

“E”

Application Materials

VINUM[™] CELLARS

September 11, 2019

Erin Morris, AICP
Planning and Code Enforcement Manager
City of Napa Community Development Department
1600 First Street
Napa, CA 94559

RE: Greenwood Mansion Project
Project Revisions to Address Council Comments
499 Devlin Road

Dear Ms. Morris;

As you are aware, on Tuesday, May 21st, 2019 the Napa City Council considered my request to establish a small café with wine tasting facility within the old Victorian era former residence located in Napa County's airport area industrial park at 499 Devlin Road. My project is subject to review by the City of Napa because it involves an amendment to the County's specific plan to allow the café. The wine tasting component of the project is allowed under specific plan rules.

Council members expressed concern with the operating hours and events component of my proposal, questioning whether they were in keeping with a business park serving use. In response to their concerns as well as comments received from neighbors regarding parking, I have revised the project to address the concerns as follows:

1. The original application proposed 18 and then was redesigned to accommodate 25. We have redesigned it again to accommodate 35 cars.
2. The Café hours will now be Monday – Friday from 6am – 8pm. Additionally, the hours of amplified music will be reduced to 8am – 6pm daily, Monday – Friday.
3. All special events have been eliminated.

I am hopeful that with these changes my project that the City will view my proposal as truly a business area serving use and will offer their support for the proposal. I believe there is tremendous need for a small café to serve businesses within the industrial area, and its operation will not be detrimental to the success of the City of Napa in any manner. I look forward to the City Council's review of my revised project.

Attached are revised draft conditions of approval from Napa County that limit the scope of the project, including incorporation of the changes noted above. Please review and comment. If these changes are acceptable to City Staff, I respectfully request that my revised proposal be forwarded for City Council consideration at your earliest convenience. Please contact me if you have any question or comments.

Sincerely,



Richard Bruno
President
Vinum Cellars
499 Devlin Rd.
Napa, CA 94114
707-254-8313

October 24, 2018

VIA EMAIL AND U.S. MAIL

Rick Tooker
Community Development Director
City of Napa
P.O. Box 660
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rtooker@cityofnapa.org

John McDowell
Napa County Planning Department
County of Napa
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John.McDowell@countyofnapa.org

Re: Greenwood Mansion Project
Devlin Road, Napa County

Dear Mr. Tooker and Mr. McDowell:

As you are aware, our firm represents Vinum Cellars (“Vinum”), the owner of 499 Devlin Road, Napa, California, located at the northwest corner of Devlin Road and Airport Boulevard (“Property”). There is an existing two-story 3,090 sq. ft. historic farmhouse located on the site that has been used as office space since the early 1990s. Vinum is seeking approval of a Conditional Use Permit (“CUP”) to renovate the existing farmhouse and surrounding grounds to be used as a café, a wine-tasting room, and an office, as well as a new wine production facility of approximately 680 square feet (“Project”). The Project provides natural support for the Napa County Airport Industrial Area (“AIA”) and gives life to an underutilized historic resource; the Greenwood Mansion.

The Project’s proposed uses as requested in the refined application are the result of consultations with the County and City staff to shape a noble project that functionally serves the AIA, features a beautiful historic resource and is consistent with the Gateway Commercial Node designation (“Node”). The Property is located with the Napa Valley Business Park Specific Plan (“Specific Plan”), and is designated Business/Industrial Park (“B/IP”), which authorizes the proposed uses with the approval of a CUP within those B/IP areas designated as the Node. Because the Property is not located within the Node, Vinum is also seeking approval of a modification to the Specific Plan to include the Property within the Node.

As noted, the Property is also located within an area of Napa County (“County”) known as the AIA. Properties located in the AIA are subject to the Memorandum of Agreement Between the City of Napa and Napa County Regarding Regional Housing Needs Allocations for Future Housing Element Planning Periods (“RHNA Agreement”). The RHNA Agreement requires the County to limit land uses within the AIA to those uses that are consistent with the applicable zoning in effect on October 8, 2013, unless the land use changes are mutually agreed to by the City of Napa (“City”) and the County. For the reasons stated below, the Project is consistent with the intent of the RHNA Agreement, and Vinum respectfully requests the City to support the Project.

A. The Greenwood Mansion Project Is Designed To Serve The Needs of the AIA.

One of the stated purposes of the RHNA Agreement, which balances the allocation of 80% of the County’s RHNA obligations to the City beginning in the 2022 Housing Element cycle with the County’s willingness to preserve agricultural lands in the County, is to “prevent urban sprawl, direct growth and development into existing cities, and promote infill and smart growth.” (RHNA Agreement, Recital E.) The Project is consistent with and in some cases even furthers the efforts to achieve these goals.

1. The Project Location Is a Natural Extension of the Existing, But Yet to be Realized Potential of the Gateway Commercial Node

The Specific Plan already recognizes that there is a need to allow for development of ancillary restaurant uses that are designed to serve the needs of the AIA. It contemplates the development of potentially several distinct restaurant uses of up to 6,500 square feet in size with up to 150 seats within the Node. But to date, only a Springhill Suites hotel (which does not include a restaurant) and a business services agency have located within the current Node boundaries. As the Project site is located adjacent to the western boundary of the Node, the extension of this boundary to include the Project site would allow for the Project to fulfill a need that was expected at this location in the Specific Plan, but has yet to see its first restaurant become operational. The Project café will be open as wine service is available, providing breakfast and lunch late into the afternoon, thereby supporting the tenants and visitors of the industrial park in the AIA.

Also, the Project applicant is considering the feasibility of bringing Jump Bikes to the AIA, with a station strategically placed at the Project and other locations throughout the AIA.

Furthermore, the Node already allows up to 35,000 square-feet of retail/service and restaurant commercial uses, with as much as 75,000 square-feet under specified circumstances, so long as they are “business park serving uses.” Since the first “business-park-serving” retail/service and restaurant commercial use has not been built within the Node, the approval of

the Project would not actually increase the total amount of these commercial uses that are already allowed within the Node.

2. The Project Furthers the Goal of Directing Growth Into Existing Cities

While this may seem counter-intuitive on the surface, the Project furthers the long-term goal of directing growth to the City of Napa. The Napa County Airport is a shared community resource that the City and the County affirmed as a desired location for industrial development in the RHNA Agreement. Thus, the County has a strong interest in the success of the AIA and is undoubtedly a part of the County's willingness to enter into this mutually beneficial agreement. Part of the AIA's success is to make it an attractive place for new businesses to locate and existing ones to expand. As this occurs, these businesses will need to entice high-quality talent that will be attracted to the idea that they can grab a quick bite to eat or drink, network with colleagues, or sit down with current or potential clients at a place that is conveniently located from work. The Project helps to fill that need by providing variety to the options that these employees will demand when choosing to accept an employment offer.

3. The Project Promotes Smart Growth and Reduces Sprawl

The principles of smart growth and the reduction of sprawl encourage the location of complementary uses near each other. The Project café will support this by serving the employees and visitors of the industrial park. The benefits also include the reduction of vehicle miles travelled ("VMT") due to the reduced need to use one's car to reach the destinations that fulfill those day-to-day needs, such as grabbing a bite to eat for breakfast or lunch, buying that item that was forgotten at home, or just a place to relax for a little while before heading back to the office. Consequently, reduced VMT leads to improved air quality and the reduction in greenhouse gas emissions; reduced local road congestion; improved health through increased walking and biking; and an increase in overall economic activity through passer-by retail sales.

The Project will promote these goals by spurring the development of ancillary beneficial uses within the AIA. As a service that would be well located adjacent to an already vibrant multi-tenant facility, the Project will provide a much-needed service that will improve the options for existing area users to remain within the AIA for lunch; rather than jump in their cars to find somewhere to eat. This will lead to additional similar uses locating within the Node, thereby creating the kind of smart growth environment envisioned in the Specific Plan.

Rick Tooker
John McDowell
October 24, 2018
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B. Conclusion

We appreciate the City and County's collaboration with us on this Project and the opportunity to discuss these points with you. Once again, based on the foregoing, the Project serves the needs of the AIA and is consistent with the principles of smart growth. Please let us know if there is any other information that we can provide and we look forward to presenting this matter to the City Council as soon as it can be placed on the calendar.

Very truly yours,


Diane G. Kindermann

DKH/wj

cc: Client

Project Description for the Greenwood Mansion Project

Submitted to:



Planning Division
1195 3rd St #210
Napa, CA 94559

Prepared For:

VINUM
CELLARS

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Prepared By:

Galford Real Estate

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(707) 225-5644

December 22, 2017

1.0 Project Summary

Vinum Cellars ("Applicant") seeks approval of Conditional Use Permit ("CUP"), a development permit as contemplated in the Permit Streamlining Act. The CUP would allow for the following uses: café, wine tasting, office and wine production in the County of Napa. The site is to be located on one improved parcel that totals 1.17 acres and has an existing two-story 3,090 SF farmhouse located near the center of the parcel.

The Greenwood Mansion ("Project") would establish a café, wine tasting room, and a small scale on-site wine production facility. Along with the proposed uses the applicant will continue to use the property as an office building. The café would service the local business community by providing casual dining and take-out food.

1.1 Project Location

The Project is located in an unincorporated area of Napa County, approximately 1/4 mile west of the intersection of Highway 12 and Highway 29. The Project is situated on the northwest corner of the intersection of Devlin Road and Airport Blvd., with frontage to both streets. The address is 499 Devlin Road, Napa, CA 94558 and is identified by the Napa County Assessor as APN 057-200-058. (See Figure 1)

1.2 Site History

The existing building is an 1880's farmhouse that was initially constructed and used as a residence for approximately 100 years at the site that is now used by the Doctors Company for their central offices. The farmhouse was relocated approximately ½ mile west onto the Project site in the early 90's. The farmhouse was used by the developers of the Napa Valley Business Park as their real estate office. Use Permit #U89-55 was approved by Napa County to allow the relocation of the farmhouse and use as an office at the new location.

1.3 Existing Land Uses

The existing site 1.17-acre Project site consists of a two-story 3,090 SF 1880's farmhouse with decking, 16 paved parking spaces, driveway, landscaping and walkways. The 3,090 SF farmhouse is configured to be utilized as an office building, however it is currently vacant.

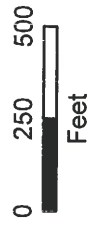
Land uses immediately surrounding the Project a mix of office buildings, warehouses, wine bottling facilities, vacant land and a hotel. Devlin Road fronts the Project site on the east side and Airport Road runs along the south side of the Project boundary. To the west is a wine bottling facility and a mix of light industrial uses. North of the site is used as offices and contractor warehouses. The land use in the immediate Project vicinity is shown on Figure 2.



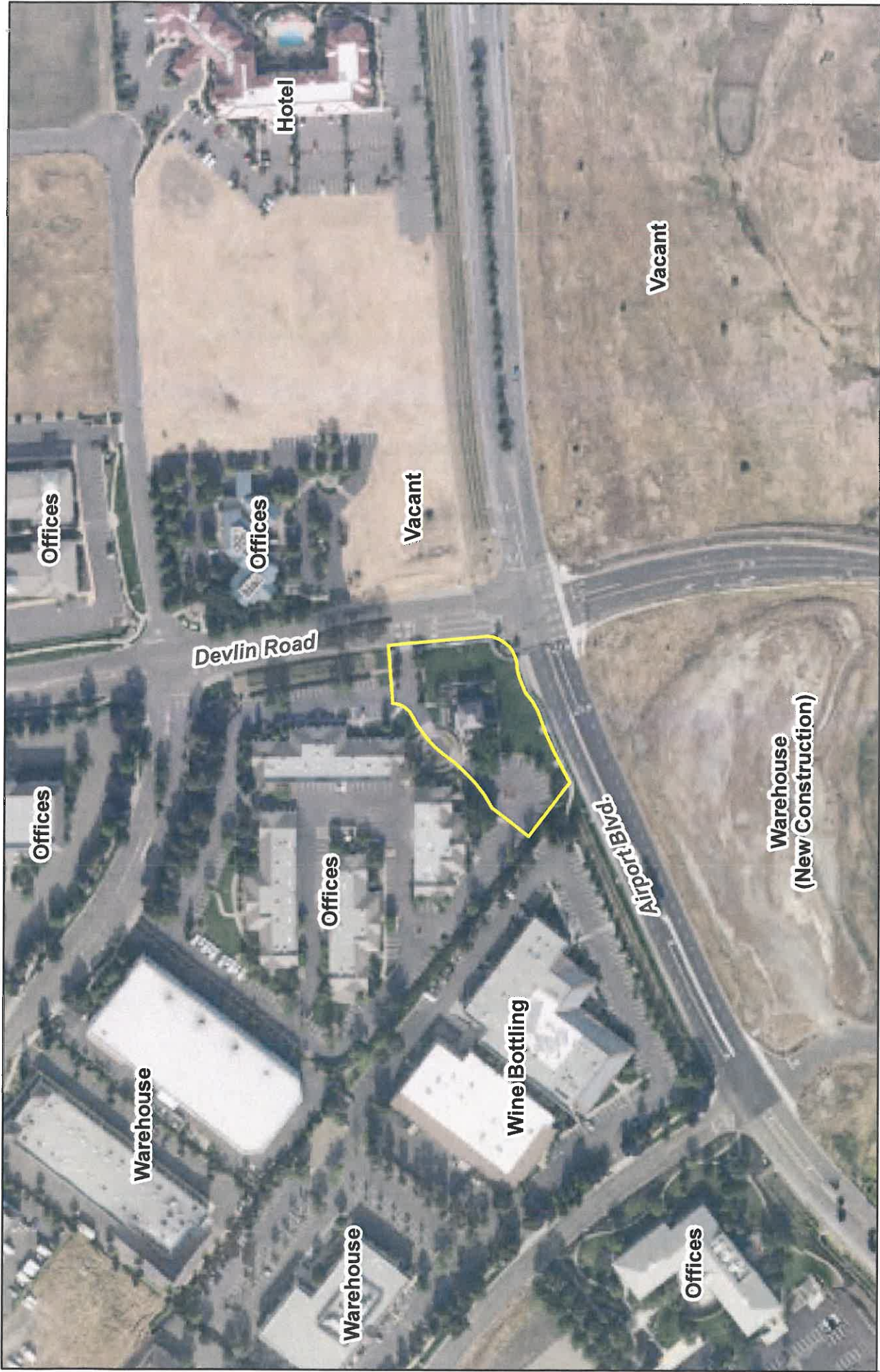
GREENWOOD MANSION PROJECT LOCATION

Figure 1

- Project Parcel 057-200-028 (1.17 Acres)
- Assessor Parcels

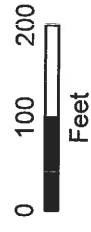


1 inch = 500 feet

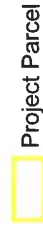


GREENWOOD MANSION SURROUNDING LAND USE

Figure 2



1 inch = 200 feet



1.4 Project Site General Plan Designation

The Project site is located on lands designated in the County of Napa General Plan as Industrial and within the limits of the Napa Valley Business Park Specific Plan. The Specific Plan was adopted in 1986 to set forth detailed land use and circulation standards, capital improvement requirements, associated financing, and improvement sequencing measures, as well as necessary supporting policies and regulatory procedures for the industrial area near Napa County Airport. The Specific Plan, as amended, implements the General Plan in the at the Project site and in the surrounding area.

1.5 Project Site Zoning

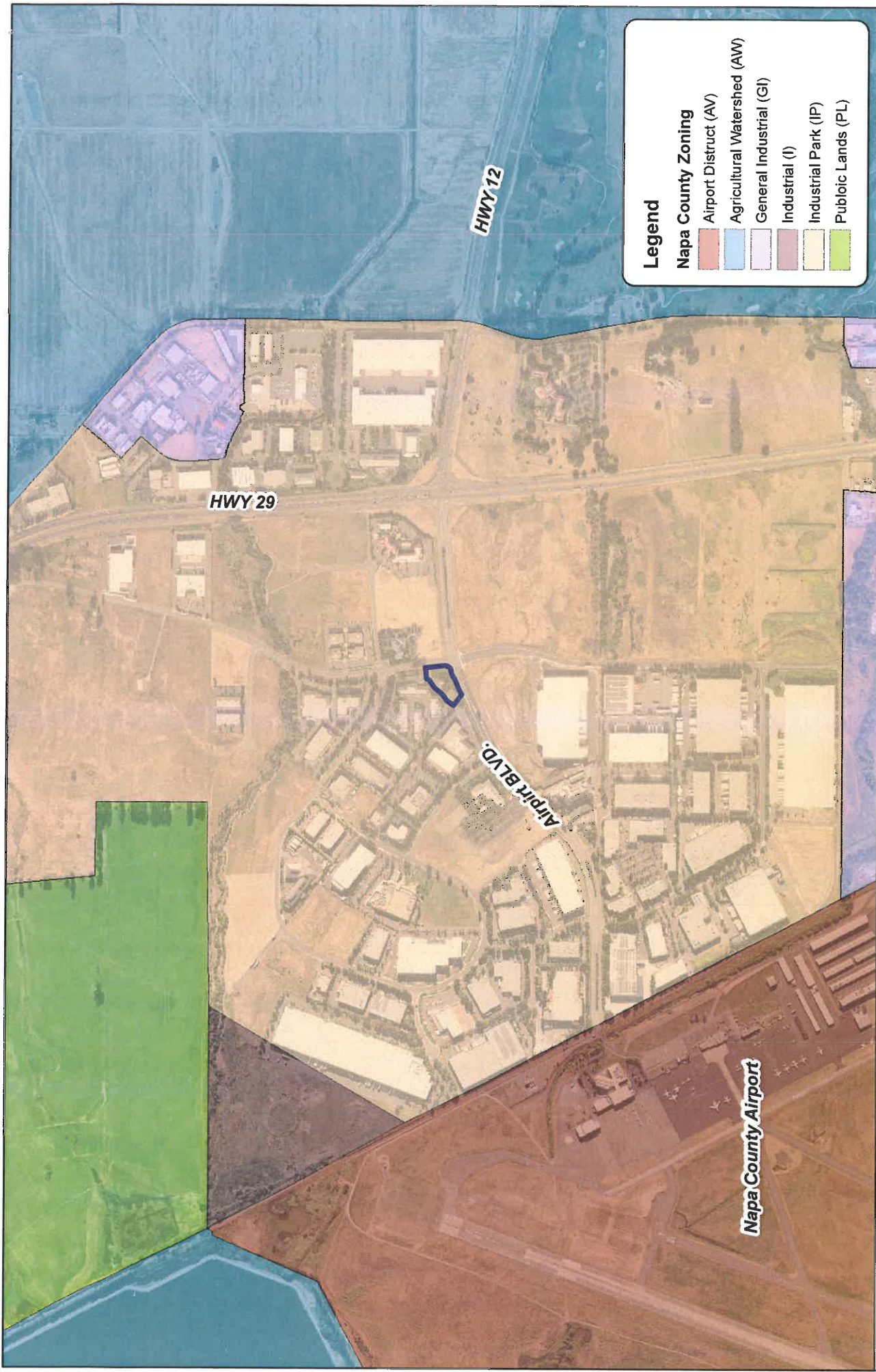
The Project site is located entirely on lands zoned by the County of Napa as Industrial Park (IP). The purpose of the IP zoning district is to provide areas exclusively for modern, non-nuisance light industrial and office uses which are compatible both with each other and with the adjoining nonindustrial areas including, but not limited to, the Napa County Airport, the Highway 29 corridor, and surrounding agricultural and open space areas, and which have no significant potential for major pollution, adverse visual impacts, or nuisance or hazard factors. The designation is intended to accommodate light industrial uses such as office research and development, light manufacturing, light assembly, warehousing and distribution, large administrative headquarters and other professional and administrative uses.

Development of a café, wine tasting facility and wine production is permitted in this zone with the approval of a Conditional Use Permit (CUP). Utilizing the property as an office is a use that is allowed by-right. No change to the existing zoning is proposed.

1.6 Project Site Specific Plan Area

The Project site is located entirely on lands identified in the Napa Valley Business Park Specific Plan as IP (Industrial Park). This designation is intended to provide exclusively for modern, well-planned, non-nuisance light industrial and business park uses which are compatible with each other, the airport, the S.R. 29 corridor, and surrounding open space areas. Land uses in these areas are subject to special development standards established in the plan to ensure a harmonious, optimal environment for industrial occupants. Allowable uses include research and development, light manufacturing, light assembly, warehousing and distribution, development, administrative headquarters, and other professional and administrative facilities. The Specific Plan was approved in 1986 and since then has been amended 10 times for a variety of Projects.

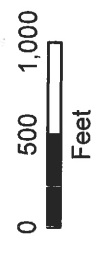
Development of a café, wine tasting facility is not permitted in areas of the Specific Plan that are designated IP. An amendment to the Specific Plan is proposed as part of this Project, although the Project is consistent with the Commercial Node area that is located on parcels to the east just across Devlin Road. To allow the proposed activities an amendment to the Napa Valley Business Park Specific Plan is required.



Legend

Napa County Zoning

- Airport District (AV)
- Agricultural Watershed (AW)
- General Industrial (GI)
- Industrial (I)
- Industrial Park (IP)
- Public Lands (PL)



1 inch = 1,000 feet

GREENWOOD MANSION ZONING

Figure 3



The applicant proposes that the plan be amended to include the 1.17-acre Project site into the Gateway Commercial Node. The site is currently identified in the Specific Plan as Business/Industrial Park, which allows use of the site as an office and wine production facility. Specifically, revisions to Figure S1 located on Page 16 and Figure 5 on page 46 would be required to along with revisions to Section V. Land Use; beginning on Page 49. Clean-up revisions would also be required to incorporate changes to any acreages or discuss on the commercial node that would be impacted by the proposed map and text changes. The following Specific Plan changes shown in strikethrough and underline are suggested:

A. Within the Gateway Commercial Node, consisting of 12 acres located at the northwest corner of State Routes 12 and 29, and Airport Boulevard. As well as a 1.2 acre parcel located on the northwest corner of Devlin Road and Airport Blvd. ~~and a~~ As shown on the Figure 5, provided that such commercial development and uses complies with the following standards:

- 3. Restaurant uses shall not exceed 25 seats and 3,000 sq. ft. in area, except that one restaurant is allowed with a maximum of 150 seats and 6,500 sq. ft. in area, and ~~one two~~ restaurants is are allowed with a maximum of 60 seats and 3,000 sq. ft. in area;*
- 7. One wine tasting establishment shall be allowed; retail sales of wined produced off-site shall be allowed.*

The location of the Project in relation to the Napa Valley Specific Plan limits and overlay areas is shown on Figure 4. As shown on the figure the Project is located across Devlin Road from the existing Gateway Commercial Node ("Node) area shown on Figure 4. In addition to Node area shown on the figure there have also been recent expansions to include two other areas for gas stations; which are not shown on the figure.

