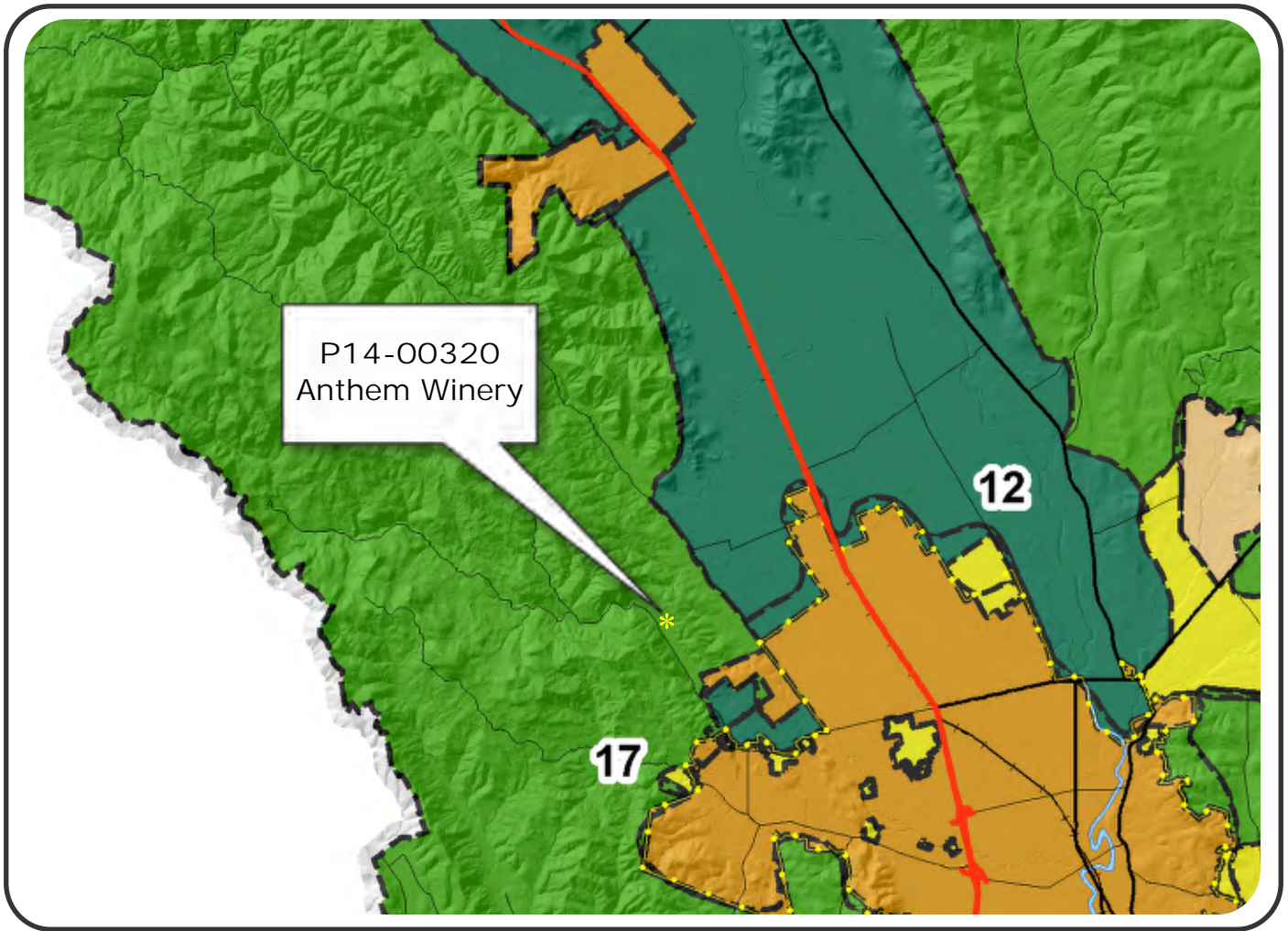


“K”

## Graphics

Anthem Winery P14-00320-MOD and Exception to Road and Street Standards,  
Variance P14-00321-VAR and Viewshed, and  
Agricultural Erosion Control Plan P14-00322-ECPA  
Planning Commission Hearing Date (Wednesday, February 5, 2020)








# NAPA COUNTY LAND USE PLAN 2008 - 2030





## LEGEND













### URBANIZED OR NON-AGRICULTURAL

-  Study Area
-  Cities
-  Urban Residential\*
-  Rural Residential\*
-  Industrial
-  Public-Institutional
-  Napa Pipe Mixed Use

### OPEN SPACE

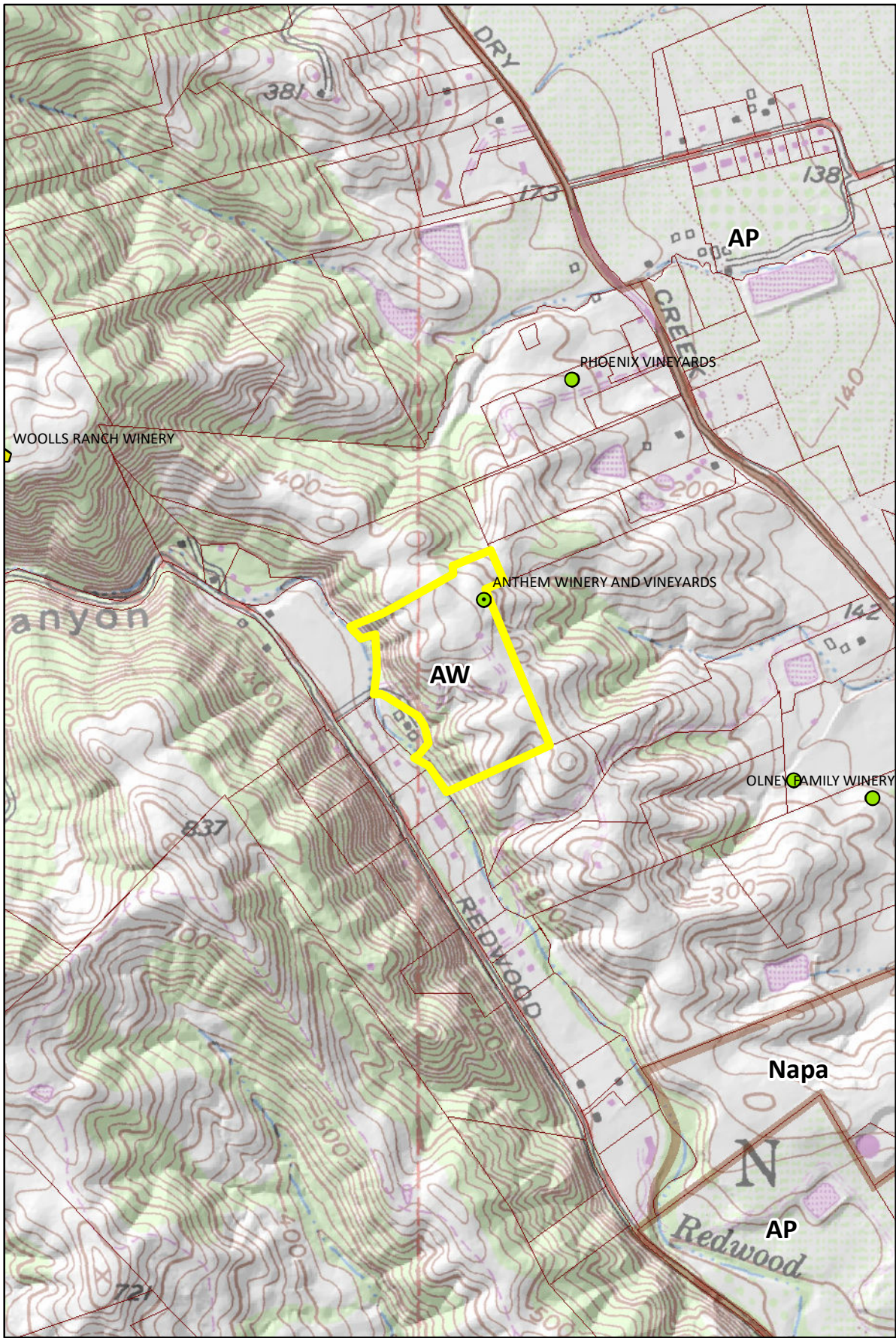
-  Agriculture, Watershed & Open Space
-  Agricultural Resource

### TRANSPORTATION

-  Mineral Resource
-  Limited Access Highway
-  Major Road
-  American Canyon ULL
-  City of Napa RUL
-  Landfill - General Plan
-  Secondary Road
-  Airport
-  Railroad
-  Airport Clear Zone

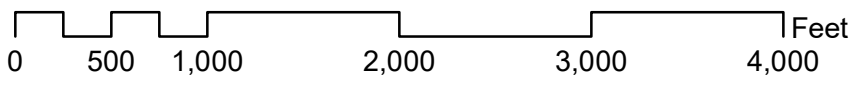
\* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations





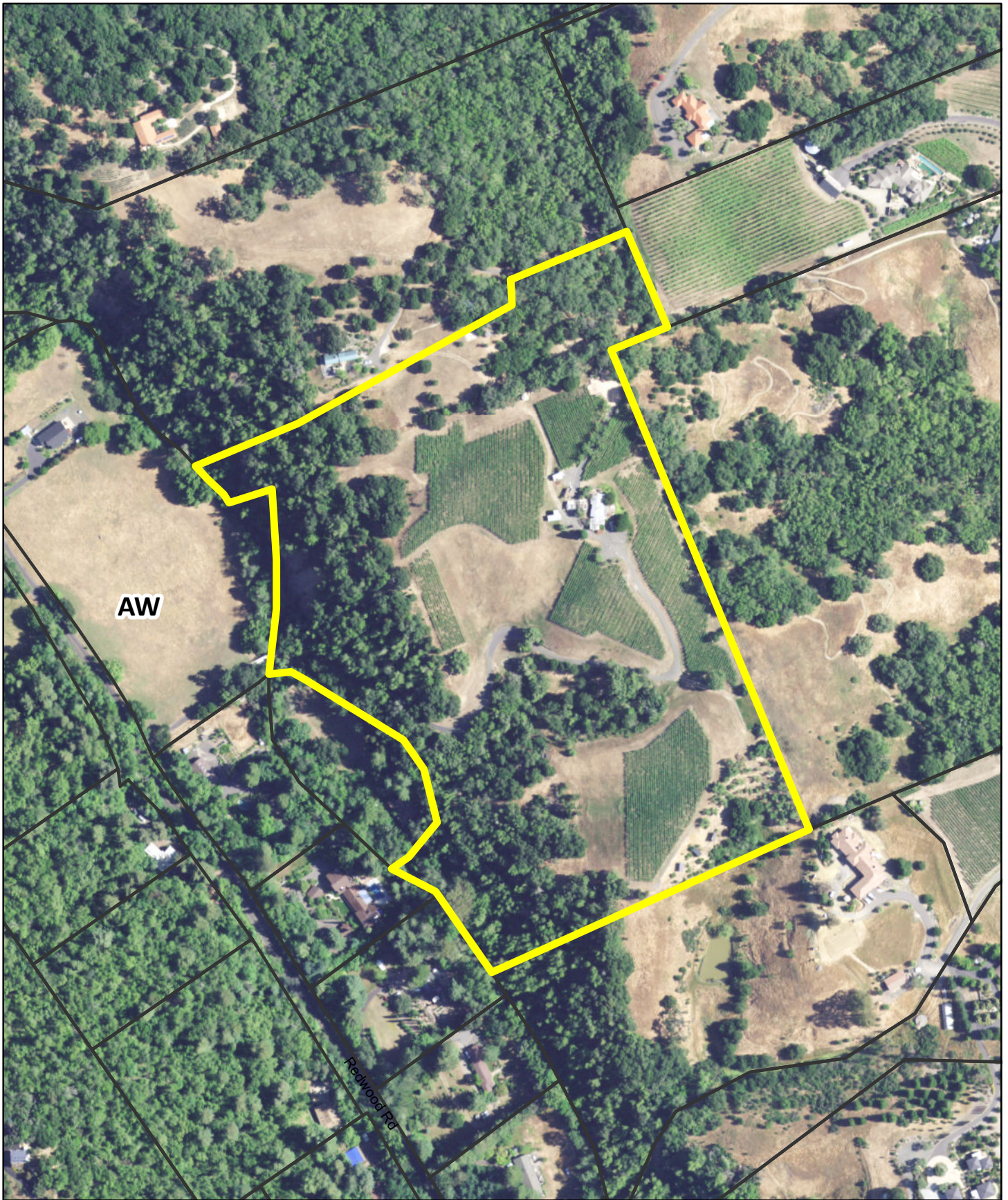
**Legend**

- Wineries Status**
- Producing
  - Producing, w/ pending major mod
  - ▲ Approved, not producing
  - ▲ Pending
  - Unknown
- Zoning**
- Parcels



**ZONING MAP | P14-00320**



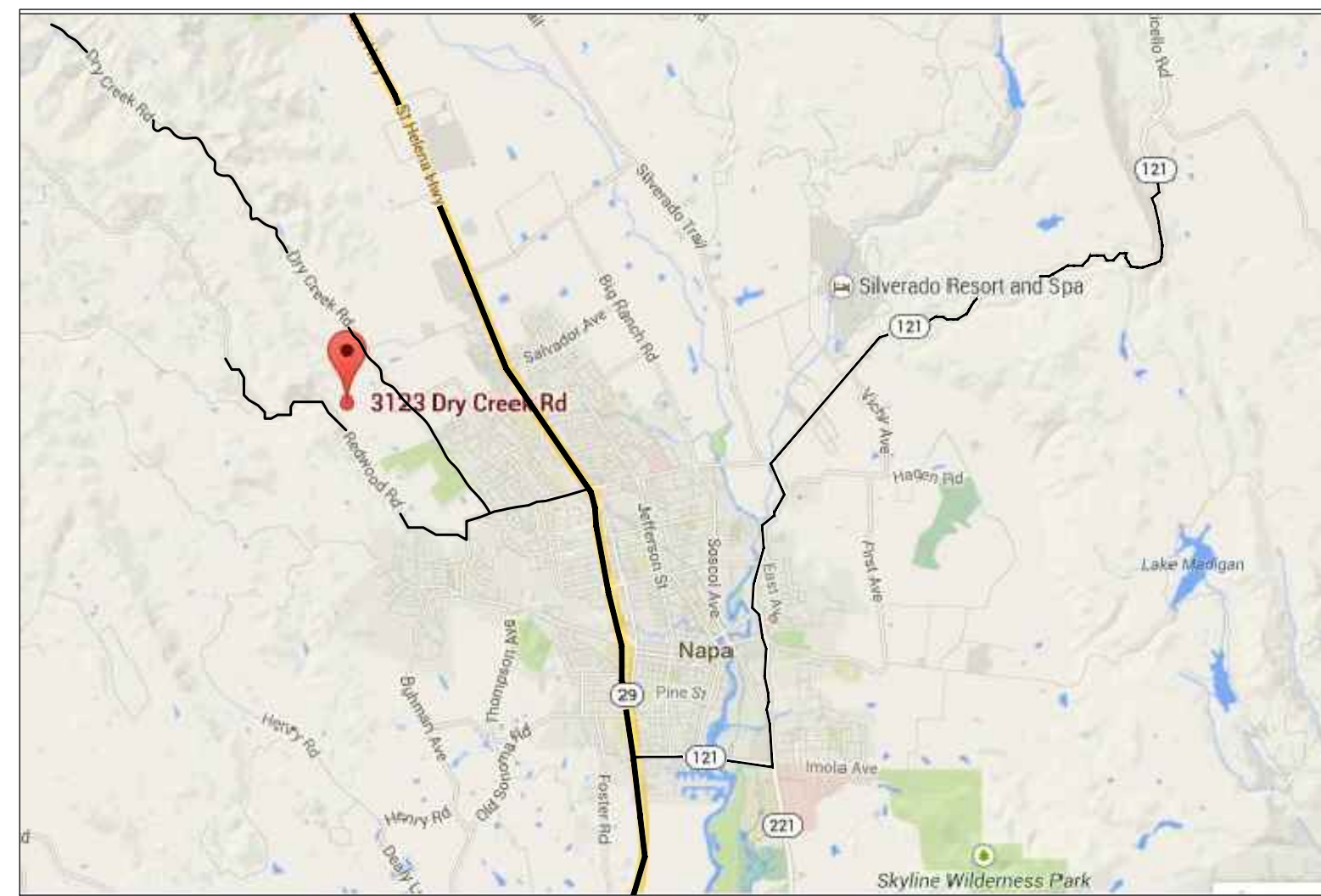


0 150 300 600 900 1,200 Feet



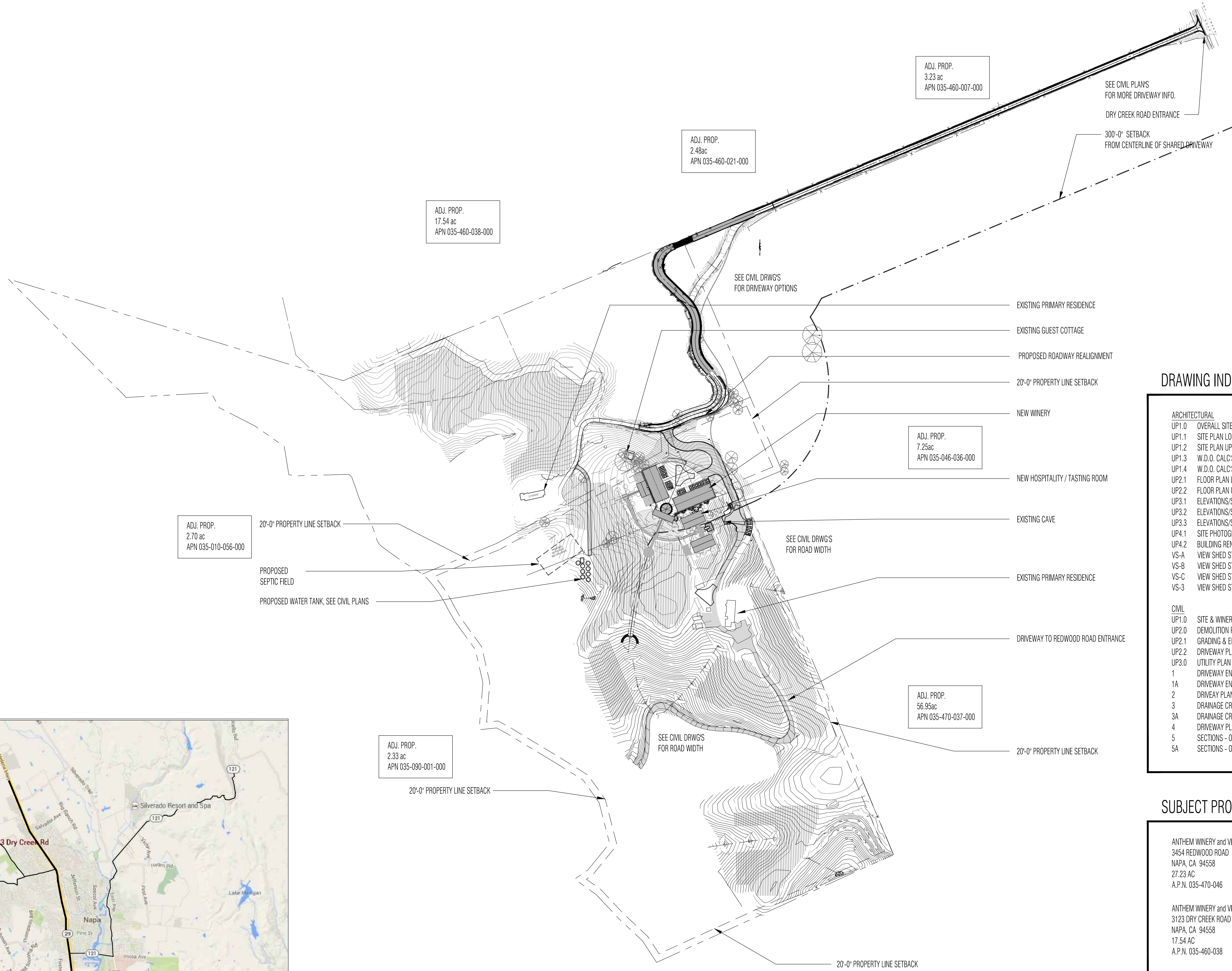
**CURRENT CONDITIONS (2016 AERIAL) | P14-00320**





2 VICINITY MAP  
 A1.0

N.T.S.



