

“G”

Graphics








NAPA COUNTY LAND USE PLAN 2008 – 2030





LEGEND



URBANIZED OR NON-AGRICULTURAL

-  Study Area
-  Cities
-  Urban Residential*
-  Rural Residential*
-  Industrial
-  Public-Institutional
-  Napa Pipe Mixed Use

OPEN SPACE

-  Agriculture, Watershed & Open Space
-  Agricultural Resource

TRANSPORTATION

-  Mineral Resource
-  Limited Access Highway
-  American Canyon ULL
-  City of Napa RUL
-  Landfill - General Plan
-  Road
-  Airport
-  Railroad
-  Airport Clear Zone

* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations

Rapp Equestrian Center
APN 052-170-018
P18-00197-UP



Shadybrook Winery
APN 052-170-019
P18-00450-MOD

LEGEND

- Zoning
- AW



Rapp Equestrian Center
APN 052-170-018
P18-00197-UP



Shadybrook Winery
APN 052-170-019
P18-00450-MOD



Existing Conditions

SHADYBROOK ESTATE WINERY USE PERMIT MODIFICATION PLAN



VICINITY MAP
SCALE: 1" = 3000'

PROJECT INFORMATION

OWNER: RAPP RANCH ESTATES LLC
20 CHATEAU LANE
NAPA, CA 94558

SITE ADDRESS: 100 RAPP LANE
NAPA, CA 94558

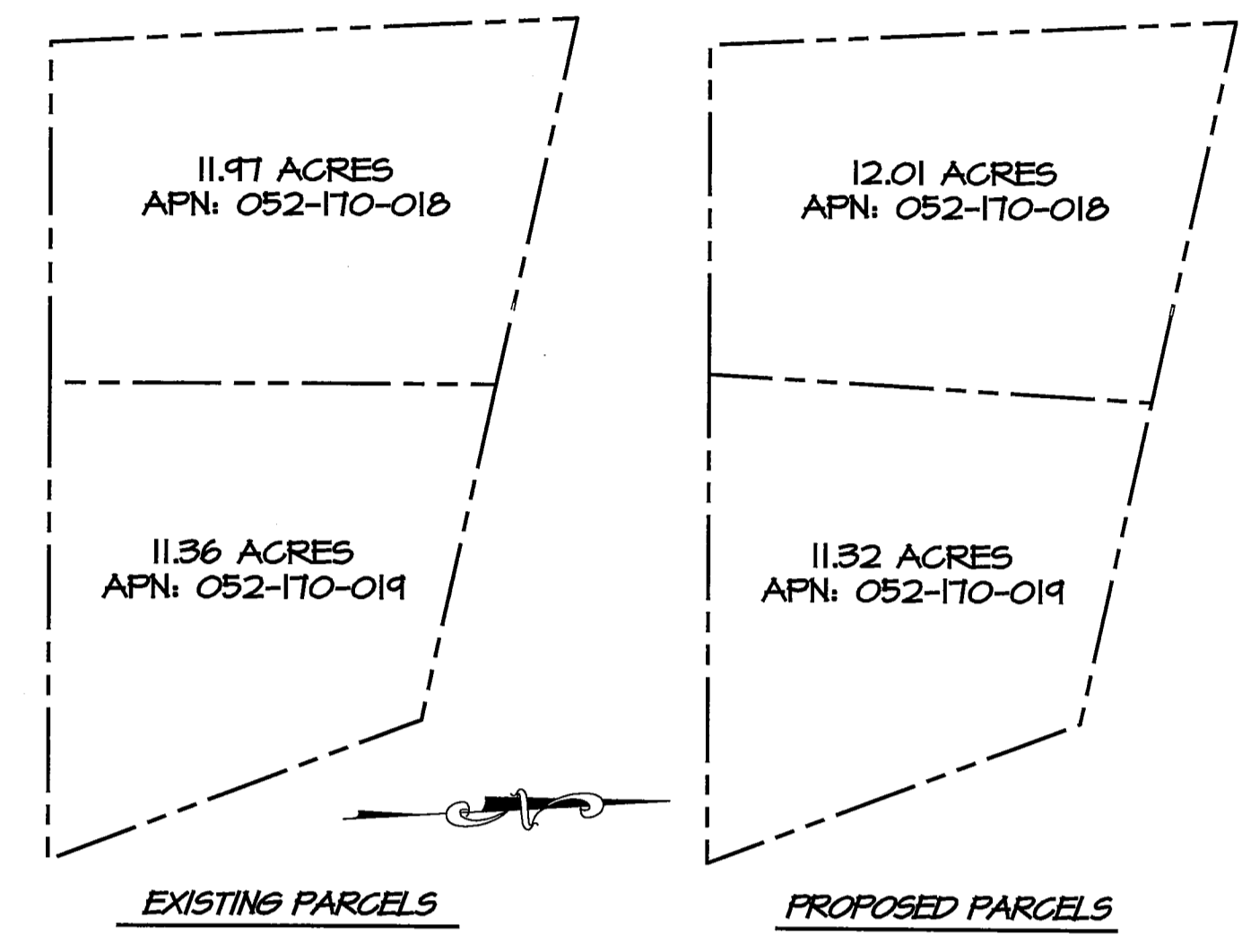
CIVIL ENGINEER: RSA+
1515 FOURTH STREET
NAPA, CA 94554

APN: 052-170-019
PARCEL AREA: 11.36 ACRES
EXISTING USE: WINERY AND VINEYARD

SURVEY NOTES

- TOPOGRAPHY BASED ON A FIELD SURVEY PERFORMED BY RSA+ IN MAY 2018, AND A SUPPLEMENTAL SURVEY IN OCTOBER 2018. CONTOURS ARE SHOWN EVERY ONE FOOT (1'), HIGHLIGHTED EVERY FIVE FEET (5').
- HORIZONTAL DATUM: NORTH AMERICAN DATUM OF 1983 (NAD83) 2011 EPOCH BASED UPON G.P.S. OBSERVATIONS ON NETWORK UTILIZING CONTINUALLY OPERATING REFERENCE STATION (CORS) INFORMATION FROM THE CALIFORNIA SPATIAL REFERENCE CENTER (C.S.R.C.).
VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- SURROUNDING CONTOURS ARE FROM NAPA COUNTY 615 AND ARE SHOWN FOR REFERENCE ONLY.
- BOUNDARY SHOWN IS RECORD INFORMATION PER BOOK 17 OF SURVEYS AT PAGE 7, N.G.R.
- NO LOCATION DESCRIBED FOR EASEMENT FOR ELECTRICAL FACILITIES GRANTED TO P&E, DOCUMENT 1156 OR 183.
- THE EASEMENTS SHOWN AFFECTING THE PARCELS ARE AS IDENTIFIED IN THE PRELIMINARY TITLE REPORT PROVIDED BY FLACER TITLE COMPANY AS ORDER NUMBER P-263444 DATED MARCH 28, 2018.

LOT LINE ADJUSTMENT
SCALE: 1" = 300'



ABBREVIATIONS

| | | | |
|----------|---------------------|--------|-------------------------------------|
| BOP | BOTTOM OF PIPE | N.G.R. | NAPA COUNTY RECORD |
| CL | CENTERLINE | OC | ON CENTER |
| CO | CLEANOUT | OR | OFFICIAL RECORD |
| DM | DOMESTIC WATER | P.A.E. | PUBLIC ACCESS EASEMENT |
| EP | EDGE OF PAVEMENT | P.U.E. | PUBLIC UTILITY EASEMENT |
| EV | ELECTRIC VEHICLE | PL | PROPERTY LINE |
| EX / (E) | EXISTING | (P) | PROPOSED NEW WORK |
| FD | FOUND | PN | PROCESS WATER |
| FF | FINISH FLOOR | PWM | PROCESS WASTE WATER |
| FG | FINISH GRADE | R | RADIUS |
| FH | FIRE HYDRANT | RFBP | REDUCED PRESSURE BACKFLOW PREVENTER |
| FL | FLOW LINE | ROW | RIGHT OF WAY |
| FW | FIRE WATER | RW | RECYCLED WATER |
| GB | GRADE BREAK | S | SLOPE (FEET/FOOT) |
| HP | HIGH POINT | S.A.D. | SEE ARCHITECT'S DRAWINGS |
| HWL | HIGH WATER LEVEL | SD | STORM DRAIN |
| INV | INVERT | SDCO | STORM DRAIN CLEANOUT |
| IP | IRON PIPE | SS | SANITARY SEWER |
| IW | IRRIGATION WATER | SSCO | SANITARY SEWER CLEANOUT |
| LF | LINEAL FEET/FOOT | SSFM | SANITARY SEWER FORCE MAIN |
| LLA | LOT LINE ADJUSTMENT | STA | STATION |
| LP | LOW POINT | TOP | TOP OF PIPE |
| M | MANHOLE | WM | WATER METER |

SYMBOL LEGEND

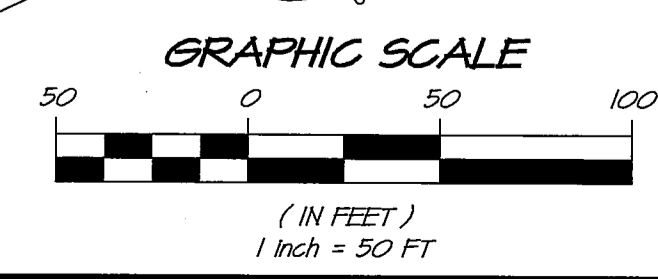
| EXISTING | EXISTING | PROPOSED |
|-------------------------------------|----------------------------|----------------------|
| — FLOW LINE | ⊗ FIRE HYDRANT | DS • DOWNSPOUT |
| — FENCE | ⊙ SS MANHOLE | ⊠ TRUNCATED DOME |
| — TOE OF BANK | ⊖ TREE (AS NOTED) | — TOP / TOE DAYLIGHT |
| — TOP OF BANK | — GUY WIRE | — FLUSH CURB |
| — STORM DRAIN PIPE | ⊕ WELL | — VERTICAL CURB |
| — OVERHEAD UTILITY LINES | ⊡ IRRIGATION CONTROL VALVE | ⊖ GATE VALVE |
| — SANITARY SEWER LINE | ⊙ UTILITY POLE | — DOMESTIC WATER |
| — WATER MAIN | ⊙ SEWER CLEANOUT | — FIRE WATER |
| — GRADEBREAK | ⊡ SURVEY CONTROL STATION | ⊖ FIRE HYDRANT |
| — EDGE OF ROAD | — SIGN | |
| — BUILDINGS OVERHEAD / SECOND STORY | | |

