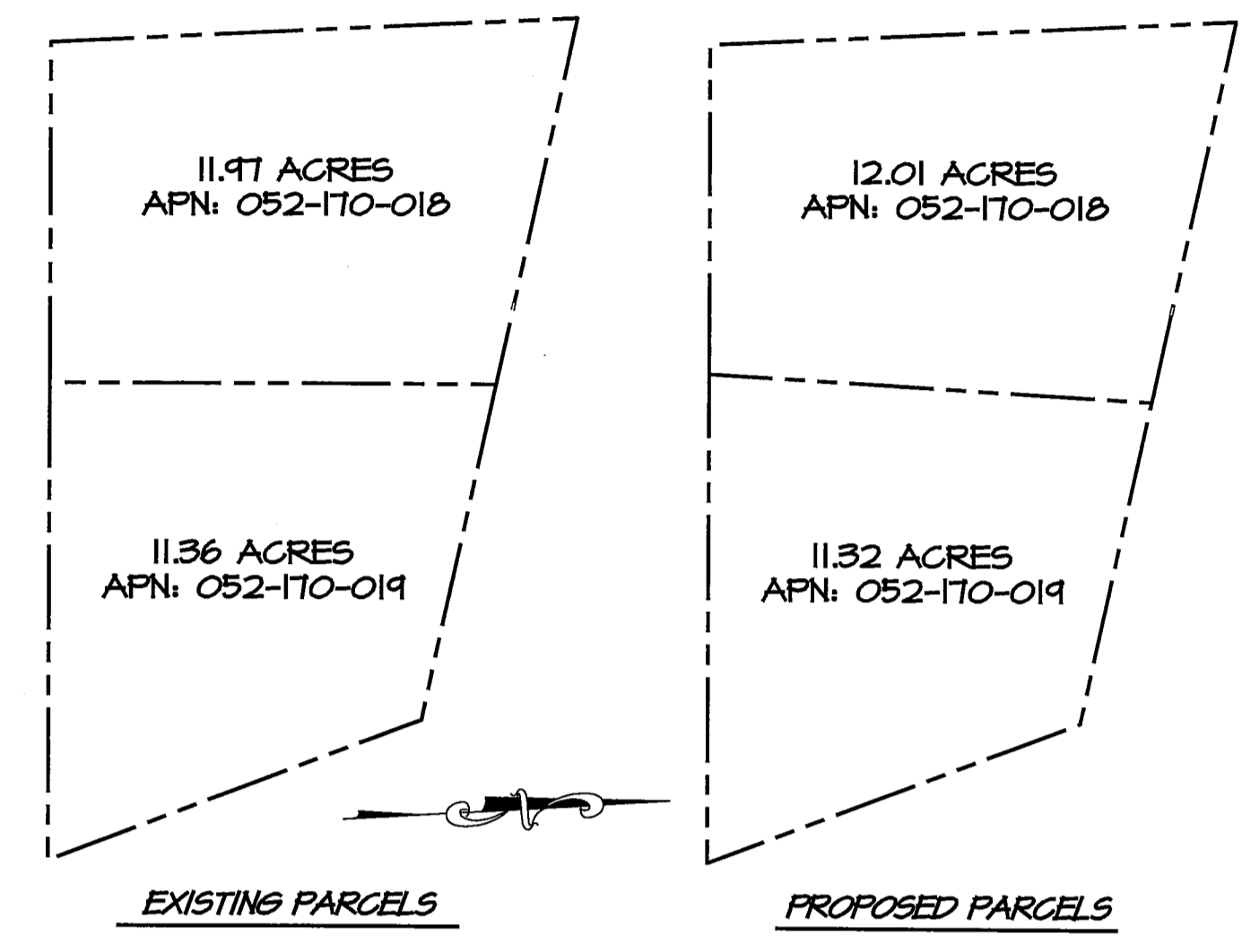
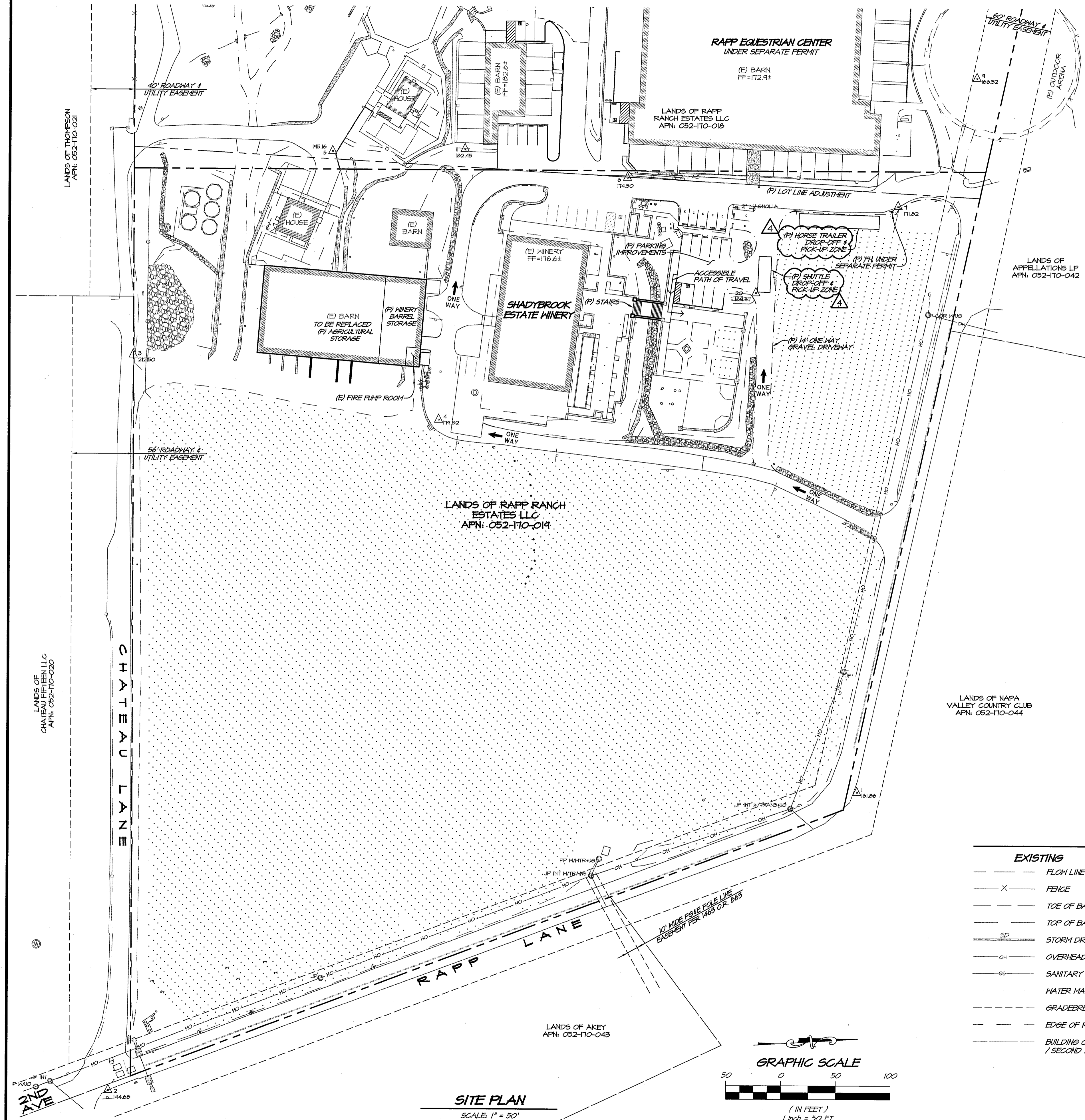


“D”

## Revised Proposed Project Plans

# SHADYBROOK ESTATE WINERY USE PERMIT MODIFICATION PLAN



**LOT LINE ADJUSTMENT**  
SCALE: 1" = 300'



**VICINITY MAP**  
SCALE: 1" = 3000'

**PROJECT INFORMATION**

OWNER: RAPP RANCH ESTATES LLC  
20 CHATEAU LANE  
NAPA, CA 94558  
SITE ADDRESS: 100 RAPP LANE  
NAPA, CA 94558  
CIVIL ENGINEER: RSA+  
1515 FOURTH STREET  
NAPA, CA 94559  
APN: 052-170-019  
PARCEL AREA: 11.36 ACRES  
EXISTING USE: WINERY AND VINEYARD

**SURVEY NOTES**

- TOPOGRAPHY BASED ON A FIELD SURVEY PERFORMED BY RSA+ IN MAY 2018, AND A SUPPLEMENTAL SURVEY IN OCTOBER 2018. CONTOURS ARE SHOWN EVERY ONE FOOT (1'), HIGHLIGHTED EVERY FIVE FEET (5').
- HORIZONTAL DATUM: NORTH AMERICAN DATUM OF 1983 (NAD83) 2011 EPOCH BASED UPON G.P.S. OBSERVATIONS ON NETWORK UTILIZING CONTINUALLY OPERATING REFERENCE STATION (CORS) INFORMATION FROM THE CALIFORNIA SPATIAL REFERENCE CENTER (C.S.R.C.).  
VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- SURROUNDING CONTOURS ARE FROM NAPA COUNTY 615 AND ARE SHOWN FOR REFERENCE ONLY.
- BOUNDARY SHOWN IS RECORD INFORMATION PER BOOK 17 OF SURVEYS AT PAGE 7, N.G.R.
- NO LOCATION DESCRIBED FOR EASEMENT FOR ELECTRICAL FACILITIES GRANTED TO P&E, DOCUMENT 1766 OR 1833.
- THE EASEMENTS SHOWN AFFECTING THE PARCELS ARE AS IDENTIFIED IN THE PRELIMINARY TITLE REPORT PROVIDED BY PLACER TITLE COMPANY AS ORDER NUMBER P-263444 DATED MARCH 28, 2018.

**ABBREVIATIONS**

BOP	BOTTOM OF PIPE	N.G.R.	NAPA COUNTY RECORD
CC	CENTERLINE	OC	ON CENTER
CO	CLEANOUT	OR	OFFICIAL RECORD
DN	DOMESTIC WATER	P.A.E.	PUBLIC ACCESS EASEMENT
EP	EDGE OF PAVEMENT	P.U.E.	PUBLIC UTILITY EASEMENT
EV	ELECTRIC VEHICLE	PL	PROPERTY LINE
EX / (E)	EXISTING	(P)	PROPOSED NEW WORK
FD	FOUND	PN	PROCESS WATER
FF	FINISH FLOOR	PNW	PROCESS WASTE WATER
FG	FINISH GRADE	R	RADIUS
FH	FIRE HYDRANT	RFBP	REDUCED PRESSURE BACKFLOW PREVENTER
FL	FLOW LINE	ROW	RIGHT OF WAY
FW	FIRE WATER	RW	RECYCLED WATER
GB	GRADE BREAK	S	SLOPE (FEET/FOOT)
HP	HIGH POINT	S.A.D.	SEE ARCHITECT'S DRAWINGS
HWL	HIGH WATER LEVEL	SD	STORM DRAIN
INV	INVERT	SDCO	STORM DRAIN CLEANOUT
IP	IRON PIPE	SS	SANITARY SEWER
IW	IRRIGATION WATER	SSCO	SANITARY SEWER CLEANOUT
LF	LINEAL FEET/FOOT	SSFM	SANITARY SEWER FORCE MAIN
LLA	LOT LINE ADJUSTMENT	STA	STATION
LP	LOW POINT	TOP	TOP OF PIPE
M	MANHOLE	WM	WATER METER