1 OVERALL SITE PLAN  
 A1.0

1"=150'

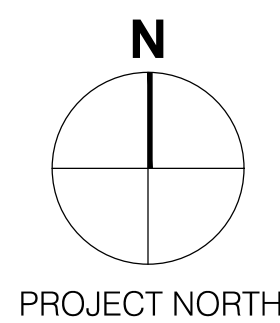
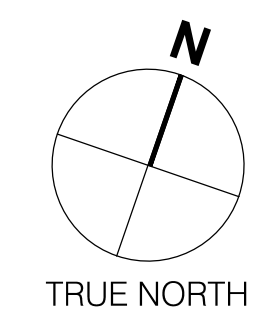
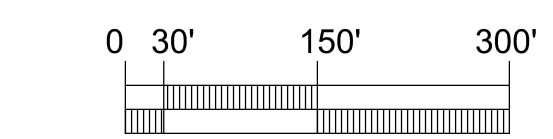
**DRAWING INDEX**

ARCHITECTURAL	
UP1.0	OVERALL SITE PLAN
UP1.1	SITE PLAN LOWER LEVEL-CAVES
UP1.2	SITE PLAN UPPER LEVEL
UP1.3	W.D.O. CALCS
UP1.4	W.D.O. CALCS
UP2.1	FLOOR PLAN LOWER LEVEL-CAVES
UP2.2	FLOOR PLAN UPPER LEVEL
UP3.1	ELEVATIONS/SECTIONS
UP3.2	ELEVATIONS/SECTIONS
UP3.3	ELEVATIONS/SECTIONS
UP4.1	SITE PHOTOGRAPHS
UP4.2	BUILDING RENDERINGS
VS-A	VIEW SHED STUDY SITE PLAN
VS-B	VIEW SHED STUDY A
VS-C	VIEW SHED STUDY B
VS-3	VIEW SHED STUDY MODEL
CIVIL	
UP1.0	SITE & WINERY LAYOUT PLAN
UP2.0	DEMOLITION PLAN
UP2.1	GRADING & EROSION CONTROL PLAN
UP2.2	DRIVEWAY PLAN & PROFILE
UP3.0	UTILITY PLAN
1	DRIVEWAY ENTRY OPTION 1
1A	DRIVEWAY ENTRY OPTION 2
2	DRIVEWAY PLAN & PROFILE
3	DRAINAGE CROSSING OPTION 1
3A	DRAINAGE CROSSING OPTION 2
4	DRIVEWAY PLAN & PROFILE
5	SECTIONS - OPTION 1
5A	SECTIONS - OPTION 2

**SUBJECT PROPERTIES**

ANTHEM WINERY and VINEYARDS, LLC  
 3454 REDWOOD ROAD  
 NAPA, CA 94558  
 27.23 AC  
 A.P.N. 035-470-046

ANTHEM WINERY and VINEYARDS, LLC  
 3123 DRY CREEK ROAD  
 NAPA, CA 94558  
 17.54 AC  
 A.P.N. 035-460-038



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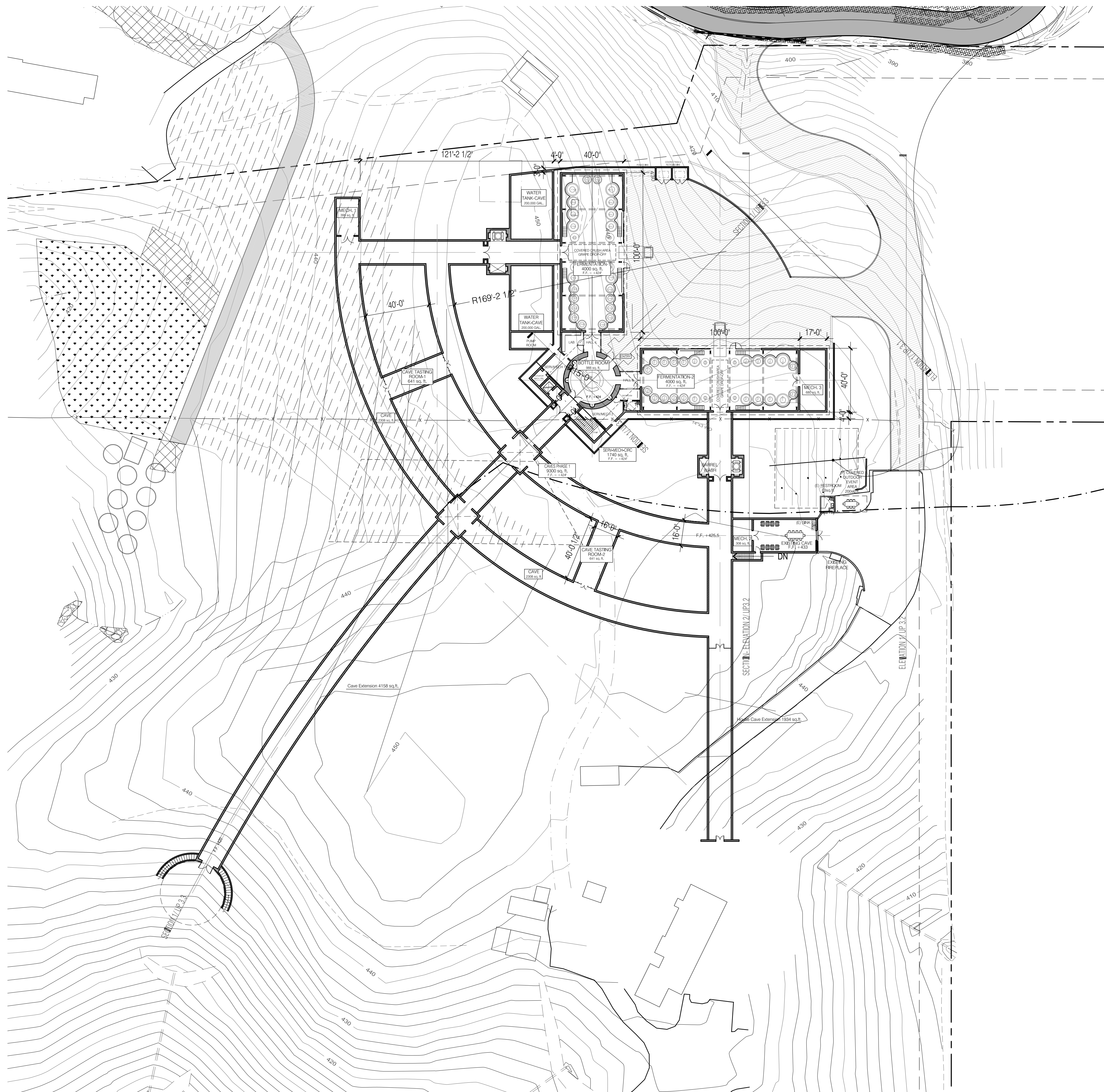
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Checked By	JT
Project No.	201210
Date	11/25/15
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	3/18/16
	PROGRESS PRINT
	10/19/16
	VIEWSHED
	3/3/17
	USE PERMIT
	6/5/18
	USE PERMIT RESUB.T.

**OVERALL SITE PLAN**

SCALE :

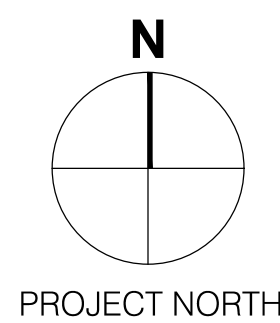
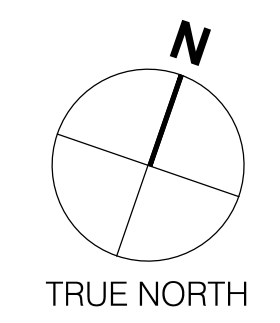
**UP1.0**





1 SITE PLAN - LOWER LEVEL / CAVES  
A1.1

1/32" = 1'-0"



**SQUARE FOOTAGE**

FERMENTATION 1	4,000 SF
FERMENTATION 2	4,000 SF
BOTTLE ROOM TOTAL	2,833 SF
<i>Bottle Room</i>	988 SF
<i>Lab / Office</i>	222 SF
<i>Serv./Circul</i>	1,623 SF
CAVES	20,976 SF *
<i>Barrel Storage Caves</i>	18,331 SF
<i>Water Tank Cave</i>	2,645 SF
HOPITALITY TOTAL	3,328 SF
<i>Tasting Room</i>	1,508 SF
<i>Conf. Room</i>	538 SF
<i>Cave Tasting</i>	1,282 SF *
OFFICE/CATERING	1,186 SF
MECHANICAL TOTAL	1,383 SF
<i>Mech. 1 (in cave)</i>	395 SF *
<i>Mech. 2 (in cave)</i>	308 SF *
<i>Mech. 3</i>	680 SF
TOTAL	37,706 SF
Cave Extension	4,158 SF *
House Cave Extension	1,934 SF *
Total	43,798 SF

\* Notes area within the caves,  
the Total area of the caves = 29,053SF

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FACSIMILE 714.299.8666

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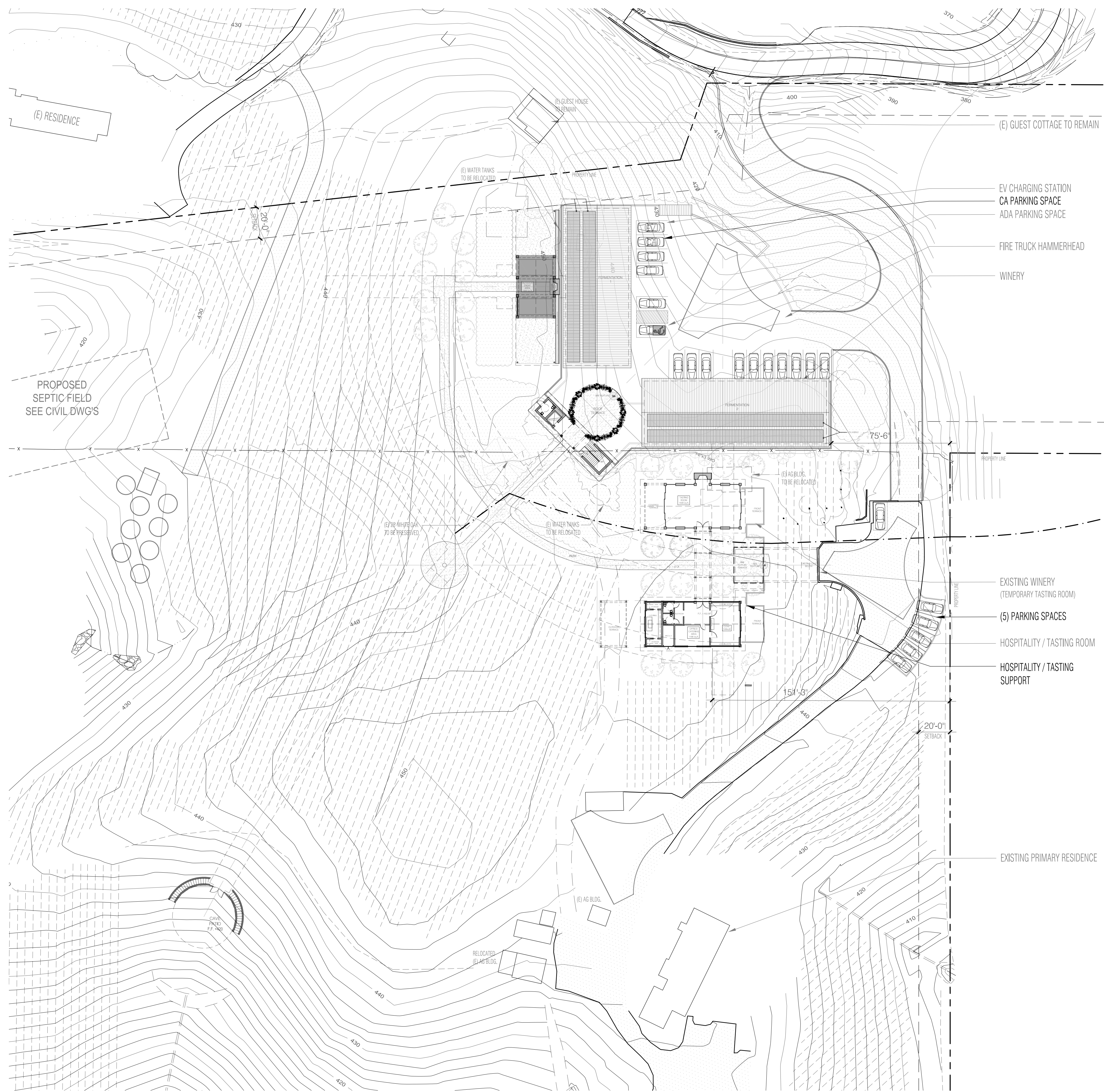
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3/18/16	PROGRESS PRINT
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3/3/17	USE PERMIT
6/5/18	USE PERMIT RESUB.T.

SITE PLAN  
LOWER LEVEL/  
CAVES

SCALE :

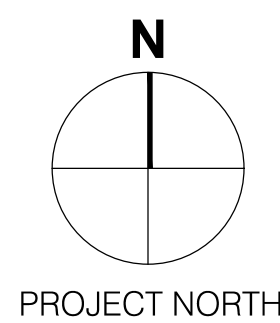
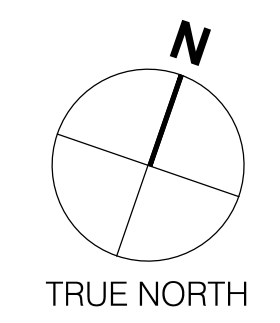
UP1.1





1 SITE PLAN - UPPER LEVEL  
UP1.2

1/32" = 1'-0"



### SQUARE FOOTAGE

FERMENTATION 1	4,000 SF
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BOTTLE ROOM TOTAL	2,833 SF
<i>Bottle Room</i>	988 SF
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CAVES	20,976 SF *
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<b>TOTAL</b>	<b>37,706 SF</b>
Cave Extension	4,158 SF *
House Cave Extension	1,934 SF *
<b>Total</b>	<b>43,798 SF</b>

\* Notes area within the caves,  
the Total area of the caves = 29,053SF

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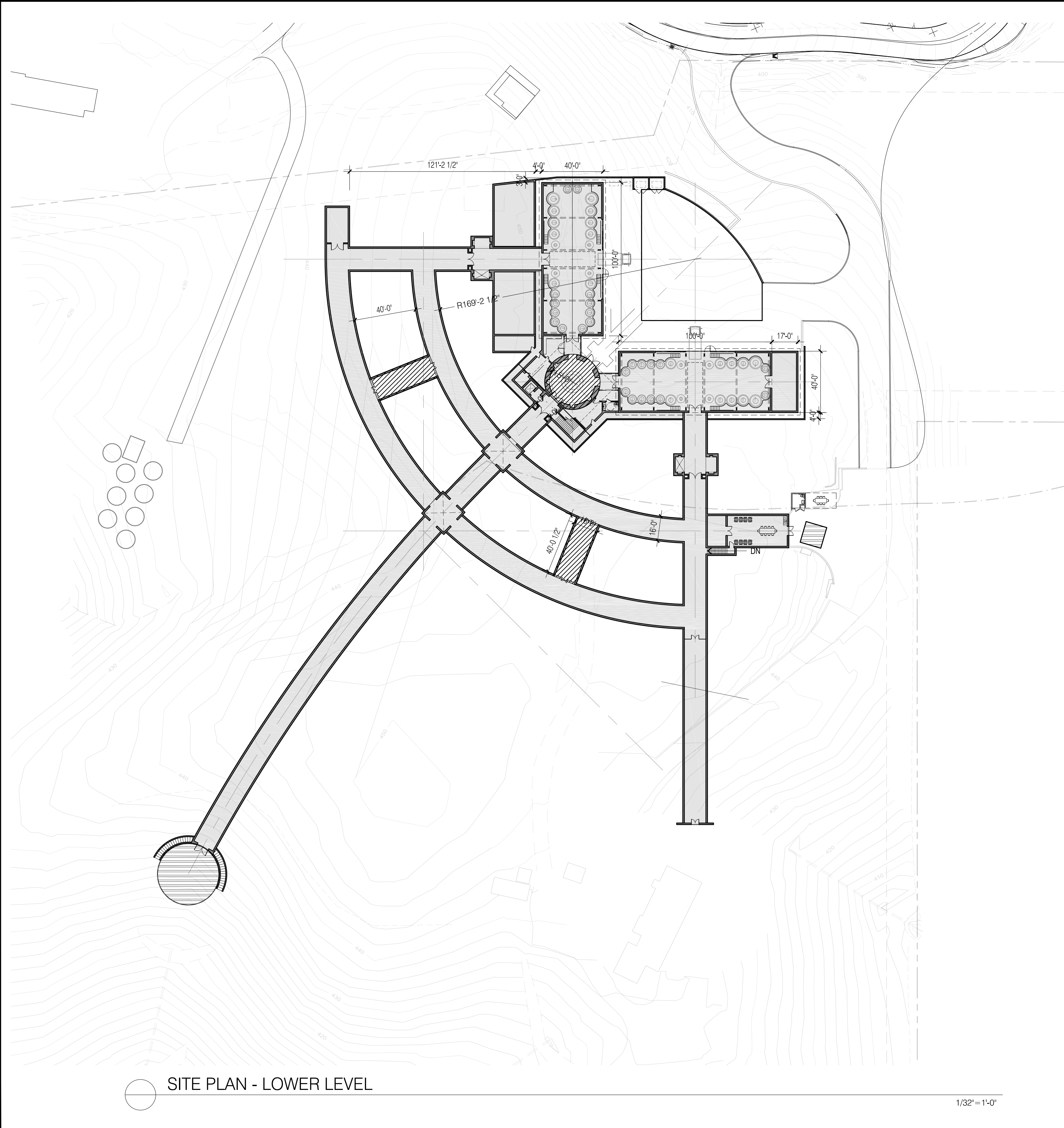
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10/19/16	VIEWSHED
3/3/17	USE PERMIT
6/5/18	USE PERMIT RESUB.T.

SITE PLAN  
UPPER LEVEL

SCALE :

UP1.2





SITE PLAN - LOWER LEVEL

1/32" = 1'-0"

## WINERY DEFINITION ORDINANCE CALCULATIONS

### Lower Level Area

AREA FOR ACCESSORY	=	2,270 SQ. FT.
AREA FOR PRODUCTION	=	38,200 SQ. FT.
AREA PER USE PERMIT	=	40,470 SQ. FT.

AREA FOR OUTDOOR ACCESSORY = 1,457 SQ. FT.

### Upper Level Area

AREA FOR ACCESSORY	=	3,232 SQ. FT.
AREA FOR PRODUCTION	=	96 SQ. FT.
AREA PER USE PERMIT	=	3,328 SQ. FT.

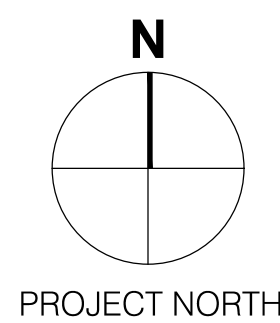
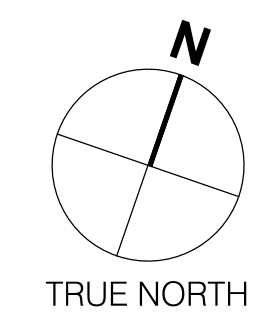
AREA FOR OUTDOOR ACCESSORY = 5,485 SQ. FT.

### Total Area Per Use Permit

AREA FOR ACCESSORY	=	5,502 SQ. FT.
AREA FOR PRODUCTION	=	38,296 SQ. FT.
AREA PER USE PERMIT	=	43,798 SQ. FT.

$5,502 \text{ SQ. FT.} / 43,798 \text{ SQ. FT.} = .125 \text{ or } 12.5\% < 40\%$

- Outdoor Accessory Area
- Accessory Area (Tasting/Hospitality/Office)Area
- Production Area



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Plot Date	6/18/18
Drawn By	ME
Checked By	JT
Project No.	201210
Date	11/25/15
Issue	USE PERMIT
3/18/16	PROGRESS PRINT
10/19/16	VIEWSHED
3/3/17	USE PERMIT
6/5/18	USE PERMIT RESUB.T.

WINERY  
DEFINITION  
ORDINANCES  
CALCULATIONS  
SCALE :

**UP1.3**



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SITE PLAN - UPPER LEVEL

1/32" = 1'-0"

## WINERY DEFINITION ORDINANCE CALCULATIONS

### Lower Level Area

AREA FOR ACCESSORY	=	2,270 SQ. FT.
AREA FOR PRODUCTION	=	38,200 SQ. FT.
AREA PER USE PERMIT	=	40,470 SQ. FT.