LOCAL SITE CONTROL

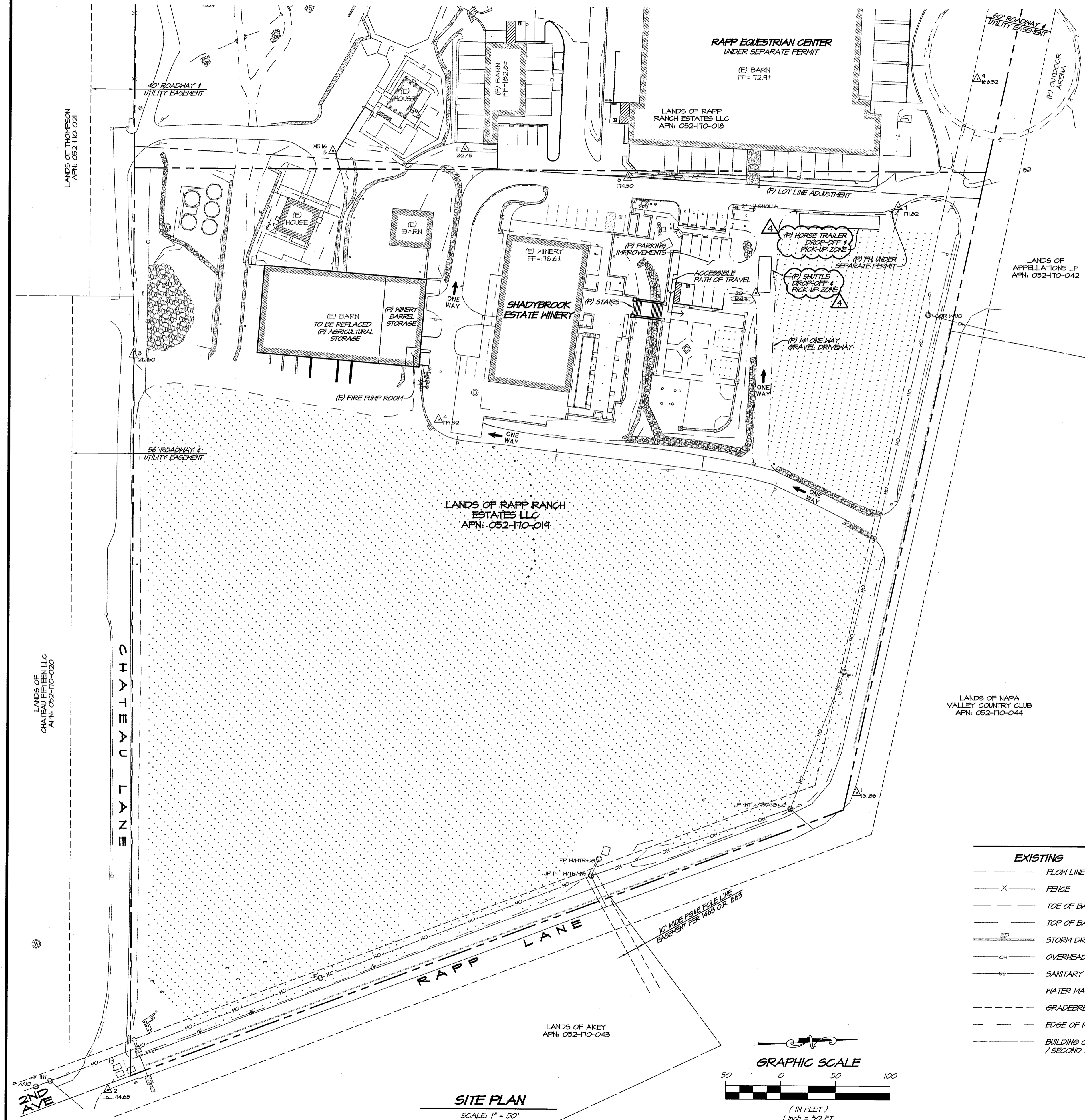
| # | GROUND NORTHING | GROUND EASTING | ELEVATION |
|---|-----------------|----------------|-----------|
| 1 | 18146471.68 | 6440871.13 | 161.86' |
| 2 | 1814000.42 | 6441104.73 | 144.88' |
| 3 | 1814061.30 | 6440435.17 | 212.50' |
| 4 | 1814335.86 | 6440504.12 | 171.82' |
| 5 | 1814253.40 | 6440260.15 | 145.16' |
| 6 | 1814520.55 | 6440244.43 | 174.50' |
| 7 | 1814765.44 | 6440334.82 | 171.82' |

SHEET INDEX

| | |
|------|---------------------------------------|
| C1.0 | COVER SHEET |
| C2.0 | DENULSION PLAN |
| C2.1 | LAYOUT PLAN |
| C2.2 | PARCELS INGRESS & EGRESS |
| C2.3 | GATE ELEVATION PLAN |
| C3.0 | GRADING & DRAINAGE PLAN |
| C4.0 | UTILITY PLAN |
| C5.0 | COVERAGE & ACCESSORY/PRODUCTION RATIO |
| A-2 | TERRACE BARN FLOOR PLAN |
| A-3 | TERRACE BARN ELEVATIONS |



SITE PLAN
SCALE: 1" = 50'



REVISIONS

| NO. | DATE | REVISIONS |
|-----|----------|----------------------|
| 0 | 02/21/19 | FIRST SUBMITTAL |
| 1 | 04/10/19 | RESPONSE TO COMMENTS |
| 2 | 08/08/19 | RESPONSE TO COMMENTS |
| 3 | 11/20/19 | RESPONSE TO COMMENTS |
| 4 | 12/03/19 | COVER SHEET REVISION |

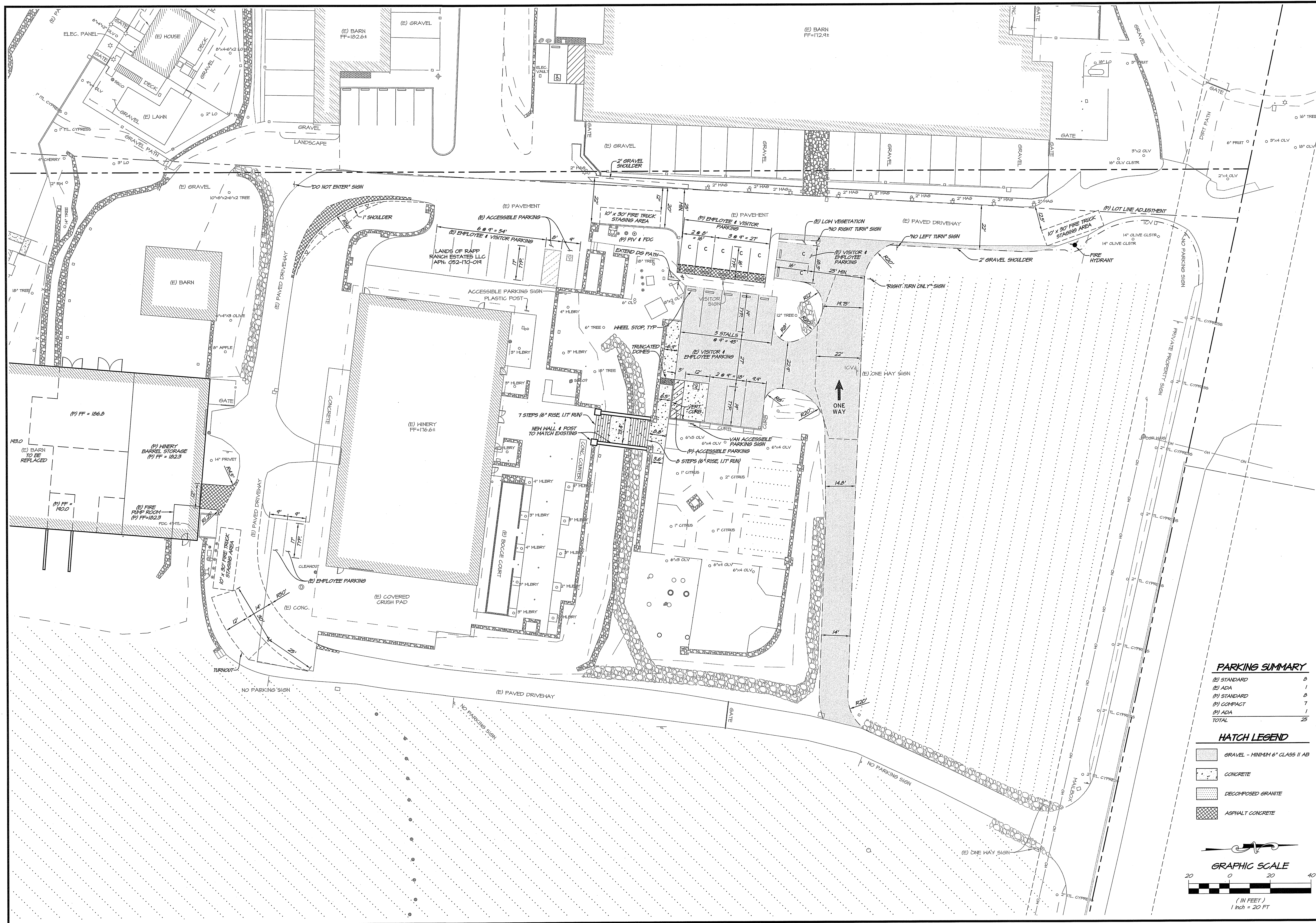
RS+ CONSULTING CIVIL ENGINEERS + SURVEYORS + 1980

1515 FOURTH STREET
NAPA, CALIF. 94559
OFFICE: 707.252.3301
WWW.RSACON.COM

**SHADYBROOK ESTATE WINERY
COVER SHEET
NAPA COUNTY
CALIFORNIA**

PROFESSIONAL ENGINEER
No. 7180
JANUARY 2019

DATE: DEC. 13, 2019
DRAWN: JFY
DESIGNED: JCA
CHECKED: MGS
JOB NO.: 418019.0
SHEET NO.: C1.0
1 OF 10 SHEETS

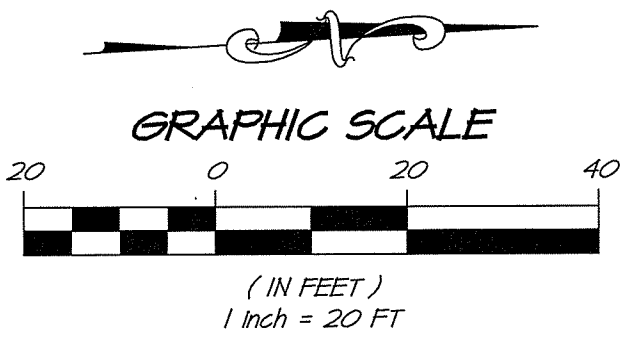


PARKING SUMMARY

| | |
|--------------|-----------|
| (E) STANDARD | 8 |
| (E) ADA | 1 |
| (P) STANDARD | 8 |
| (P) COMPACT | 1 |
| (P) ADA | 1 |
| TOTAL | 25 |

