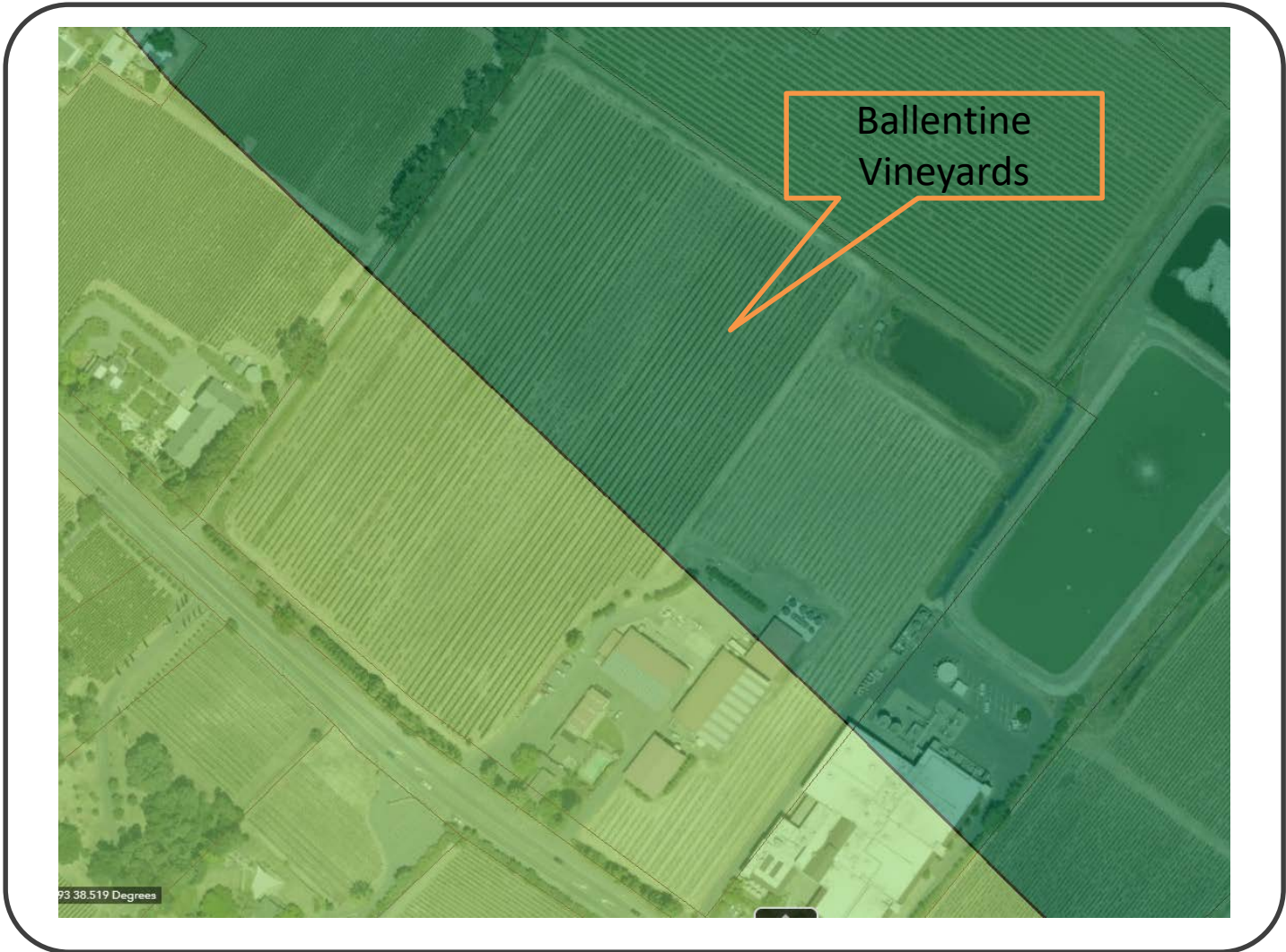


“K”

Graphics

NAPA COUNTY LAND USE PLAN 2008 – 2030



LEGEND



URBANIZED OR NON-AGRICULTURAL

- Study Area
- Cities
- Urban Residential*
- Rural Residential*
- Industrial
- Public-Institutional
- Napa Pipe Mixed Use

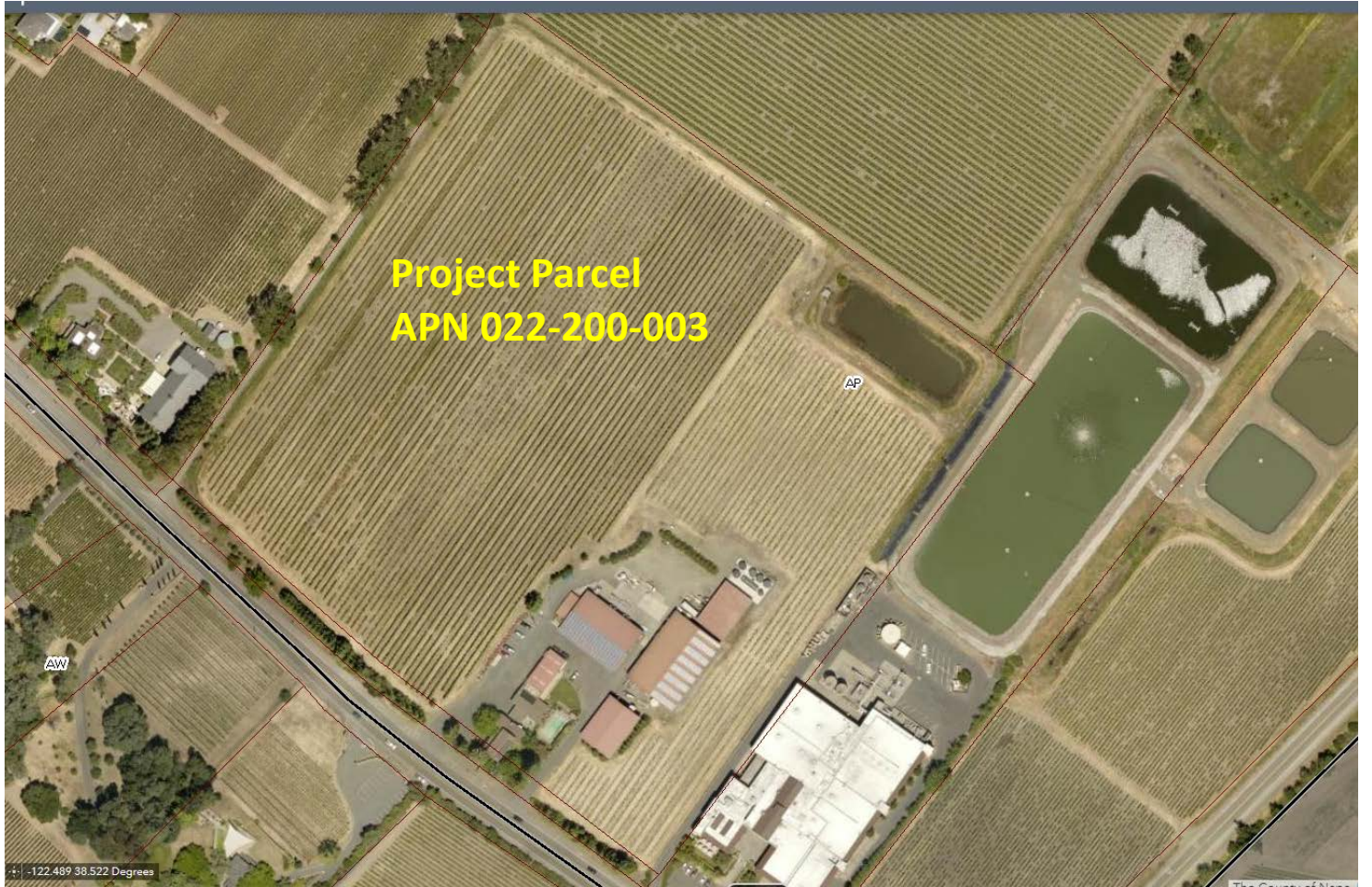
OPEN SPACE

- Agriculture, Watershed & Open Space
- Agricultural Resource

TRANSPORTATION

- Mineral Resource
- Limited Access Highway
- American Canyon ULL
- City of Napa RUL
- Landfill - General Plan
- Road
- Airport
- Railroad
- Airport Clear Zone

* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations



LEGEND

- Zoning
- Parcels



ZONING MAP



Existing Conditions

SHEET INDEX

ARCHITECTURAL DRAWINGS:
 A0.01 Use Permit Cover Sheet
 A1.00 Existing Site Plan
 A1.01 Proposed Site Plan
 A1.02 Diagrams
 A2.00 Existing Floor Plan
 A2.01 Demolition Plan
 A2.02 Proposed Floor Plan
 A2.03 Proposed Roof Plan
 A5.01 Elevations
 A5.02 Elevations

CIVIL DRAWINGS:

PROJECT TEAM

OWNER
 William Van and Betty Ballentine
 DBA Ballentine Ranches
 2820 St. Helena Hwy 29,
 St. Helena, CA, 94574

CIVIL ENGINEER
 Madrone Engineering
 Joel Dickerson, P.E.
 1485 Main Street, Suite 302
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 E: joel@madrone.engineering.com

SURVEYOR
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 John Webb, PLS
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 E: jreddingaicp@comcast.net

GENERAL CONTRACTOR

PROJECT SUMMARY

Ballentine Vineyards is requesting a Use Permit Major Modification to increase production and visitation for an existing winery. Existing wine production is approved for 50,000 gallons and is requested to be expanded to 125,000 gallons annually. The property will be improved as follows: the existing tasting room will be renovated and expanded with addition of a small outdoor tasting venue; the existing parking area will be reconstructed and improved; new fire hydrants will be added; and a new cover will be constructed over the existing crush pad.

Based on the proposed marketing plan for the winery, the maximum number of winery staff on-site on any given day is estimated to be fifteen (15) full-time employees. The existing use permit allows up to 10 visitors per week, and the proposed marketing plan allows for up to ninety-five (95) visitors per day (max) in addition to winery special events.

Beyond describing the physical and operational changes proposed by Ballentine Vineyards we would like to introduce you to the proprietors of the Winery. Ballentine Vineyards has been owned and operated by four generations since 1906. The winery had its beginnings since the turn of the 20th century. John Ballentine, the patriarch of the founder of Ballentine Vineyards was an immigrant from Tyrone County, Ireland who landed in San Francisco in 1910. In 1922, he traveled to Napa and purchased 160 acres with vineyards and a winery on the west hillside of Howell Mountain that was the original Sutter Home Winery. He called it Ballentine's Deer Park, after his farm in Ireland. In 1933, right after Prohibition ended, John was one of the first to apply for a winery bond #3533 and produced his first wine in 1933. In fact, one of his wines was among the first Cabernet Sauvignon in Napa Valley. During the subsequent decades, John and his son Van purchased two other vineyards. "Betty's Vineyard" was purchased in 1943 with his son Van, and is part of the homestead and winery land along Highway 29. "Fig Tree Vineyard" was purchased in 1949 and sits at the base of Howell Mountain on Crystal Springs Road.

Today, Van and Betty's son Frank manages the Winery. Ballentine Vineyards encompasses 80 acres of prime Napa Valley vine growing land. The Winery's estate grown wines include not only the superb Napa Valley Cabernet Sauvignon, but also other wine varieties that the land is especially well suited to grow.

All work shall comply with 2016 versions of California Building Code (CBC), California Residential Code (CRC), California Plumbing Code (CPC), California Mechanical Code (CMC), California Electrical Code (CEC), California Energy Code, California Green Building Standards Code (CGBS), California Fire Code (CFC, if applicable), 2013 California Energy Efficiency Standards (CEES), Napa County and all applicable local codes.

SITE INFORMATION

Site Address: 2820 St. Helena Hwy, St. Helena, CA 94574
 APN #: 022-200-003
 Lot Size: +/-21.1 acres

BUILDING CODE INFORMATION

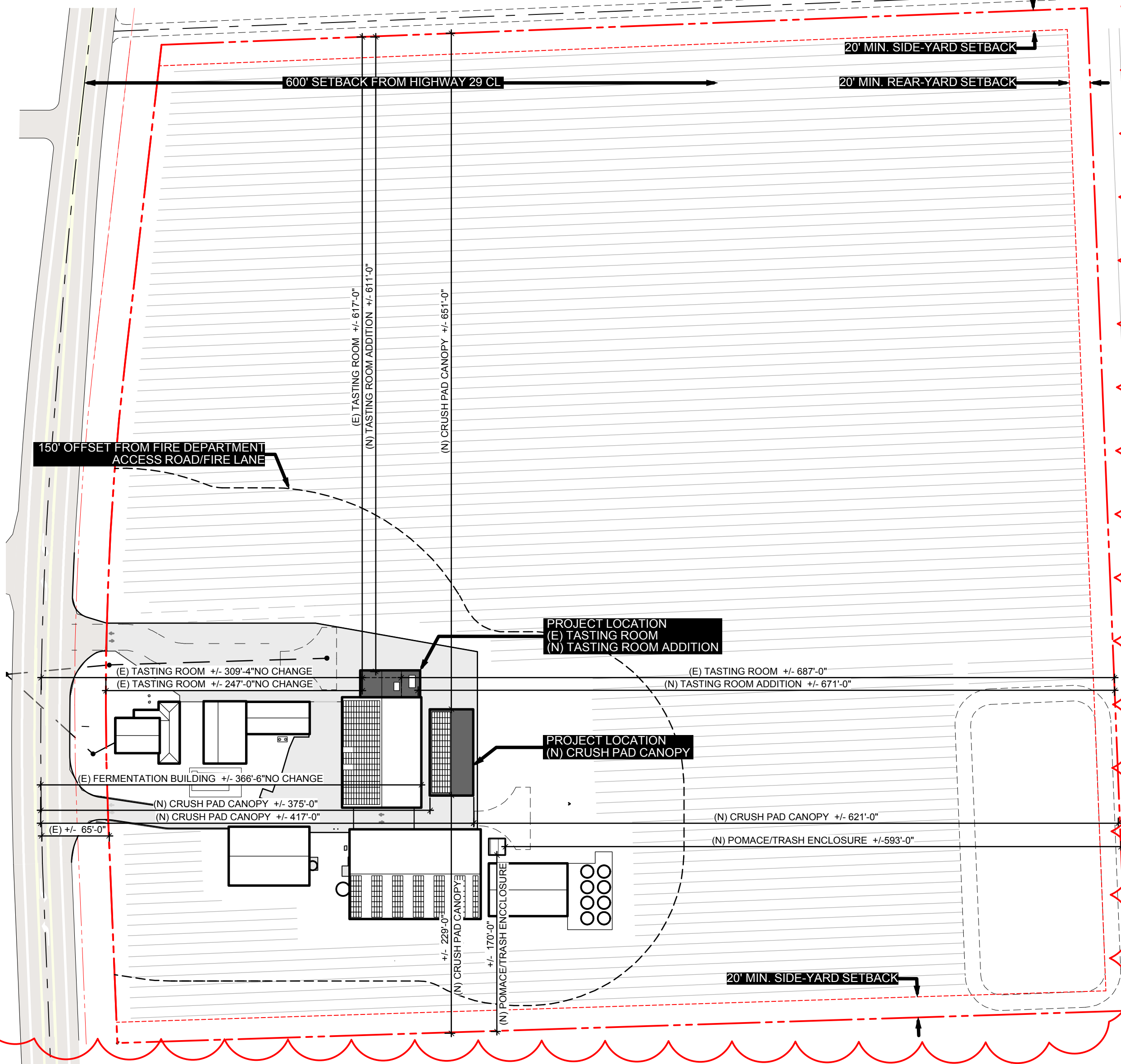
Zoning Group: AP
 Use Group/Occupancy: A-2, F-2
 Building Type: Type IIB-1, Type IB-2
 Township & Range: T08N-R06W
 Flood Zone: Parcel falls within FEMA Flood Zone
 School District: St. Helena Unified
 Supervisorial District: District - 3

SQUARE FOOTAGE

Remodel Winery Building:
 Existing: 820 S.F.
 Proposed: 685 S.F.
Grand Total: 1,505 S.F.
 Outdoor Area: 1,200 S.F.

(See sheet A1.02 for Square Footage breakdown and related information.)