AREA FOR OUTDOOR ACCESSORY	=	1,457 SQ. FT.
----------------------------	---	---------------

### Upper Level Area

AREA FOR ACCESSORY	=	3,232 SQ. FT.
AREA FOR PRODUCTION	=	96 SQ. FT.
AREA PER USE PERMIT	=	3,328 SQ. FT.

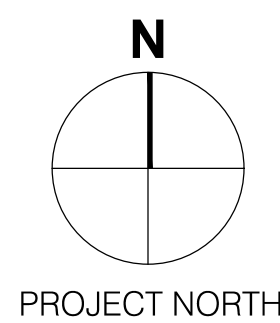
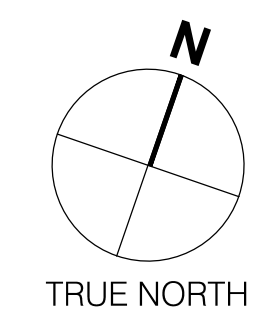
AREA FOR OUTDOOR ACCESSORY	=	5,485 SQ. FT.
----------------------------	---	---------------

### Total Area Per Use Permit

AREA FOR ACCESSORY	=	5,502 SQ. FT.
AREA FOR PRODUCTION	=	38,296 SQ. FT.
AREA PER USE PERMIT	=	43,798 SQ. FT.

$5,502 \text{ SQ. FT.} / 43,798 \text{ SQ. FT.} = .125 \text{ or } 12.5\% < 40\%$

- Outdoor Accessory Area
- Accessory Area (Tasting/Hospitality/Office)Area
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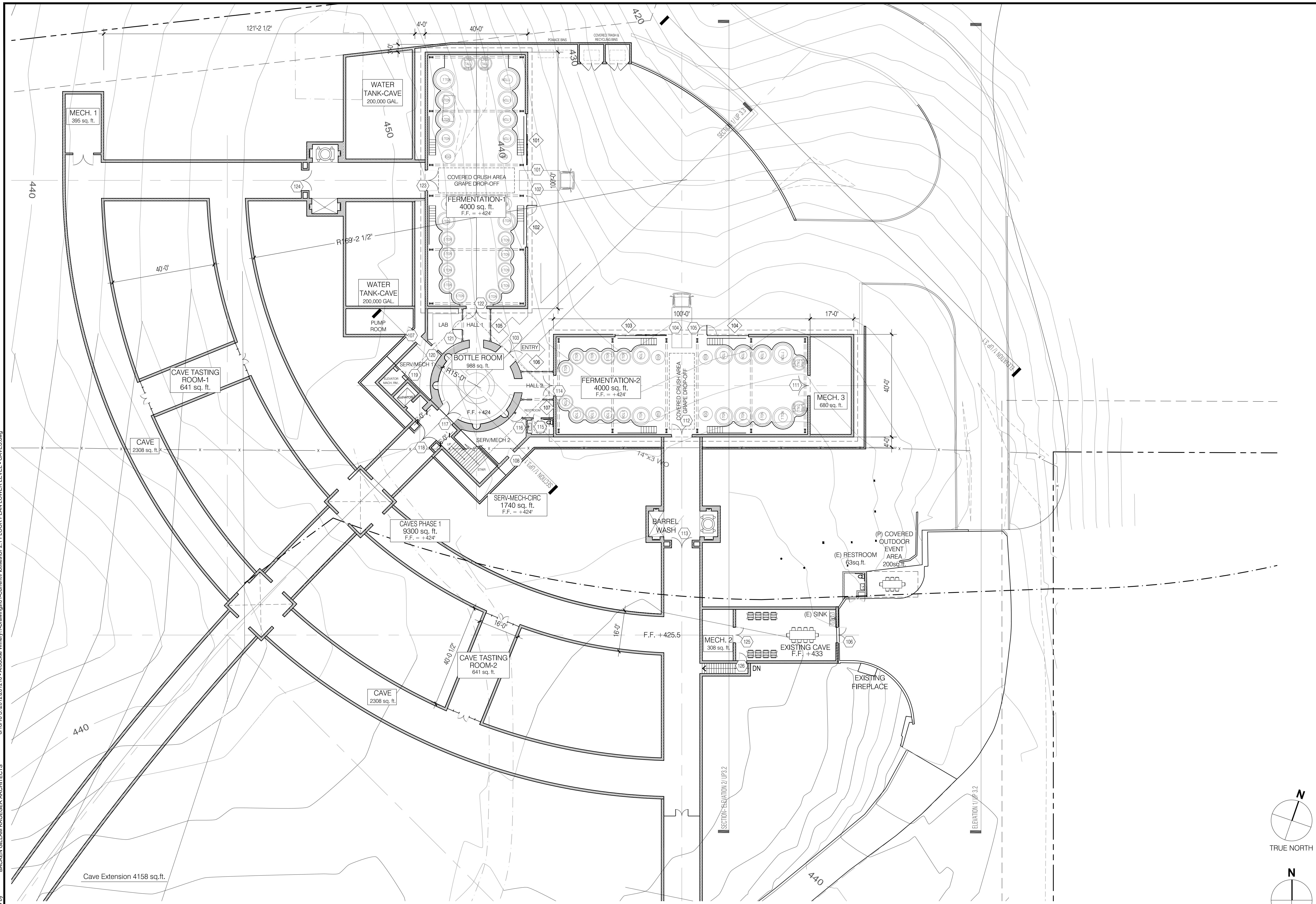
WINERY  
DEFINITION  
ORDINANCES  
CALCULATIONS

SCALE :

**UP1.4**

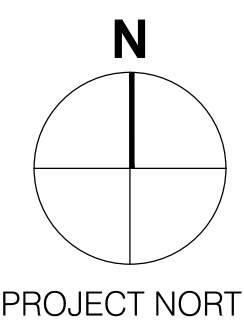
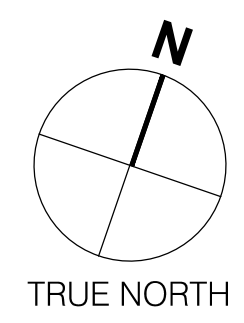


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 6/18/18 5:00:12 201210 - Anthem Winery V1 - Drawings 01 - Current / Profiles / UP2.1 FLOOR PLAN LOWER LEVEL - CAVES.dwg



1 FLOOR PLAN - LOWER LEVEL / CAVES  
 A2.1

1/16" = 1'-0"



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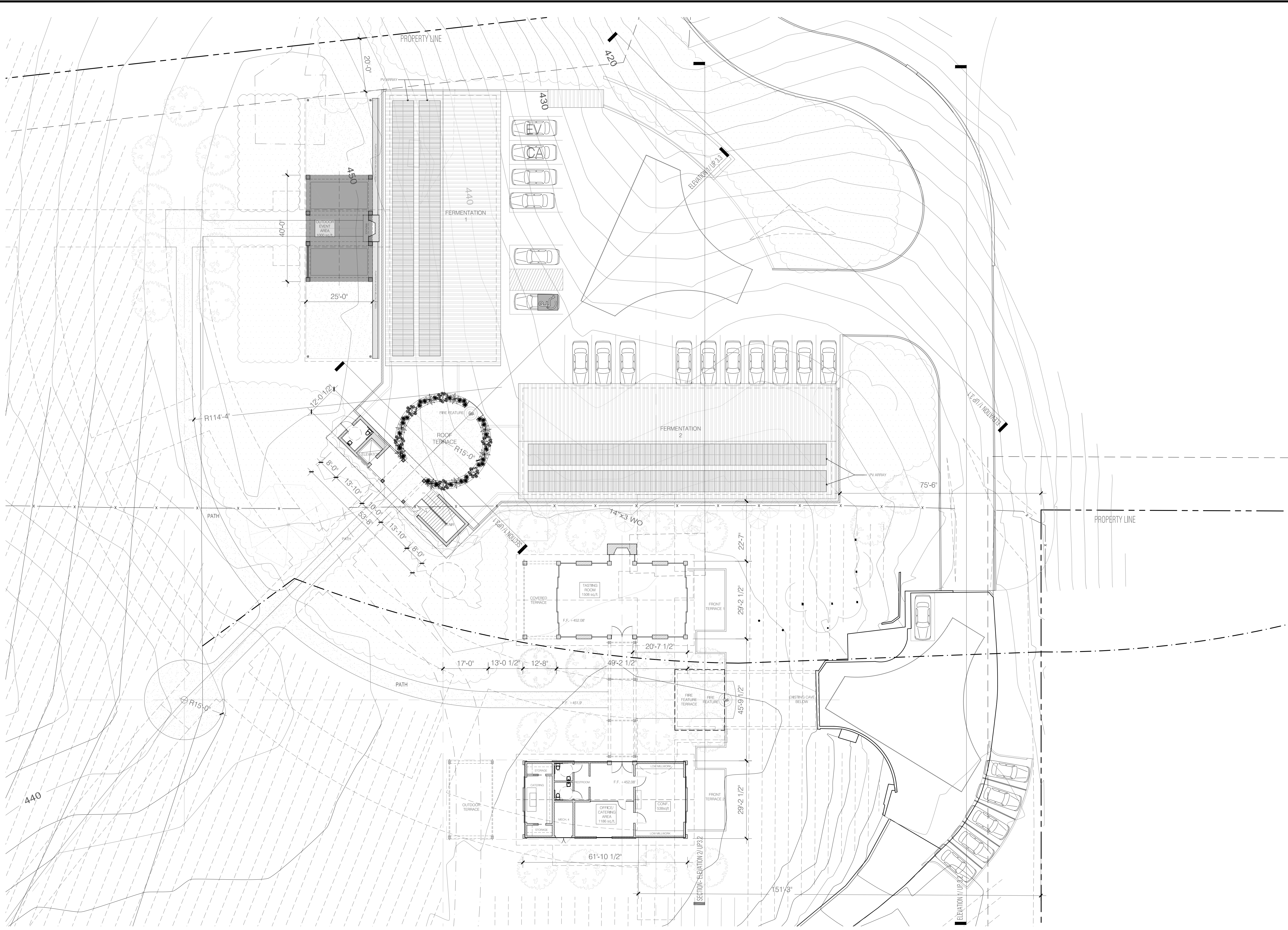
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Issue	USE PERMIT
3/18/16	PROGRESS PRINT
10/19/16	VIEWSHED
3/3/17	USE PERMIT
6/5/18	USE PERMIT RESUB.T.

FLOOR PLAN  
 LOWER LEVEL/  
 CAVES  
 SCALE :

UP2.1

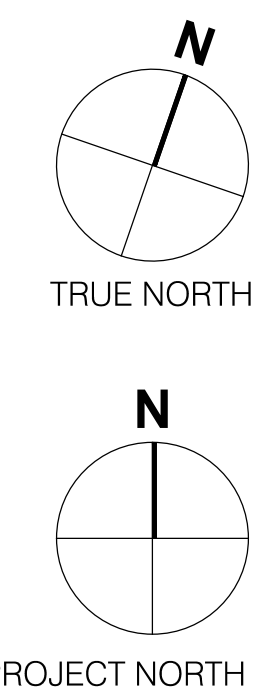


6/18/18 5:001201210 - Anthem Winery Vineyards - Current\Drawings\UP2.2 FLOOR PLAN UPPER LEVEL.dwg  
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1 FLOOR PLAN UPPER LEVEL  
 UP2.2

1/16"=1'-0"



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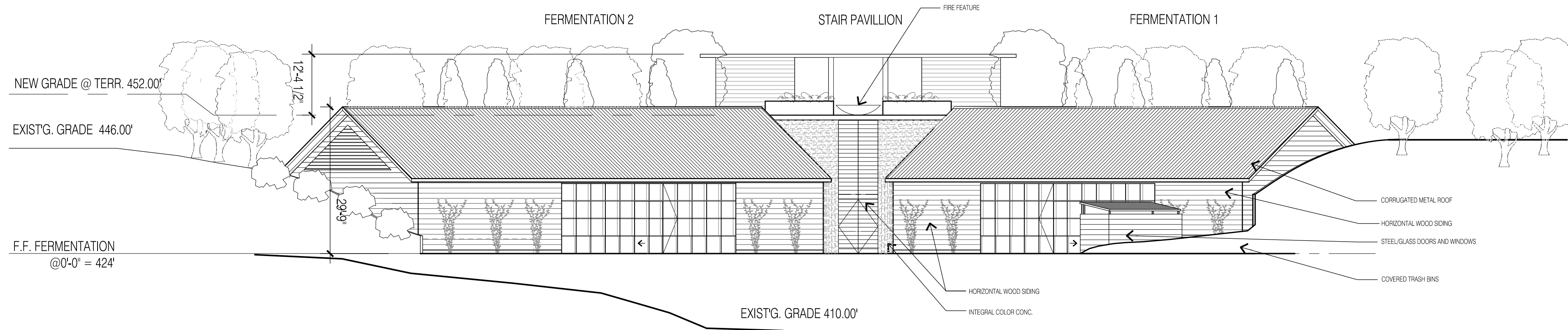
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3/3/17	USE PERMIT
6/5/18	USE PERMIT RESUB.T.

FLOOR PLAN  
 UPPER LEVEL

SCALE :

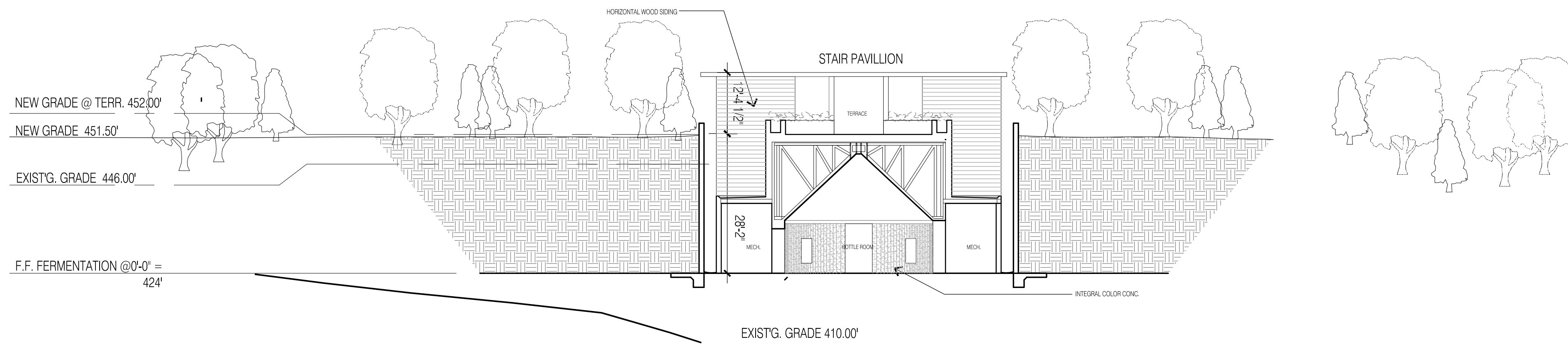
UP2.2





1 ELEVATIONS

1/16" = 1'-0"



2 ELEVATION / SECTION

1/16" = 1'-0"

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NAPA, CALIF. 94558  
707.951.1954

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Napa, California 94558

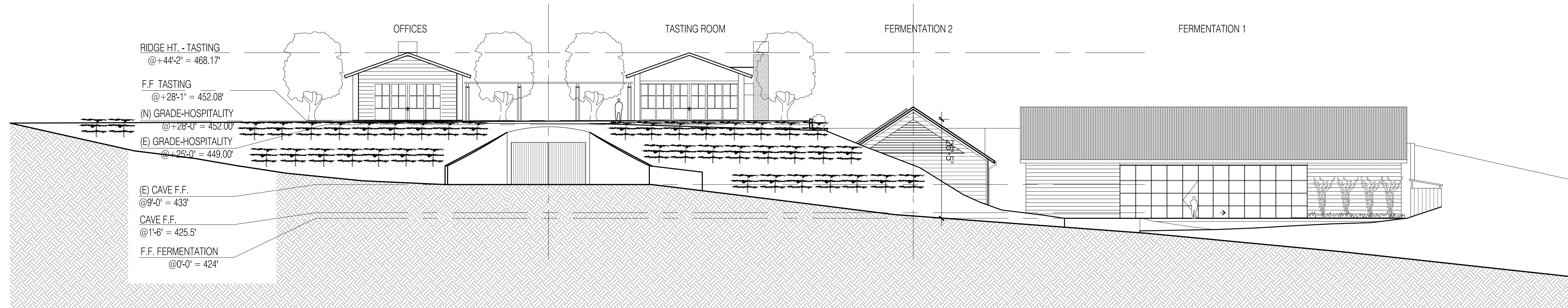
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3/18/16	PROGRESS PRINT
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6/5/18	USE PERMIT RESUB.T.

ELEVATIONS/  
SECTIONS

SCALE :

UP3.1

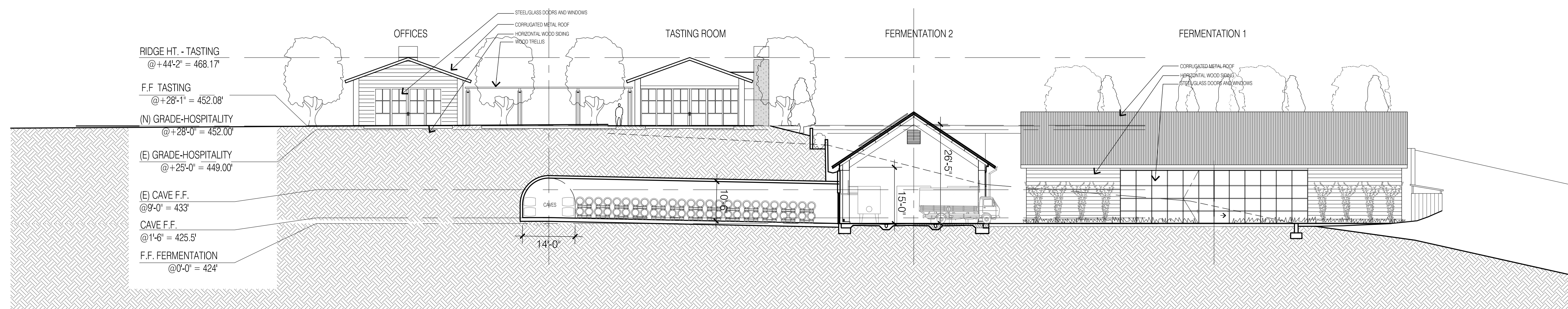




1  
A3.2

ELEVATION / SECTION

1/16" = 1'-0"



2  
A3.2

ELEVATION / SECTION

1/16" = 1'-0"

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707.961.1954  
FACSIMILE 707.961.1954

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Napa, California 94558

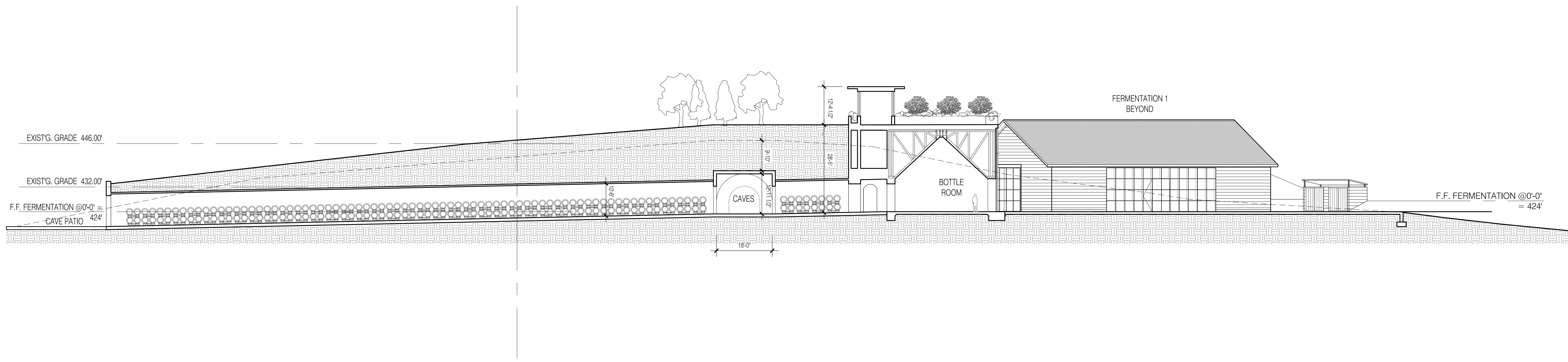
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3/18/16	PROGRESS PRINT
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3/3/17	USE PERMIT
6/5/18	USE PERMIT RESUB.T.