HATCH LEGEND

| | |
|-----------------|---------------------------------|
| [Hatch Pattern] | GRAVEL - MINIMUM 6" CLASS II AB |
| [Hatch Pattern] | CONCRETE |
| [Hatch Pattern] | DECOMPOSED GRANITE |
| [Hatch Pattern] | ASPHALT CONCRETE |

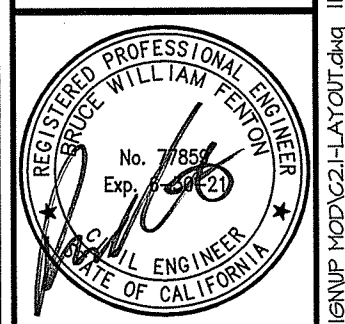


| | | | | |
|-----|----------|----------------------|---------|-------|
| NO. | DATE | REVISIONS | BY | APPD. |
| 1 | 02/20/19 | FIRST SUBMITTAL | JFH/JCK | |
| 2 | 04/10/19 | RESPONSE TO COMMENTS | JFH/JCK | |
| 3 | 08/08/19 | RESPONSE TO COMMENTS | JFH/JCK | |
| 4 | 11/20/19 | RESPONSE TO COMMENTS | JFH/JCK | |

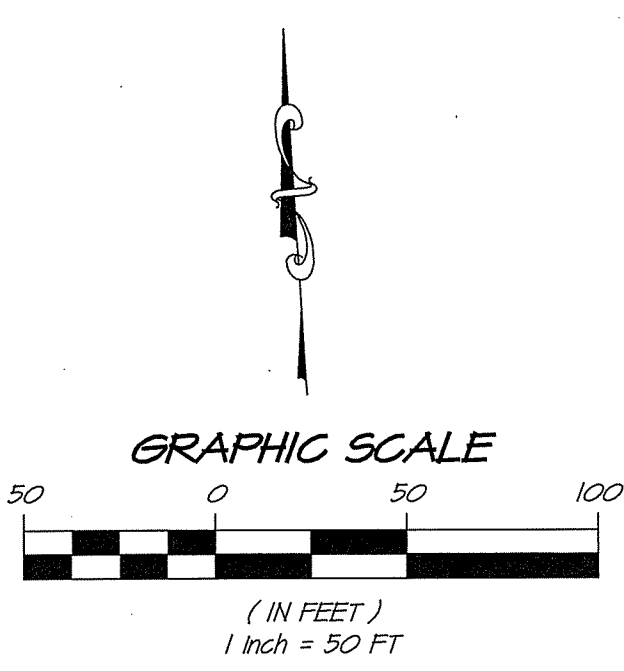
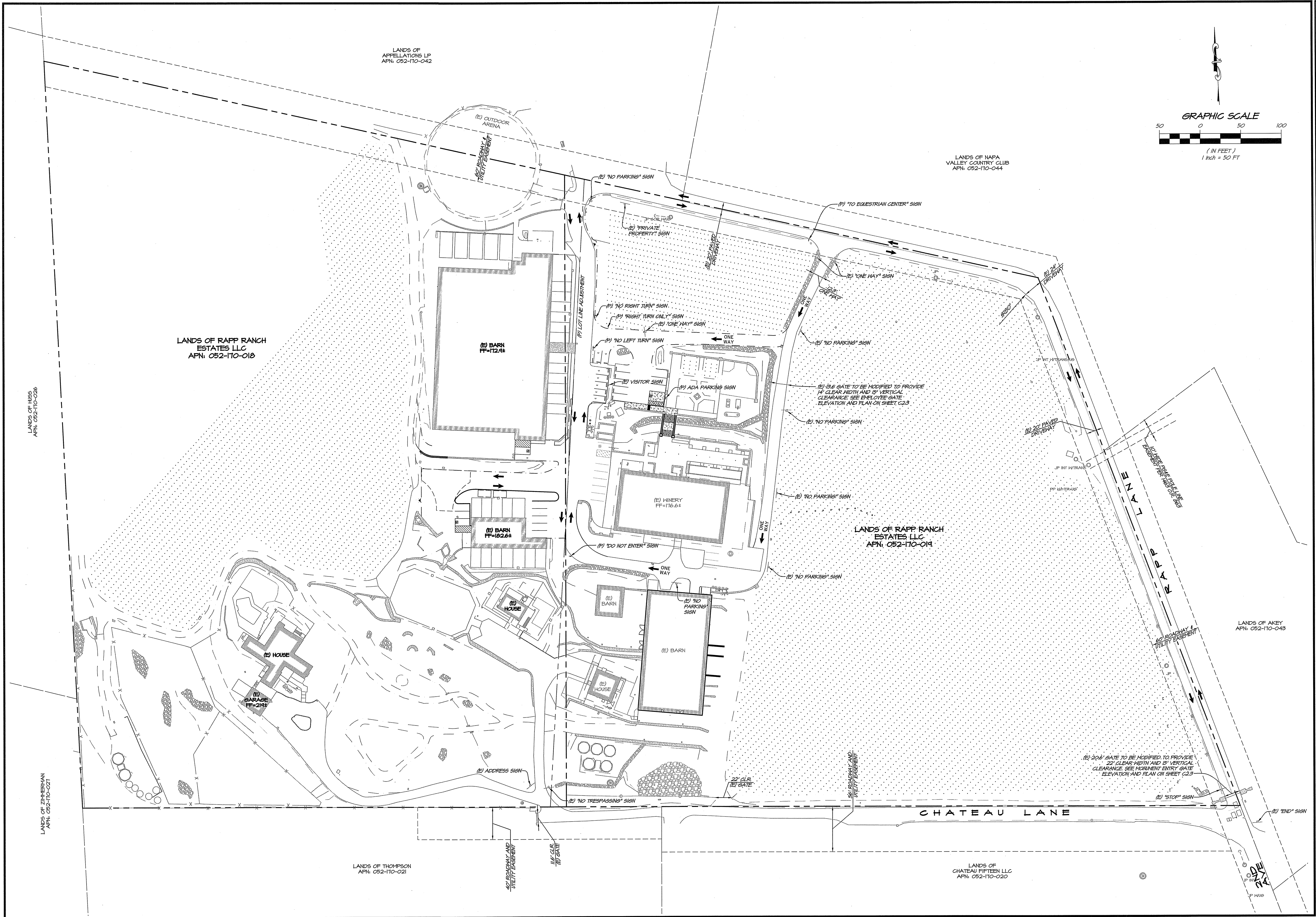
RSA+
 CONSULTING CIVIL ENGINEERS + SURVEYORS + 1950

1815 FOURTH STREET
 NAPA, CALIF. 94559
 OFFICE (707) 252.3301
 + www.rsa-nv.com

SHADYBROOK ESTATE WINERY
LAYOUT PLAN
 NAPA COUNTY
 CALIFORNIA



| | |
|----------------|---------------|
| DATE | NOV. 20, 2019 |
| DRAWN | JFH |
| DESIGNED | JCK |
| CHECKED | MBS |
| JOB NO. | 4118019.0 |
| SHEET NO. | C2.1 |
| 3 OF 10 SHEETS | |

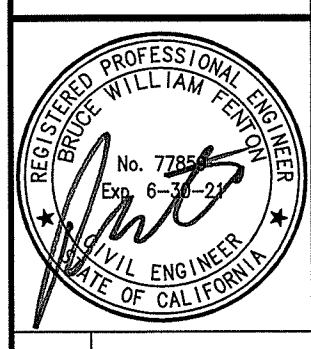


| NO. | DATE | REVISIONS | BY |
|-----|----------|----------------------|-----|
| 0 | 02/12/14 | FIRST SUBMITTAL | JFH |
| 1 | 04/01/14 | RESPONSE TO COMMENTS | JFH |
| 2 | 08/08/14 | RESPONSE TO COMMENTS | JFH |
| 3 | 11/20/14 | RESPONSE TO COMMENTS | JFH |