PARCEL MAP
 1:1000



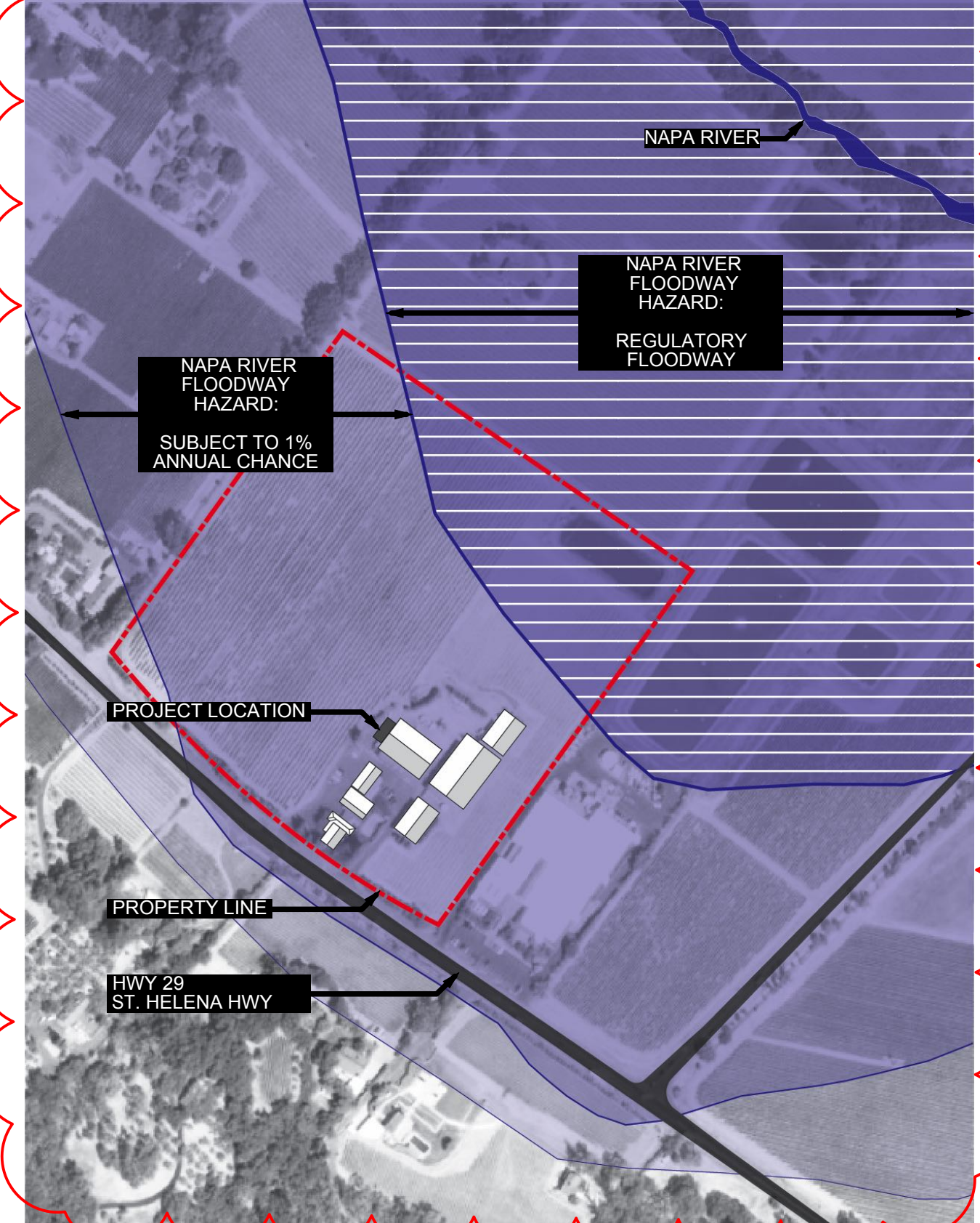
ABBREVIATIONS

ACOUS.	Acoustical	LAM.	Laminated
A.D.	Area Drain	LAV.	Lavatory
ADJ.	Adjustable	LVR.	Louver
A.F.F.	Above Finish Floor	L.P.	Low Point
AGGR.	Aggregate	M.C.	Medicine Cabinet
ARCH.	Architectural	MECH.	Mechanical
ASPH.	Asphalt	MIN.	Minimum
AWN.	Awning	MIR.	Mirror
		MET.	Metal
		M.P.R.	Multi Purpose Room
BI-FO. DR.	Bi-Folding Door	(N)	New
BLDG.	Building	N.I.C.	Not In Contract
BLK.	Block	N.T.S.	Not To Scale
BLKG.	Blocking	NO	Number
BM.	Beam		
B.O.	Bottom Of		
BW	Bottom of Wall		
BYND	Beyond		
		OBS.	Obscure
CPT.	Carpet	O.C.	On Center
CAB.	Cabinet	O.D.	Outside Diameter
C.B.	Catch Basin	OPNG	Opening
CEM.	Cement		
C.J.	Construction Joint	P.LAM.	Plastic Laminated
CL.	Closet	P.L.	Property Line
CLG.	Ceiling	PL.	Steel Plate
CLR.	Clear	PLAS.	Plaster
C.O.	Clean Out	PLYWD	Plywood
COL.	Column	PT.	Point
CINC.	Concrete		
CONT.	Continuos	QTY.	Quantity
CSMT.	Casement	R.	Riser
C.T.	Ceramic Tile	RAD.	Radius
C.L.	Center Line	RET.	Retaining
C.S.	Counter Sink	RET. AIR	Return Air
		RD.	Round
DEMO	Demolition	R.D.	Roof Drain
DET.	Detail	REF.	Refrigerator
D.H.	Double Hung	REG.	Register
D.F.	Douglas Fir	REIN.	Rinforced
DIAG.	Diagonal	REQ'D	Required
DIM.	Dimension	R.O.	Rough Opening
DWGS.	Drawings	RWD.	Redwood
DN.	Down	R.W.L.	Rain Water Leader
		SAG	Supply Air Grill
(E)	Existing	SF	Square Foot
E.J.	Expansion Joint	S.V.	Sheet Vinyl
EL.	Elevation	S.H.	Single Hung
ELEC.	Electric	SHT	Sheet
EQ.	Equal	SHWR.	Shower
EXT.	Exterior	SIM.	Similar
		SM.	Sheet Metal
F.B.T.	Furnished By Tenant	SKY.	Skylight
F.D.	Floor Drain	SL.	Slider
F.F.	Finish Floor	SL GL. DR.	Sliding Glass Door
FIN.	Finish	SQ	Square
F.O.C.	Face Of Concrete	S.S.D.	See Structural Drawings
F.O.S.F.O.W.	Face Of Stud/Face Of Wall	ST. STL.	Stainless Steel
FR.DR.	French Door	STD.	Standard
FT.	Footing	STL.	Steel
FX.	Fixed	STG.	Storage
		STRUC.	Structural
GA.	Gauge	T.	Tread
GALV.	Galvanized	TEMP. GL.	Tempered Glass
G.B. OR G.W.	Gypsum Board	T.I.	Truss Joist
GLS	Glass	T.O.	Top Of
GLU. LAM.	Glue Laminated	TOC	Top Of Concrete
GL	Ground Level	TOF	Top Of Fence
GSF	Gross Square Footage	TOR	Top Of Roof
G.S.M.	Galv. Sheet Metal	TPD	Toilet Paper Dispenser
GWB	Gypsum Board	TYP.	Typical
		TW	Top Of Wall
H.B.	Hose Bibb	TS	Tube Steel
h	Height	UON	Unless Otherwise Noted
H.M.	Hollow Metal	VERT.	Vertical
HOR.	Horizontal	V.I.F.	Verify In Field
H.P.	High Point	W/	With
H.W.H.	Hot Water Heater	W.C.	Water Closet
		WD	Wood
I.D.	Inside Diameter	WDW	Window
INSUL.	Insulation	WP.	Waterproof
INT.	Interior	W.P.	Work Point
J.BOX	Junction Box	YD.	Yard
JT.	Joint		

SYMBOL LEGEND

(NO SHT)	Elevation Reference
(NO SHT)	Section Reference
(NO)	Vantage Point Reference
(X)	Grid Line
(NO SHT)	Detail Reference
(ELEVATION REF)	Elevation or Section Datum Symbol
Room Name	Room Number or Space Allocation ID
(D-01)	Door Symbol
(W-01)	Window Symbol
(P-01)	Louver Symbol
(A)	Wall Tag

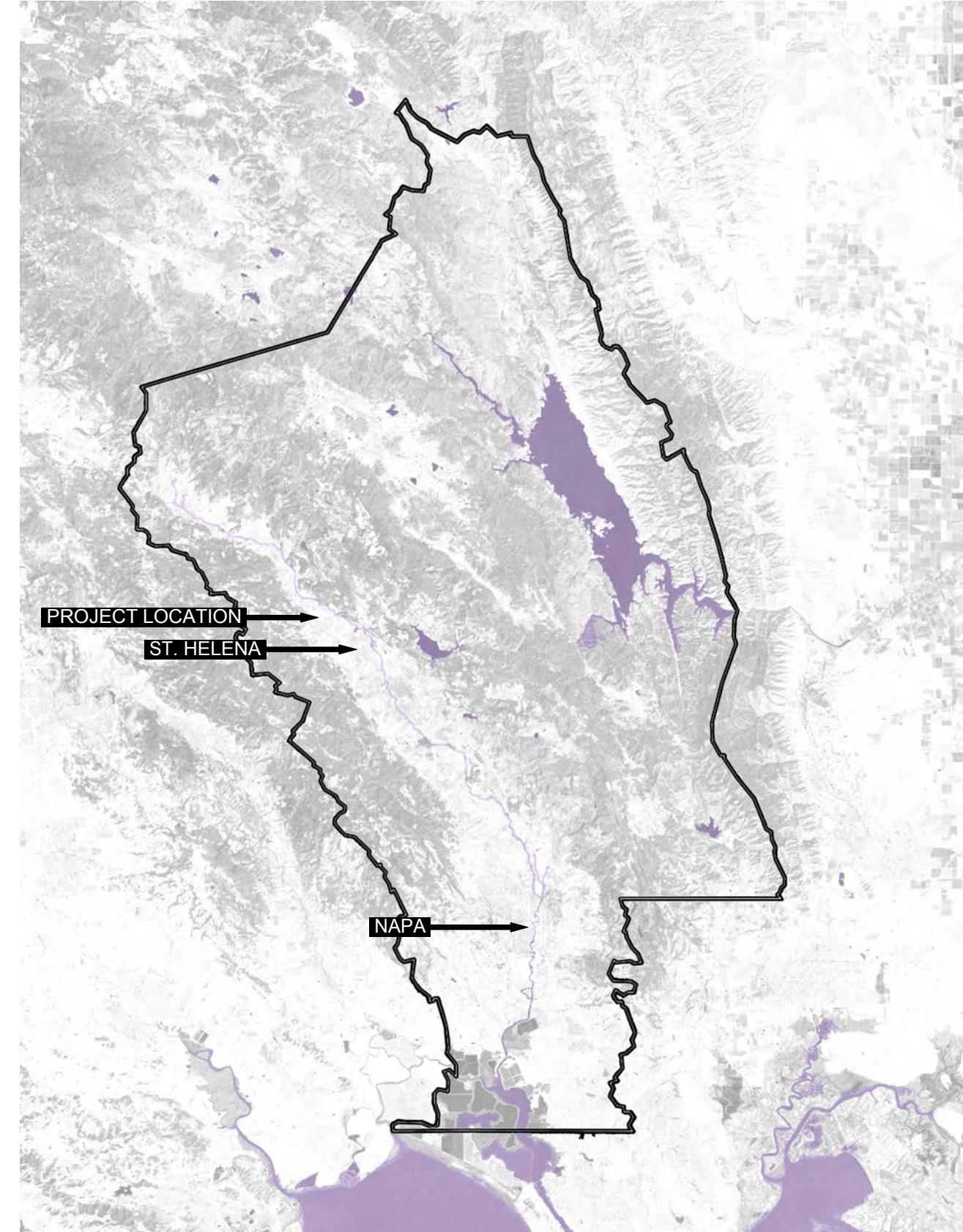
FEMA FLOOD MAP



LOCATION MAP



VICINITY MAP



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 415 977 0194

**BALLENTINE VINEYARDS
 TASTING ROOM RENOVATION**
 2820 St. Helena Hwy
 St. Helena, CA 94574

REVISION DATE
 11.02.18
 PLANNING DEPARTMENT, INITIAL
 COMPLETENESS LETTER.
 FIRE DEPARTMENT
 MEMORANDUM

Date: 02.13.2019
 Drawn by: CS
 Project No: 1801
 Scale: SEE DRAWING

**USE PERMIT
 COVER PAGE**

SHEET NO:
A0.01

APN 022-200-003

REVISION	DATE
PLANNING DEPARTMENT, INITIAL COMPLETENESS LETTER.	11.02.18
FIRE DEPARTMENT MEMORANDUM.	

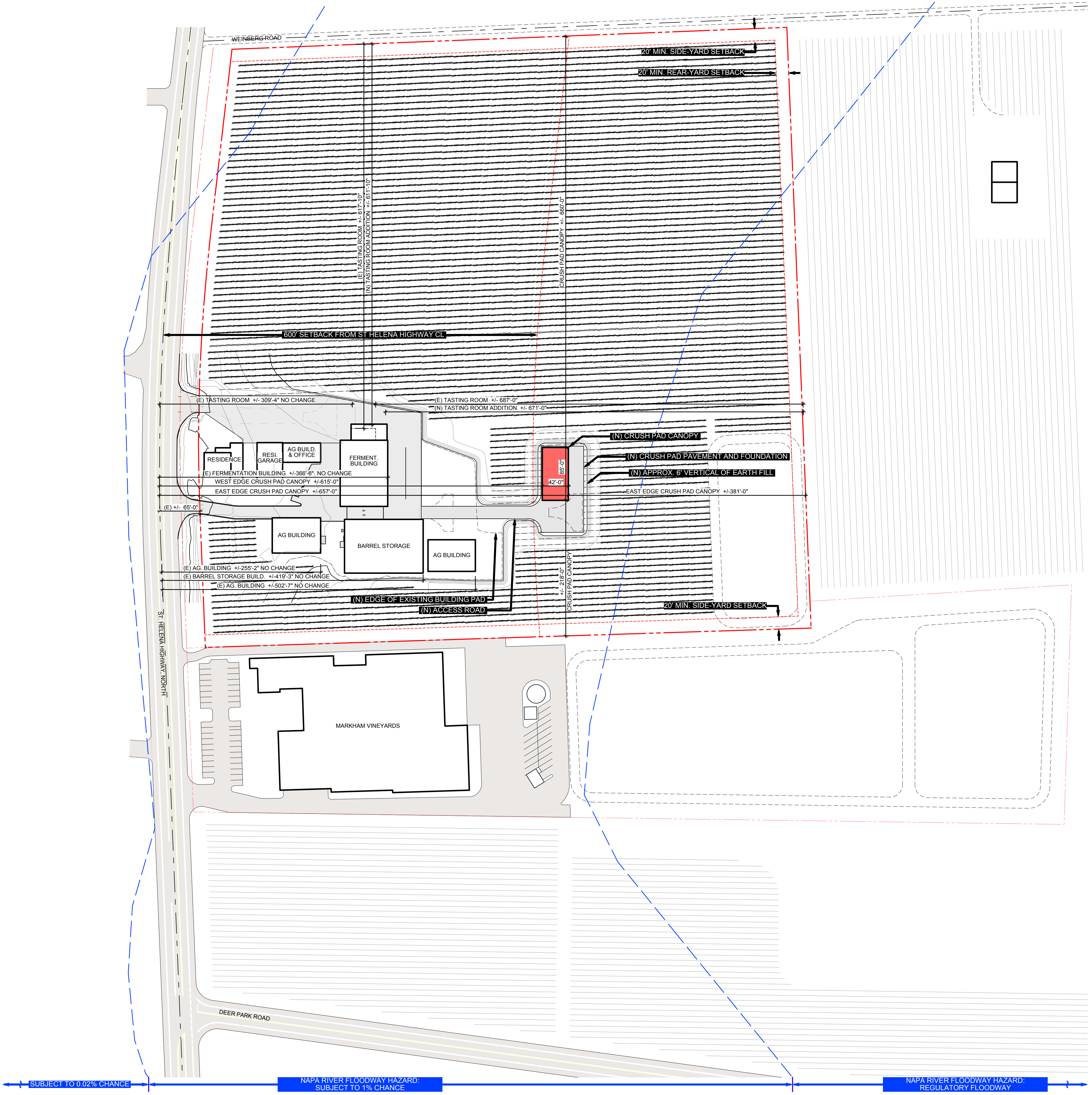
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VARIANCE FOR COVERED CRUSH PAD

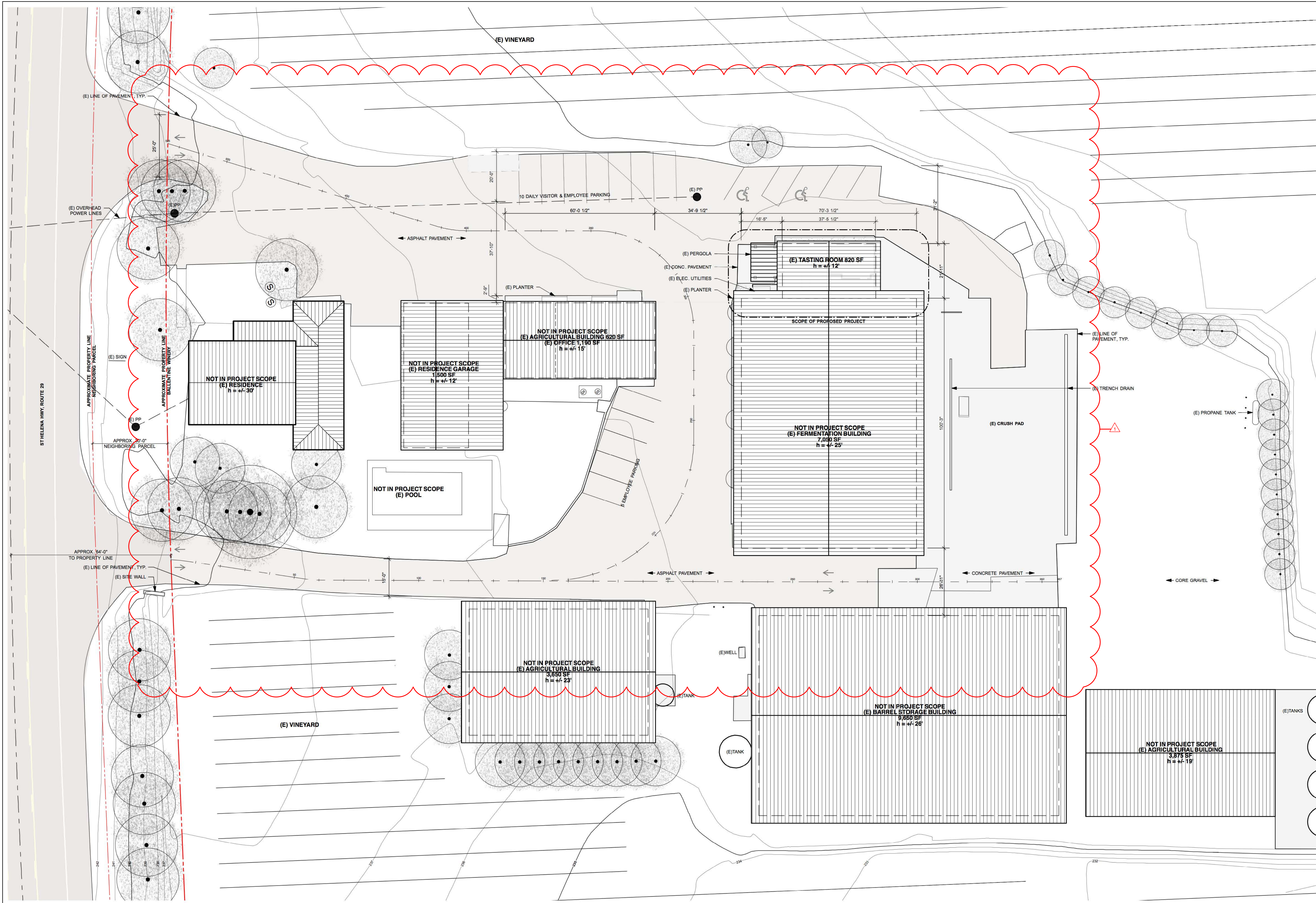
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FEMA FLOOD MAP 26