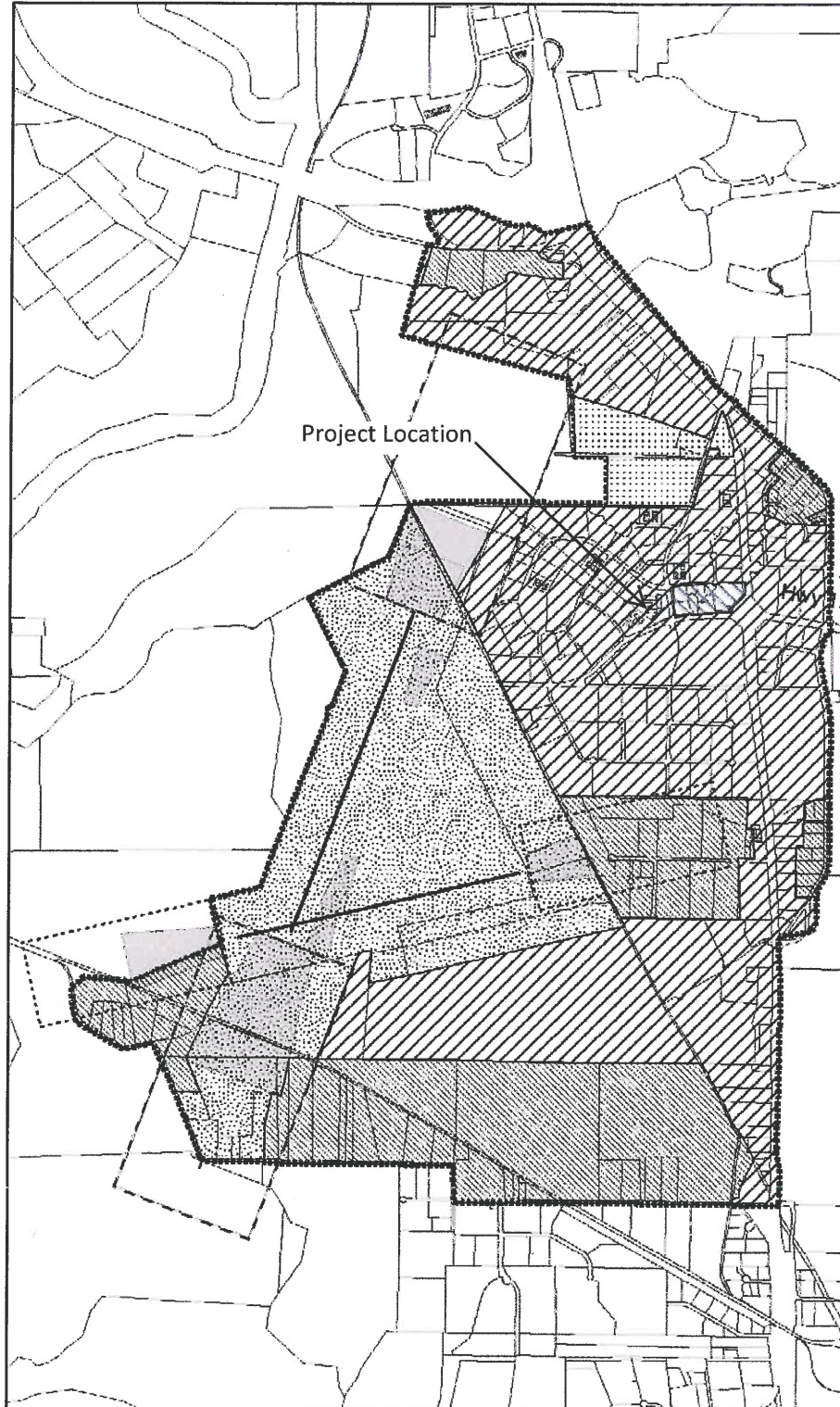
1.7 Project Objectives

Project objectives include the following:

1. Develop the site to service the surrounding business community by establishing a café that will serve individuals within the Napa Valley Business Park and surrounding areas.
2. Establish a central office for Vinum Cellars in the Napa Valley Business Park.
3. Provide a direct to consumer sales opportunity for a established Napa Valley winemaker.

FIGURE 4

Plan Summary



Legend

NVBP 1986 Boundary

NVBP_Summary

Summary Areas

Ag & Perm. Open Space

Airport

Bus/Industrial Park

Devlin Resort Dvip

General Industrial

Gateway Bus/Cmrci

Approach_Zones

TYPE

Primary

Secondary

Airport Clear Zone

Parcels



Horizontal Datum: NAD 83,
CA State Plane Coordinates,
Zone II, feet

County of Napa

P. B. E. S.

1986 NVBP
Plan Summary

Revised Date: 02/05/2014

Disclaimer: This map was prepared for informational purpose only. No liability is assumed for the accuracy of the data delineated hereon.



Created Date: 01/03/2004

2.0 PROJECT OPERATIONS

2.1 Project Scope

The Project would modify a developed parcel into a multi-use parcel that will serve the surrounding business community. The Project will modify the site to create a café, wine tasting area and a wine production area. The cafe will have a combination of indoor and outdoor seating; offering casual dining to service the business community. Wine tasting will be offered as a component of the Project, which will provide a central meeting place for the business community as well as service patrons from outside the area. In addition to the proposed uses, the site will continue to be used as an office.

2.2 Project Property

The Project covers an area of 1.17 acres and is comprised of one Assessor's Parcel (APN) that is owned by the applicant; Vinum Cellars. (See Figure 5) The applicant is in escrow on the property and intends on owning the site in-fee once escrow is closed.

2.3 Site Development

The site is fully developed and is currently operating as an office building under a Napa County use permit (U-89-55). The Project will enhance the developed parcel, however no new disturbance is anticipated as part of the Project. As explained under each of the categories herein, there is no possibility that the Project will have a significant effect on the environment.

2.4 Site Access

Primary access to the Project Site is from Devlin Road, a public roadway which intersects Airport Boulevard, approximately 200 feet south of the Project site entrance. The existing 25' wide entrance along Devlin Road along the eastern limits of the Project site provides ingress and egress to the site, as well as other office buildings in the Napa Valley Gateway development area. A secondary driveway on Gateway Road, approximately 500' north of the Project limits provides emergency vehicles with multiple access points to the Project.

2.5 Project Components

Cafe:

The proposed cafe will be located on the northern half of the downstairs and will occupy roughly 1,410 SF of the farmhouse, along with approximately 1,000 SF of seasonal seating on a newly constructed deck. The cafe will provide food options to serve the local business community. The cafe proposes to serve hot food prepared on-site, wine, beer, espresso and other items. The applicant currently has a Type 2 wine growers license from the ABC and would apply that license to this location as necessary. The cafe will be built out to accommodate 32 seats inside the farmhouse and 32 uncovered seasonal seats on the deck. ADA compliant restrooms would be constructed inside the existing building, adjacent to the cafe. ADA ramps on the

exterior of the building and an elevator to access the second floor are proposed to be installed as well.

Wine Tasting Room:

The proposed wine tasting room would be located on the southern half of the downstairs and will occupy roughly 350 SF of the farmhouse. The tasting room would serve wine produced by Vinum Cellars, who has been making wine in the Napa Valley for over 20 years.

Carriage House (Wine Production Area):

In order to comply with ABC license requirements, the applicant must have on-site wine production in order to conduct all proposed activities. To comply with this requirement, a small detached Carriage House will be constructed on the northern side of the existing farmhouse to make small batches of wine. The Carriage House will be built to replicate the architecture of the existing farmhouse and will be approximately 680 SF. The location of the Carriage House is shown on Figure 5.

Wine production will be conducted entirely within the proposed 680 SF Carriage House. Annually the Project will produce approximately 1,200 gallons of wine. Wine production will vary year to year based off variations in the market and agricultural production. Wine crushing and bottling is proposed to occur off-site at the Napa Wine Company (BW-CA-6334) in Oakville, CA.

Office:

The upstairs of the farmhouse occupies approximately 1,330 SF and is used as office space and a conference room. The office will accommodate between 3 to 5 full-time employees and the conference room will be used as needed or rented hourly to businesses in the surrounding area for meetings or events. The Project site currently has an existing use permit (U89-55) for use of the property as an office with two full-time employees and five part-time employees. Use of the Project site for office purposes has been previously analyzed and should be included as part of the baseline for the CEQA document. The configuration of the floor plan can be seen on Figure 6.

Events:

Approximately two events per month (28 events annually) are anticipated. Events will typically accommodate 30 to 40 people with occasional events up to 80 people. Events will primarily take place in the evenings and on weekends from the hours of 12 PM to 10 PM. The exact location on the property of the events will vary, however it is anticipated that most events will take place in the café and tasting room.

Occasionally, events will take place in the Carriage House. However, the primary use of the Carriage House is to make wine seasonally on the ground floor and provide storage for the Café and Tasting Room and possibly an employee break and changing room. It is possible that this room could be used for a special event use, such as winemaker dinners or private tastings. These would be small events that would accommodate 10 to 20 patrons seated at a long table in the breezeway.

Vineyard:

Approximately 15,000 SF of lawn would be converted to vineyards. The vineyards would have similar appearance to the vineyards located in some of the common areas of the business park. Grapes from the vineyards would be harvested and used by the applicant for estate wine making. The location of the proposed vineyard can be seen on Figure 5.

2.6 Site Improvements

Operations at the site will require the following new construction/improvements:

1. 680 SF Carriage House
2. Remodel and Upgrade 3,090 SF Farmhouse for Proposed Uses
3. 1,200 SF of Deck and Ramps
4. 90 SF Elevator Shaft
5. 2 Parking Spaces, 350 SF
6. Plant approximately 15,000 SF of vineyards

2.7 Operating Hours

The site is proposed to be open approximately 350 days per year with the operational hours for each proposed use varying. Occasional private events may be held on weekends and holidays until 10:00 PM. In general, the operating hours are shown below in Table 1.

Table 1 Proposed Hours of Operation

Wine Tasting, Weekdays	M, Th & F 11am - 6pm
Wine Tasting, Weekends	Sat & Sun 10am - 6pm
Café Hours, Weekdays	M-F 8am - 6pm
Café Hours, Weekends	Sat & Sun 10am - 6pm
Office Hours of Operation	M-F 10am - 6pm

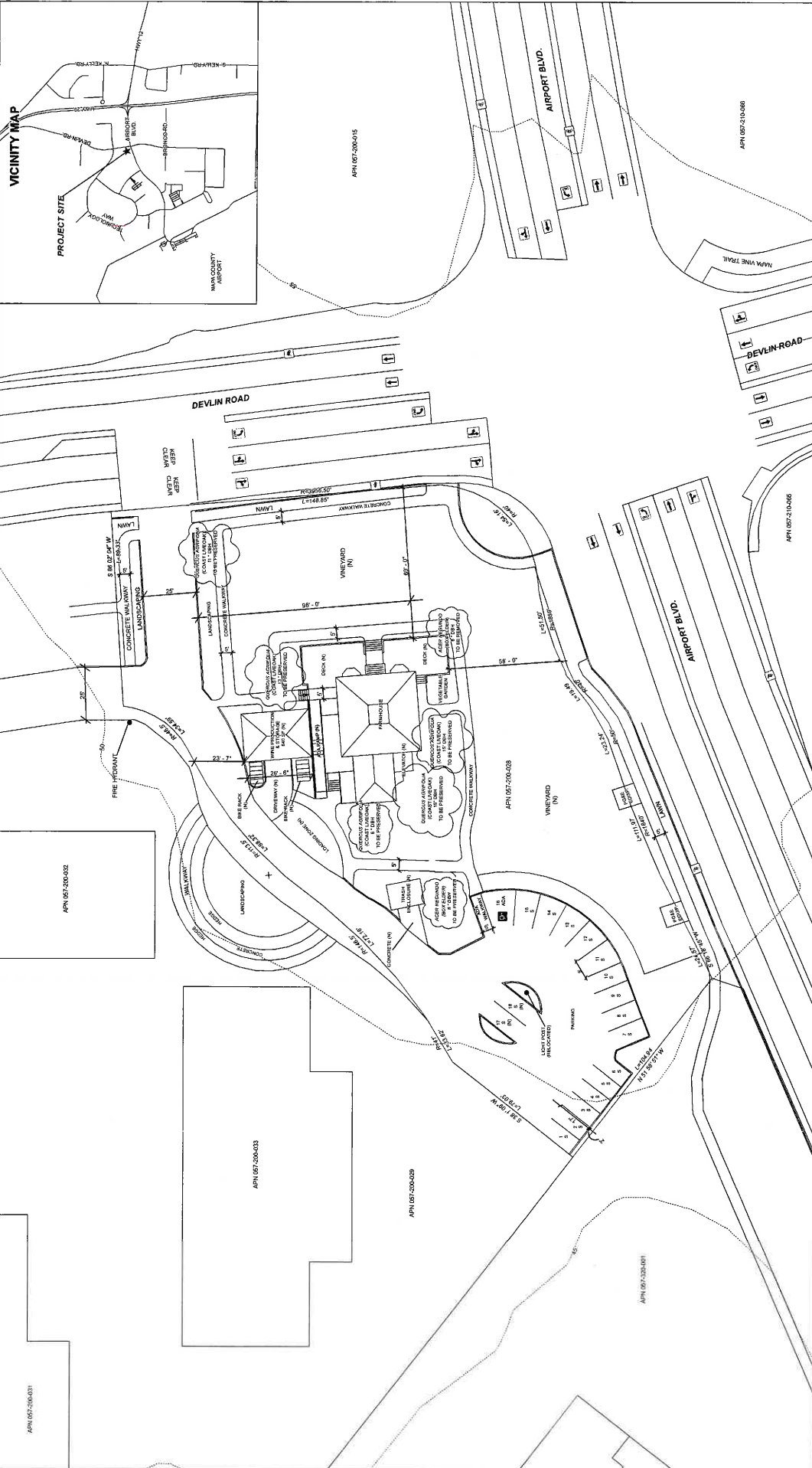
2.8 Employment

The Project would allow for the full-time employment of seven (7) employees. The table below provides a breakdown of the type of employees required for the proposed uses:

Table 2 Employees

Proposed Use	Number of Full-Time Employees
Cafe	3
Tasting Room	1
Office Staff	3

Office staff is included in the table above, however the current Use Permit (U-55-89) provides for two (2) full-time employees and five (5) part-time employees.



**GREENWOOD MANSION SITE PLAN PROPOSED CONDITIONS
SHEET 2**

- Observations
- Notes
- Proposed Conditions
- E Contour

OWNER OF RECORD
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 150 Camino Dorado, Suite 11
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 (707) 253-1223

Date: 3/27/17
 Permit: Hesperia County
 Consultant: Hesperia County - 1003.021M

2.9 Traffic

Traffic from proposed operations will primarily be generated from passenger cars, with an occasional delivery by truck. Of the traffic generated by the Project the majority will be from patrons visiting the cafe. It is anticipated that the majority of visitors to the cafe will be from the business community in the Napa Valley Business park and will stop by on their way to work or visit the cafe for lunch. Serving the local community is anticipated to have a net reduction in traffic miles traveled when analyzed on a cumulatively.

A traffic letter has been drafted by Omni-Means to provide estimates of the Project trip generation and Peak AM and PM trips. At full capacity, traffic is anticipated to create 251 new daily trips on the weekdays and 365 daily trips on the weekends. Additional details on the traffic calculations and assumptions used to develop traffic numbers can be found the Omni-Means letter located in Attachment 1.

2.10 Parking

On the Project parcel there are 16 existing parking spaces and two (2) parking spaces are proposed to meet the Napa County minimum parking requirements. To calculate the square footage of each area the interior area was used. Downstairs the common areas were distributed evenly between the restaurant and wine tasting bar. Square footage associated with the proposed elevator was assigned to the office since the elevator is used to access the office space on the second floor of the building. County parking requirements by use for the Project are summarized below:

Table 3 parking Tabulation

Area	SF	Spots/SF County Requirement	Parking Spots Required
Restaurant	975	1 Per 120 SF	8.13
Wine Tasting (Retail)	730	1 Per 250 SF	2.92
Office	1,385	1 Per 250 SF	5.54
Wine Production (Manufacturing)	680	1 Per 500 SF	1.36
Total	3,770		17.95

In addition to the existing 16 parking spaces on the Project parcel there are 213 parking spaces in the parking lot for the Napa Valley Gateway Condominiums, which is contiguous to the parking area at the Project Parcel. The Project parcel has rights to utilize the parking spaces in the Napa Valley Gateway Condominiums per the Reciprocal Easement Agreement that was recorded with the Napa County Assessor's office on August 13, 2010. Below is the language from the easement that discusses use of the parking areas:

2.2 Parking Area Easements: Declarant grants to each Owner nonexclusive easements in favor of the Owner's Condominium and the Ranch House Parcel as the dominant tenements over the Parking Area as the servient tenement for each of the purposes set forth in this Section 2.2. The easements and rights described in this Section 2.2 are subject to the restrictions, conditions and Rules described in this REA. The

easements are effective automatically on the date Declarant first transfers title to a Condominium or to the Ranch House Parcel to a third party purchaser.

2.2.1 Access Easement: Vehicular and pedestrian ingress and egress over the entry way, drive aisles and walkways.

2.2.2 Parking Easement: The right to park vehicles within the parking spaces.

The Project will be designed to have adequate parking spaces on the Project Parcel to satisfy the Napa County minimum parking standards. However, as shown in the above easement language the Project Parcel, referred to as the "Ranch Parcel" has the ability to utilize approximately an additional 213 adjacent spaces.

In addition to the proposed parking spaces a loading zone along the north west side of the farmhouse will be constructed. The area is currently occupied by landscaping and encompasses approximately 700 SF. Landscaping will be removed and replaced with concrete, asphalt or other hardscape surfacing that can support vehicle traffic.

2.11 Noise

Napa County noise limits at the property lines for industrially zoned properties are stated to be identified in below in table 5.

Table 5 Napa County Noise Standards

Receiving Land Use Category	Time Period	Rural	Suburban	Urban
Residential	10 p.m. — 7 a.m.	45	45	50
	7 a.m. — 10 p.m.	50	55	60
Commercial	10 p.m. — 7 a.m.		60	55
	7 a.m. — 10 p.m.		65	60
Industrial, including wineries	Anytime	75		

Noise limits from the proposed Project are anticipated to be below the levels stated above.

2.12 Site Security and Safety

Public health and safety will be protected in accordance with local, state and federal standards. During the Project lifetime, public access will be controlled by locked doors.

2.13 Fire Protection

The existing farmhouse will be retrofitted with fire sprinklers as required by the current State and local regulations. The proposed carriage house will be equipped a fire sprinkler system that meets County and State requirements as well. An existing

fire hydrant is located on the north side of the Project site, approximately 70' from the existing farmhouse. All fire systems will be designed and installed to the satisfaction of the County Fire Marshall. Fire access to the Project site is provided by two existing 25-foot wide driveways.

2.14 Utilities

U-89-55 included anticipated levels of service for each utility; below is a summary of the levels outlined in the existing permit.

Table 6 Baseline Utilities

Utility Service	Service Entity	U-55-89 Level
Water Usage	City of American Canyon	4,000 Gallons Per Day
Sewer	Napa County Sanitation District	250 Gallons Per Day
Solid Waste Disposal	Napa County Sanitation District	Garbage Company

Water Consumption

Water is required for the all proposed uses as well as the existing uses on the Project parcel. Water for the Project will be provided by the City of American Canyon through an existing waterline connection. The City of American Canyon issued a will serve letter for the project on 12/12/17. The Water Supply Report prepared by the City of American Canyon assumes an average daily consumption of 542 gallons per day (GPD) and a maximum daily consumption of 1,570 GPD. Water for the proposed vineyard and all landscaping will be provided by recycled water provided by the Napa Snatiation District.

Sewage Disposal

The Project will utilize the existing connection to the Napa Sanitation District. The property has been utilized as an office building previously and any intensification of use will provide credit for the existing office use. The proposed wine making facility will not create any wastewater. Through communication with Napa Sanitation District there was not a need to include a sewer connection for the winemaking activities. A hold and haul system, will however be installed on the west side of the carriage house to accommodate future wine making activities if needed. The table below provides a summary of the types of uses proposed for the building and the SF per each use for the equivalent dwelling unit (EDU) calculation.

Table 8 EDU Calculation Inputs

Use	SF	Area
Office	1,330	Entire Upstairs
Food Service Establishment	2,840	Downstairs & Deck (Tasting Room & Café)
*Industrial	680	Carriage House

**No waster water is created from the industrial activities*

It is anticipated that the Project will have an increase in sewer disposal and will work with the Napa Sanitation District to purchase additional EDUs. No upgrades to the existing sewer infrastructure are anticipated.

Electricity & Natural Gas

The Project requires electrical power and natural gas provided by PG&E through an existing underground distribution line. No upgrades to the power line would be required to satisfy the needs of the Project.