ELEVATIONS/  
SECTIONS

SCALE :

UP3.2





1  
A3.3

ELEVATION / SECTION

1/16" = 1'-0"

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K R O E G E R**  
a r c h i t e c t s

1023 MAIN STREET  
ST. HELENA, CALIF. 94554  
707.961.1954  
2352 MARINSHIP WAY  
SAUSALITO, CALIF. 94068  
415.250.8866  
7 FACSIMILE 415.250.8866

**ANTHEM WINERY AND  
VINEYARDS, LLC**  
3123 Dry Creek Road  
Napa, California 94558

Plot Date	6/15/18
Drawn By	ME
Checked By	JT
Project No.	201210
Date	Issue
11/25/15	USE PERMIT
3/18/16	PROGRESS PRINT
10/19/16	VIEWSHED
3/3/17	USE PERMIT
6/5/18	USE PERMIT RESUB'L

ELEVATIONS/  
SECTIONS

SCALE :

UP3.3





VIEW - 7 FROM HWY. 29 AT OAK KNOLL.



VIEW - 5 FROM ORCHARD AVE NEAR DRY CREEK ROAD



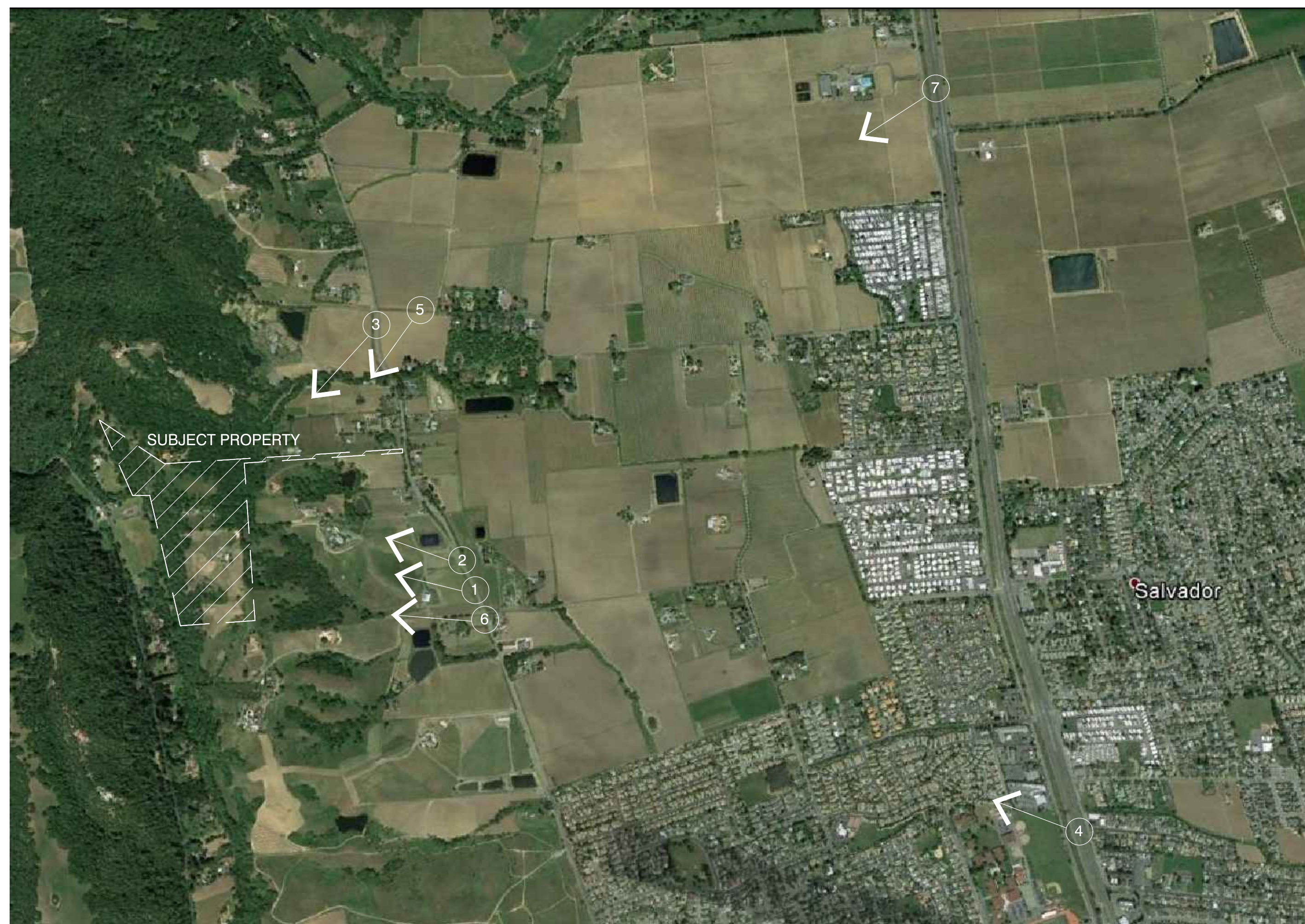
VIEW -1 FROM DRY CREEK ROAD



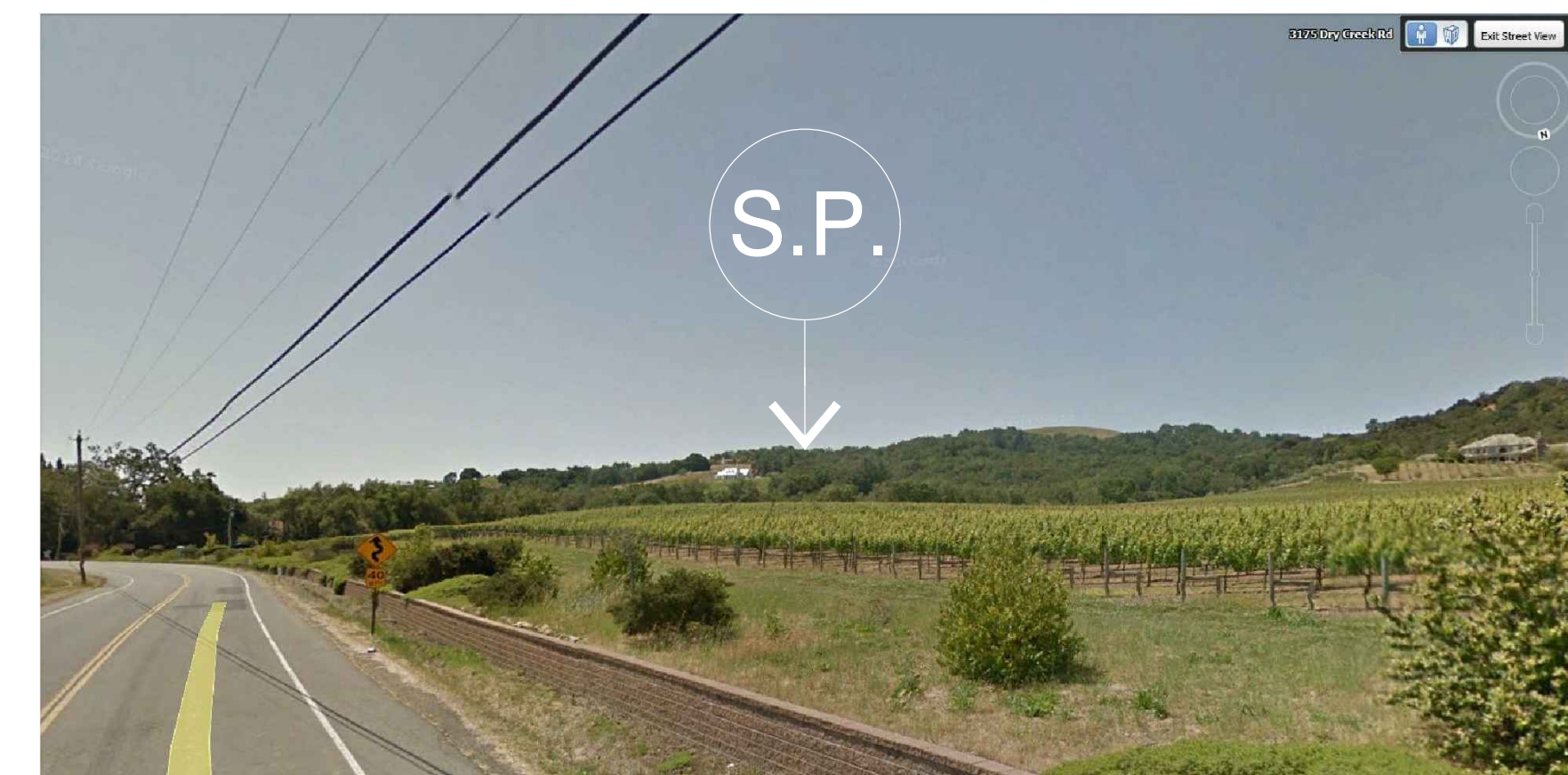
VIEW - 6 FROM DRY CREEK ROAD



VIEW -2 FROM DRY CREEK ROAD



MAP OF SUBJECT PROPERTY (S.P.) AND VICINITY WITH VIEW LOCATIONS INDICATED - PROJECT IS NOT VISIBLE



VIEW - 3 FROM DRY CREEK ROAD NEAR ORCHARD AVE.



VIEW - 4 FROM HWY. 29

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BACKEN  
GILLAM  
KROEGER  
architects

1028 MAIN STREET  
ST. HELENA, CALIF. 94554  
3123 DRY CREEK ROAD  
NAPA, CALIF. 94558  
707.967.1924

ANTHEM WINERY AND  
VINEYARDS, LLC

3123 Dry Creek Road  
Napa, California 94558

Plot Date	6/15/18
Drawn By	ME
Checked By	JT
Project No.	201210
Date	Issue
11/25/15	USE PERMIT
3/18/16	PROGRESS PRINT
10/19/16	VIEWSHED
3/3/17	USE PERMIT
6/5/18	USE PERMIT RESUB.T.

SITE  
PHOTOGRAPHS

SCALE :

UP4.1





VIEW - 7 FROM HWY. 29 AT OAK KNOLL.



VIEW - 5 FROM ORCHARD AVE NEAR DRY CREEK ROAD



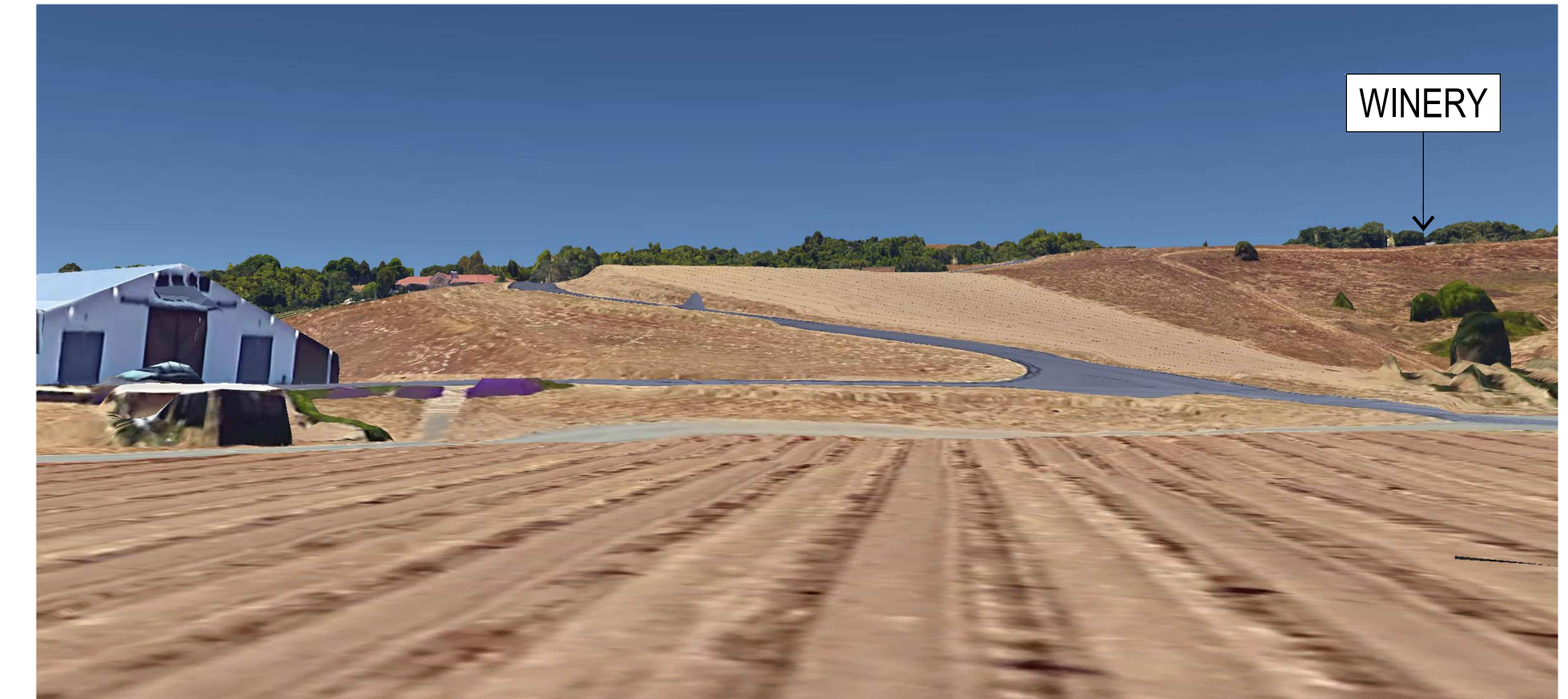
VIEW - 3 FROM DRY CREEK ROAD



VIEW - 6 FROM HWY. 29



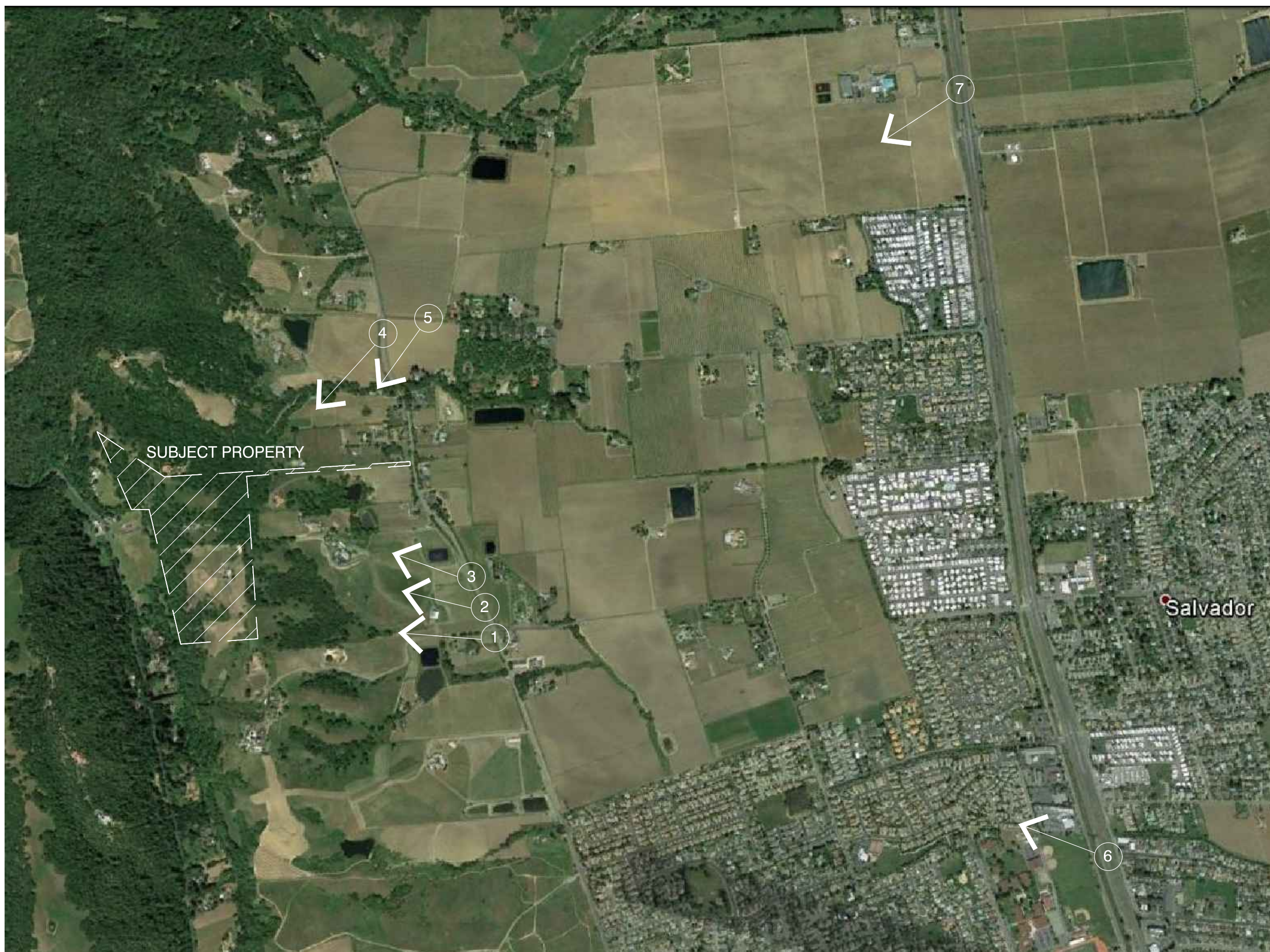
VIEW - 4 FROM DRY CREEK ROAD NEAR ORCHARD AVE.



VIEW - 2 FROM DRY CREEK ROAD



VIEW - 1 FROM DRY CREEK ROAD



MAP OF SUBJECT PROPERTY (S.P.) AND VICINITY WITH VIEW LOCATIONS INDICATED - PROJECT IS NOT VISIBLE

WOOD RETAINING WALLS AS REQUIRED  
4 FT. MAX HEIGHT

WIDENED DRIVEWAY PER NAPA COUNTY ROAD STANDARDS

PROPOSED GATE



DRIVEWAY VIEW FROM DRY CREEK ROAD

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BACKEN  
GILLAM  
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architects

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ST. HELENA, CALIF. 94554  
2352 MARINSHIP WAY  
SAUSALITO, CALIF. 94065  
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NAPA, CALIF. 94558  
TEL: 707.967.1924  
FAX: 707.967.1924

ANTHEM WINERY AND  
VINEYARDS, LLC  
3123 Dry Creek Road  
Napa, California 94558

Plot Date	11/26/18
Drawn By	ME
Checked By	JT
Project No.	201210
Date	Issue
11/25/15	USE PERMIT
3/18/16	PROGRESS PRINT
10/19/16	VIEWSHED
3/3/17	USE PERMIT
6/5/18	USE PERMIT RESUB.T.

