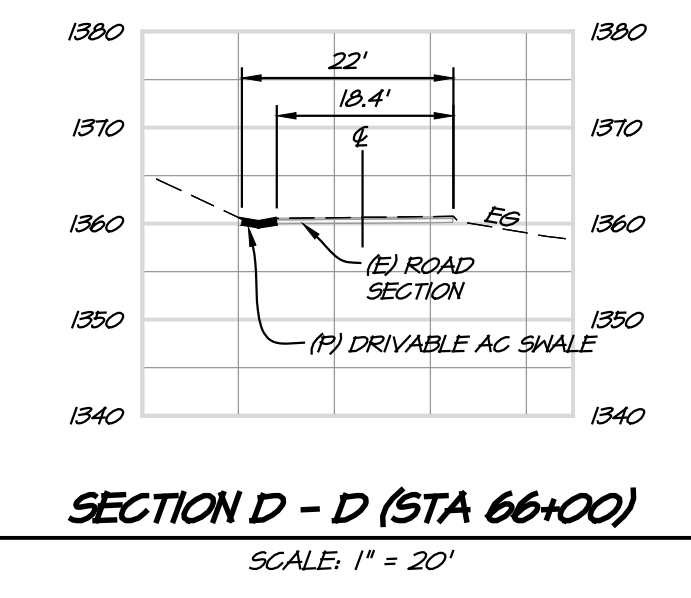


LEGEND:

- AC PAVEMENT
- DRIVABLE ROCK LINED SHALE



STA 64+00 TO 70+00
SCALE: 1" = 20'



STA 70+00 TO 72+00
SCALE: 1" = 20'

NO.	DATE	REVISIONS	BY	APP
0	08/30/2020	FIRST SUBMITTAL		
1	09/12/2020	RESPONSE TO COMMENTS		
2	07/10/2020	RESPONSE TO COMMENTS		
3	08/01/2020	RESPONSE TO COMMENTS		

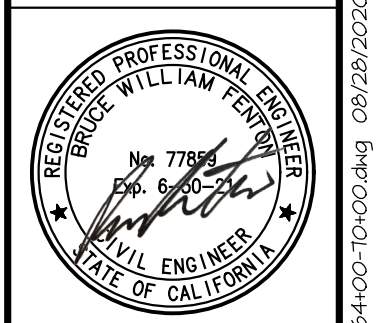
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KENZO ESTATES
STA 64+00 TO 70+00
CALIFORNIA

NAPA COUNTY



DATE	AUG 31, 2020
DRAWN	DGB
DESIGNED	JCK
CHECKED	BNF
JOB NO.	41191010.0

SHEET NO.
UP5.3
8 OF 8 SHEETS