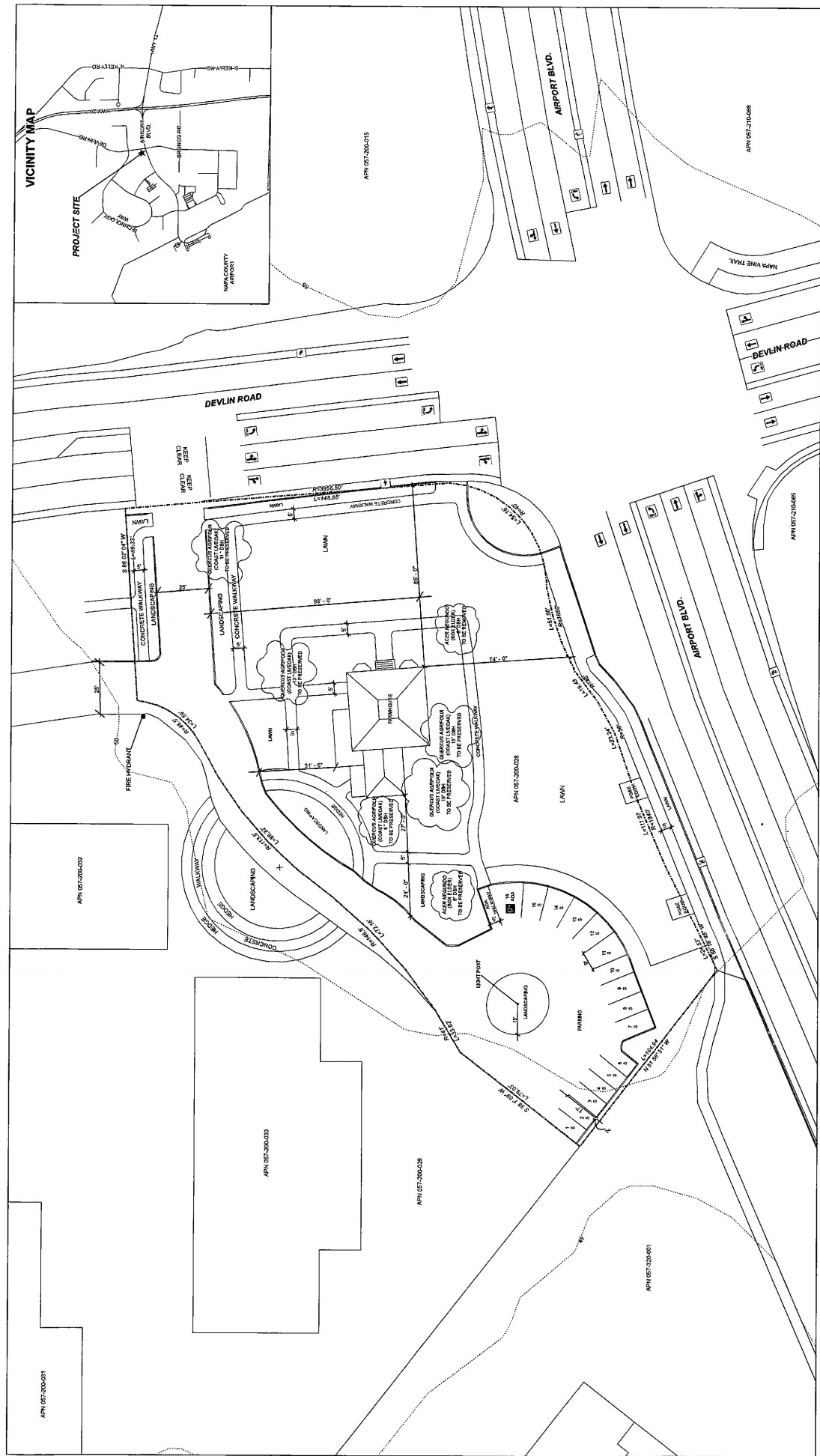
Solid Waste & Recycling

The project will contract with Napa Recycling and Waste Service to collect waste as needed, weekly collection of refuse is anticipated. Waste will be separated into recyclable and non-recyclable dumpsters and stored until collected by Napa Recycling and Waste Service. A 12' by 16' trash enclosure will be constructed on the west side of the existing farmhouse in an area that is currently occupied by landscaping. In addition to the enclosure approximately 120 SF of concrete paving will be required to provide the garbage truck access to the enclosure. The landscaping will be removed to accommodate the trash enclosure and driveway.

Table 9 Project Summary

General Site Information	
Applicant	Vinum Cellars
Property Owner	Vinum Cellars
Site Address	499 Devlin Road, Napa, CA 94558
APN	057-200-058
Property Area	1.17 Acres
Building Square Footage	Existing: Approximately 3,090 SF Proposed: Approximately 680 SF
Parking Spaces	Existing: 16 (1 Handicapped) Proposed: 2
Elevation	45' to 50' AMSL
General Plan Designation	IP - Industrial Park
Zoning	IP - Industrial Park
Specific Plan	Napa Valley Business Park (Business/Industrial Park)
Napa County Airport Land Use Compatibility Plan	Zone D
Current Land Use	Office Building, Use Permits #U89-55
Water Service	City of American Canyon
Sewer	Napa Sanitation District
Project Details	
Proposed Use	Tasting Room, Café, On-site Wine Production
Desired Entitlements	Amend Specific Plan to Gateway Business/Commercial and Use Permit
Hours of Operation Weekdays (Tasting Room)	M, Th, F, 11am - 6pm
Hours of Operation Weekends (Tasting Room)	Sat, Sun, 10am - 6pm
Hours of Operation Weekdays (Cafe)	M-F, 8am - 6pm
Hours of Operation Weekends (Cafe)	Sat, Sun, 10am - 6pm
Hours of Operation (Office)	M-F 10am - 6pm
Employees (Total & # On Shift at One Time)	Office: 3 Café: 3 Tasting Room: 1
Building Renovation Duration	4-6 Months
Anticipated Daily Trips During Construction	Avg. 12 per week, Peak 20 per week
Landscaping	Convert 15,000 SF of Lawn to Vineyard
New Building Construction	Approx. 680 SF Detached Carriage House
New Paved Areas	Approx 1,000 SF





**GREENWOOD MANSION SITE PLAN EXISTING CONDITIONS
SHEET 1**

- Streets
- Existing Improvements
- Property Boundary
- E. Contract

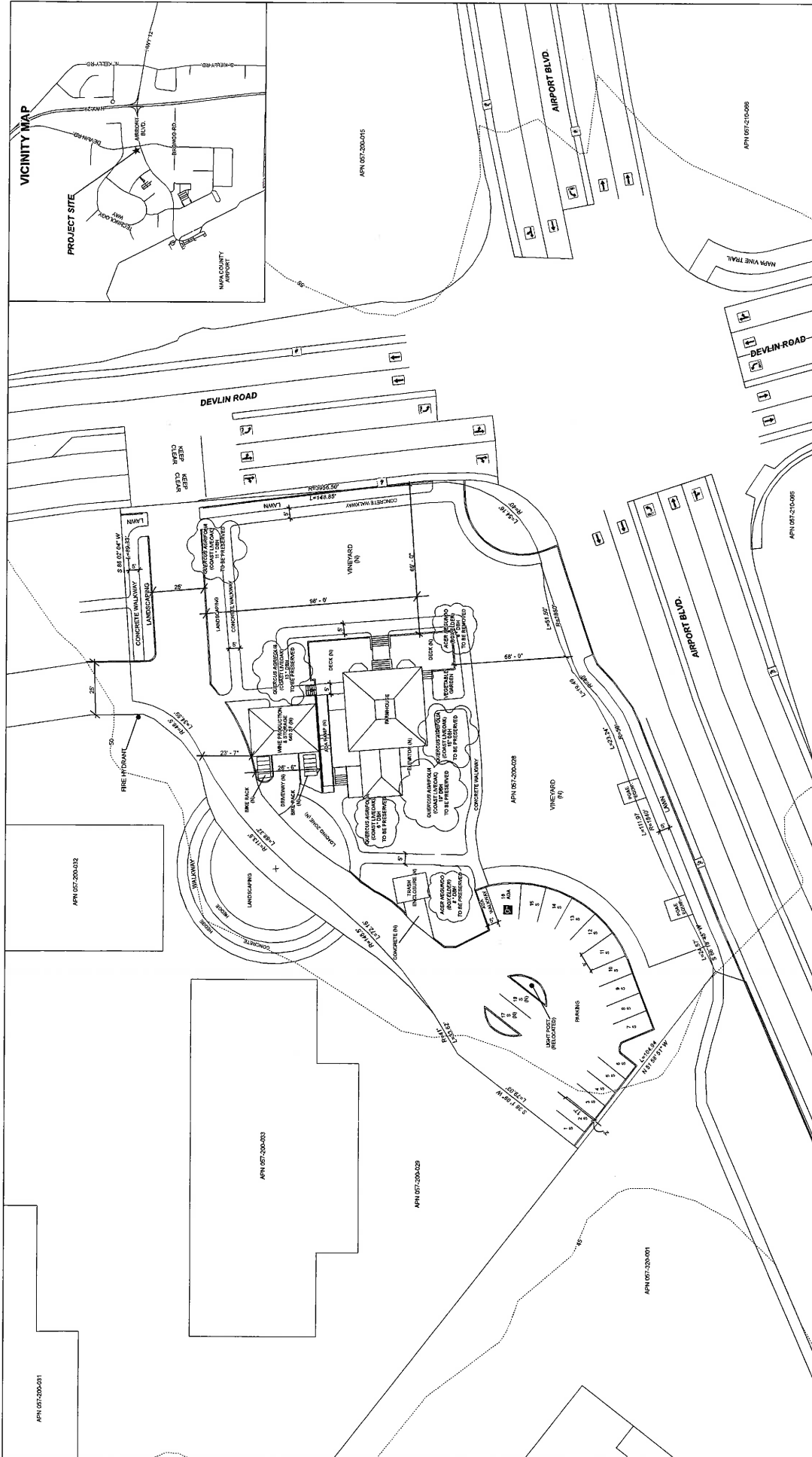
OWNER OF RECORD
 Gary Van Dusen
 135 Camino Del Rio East
 Suite 5
 San Diego, CA 92108
 (619) 225-0891

APPLICANT
 Warren Collins, Owner
 135 Camino Del Rio East
 Suite 5
 San Diego, CA 92108
 (619) 254-8313

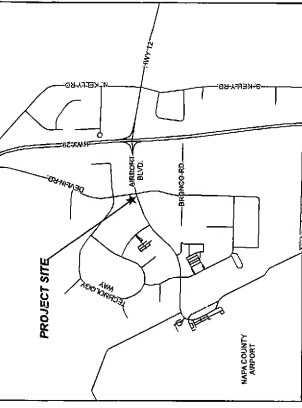
ARCHITECT
 KCMH Architecture & Design
 8704 Red Hill Court
 San Diego, CA 92123
 (619) 542-0020

PLANNING CONSULTANT
 Envirocon, Inc.
 135 Camino Del Rio East
 Suite 5
 San Diego, CA 92108
 (619) 254-1723

Date: 3/1/17
 Record: New County
 County: Imperial County 2002 DTN



VICINITY MAP



**GREENWOOD MANSION SITE PLAN PROPOSED CONDITIONS
SHEET 2**

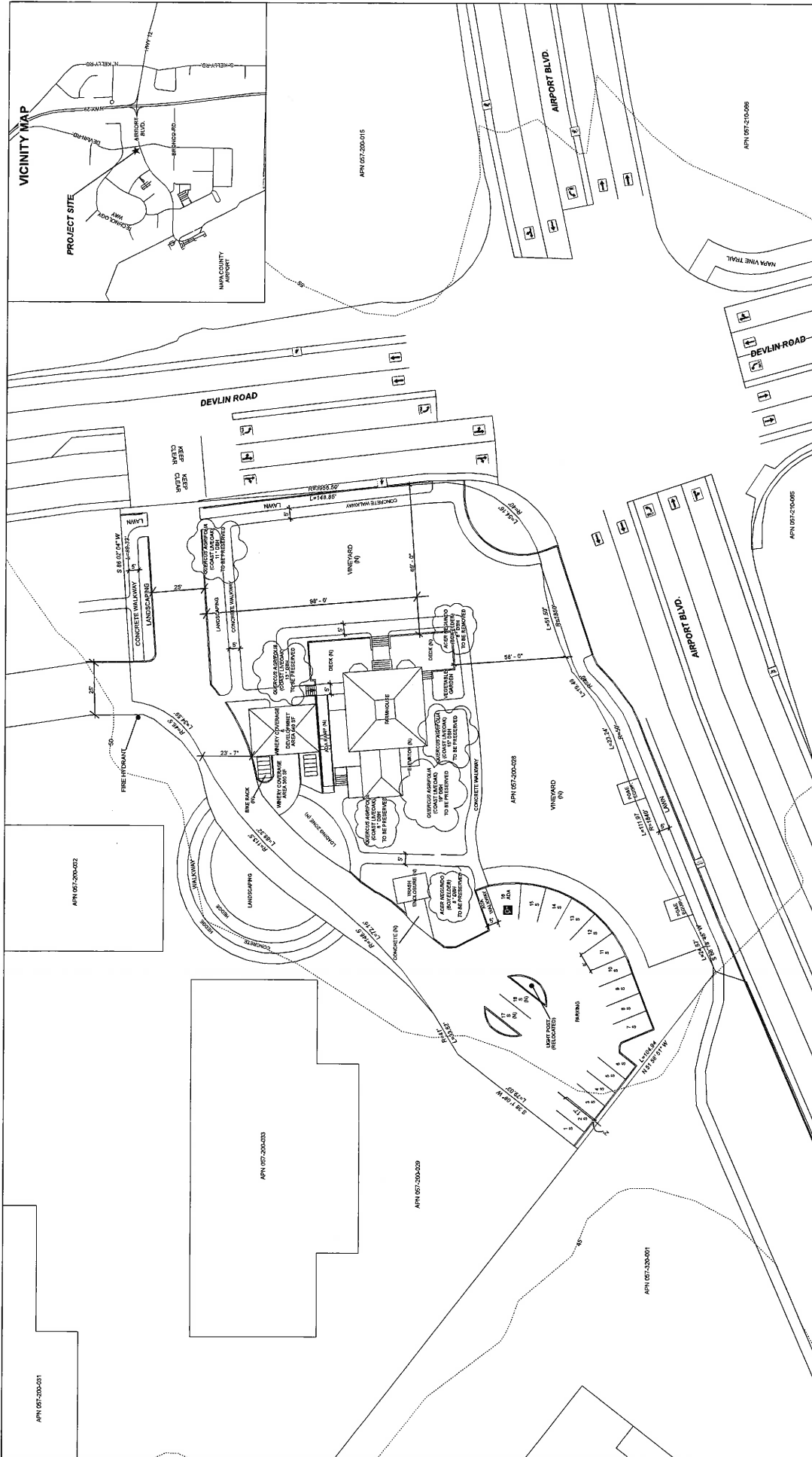
OWNER OF RECORD
 Gary Van Dine
 135 Camino Dorado, Suite 6
 Menlo Park, CA 94025
 (650) 255-3991

APPLICANT
 Vivian Cabell, Owner
 135 Camino Dorado, Suite 6
 Menlo Park, CA 94025
 (650) 255-4313

ARCHITECT
 MCM Architecture & Design
 3014 Rock Hill Court
 Menlo Park, CA 94025
 (650) 320-0202

PLANNING CONSULTANT
 Envirocon, Inc.
 135 Camino Dorado, Suite 11
 Menlo Park, CA 94025
 (650) 320-1222

- Open/Utilities
- Sewer
- Gas
- Easement



**GREENWOOD MANSION SITE PLAN WINERY AREAS
SHEET 3**

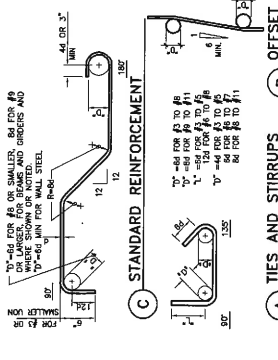
OWNER OF RECORD
 Gary Van Duren
 135 Camino Dobson, Suite 6
 Watsonville, CA 95090
 (707) 256-3991

APPLICANT
 Vivian Cabell, Owner
 135 Camino Dobson, Suite 6
 Watsonville, CA 95090
 (707) 256-8313

ARCHITECT
 MCM Architecture & Design
 8104 Reed Hill Court
 Watsonville, CA 95091
 (707) 254-8302

PLANNING CONSULTANT
 Enviroplan, Inc.
 135 Camino Dobson, Suite 11
 Watsonville, CA 95090
 (707) 256-1212

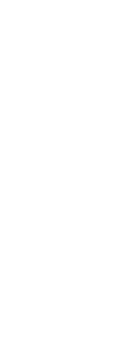
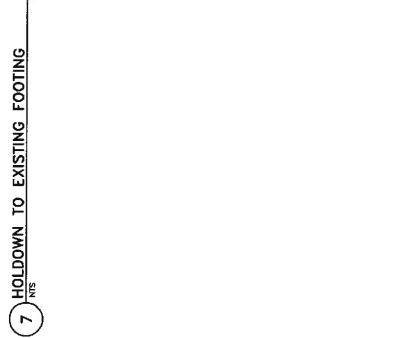
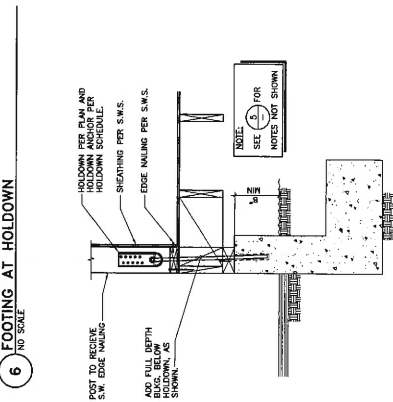
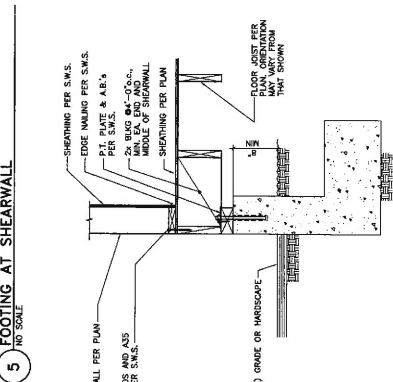
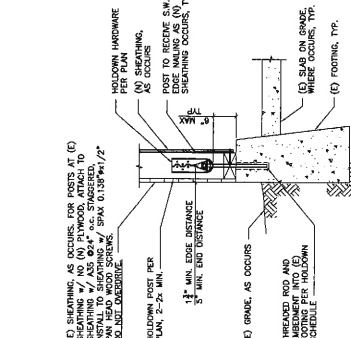
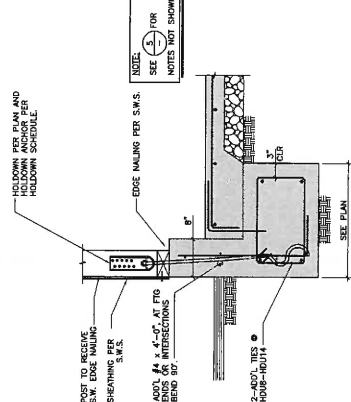
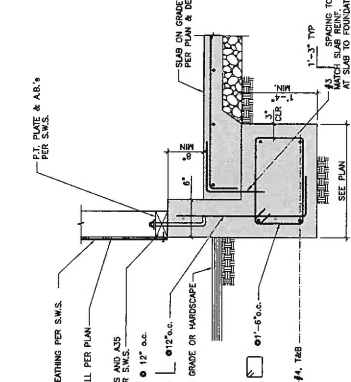
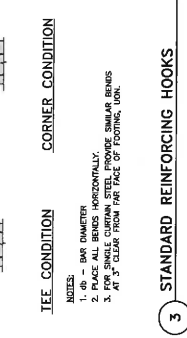
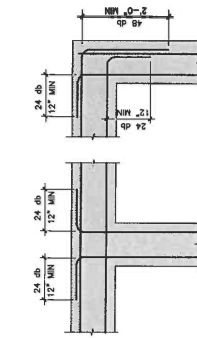
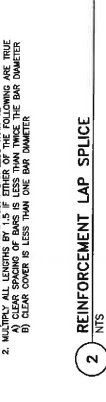
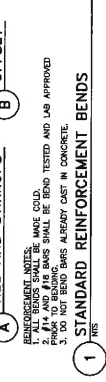
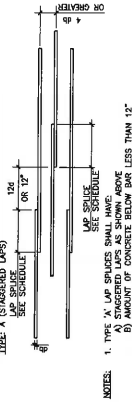
Legend:
 --- Openings
 --- Structures
 --- Paving
 --- Fencing



WALL AND FOOTING LAP SPICE SCHEDULE

CONCRETE STRENGTH	LAP TYPE		REBAR SIZE									
	A	B	#3	#4	#5	#6	#7	#8	#9	#10	#11	
2500	12	18	24	30	36	50	60	68	77	85	100	
	18	21	32	39	47	69	78	86	100	110		