SITE PHOTOGRAPHS

SCALE :

UP4.1





VIEW LOOKING THROUGH TASTING ROOM TRELLIS



VIEW LOOKING THROUGH ROTUNDA PAVILLION



VIEW FROM ENTRY COURT FACING FERMENTATION BUILDINGS

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**B A C K E N  
G I L L A M  
K R O E G E R**  
a r c h i t e c t s

1028 MAIN STREET  
ST. HELENA, CALIF. 94554  
707.961.1954

**ANTHEM WINERY AND  
VINEYARDS, LLC**

3123 Dry Creek Road  
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Plot Date	6/15/18
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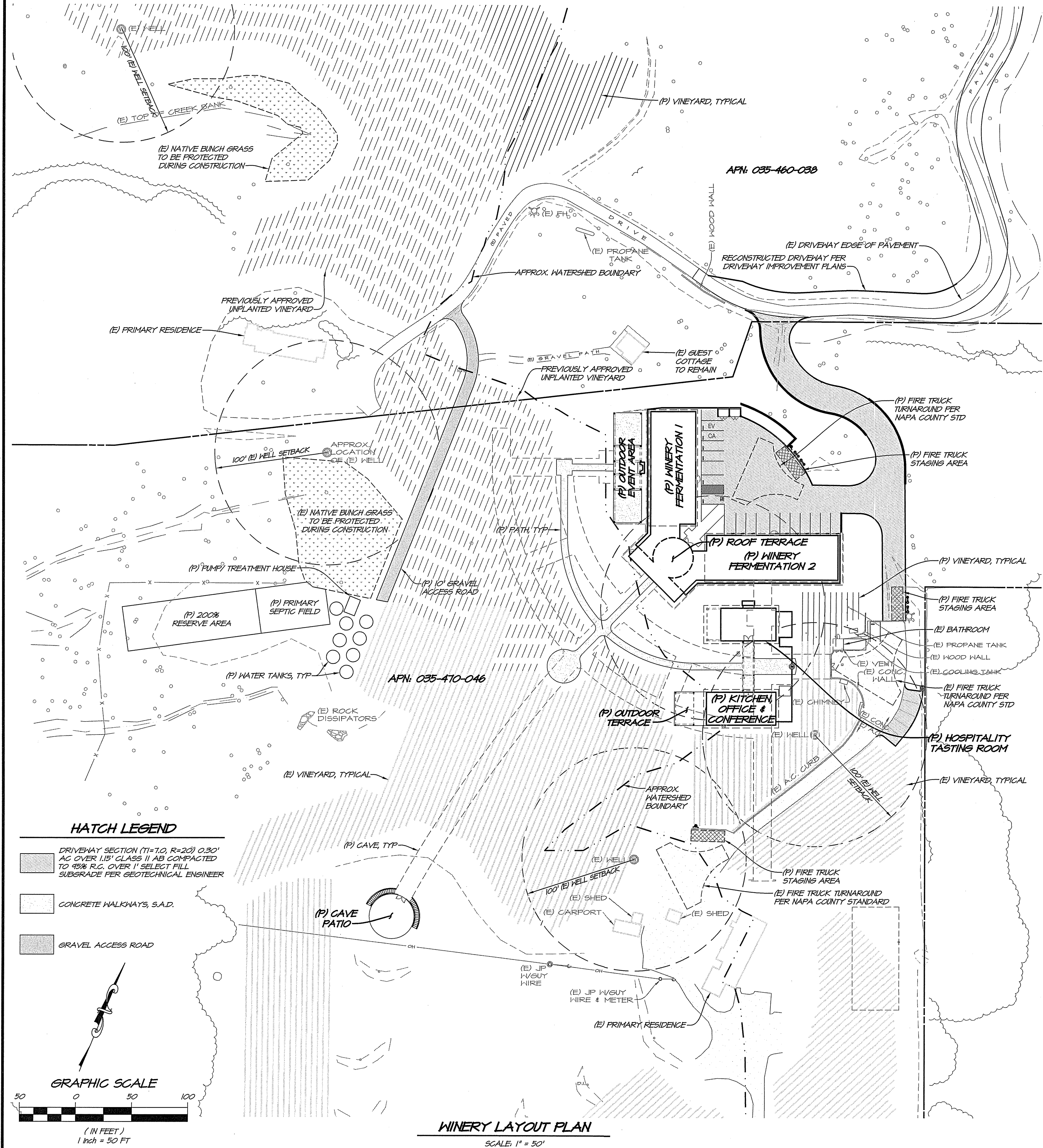
BUILDING  
RENDERINGS

SCALE :

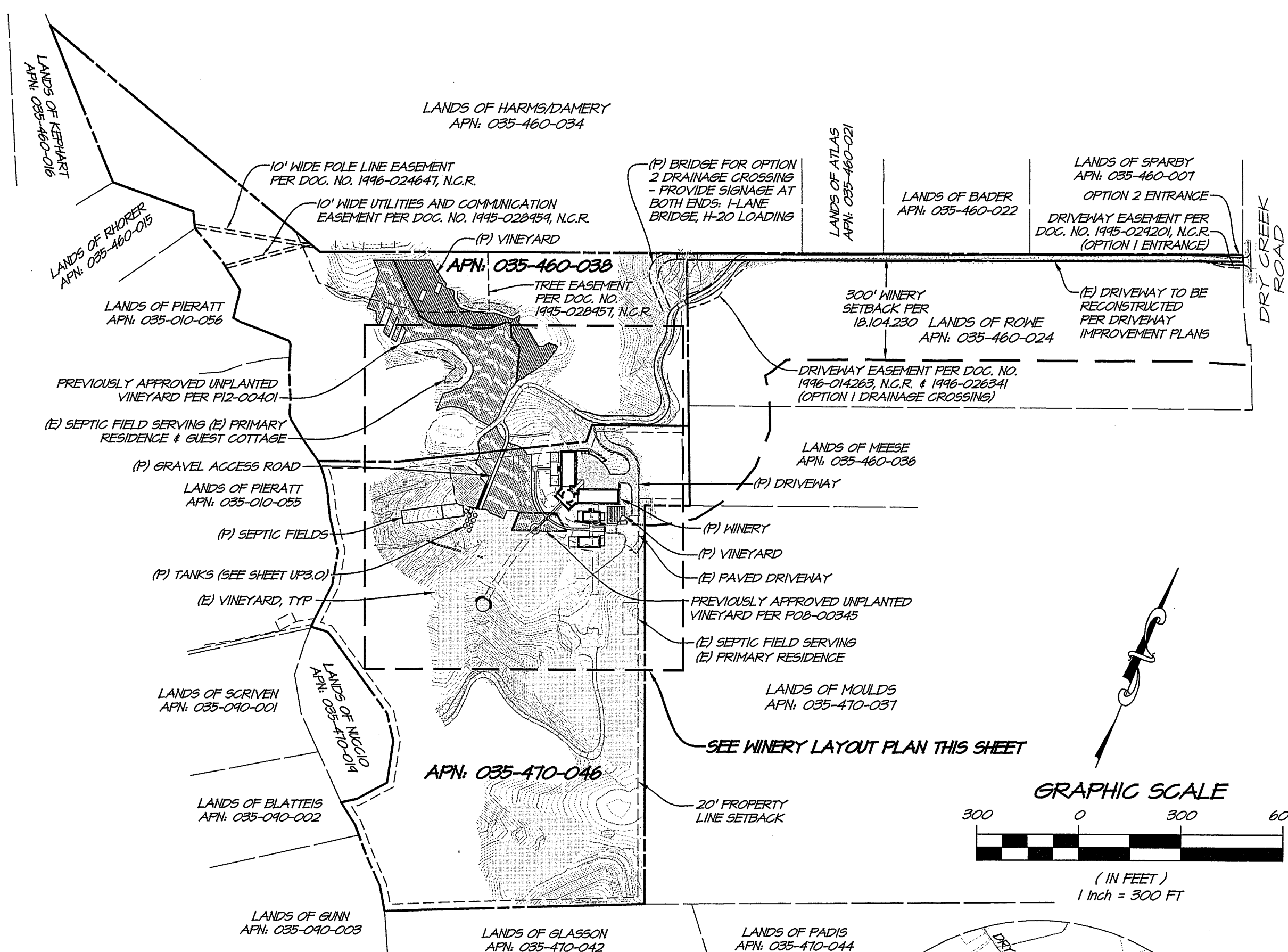
UP4.2



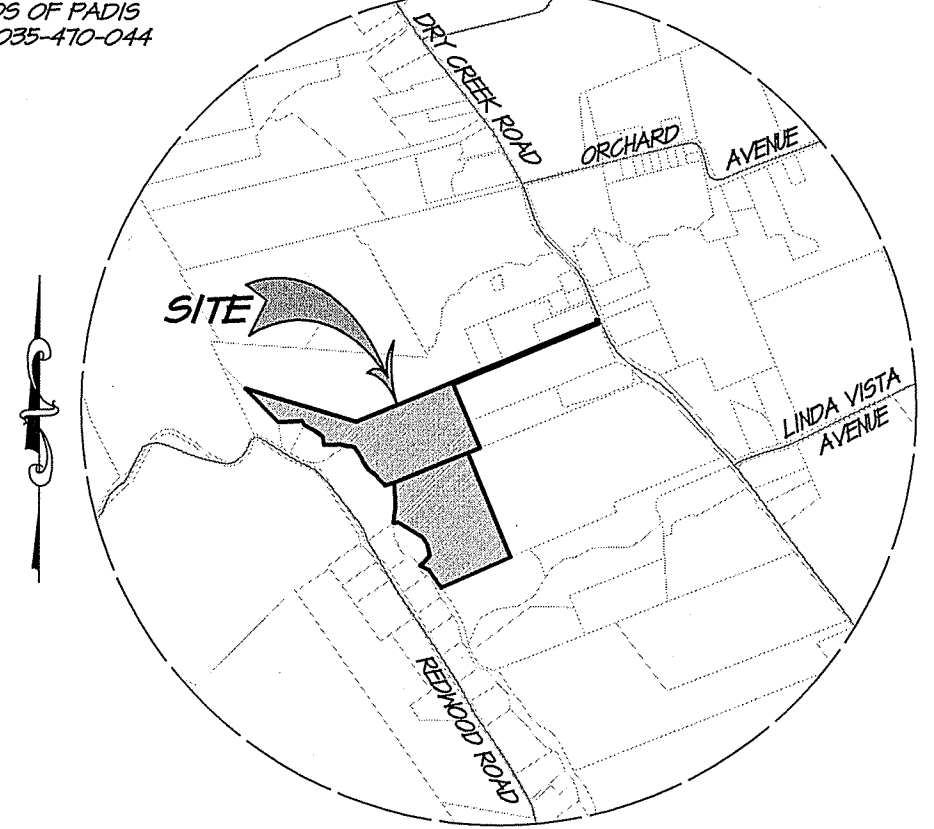
# ANTHEM WINERY USE PERMIT PLANS



**WINERY LAYOUT PLAN**  
SCALE: 1" = 50'



**OVERALL SITE PLAN**  
SCALE: 1" = 300'



**VICINITY MAP**  
SCALE: 1" = 2000'

SYMBOL LEGEND	
<b>EXISTING</b>	
☆	LIGHT
⊕	GAS RISER
⊗	GAS VALVE
EV	ELECTRIC VAULT
○	TREE (AS NOTED)
SSCO	SEWER CLEANOUT
ICV	IRRIGATION CONTROL VALVE
---	FLOWLINE
- - -	EDGE OF GRAVEL
- · - · -	EXISTING VINE ROW
- - -	APPROX. WATERSHED BOUNDARY
- - -	PROPERTY LINE
<b>PROPOSED</b>	
SD	STORM DRAIN LINE
→	SANITARY SEWER
FW	PROCESS WASTE WATER
DW	DOMESTIC WATER
FH	FIRE WATER
IW	IRRIGATION WATER
RW	RAIN WATER
FWW	RECYCLED PROCESS WASTE WATER
WELL	WELL WATER
SDMH	STORM DRAIN MANHOLE
INVERT	INVERT
IP	IRON PIPE
IW	IRRIGATION WATER
LF	LINEAL FEET/FOOT
LP	LOW POINT
MH	MANHOLE
OC	ON CENTER
OH	OVERHEAD
PG&E	PACIFIC GAS AND ELECTRIC
PV	POST INDICATOR VALVE
PL	PROPERTY LINE
(P)	PROPOSED NEW WORK
FWW	PROCESS WASTE WATER
R	RADIUS
R.C.	RELATIVE COMPACTION
ROW	RIGHT OF WAY
RW	RAIN WATER
RWL	RAIN WATER LEADER
S	SLOPE (FEET/FOOT)
S.A.D.	SEE ARCHITECTS DRAWINGS
SD	STORM DRAIN
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
S.S.D.	SEE STRUCTURAL DRAWINGS
STA	STATION
TC	TOP OF CURB
TH	TOP OF WALL
VECP	VINEYARD EROSION CONTROL PLAN
W	WATER LINE
WDH	WET DRAFT HYDRANT
WM	WATER METER
WV	WATER VALVE
- · - · -	PREVIOUSLY APPROVED VINE ROW

ABBREVIATIONS	
AD	AREA DRAIN
BM	BENCHMARK
CL	CENTERLINE
CO	CLEARCUT
CONF	CONFORM
CV	CHECK VALVE
DI	DRAIN INLET
DW	DOMESTIC WATER
EP	EDGE OF PAVEMENT
EX (E)	EXISTING
FD	FOUND
FDG	FIRE DEPT. CONNECTION
FF	FINISH FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FS	FINISH SURFACE
FW	FIRE WATER LINE
GB	GRADE BREAK
HP	HIGH POINT
ILLEDG	ILLEGEABLE
INV	INVERT
IP	IRON PIPE
IW	IRRIGATION WATER
LF	LINEAL FEET/FOOT
LP	LOW POINT
MH	MANHOLE
OC	ON CENTER
OH	OVERHEAD
PG&E	PACIFIC GAS AND ELECTRIC
PV	POST INDICATOR VALVE
PL	PROPERTY LINE
(P)	PROPOSED NEW WORK
FWW	PROCESS WASTE WATER
R	RADIUS
R.C.	RELATIVE COMPACTION
ROW	RIGHT OF WAY
RW	RAIN WATER
RWL	RAIN WATER LEADER
S	SLOPE (FEET/FOOT)
S.A.D.	SEE ARCHITECTS DRAWINGS
SD	STORM DRAIN
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
S.S.D.	SEE STRUCTURAL DRAWINGS
STA	STATION
TC	TOP OF CURB
TH	TOP OF WALL
VECP	VINEYARD EROSION CONTROL PLAN
W	WATER LINE
WDH	WET DRAFT HYDRANT
WM	WATER METER
WV	WATER VALVE

SHEET INDEX	
UP1.0	SITE AND WINERY LAYOUT PLAN
UP2.0	DEMOLITION PLAN
UP2.1	GRADING AND EROSION PLAN
UP2.2	DRIVEWAY PLAN & PROFILE
UP3.0	UTILITY PLAN

ASSOCIATED PERMITS	
VINEYARD EROSION CONTROL PLAN (F08-00345, F12-00401)	

PROJECT INFORMATION	
OWNER:	JUSTIN AND JULIE ABERUCKLE 3454 REDWOOD ROAD NAPA, CALIFORNIA 94558
SITE ADDRESS:	3454 REDWOOD ROAD NAPA, CA 94558
CIVIL ENGINEER:	RSA 1515 FOURTH STREET NAPA, CA 94559
ARCHITECT:	BACKEN GILLAM AND KROESER 2352 MARKSHIP WAY SAUSALITO, CA 94965
APN & AREA:	035-460-038 (1154 ACRES) 035-470-046 (2123 ACRES)
EXISTING USE:	RURAL HOMESITE (035-460-038) WINERY (035-470-046)
PROPOSED USE:	RURAL HOMESITE (035-460-038) WINERY (035-470-046)
EXISTING ZONING:	AH (035-460-038 & 035-470-046)
PROPOSED ZONING:	AH (035-460-038 & 035-470-046)

TOPOGRAPHY	
1.	TOPOGRAPHIC SURVEY MAP PREPARED BY RIECHERS SPENCE & ASSOCIATES, DATED SEPT. 2013
2.	CONTOURS ARE SHOWN EVERY TWO FEET (2'). HIGHLIGHTED EVERY TEN FEET (10').

BOUNDARY	
1.	BOUNDARY IS BASED ON A LOT LINE ADJUSTMENT PREPARED BY RIECHERS SPENCE & ASSOCIATES, DATED MARCH 2012

BASIS OF BEARINGS & BENCHMARK	
1.	BASIS OF BEARINGS FOR THIS MAP IS PER BOOK 84 OF SURVEYS, PAGE 4 & 5, N.C.R.
2.	CITY OF NAPA BM #8-A. ELEVATION = 143.22' (NSVD 1924).

**ANTHEM WINERY**  
**SITE AND WINERY LAYOUT PLAN**  
CALIFORNIA

NAPA COUNTY

1515 FOURTH STREET  
NAPA, CALIF. 94559  
OFFICE (707) 252-3301  
+ www.rsacivil.com

**RSA+**  
REGISTERED PROFESSIONAL ENGINEERS - SURVEYORS

DATE: JUNE 5, 2018

DRAWN: JFH

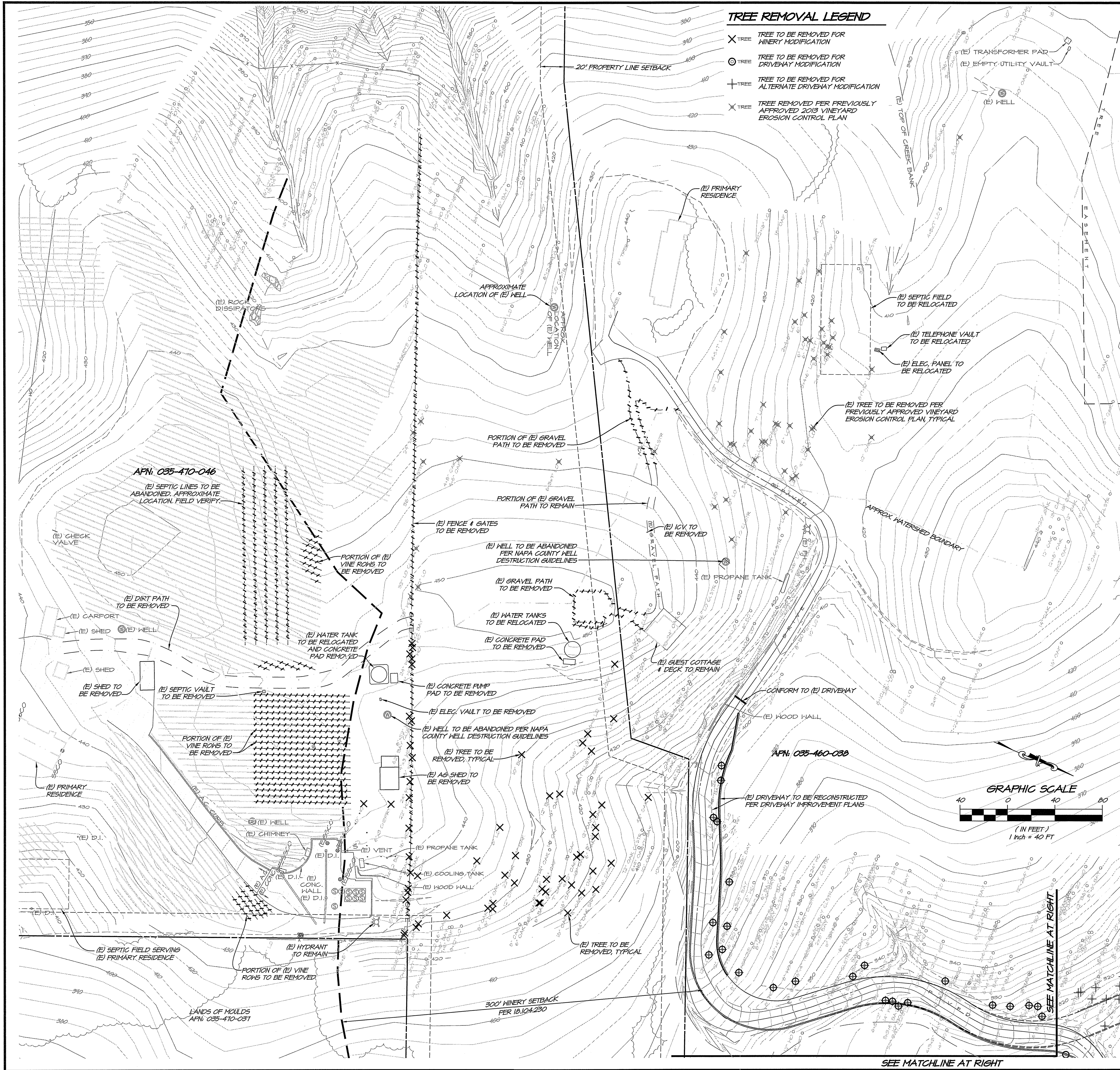
CHECKED: BNF

JOB NO.: 411010.0

SHEET NO.: **UP1.0**

1 OF 5 SHEETS





- TREE REMOVAL LEGEND**
- X TREE TO BE REMOVED FOR WINERY MODIFICATION
  - TREE TO BE REMOVED FOR DRIVEWAY MODIFICATION
  - + TREE TO BE REMOVED FOR ALTERNATE DRIVEWAY MODIFICATION
  - X TREE REMOVED PER PREVIOUSLY APPROVED 2013 VINEYARD EROSION CONTROL PLAN

**TREE REMOVAL FOR WINERY MODIFICATION**

SPECIES	SIZE	QTY	SPECIES	SIZE	QTY	SPECIES	SIZE	QTY
BAY	6"	1	OAK	3x16"	1	OAK	18"	1
BAY	12x8x2	1	OAK	5x16"	1	OAK	20"	1
BAY CLUSTER	44"	1	OAK	6"	2	OAK	22"	1
BAY CLUSTER	62"	1	OAK	6x18"	1	OAK	42"	1
BLUE OAK	10"	1	OAK	7"	3	OAK SNAG	8x14"	1
BLUE OAK	12"	1	OAK	7x8"	1	OAK SNAG	10"	1
BLUE OAK	14x2	1	OAK	7x16"	1	PLUM	7"	1
CHERRY	6x3	1	OAK	8"	2	WHITE OAK	8"	1
LIVE OAK	2x4x18	1	OAK	9"	3	WHITE OAK	8x32"	1
LIVE OAK	4x6"	1	OAK	9x10"	1	WHITE OAK	14"	1
LIVE OAK	6"	1	OAK	10"	2	WHITE OAK	14x3	1
LIVE OAK	8"	2	OAK	10x14"	1	WHITE OAK	16"	1
LIVE OAK	8x2x20"	1	OAK	12"	4	WHITE OAK	18"	1
LIVE OAK	12"	1	OAK	14"	2	WHITE OAK	20"	1
LIVE OAK	18"	1	OAK	16"	1	WHITE OAK	22"	1
OAK	2x6"	1						