**SYMBOL LEGEND**

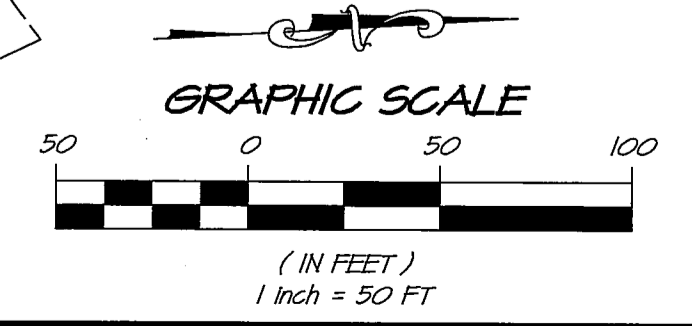
EXISTING	EXISTING	PROPOSED	
—	FLOW LINE	DS	DOWNSPOUT
— X —	FENCE	—	TRUNCATED DOMES
—	TOE OF BANK	—	TOP / TOE DAYLIGHT
—	TOP OF BANK	—	FLUSH CURB
— SD —	STORM DRAIN PIPE	—	VERTICAL CURB
— OH —	OVERHEAD UTILITY LINES	—	GATE VALVE
— SS —	SANITARY SEWER LINE	— DN —	DOMESTIC WATER
—	WATER MAIN	— FN —	FIRE WATER
—	GRADEBREAK	— FH —	FIRE HYDRANT
—	EDGE OF ROAD		
—	BUILDINGS OVERHEAD / SECOND STORY		

**LOCAL SITE CONTROL**

#	GROUND NORTHING	GROUND EASTING	ELEVATION
1	18146471.68	6440871.13	161.86'
2	1814000.42	6441104.73	144.88'
3	1814061.30	6440435.17	212.50'
4	1814335.86	6440504.12	174.82'
5	1814253.40	6440260.15	145.16'
6	1814520.55	6440244.43	174.50'
7	1814765.44	6440334.82	171.82'

**SHEET INDEX**

C1.0	COVER SHEET
C2.0	DENULSION PLAN
C2.1	LAYOUT PLAN
C2.2	PARCELS INGRESS & EGRESS
C2.3	GATE ELEVATION PLAN
C3.0	GRADING & DRAINAGE PLAN
C4.0	UTILITY PLAN
C5.0	COVERAGE & ACCESSORY/PRODUCTION RATIO
A-2	TERRACE BARN FLOOR PLAN
A-3	TERRACE BARN ELEVATIONS



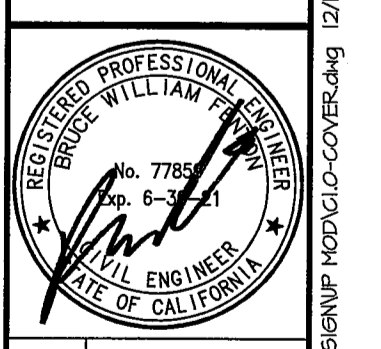
**SITE PLAN**  
SCALE: 1" = 50'

NO.	DATE	REVISIONS
0	02/21/19	FIRST SUBMITTAL
1	04/10/19	RESPONSE TO COMMENTS
2	08/08/19	RESPONSE TO COMMENTS
3	11/20/19	RESPONSE TO COMMENTS
4	12/03/19	COVER SHEET REVISION

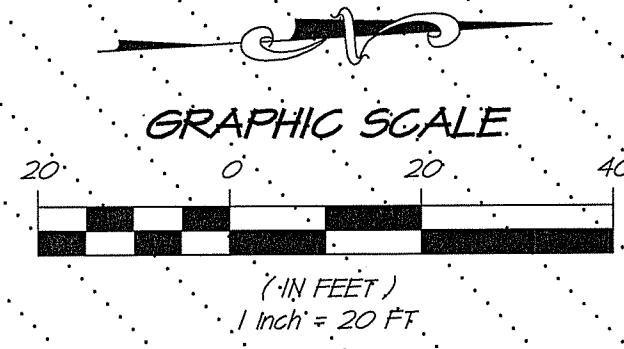
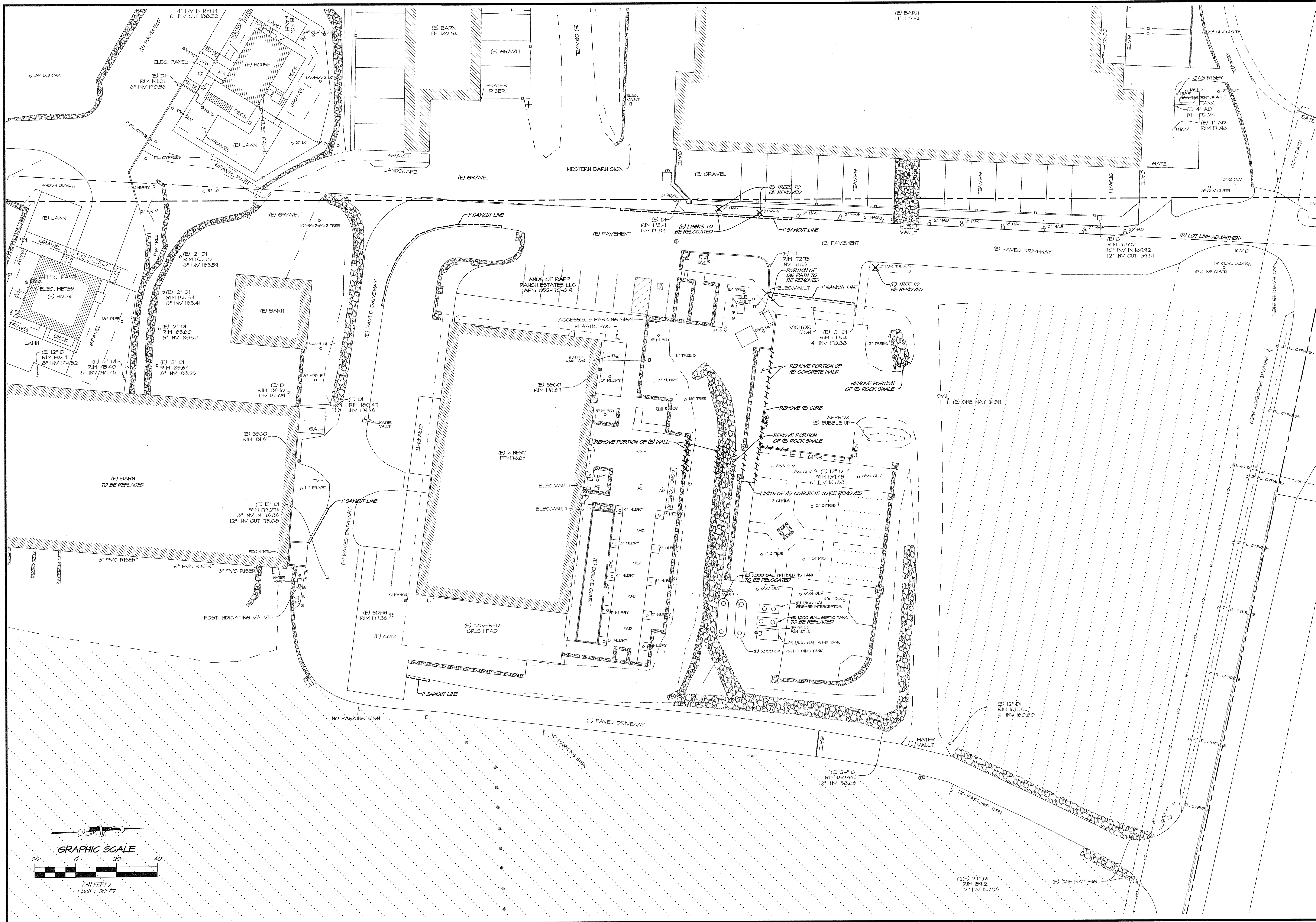
1515 FOURTH STREET  
NAPA, CALIF. 94559  
OFFICE (707) 252-3301  
+ www.rsa-inc.com

**RSA+**  
RSA+ CONSULTING CIVIL ENGINEERS + SURVEYORS + 1980

SHADYBROOK ESTATE WINERY  
COVER SHEET  
NAPA COUNTY  
CALIFORNIA



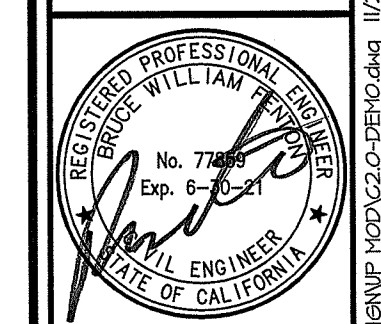
DATE	DEC. 13, 2019
DRAWN	JFY
DESIGNED	JCA
CHECKED	MSS
JOB NO.	4180910
SHEET NO.	C1.0
	1 OF 10 SHEETS



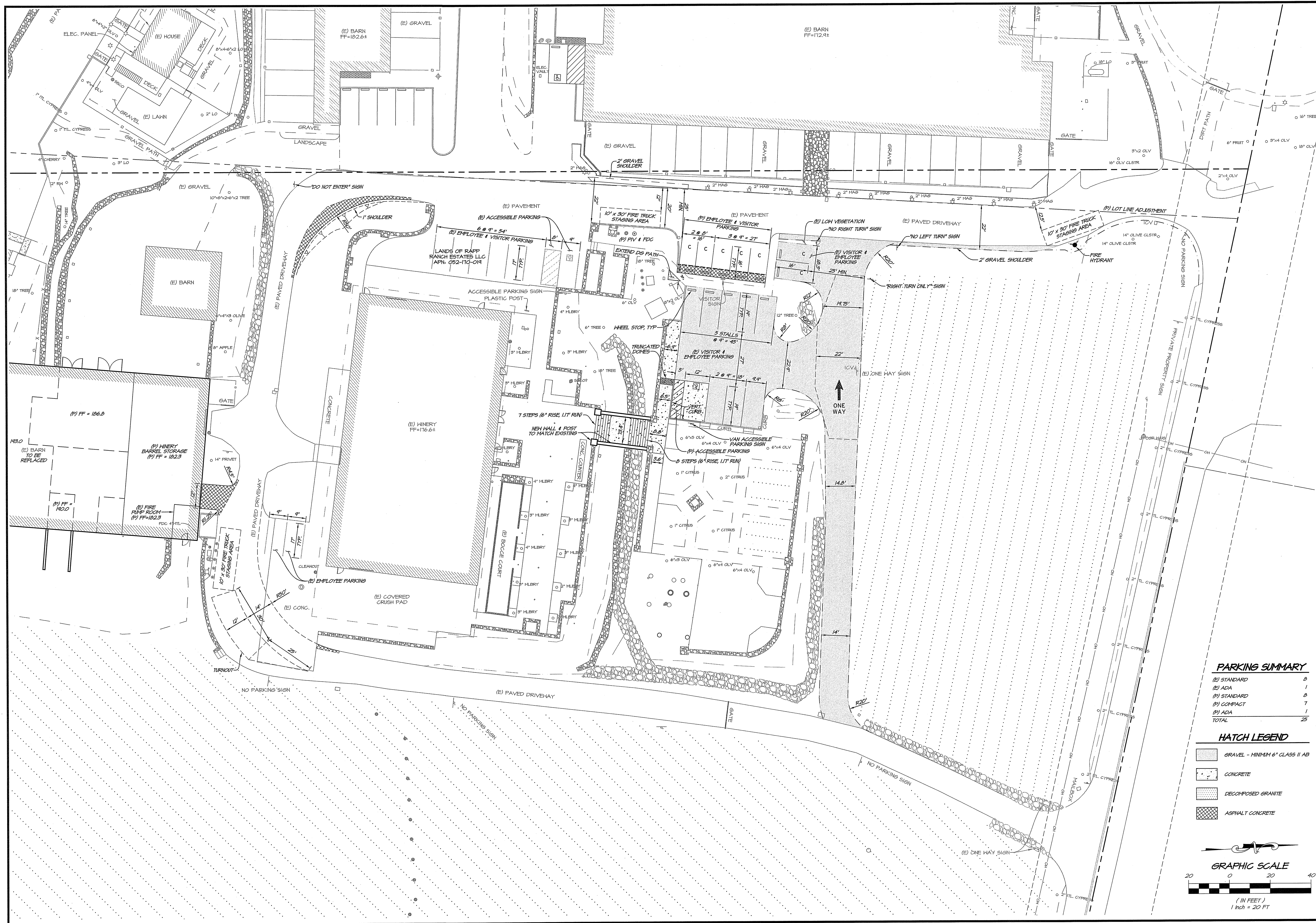
NO.	DATE	REVISIONS	BY	APPD.
1	02/10/19	FIRST SUBMITTAL	JFK	
2	08/08/19	RESPONSE TO COMMENTS	JFK	
3	11/20/19	RESPONSE TO COMMENTS	JFK	