SIZE A (STAGGERED LAPS)
SEE SCHEDULE



DRAWN: JR
 DATE: 07/05/17
 PROGRESS 07/05/17

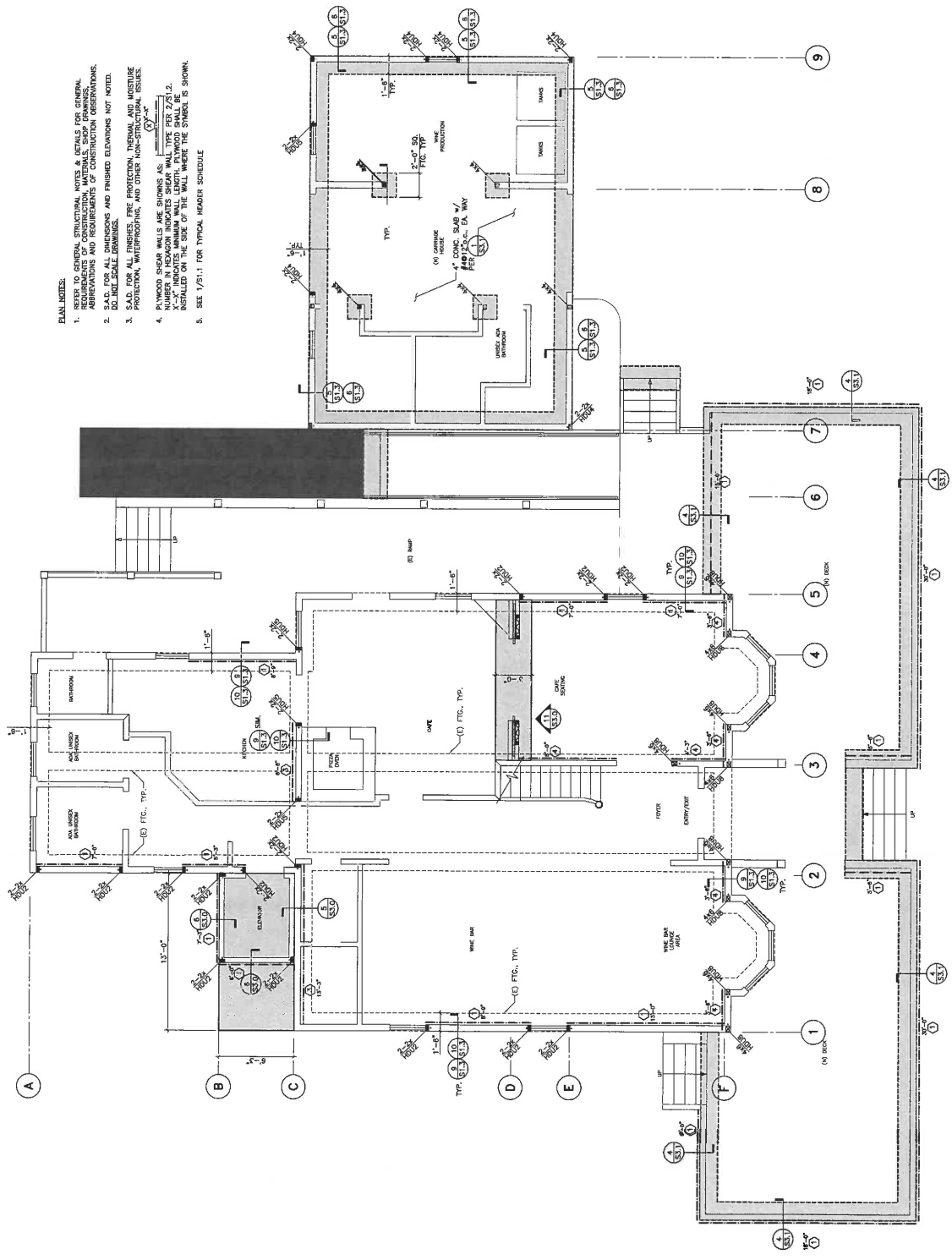
JVASF
 ENGINEERS
 1000 UNIVERSITY AVENUE
 SUITE 100
 OAKLAND, CA 94612
 TEL: 415.760.6648
 FAX: 415.760.6649

VINUM CELLARS
 499 DEVLIN ROAD
 NAPA, CA 94558
 415.260.6648

Sheet Title:
 FOUNDATION PLAN

Scale: AS NOTED

S2.0
 JULY 2017



- PLAN NOTES:**
1. REFER TO GENERAL STRUCTURAL NOTES & DETAILS FOR GENERAL REQUIREMENTS OF CONSTRUCTION, MATERIALS, SHOP DRAWINGS, DIMENSIONS, FINISHES AND FINISHED ELEVATIONS NOT NOTED.
 2. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED IN SHOP DRAWINGS.
 3. S.A.D. FOR ALL FINISHES, FIRE PROTECTION, THERMAL AND MOISTURE PROTECTION, WATERPROOFING, AND OTHER NON-STRUCTURAL ISSUES.
 4. FINISHED GRADE WALLS ARE SHOWN AS: (1) CONCRETE, (2) CMU, (3) BRICK, (4) BLOCK, (5) OTHER. NUMBER IN HEADLINE INDICATES SHEAR WALL TYPE PER 7.6.1.2. DIMENSIONS IN HEADLINE WILL BE LENGTH ALONG THE CENTERLINE. INSTALLATION SHALL BE AS SHOWN IN THE SCHEDULE IS SHOWN.
 5. SEE 1/5.1 FOR TYPICAL HEADER SCHEDULE.

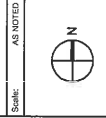
A FOUNDATION PLAN
 1/4"=1'-0"

DRAWING: JB
 DATE: 07/26/17
 PROJECT: 0762617



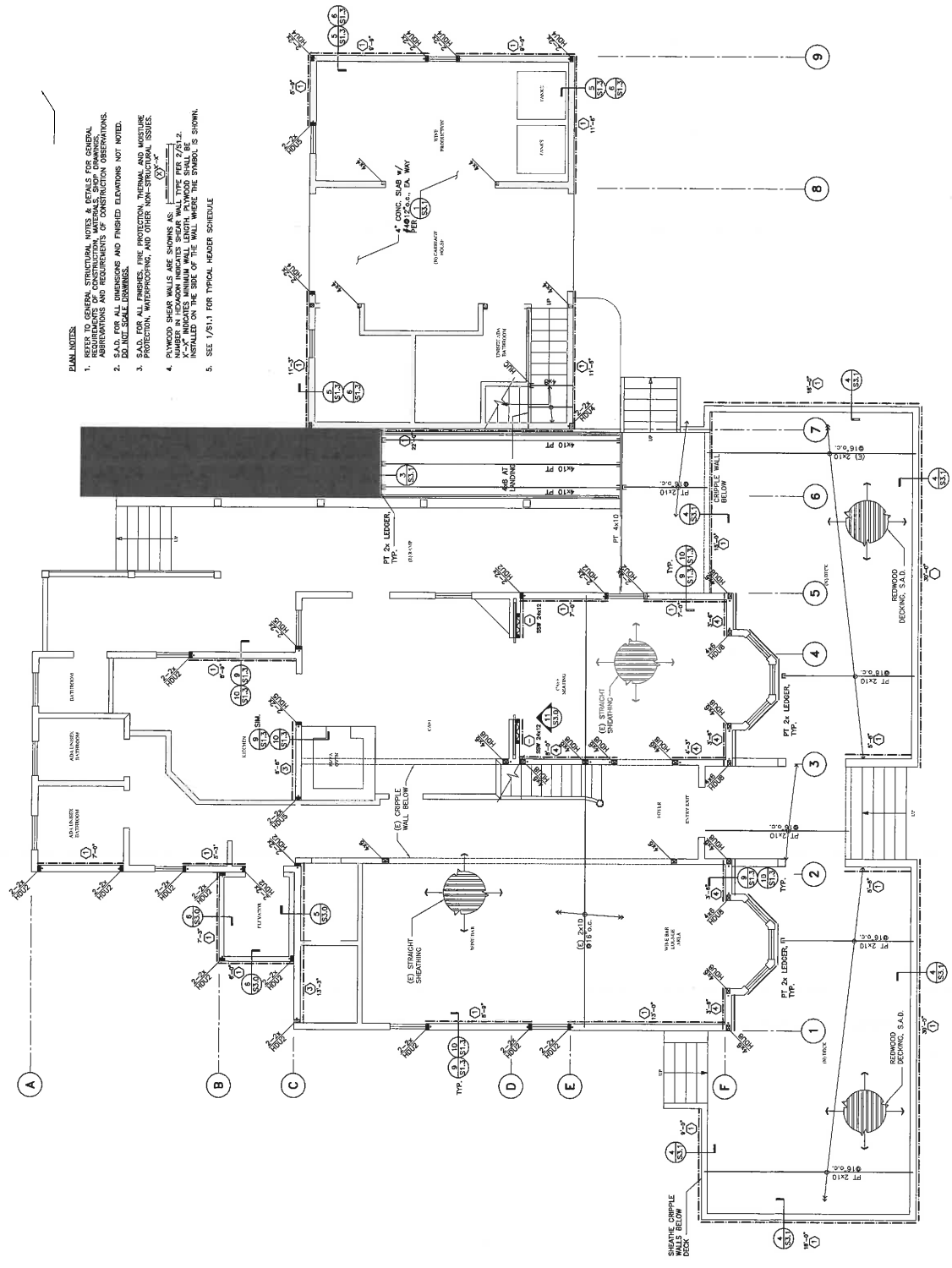
VINUM CELLARS
 499 DEVLIN ROAD
 NAPA, CA 94558
 415.260.6648

Sheet Title:
 GROUND FLOOR
 FRAMING PLAN



S2.1
 JULY 2017

- GENERAL NOTES:**
1. REFER TO GENERAL STRUCTURAL NOTES & DETAILS FOR GENERAL NOTES, CONDITIONS, MATERIALS, FINISHES, ASSUMPTIONS AND RESTRICTIONS. VERIFY ALL CONDITIONS, ASSUMPTIONS AND RESTRICTIONS WITH THE ARCHITECT. DO NOT SCALE DIMENSIONS.
 2. S.A.D. FOR ALL DIMENSIONS AND FINISHED ELEVATIONS NOT NOTED.
 3. S.A.D. FOR ALL FINISHES. FIRE PROTECTION, THERMAL AND MOISTURE PROTECTION, WATERPROOFING, AND OTHER NON-STRUCTURAL ISSUES.
 4. PLYWOOD SHEAR WALLS ARE SHOWN AS: NUMBER IN REDWOOD INDICATES SHEAR WALL TYPE PER 7/21/17. NUMBER IN BRACKET INDICATES SHEAR WALL TYPE PER 7/21/17. INSTALLED ON THE SIDE OF THE WALL WHERE THE SYMBOL IS SHOWN. SEE 1/9/11 FOR TYPICAL HEADER SCHEDULE.



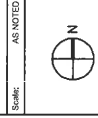
A GROUND FLOOR FRAMING PLAN
 1/7'-1"

DRAWN: LB
DATE: 07/06/17
PROGRESS: 07/06/17



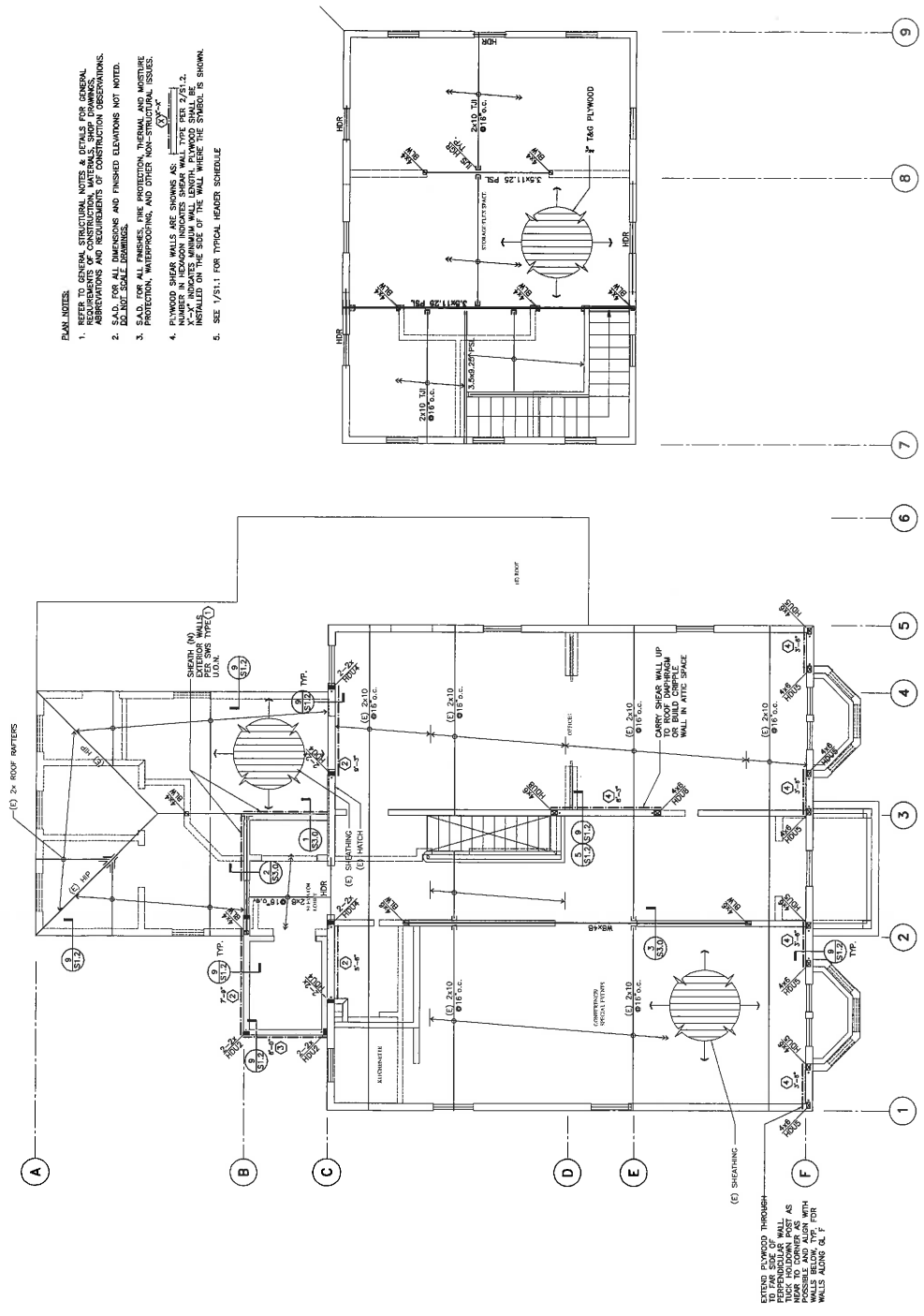
VNUM CELLARS
499 DEVLIN ROAD
NAPA, CA 94558
415.260.6648

Sheet Title:
UPPER FLOOR
FRAMING PLAN



S2.2
JULY 2017

- PLAN NOTES:
- REFER TO GENERAL STRUCTURAL NOTES & DETAILS FOR GENERAL INFORMATION, DIMENSIONS, FINISHES, SHOP DRAWINGS, ASSUMPTIONS AND RESTRICTIONS. SEE GENERAL NOTES FOR EXPLANATIONS OF DIMENSIONS AND FINISHES.
 - S.A.D. FOR ALL DIMENSIONS AND FINISHED ELEVATIONS NOT NOTED.
 - S.A.D. FOR ALL FINISHES, FIRE PROTECTION, THERMAL AND MOISTURE PROTECTION, WATERPROOFING, AND OTHER NON-STRUCTURAL ISSUES.
 - PLYWOOD SHEAR WALLS ARE SHOWN AS PER 2.1.2. NUMBER IN HEADLINE INDICATES SHEAR WALL TYPE PER 2.1.2. INSTALLED ON THE SIDE OF THE WALL WHERE THE SYMBOL IS SHOWN.
 - SEE 1/51.1 FOR TYPICAL HEADER SCHEDULE



A UPPER FLOOR FRAMING PLAN
1/4"=1'-0"

DRAWN: LB
 DATE: 07/06/17
 PROGRESS: 07/06/17

JYASE
 STRUCTURAL
 ENGINEERS

1000 S. UNIVERSITY AVE.
 SUITE 100
 SAN ANTONIO, TX 78205
 TEL: 214.343.7200
 FAX: 214.343.7201
 WWW.JYASE.COM

YINUM CELLARS
 499 DEVLIN ROAD
 NAPA, CA 94558
 415.260.6648

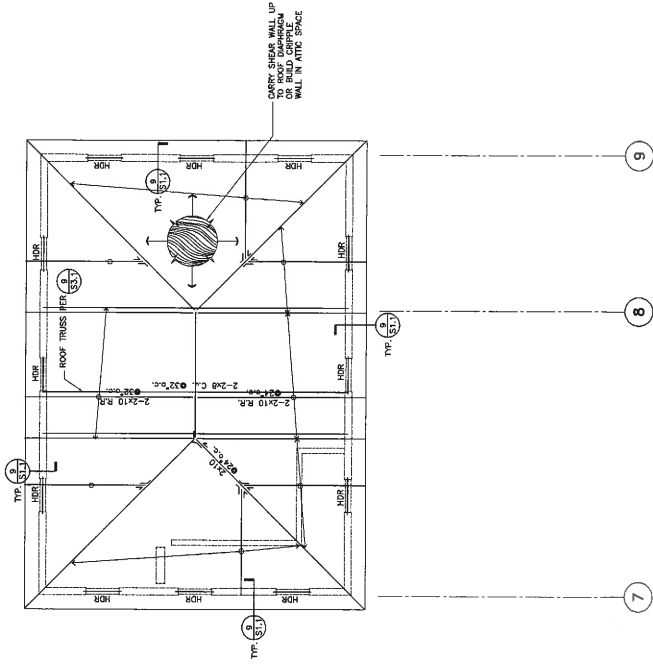
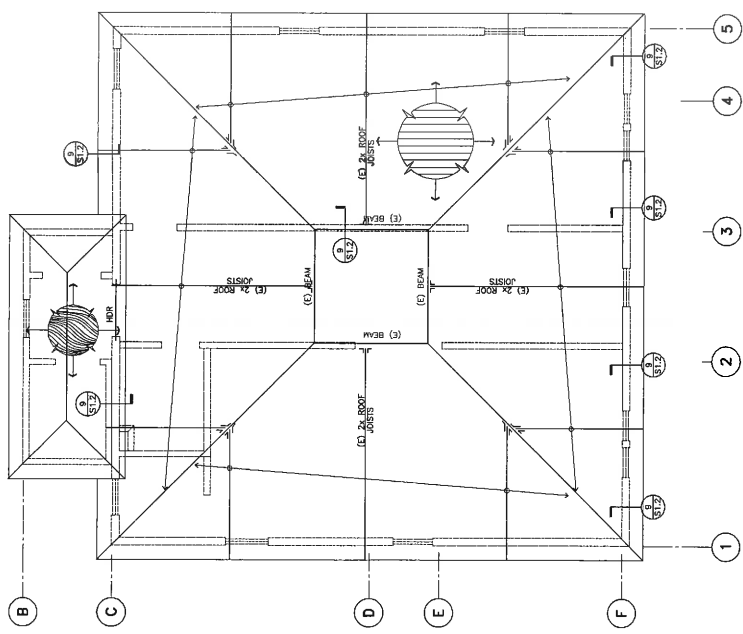
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**ROOF FRAMING
 PLAN**

Scale: AS NOTED

S2.3
 JULY 2017

- EXAM NOTES:**
1. REFER TO GENERAL STRUCTURAL NOTES & DETAILS FOR GENERAL INFORMATION, MATERIALS, FINISHES, TOLERANCES, CONNECTIONS, APPROXIMATIONS AND REQUIREMENTS OF CONSTRUCTION OBSERVATIONS. DO NOT SCALE DIMENSIONS.
 2. S.A.D. FOR ALL DIMENSIONS AND FINISHED ELEVATIONS NOT NOTED.
 3. S.A.D. FOR ALL FINISHES, FIRE PROTECTION, THERMAL AND MOISTURE PROTECTION, WEATHERPROOFING, AND OTHER NON-STRUCTURAL ISSUES.
 4. PLYWOOD SHEAR WALLS ARE SHOWN AS:

 NUMBER IN HEAVY LINE INDICATES SHEAR WALL TYPE PER 7/251.2. NUMBER IN LIGHT LINE INDICATES SHEAR WALL TYPE PER 7/251.2. INSTALL ON THE SIDE OF THE WALL WHERE THE SYMBOL IS SHOWN.
 5. SEE 4/51.2 FOR TYPICAL HEADER SCHEDULE