**TREE REMOVAL FOR DRIVEWAY MODIFICATION**

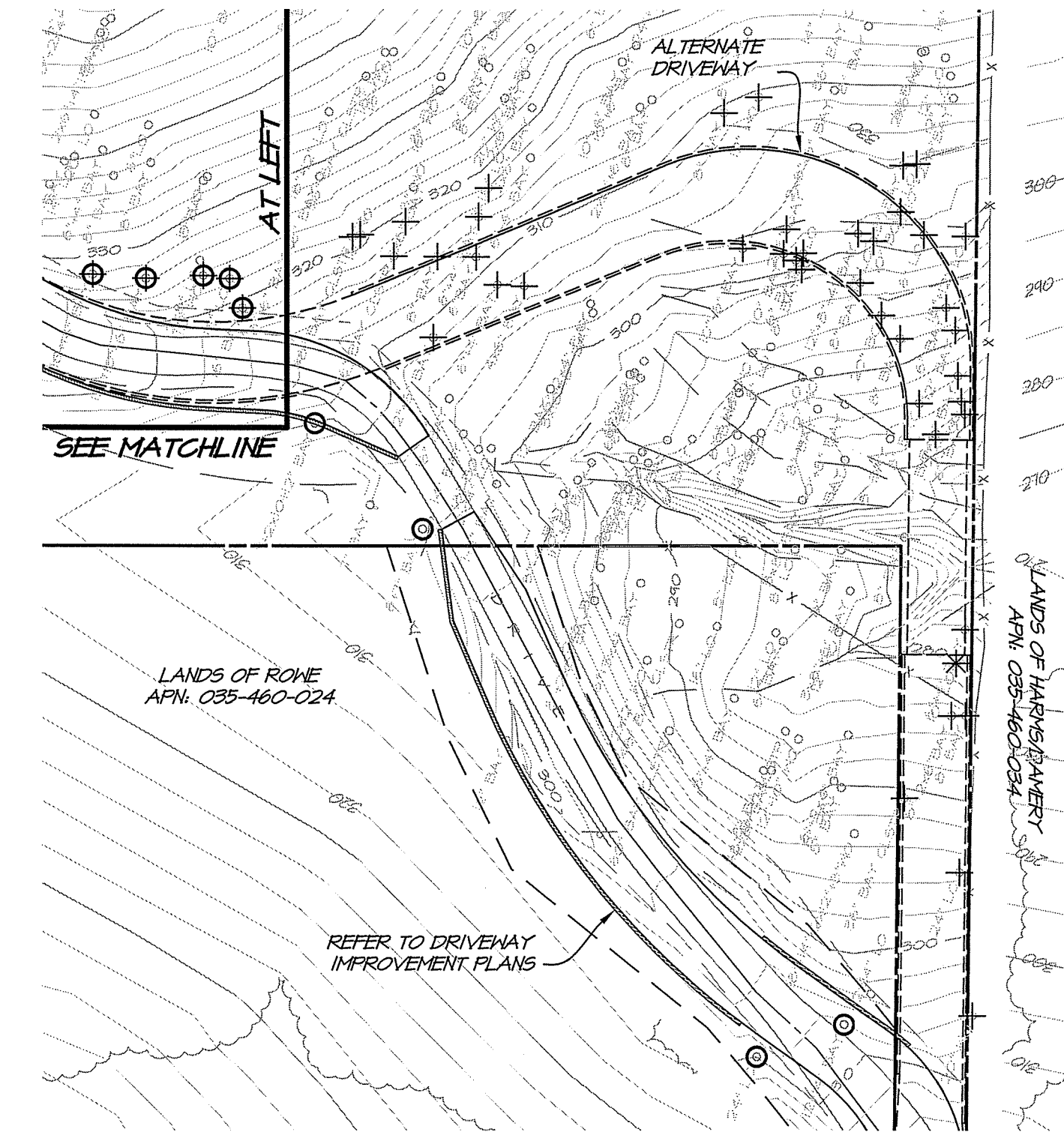
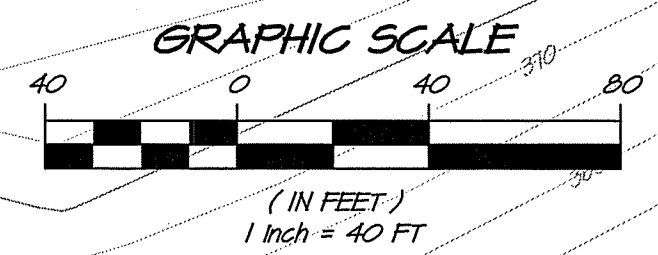
SPECIES	SIZE	QTY	SPECIES	SIZE	QTY	SPECIES	SIZE	QTY
BAY	2x7"	1	BAY CLUSTER	50"	1	LIVE OAK	12"	1
BAY	3x3x16"	1	BAY CLUSTER	75"	1	LIVE OAK	14"	1
BAY	3x6"	1	BLUE OAK	4x6"	1	LIVE OAK	24"	1
BAY	6"	1	BLUE OAK	12x16"	1	LIVE OAK	26"	1
BAY	6x7"	1	BLUE OAK	14"	1	WHITE OAK	6x8x12"	1
BAY	7x2x10x12"	1	BLUE OAK	16"	1	WHITE OAK	8"	1
BAY	10x14"	1	BLUE OAK	18"	1	WHITE OAK	12"	2
BAY	12x14"	1	BLUE OAK	34"	1	WHITE OAK	14"	1
BAY	12x10x16"	1	LIVE OAK	8"	1	WHITE OAK	18"	1
BAY	16"	1						

WINERY TOTAL: 60  
 DRIVEWAY TOTAL: 29  
**TOTAL TREES TO BE REMOVED: 89**

**TREE REMOVAL FOR ALTERNATE DRIVEWAY MODIFICATION**

SPECIES	SIZE	QTY	SPECIES	SIZE	QTY	SPECIES	SIZE	QTY
BAY	2x6"	2	BAY	12x10x16"	1	LIVE OAK	8"	3
BAY	2x7"	1	BAY	16"	1	LIVE OAK	10"	2
BAY	3x3x16"	1	BAY CLUSTER	36"	2	LIVE OAK	12"	1
BAY	3x6"	3	BAY CLUSTER	49"	1	LIVE OAK	14"	1
BAY	4x6"	1	BAY CLUSTER	50"	1	LIVE OAK	18x12"	1
BAY	6"	5	BAY CLUSTER	75"	1	LIVE OAK	20"	1
BAY	6x4"	3	BLUE OAK	4x6"	1	LIVE OAK	24"	1
BAY	8"	8	BLUE OAK	12x16"	1	LIVE OAK	26"	1
BAY	8x2x6"	1	BLUE OAK	14"	1	WHITE OAK	6x8x12"	1
BAY	10"	1	BLUE OAK	16"	1	WHITE OAK	8"	1
BAY	10x16"	1	BLUE OAK	18"	1	WHITE OAK	12"	3
BAY	10x14"	1	BLUE OAK	20"	1	WHITE OAK	14"	1
BAY	12"	1	BLUE OAK	34"	1	WHITE OAK	18"	2
BAY	12x16"	1	LIVE OAK	2x18"	1	WHITE OAK	2"	2
BAY	12x8x14"	1	LIVE OAK	6"	1			

ALTERNATE DRIVEWAY TOTAL: 63  
**TOTAL TREES TO BE REMOVED (INCLUDES WINERY): 128**



**ANTHEM WINERY DEMOLITION PLAN**  
 CALIFORNIA  
 NAPA COUNTY

**UP2.0**  
 2 OF 5 SHEETS

DATE: JUNE 5, 2018  
 DRAWN: JFH  
 DESIGNED: PSH  
 CHECKED: BWF  
 JOB NO.: 411101.0  
 SHEET NO.: UP2.0

1515 FOURTH STREET  
 NAPA, CALIF. 94959  
 OFFICE (707) 252-3301  
 + www.RSAcivil.com +

**RSAC**  
 RSA+ CONSULTING CIVIL ENGINEERS + SURVEYORS + [1980]

PROFESSIONAL SEAL  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 52298  
 Exp. 12-31-18  
 CIVIL ENGINEER  
 STATE OF CALIFORNIA

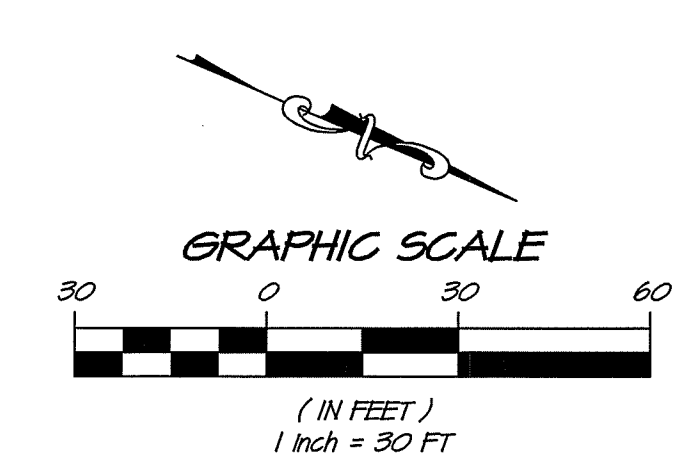
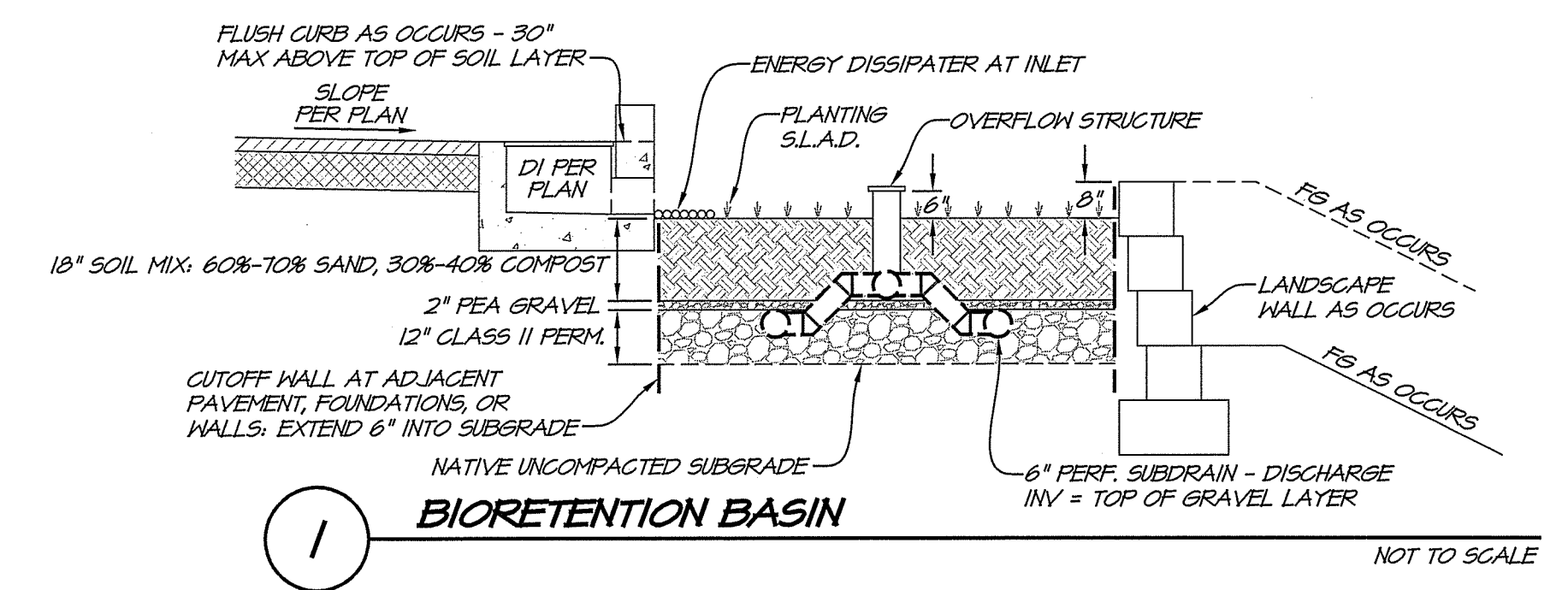
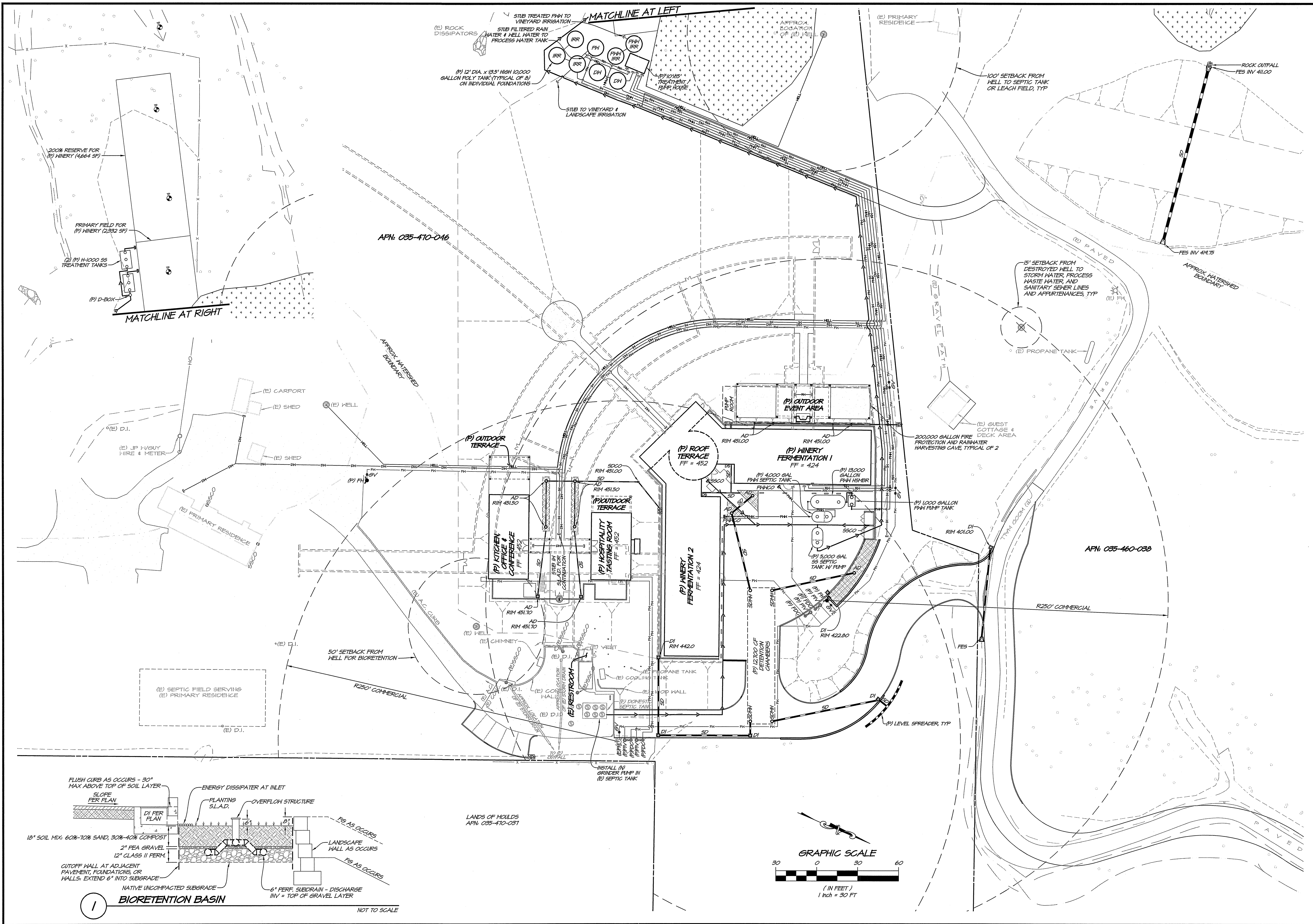




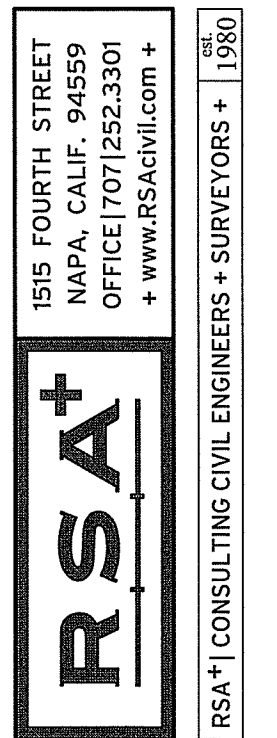




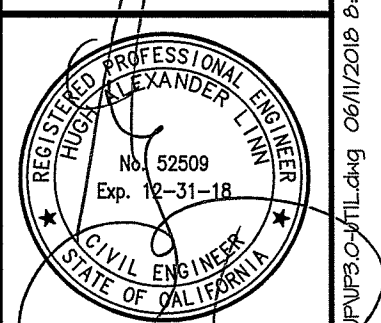




NO.	DATE	REVISIONS	BY	APPD



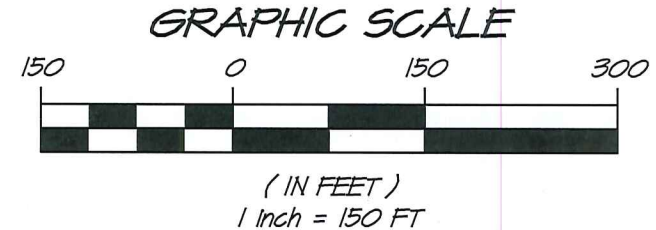
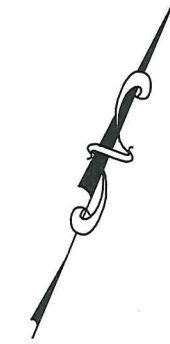
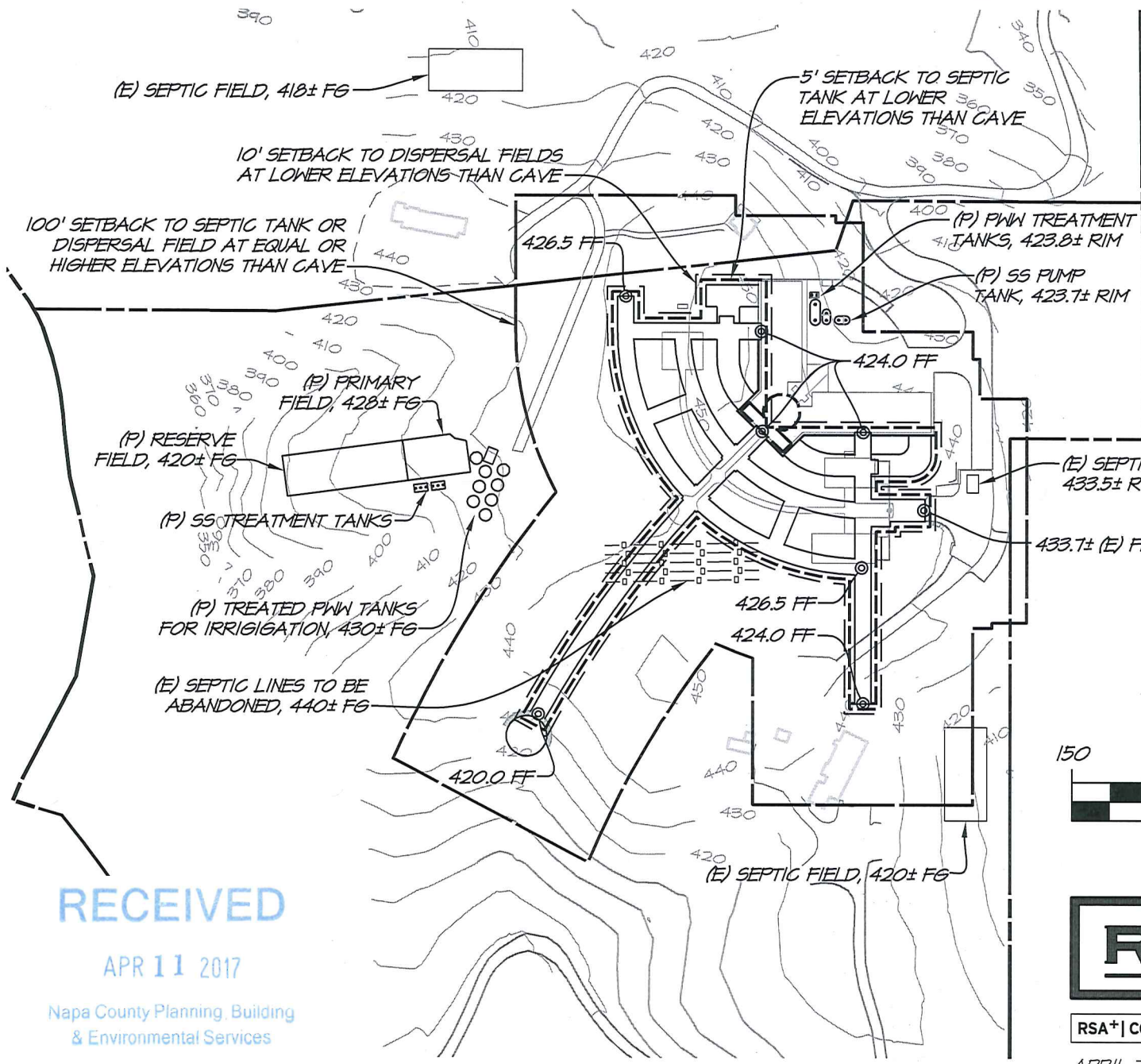
**ANTHEM WINERY**  
**UTILITY PLAN**  
CALIFORNIA  
NAPA COUNTY