SITE PLAN Scale: 1:1000 01



**BALLENTINE VINEYARDS
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EXISTING SITE PLAN

EXISTING SITE PLAN
 Scale: 1:200

SHEET NO:
A1.00



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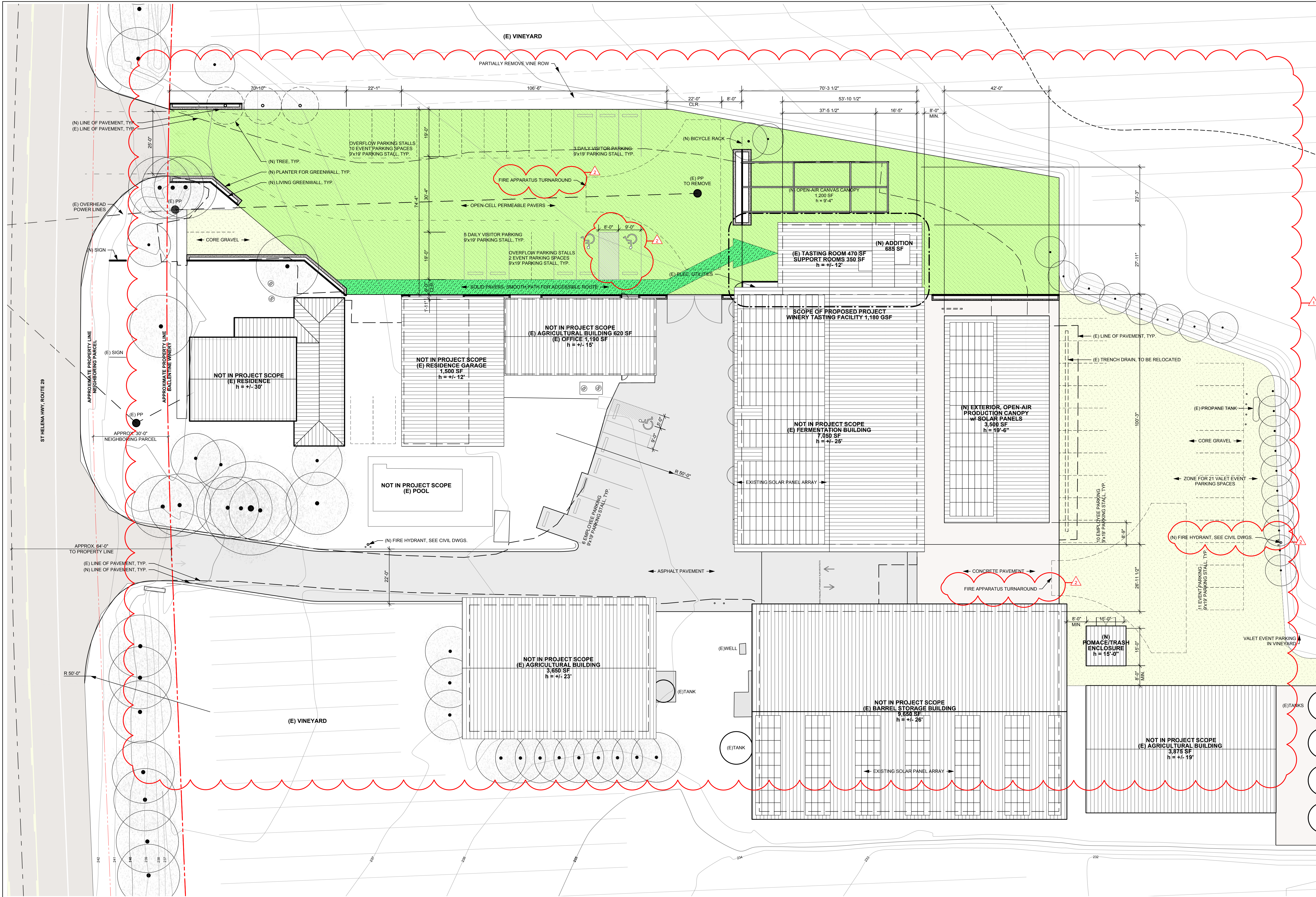
**BALLENTINE VINEYARDS
 TASTING ROOM RENOVATION**
 2820 St. Helena Hwy
 St. Helena, CA 94574

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PLANNING DEPARTMENT COMMENTS TO REVISION 1 SUBMISSION	01.30.19

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PROPOSED SITE PLAN

SHEET NO:
A1.01



FLOOR PLAN AT WINERY TASTING ROOM
 Scale: 1:200

01

Building	Description	Function	Cond/Uncond	Class	Area (sf)	Load Factor Egress	Load Factor Plumbing	Occ Load Egress	Occ Load Plumbing	No. Bathrooms
101	Residence	Residential	NA	NA	NA	NA	NA	NA	NA	NA
102	Residence Garage	Storage	NA	NA	NA	NA	NA	NA	NA	NA
103A	Agricultural Building	Storage	UC	U	620	300	5,000	2	0.12	1
103B	Office	Business	C	B	1,190	100	200	12	5.95	6
104A/D	Tasting Room	Assembly - Standing	C	A-2	1,015	5	30	203	33.23	34
104B	Restrooms	-	C	-	240	-	-	-	-	-
104C	Employee Breakroom	Business	C	B	250	100	200	3	1.25	2
105	Fermentation Building	Manufacturing	UC	F-2	7,050	100	2,000	71	9.53	4
106	Agricultural Building	Storage	UC	U	3,650	300	5,000	12	3.32	1
107	Barrel Storage Building	Storage	C	S-2	9,650	300	5,000	32	1.93	2
108	Agricultural Building	Storage	UC	U	3,875	300	5,000	13	0.78	1
Total					27,540			347	51	4

PROPOSED PROJECT AREA TABLE 10

Building	Use	Description	Area (sf)
103B	Offices*	Office	595
103B	Conference / Meeting Room*	Office	595
104A	Tasting Room	Tasting Room	750
104A	Retail Space	Support	50
104D	Private Tasting Room	Tasting Room	215
104B	Public Restroom	Support	240
104C	Employee Break Room	Support	125
Total			2,570

* No Change
PROPOSED ACCESSORY USE 05

Building	Use	Description	Area (sf)
103B	Offices	Office	595
103B	Conference / Meeting Rooms	Office	595
-	Tasting Room	Tasting Room	420
-	Retail Space	Support	50
-	Public Restroom	Support	70
-	Employee Break Room	Support	90
-	Vestibule	Support	100
Total			1,920

EXISTING ACCESSORY USE 04

Building	Use	Description	Area (sf)
103A	Equipment Storage*	Storage	310
103A	Maintenance Facility*	Support	310
103C	Employee Restrooms*	Support	110
104C (N)	Laboratory	Support	125
105A	Fermentation Facility*	Production Facility	5,550
105B	Shipping / Receiving*	Support	750
105B	Bottling Facility* (Mobile, occurs in fermentation facility)	Support	750
106	Bottle Storage / Dry Storage*	Storage	3,650
109 (N)	Covered Crushing Pad	Production Facility	3,500
Total			15,055

* No Change
PROPOSED PRODUCTION FACILITY 03

Building	Use	Description	Area (sf)
103A	Equipment Storage	Storage	310
103A	Maintenance Facility	Support	310
103B	Employee Restrooms	Support	110
-	Laboratory	Support	90
105A	Fermentation Facility	Production Facility	5,550
105B	Shipping / Receiving	Support	750
105B	Bottling Facility (Mobile, occurs in fermentation facility)	Production Facility	750
106	Bottle Storage / Dry Storage	Storage	3,650
109	Crushing Pad	Production Facility	3,500
Total			15,020

EXISTING PRODUCTION FACILITY 02



OCCUPANCY & AREA DIAGRAM Scale: 1:200 01

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**BALLENTINE VINEYARDS
 TASTING ROOM RENOVATION**
 2820 St. Helena Hwy
 St. Helena, CA 94574

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DIAGRAMS

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 TASTING ROOM RENOVATION**
 2820 St. Helena Hwy
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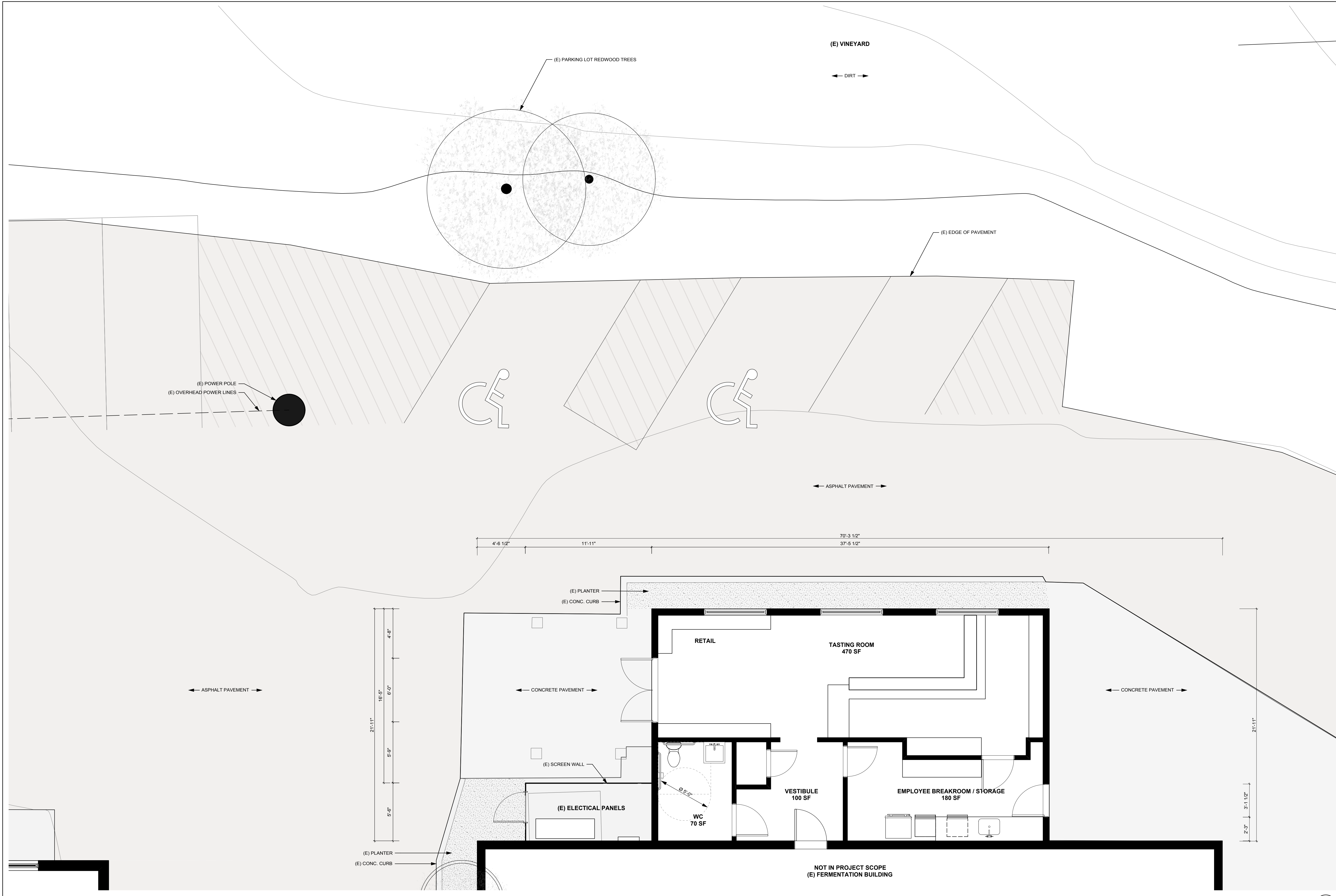
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EXISTING FLOOR PLAN

SHEET NO:
A2.00



EXISTING FLOOR PLAN 01
 Scale: 1/4" = 1'-0"

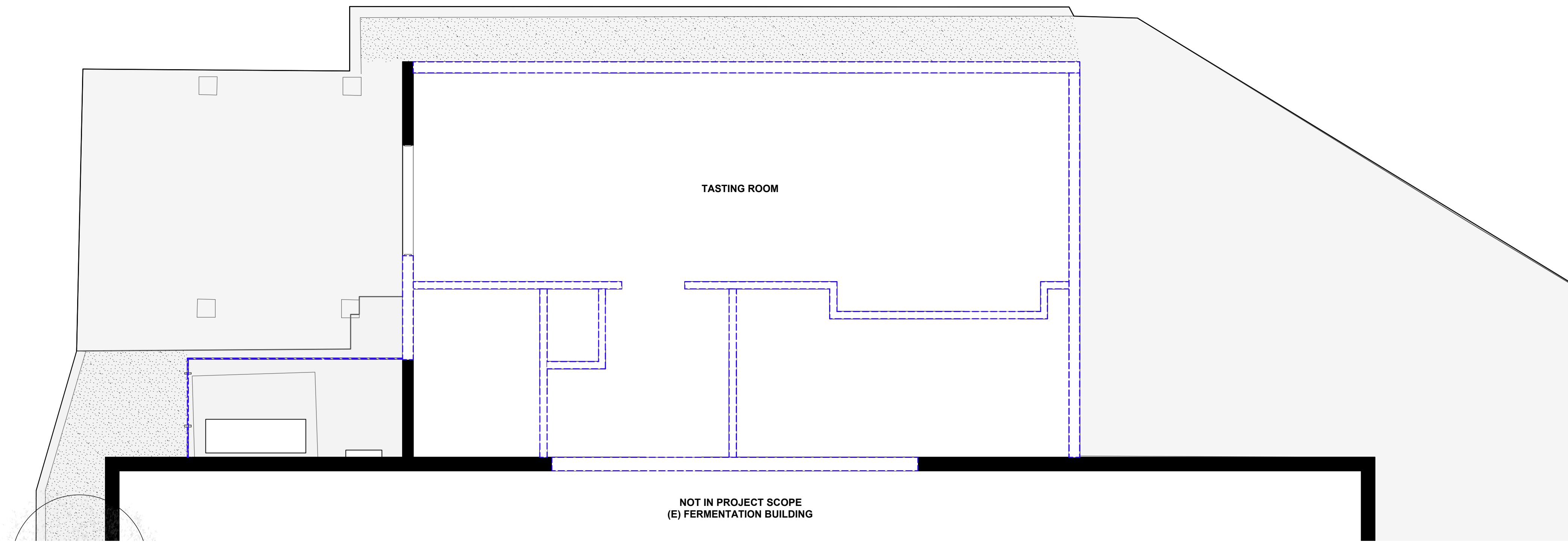


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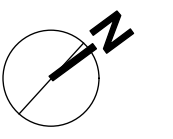
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WALL DEMOLITION PLAN
 Scale: 1/4" = 1'-0" 01