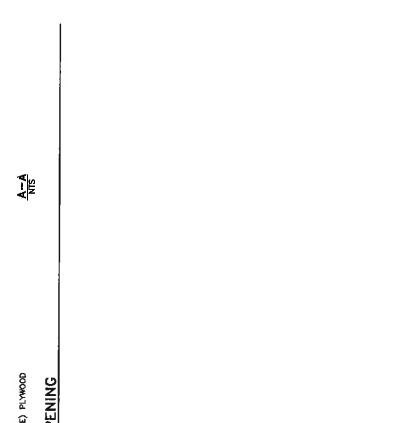
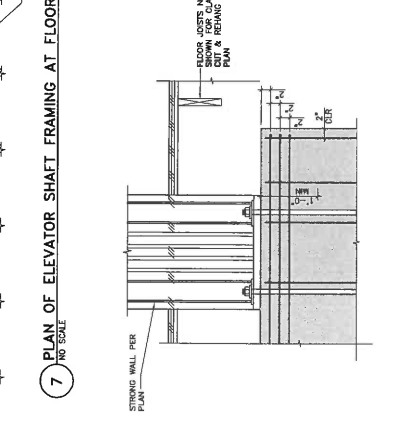
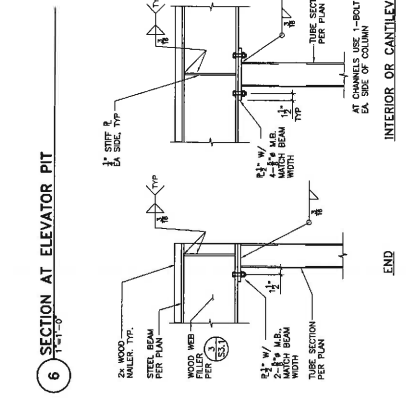
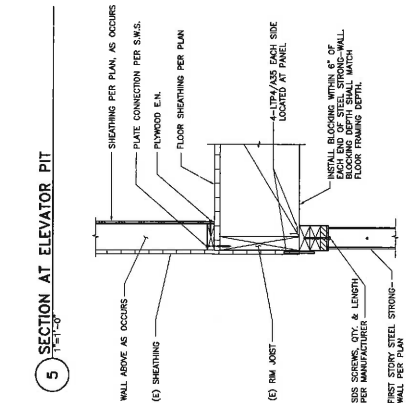
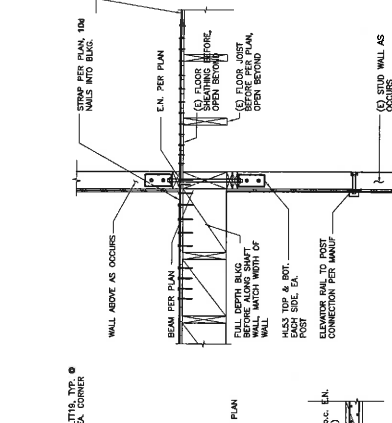
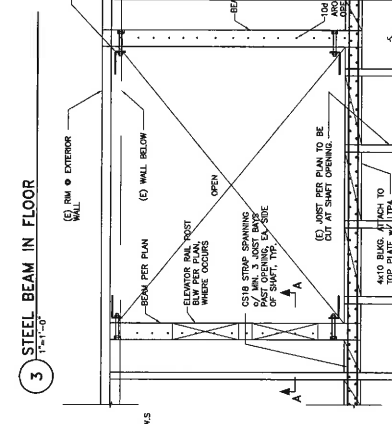
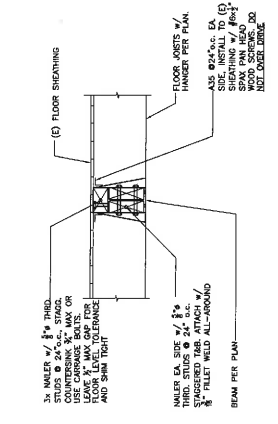
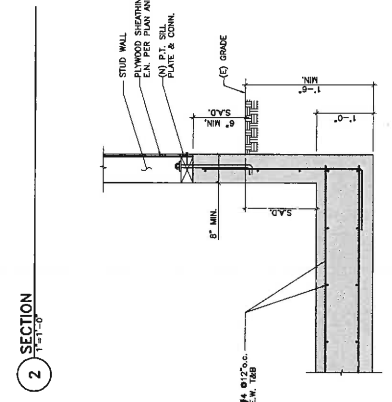
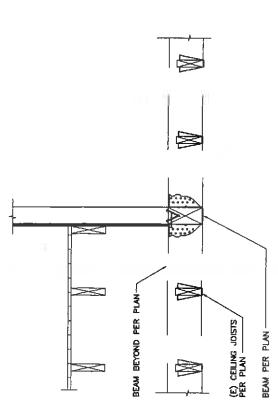
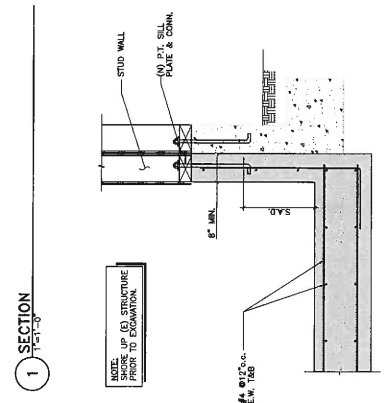
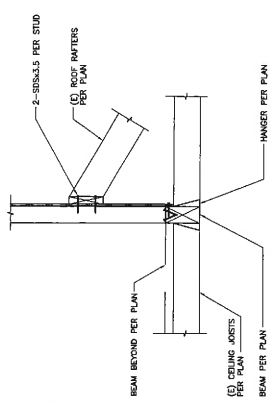
A ROOF FRAMING PLAN
 1/4"=1'-0"

DRAWN: JB
 DATE: 07/08/17
 PROGRESS: 07/08/17

JYASE
 ENGINEERS
 499 DEVLIN ROAD
 NAPA, CA 94558
 415.260.6648



SHEET TITLE: SECTIONS AND DETAILS
 SCALE: AS NOTED
 NORTH ARROW
S3.0
 JULY 2017



1 SECTION 1'-11 1/2"

2 SECTION 1'-11 1/2"

3 STEEL BEAM IN FLOOR 1'-11 1/2"

4 SECTION 1'-11 1/2"

5 SECTION AT ELEVATOR PIT 1'-11 1/2"

6 SECTION AT ELEVATOR PIT 1'-11 1/2"

7 PLAN OF ELEVATOR SHAFT FRAMING AT FLOOR OPENING NO SCALE

8 SECTION 1'-11 1/2"

9 STRONG WALL AT FLOOR 1'-11 1/2"

10 BEAM TO COLUMN CONNECTION 1'-11 1/2"

11 STRONG WALL FOUNDATION 1'-11 1/2"

12 SECTION 1'-11 1/2"

DRAWN: JRP
 DATE: 07/26/17
 PROGRESS: 07/26/17

JYASE
 PROFESSIONAL ENGINEERS
 1000 UNIVERSITY AVE
 SUITE 100
 NAPA, CA 94558
 TEL: 707.260.6648
 FAX: 707.260.6648



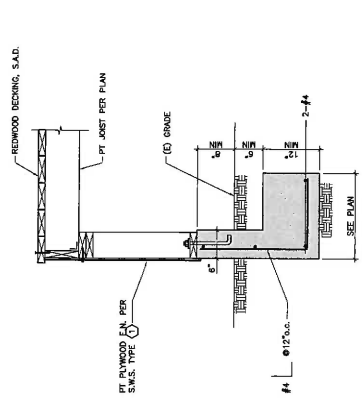
VINUM CELLARS
 499 DEVLIN ROAD
 NAPA, CA 94558
 415.260.6648

Sheet Title:
 SECTIONS AND
 DETAILS

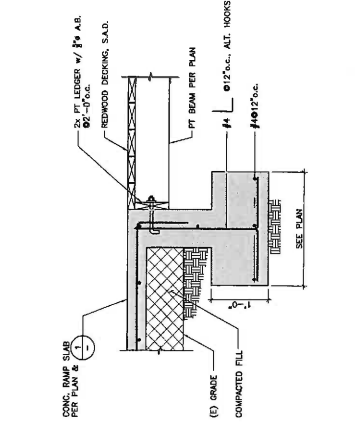
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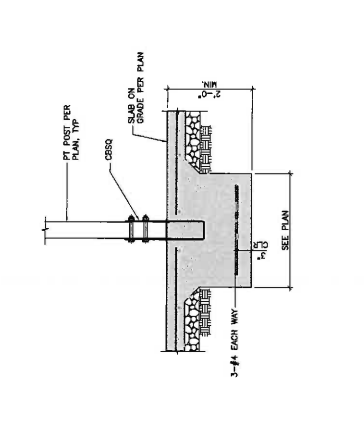
S3.1
 JULY 2017



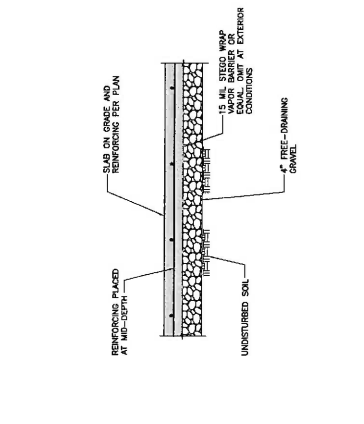
4 CRIPPLE WALL UNDER DECK
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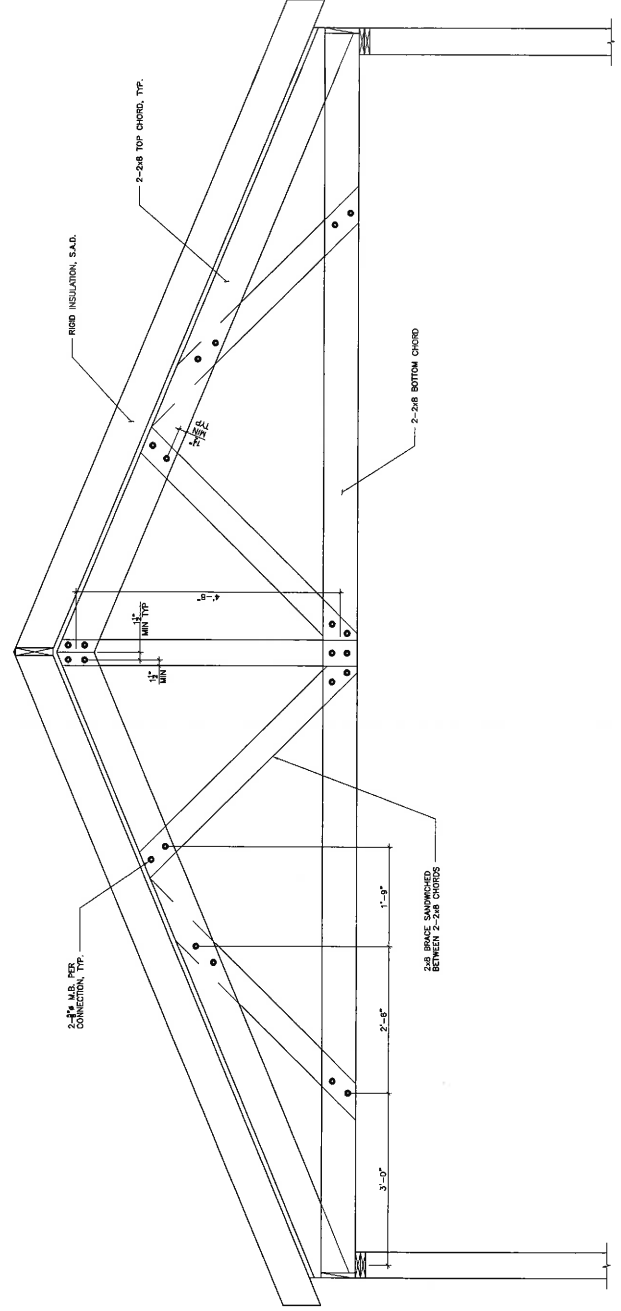
3 SECTION AT RAMP
 1'-11/2"



2 POST ON FOOTING
 NTS



1 TYPICAL SLAB ON GRADE
 NOT TO SCALE



9 ROOF TRUSS SECTION
 NOT TO SCALE

CODES
<p>ALL WORK SHALL CONFORM TO THE 2016 CALIFORNIA BUILDING CODE 2016 CALIFORNIA ELECTRICAL CODE 2016 CALIFORNIA MECHANICAL CODE & ALL MARY COUNTY CODE AMENDMENTS</p>

ZONING
<p>IP-2C ZONING DISTRICT PARCEL SIZE (5,000 SQ FT) MAXIMUM LOT COVERAGE: 35% MAXIMUM LOT COVERAGE: 35% NEW BUILDING (680 SQ FT) 1% NEW BUILDING (680 SQ FT) 1% NEW BUILDING (680 SQ FT) 1% REQUIRED FRONT SETBACK: 32' MINIMUM AVERAGE SIDEYARD SETBACKS: 10' REAR SETBACK: 3,100 SQ FT BUILDING SIZE: 1,889</p>

OCCUPANCY CALCULATIONS
<p>OCCUPANCIES: RESTAURANT, OFFICE, WINE PRODUCTION RESTAURANT: 100 SQ FT = 1 OCCUPANT OFFICE: 100 SQ FT = 1 OCCUPANT WINE PRODUCTION: 100 SQ FT = 1 OCCUPANT TOTAL OCCUPANTS: 100 SQ FT = 1 OCCUPANT OCCUPANCY LOAD: 100 SQ FT = 1 OCCUPANT 100 SQ FT (PRODUCTION) = 100 SQ FT = 1 OCCUPANT AND 100 SQ FT (OFFICE) = 100 SQ FT = 1 OCCUPANT RESTROOM REQUIREMENTS: 100 SQ FT (PRODUCTION) = 100 SQ FT = 1 OCCUPANT 100 SQ FT (OFFICE) = 100 SQ FT = 1 OCCUPANT 100 SQ FT (WINE) = 100 SQ FT = 1 OCCUPANT WASHROOMS: 1 WASHROOM (OFFICE), 1 WASHROOM (PRODUCTION), 1 WASHROOM (WINE)</p>

SCOPE OF WORK
<p>CONVERT EXISTING 2 STORY OFFICE BUILDING TO MIXED USE INCLUDING OFFICES, AND WINE TASTING AREA. ADD NEW DECKS AND NEW TWO STORY 270 x 310' BUILDING FOR USE AS WINE PRODUCTION, STORAGE AND CARE SEATING. ADD NEW ELEVATOR BATHROOMS AND RAMP FOR ADA COMPLIANT ACCESSIBILITY.</p>

INDEX
<p>01 SITE PHOTOS & NOTES 02 NEW SITE PLAN 03 NEW LANDSCAPE PLANS 04 NEW LOWER FLOOR PLANS 05 NEW UPPER FLOOR PLANS 06 NEW UPPER ELECTRICAL PLANS 07 NEW UPPER MECHANICAL PLANS 08 EAST FRONT ELEVATIONS 09 SOUTH (SIDE) ELEVATIONS 10 WEST (REAR) ELEVATIONS 11 TRASH ENCLOSURE 12 CARE & WINE BARN INTERIORS 13 DOWNSTAIRS BATHROOM INTERIORS 14 DOWNSTAIRS BATHROOM SECTIONS 15 RAMP DECK & GUARDRAIL DETAILS 16 FINISH DETAILS 17 SPECIFICATIONS</p>
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<p>DRAWN: A/M/C</p>	<p>499 DEVLIN ROAD TUBES, CA 94558 415.260.6648 rtharrt@vmmcellars.com</p>	<p>Site Photo & Index</p>	<p>0.1 1/2" = 1'-0"</p>
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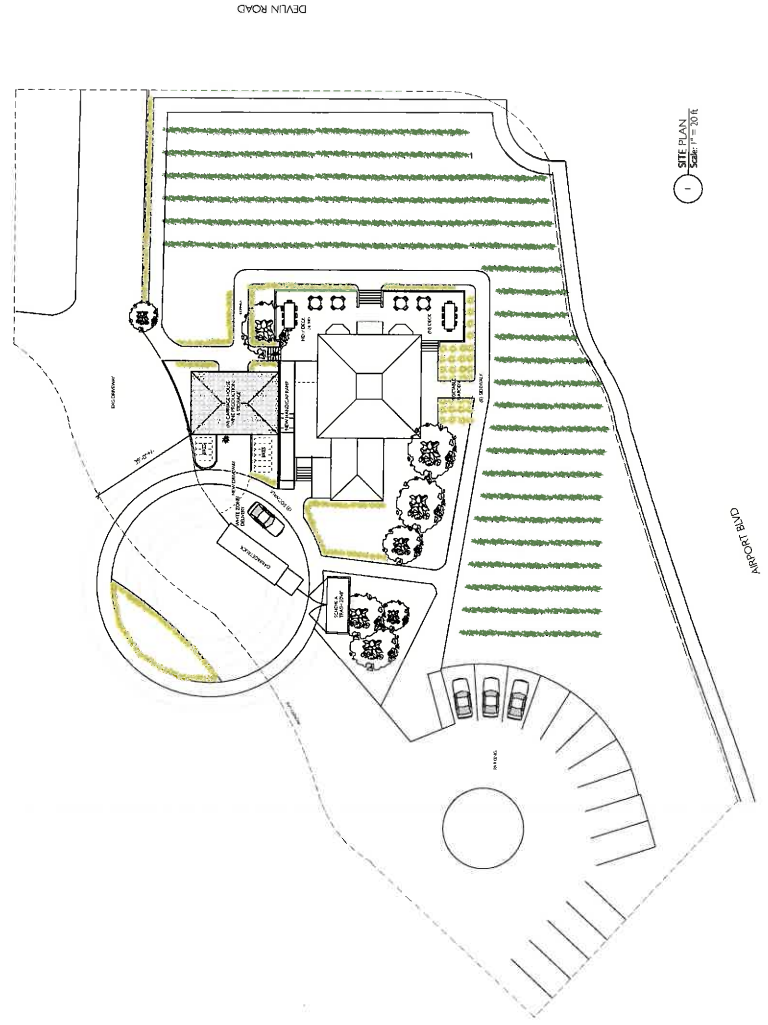


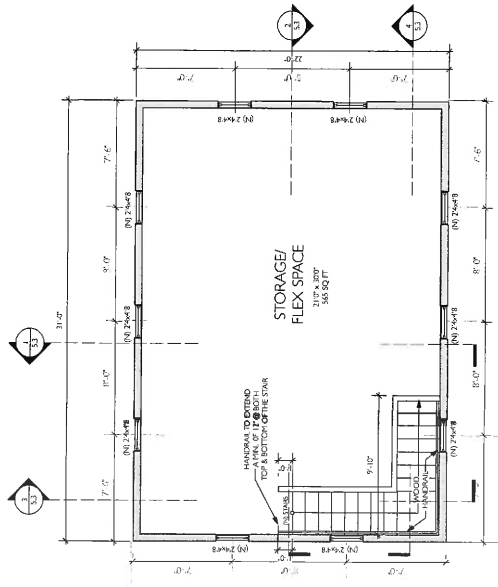
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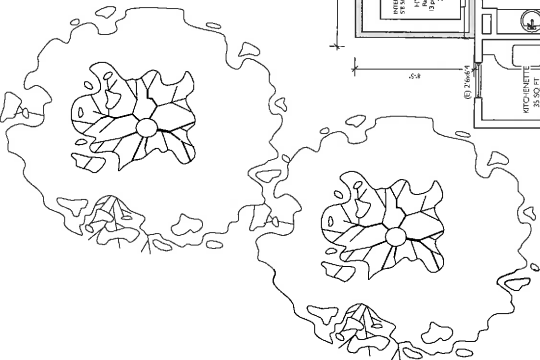
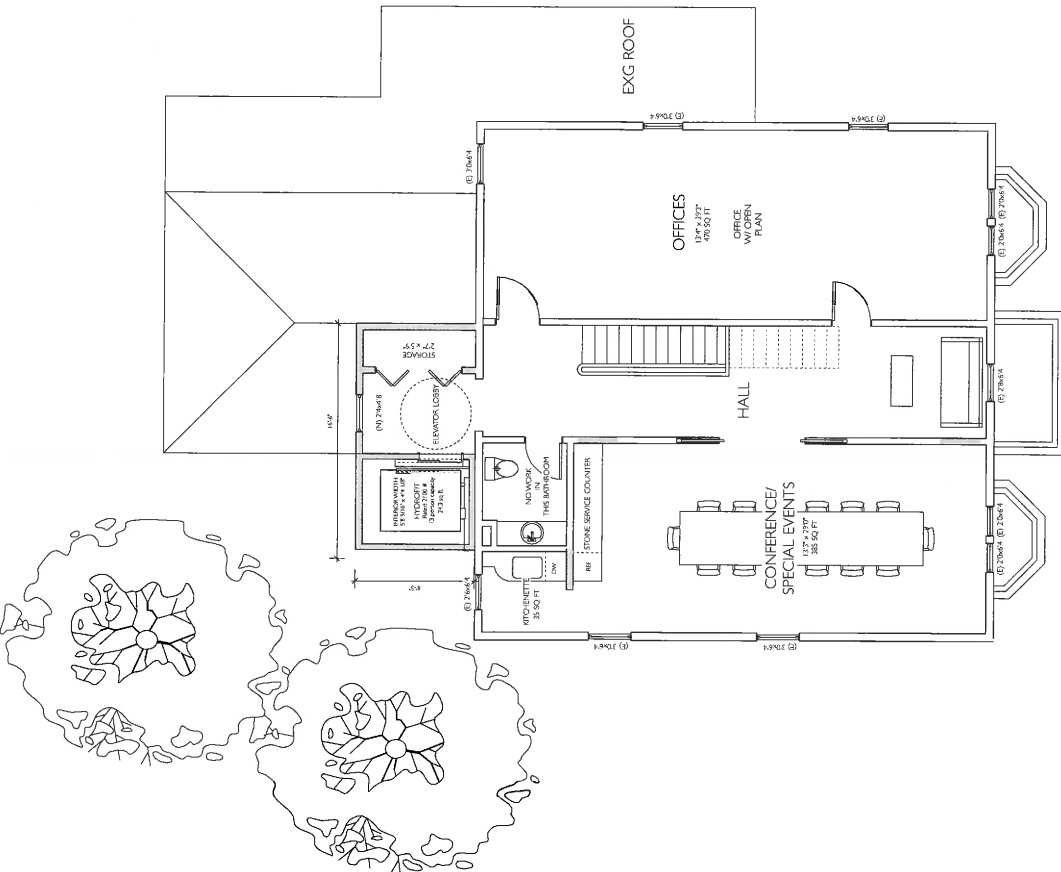
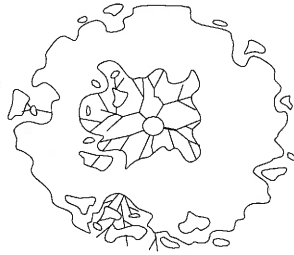
499 DEVLIN ROAD

0.2 SHEET 0.2000	 N Scale: 1" = 20'	NEW SITE PLAN	VINUM CELLARS richard@vinumcellars.com 415.260.6648 499 Cheliff Road Napa, CA 94558	MCAF ARCHITECTURE & DESIGN Michael Cornelli, Architect 1 Arkansas St. Suite D2 San Francisco, CA 94107 415.640.4905 mkc@cornellmcafd@gmail.com
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1 NEW UPPER FLOOR PLAN
Scale: 1/4" = 1'-0"



LEGEND - ELECTRICAL PLAN

- LED RECESSED DOWNLIGHT
- LED DIRECTIONAL COMBIBOYT
- PENDANT CEILING LIGHT
- W/RECESSED DOWNLIGHT
- WALL MOUNTED LIGHT FIXTURE
- EXHAUST FAN
- LED UNDER-COUNTER FIXTURE
- PHOTOEYE OCCUPANCY SENSORS
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCHING
- DIMMABLE OCCUPANCY SENSOR
- OCCUPANCY SENSOR
- WALL RECEPTACLE
- SMOKE DETECTOR
- LED ENTRY LIGHTING

LIGHTING & ELECTRICAL NOTES

COORDINATE LOCATIONS & MOUNTING HEIGHTS OF DOWNLIGHT FIXTURES WITH ARCHITECT'S LIGHTING LOCATIONS & MOUNTING HEIGHTS. ALL DIMENSIONS TO FACE OF FINISH.

SMOKE DETECTOR SHALL BE DETECTORS WITH PHOTOEYE OCCUPANCY SENSORS. PHOTOEYE OCCUPANCY SENSORS SHALL BE DETECTORS WITH PHOTOEYE OCCUPANCY SENSORS.