DATE	JUNE 5, 2010
DRAWN	JFH
DESIGNED	PSA
CHECKED	BNF
JOB NO.	411010.0
SHEET NO.	<b>UP3.0</b>
	5 OF 5 SHEETS



# ANTHEM WINERY CAVE EXHIBIT



RECEIVED

APR 11 2017

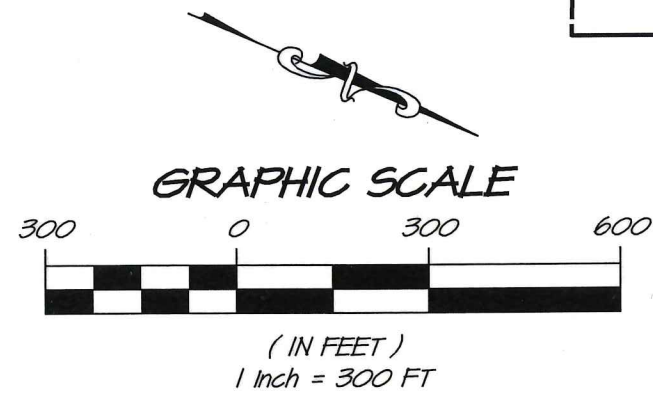
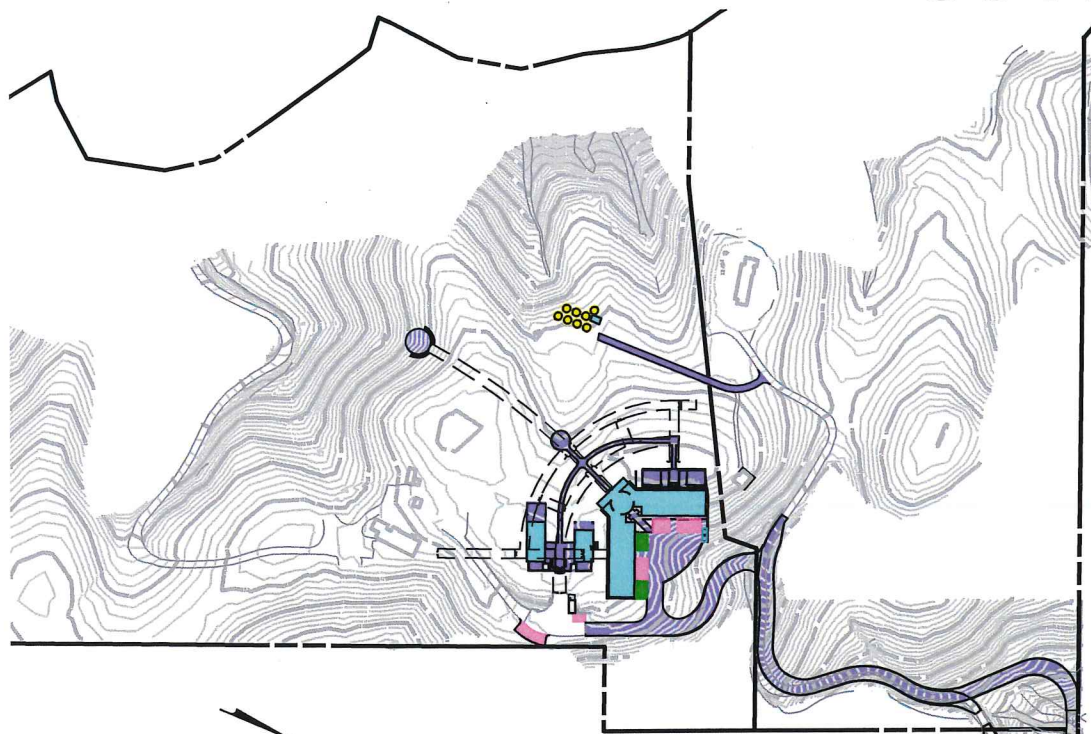
Napa County Planning, Building & Environmental Services

**RSA<sup>+</sup>** 1515 FOURTH STREET  
NAPA, CALIF. 94559  
OFFICE | 707 | 252.3301  
+ www.RSAcivil.com +

RSA<sup>+</sup> | CONSULTING CIVIL ENGINEERS + SURVEYORS + EST. 1980



# ANTHEM WINERY COVERAGES AND DEVELOPMENT



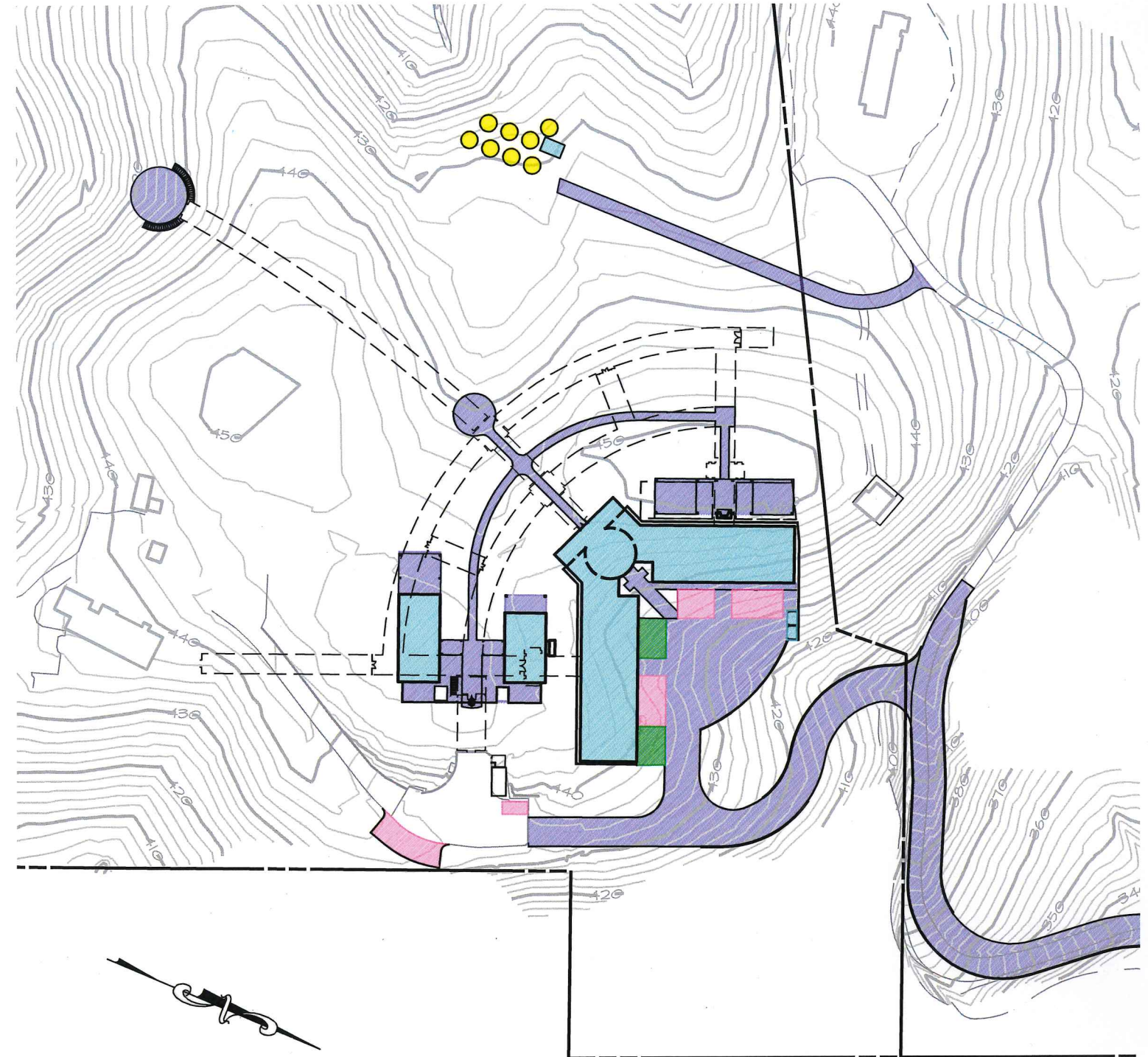
## LEGEND

- VISITOR PARKING = 2,995 SF
- EMPLOYEE PARKING = 1,110 SF
- PAVED AREAS = 74,721 SF
- STRUCTURE = 14,980 SF
- ABOVE GROUND TANKS = 905 SF

## WINERY COVERAGE

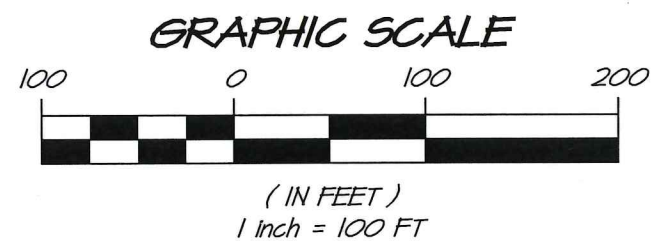
- +  WINERY DEVELOPMENT AREA = 16,090 SF
- +  +  +  +  WINERY COVERAGE AREA = 94,712 SF

DRY CREEK



## WINERY COVERAGE AND DEVELOPMENT AREA

SCALE: 1" = 100'



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JUNE 5, 2018 4111010.0 Exh-Winery Cov&Dev.dwg



**PLANT SCHEDULE**

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	WELO
OLE SEV	8	OLEA EUROPAEA 'SEVILLANO' 16'-17' TALL X 16'-17' WIDE	OLIVE	FIELD DUG	VERY LOW
PIS CHI	16	PISTACIA CHINENSIS	CHINESE PISTACHE	60" BOX	LOW
QUE AGR	12	QUERCUS AGRIFOLIA	COAST LIVE OAK	72" BOX	VERY LOW
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	WELO
ARB MAR	8	ARBUTUS X 'MARINA'	ARBUTUS MULTI-TRUNK	48" BOX	LOW
ARC BAK	34	ARCTOSTAPHYLOS BAKERI 'LOUIS EDMUNDS'	LOUIS EDMUNDS MANZANITA	5 GAL	LOW
ARC HUR	21	ARCTOSTAPHYLOS MANZANITA 'DR. HURD'	DR. HURD MANZANITA	24" BOX	LOW
CEA YAN	7	CEANOTHUS GRISEUS HORIZONTALIS 'YANKEE POINT'	CALIFORNIA LILAC	5 GAL	LOW
FRUIT TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	WELO
FRU TBD	2	FRUIT TREE TBD	FRUIT TREE TO BE DETERMINED	B & B	MODERATE
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	CONT	WELO
AGA BLU	84	AGASTACHE X 'BLUE FORTUNE'	ANISE HYSSOP	1 GAL	LOW
AGA LIC	61	AGASTACHE RUPESTRIS 'LICORICE MINT'	HYSSOP	1 GAL	LOW
ERI KAR	184	ERIGERON KARVINSKIANUS	SANTA BARBARA DAISY	1 GAL	LOW
NEP BLU	30	NEPETA X 'FAASSENI' 'BLUE WONDER'	CATMINT	1 GAL	LOW
PER SPI	116	PEROVSKIA ATRIPLICIFOLIA 'BLUE SPIRES'	RUSSIAN SAGE	5 GAL	LOW
SAL MID	260	SALVIA LEUCANTHA 'MIDNIGHT'	MEXICAN BUSH SAGE	5 GAL	LOW

LANDSCAPED AREA: 34,720 SQ. FT.

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**CLAUDIA SCHMIDT**  
**LANDSCAPE DESIGN**

**ANTHEM WINERY AND VINEYARDS, LLC**  
 3123 Dry Creek Road  
 Napa, California 94558

Date	1/7/2019
Drawn By	CBL
Checked By	CSLD
Project No.	
Date	10/30/15
Issue	USE PERMIT
06/05/18	USE PERMIT RESUB L