RSA+
 CONSULTING CIVIL ENGINEERS + SURVEYORS • 1980

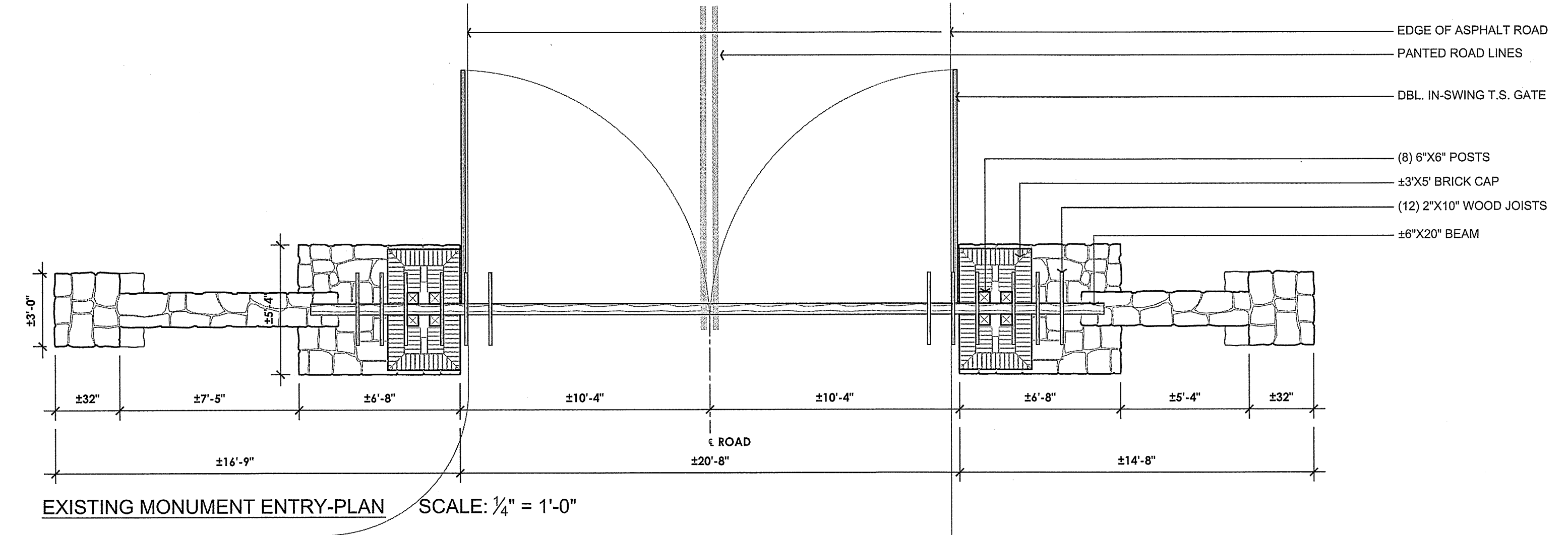
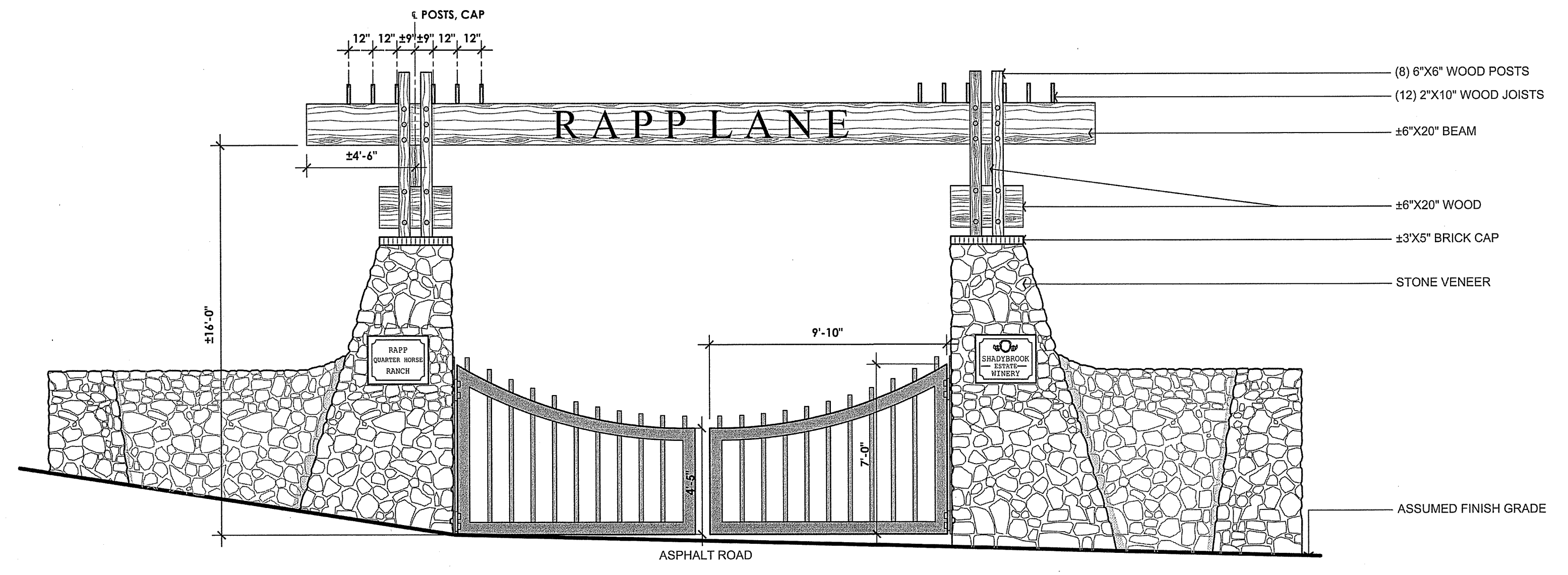
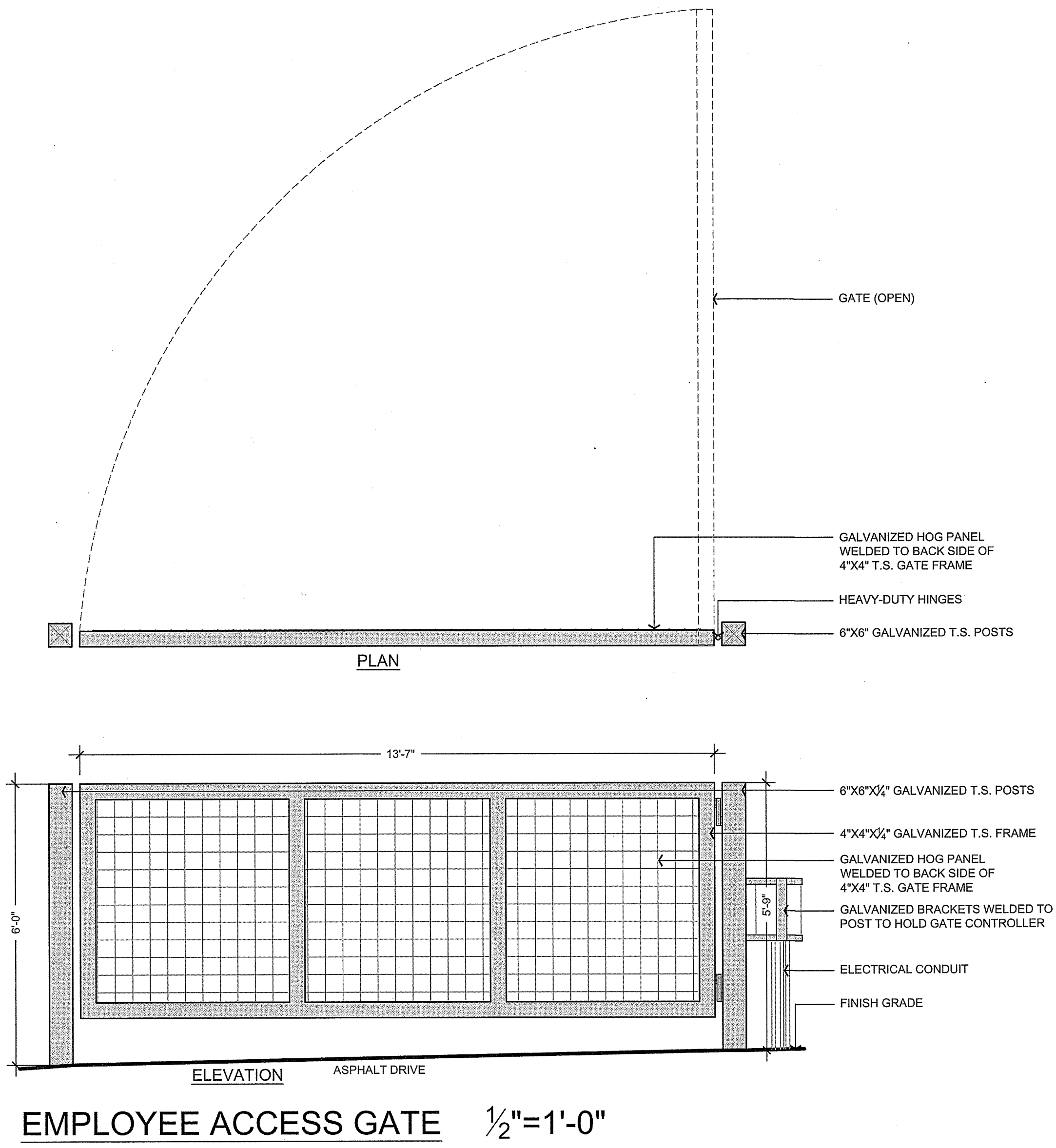
1515 FOURTH STREET
 NAPA, CALIF. 94559
 OFFICE (707) 252-3301
 + www.rsacivil.com

**SHADYBROOK ESTATE WINERY
 PARCELS INGRESS & EGRESS**
 CALIFORNIA
 NAPA COUNTY



| | |
|----------|---------------|
| DATE | NOV. 20, 2014 |
| DRAWN | JFH |
| DESIGNED | JCK |
| CHECKED | MSS |
| JOB NO. | 418019.0 |

SHEET NO.
C2.2
 4 OF 10 SHEETS



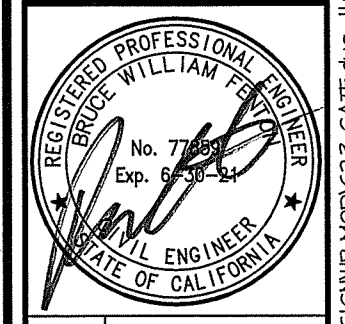
- NOTES**
- GATE ELEVATION AND PLAN PROVIDED BY OWNER.
 - EXISTING 20.6' GATE TO BE MODIFIED TO PROVIDE 22' CLEAR WIDTH AND 15' VERTICAL CLEARANCE. SEE GATE LOCATION ON SHEET C2.2.
 - EXISTING 13.6' GATE TO BE MODIFIED TO PROVIDE 16' CLEAR WIDTH. SEE GATE LOCATION ON SHEET C2.2.

| NO. | DATE | REVISIONS | BY | APPD |
|-----|----------|----------------------|-----|------|
| 0 | 02/20/14 | FIRST SUBMITTAL | JFH | |
| 1 | 04/04/14 | RESPONSE TO COMMENTS | JFH | |
| 2 | 04/04/14 | RESPONSE TO COMMENTS | JFH | |
| 3 | 11/20/14 | RESPONSE TO COMMENTS | JFH | |