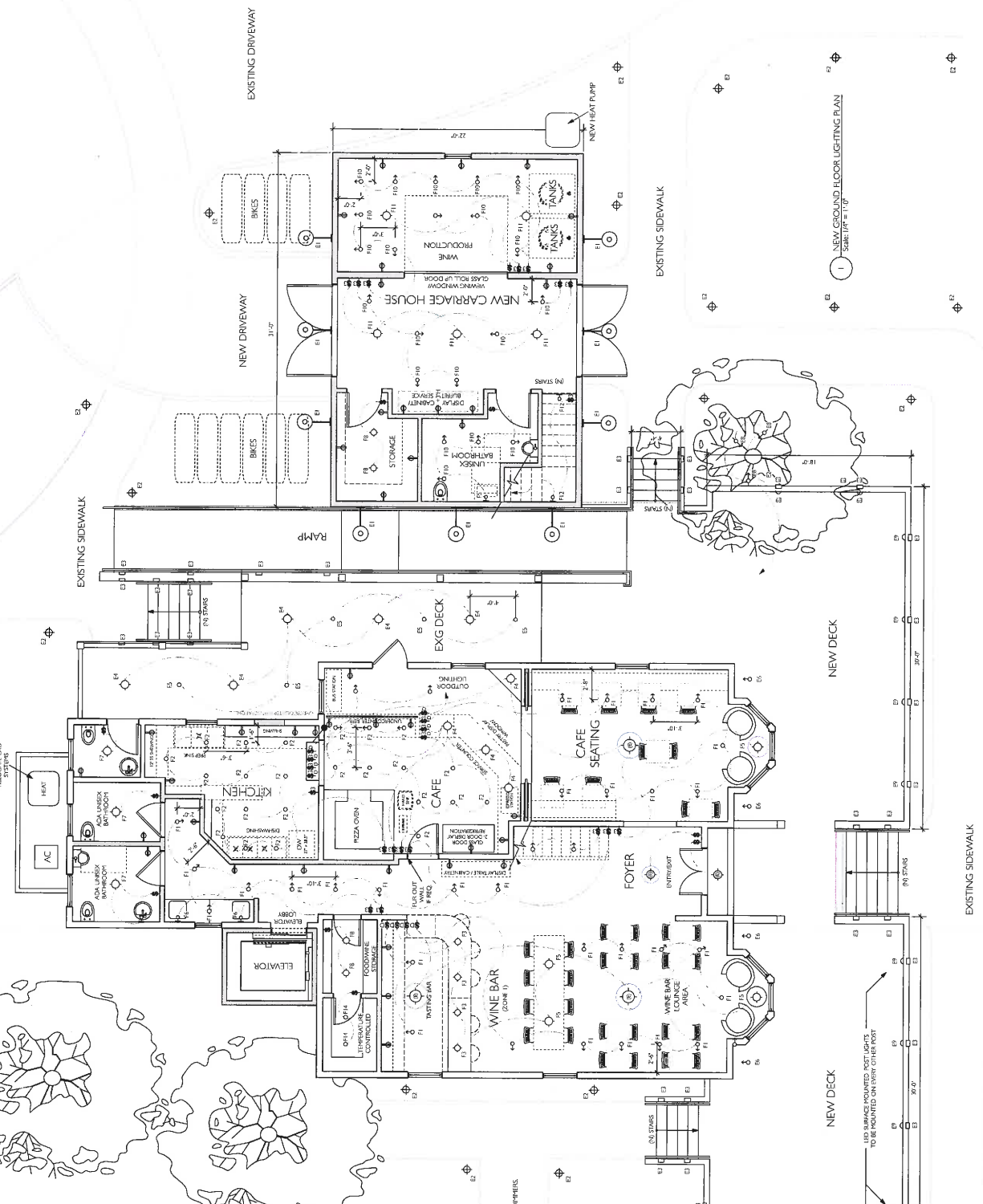
ALL 120VOLT, 14- AND 20-AMP RECEPTACLE OUTLETS SHALL BE USED IN RESIDENTIAL TYPE DWELLINGS.

AT KITCHEN PROVIDE EXHAUST FAN FOR LOCAL VENTILATION. PROVIDE EXHAUST FAN WITH PHOTOEYE OCCUPANCY SENSOR. PROVIDE EXHAUST FAN WITH PHOTOEYE OCCUPANCY SENSOR.

AT BATHROOM PROVIDE EXHAUST FAN FOR LOCAL VENTILATION. PROVIDE EXHAUST FAN WITH PHOTOEYE OCCUPANCY SENSOR.

AT BATHROOM PROVIDE EXHAUST FAN FOR LOCAL VENTILATION. PROVIDE EXHAUST FAN WITH PHOTOEYE OCCUPANCY SENSOR.

AT BATHROOM PROVIDE EXHAUST FAN FOR LOCAL VENTILATION. PROVIDE EXHAUST FAN WITH PHOTOEYE OCCUPANCY SENSOR.



Scale: 1/8" = 1'-0"

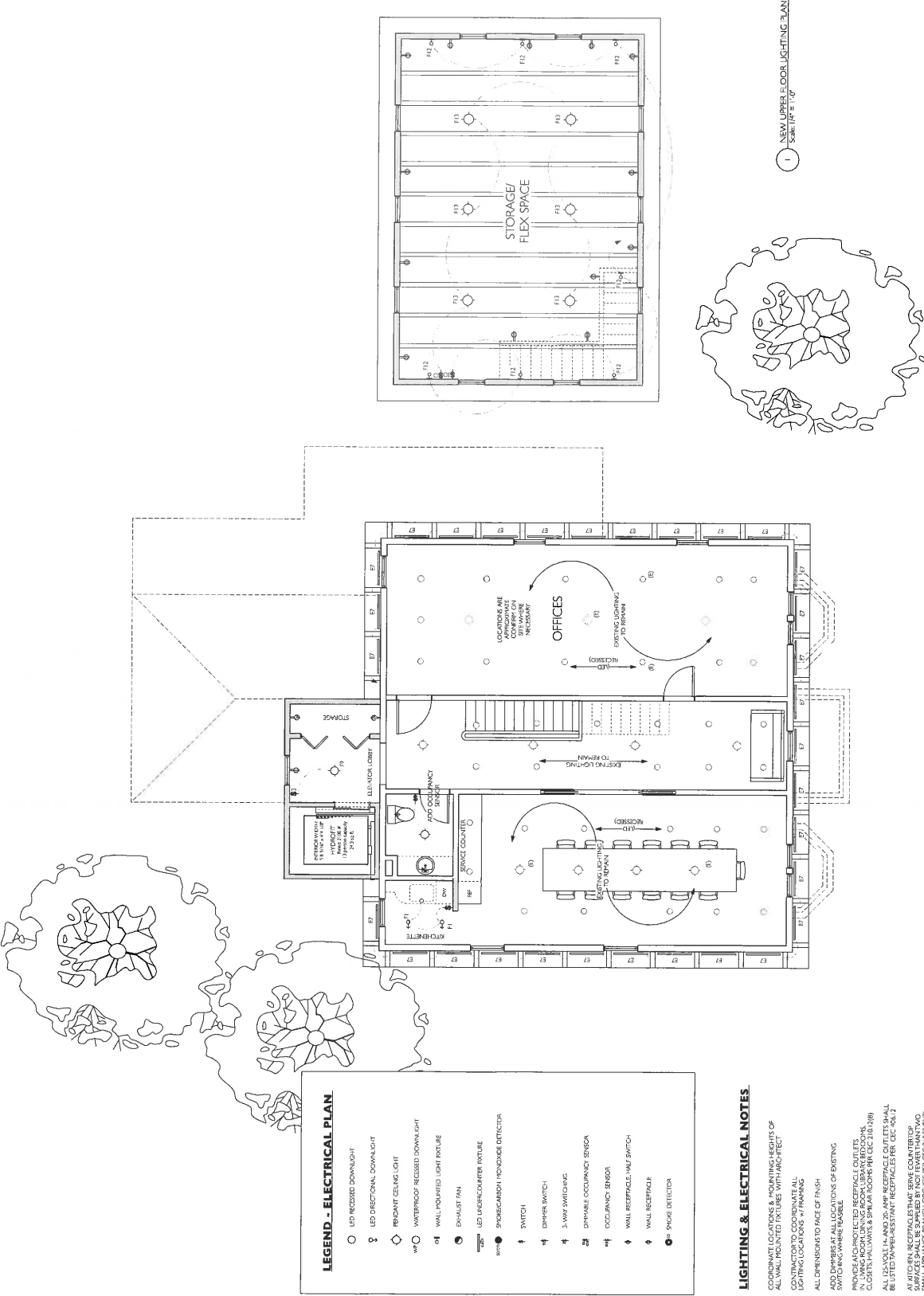
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10-23-17

NEW LOWER FLOOR ELECTRICAL PLANS

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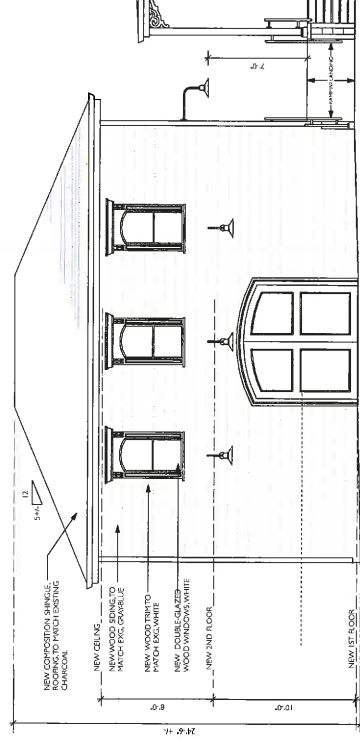
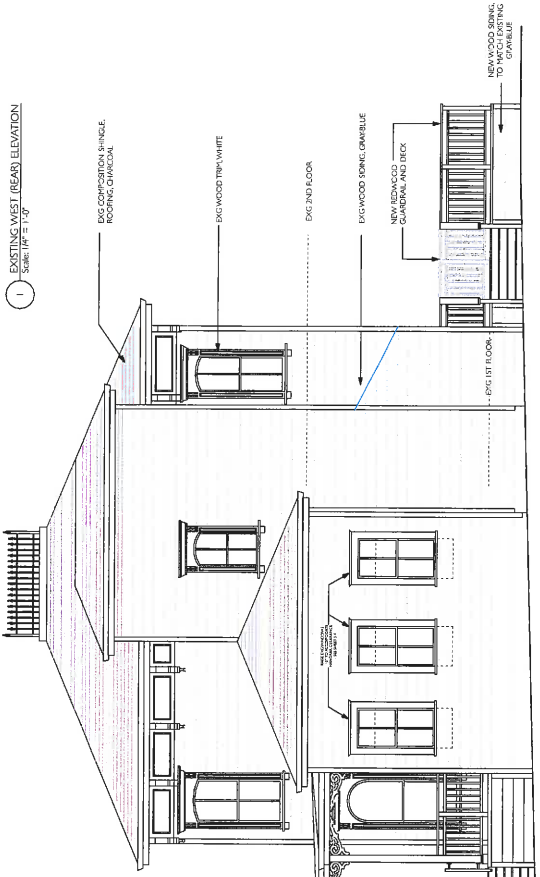


LEGEND - ELECTRICAL PLAN

- LED NEEDED DOWNLIGHT
- ◐ LED DIRECTIONAL DOWNLIGHT
- ◇ PENDANT CEILING LIGHT
- ⊙ WATERPROOF RECESSED DOWNLIGHT
- ⊙ WALL MOUNTED LIGHT FIXTURE
- ⊙ EXHAUST FAN
- ⊙ LED UNDERCOUNTER FIXTURE
- ⊙ SMOKE/CO/NO/IONIZATION DETECTOR
- ⊙ SWITCH
- ⊙ DIMMER SWITCH
- ⊙ 3-WAY SWITCHES
- ⊙ DIMMABLE OCCUPANCY SENSOR
- ⊙ OCCUPANCY SENSOR
- ⊙ WALL RECEPTACLE HALF SWITCH
- ⊙ WALL RECEPTACLE
- ⊙ SMOKE DETECTOR

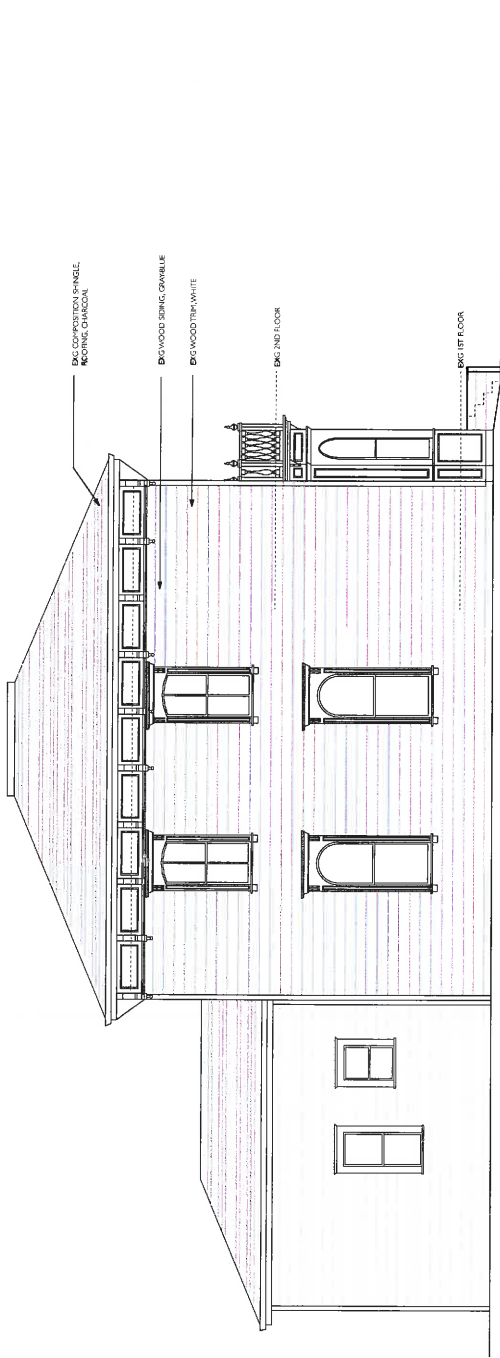
LIGHTING & ELECTRICAL NOTES

1. COORDINATE LOCATIONS & HANGING HEIGHTS OF ALL WALL MOUNTED FIXTURES WITH ARCHITECT CONTRACTOR TO COORDINATE ALL LIGHTING LOCATIONS w/ FINISHING.
2. ALL DIMENSIONS TO FACE OF FINISH SWITCHING WHERE FRASSE.
3. ADD DIMMER AT ALL LOCATIONS OF EXISTING PROVIDE PROTECTED RECEPTACLE OUTLETS IN ALL ROOMS INCLUDING BATHS, BREAK ROOMS, CLOAKING ROOMS, AND STORAGE ROOMS (R). ALL LED LIGHTING SHALL BE INSTALLED PER IBC 901.2.1. ALL LED LIGHTING SHALL BE LISTED TO THE ASSISTANT RECEPTACLE PER IBC 901.2.1. ALL LED LIGHTING SHALL BE INSTALLED PER IBC 901.2.1. ALL LED LIGHTING SHALL BE INSTALLED PER IBC 901.2.1.
4. AT KITCHEN RECEPTACLE, FIVE COORDINATE SURFACES SHALL BE SUPPLIED BY NOT FURTHER THAN TWO SURFACES SHALL BE HIGH-EFFICACY OR SHALL BE CONTROLLED BY OTHER DIMMABLE DIMMABLE SENSORS, AS REQUIRED PER IBC 901.2.1.1.
5. ALL LED LIGHTING FIXTURES SHALL BE RATED AS HIGH-EFFICACY PER IBC 901.2.1.1.

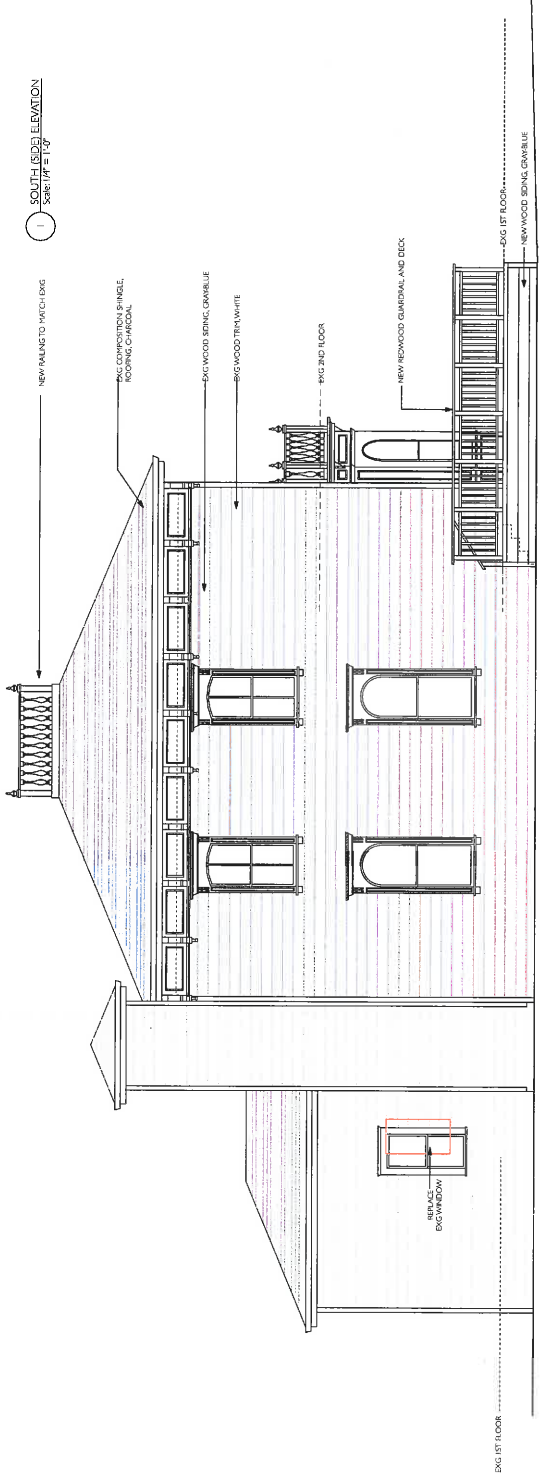


2 NEW WEST (REAR) ELEVATION
 Scale: 1/4" = 1'-0"

NEW CARRIAGE HOUSE
 Scale: 1/4" = 1'-0"

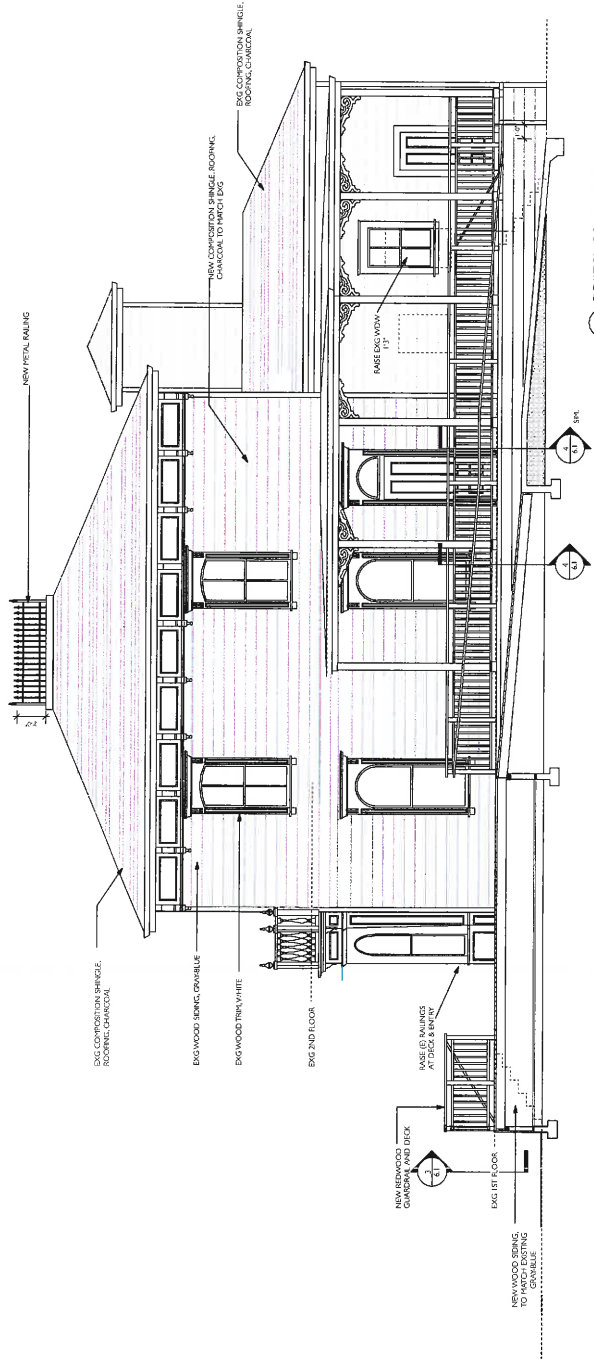


1 SOUTH SIDE ELEVATION
 Scale: 1/4" = 1'-0"

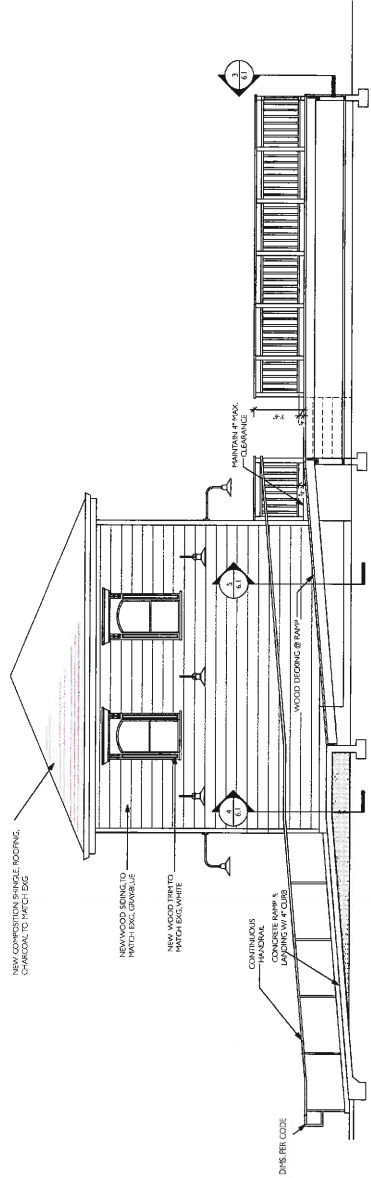


1 SOUTH SIDE ELEVATION
 Scale: 1/4" = 1'-0"

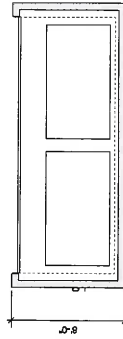
ENG 1ST FLOOR



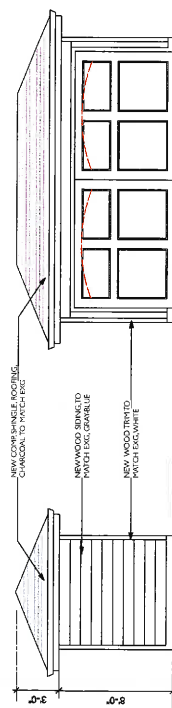
2. ELEVATION @ RAMP - SOUTH
Scale: 1/4" = 1'-0"