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DEMOLITION PLAN

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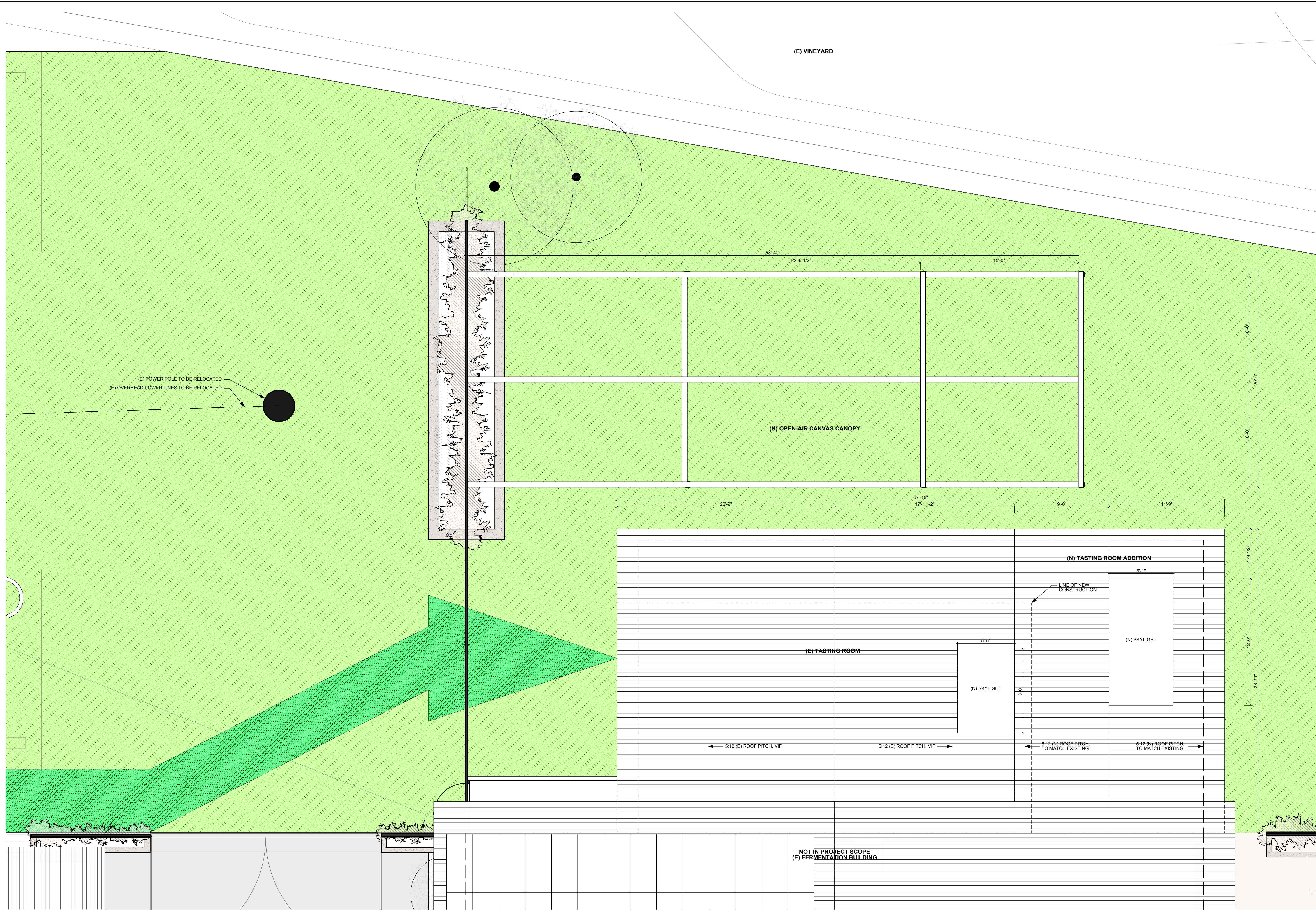
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**ROOF PLAN
 TASTING ROOM**

SHEET NO:
A2.02

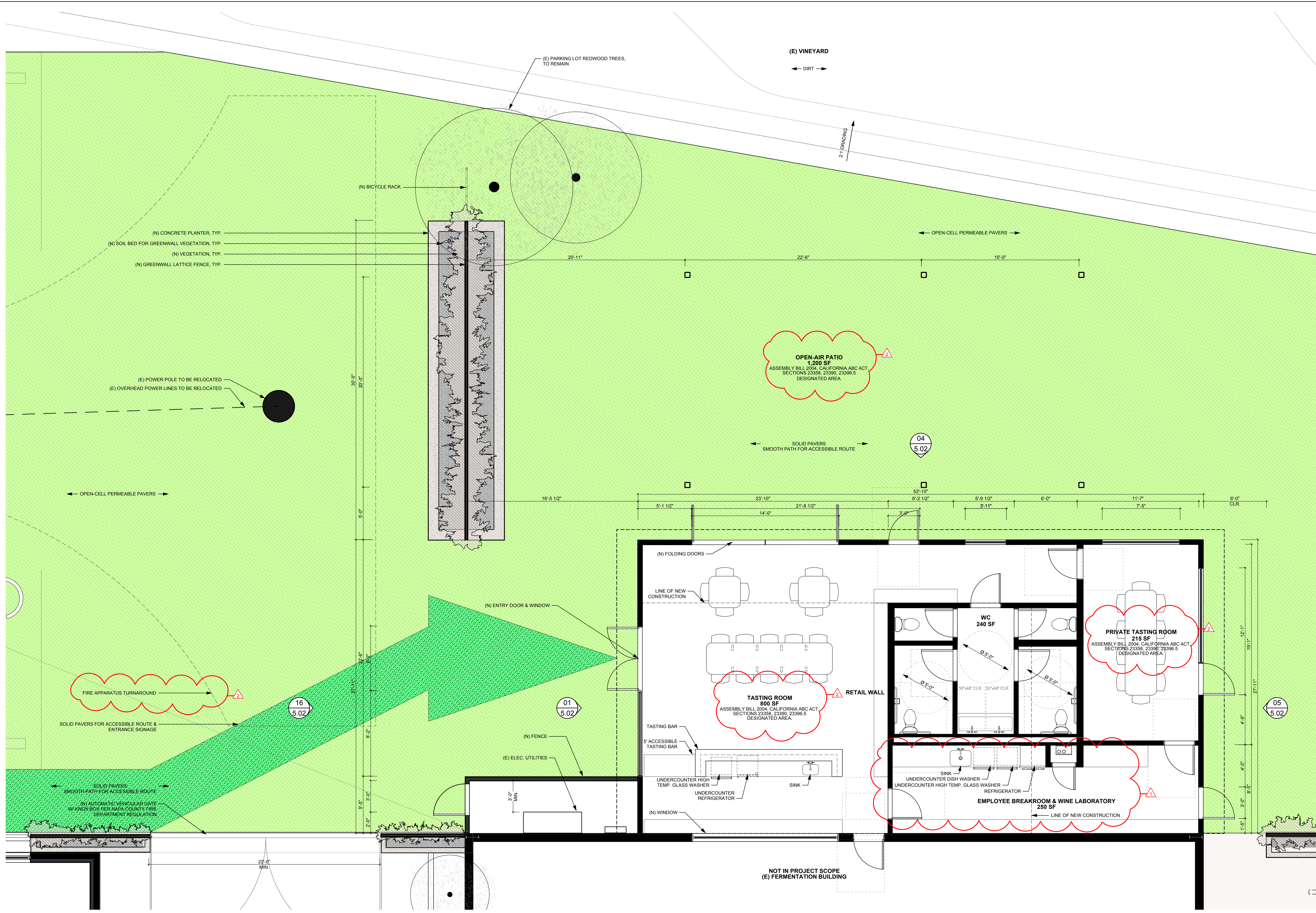


FLOOR PLAN AT WINERY TASTING ROOM
 Scale: 1/4" = 1'-0" 01

REVISION	DATE
△ PLANNING DEPARTMENT, INITIAL COMPLETENESS LETTER	11.02.18
△ PLANNING DEPARTMENT COMMENTS TO REVISION 1 SUBMISSION	01.30.19

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**FLOOR PLAN
 TASTING ROOM**

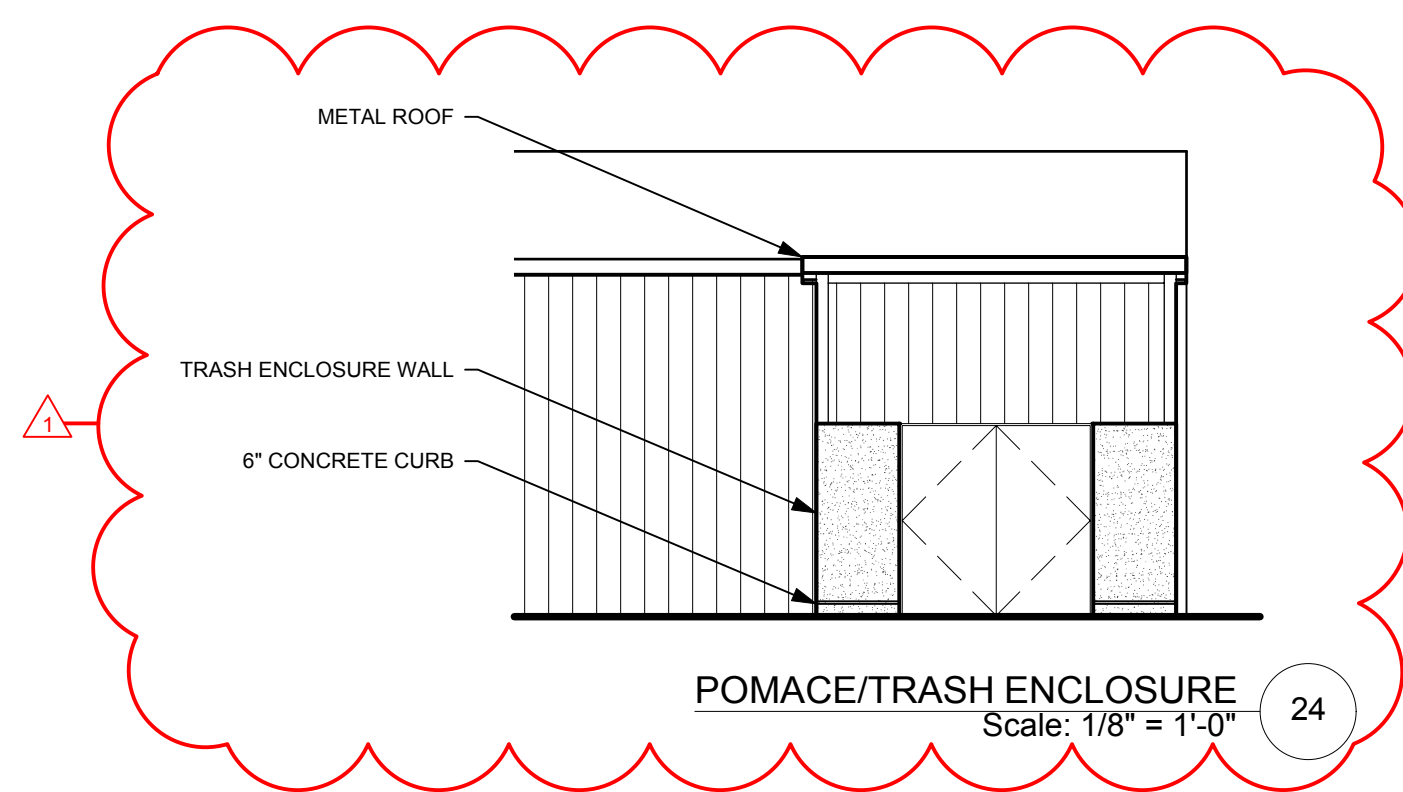


FLOOR PLAN AT WINERY TASTING ROOM
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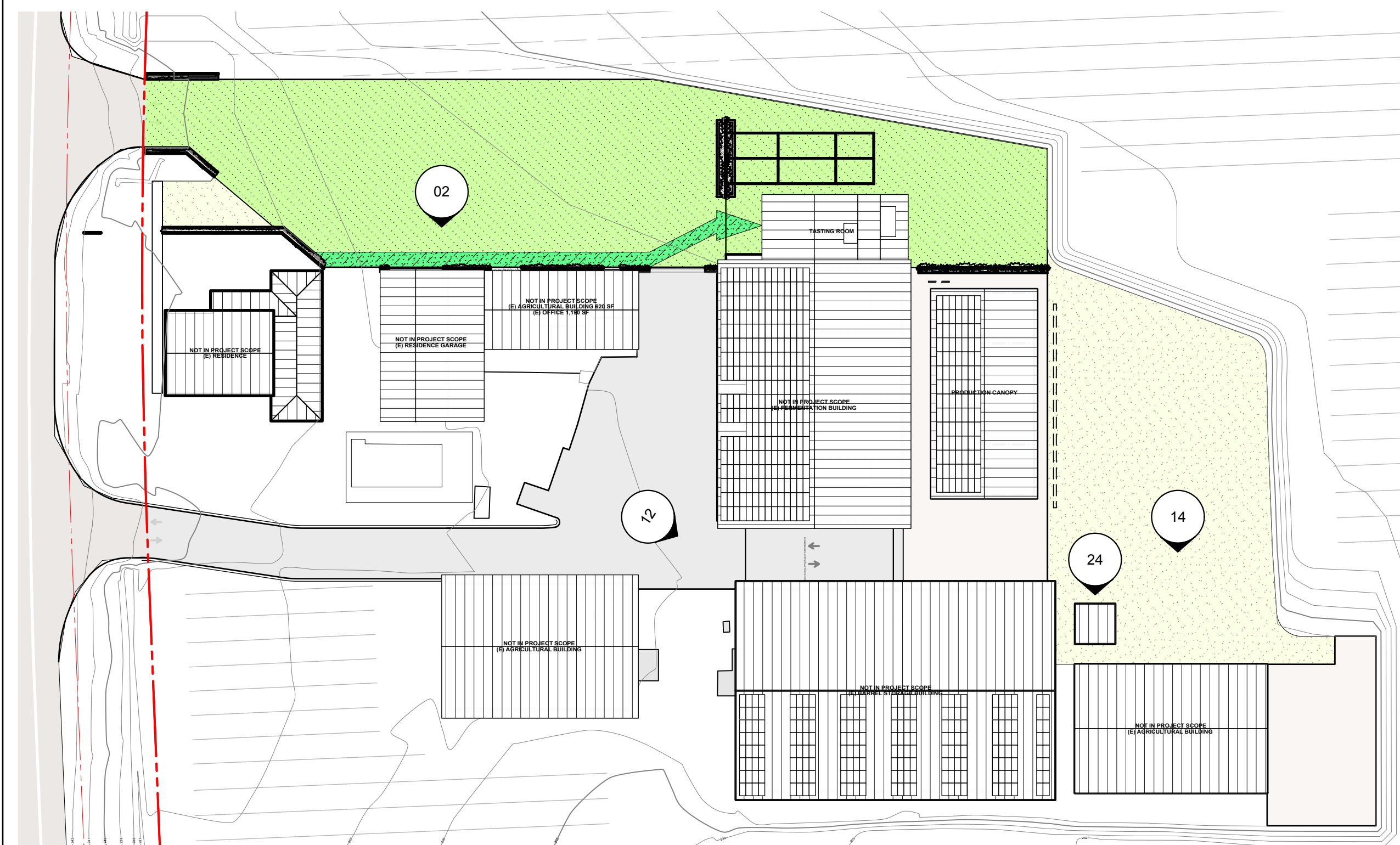
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(E) AGRICULTURAL BUILDING
NOT IN PROJECT SCOPE 14



(E) AGRICULTURAL BUILDING
NOT IN PROJECT SCOPE 04



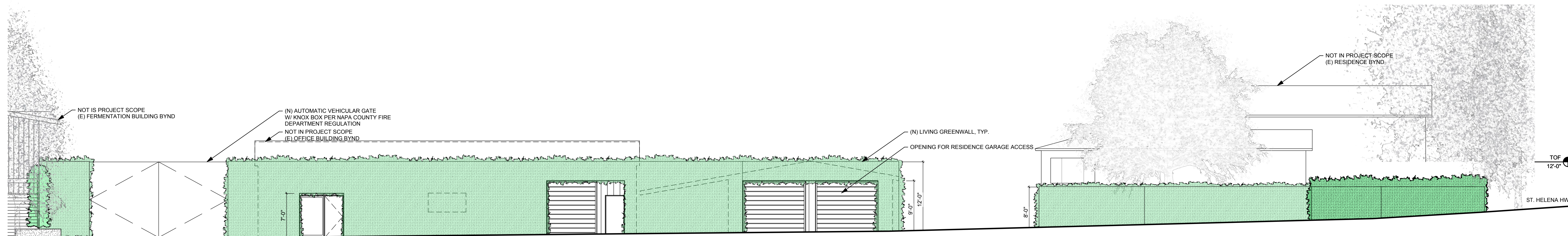
SITE PLAN DIAGRAM
Scale: 1:500 22



(E) BARREL STORAGE BUILDING
NOT IN PROJECT SCOPE 12



(E) RESIDENCE GARAGE
NOT IN PROJECT SCOPE 02



NORTH ELEVATION AT GREENWALL
Scale: 1/8" = 1'-0" 01

**BALLENTINE VINEYARDS
TASTING ROOM RENOVATION**
2820 St. Helena Hwy
St. Helena, CA 94574

APN 022-200-003

REVISION DATE

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ELEVATIONS

SHEET NO:
A5.01



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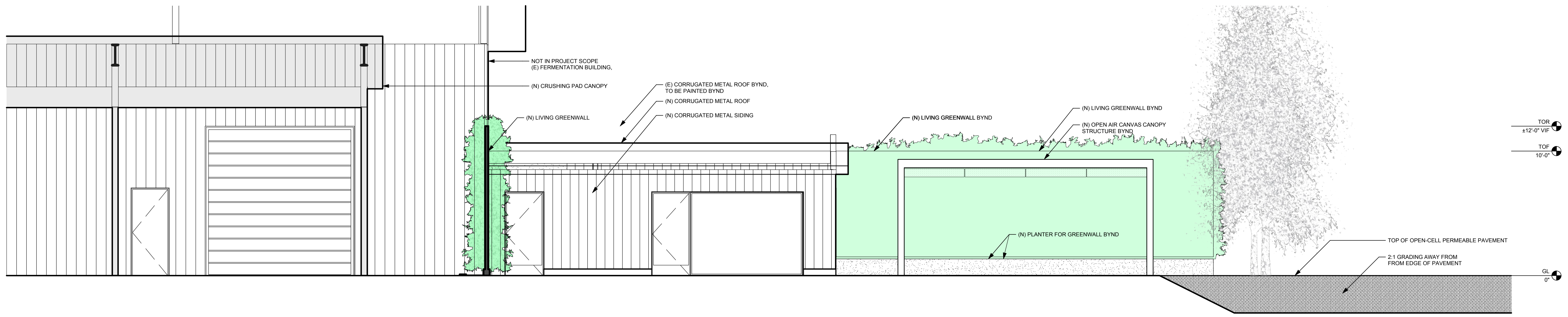
**BALLETINE VINEYARDS
 TASTING ROOM RENOVATION**
 2820 St. Helena Hwy
 St. Helena, CA 94574