1515 FOURTH STREET
NAPA, CALIF. 94959
OFFICE (707) 252-3301
+ www.rsa1.com

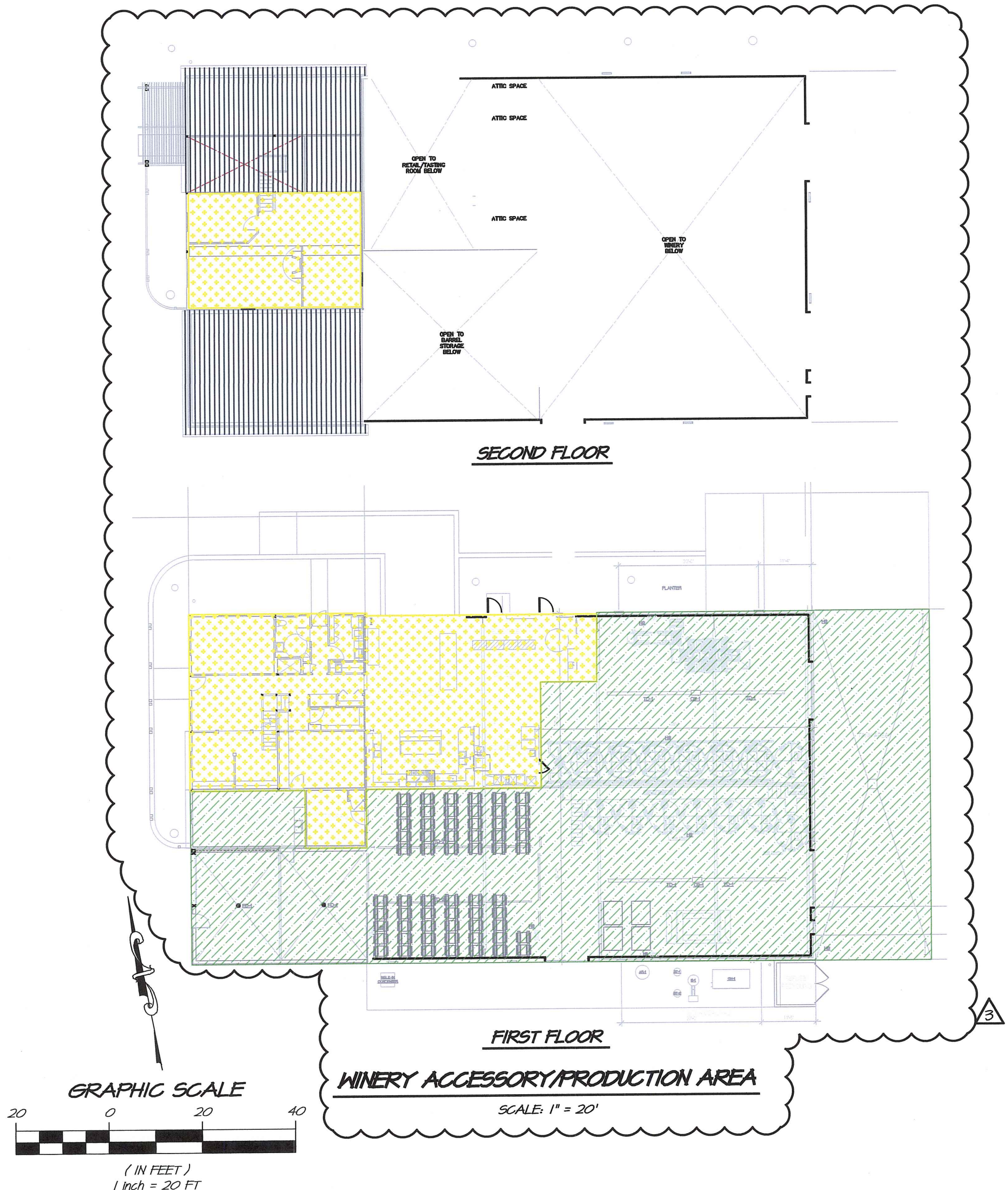
RSA+
RSA+ CONSULTING CIVIL ENGINEERS + SURVEYORS + 1980

SHADYBROOK ESTATE WINERY
GATE ELEVATION PLAN
CALIFORNIA
NAPA COUNTY

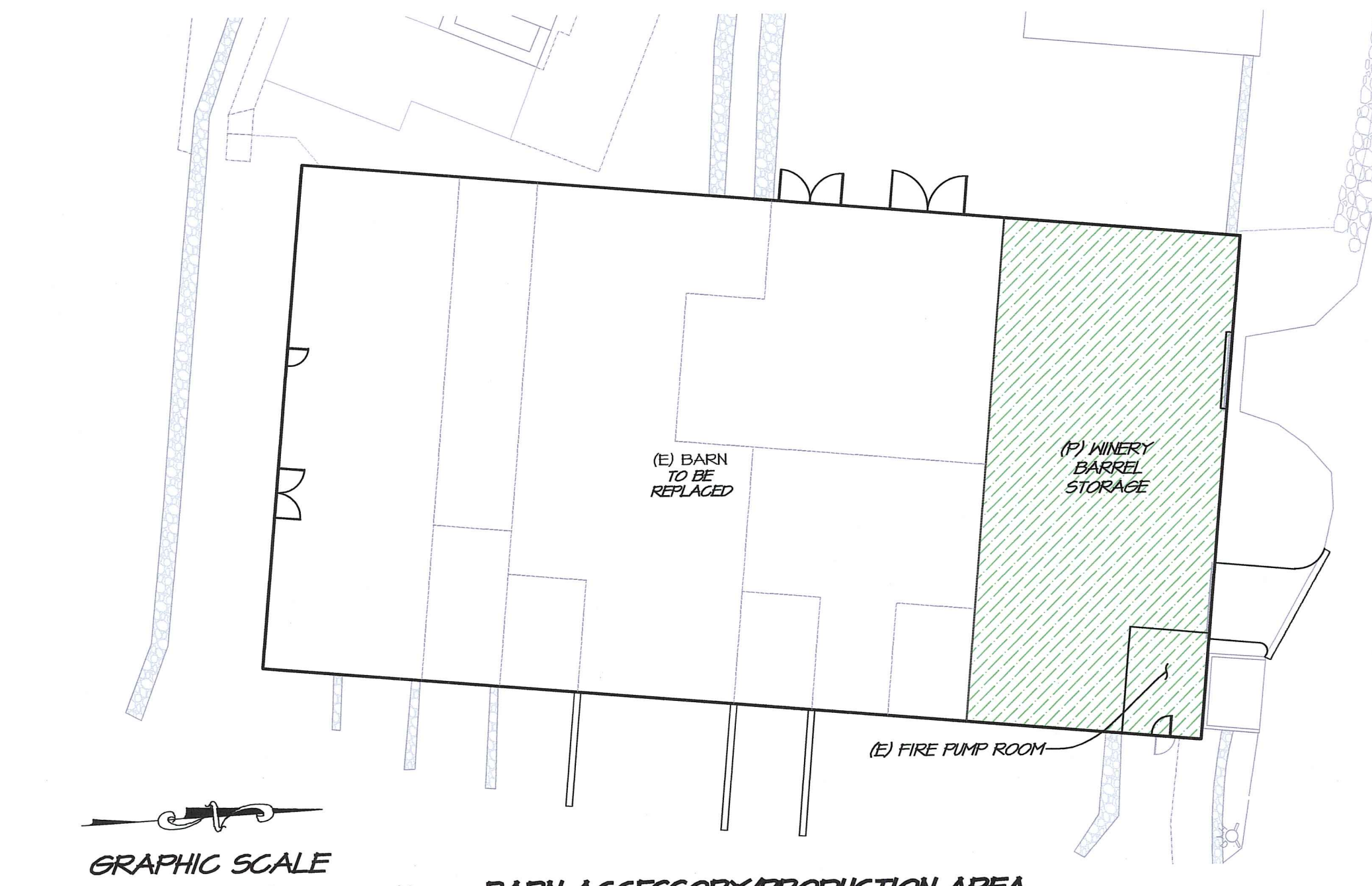


| | |
|-----------|---------------|
| DATE | NOV. 20, 2014 |
| DRAWN | JFH |
| DESIGNED | JCK |
| CHECKED | MSS |
| JOB NO. | 11B049.0 |
| SHEET NO. | C2.3 |

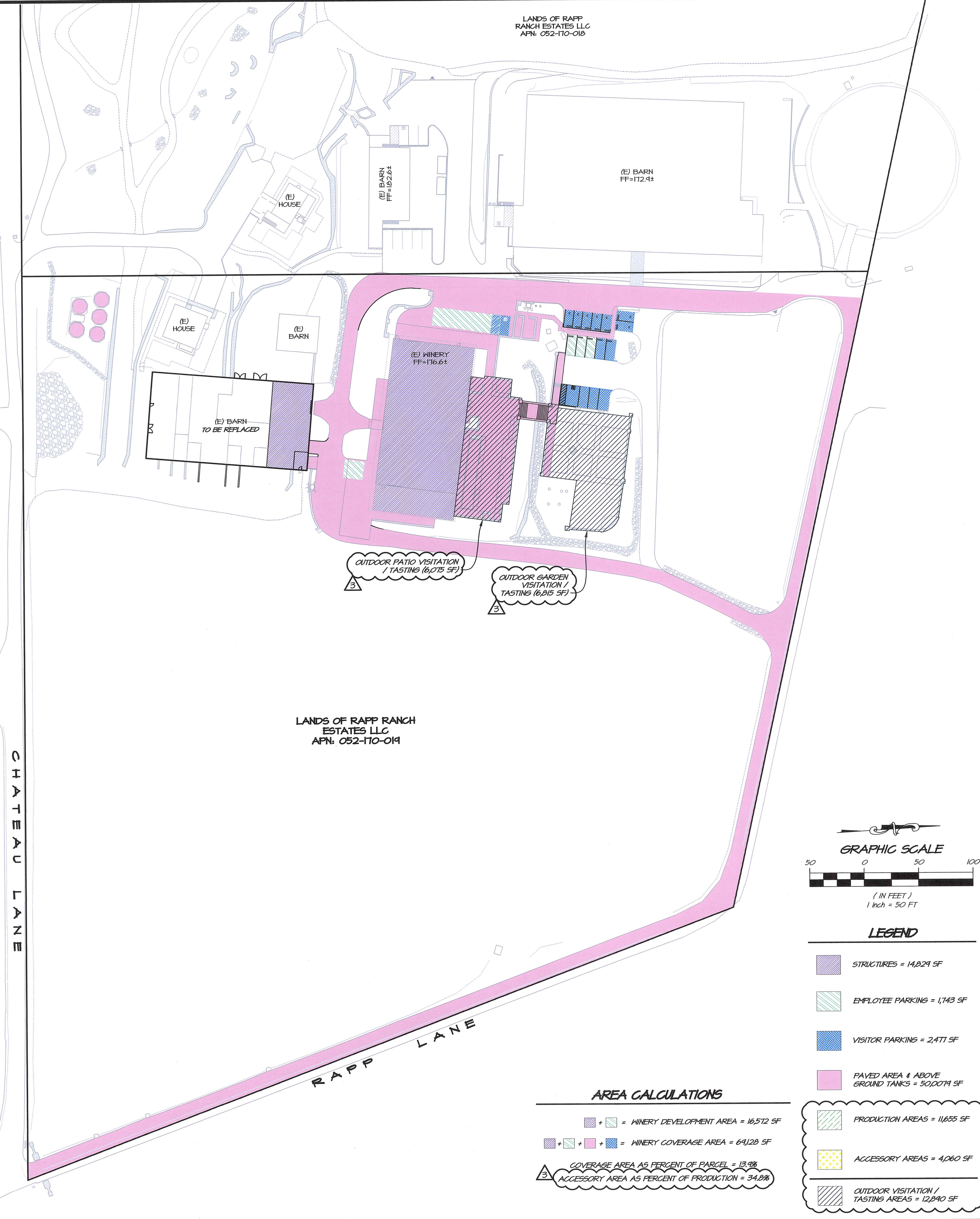
5 OF 10 SHEETS



WINERY ACCESSORY/PRODUCTION AREA
SCALE: 1" = 20'