**RSA+**  
 RSA+ CONSULTING CIVIL ENGINEERS + SURVEYORS + 11810  
 1815 FOURTH STREET  
 NAPA, CALIF. 94559  
 OFFICE (707) 252.3301  
 + www.rsacivil.com +

**SHADYBROOK ESTATE WINERY**  
**DEMOLITION PLAN**  
 CALIFORNIA



DATE	NOV. 20, 2019
DRAWN	JFK
DESIGNED	JFK
CHECKED	MSS
JOB NO.	4110019.0
SHEET NO.	<b>C2.0</b>
	2 OF 10 SHEETS

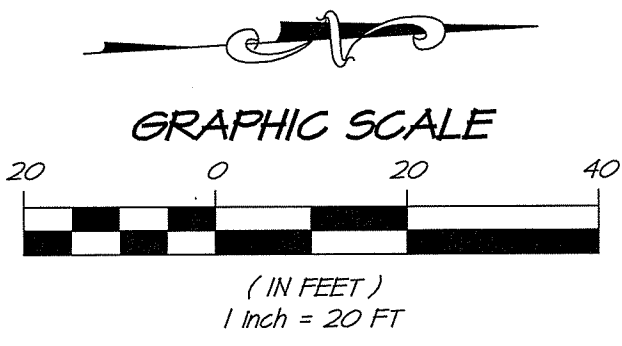


**PARKING SUMMARY**

(E) STANDARD	8
(E) ADA	1
(P) STANDARD	8
(P) COMPACT	7
(P) ADA	1
<b>TOTAL</b>	<b>25</b>

**HATCH LEGEND**

[Hatched Pattern]	GRAVEL - MINIMUM 6" CLASS II AB
[Dotted Pattern]	CONCRETE
[Cross-hatched Pattern]	DECOMPOSED GRANITE
[Grid Pattern]	ASPHALT CONCRETE

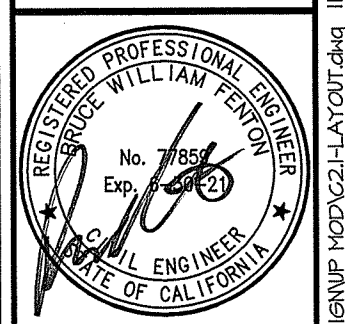


NO.	DATE	REVISIONS	BY	APPD
1	02/20/19	FIRST SUBMITTAL	JFH/JCK	
2	04/16/19	RESPONSE TO COMMENTS	JFH/JCK	
3	08/08/19	RESPONSE TO COMMENTS	JFH/JCK	
4	11/20/19	RESPONSE TO COMMENTS	JFH/JCK	

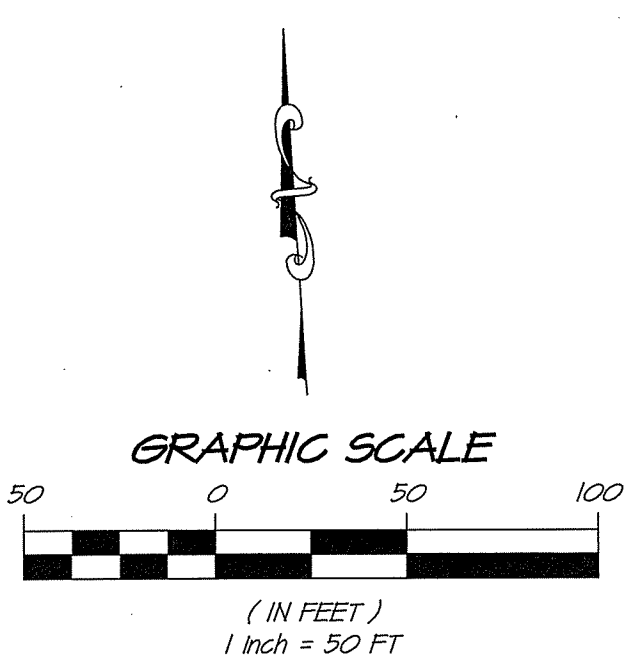
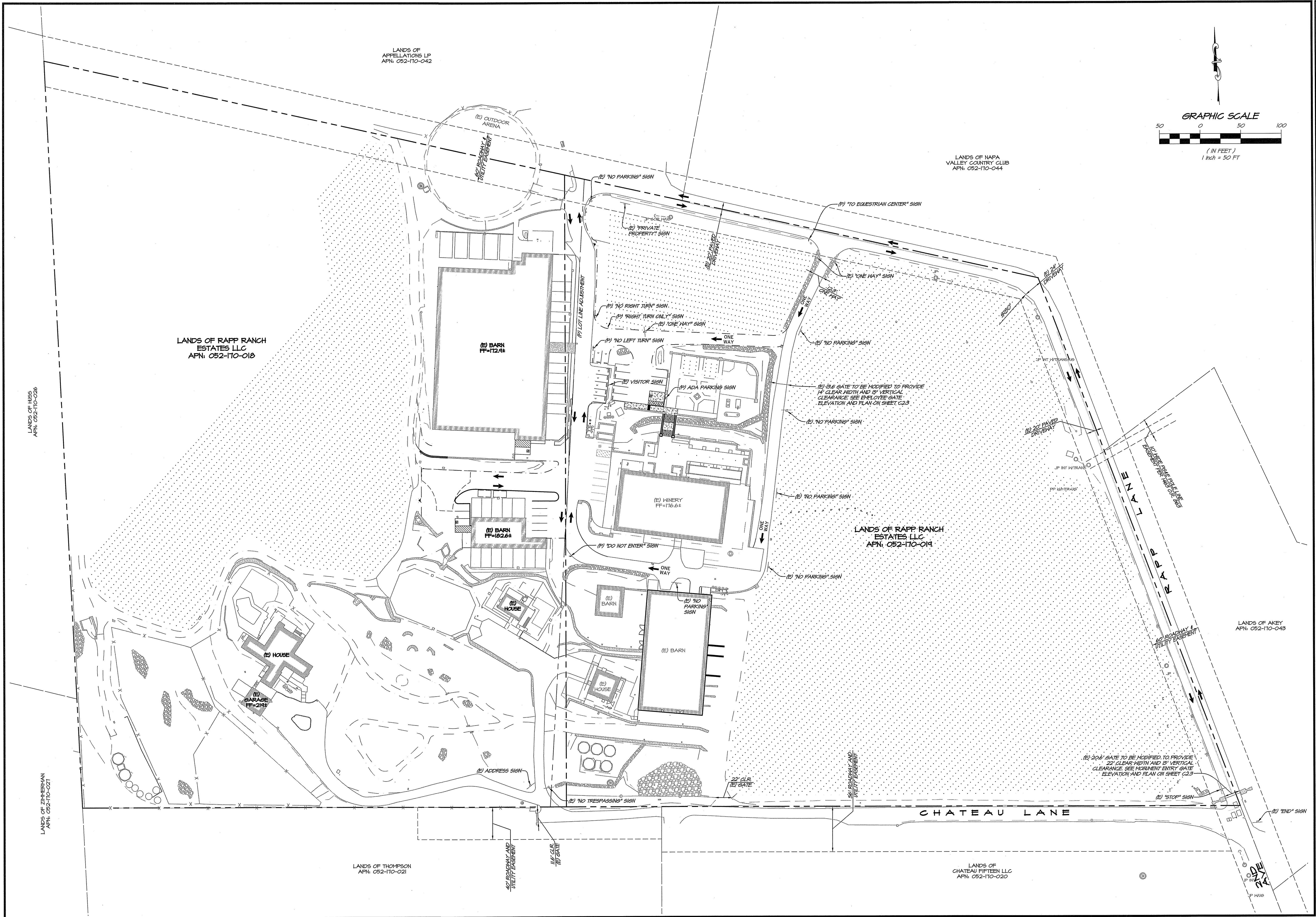
**RSA+**  
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1815 FOURTH STREET  
 NAPA, CALIF. 94559  
 OFFICE (707) 252.3301  
 + www.rsa-nv.com

**SHADYBROOK ESTATE WINERY**  
**LAYOUT PLAN**  
 NAPA COUNTY  
 CALIFORNIA



DATE	NOV. 20, 2019
DRAWN	JFH
DESIGNED	JCK
CHECKED	MBS
JOB NO.	4118019.0
SHEET NO.	<b>C2.1</b>
3 OF 10 SHEETS	

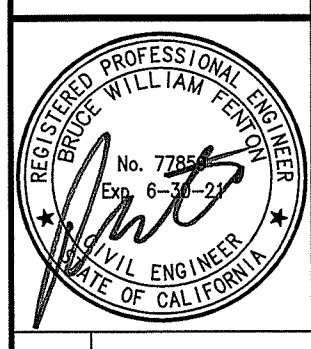


NO.	DATE	REVISIONS	BY	APPD.
0	02/12/14	FIRST SUBMITTAL	JFH	
1	04/01/14	RESPONSE TO COMMENTS	JFH	
2	08/08/14	RESPONSE TO COMMENTS	JFH	
3	11/20/14	RESPONSE TO COMMENTS	JFH	