REVISION DATE

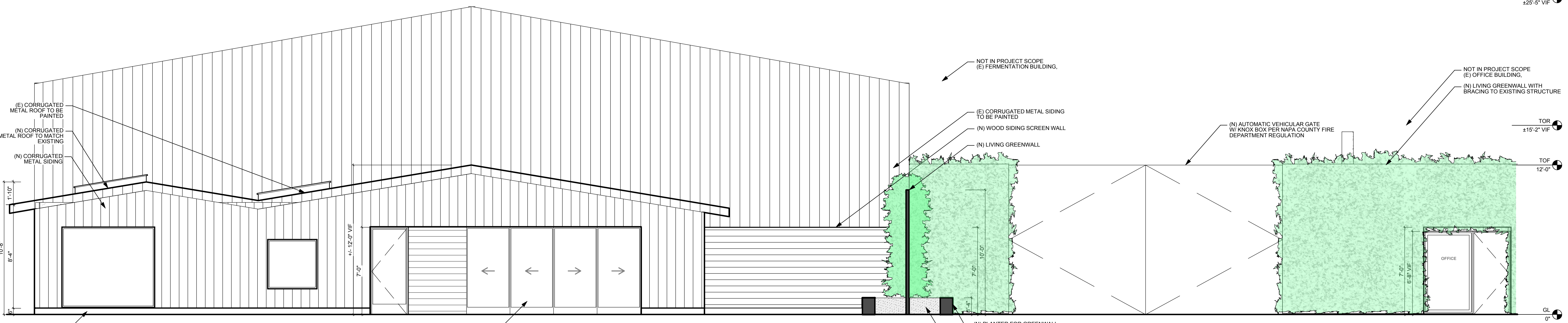
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 Drawn by: CS
 Project No: 1801
 Scale: SEE DRAWING

ELEVATIONS

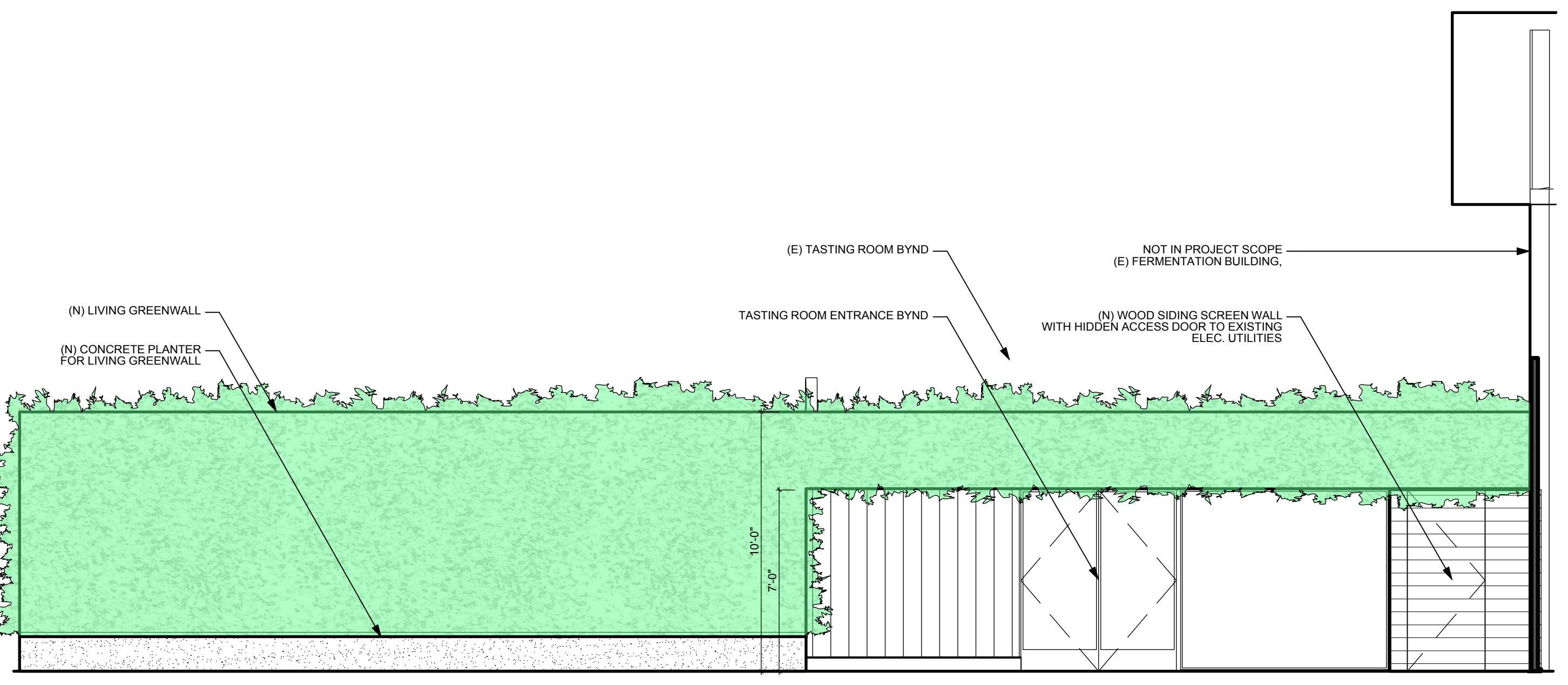
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A5.02



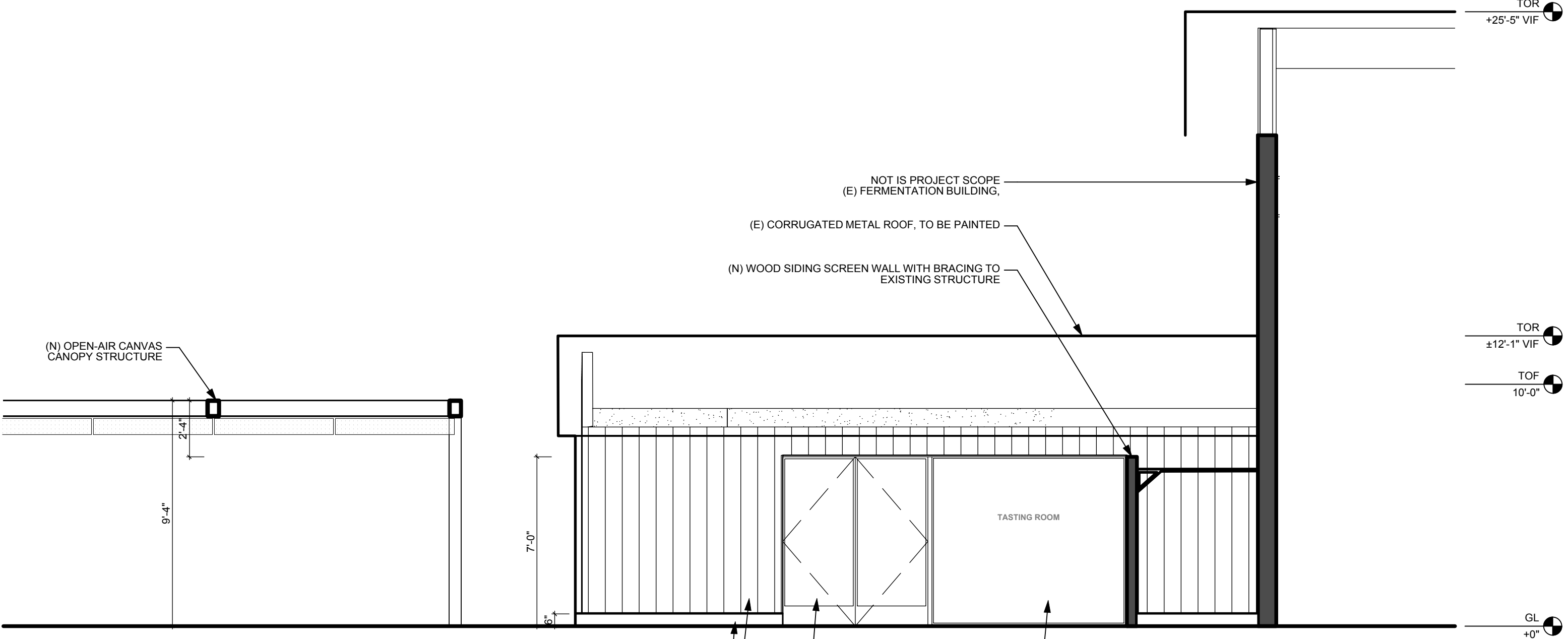
EAST ELEVATION AT TASTING ROOM
 Scale: 1/4" = 1'-0"



NORTH ELEVATION AT PATIO ENTRANCE
 Scale: 1/4" = 1'-0"

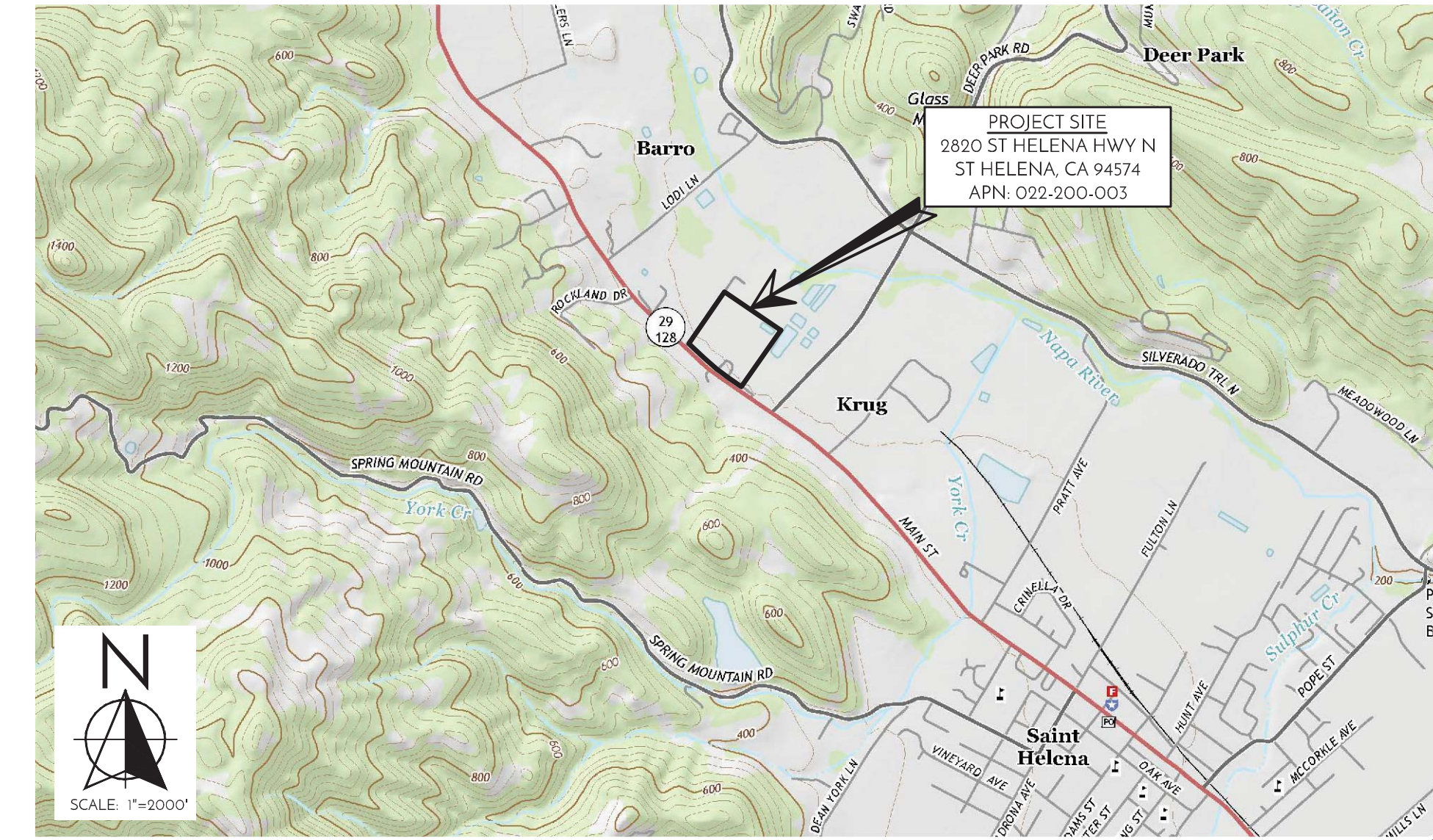


WEST ELEVATION AT GREENWALL
 Scale: 1/4" = 1'-0"



WEST ELEVATION AT TASTING ROOM ENTRANCE
 Scale: 1/4" = 1'-0"

CIVIL IMPROVEMENT PLANS FOR: BALLENTINE VINEYARDS 2820 ST. HELENA HWY N ST. HELENA, CA, 94574



VICINITY MAP

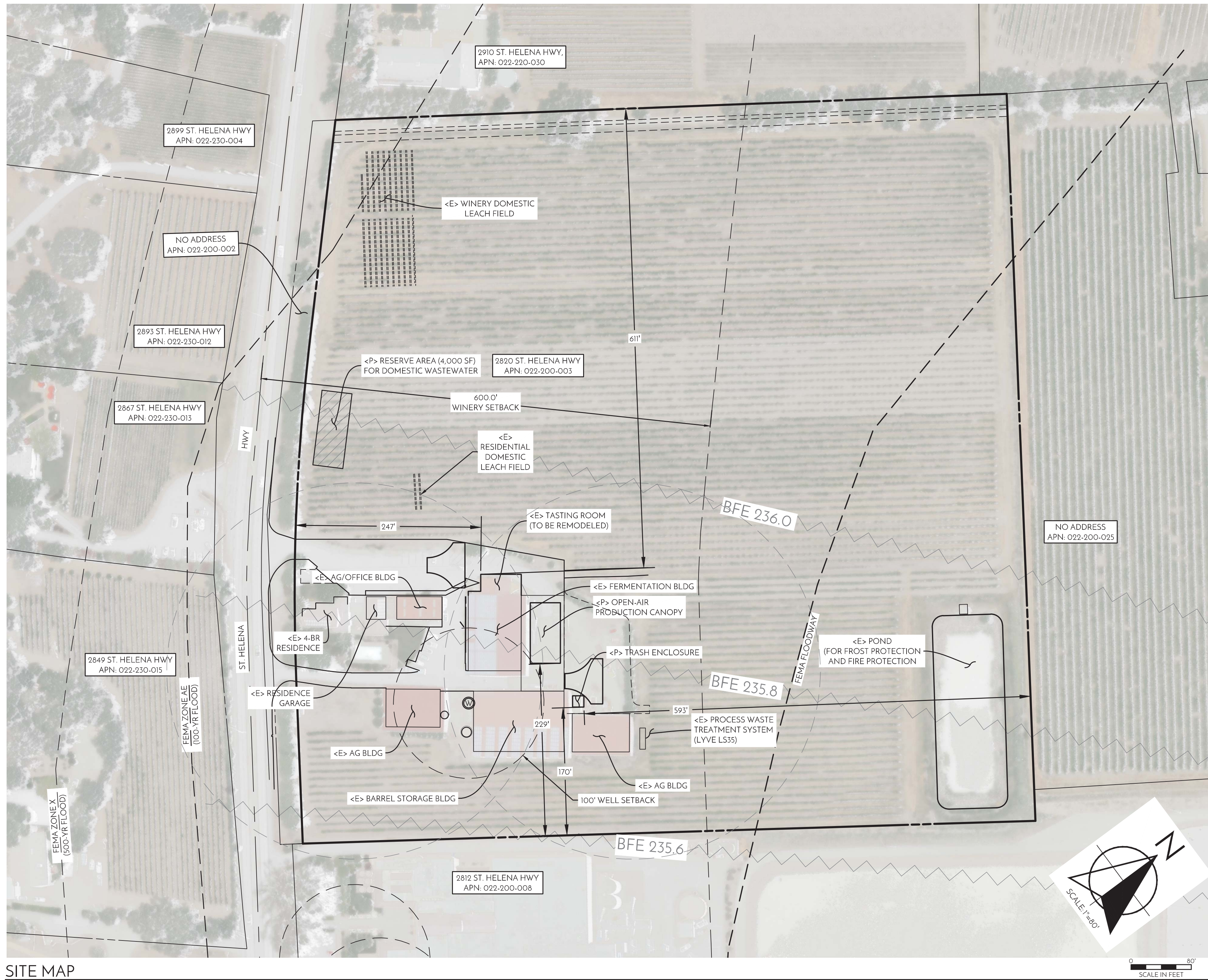
MAP FROM USGS 7.5 MIN SERIES MAP NAME: ST. HELENA & CALISTOGA

PROJECT STATEMENT

THE PURPOSE OF THIS PROJECT IS TO REQUEST A USE PERMIT MODIFICATION TO INCREASE WINE PRODUCTION AND VISITATION FOR THE EXISTING WINERY (BALLENTINE VINEYARDS). THE EXISTING TASTING ROOM WILL BE RENOVATED AND EXPANDED WITH THE ADDITION OF A SMALL OUTDOOR TASTING VENUE. THE EXISTING PARKING AREA WILL BE RECONSTRUCTED AND IMPROVED. NEW FIRE HYDRANTS WILL BE ADDED, AND A NEW COVER WILL BE CONSTRUCTED OVER THE EXISTING CRUSH PAD.

SURVEY NOTES

1. THE BOUNDARY ON THESE DRAWINGS DOES NOT REPRESENT A PROPERTY LINE. SURVEY. PROPERTY LINES SHOWN HEREON ARE BASED ON RECORD DATA, AND MAY NOT REPRESENT THE TRUE POSITIONS OF THE LINES.
2. THE TOPOGRAPHY IS BASED ON A FIELD SURVEY OF APRIL, 2015 PERFORMED BY ALBION SURVEYS, INC.
3. THIS SURVEY IS BASED ON THE NAPA COUNTY VERTICAL DATUM. BENCHMARK NGVD '29 530 C EL=235.04 + 2.8" USING VERTCON TO EL=237.84 NAVD '88. THE DIRECTION OF NORTH IS BASED ON 27 RS 38 NAPA COUNTY RECORDS.
4. SITE BENCHMARK DESCRIPTION: NO SITE BENCHMARK IS NOTED.
5. MADRONE ENGINEERING ASSUMES NO LIABILITY, REAL OR ALLEGED, REGARDING THE ACCURACY OF THE TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS.
6. CONTRACTOR SHALL PROTECT EXISTING SURVEY MONUMENTS OR REPLACE THEM AT HIS OWN EXPENSE.