BARN ACCESSORY/PRODUCTION AREA
SCALE: 1" = 20'



LANDS OF RAPP RANCH
ESTATES LLC
APN: 052-170-019

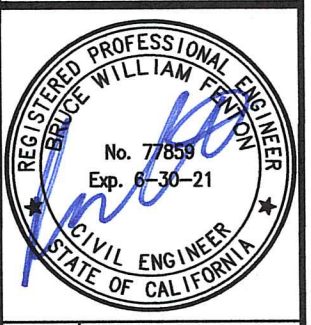
LANDS OF RAPP RANCH
ESTATES LLC
APN: 052-170-018

| NO. | DATE | REVISIONS | BY | APPD |
|-----|----------|----------------------|-----|------|
| 0 | 02/20/14 | FIRST SUBMITTAL | JFK | |
| 1 | 04/09/14 | RESPONSE TO COMMENTS | JFK | |
| 2 | 04/09/14 | RESPONSE TO COMMENTS | JFK | |
| 3 | 11/20/14 | RESPONSE TO COMMENTS | JFK | |

1515 FOURTH STREET
NAPA, CALIF. 94959
OFFICE: (707) 254-3000
WWW.RSACON.COM

RSAC
RSAC | CONSULTING CIVIL ENGINEERS - SURVEYORS + I&E

SHADYBROOK ESTATE WINERY
COVERAGE & ACCESSORY/PRODUCTION RATIO
CALIFORNIA
NAPA COUNTY



| | |
|-----------|----------------|
| DATE | NOV. 20, 2014 |
| DRAWN | JFK |
| DESIGNED | JFK |
| CHECKED | MSB |
| JOB NO. | 410010 |
| SHEET NO. | C5.0 |
| | 8 OF 10 SHEETS |

REFER TO REPORTS PREPARED BY GPRS SUBSURFACE SCANNING SOLUTIONS.

At this site GPR maximum depth was approximately 12".

FINDINGS

We found that the slab was approximately 8" thick in most areas and was reinforced with rebar at an average of 16" on center in the floors and 10"-12" on the walls in most areas. Please keep in mind, differentiating between reinforcing, cables, and conduits is an interpretation based on depths, patterns, and other clues. Our findings are summarized in the table below:

| Grid | Rebar Size | Spacing | Notes |
|------|------------|-------------------------|------------------|
| 1 | 4"x4" | 8" | 12" on center |
| 2 | 4"x4" | 8" | 12" on center |
| 3 | 4"x4" | 8" | 12" on center |
| 4 | 4"x4" | 8" | 12" on center |
| 5 | 4"x4" | 8" | 12" on center |
| 6 | 4"x4" | 8" | 16" on center |
| 7 | 4"x4" | 8" | 16" on center |
| 8 | 4"x4" | 8" | 16" on center |
| 9 | 4"x4" | 18" | 12" on center |
| 10 | 4"x4" | 18" | 8"-10" on center |
| 11 | 4"x4" | 18" | 8"-12" on center |
| 12 | 4"x4" | 8" | 16" |
| 13 | 4"x4" | 8" | 16" |
| 14 | 4"x4" | 8" | 16" |
| 15 | 4"x4" | 8"-Transfers to footing | 16" |
| 16 | 4"x4" | 8"-Transfers to footing | 16" |

Notes for the above table:

- The concrete thickness varied for each area so the maximum and minimum depths found within each area are provided above.
- The average rebar spacing was determined by dividing the width of the area by the number of spaces between bars.

At this site GPR maximum depth was approximately 12".

FINDINGS

We found that the slab was approximately 8" thick in most areas and was reinforced with rebar at an average of 12"-16" on center. Please keep in mind, differentiating between reinforcing, cables, and conduits is an interpretation based on depths, patterns, and other clues. Our findings are summarized in the table below:

| Grid | Rebar Size | Spacing | Notes |
|------|------------|---------|-------------------|
| 1A | 4"x4" | 8"-18" | 12"-16" on center |
| 2A | 4"x4" | 8"-18" | 12"-16" on center |
| 3A | 4"x4" | 8"-18" | 12"-16" on center |
| 4A | 4"x4" | 8"-18" | 12"-16" on center |
| 5A | 4"x4" | 8"-18" | 12"-16" on center |
| 6A | 4"x4" | 8"-18" | 12"-16" on center |
| 7A | 4"x4" | 8"-18" | 12"-16" on center |
| 8A | 4"x4" | 8"-18" | 12"-16" on center |
| 9A | 4"x4" | 8"-18" | 12"-16" on center |

Notes for the above table:

- The concrete thickness varied for each area so the maximum and minimum depths found within each area are provided above.
- The average rebar spacing was determined by dividing the width of the area by the number of spaces between bars.

EXISTING CONCRETE REINFORCEMENT

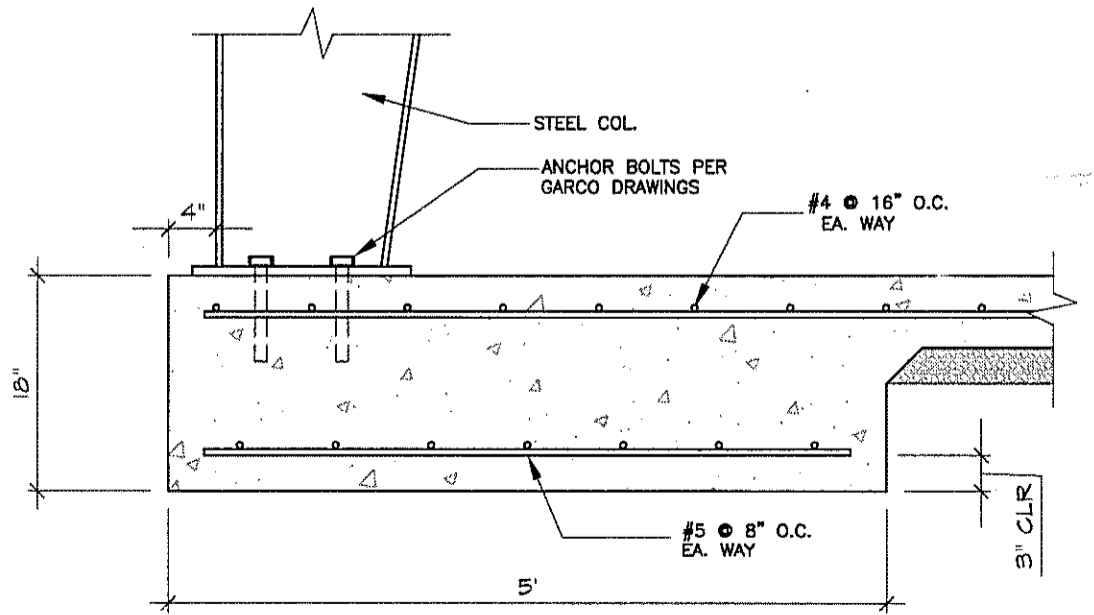
1-hr. Rating
UL Design U305
Drywall System

Studs: Wood 2x4 (nom.)
Stud spacing: 16" o.c.
Gypsum panel: 1/2" SHEETROCK brand Gypsum Panel, FIRECODE Core, or 3/4" SHEETROCK brand Gypsum Panel, Water-Resistant, FIRECODE Core, each side.
Application: Horizontal.
Attachment: 1 1/4" cement-coated nails spaced 7" o.c.
Joints: Exposed and taped and treated.
Insulation: 3" batts THERMAFIBER SAFB (optional).
Perimeter: May be caulked with SHEETROCK Acoustical Sealant.

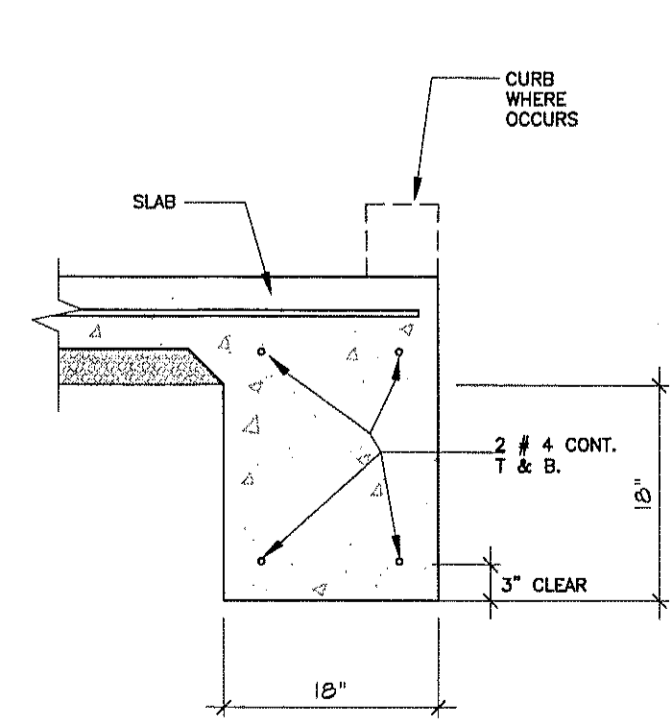
1-hr. Rating
UL Design U465
Drywall System

Studs: Steel 3x4 x 25-ga. (min.)
Stud spacing: 24" o.c.
Gypsum panel: 1/2" SHEETROCK brand Gypsum Panel, FIRECODE Core, or 3/4" SHEETROCK brand Gypsum Panel, Water-Resistant, FIRECODE Core, each side.
Application: Vertical.
Attachment: Type S screws 8" o.c.
Joints: Taped and treated.
Insulation: 3" batts THERMAFIBER SAFB (optional).
Perimeter: May be caulked with SHEETROCK Acoustical Sealant.