**RSA+**  
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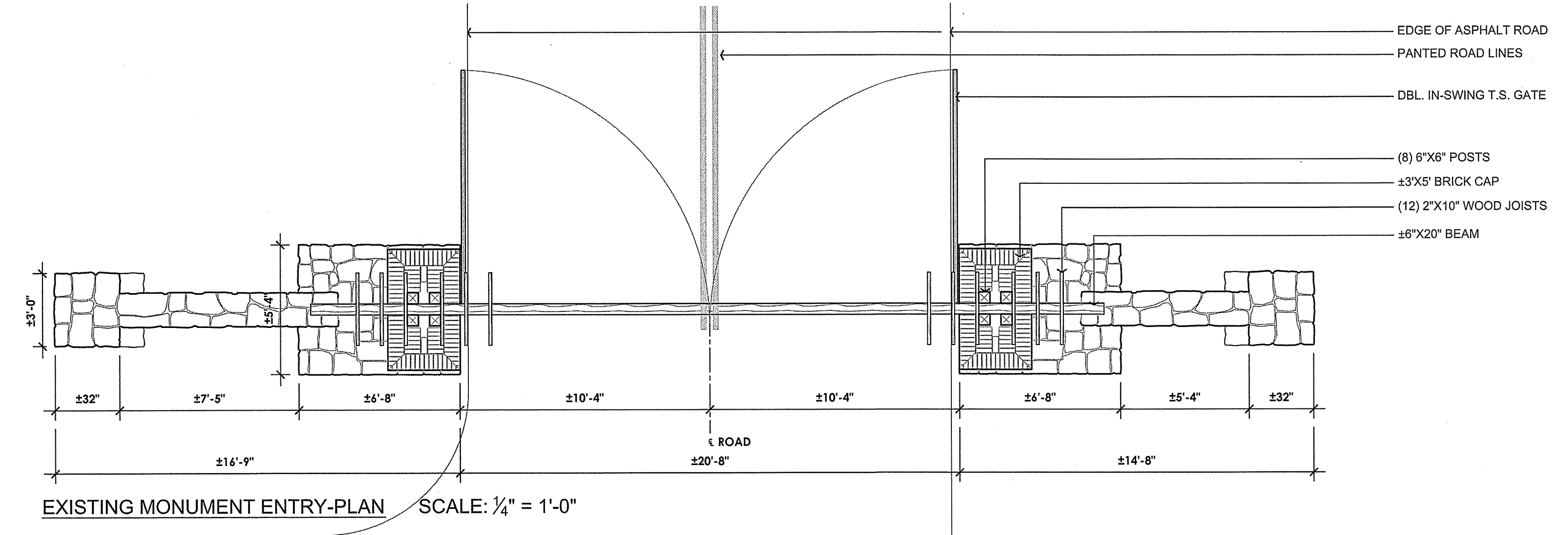
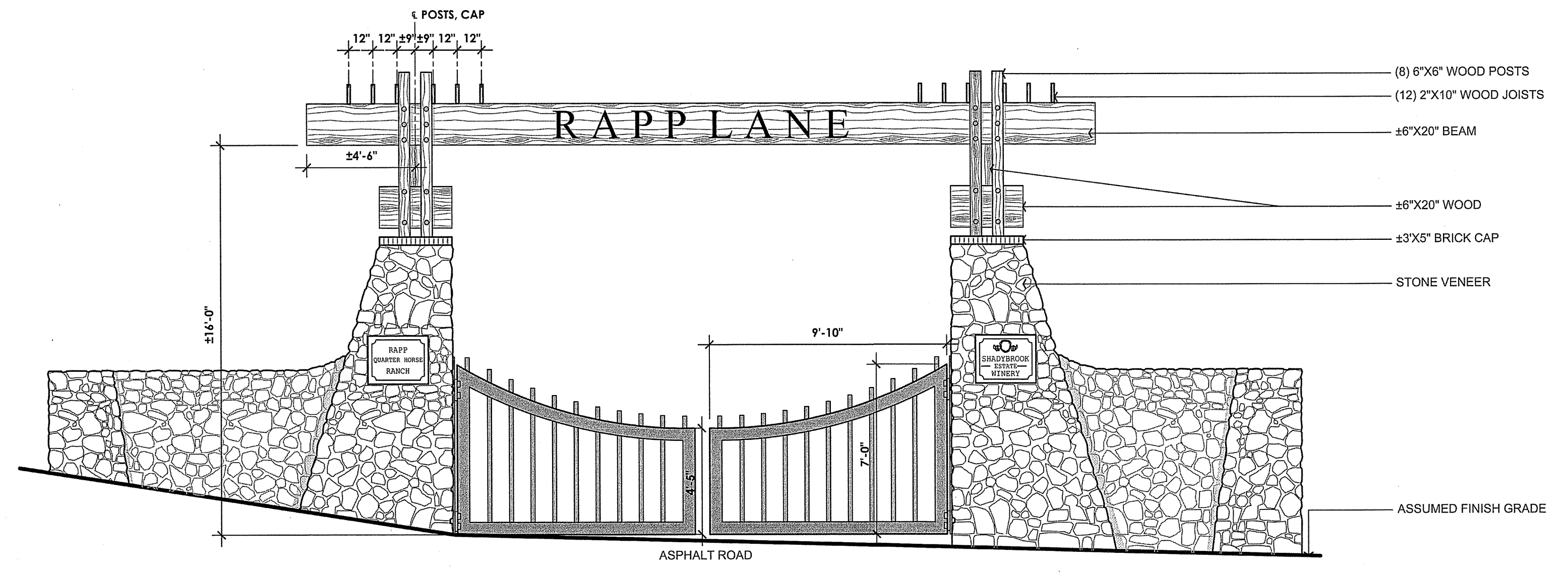
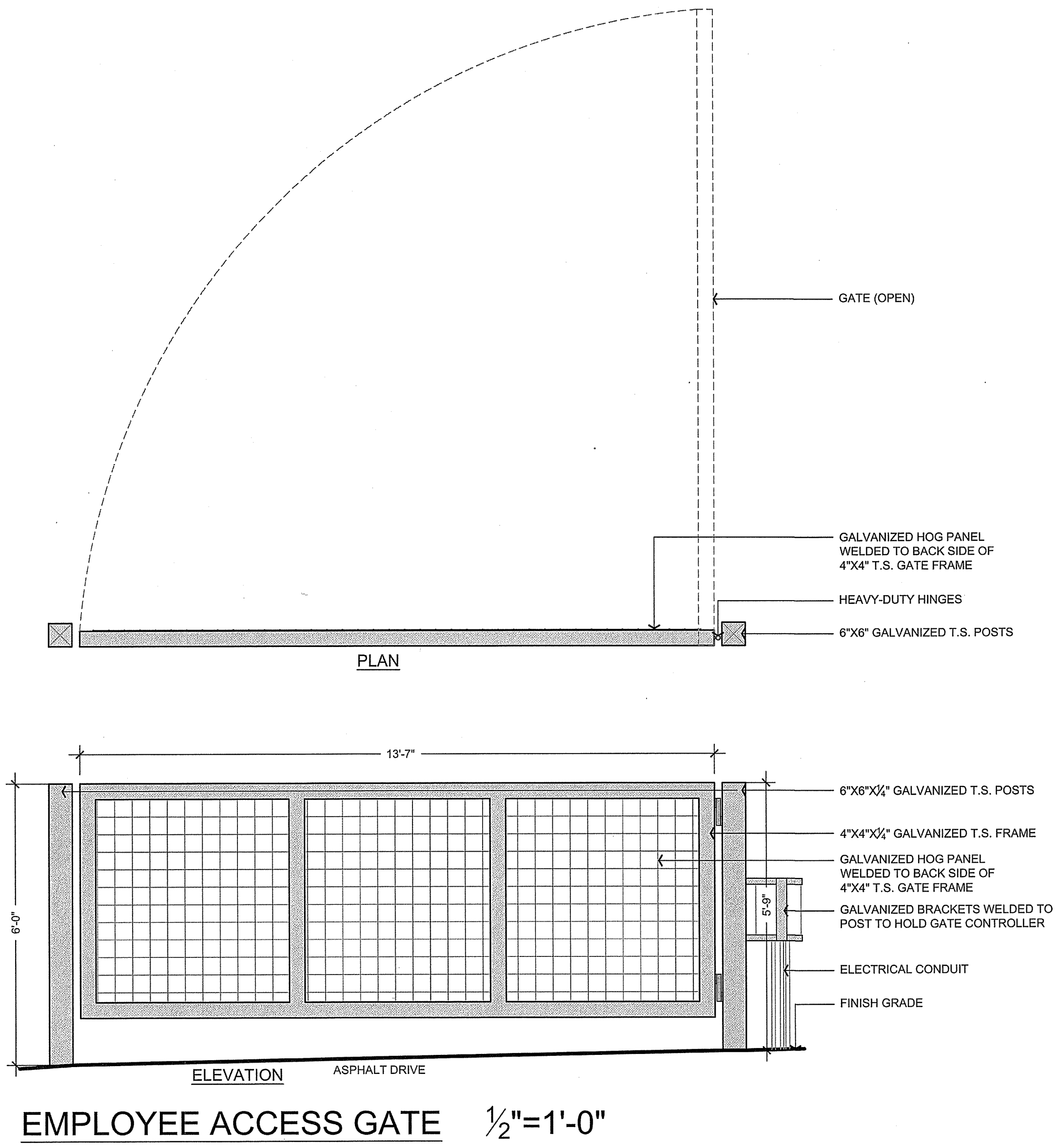
1515 FOURTH STREET  
 NAPA, CALIF. 94559  
 OFFICE (707) 252-3301  
 + www.rsacivil.com

**SHADYBROOK ESTATE WINERY  
 PARCELS INGRESS & EGRESS**  
 CALIFORNIA  
 NAPA COUNTY



DATE	NOV. 20, 2014
DRAWN	JFH
DESIGNED	JCK
CHECKED	MSS
JOB NO.	418019.0

SHEET NO.  
**C2.2**  
 4 OF 10 SHEETS



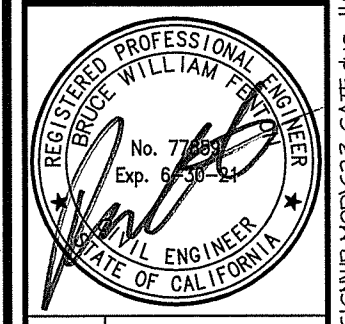
- NOTES**
- GATE ELEVATION AND PLAN PROVIDED BY OWNER.
  - EXISTING 20.6' GATE TO BE MODIFIED TO PROVIDE 22' CLEAR WIDTH AND 15' VERTICAL CLEARANCE. SEE GATE LOCATION ON SHEET C2.2.
  - EXISTING 13.6' GATE TO BE MODIFIED TO PROVIDE 16' CLEAR WIDTH. SEE GATE LOCATION ON SHEET C2.2.

NO.	DATE	REVISIONS	BY	APPD
0	02/20/14	FIRST SUBMITTAL	JFH	
1	04/04/14	RESPONSE TO COMMENTS	JFH	
2	04/04/14	RESPONSE TO COMMENTS	JFH	
3	11/20/14	RESPONSE TO COMMENTS	JFH	

1515 FOURTH STREET  
NAPA, CALIF. 94959  
OFFICE (707) 252-3301  
+ www.rsa1.com

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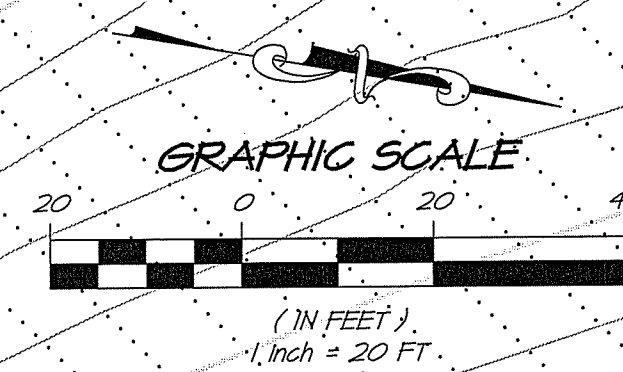
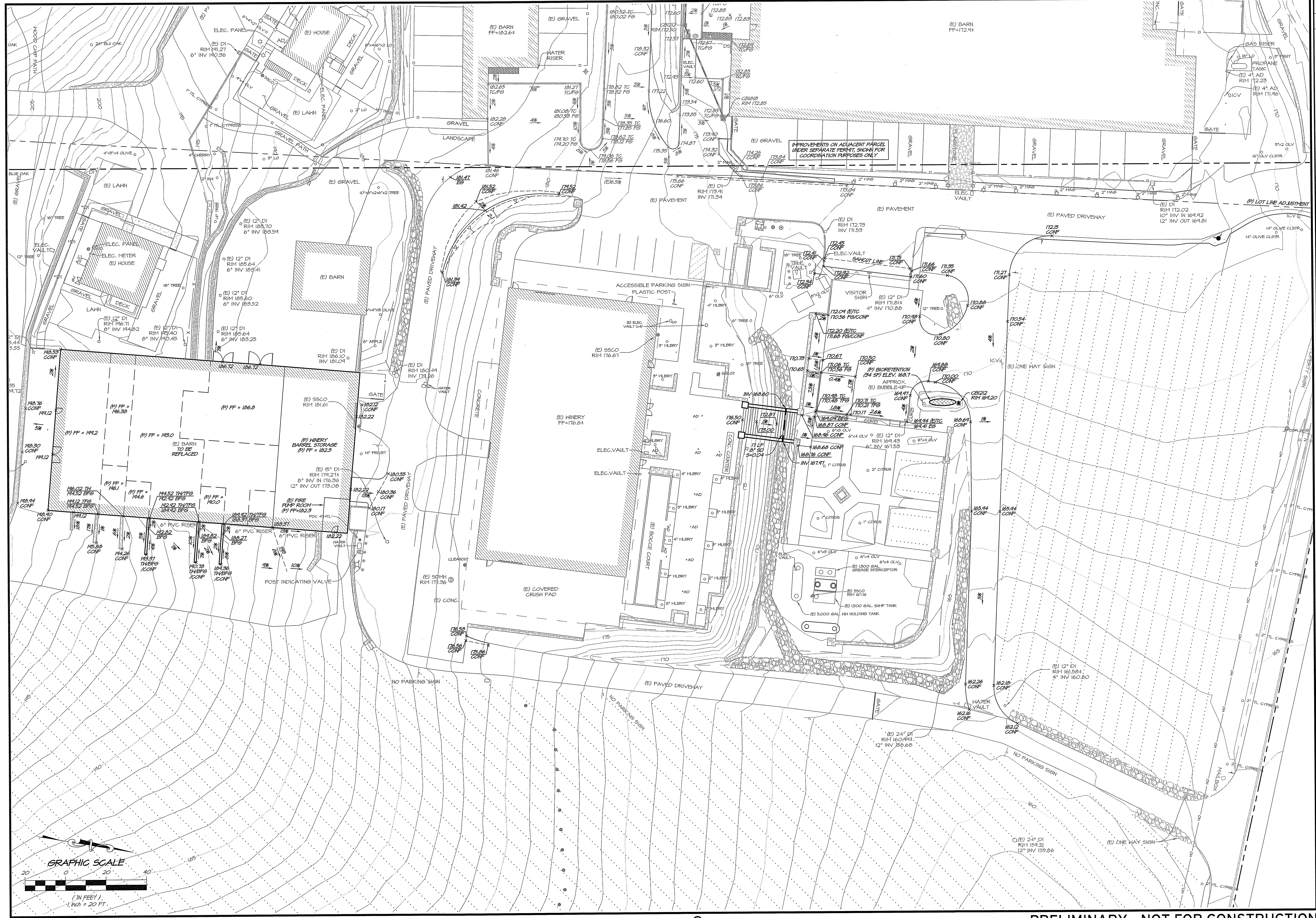
**SHADYBROOK ESTATE WINERY**  
**GATE ELEVATION PLAN**  
CALIFORNIA  
NAPA COUNTY