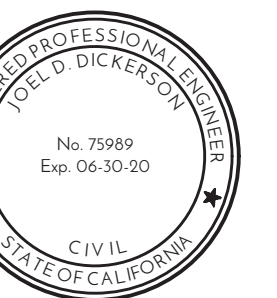
SITE MAP

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CIVIL IMPROVEMENT PLANS
COVER SHEET

BALLENTINE VINEYARDS
2820 ST. HELENA HIGHWAY
ST. HELENA, CA 94574
APN: 022-200-003
PROJECT: 17.047



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12/06/18 REVISION 1
02/15/19 REVISION 2

SHEET: C1.0

C1.0

ABBREVIATIONS

AB	AGGREGATE BASE	FH	FIRE HYDRANT	R	RADIUS
AC	ASPHALT CONCRETE	FL	FLOOD INSURANCE RATE MAP	RT	RIGHT
AD	AREA DRAIN	FM	FLOW LINE	ROW	RIGHT OF WAY
BC	BEGIN CURVE	FM	FORCE MAIN	RWL	RAIN WATER LEADER
BFE	BASE FLOOD ELEVATION PER FIRM	FS	FINISHED SURFACE	RCP	REINFORCED CONCRETE PIPE
BM	BENCHMARK	GB	GRADE BREAK	S	SOUTH
BRC	BEGIN CURB RETURN	GR	GRAVEL	S	SLOPE (FEET/FOOT)
BVC	BEGIN VERTICAL CURVE	HP	HIGH POINT	SAD	SEE ARCHITECTURAL DRAWINGS
BS	BOTTOM OF STAIRS	IRV	INVERT	SD	STORM DRAIN
BSW	BACK OF SIDEWALK	IP	IRON PIPE	SPP	SUBDRAIN PIPE
CB	CATCH BASIN	IRR	IRRIGATION	SED	SEE ELECTRICAL DRAWINGS
C&G	CURB AND GUTTER	JP	JOINT POLE	SLD	SEE LANDSCAPE DRAWINGS
CMU	CONCRETE MASONRY UNIT	LF	LINEAL FEET/FOOT	SLV	SLEEVE
CP	CONCRETE PIPE	LP	LOW POINT	SMD	SEE MECHANICAL DRAWINGS
C	CENTERLINE	MH	MANHOLE	SPD	SEE PLUMBING DRAWINGS
CO	CLEANOUT	MON	MONUMENT	SS	SANITARY SEWER
COMM	COMMUNICATION	(N)	NORTH	SSCO	SANITARY SEWER CLEAN OUT
CV	CHECK VALVE	+N	NEW	SSMH	SANITARY SEWER MANHOLE
CW	COLD WATER	OC	ON CENTER	STA	STATION
DCV	DOUBLE CHECK VALVE	OG	ORIGINAL GROUND	STD	STANDARD
DG	DECOMPOSED GRANITE	OH	OVERHEAD	SW	SIDEWALK
DIP	DUCTILE IRON PIPE	OHL	OVERHEAD LINE	TC	TOP OF CURB
DS	DOWNSPOUT	PP	PROPOSED	TC	TOP FACE OF CURB
DW	DOMESTIC WASTE	PCC	PORTLAND CEMENT CONCRETE	TCC	TOP OF CONCRETE
DWG	DRAWING	PD	PRESSURE DISTRIBUTION	TS	TOP OF STAIRS
EC	END OF CURVE	PG&E	PACIFIC GAS AND ELECTRIC	TW	TOP OF WALL
ED	EAST	PI	POINT OF INTERSECTION	TR	TYPICAL
EX	EXISTING	PV	POST INDICATOR VALVE	UG	UNDERGROUND
EXR	END CURB RETURN	P/L	PROPERTY LINE	VC	VERTICAL CURVE
EG	EXISTING GROUND	PRC	POINT OF REVERSE CURVE	VG	VALLEY GUTTER
EGR	EDGE OF GRAVEL	PSI	POUNDS PER SQUARE INCH	(W)	WEST
EP	EDGE OF PAVEMENT	PUE	PUBLIC UTILITY EASEMENT	WM	WATER METER
EVC	END VERTICAL CURVE	PVC	POLYVINYL CHLORIDE	W/S	WATER SERVICE
FDC	FIRE DEPT. CONNECTION	PVI	POINT OF VERTICAL INTERSECTION	WV	WATER VALVE
FG	FINISHED GRADE	PW	PROCESS WASTE		

SYMBOL LEGEND

	UTILITY POLE		SEWER MANHOLE/RISER WITH ID #
	SIGN		STORM DRAIN MANHOLE WITH ID #
	WELL		WATER VALVE
	STREET LIGHT		WATER METER & DCV
	TREE		FDC/PV WITH CHECK VALVE
	TREE TO BE REMOVED		FIRE HYDRANT WITH GATE VALVE
	SANITARY SEWER		CLEANOUT
	GAS LINE		PROPOSED CONTOUR
	WATER LINE		SOLID STORM DRAIN
	WATER LINE		PERFORATED STORM DRAIN
	EXISTING CONTOUR		GRADE SWALE
	TOP/TOE BANK GRADEBREAK		OVERLAND RELEASE ROUTE
	PROPERTY LINE		
	CENTERLINE		

ESTIMATED EARTHWORK QUANTITIES

1. THE EARTHWORK QUANTITIES LISTED BELOW ARE ESTIMATES ONLY AND MAY VARY DUE TO SOIL TYPE, COMPACTION AND BULKING FACTORS, GRADING PRACTICES, AND COMPACTION VALUES.
2. THE UNADJUSTED QUANTITIES HAVE BEEN DERIVED USING A VOLUMETRIC ANALYSIS BETWEEN THE EXISTING AND PROPOSED FINISHED GRADE ELEVATIONS.
3. THE FOLLOWING ASSUMPTIONS HAVE BEEN MADE WHEN DEVELOPING ADJUSTED QUANTITY ESTIMATES:
• QUANTITIES FROM UTILITY TRENCHES, FOUNDATION TRENCHES, AND STORMWATER DETENTION BASINS HAVE NOT BEEN ESTIMATED.
• QUANTITIES RELATED TO OVEREXCAVATION AND RECOMPACTION HAVE NOT BEEN ESTIMATED.
4. SEE THE TABLE BELOW FOR THE ESTIMATED EARTHWORK QUANTITIES FOR THE PROJECT.

ESTIMATED PROJECT EARTHWORK		
	UNADJUSTED QUANTITIES (CY)	ADJUSTED QUANTITIES (CY)
CUT	0	0
FILL	300	300
ESTIMATED NET EARTHWORK	300 (IMPORT)	

THE APPROXIMATE AREA OF DISTURBED SOIL IS 39,000 SF (0.89 AC).

SHEET INDEX

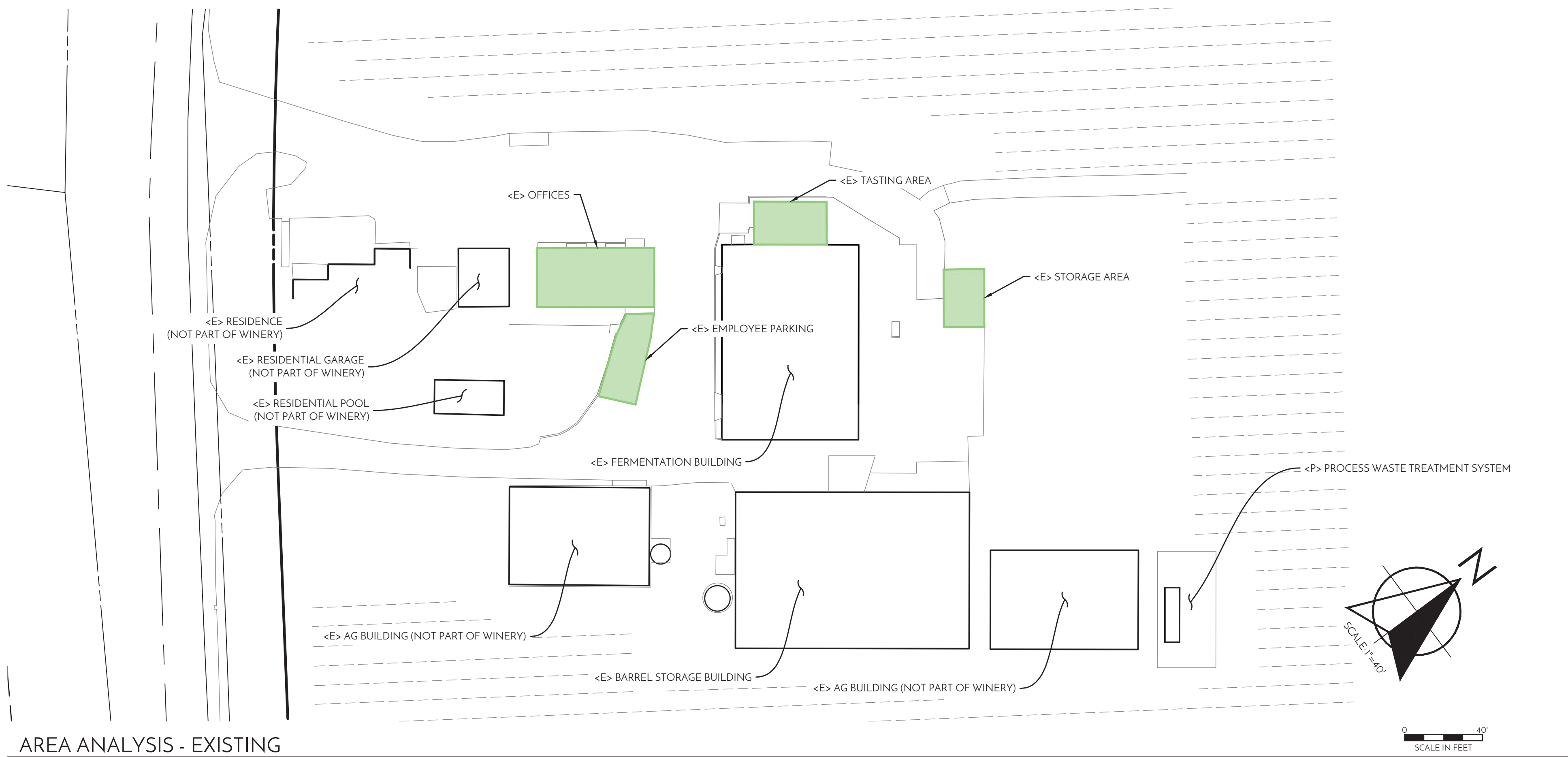
C1.0	COVER SHEET
C1.1	AREA ANALYSIS
C1.2	FLOODPLAIN REQ'S
C2.0	HARDSCAPE PLAN
C2.1	GRADING PLAN
C2.2	GRADING PLAN
C2.3	GRADING PLAN
C3.0	UTILITY PLAN

PROJECT INFORMATION

OWNER:	WILLIAM VAN AND BETTY P BALLENTINE	ARCHITECT:	MH ARCHITECTS
TRAIL:	DBA BALLENTINE RANCHES		2325 3RD ST. STUDIO 426
2820 ST. HELENA HWY N			SAN FRANCISCO, CA 94107
ST. HELENA, CA 94574			MATT HOLLIS
			(415) 977-0194
SITE ADDRESS:	2820 ST. HELENA HWY N		
	ST. HELENA, CA 94574		
ASSESSOR PARCEL #:	022-200-003		
PARCEL SIZE:	+21.1 ACRES		
COUNTY ZONING:	AP		
SURVEYOR:	ALBION SURVEYS, INC		
	1113 HUNT AVE		
	ST. HELENA, CA 94574		
	JON WEBB, P.L.S.		
	707/963-1217		
CIVIL ENGINEER:	MADRONE ENGINEERING		
	1485 MAIN STREET, SUITE 302		
	ST. HELENA, CA 94574		
	JOEL DICKERSON, P.E.		
	707/302-6280		

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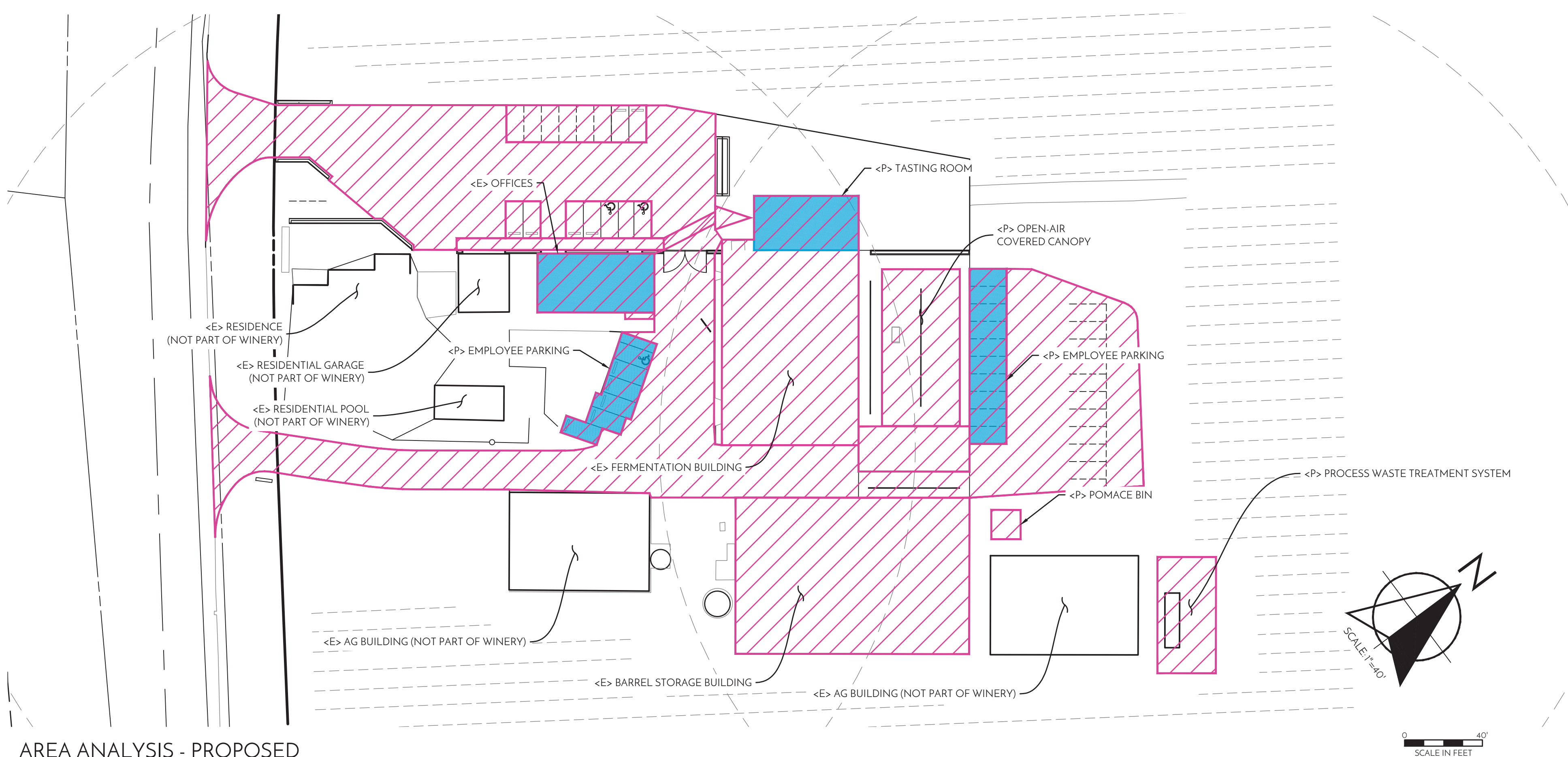


AREA ANALYSIS - EXISTING

WINERY DEVELOPMENT AREA CALCULATIONS		
AREA DESCRIPTION	EXISTING (SF)	PROPOSED (SF)
STORAGE (EXTERIOR TO BUILDINGS):	620	0
BUILDINGS (OFFICE/TASTING/LAB/PROD):	2640	3325
EMPLOYEE PARKING:	820	2820
TOTAL DEVELOPMENT AREA (SF):	4080	6145
TOTAL DEVELOPMENT AREA (AC):	0.09	0.14

WINERY COVERAGE AREA CALCULATIONS	
AREA DESCRIPTION	PROPOSED (SF)
STORAGE (EXTERIOR TO BUILDINGS):	0
TANKS (EXTERIOR TO BUILDINGS):	0
BUILDINGS (ALL WINERY-RELATED):	23550
WALKWAYS:	950
WASTEWATER TREATMENT:	1800
PARKING AND LOADING:	1325
DRIVEWAYS:	3380
TOTAL COVERAGE AREA (SF):	60775
TOTAL COVERAGE AREA (AC):	1.40
% OF 21.1 ACRE PARCEL:	6.6%

EXISTING WINERY COVERAGE = 47,230 SF (1.08 AC)



AREA ANALYSIS - PROPOSED

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CIVIL IMPROVEMENT PLANS
AREA ANALYSIS

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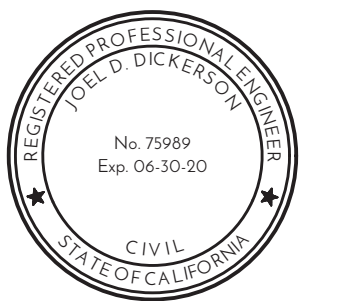
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CIVIL IMPROVEMENT PLANS
FLOODPLAIN REQ'S