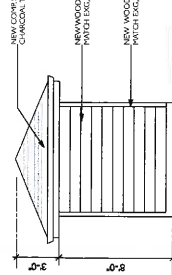
1. ELEVATION @ RAMP - NORTH
Scale: 1/4" = 1'-0"



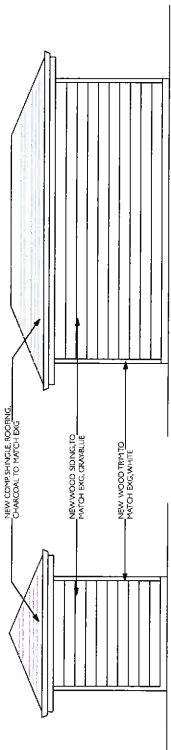
1 PANEL TRASH ENCLOSURE
Scale: 1/4" = 1'-0"



7 ELEVATION @ TRASH ENCLOSURE - NORTH
Scale: 1/4" = 1'-0"

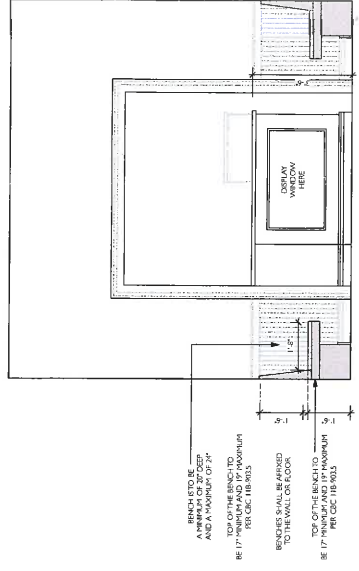


3 ELEV @ TRASH ENCLOSURE - EAST
Scale: 1/4" = 1'-0"

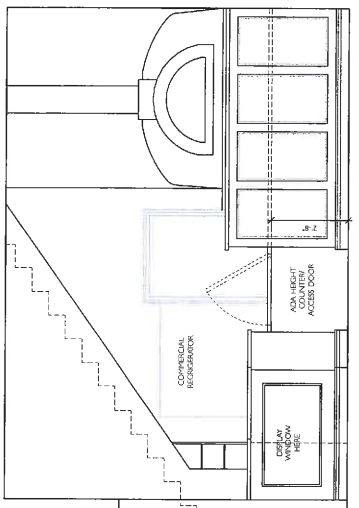


5 ELEV @ TRASH ENCLOSURE - WEST
Scale: 1/4" = 1'-0"

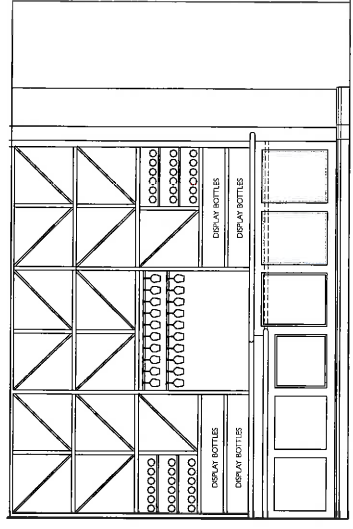
4 ELEVATION @ TRASH ENCLOSURE - SOUTH
Scale: 1/4" = 1'-0"



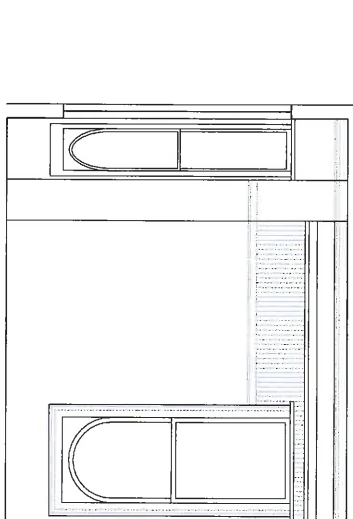
5 MAIN FLOOR ELEVATION @ CAFE - WEST
Scale: 1/2" = 1'-0"



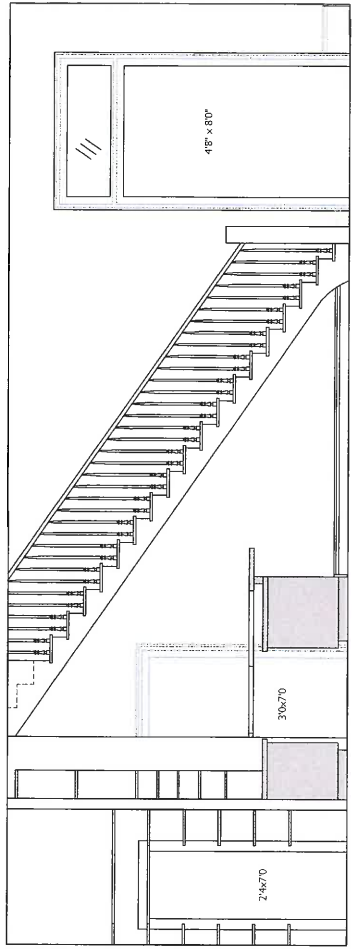
6 MAIN HOUSE ELEVATION @ CAFE - SOUTH
Scale: 1/2" = 1'-0"



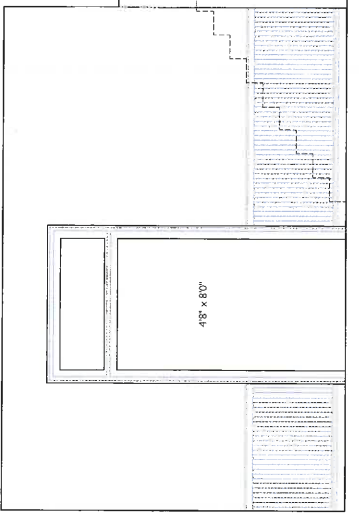
3 TASTING BAR ELEVATION - WEST
Scale: 1/2" = 1'-0"



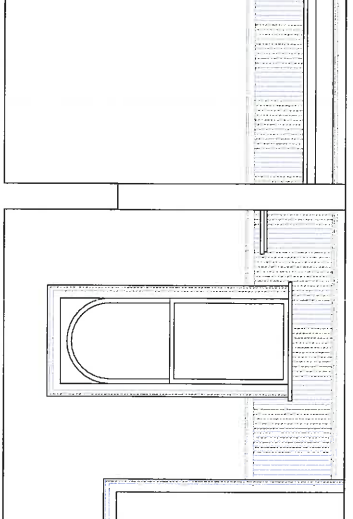
4 MAIN FLOOR ELEVATION @ CAFE - NORTH
Scale: 1/2" = 1'-0"



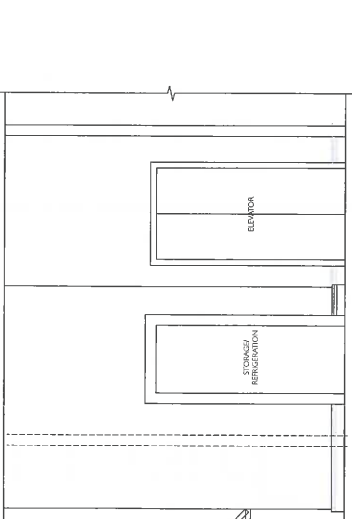
1 TASTING BAR ELEVATION - NORTH
Scale: 1/2" = 1'-0"



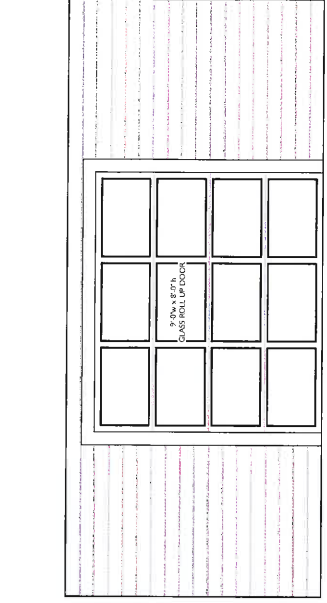
2 TASTING BAR ELEVATION - SOUTH
Scale: 1/2" = 1'-0"



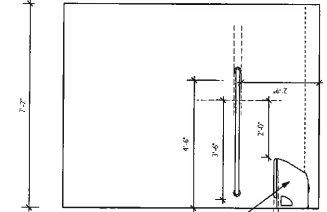
7 TASTING BAR ELEVATION - SOUTH
Scale: 1/2" = 1'-0"



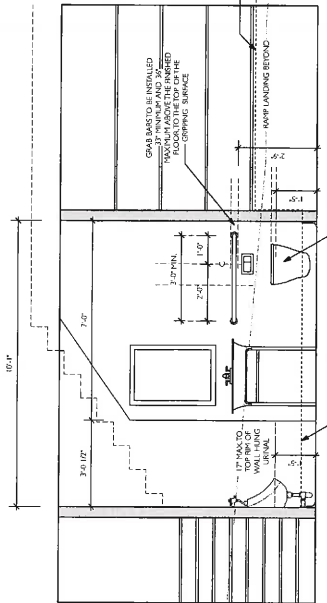
2 TASTING BAR ELEVATION - SOUTH
Scale: 1/2" = 1'-0"



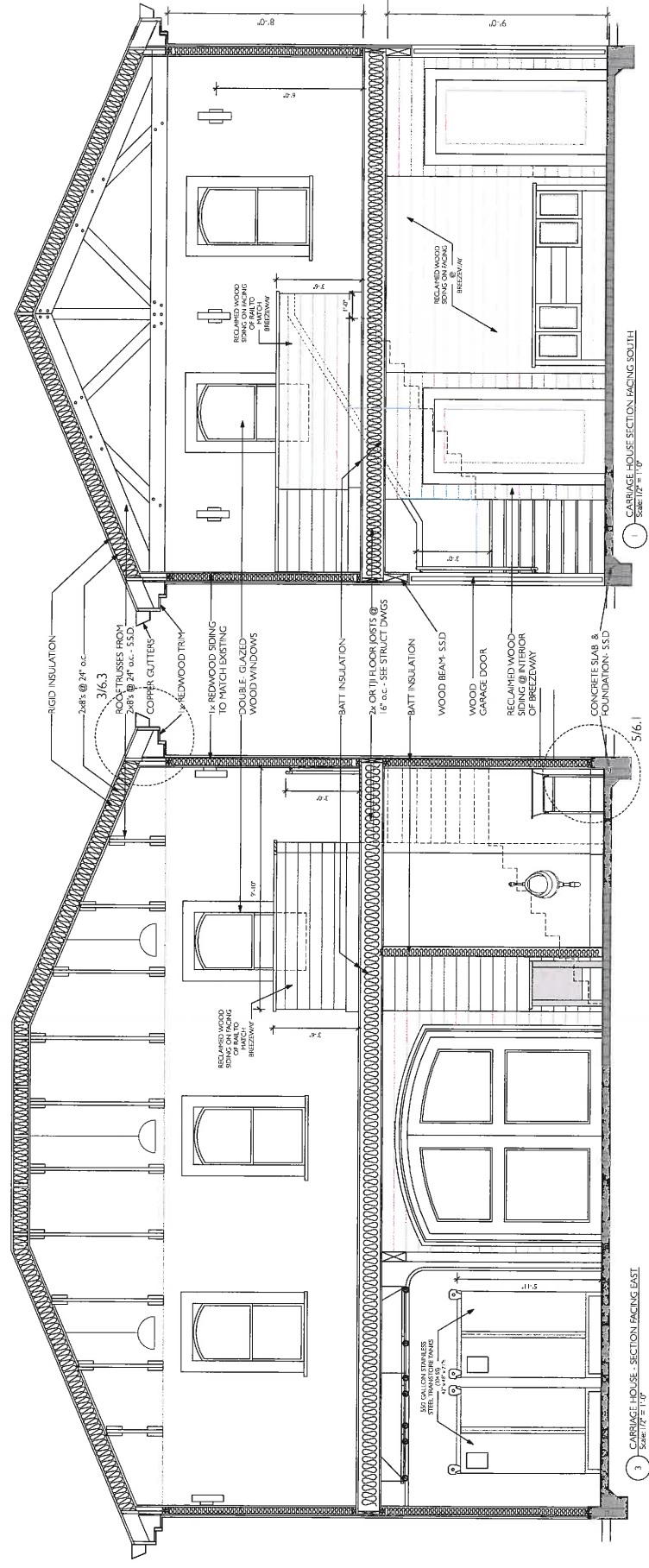
3 CARRIAGE HOUSE - NORTH ELEVATION
Scale: 1/2" = 1'-0"



4 BATHROOM WEST ELEVATION
Scale: 1/2" = 1'-0"



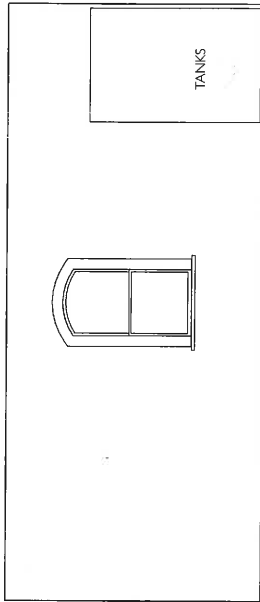
5 CARRIAGE HOUSE @ BATHROOM - SOUTH ELEVATION
Scale: 1/2" = 1'-0"



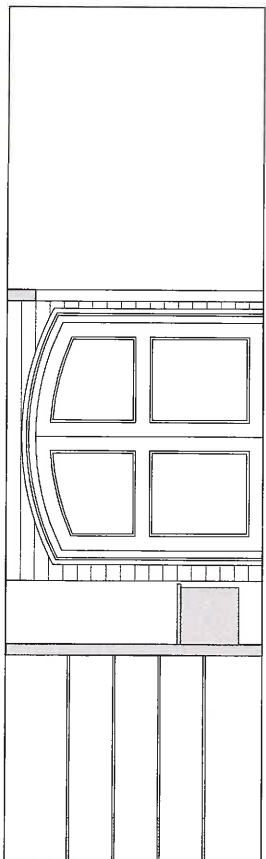
1 CARRIAGE HOUSE SECTION FACING SOUTH
Scale: 1/2" = 1'-0"

3 CARRIAGE HOUSE - SECTION FACING EAST
Scale: 1/2" = 1'-0"

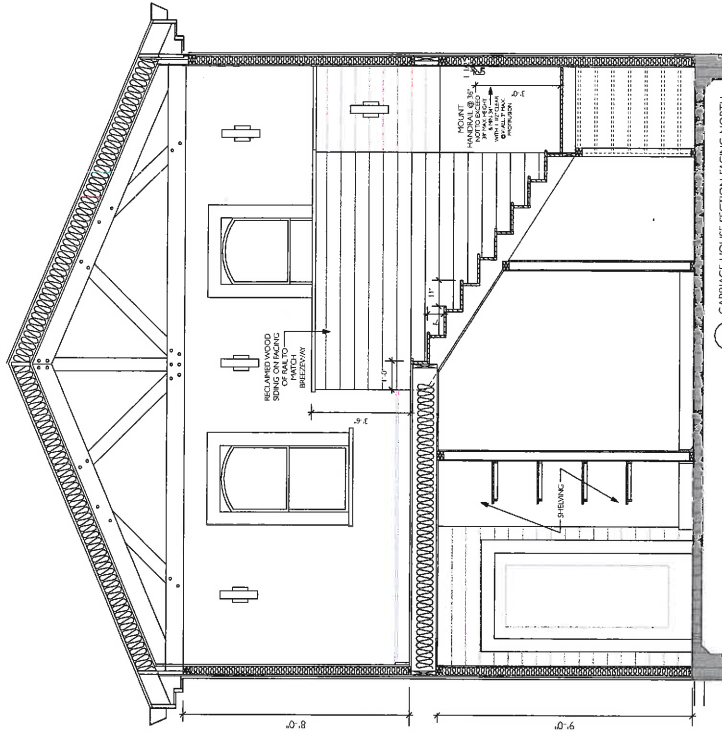
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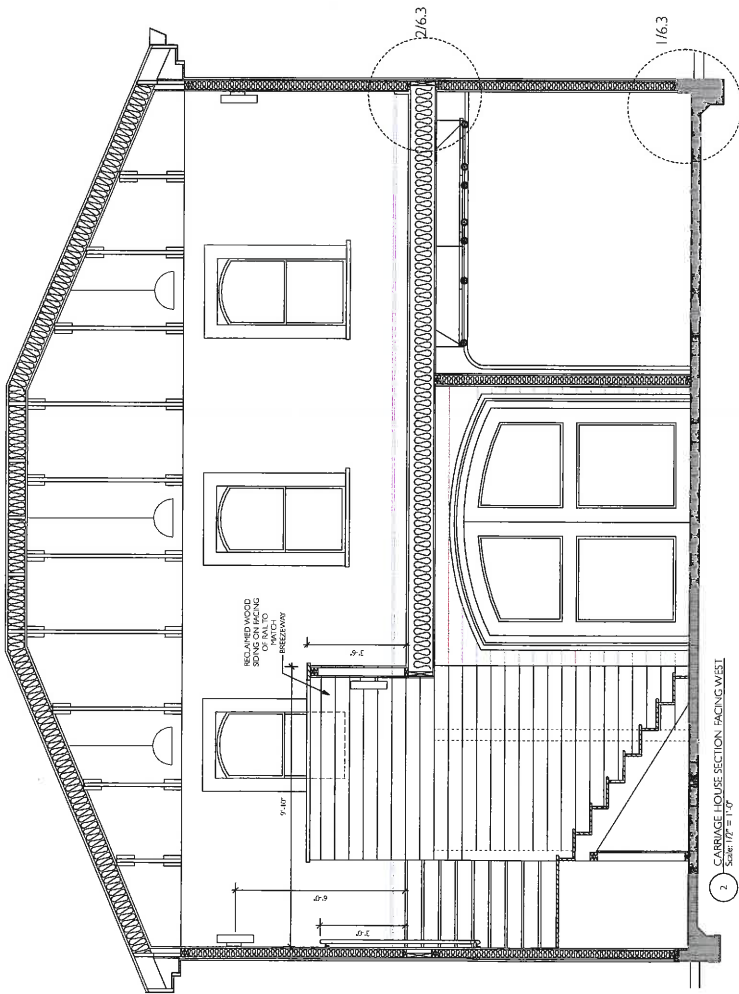
3 CARRIAGE HOUSE - WINE PRODUCTION NORTH ELEVATION
 Scale: 1/2" = 1'-0"