DATE: NOV. 20, 2014

DRAWN	JFH
DESIGNED	JCK
CHECKED	MSS
JOB NO.	111804.0
SHEET NO.	C2.3

5 OF 10 SHEETS



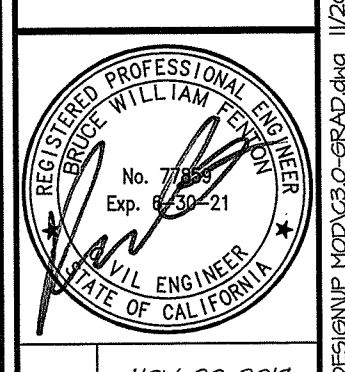
NO.	DATE	REVISIONS	BY	APPD
1	02/21/14	FIRST SUBMITTAL	JPH	JCK
2	03/04/14	RESPONSE TO COMMENTS	JPH	JCK
3	11/20/14	RESPONSE TO COMMENTS	JPH	JCK

1515 FOURTH STREET  
 NAPA, CALIF. 94559  
 OFFICE 707.252.3301  
 \* WWW.RSACON.COM \*

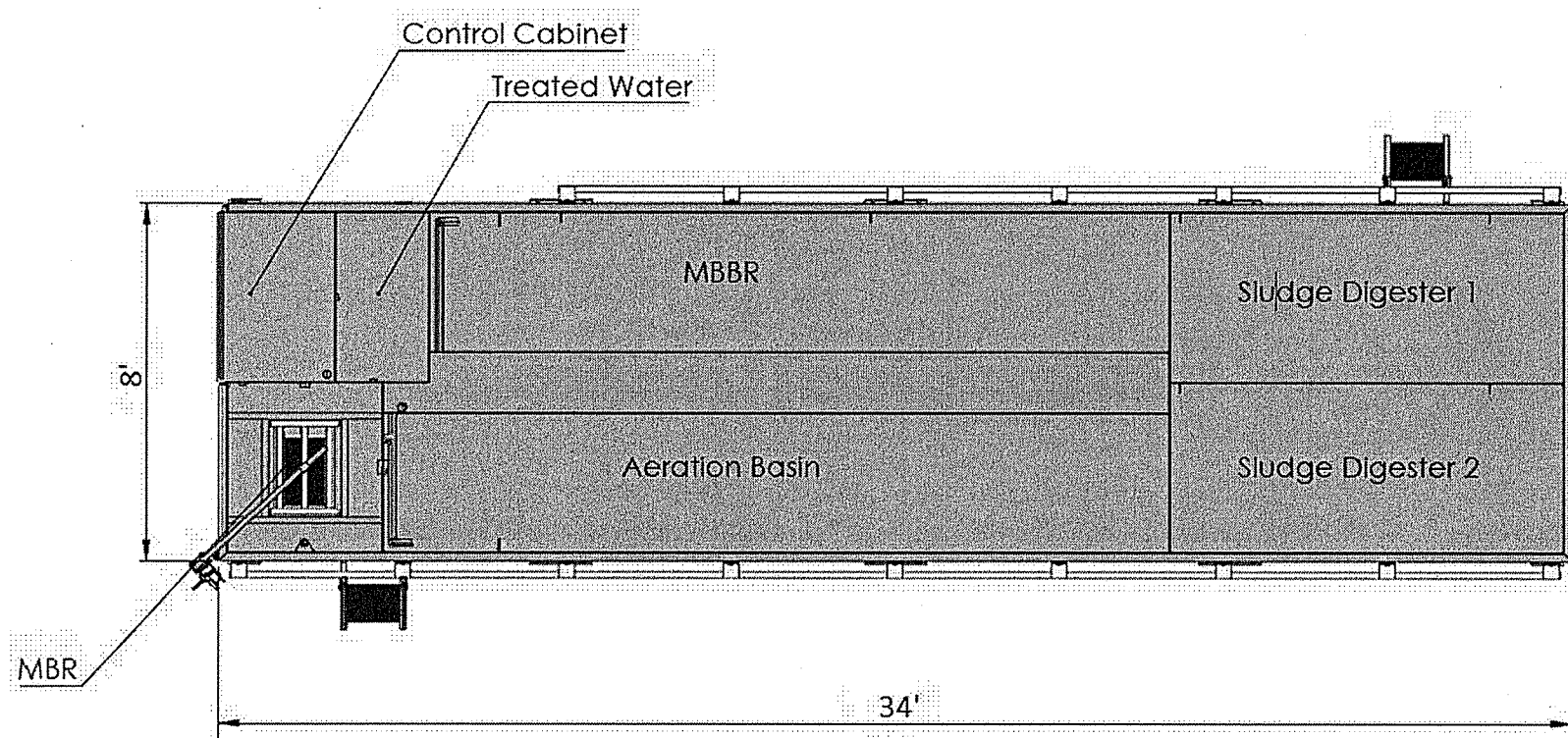
RSA+ CONSULTING CIVIL ENGINEERS + SURVEYORS + I1950

# SHADYBROOK ESTATE WINERY GRADING & DRAINAGE PLAN

NAPA COUNTY  
 CALIFORNIA



DATE	NOV. 20, 2014
DRAWN	JPH
DESIGNED	JCK
CHECKED	MSS
JOB NO.	418019.0
SHEET NO.	C3.0
6 OF 10 SHEETS	



NOTES:  
 1. FOR COMBINED FLOW AND TREATMENT DETAILS, SEE DESIGN REPORT ACCOMPANYING THESE PLANS.  
 2. LYE SYSTEM REQUIRES 6" THICK CONCRETE SLAB FOUNDATION WITH REINFORCEMENT PER STRUCTURAL ENGINEER.