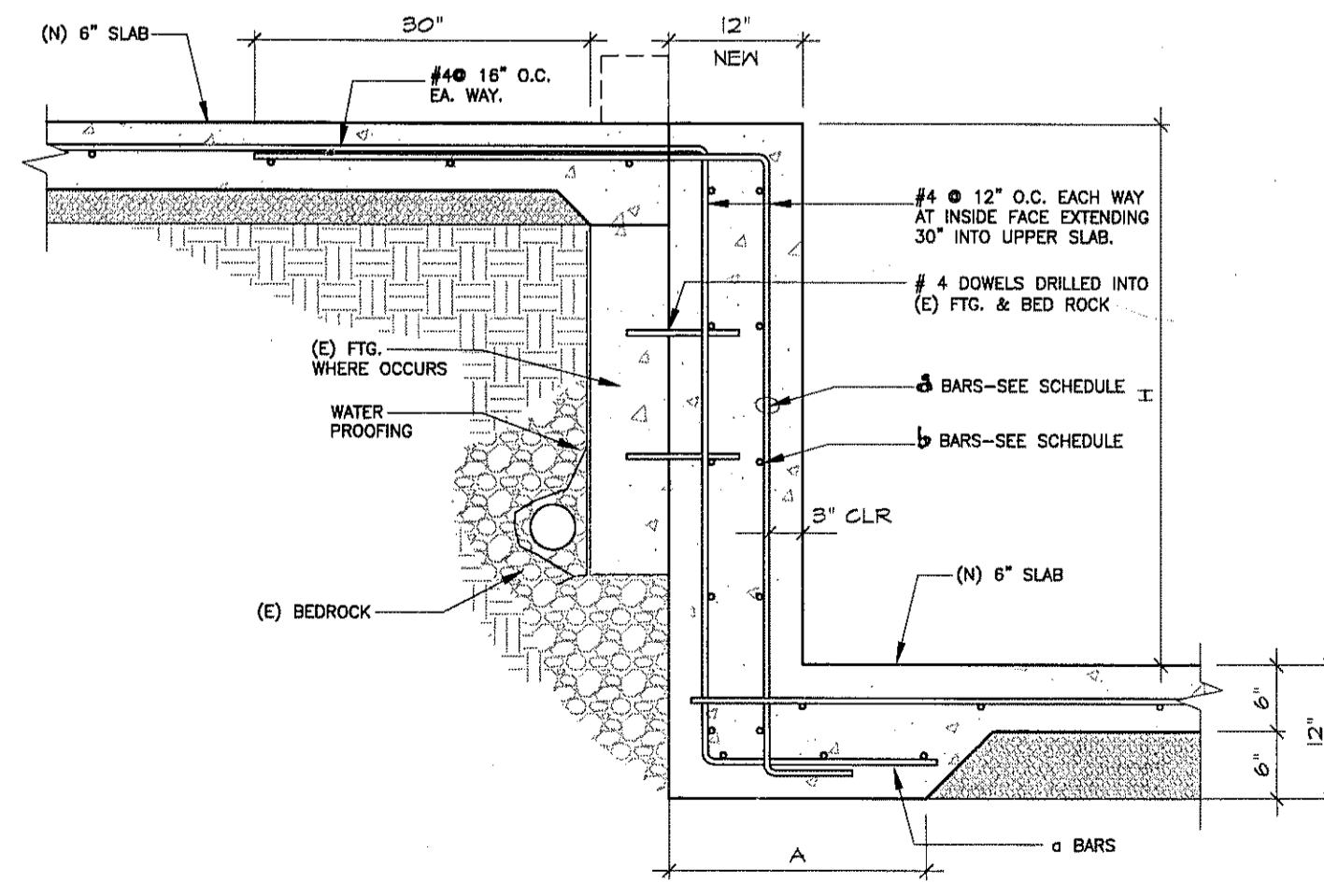
ONE HOUR WALLS



STEEL COL. FOOTING 3/4" = 1'-0" D



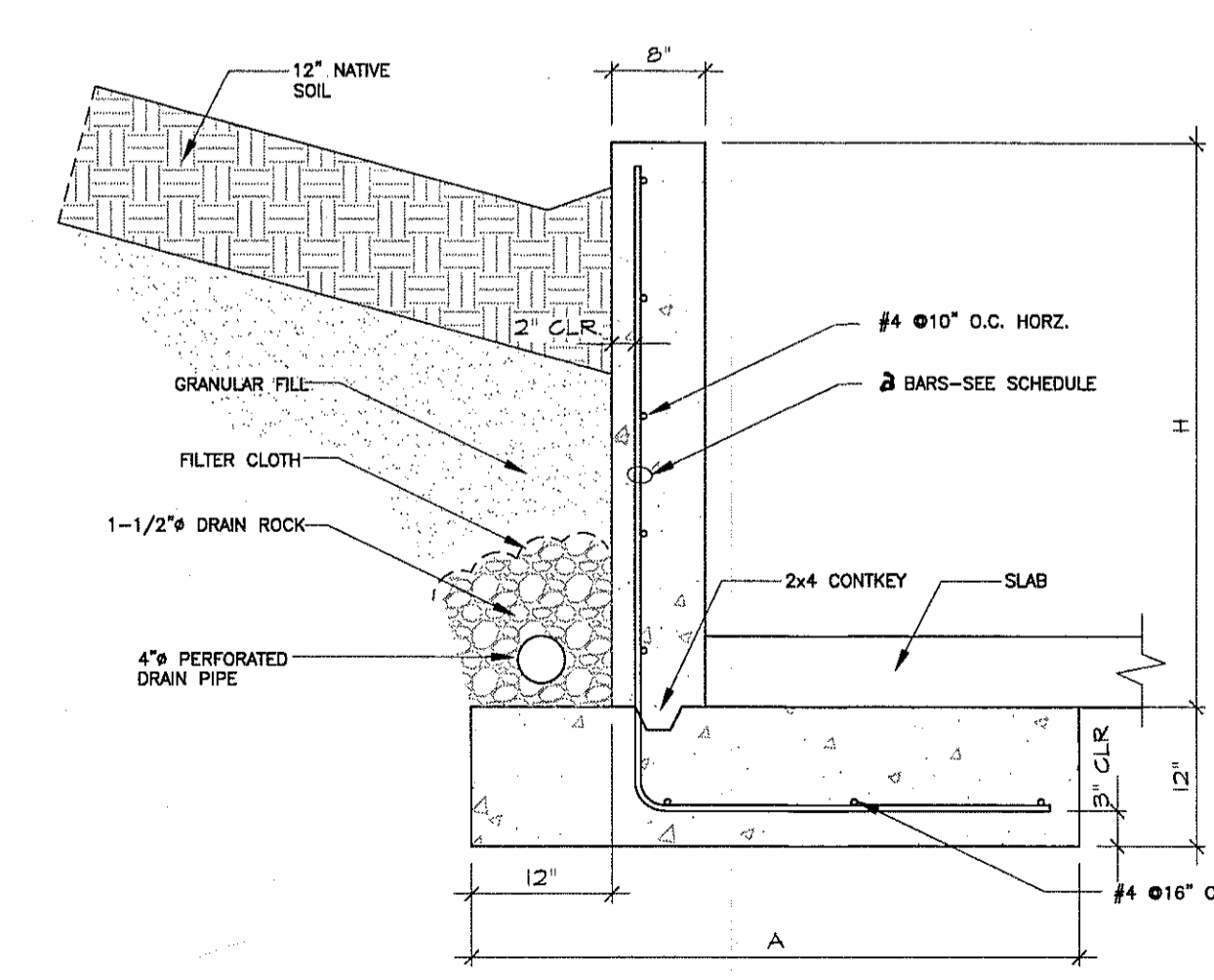
PERIMETER FOUNDATION 3/4" = 1'-0" C



| H | A | t | a BARS | b BARS |
|----|-----|-----|---------------|---------------|
| 4' | 18" | 8" | #4 @ 16" O.C. | #4 @ 10" O.C. |
| 6' | 18" | 8" | #4 @ 12" O.C. | #4 @ 8" O.C. |
| 8' | 24" | 10" | #5 @ 8" O.C. | #4 @ 8" O.C. |

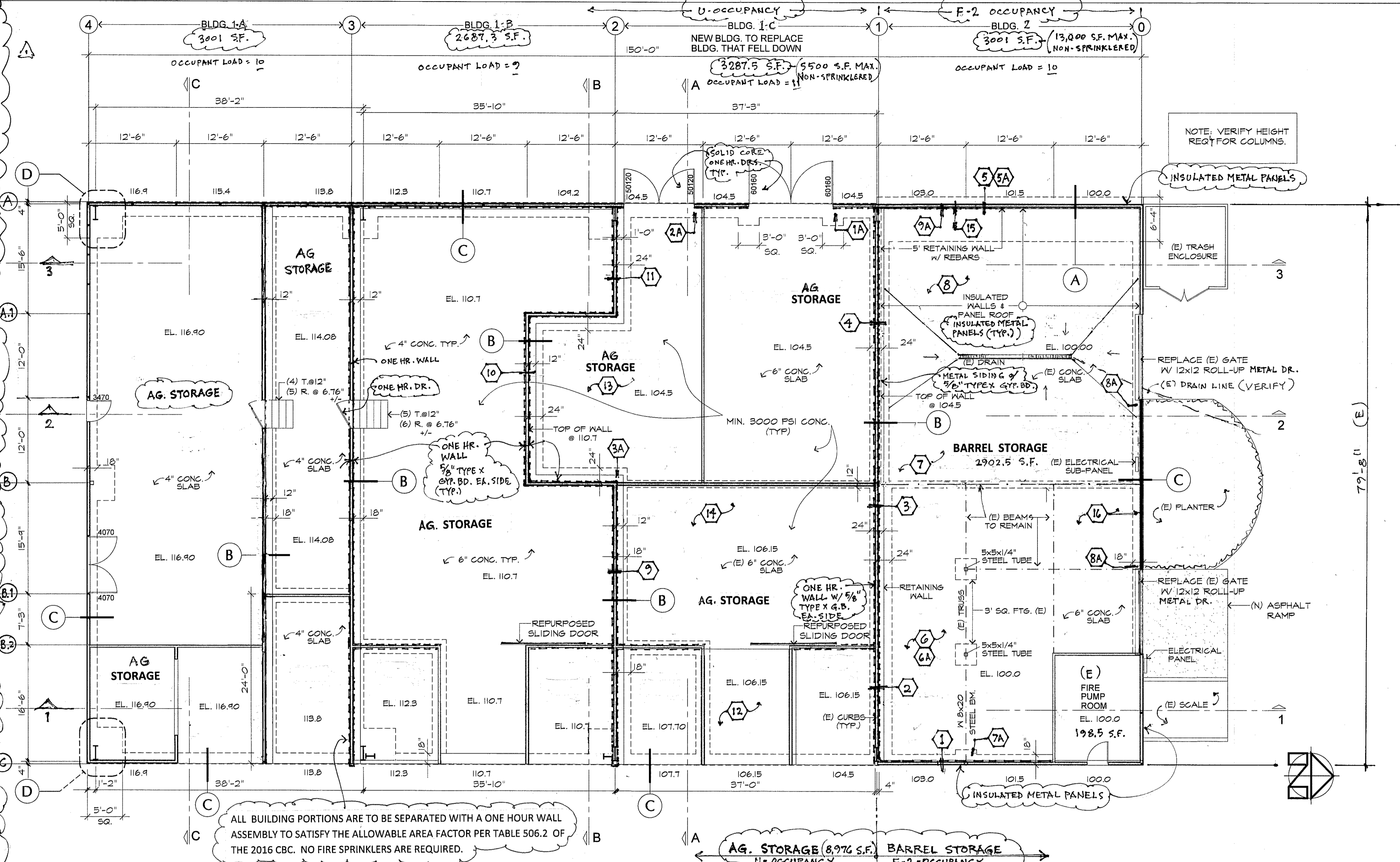
MINIMUM REQUIREMENTS

INTERIOR RETAINING WALLS 3/4" = 1'-0" B



| H | A | a BARS |
|----|-------|---------------|
| 4' | 4'-4" | #4 @ 12" O.C. |
| 6' | 6'-4" | #6 @ 12" O.C. |

PERIMETER RETAINING WALL 3/4" = 1'-0" A



TERRACE BARN PROPOSED FLOOR PLAN & FOUNDATION PLAN

1/8" = 1'-0"