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ST. HELENA, CA 94574
APN: 092-200-003
PROJECT: 17-047

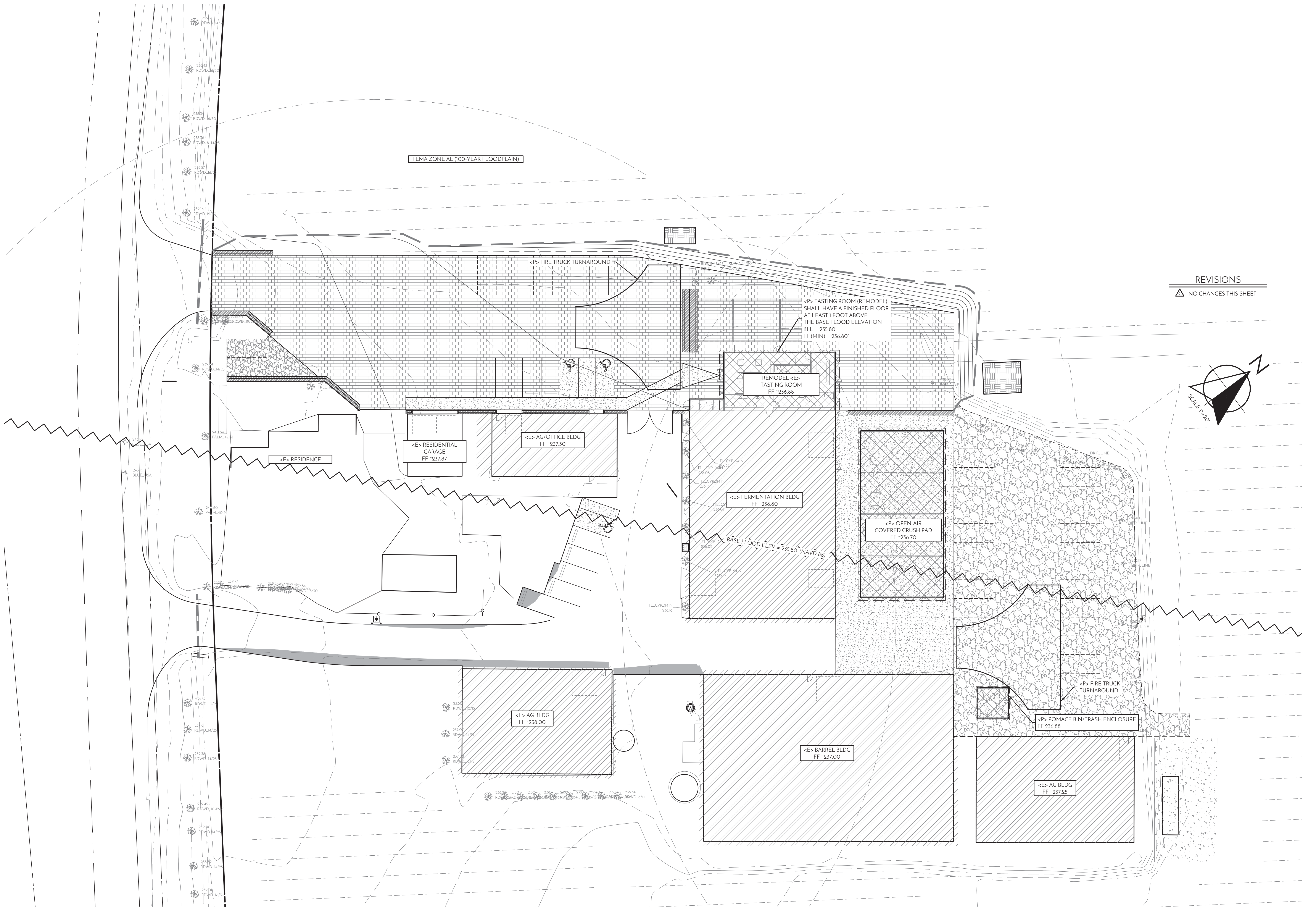


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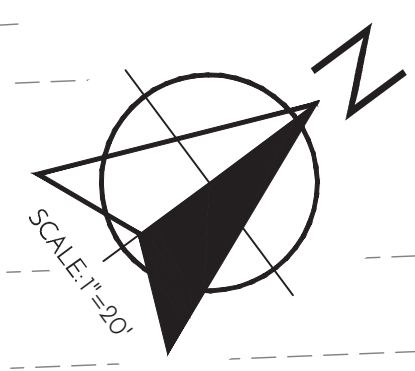
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SCALE 1"=20'

FLOODPLAIN REQUIREMENTS

NOT FOR CONSTRUCTION

PERVIOUS PAVEMENT DESIGN CRITERIA

1. NO ERODIBLE AREAS SHOULD DRAIN ONTO PERVIOUS PAVEMENT
2. BASE COURSE OF OPEN-GRADED CRUSHED STONE MUST BE DEEP ENOUGH TO RETAIN RAINFALL (3" IS ADEQUATE) AND SUPPORT DESIGN LOADS (MORE DEPTH MAY BE REQUIRED)
3. SUBGRADE SHALL BE UNIFORM AND SLOPES NOT SO STEEP THAT SUBGRADE IS PRONE TO EROSION
4. SUBGRADE COMPACTION MUST BE MINIMAL. GEOTECHNICAL ENGINEER SHALL REVIEW AND APPROVE PROPOSED PAVEMENT SECTION
5. IF SUBDRAIN IS INCLUDED (NOT RECOMMENDED), THE OUTLET ELEVATION MUST BE 3" OR MORE ABOVE THE BOTTOM OF THE BASE COURSE

REVISIONS

- ▲ ADDED FIRE TRUCK TURNAROUNDS, FIRE HYDRANT

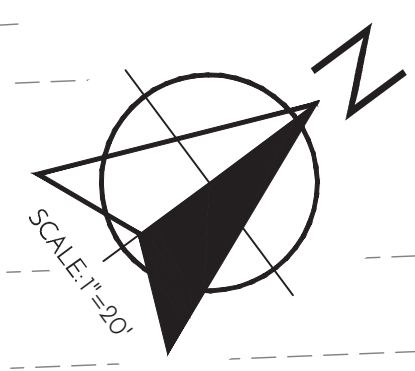
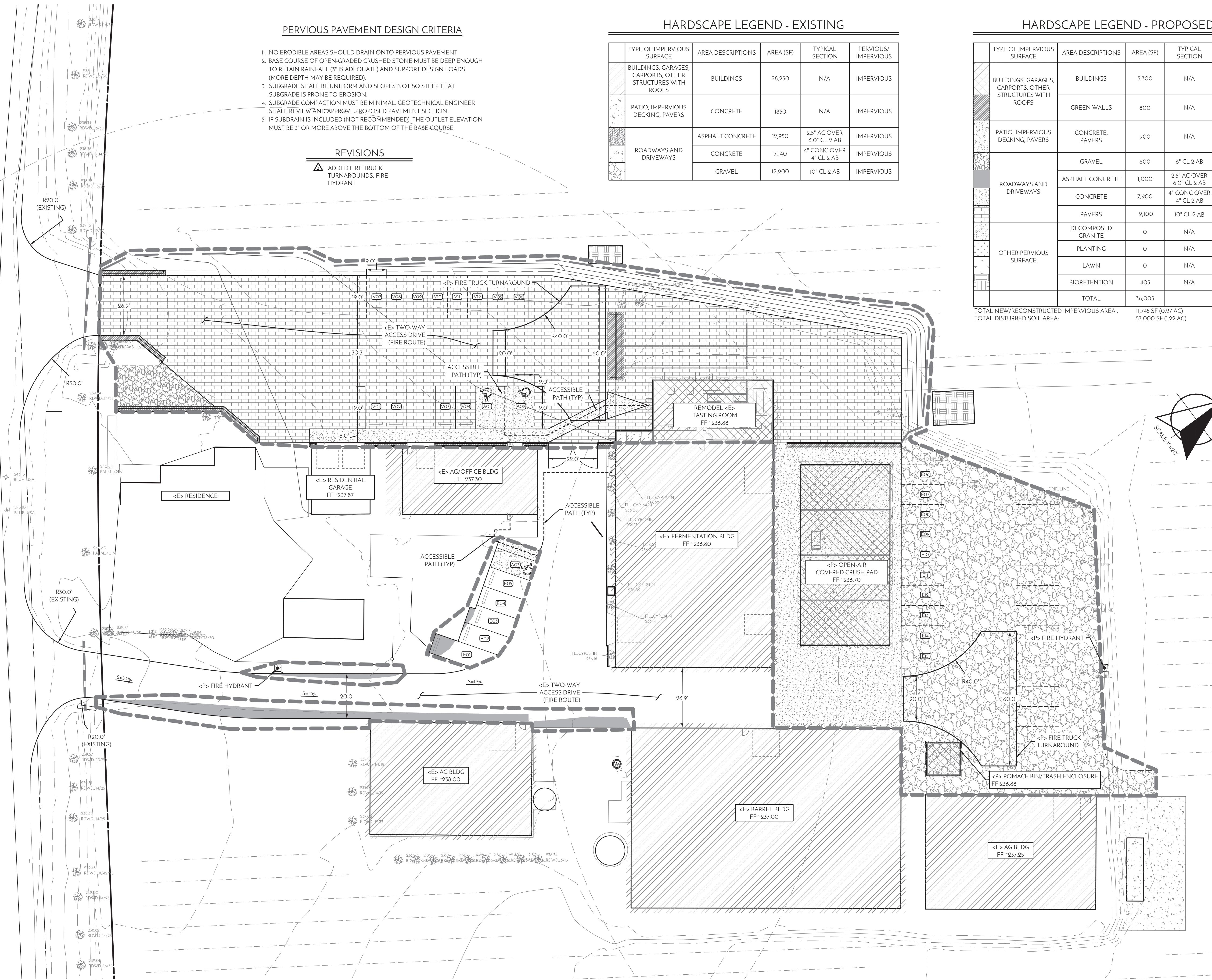
HARDSCAPE LEGEND - EXISTING

TYPE OF IMPERVIOUS SURFACE	AREA DESCRIPTIONS	AREA (SF)	TYPICAL SECTION	PERVIOUS/ IMPERVIOUS
BUILDINGS, GARAGES, CARPORTS, OTHER STRUCTURES WITH ROOFS	BUILDINGS	28,250	N/A	IMPERVIOUS
PATIO, IMPERVIOUS DECKING, PAVERS	CONCRETE	1850	N/A	IMPERVIOUS
ROADWAYS AND DRIVEWAYS	ASPHALT CONCRETE	12,950	2.5" AC OVER 6.0" CL 2 AB	IMPERVIOUS
	CONCRETE	7,140	4" CONC OVER 4" CL 2 AB	IMPERVIOUS
	GRAVEL	12,900	10" CL 2 AB	IMPERVIOUS

HARDSCAPE LEGEND - PROPOSED

TYPE OF IMPERVIOUS SURFACE	AREA DESCRIPTIONS	AREA (SF)	TYPICAL SECTION	PERVIOUS/ IMPERVIOUS
BUILDINGS, GARAGES, CARPORTS, OTHER STRUCTURES WITH ROOFS	BUILDINGS	5,300	N/A	IMPERVIOUS
	GREEN WALLS	800	N/A	PERVIOUS
PATIO, IMPERVIOUS DECKING, PAVERS	CONCRETE, PAVERS	900	N/A	IMPERVIOUS
	GRAVEL	600	6" CL 2 AB	IMPERVIOUS
ROADWAYS AND DRIVEWAYS	ASPHALT CONCRETE	1,000	2.5" AC OVER 6.0" CL 2 AB	IMPERVIOUS
	CONCRETE	7,900	4" CONC OVER 4" CL 2 AB	IMPERVIOUS
	PAVERS	19,100	10" CL 2 AB	PERVIOUS
OTHER PERVIOUS SURFACE	DECOMPOSED GRANITE	0	N/A	PERVIOUS
	PLANTING	0	N/A	PERVIOUS
	LAWN	0	N/A	PERVIOUS
	BIORETENTION	405	N/A	PERVIOUS
TOTAL		36,005		

TOTAL NEW/RECONSTRUCTED IMPERVIOUS AREA: 11,745 SF (0.27 AC)
 TOTAL DISTURBED SOIL AREA: 53,000 SF (1.22 AC)



HARDSCAPE PLAN

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CIVIL IMPROVEMENT PLANS
HARDSCAPE PLAN

BALLENTINE VINEYARDS
 2820 ST. HELENA HIGHWAY
 ST. HELENA, CA 94574
 APN: 092-200-003
 PROJECT: 17-047



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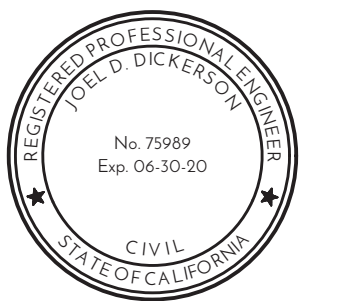
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CIVIL IMPROVEMENT PLANS
GRADING PLAN

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ST. HELENA, CA 94574
APN: 092-200-003
PROJECT 17047



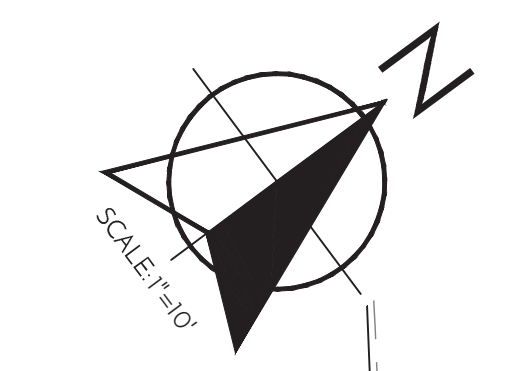
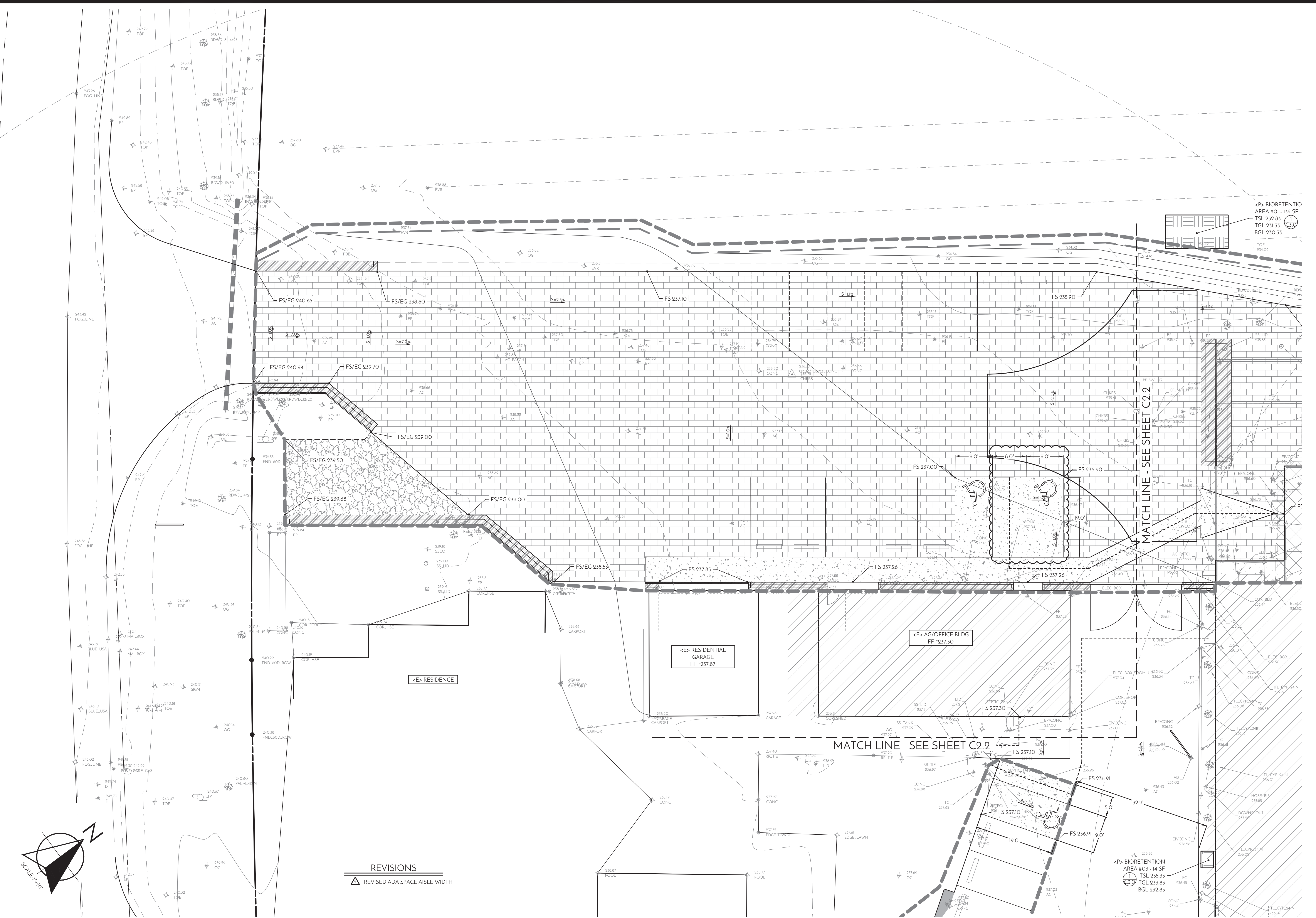
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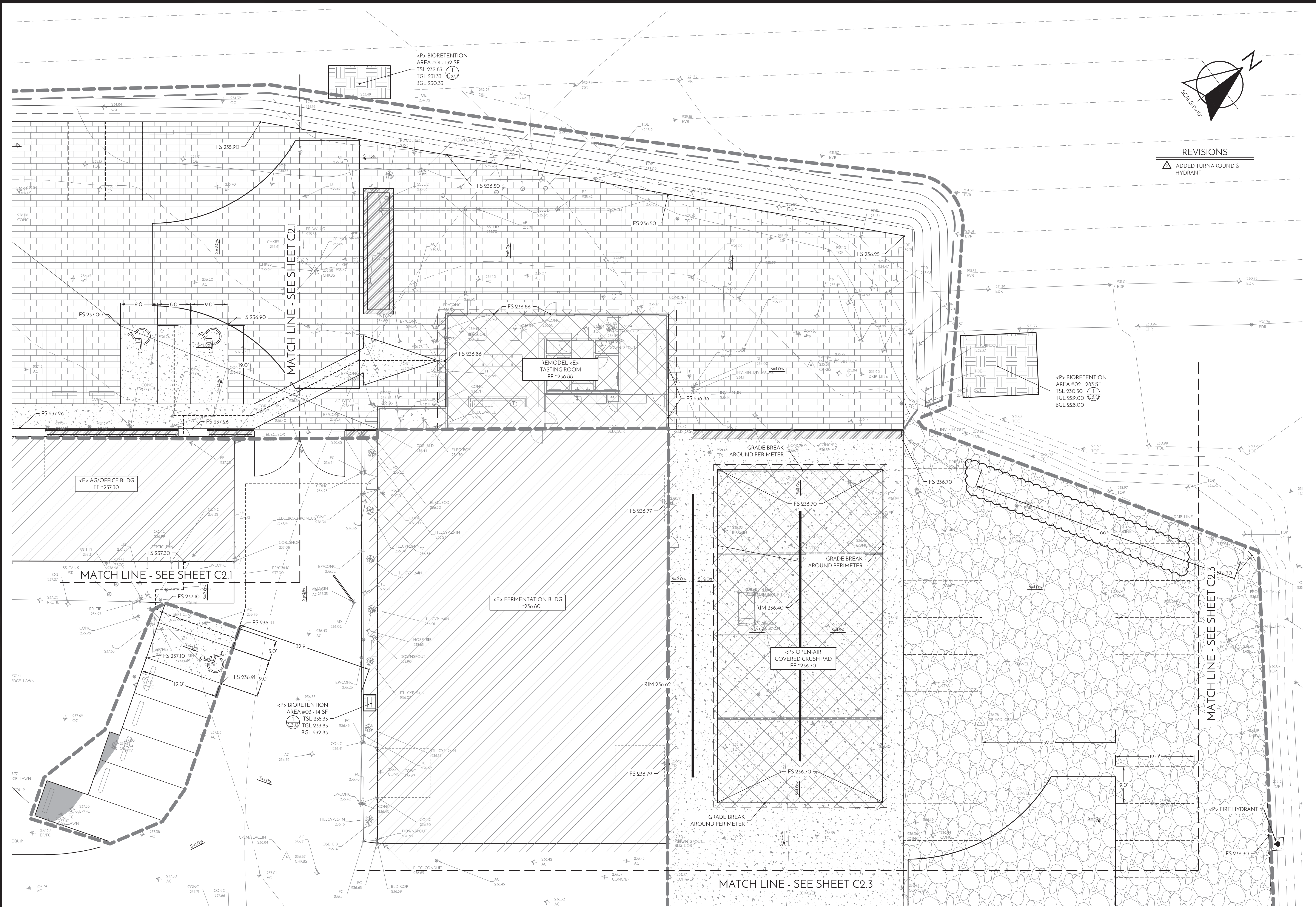
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▲ REVISED ADA SPACE AISLE WIDTH