**LYE WASTE WATER TREATMENT SYSTEM**

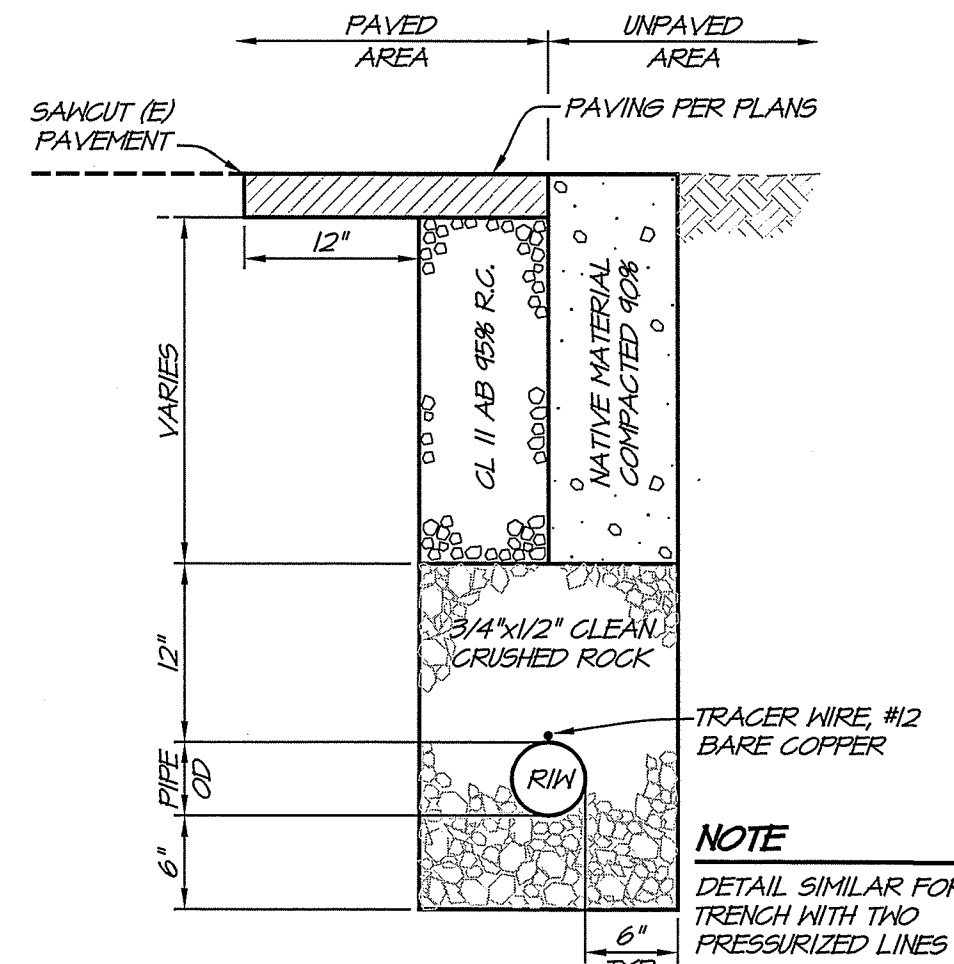
PER LYE SYSTEMS LLC

NOT TO SCALE



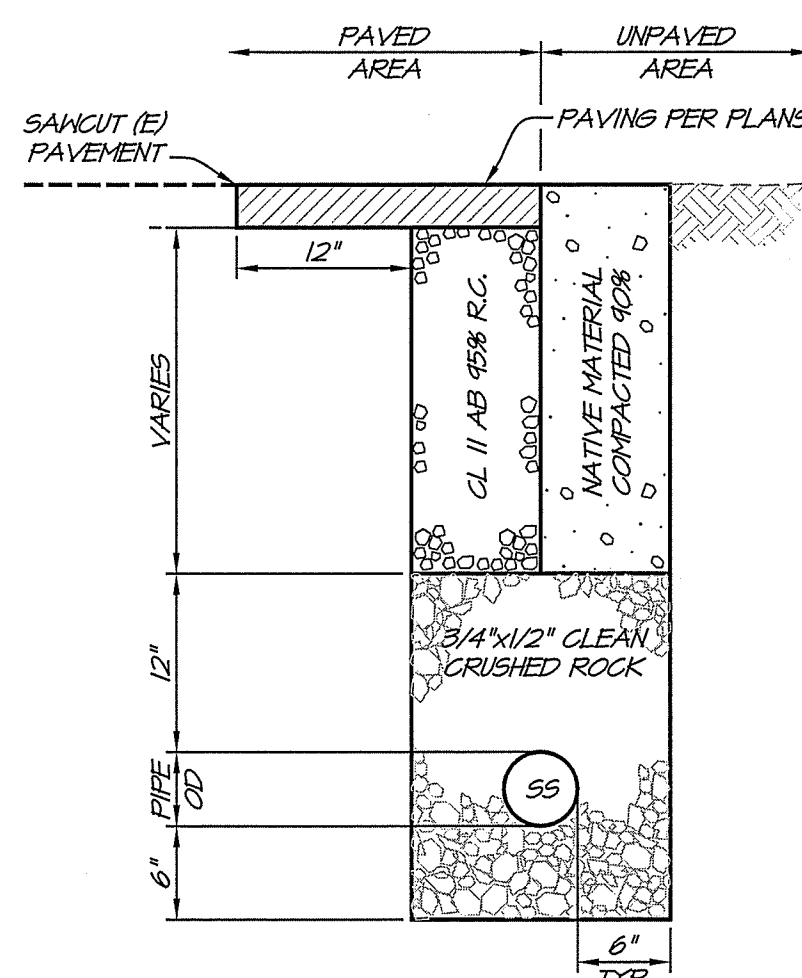
**RECYCLED WATER SIGN**

NOT TO SCALE



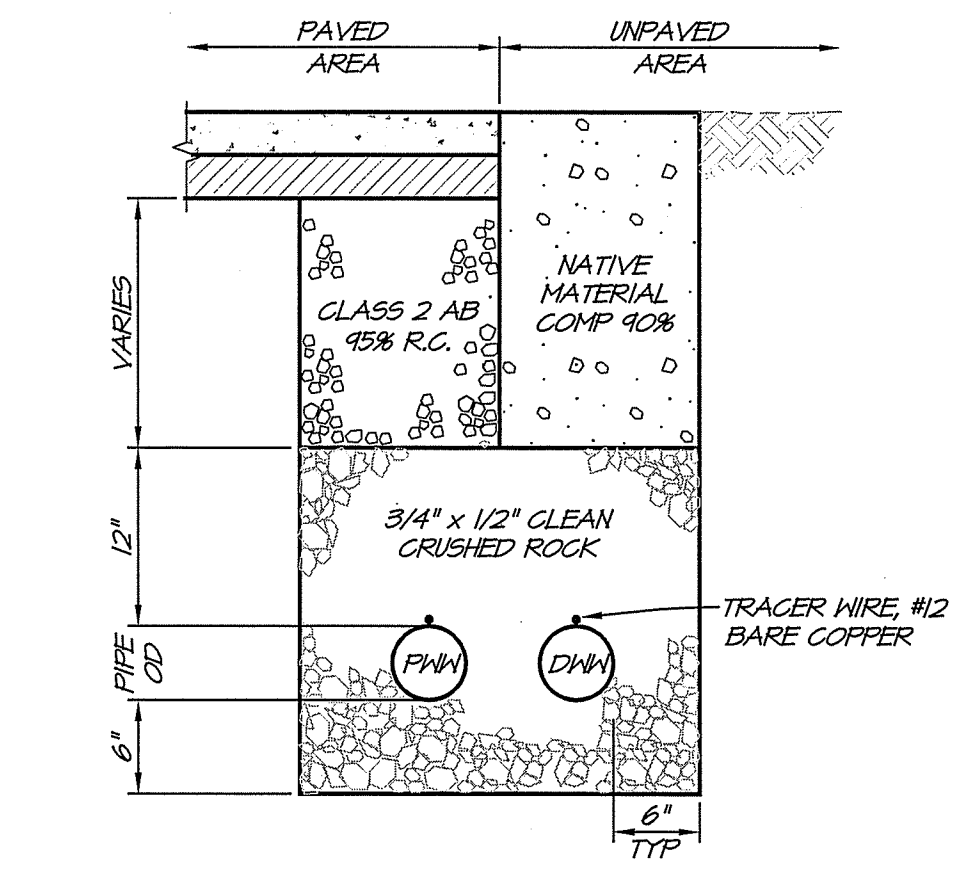
**RECYCLED IRRIGATION WATER**

NOT TO SCALE



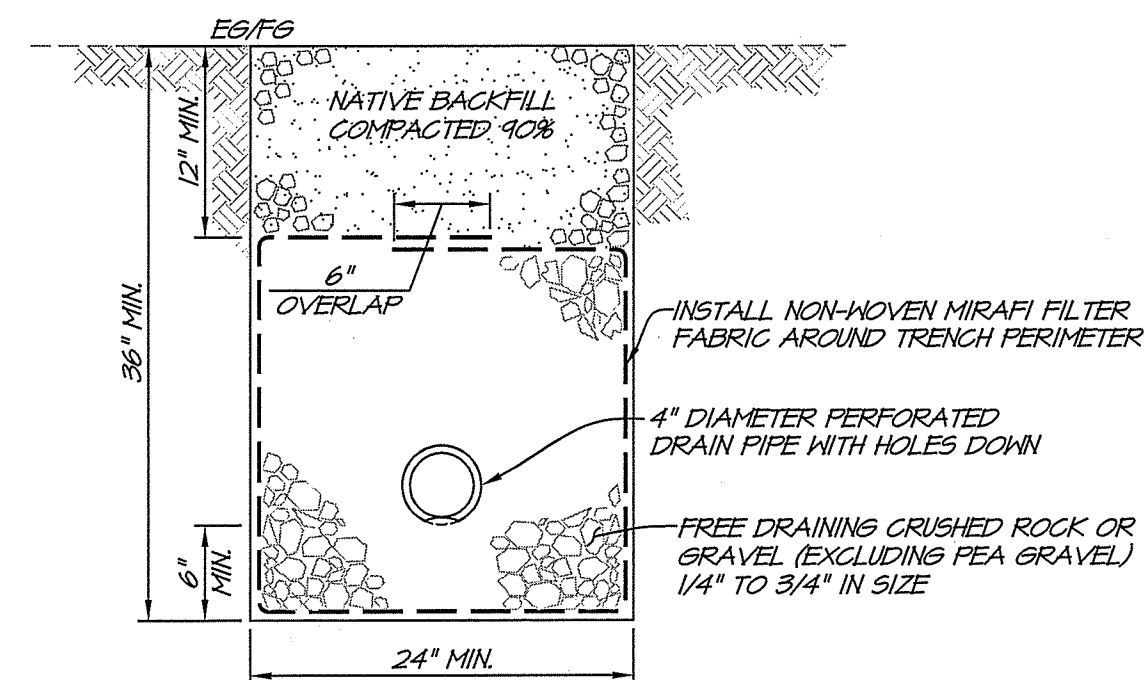
**GRAVITY SANITARY SEWER TRENCH**

NOT TO SCALE



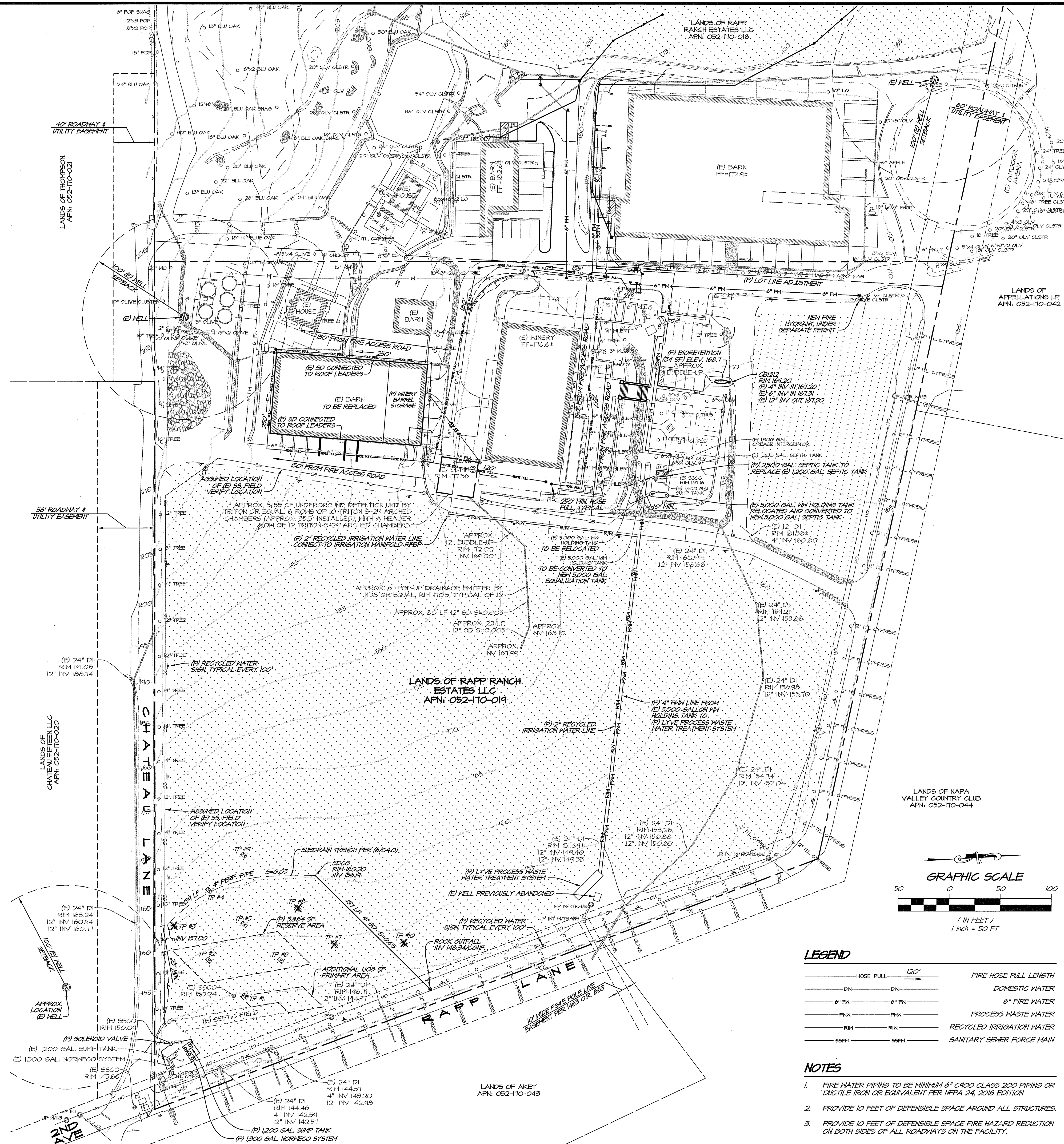
**PRESSURIZED SANITARY SEWER TRENCH**

NOT TO SCALE



**SUBDRAIN TRENCH DETAIL**

SCALE: 1" = 1'



**LEGEND**

HOSE PULL 120'	FIRE HOSE PULL LENGTH
6" FH	DOMESTIC WATER
6" FH	6" FIRE WATER
6" FH	PROCESS WASTE WATER
RIM	RECYCLED IRRIGATION WATER
6" FH	SANITARY SEWER FORCE MAIN

**NOTES**

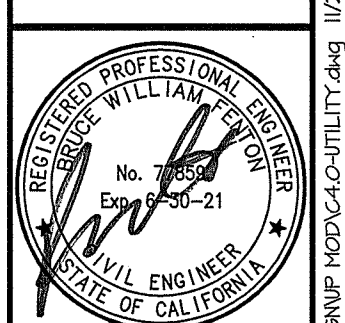
- FIRE WATER PIPING TO BE MINIMUM 6" CLASS 200 PIPING OR DUCTILE IRON OR EQUIVALENT PER NFPA 24, 2016 EDITION.
- PROVIDE 10 FEET OF DEFENSIBLE SPACE AROUND ALL STRUCTURES.
- PROVIDE 10 FEET OF DEFENSIBLE SPACE FIRE HAZARD REDUCTION ON BOTH SIDES OF ALL ROADWAYS ON THE FACILITY.