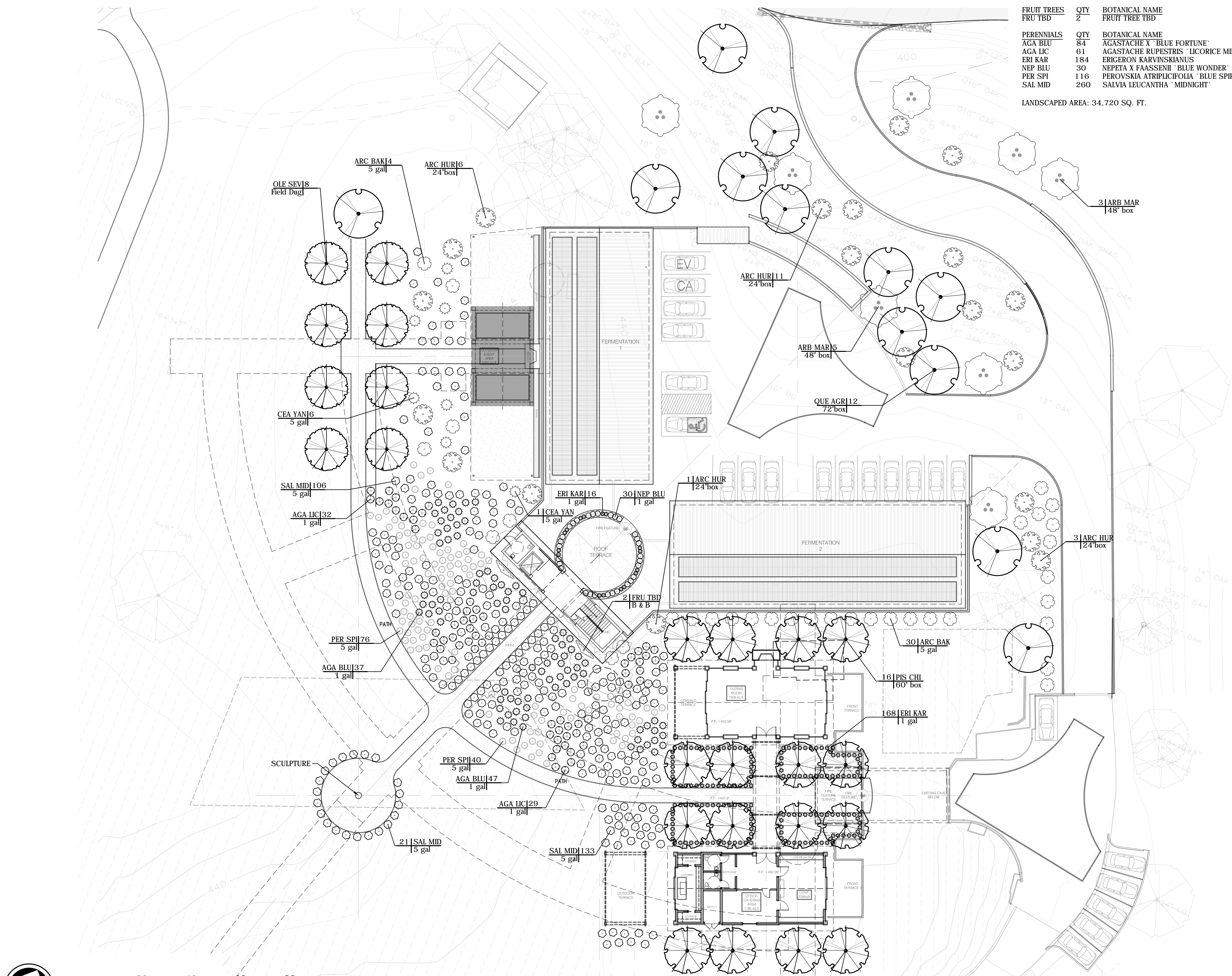
PLANTING PLAN

SCALE AS NOTED

**SHEET INDEX**  
 L2.1 PLANTING PLAN

- IR1.0 IRRIGATION PLAN & WELO CALCS
- IR2.0 IRRIGATION NOTES & DETAILS

Sheet **L2.1**  
 of 1



**1 PLANTING PLAN**  
 SCALE: 1" = 20'







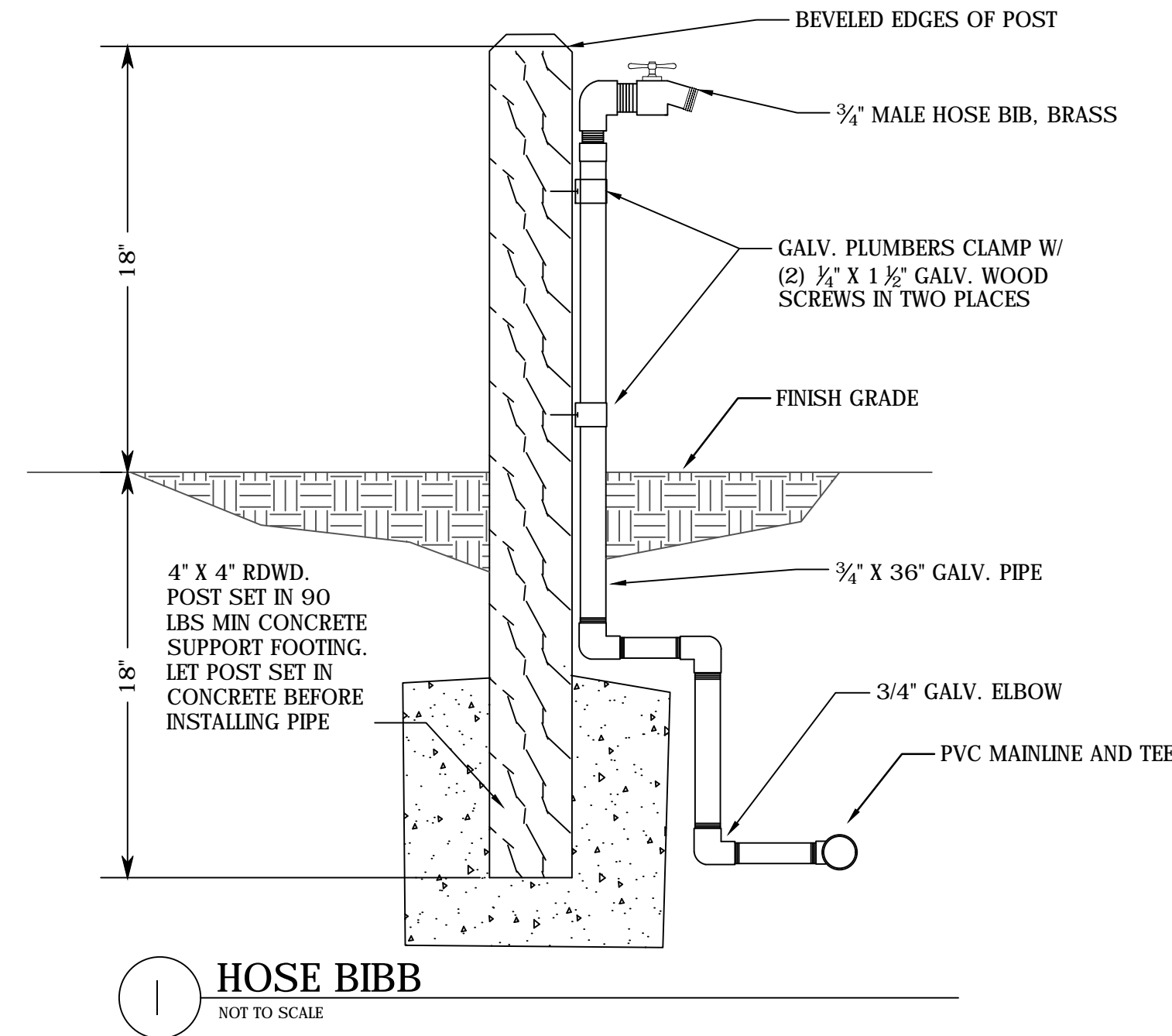
**Irrigation Notes**

- These irrigation drawings are diagrammatic and indicative of the work to be installed. All piping, valves and other irrigation components may be shown within paved areas for graphic clarity only and are to be installed within planting areas. Due to the scale of the drawings, it is not possible to indicate all offsets, fittings, sleeves, conduit and other items which may be required. Notify any coordinate irrigation contract work with applicable contractors for the location and installation of pipe, conduit or sleeves.
- The intent of this irrigation system is to conserve resources while providing a minimum amount of water required to sustain good plant health.
- It is the responsibility of the maintenance contractor and/or owner to program the irrigation controller to provide the minimum amount of water needed to sustain good plant health. This includes making adjustments to the irrigation program for seasonal weather changes, plant material, water requirements, mounds, slopes, sun, shade, wind exposure and growth over time.
- It is the responsibility of a licensed electrical contractor to provide 120 volt A.C. (2.5 amp demand per controller) electrical service to the controller location. It is the responsibility of the irrigation contractor to coordinate the electrical service stub-out to the controller. Provide proper grounding per controller manufacturer's instructions and in accordance with local codes.
- Provide the irrigation controller with its own independent low voltage common ground wire.
- Unless otherwise indicated, well contractor to provide a dedicated 2" service line with a minimum of 25 GPM and 40 PSI with a separate meter or sub-meter.
- Irrigation controller shall be weather- or moisture-based controller that automatically adjusts irrigation in response to changes in plants' needs as weather conditions change. Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate rain sensor which communicates with the controller. Soil moisture-based controllers are not required to have rain sensor input.
- Install new batteries in the irrigation controller to retain program information during power failures. Owner/maintenance contractor to check twice annually and replace when necessary, no less frequent than two years.
- Schedule a meeting which includes the maintenance contractor, the owner (or owner's representative) and the irrigation contractor at the site for instruction on the proper programming and operation of the irrigation controller. Irrigation contractor to provide owner's manual and as-built plans.
- Splicing of low voltage wires is permitted in valve boxes only. Leave a 24" long, 1" diameter coil of excess wire at each splice. Tape wires together every ten feet. Do not tape wires together where contained within sleeving or conduit.
- Install black plastic valve boxes with non-hinged cover marked "irrigation"
- Hose bib and irrigation valve locations are diagrammatic. Install remote control valve boxes 12" from walk curb, lawn header board, building or landscape feature. At multiple valve box groups, install each box 12" apart. Hose bib and valve box locations to be approved by landscape architect.
- A ball/gate valve shall be installed to isolate each irrigation valve or group of valves located together. Gate valve size shall be the same as the main line.
- Flush and adjust irrigation outlets and nozzles for optimum performance and to not allow overspray onto walks, roadways and/or buildings. Select the best degree of the arc and radius to fit the existing site conditions and throttle the flow control at each valve to obtain the optimum operating pressure for each control zone.
- Set sprinkler heads perpendicular to finish grade.
- Locate emitter outlets and bubblers on uphill side of plant or tree.
- At locations where low sprinkler head drainage will cause erosion and/or excess water, install a pop-up body with integral check valve. Install a spring loaded check valve on bubbler and emitter risers where required.
- Where it is necessary to excavate adjacent to existing trees, use caution to avoid injury to trees and tree roots. Excavate by hand in areas where 2 inch diameter and larger roots occur. Backfill trenches adjacent to tree within 24 hours. Where this is not possible, shade the side of the trench adjacent to the tree with wet burlap or canvas.
- The sprinkler system design is based on the minimum operating pressure shown on the irrigation drawings. Verify water pressure prior to construction. Report any difference between the water pressure indicated on the drawings and the actual pressure reading at the irrigation point of connection to the owner's authorized representative.
- Pipe sizing shown on the drawings is typical. As changes in layout occur during staking and construction the size may need to be adjusted accordingly.
- The irrigation contractor shall be responsible for minor changes in the irrigation layout due to obstructions not shown on the irrigation drawings such as lights, fire hydrants, signs, electrical enclosures, unforeseen underground utilities or boulders, etc.

"I have complied with the criteria of the Model Water Efficient Landscape Ordinance and applied them accordingly for the efficient use of water in the irrigation design plan."

*Lindsay Merget*

-Lindsay Merget, Streamline Irrigation Design and Compliance

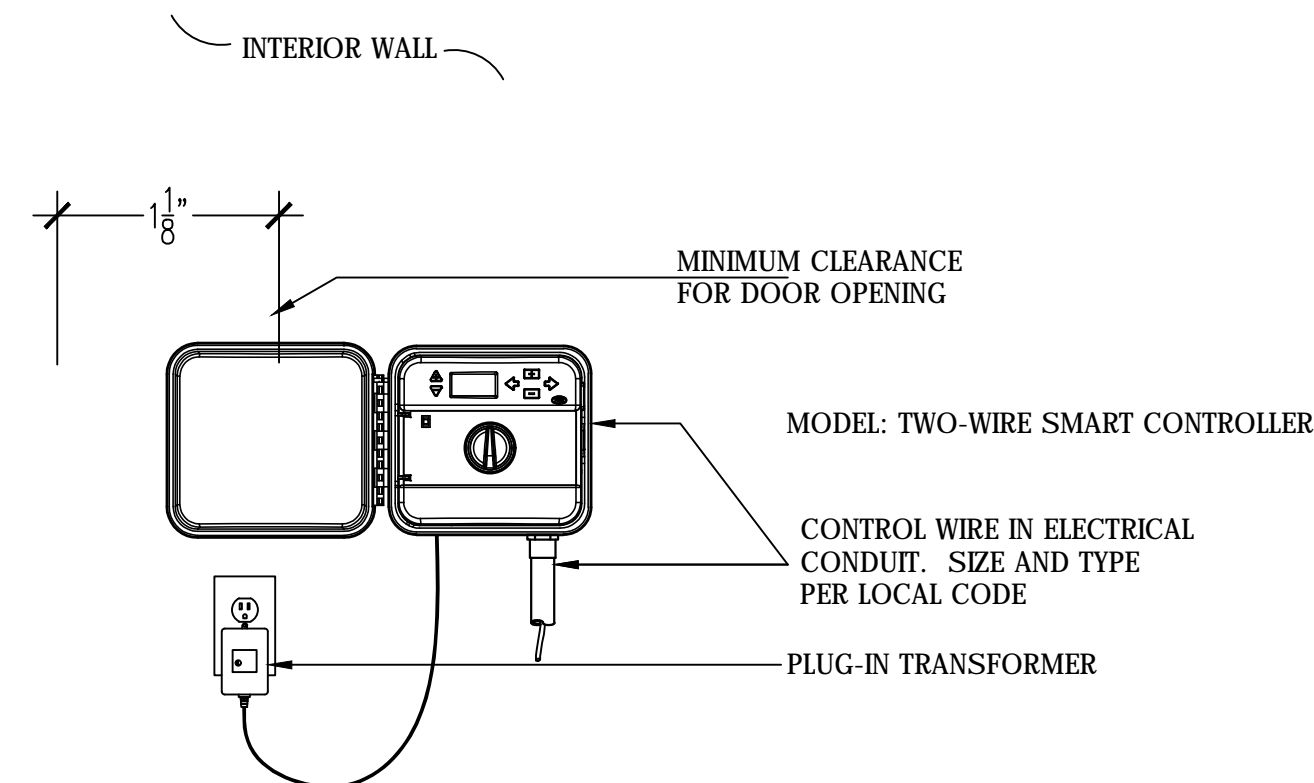


**1 HOSE BIBB**  
NOT TO SCALE

EMITTER CHART - NETAFIM PC 1 GPH EMITTER								
Container Size	1 gal	5 gal	15 gal/24" box	36" box	48" box	60" box	72" box	Field Dig
Qty Emitters	1	2	4	6	10	14	20	20*

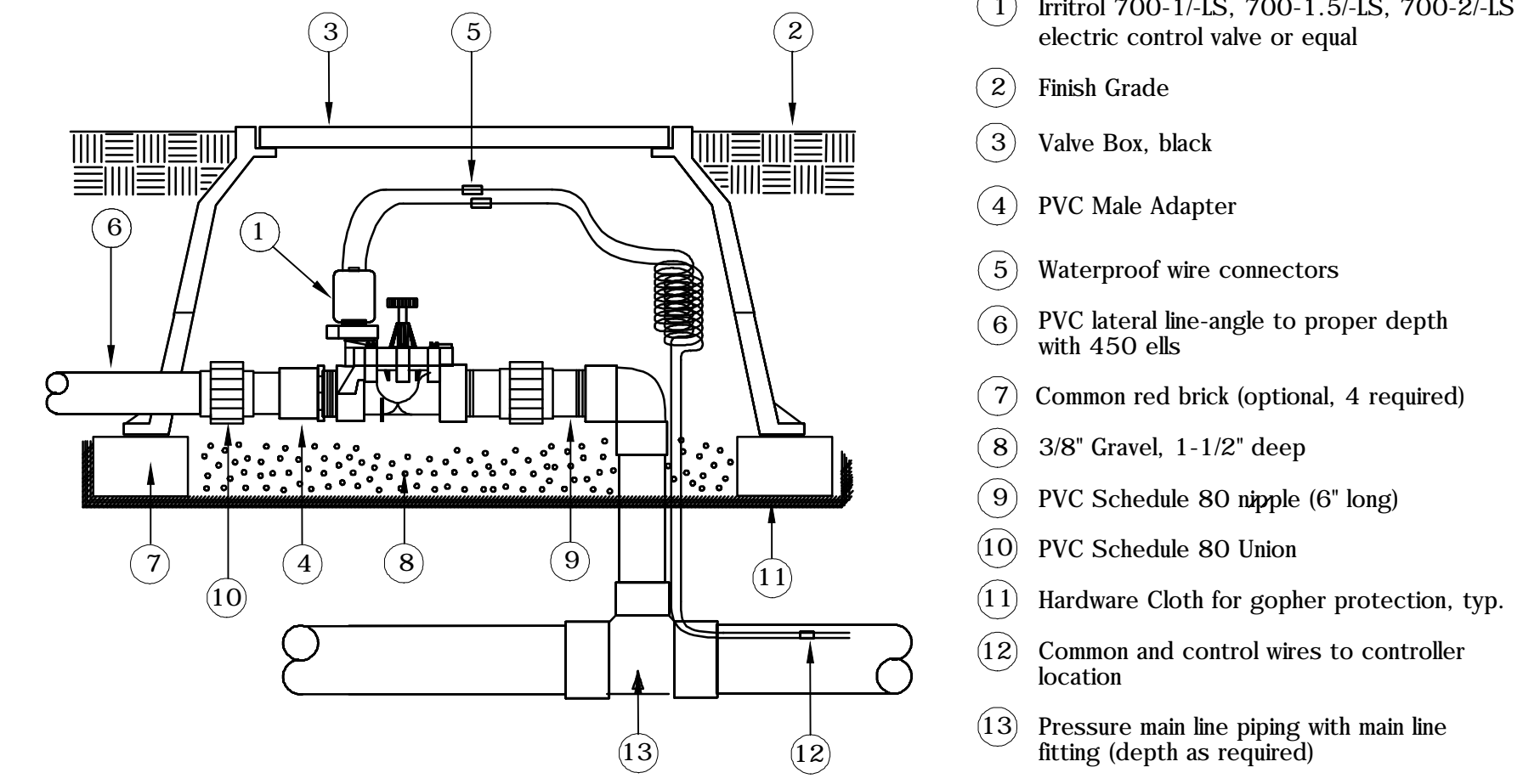
\*Distribute emitters on 2 drip rings

**3 EMITTER CHART**  
NOT TO SCALE



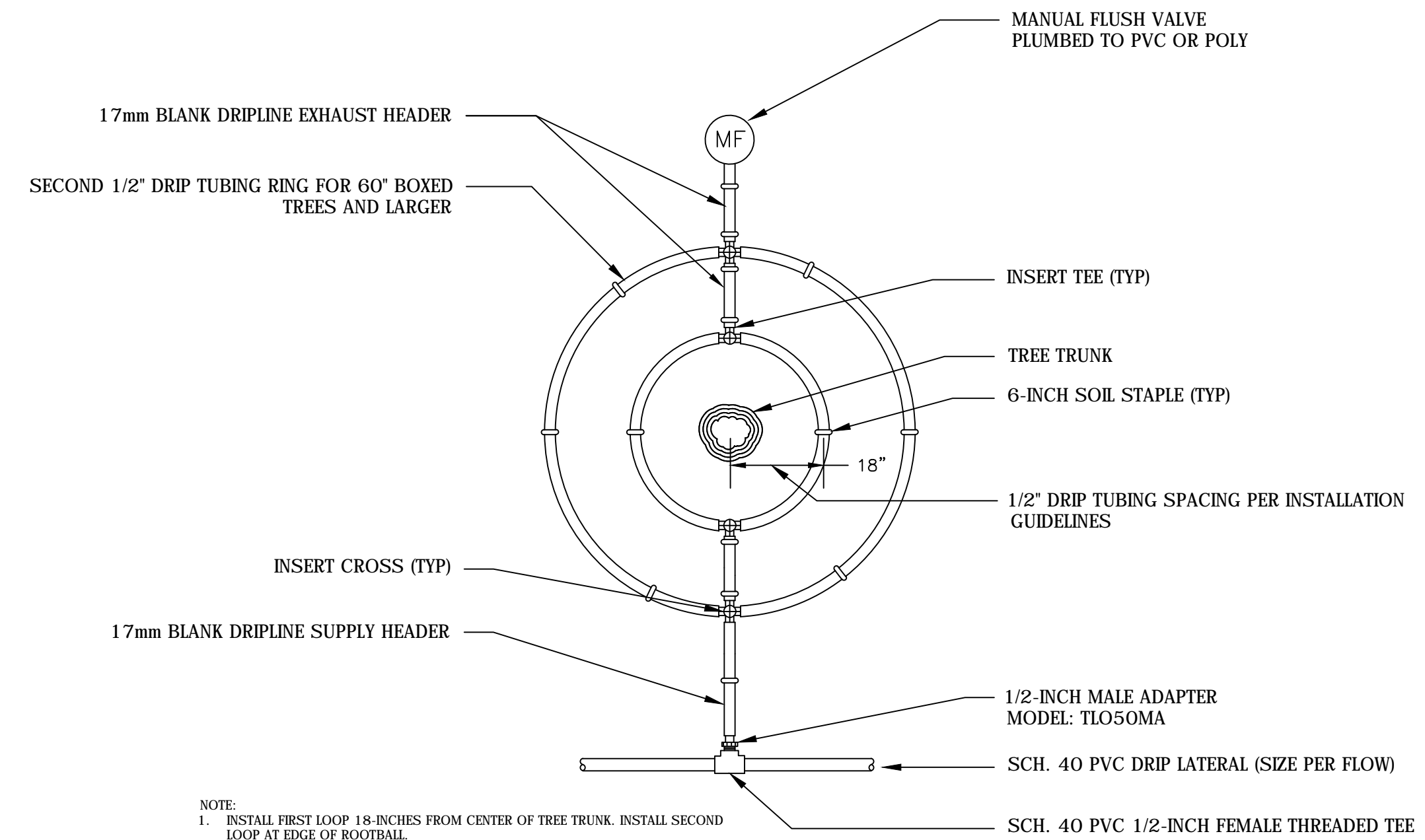
MOUNT CONTROLLER WITH LCD SCREEN AT EYE LEVEL. PLUG-IN TRANSFORMER SHALL BE CONNECTED TO GROUNDED 110 VAC OUTLET.

**5 CONTROLLER**  
NOT TO SCALE



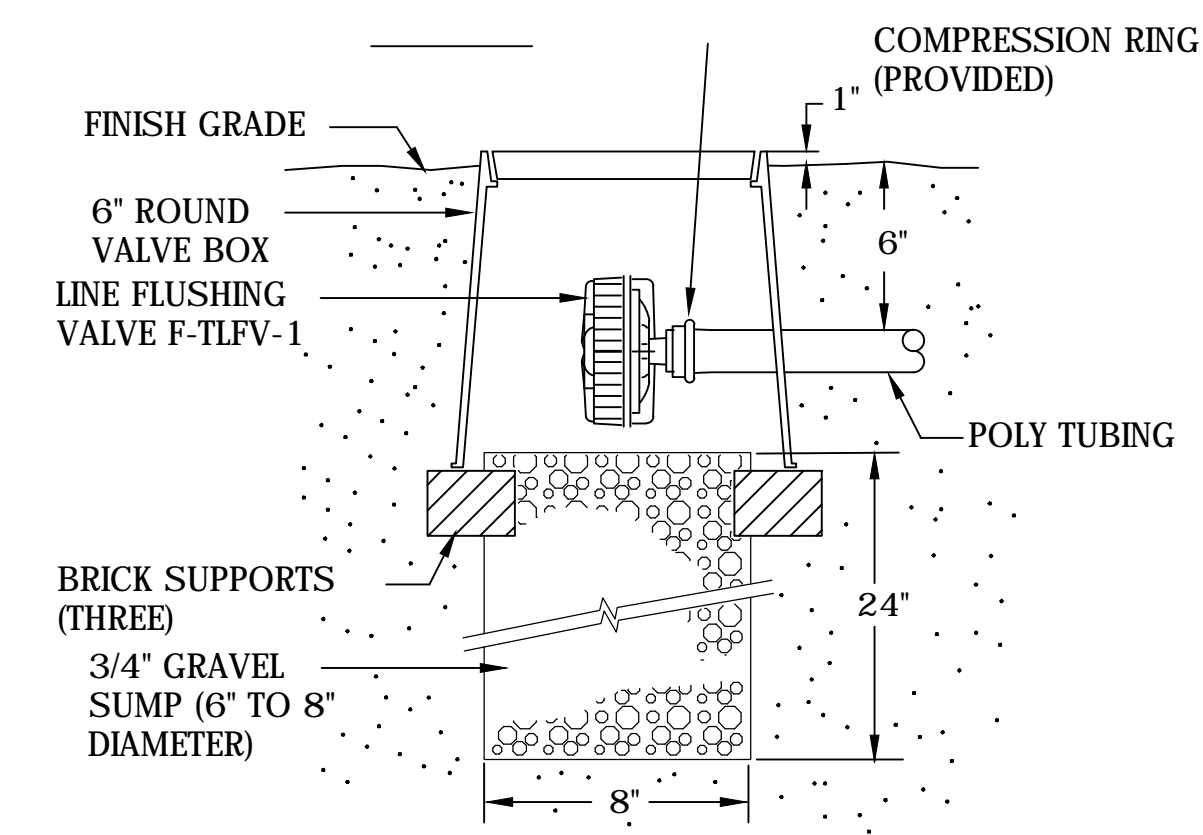
NOTE:  
1. This drawing is provided for reference only. Individual project requirements and local codes may dictate differences in installation procedure that are not identified here.  
2. Refer to product literature for additional installation and adjustment information.

**2 VALVE ASSEMBLY**  
NOT TO SCALE



NOTE:  
1. INSTALL FIRST LOOP 18-INCHES FROM CENTER OF TREE TRUNK. INSTALL SECOND LOOP AT EDGE OF ROOTBALL.  
2. USE TORO 1/2" BLUE LINE DRIP HOSE OR EQUAL.  
3. SEE EMITTER CHART FOR QUANTITY OF EMITTERS PER CONTAINER SIZE.

**4 TREE RING DETAIL FOR 24" BOXED TREES AND LARGER**  
NOT TO SCALE



**6 DRIP LINE FLUSHING VALVE DETAIL**  
NOT TO SCALE

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Date	01/07/2019
Drawn By	LM
Checked By	CSLD
Project No.	
Date	Issue
10/30/15	USE PERMIT
05/05/18	USE PERMIT RESUB. I.

IRRIGATION NOTES  
AND DETAILS

SCALE: AS NOTED

Sheet **IR2.0**  
of 2