GRADING PLAN

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GRADING PLAN

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CIVIL IMPROVEMENT PLANS
GRADING PLAN

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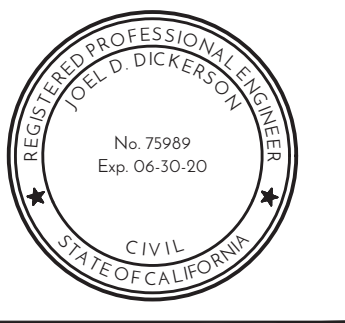
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CIVIL IMPROVEMENT PLANS
GRADING PLAN

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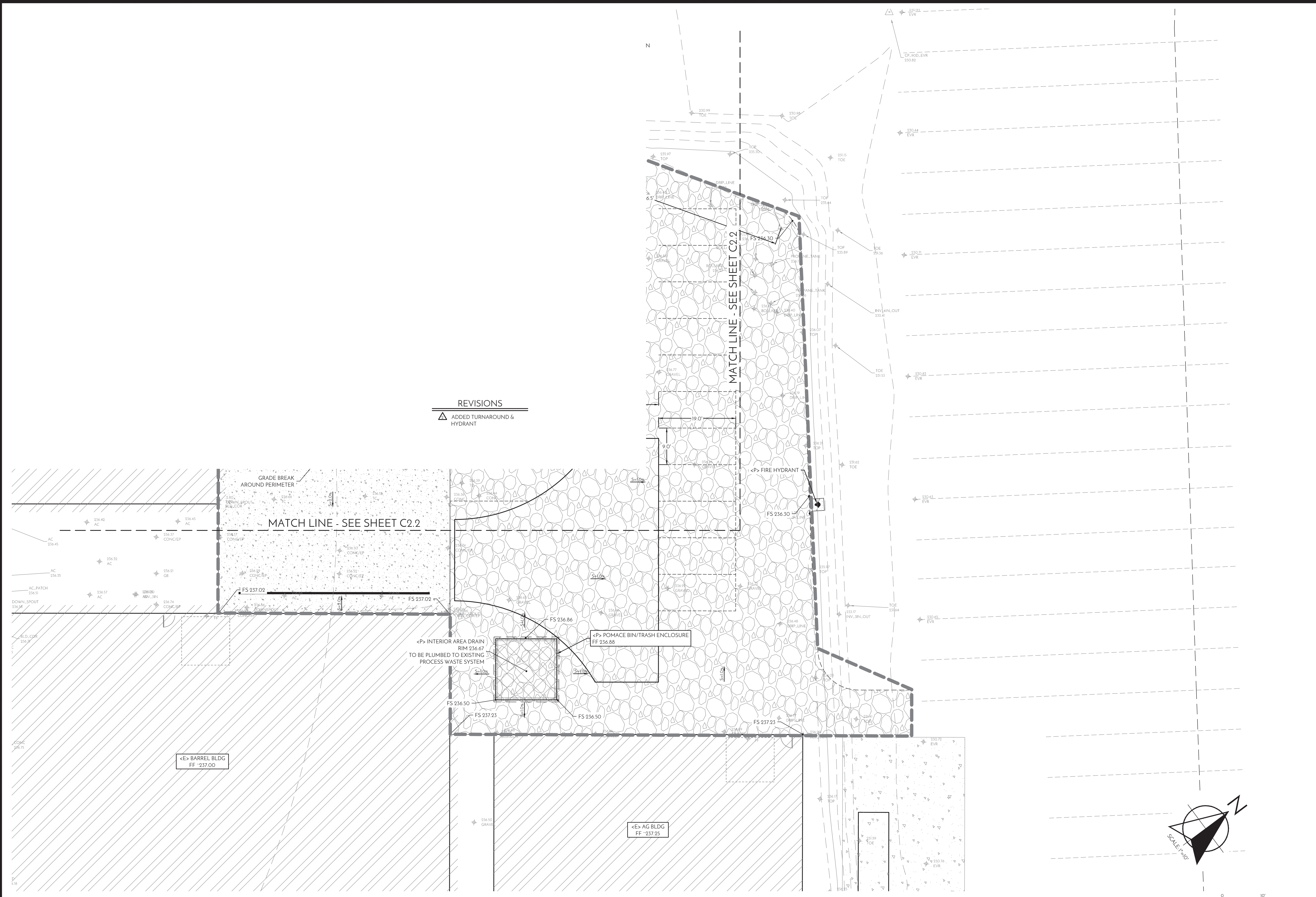


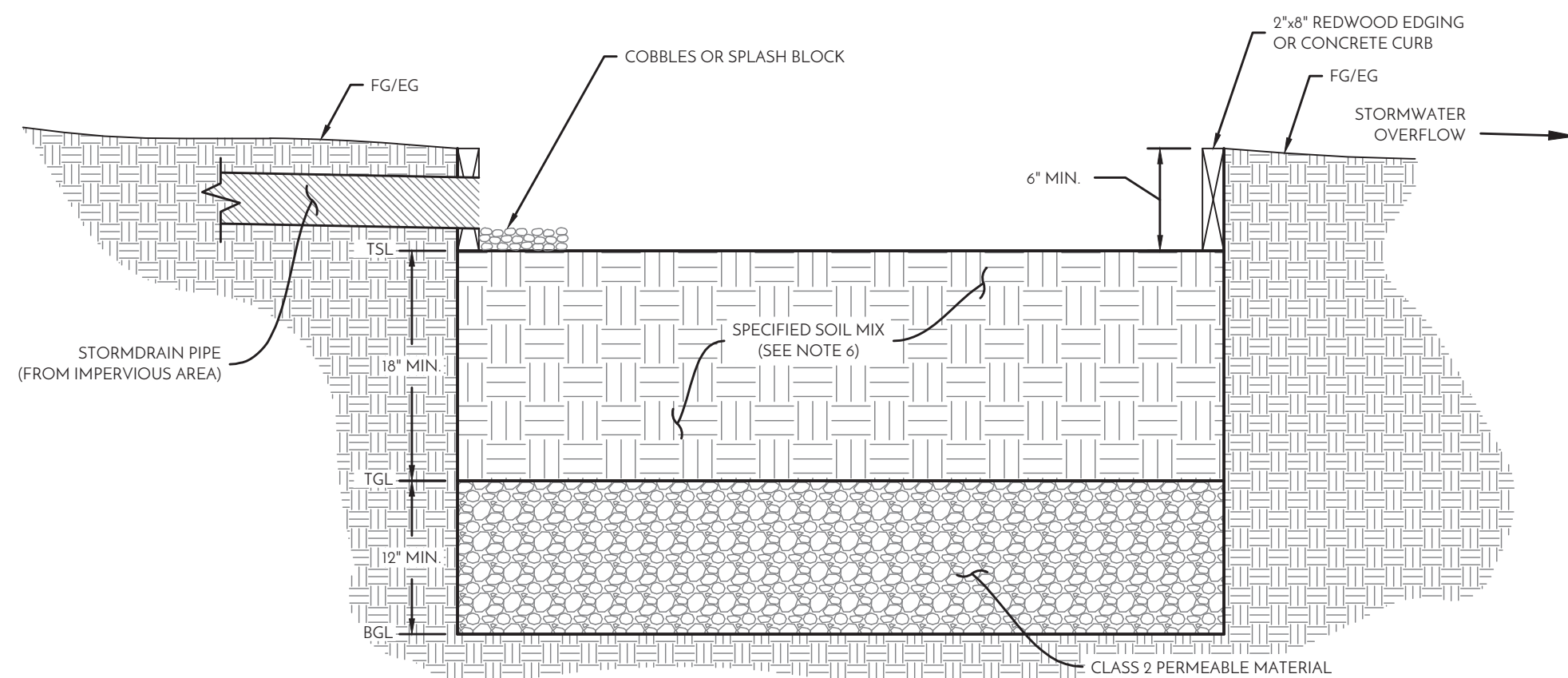
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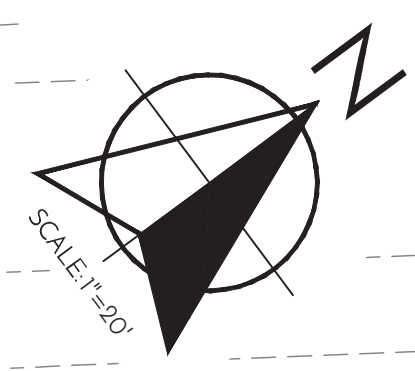
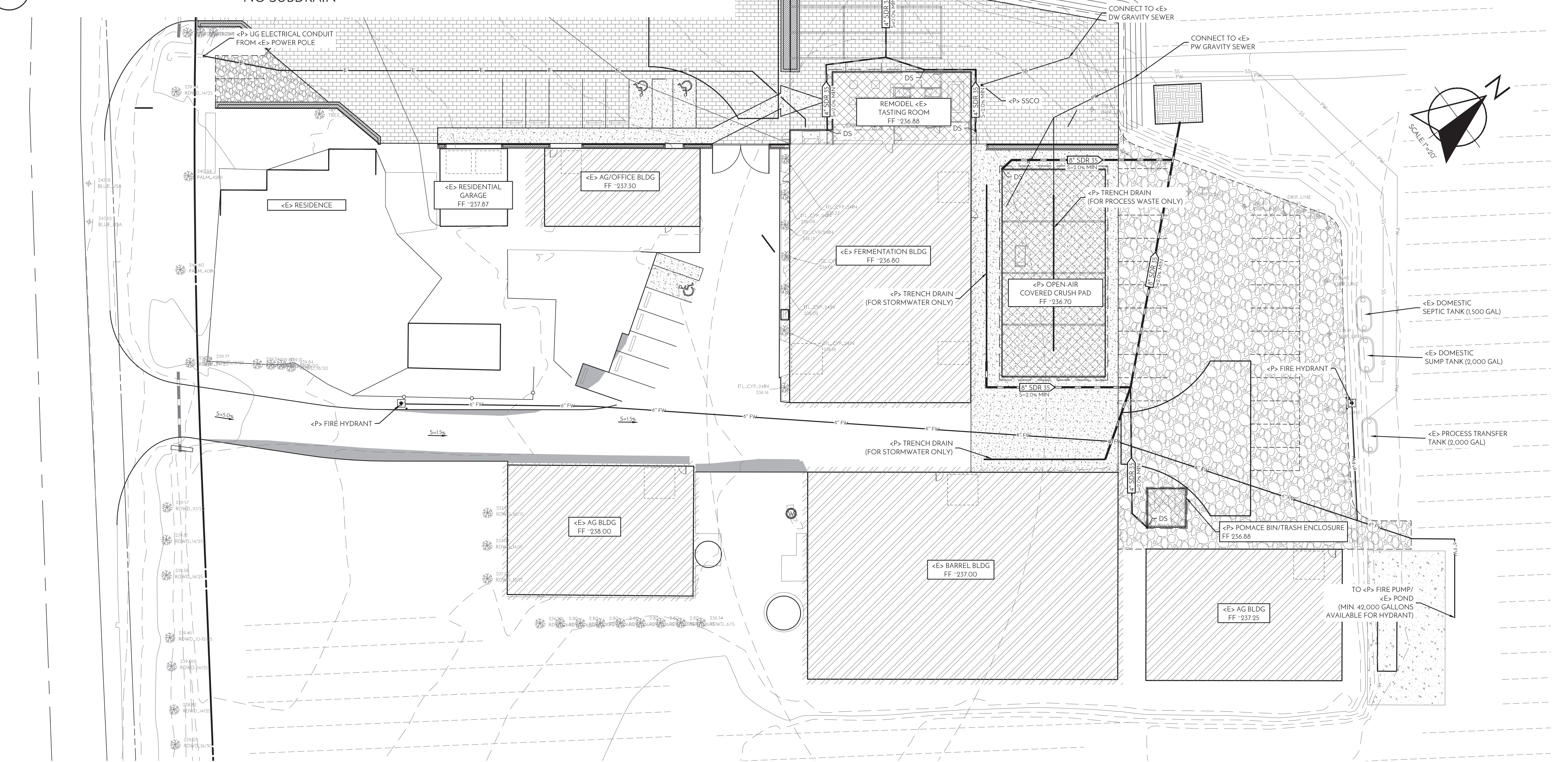




- NOTES:
1. FACILITIES LOCATED WITHIN 10 FEET OF STRUCTURES SHALL INCORPORATE AN IMPERVIOUS CUTOFF WALL.
 2. FACILITIES LOCATED IN AREAS OF HIGH GROUNDWATER, HIGHLY INFILTRATIVE SOILS, OR WHERE CONNECTION OF THE UNDERDRAIN TO A SURFACE DRAIN OR SUBSURFACE STORM DRAIN ARE INFASIBLE MAY OMIT THE UNDERDRAIN.
 3. NO LINER, NO FILTER FABRIC, NO LANDSCAPE CLOTH.
 4. MAINTAIN BGL, TGL, TSL AT LEVEL ELEVATIONS AS SPECIFIED ON THE PLANS.
 5. CLASS 2 PERMEABLE LAYER MAY EXTEND BELOW AND UNDERNEATH DROP INLET.
 6. REQUIRED SOIL MIX: 60% 70% FINE SAND, 30%-40% COMPOST (VOLUME BASIS). SOIL SHALL BE CAPABLE OF ACHIEVING A LONG-TERM, IN-PLACE INFILTRATION RATE OF AT LEAST 5 INCHES PER HOUR. SOIL SHALL ALSO SUPPORT VIGOROUS PLANT GROWTH.

REVISIONS
 ▲ ADDED HYDRANT

1 BIORETENTION FACILITY
 NO SUBDRAIN NOT TO SCALE



SCALE 1\"/>

UTILITY PLAN

NOT FOR CONSTRUCTION

CIVIL IMPROVEMENT PLANS
 UTILITY PLAN

BALLENTINE VINEYARDS
 2820 ST. HELENA HIGHWAY
 ST. HELENA, CA 94574
 APN: 092-200-003
 PROJECT: 17-047



EVERY PERSON PLANNING TO DIG
 CALL US AT 415-338-7200 TO EXCAVATION

FOR MORE INFORMATION
 SEE WWW.US&NORTH.ORG

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 02/15/19 REVISION 2

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