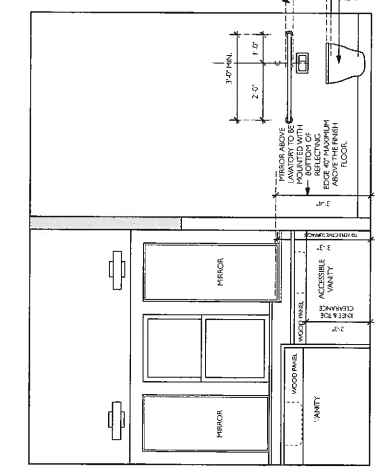
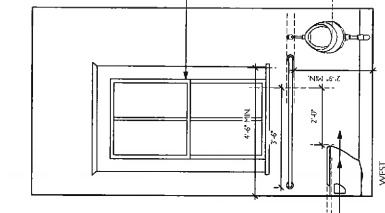
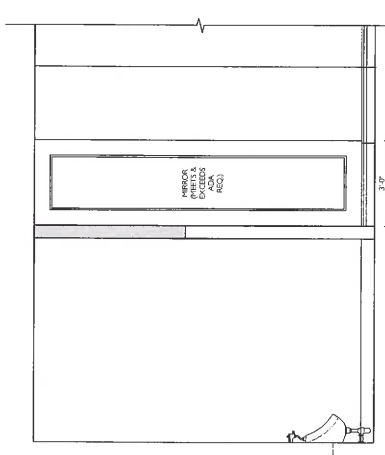
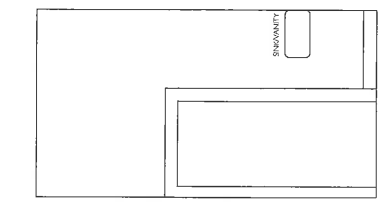
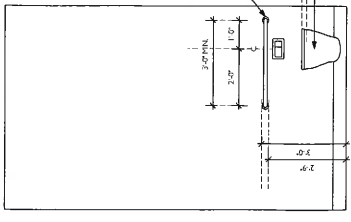
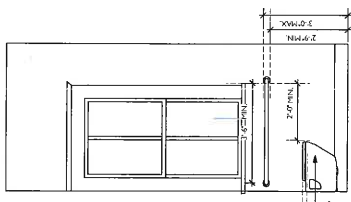
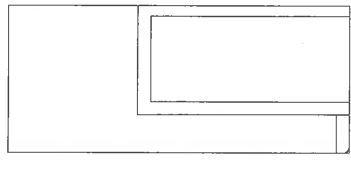
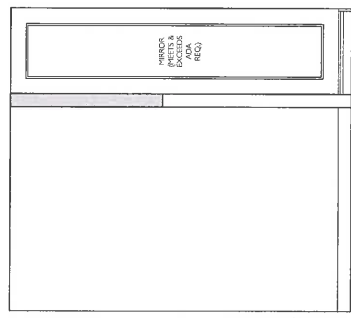
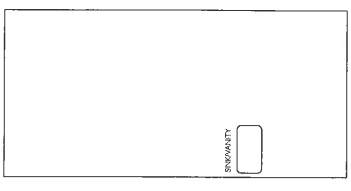
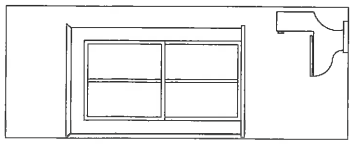
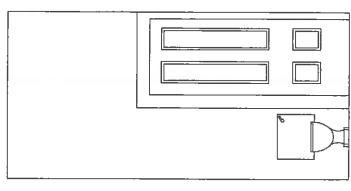
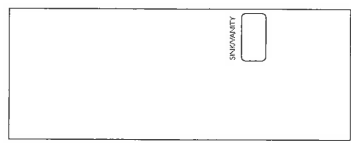
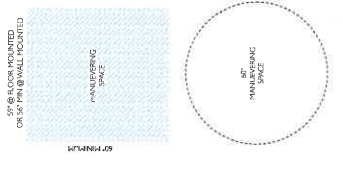
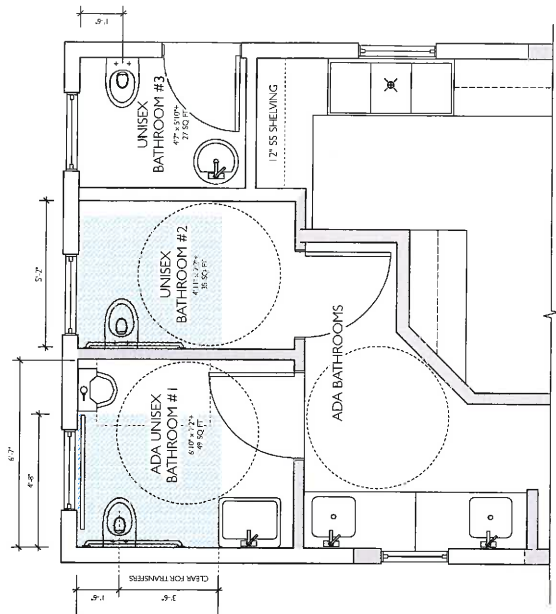
4 CARRIAGE HOUSE - WINE PRODUCTION WEST ELEVATION
 Scale: 1/2" = 1'-0"



3 CARRIAGE HOUSE SECTION FACING NORTH
 Scale: 1/2" = 1'-0"



2 CARRIAGE HOUSE SECTION FACING WEST
 Scale: 1/2" = 1'-0"



5 PLAN @ BATHROOMS
Scale: 1/2" = 1'-0"

6 BATHROOM #2 ELEVATIONS - NORTH
Scale: 1/2" = 1'-0"

7 #2 BATHROOM - EAST
Scale: 1/2" = 1'-0"

8 #2 BATHROOM - EAST
Scale: 1/2" = 1'-0"

9 BATHROOM #2 - SOUTH
Scale: 1/2" = 1'-0"

1 BATHROOM #1 ELEVATIONS - EAST
Scale: 1/2" = 1'-0"

2 BATHROOM #1 & HALLWAY ELEVATIONS - NORTH
Scale: 1/2" = 1'-0"

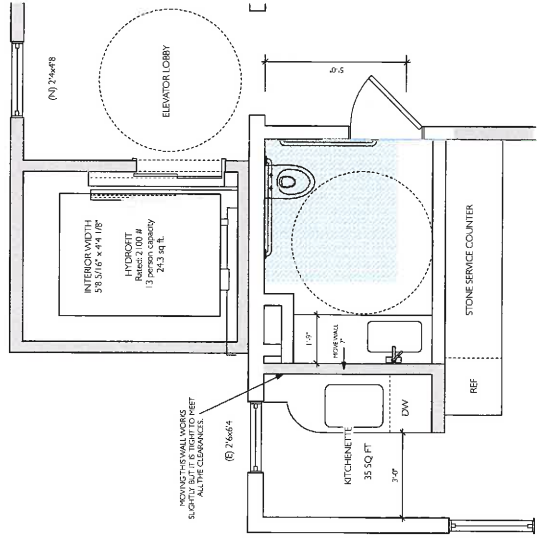
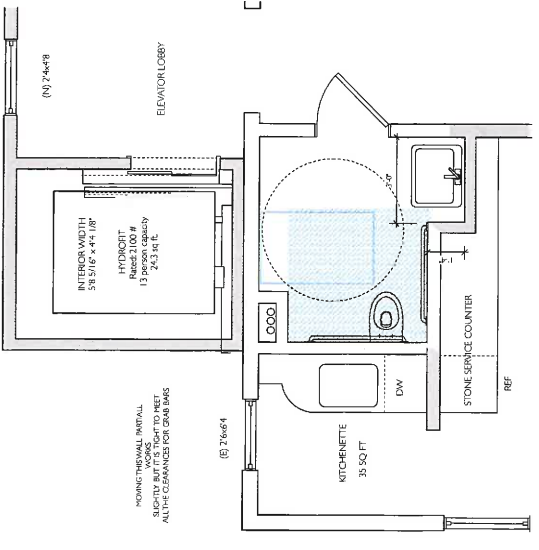
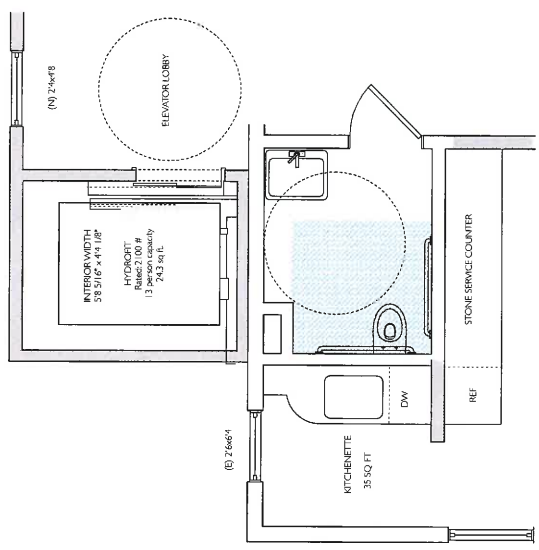
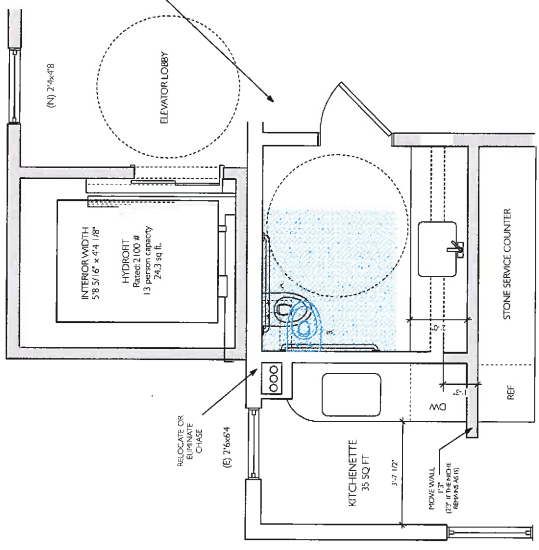
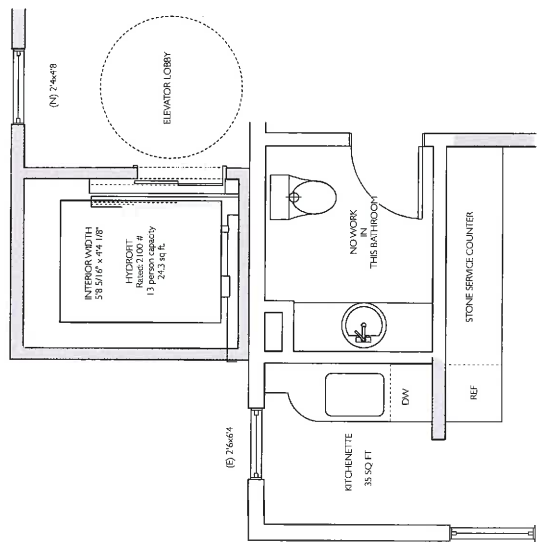
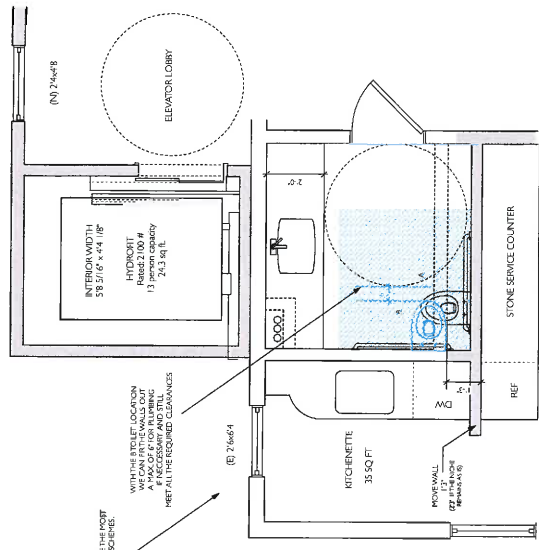
3 BATHROOM #1 ELEVATIONS - WEST
Scale: 1/2" = 1'-0"

4 BATHROOM #1 & VANITY ELEVATIONS - SOUTH
Scale: 1/2" = 1'-0"

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richard@vilmcellars.com

Interior Elevations at Bathrooms



SPECIFICATIONS

1. **GENERAL NOTES:**
 - A) All work shall comply with the California Building Code, 2016 edition, and any other codes, rulings, or regulations having jurisdiction over the project.
 - B) The General Contractor is responsible for checking Contract Documents, field conditions, grades, and dimensions for accuracy and confirming that work is buildable before proceeding with construction. The General Contractor shall obtain all necessary construction permits required. Any discrepancies shall be called to the attention of the Architect and Structural Engineer prior to construction. The General Contractor shall provide a weather-tight and secure enclosure at exterior openings, including but not limited to, windows, skylights, and doors to meet industry quality certification standards. All windows and foreign substances, cleaning of site, and removal of waste and surplus materials from the site. At a time of final inspection, homeowner manual to be provided including green measures and benefits per CalGreen Section 4.4.10.1
2. **STEELWORK:**
 - A) All excavation shall be the responsibility of the Contractor. All excavation shall conform to the Building Code, the Structural specifications, and any other rules and regulations having jurisdiction. Contractor to notify Architect and Structural Engineer if field conditions differ from drawings. Damage to building, adjacent properties, or utilities shall be restored, repaired, or replaced. The Contractor shall provide temporary shoring to maintain integrity of the structure and protect life until new work is installed. All steelwork shall be in accordance with ASTM A615, S480, and A36. Steel shall be galvanized to meet the requirements of the Building Code. Contractor to provide protection from inclement weather while building is exposed. CalGreen Six requirements: Separate debris so that it meets appropriate recycling standards. Separate concrete and masonry, wood, and metal for recycling. Recycle 50% of job site construction and demolition waste, and donate unused materials. Contractor to implement storm water drainage & retention during construction. Install automatic irrigation controllers, and minimize disruption of existing plants and trees during construction.
3. **CONCRETE AND REINFORCEMENT:**
 - A) Perform cast-in-place concrete work in accordance with applicable ACI standards, the California Residential Building Code, and the Association standards for fabrication and installation. Install all work plumb and level. Provide solid 2x blocking between all joists and beams. Reinforcing shall be in accordance with ASTM A615, S480, and A36. Steel shall be galvanized to meet the requirements of the Building Code. Protect annular spaces around openings in exterior wall per Cal Green standards.
5. **METALS:**
 - A) Study and install metal fabrications, complete with attachments necessary for installation. Take field measurements prior to preparation of shop drawings and fabrication, where possible. All work to comply with the Structural Engineer's specifications, the California Residential Building Code and the American Welding Society Structural Welding Code. Submit shop drawings for fabrication and erection of metal fabrications, to indicate profiles, sizes, connection, & reinforcing. Grind smooth all welds. Install all work square and level.
6. **WOOD AND FASTENINGS:**
 - A) Rough carpentry to conform with the California Building Code, and applicable recommendations of the National Forest Products Association standards for fabrication and installation. Install all work plumb and level. Provide solid 2x blocking between all joists and beams. All framing lumber to be Douglas Fir or Tress Joists, per Structural Engineer's specifications.
 - B) Beams and headers to be PSJ Lumber, per Structural Engineer's specifications. Light framing to be standard or better. Posts and all horizontal framing to be Doug Fir #1. Lumber to be without splits, warps, or otherwise defective. Reinforce members damaged during construction with approved repair materials, as required, including but not limited to, shoring, bracing, and bolting. Arrange all joists and horizontal members with care to avoid, prevent, and control moisture. Allow framing to dry for as long as feasible before enclosing to reduce conditions favorable to growth of mold, and check moisture content before enclosure. Bolts shall be in accordance with ASTM A307. Nailing and bolting shall be in accordance with the requirements of the California Building Code.
 - C) All steelwork shall be galvanized to meet the requirements of the Building Code. Fasten in accordance with the manufacturer's Structural Engineer's specifications. Sheathing shall be as noted on Structural drawings. GUL-AM PCS beams shall be in accordance with the Structural Engineer's specifications. Finish carpentry to be installed plumb, level, and true. Scribe and cut for accurate fit, to other finished work. Acceptable materials for interior millwork: poplar, finger-jointed pine or redwood. Sand work smooth and set exposed nails and screws, and apply wood filler. Finish in accordance with specified requirements.
7. **THERMAL AND MOISTURE PROTECTION:**
 - A) Furnish and install all labor and materials needed to provide a complete weathertight and waterproof system in compliance with the California Building Code, and applicable recommendations of the National Forest Products Association standards, and install as recommended by manufacturer, cover 75# asphalt impregnated felt. Acceptable manufacturers: CertainTeed, GAF, or others as approved. The complete installation of the roofing, including felts, flashing, and counterflashing, shall be in complete accordance with the manufacturer's and the National Roofing Contractors Association standards and recommendations, and the manufacturer's and the National Roofing Contractors Association standards and recommendations, and the manufacturer's and the National Roofing Contractors Association standards and recommendations. Install per manufacturer's recommendations and industry standards. Provide waterproofing at exterior of all below-grade walls. All sub-grade waterproofing and drainage to conform with the Soil Report recommendations.
 - B) Fabricate and install flashing in accordance with SMOQMA Architectural Sheet Metal Manual. Apply sealing compound at exterior of all openings, including but not limited to, windows, skylights, and doors to meet industry quality certification standards, and install as recommended by manufacturer, cover 75# asphalt impregnated felt. Acceptable manufacturers: CertainTeed, GAF, or others as approved. The complete installation of the roofing, including felts, flashing, and counterflashing, shall be in complete accordance with the manufacturer's and the National Roofing Contractors Association standards and recommendations, and the manufacturer's and the National Roofing Contractors Association standards and recommendations. Install per manufacturer's recommendations and industry standards. Provide waterproofing at exterior of all below-grade walls. All sub-grade waterproofing and drainage to conform with the Soil Report recommendations.
 - C) Provide R-15 insulation at exterior wood stud walls, and R-30 batt insulation at ceiling, R-19 batt insulation at floor at new work, as shown on plans. Install foil-faced side in walls and ceiling toward interior. Install snugly between framing members. Carefully cut and fit insulation around pipes and other obstructions. Install after building is weather-tight and outside or rainy season insulation to be cotton batts. The complete installation of the insulation shall conform to the manufacturer's specifications and the California Building Code. Select materials for compatibility with surfaces and exposures.
 - D) Caulk all penetrations with suitable caulk and methods. Select materials for compatibility with surfaces and exposures. Comply with manufacturer instructions for installation and ASTM G804. Sealants and caulks to meet CalGreen standards.

8. **DOORS AND WINDOWS:**
 - A) Contractor to install new doors and windows to dimensions given on plans. Weatherstrip all exterior doors and windows. Recommendations for wood frame construction. Exterior windows and french doors to be double glazed. Interior doors or vinyl, as shown on plans. Acceptable manufacturers: Marvin, Pella, or Anderson. Interior doors to be panel doors, to match existing. Salvage existing doors as shown on plans. New windows in bathrooms to be Vinyl "Migard." Skylights to be tempered glass. All windows, skylights, and doors to meet industry quality certification standards. All windows, skylights, and doors to be installed in accordance with the manufacturer's specifications and industry standards. All windows and glazing shall be accepted and proven construction methods. Coordinate all windows and doors with Architect. All windows and glazing shall conform to the California Building Code and the California Energy Conservation Standards.
9. **FINISHES:**
 - A) Contractor to provide new gyproc at all new walls and ceilings, to thickness as required by code. Gyproc to be taped, free from imperfections, with texture to match existing. Provide mitered edges and "J" clips at all exposed edges. Install per U.S. Gyproc Construction Handbook guidelines and specifications, and ASTM C754 and ASTM C840.
 - B) Provide new wood flooring, and salvage existing wood flooring and reuse, where shown on drawings. Sand new wood flooring to match existing wood flooring. Provide new wood base and wood trim at interior walls, to match existing adjacent wood trim. Refinish all existing wood flooring.
 - C) Contractor to provide and install new "Marmoleum" sheet flooring at kitchen and adjacent laundry room and bathroom, as shown on plans. Installation to be in conformance with manufacturer's specifications and industry standards. Coordinate all materials and finishes with Architect. Allow \$10.00/sq ft for stone or tile material, materials as determined by Owner. Perform work neatly and accurately. Stone counters and backsplashes to be provided by Owner, installed by Contractor. Install per industry recommendations and specifications.
 - D) Provide new interior doors and windows with show on plans, pattern to match existing wood siding. Install over building exterior sheathing and insulation. Provide new exterior doors and windows with show on plans, pattern to match existing wood siding. Provide new exterior doors and windows with show on plans, pattern to match existing wood siding. Install per industry recommendations and specifications.
 - E) Provide paint, or painted surfaces at all new and adjacent interior and exterior surfaces. Color to be determined by Owner. Acceptable manufacturers: Kelly-Moore, Sherwin Williams, Benjamin Moore, Fuller-O'Brien, Glidden. Painting preparation and application to be per industry standards and manufacturer's specifications for substrate condition. Protect existing surfaces from damage during painting. Provide new wood finish, as required, including but not limited to, wood finish, aerosol paints and caulks to be compliant with product挥发性VOC limits. Paints, coatings, and adhesives to meet CALGreen VOC limits. Paint systems: Flat finish on gyproc and plaster; one coat latex sealer, two coats flat latex. Semigloss finish on gypsum wallboard at bathrooms; one coat latex sealer, two coats latex semi-gloss acrylic. Gloss finish on wood trim and doors. Provide two coats semi-gloss polyurethane. Two coats acrylic semi-gloss enamel. Transparent finish on wood floor; three coats semi-gloss polyurethane.
 - F) Exterior: 1 coat exterior primer, 2 coats acrylic latex. Coordinate finishes with Owner prior to application.
11. **CABINETS:**
 - A) Cabinets to be provided by Owner, installed by Contractor. Cabinets to be installed level, true, plumb and square, per industry standards. Protect finishes as required during construction. Any field work to join or match cabinetry shall be done to the standards of the Woodwork Institute of California Manual of Millwork, custom grade. Provide built-in recycling center in cabinets, as shown on plans. All particleboard and MDF to be formaldehyde-free Composite wood products to conform with CalGreen Standards, section 4.504.5
15. **PLUMBING AND MECHANICAL:**
 - A) All mechanical and plumbing work shall be done in strict accordance with applicable code requirements. Provide all necessary connectors, obtain all permits, and pay all fees required. Notching and boring of structural wood framing shall be done in strict accordance with applicable code requirements. Provide all necessary hangers, supports, and bracing. HVAC Contractor to provide new heat pump for new "Carriage House" and provide new ducts as required. HVAC Contractor shall provide proper information as required on sizing, insulation, operation, balancing, and any other pertinent information for conformance to all regulations and codes, including CalGreen section 4.507.2, and install accordingly. Cover duct and air distribution openings during construction, and use duct mastic on all duct joints. Final installation, string, and balancing of ductwork shall be done in strict accordance with applicable code requirements. Provide all necessary automatic setback thermostat. Heating system shall conform to the California Residential Energy Conservation Standards. Owner to provide. Plumbing Contractor to install all fixtures as required, including sinks, faucets, toilet, and dishwasher. Vent dryer and range hood to outside, per code. Contractor shall verify all manufacturers and model numbers with Owner. Dishwasher washing machine, and refrigerator to be Energy Star rated. Toilets to have max 1.28 gallon/flush, shower heads shall have a max flow of 2.0 GPM, lavatory/faucets shall have a max flow of 1.5 GPM, and kitchen faucets shall have a max flow of 1.8 GPM. Showers or bathtubs with showerheads shall be finished with tile or stone to at least 6'0" above the floor per IRC R307.2.
16. **ELECTRICAL:**
 - A) All electrical work shall be done in strict accordance with applicable code requirements, and the California Residential Energy Conservation Standards. Electrical Contractor to install all electrical fixtures as required, and as recommended by manufacturer, including but not limited to, lighting, and wiring. Provide proper information as required on wiring, detectors and exhaust fans at bathrooms and kitchen. Electrical Contractor shall provide all necessary wiring, circuits, switches, duplexes, and fixtures necessary to complete the work, as shown on the plans or otherwise required. Coordinate location of light fixtures with Architect and Owner prior to installation. Electrical Contractor shall verify all manufacturers and model numbers with Architect and Owner prior to installation.