NO.	DATE	REVISIONS
1	02/21/24	FIRST SUBMITTAL
2	03/04/24	RESPONSE TO COMMENTS
3	11/20/24	RESPONSE TO COMMENTS

**RSA+**  
 CONSULTING CIVIL ENGINEERS + SURVEYORS + 1986

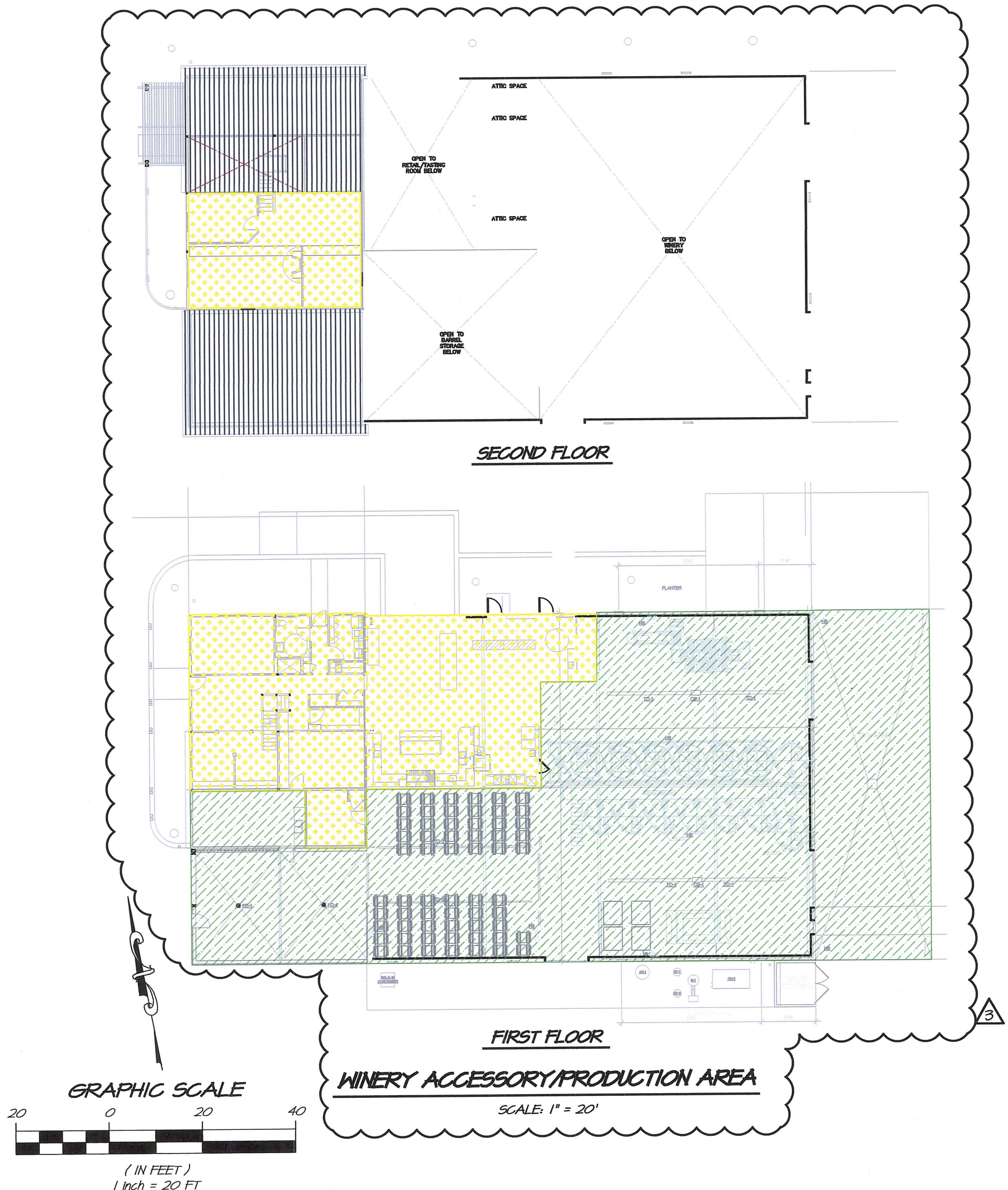
THE FOURTH STREET  
 NAPA, CALIFORNIA 94950  
 OFFICE (707) 252-3301  
 + www.rsacivil.com

**SHADYBROOK ESTATE WINERY  
 UTILITY PLAN**  
 CALIFORNIA  
 NAPA COUNTY



DATE	NOV. 20, 2019
DRAWN	JFH
DESIGNED	JCK
CHECKED	MSS
JOB NO.	418010
SHEET NO.	C4.0
	7 OF 10 SHEETS

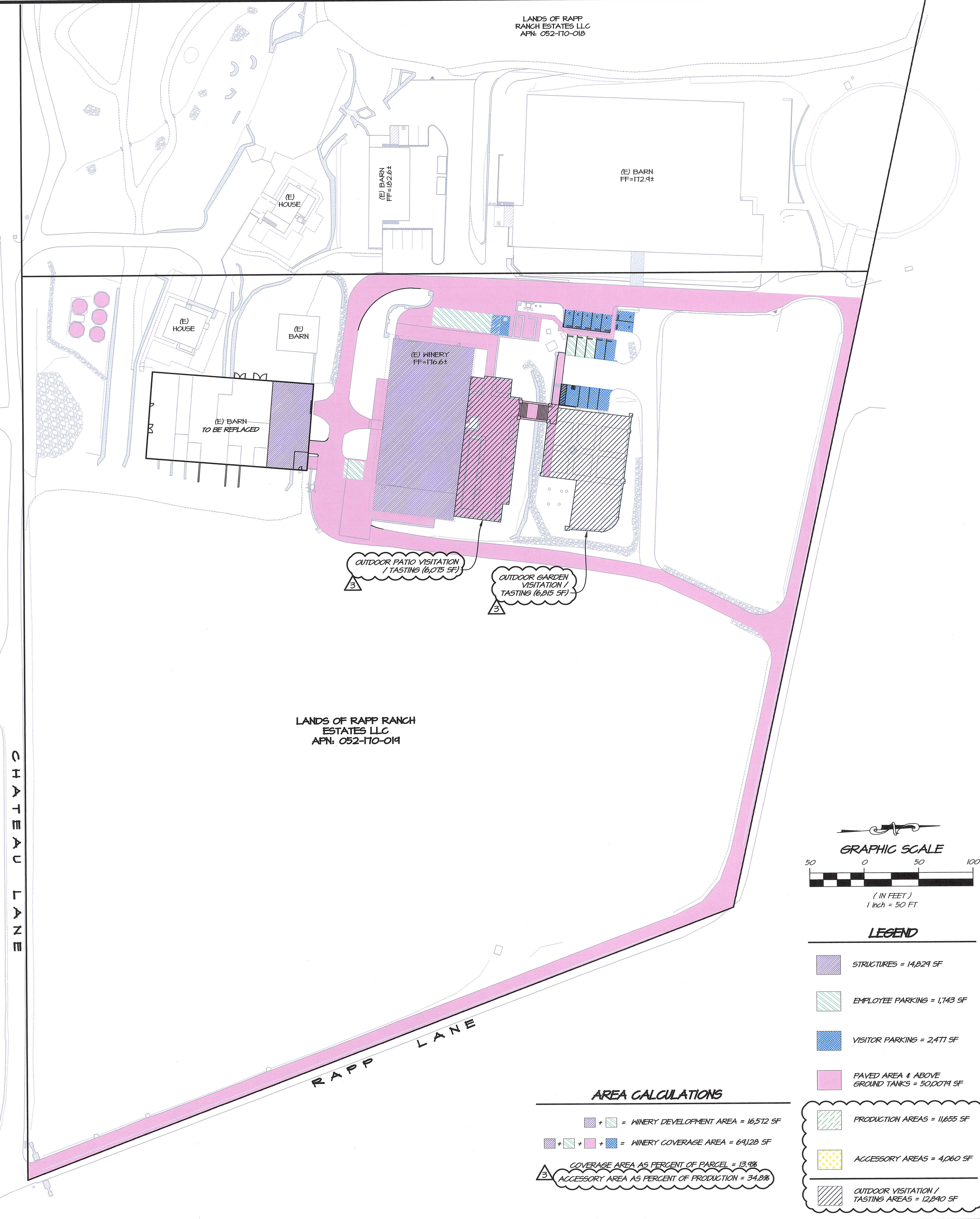




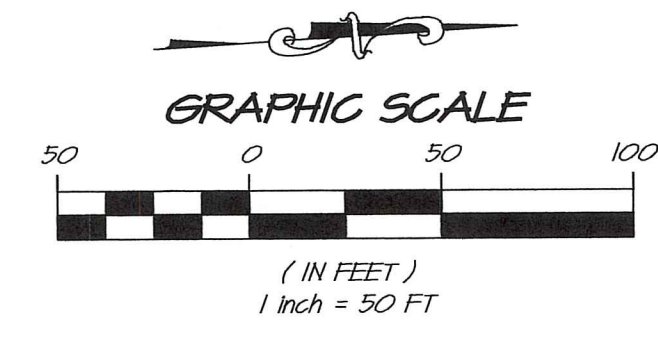
**WINERY ACCESSORY/PRODUCTION AREA**  
SCALE: 1" = 20'



**BARN ACCESSORY/PRODUCTION AREA**  
SCALE: 1" = 20'



LANDS OF RAPP RANCH  
ESTATES LLC  
APN: 052-170-019



- LEGEND**
- STRUCTURES = 14,824 SF
  - EMPLOYEE PARKING = 1,743 SF
  - VISITOR PARKING = 2,471 SF
  - PAVED AREA & ABOVE GROUND TANKS = 50,007 SF

- AREA CALCULATIONS**
- + = WINERY DEVELOPMENT AREA = 16,572 SF
  - + + = WINERY COVERAGE AREA = 64,128 SF
  - COVERAGE AREA AS PERCENT OF PARCEL = 13.9%
  - ACCESSORY AREA AS PERCENT OF PRODUCTION = 34.8%

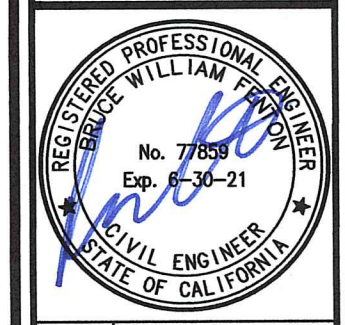
- PRODUCTION AREAS = 11,655 SF
- ACCESSORY AREAS = 4,060 SF
- OUTDOOR VISITATION / TASTING AREAS = 12,890 SF

NO.	DATE	REVISIONS	BY	APPD
0	02/20/14	FIRST SUBMITTAL	JFK	
1	04/04/14	RESPONSE TO COMMENTS	JFK	
2	04/04/14	RESPONSE TO COMMENTS	JFK	
3	11/20/14	RESPONSE TO COMMENTS	JFK	

1515 FOURTH STREET  
NAPA, CALIF. 94959  
OFFICE: (707) 254-3000  
WWW.RSACON.COM

**RSAC**  
RSAC | CONSULTING CIVIL ENGINEERS - SURVEYORS + 1980

**SHADYBROOK ESTATE WINERY**  
**COVERAGE & ACCESSORY/PRODUCTION RATIO**  
CALIFORNIA  
NAPA COUNTY



DATE	NOV. 20, 2014
DRAWN	JFK
DESIGNED	JFK
CHECKED	MSG
JOB NO.	410010
SHEET NO.	<b>C5.0</b>
8 OF 10 SHEETS	

**REFER TO REPORTS PREPARED BY GPRS SUBSURFACE SCANNING SOLUTIONS.**

At this site GPR maximum depth was approximately 12".

**FINDINGS**

We found that the slab was approximately 8" thick in most areas and was reinforced with rebar at an average of 16" on center in the floors and 10"-12" on the walls in most areas. Please keep in mind, differentiating between reinforcing, cables, and conduits is an interpretation based on depths, patterns, and other clues. Our findings are summarized in the table below:

Grid	Rebar Size	Spacing	Notes
1	4"x4"	8"	12" on center
2	4"x4"	8"	12" on center
3	4"x4"	8"	12" on center
4	4"x4"	8"	12" on center
5	4"x4"	8"	12" on center
6	4"x4"	8"	16" on center
7	4"x4"	8"	16" on center
8	4"x4"	8"	16" on center
9	4"x4"	18"	12" on center
10	4"x4"	18"	8"-10" on center
11	4"x4"	18"	8"-12" on center
12	4"x4"	8"	16"
13	4"x4"	8"	16"
14	4"x4"	8"	16"
15	4"x4"	8"-Transfers to footing	16"
16	4"x4"	8"-Transfers to footing	16"

**Notes for the above table:**

- The concrete thickness varied for each area so the maximum and minimum depths found within each area are provided above.
- The average rebar spacing was determined by dividing the width of the area by the number of spaces between bars.

At this site GPR maximum depth was approximately 12".