| REVISIONS | BY |
|-----------|----|
| 7/22/19 | JK |

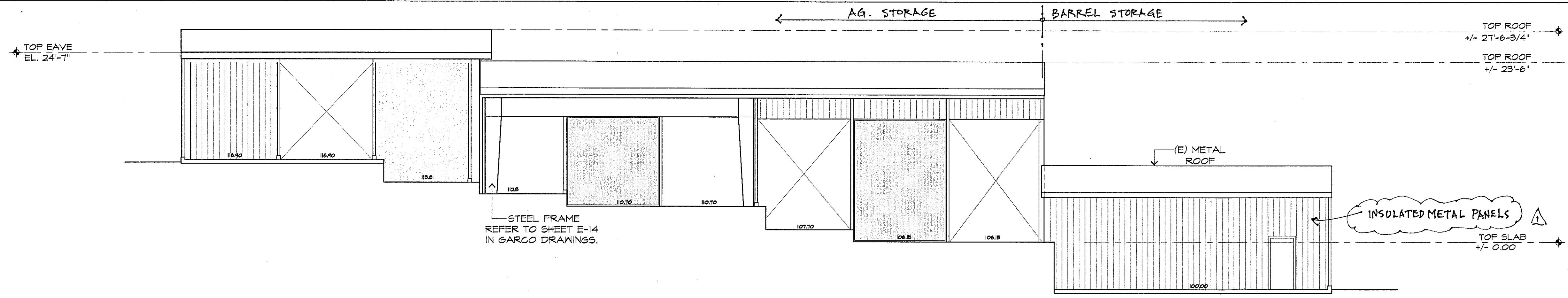


REPLACEMENT OF EXISTING BARN
100 RAPP LANE NAPA, CA 94558



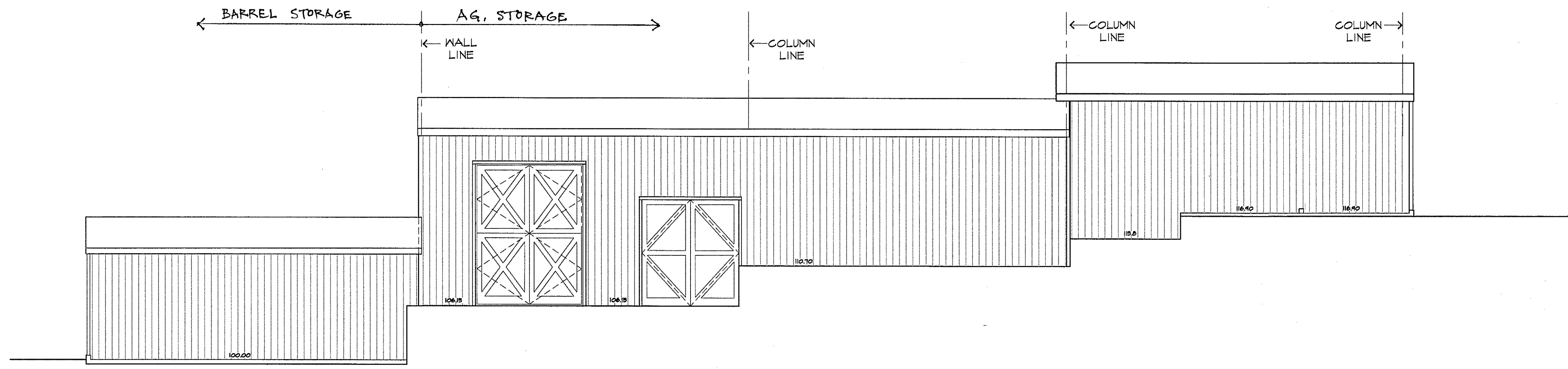
Sheet Title
TERRACE BARN FLOOR PLAN
Date: MAY-17-2017
Scale: AS NOTED
Drawn: Fernando Suarez
Checked: JK
Sheet

A-2



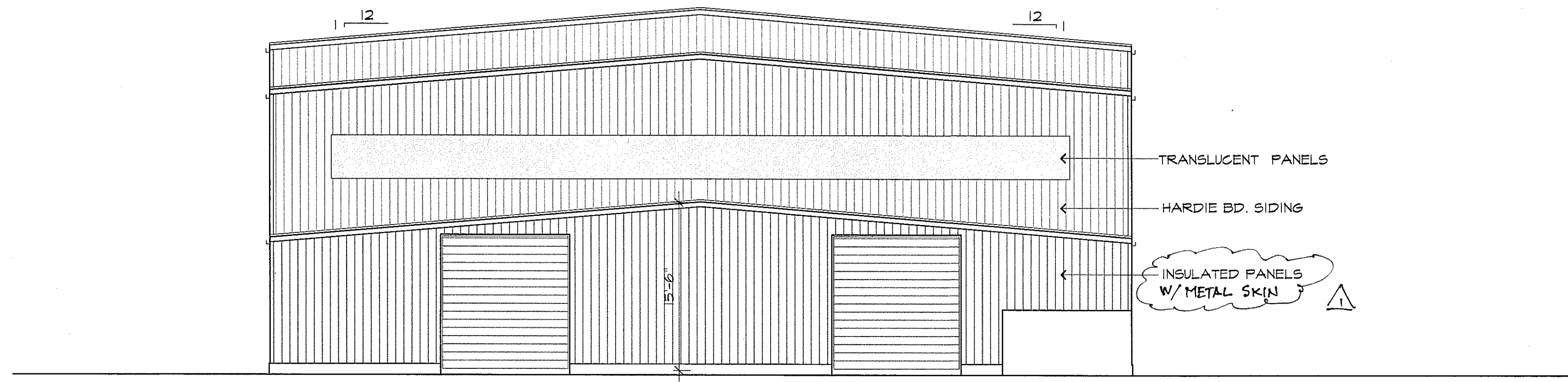
WEST ELEVATION

1/8"=1'-0"



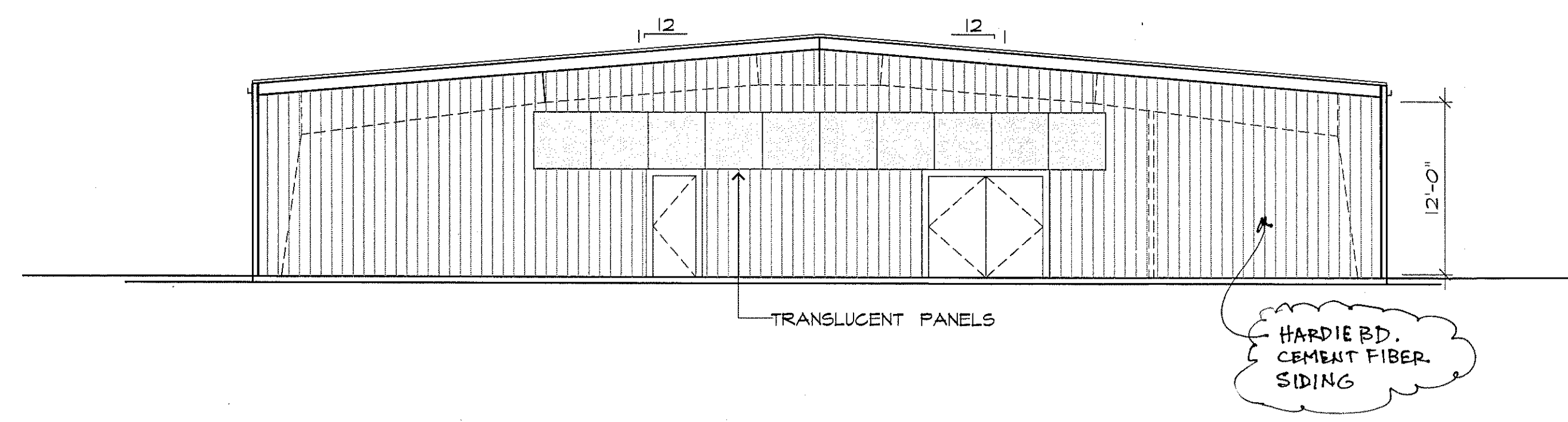
EAST ELEVATION

1/8"=1'-0"



NORTH ELEVATION

1/8"=1'-0"



SOUTH ELEVATION

1/8"=1'-0"

| REVISIONS | BY |
|-----------|----|
| 1 | JK |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

KASTEN DESIGN INC
 (707) 224-9333
 kastendesign.net
 ARCHITECTURE
 PLANNING
 ILLUSTRATION
 575 LINCOLN AVE. STE. 308
 NAPA, CALIFORNIA 94558

REPLACEMENT OF EXISTING BARN
100 RAPP LANE NAPA, CA 94558



Sheet Title: **BARN TERRACE ELEVATIONS**

Date: MAY-17-2017

Scale: AS NOTED

Drawn: Fernando Suarez

Checked: JK

Sheet: **A-3**

THE ARCHITECT EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT AND INTELLECTUAL PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, ALTERED OR COPIED IN ANY MANNER OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED OR USED IN ANY MANNER WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF THE ARCHITECT. IN THE EVENT THAT ANY UNAUTHORIZED REPRODUCTION OR USE OF THESE PLANS IS DISCOVERED, THE ARCHITECT SHALL BE HELD HARMLESS. COPYRIGHT 2014