**FINDINGS**

We found that the slab was approximately 8" thick in most areas and was reinforced with rebar at an average of 12"-16" on center. Please keep in mind, differentiating between reinforcing, cables, and conduits is an interpretation based on depths, patterns, and other clues. Our findings are summarized in the table below:

Grid	Rebar Size	Spacing	Notes
1A	4"x4"	8"-18"	12"-16" on center
2A	4"x4"	8"-18"	12"-16" on center
3A	4"x4"	8"-18"	12"-16" on center
4A	4"x4"	8"-18"	12"-16" on center
5A	4"x4"	8"-18"	12"-16" on center
6A	4"x4"	8"-18"	12"-16" on center
7A	4"x4"	8"-18"	12"-16" on center
8A	4"x4"	8"-18"	12"-16" on center
9A	4"x4"	8"-18"	12"-16" on center

**Notes for the above table:**

- The concrete thickness varied for each area so the maximum and minimum depths found within each area are provided above.
- The average rebar spacing was determined by dividing the width of the area by the number of spaces between bars.

**EXISTING CONCRETE REINFORCEMENT**

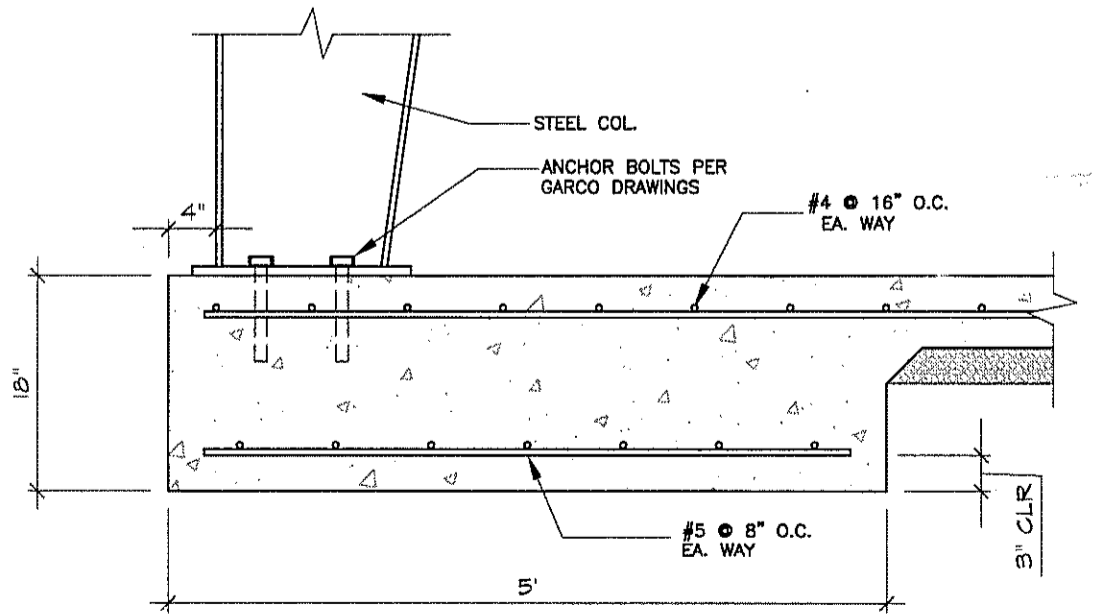
**1-hr. Rating**  
**UL Design U305**  
**Drywall System**

Studs: Wood 2x4 (nom.)  
Stud spacing: 16" o.c.  
Gypsum panel: 1/2" SHEETROCK brand Gypsum Panel, FIRECODE Core, or 1/2" SHEETROCK brand Gypsum Panel, Water-Resistant, FIRECODE Core, each side.  
Application: Horizontal.  
Attachment: 1 1/4" cement-coated nails spaced 7" o.c.  
Joints: Exposed and taped and treated.  
Insulation: 3" batts THERMAFIBER SAFB (optional).  
Perimeter: May be caulked with SHEETROCK Acoustical Sealant.

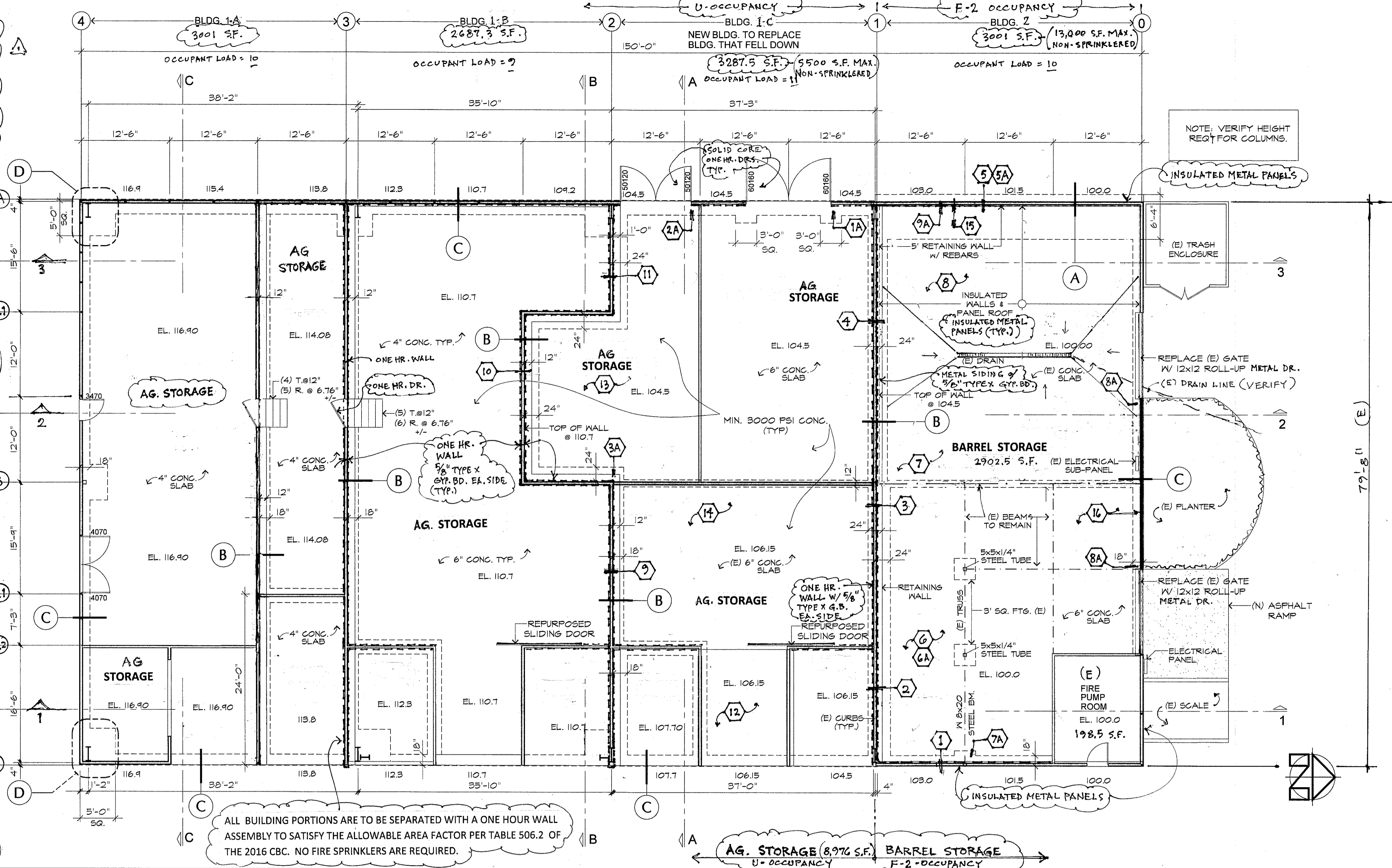
**1-hr. Rating**  
**UL Design U465**  
**Drywall System**

Studs: Steel 3x4 x 25-ga. (min.)  
Stud spacing: 24" o.c.  
Gypsum panel: 1/2" SHEETROCK brand Gypsum Panel, FIRECODE Core, or 1/2" SHEETROCK brand Gypsum Panel, Water-Resistant, FIRECODE Core, each side.  
Application: Vertical.  
Attachment: Type S screws 8" o.c.  
Joints: Taped and treated.  
Insulation: 3" batts THERMAFIBER SAFB (optional).  
Perimeter: May be caulked with SHEETROCK Acoustical Sealant.

**ONE HOUR WALLS**

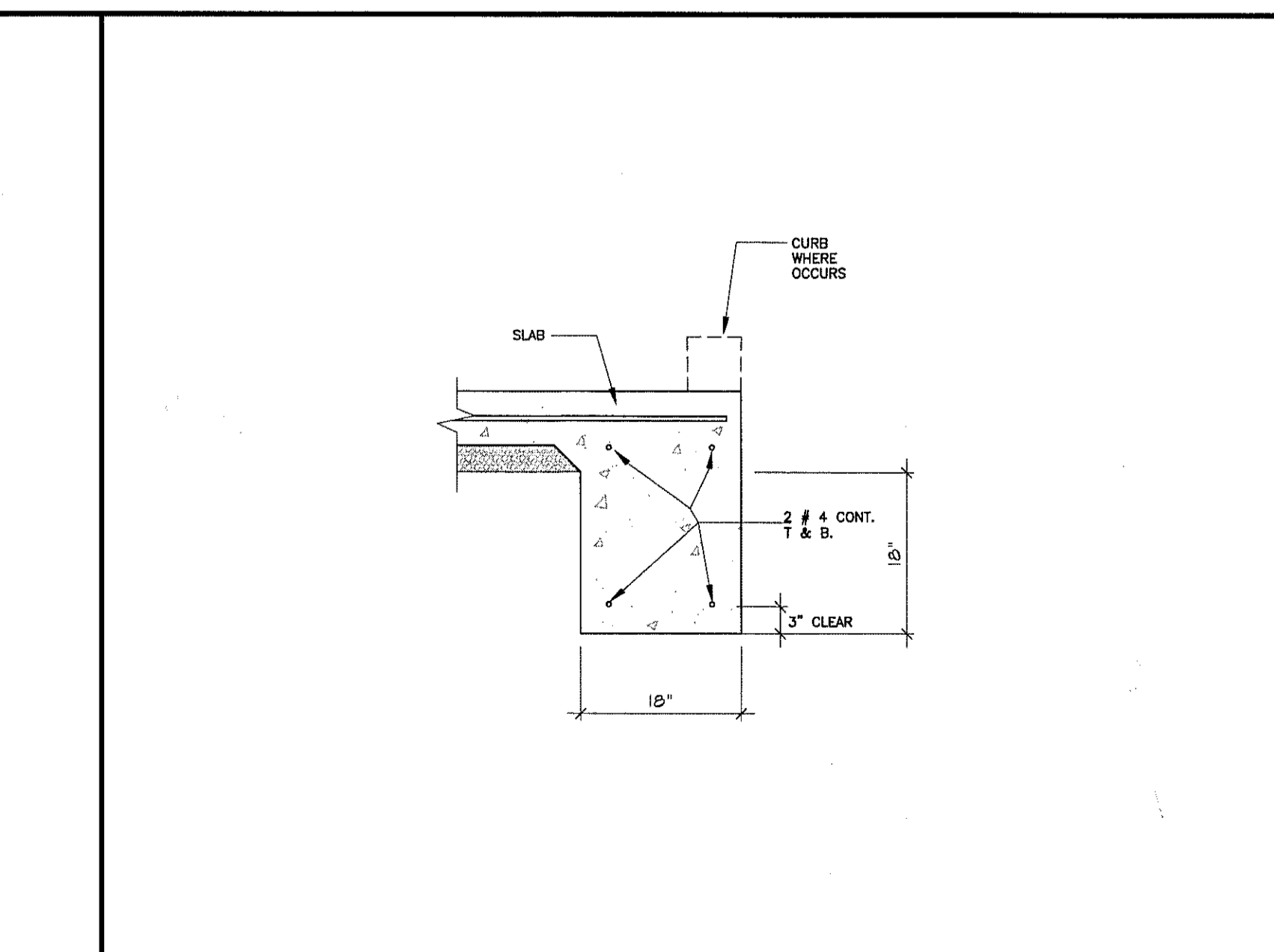


STEEL COL. FOOTING 3/4" = 1'-0" D

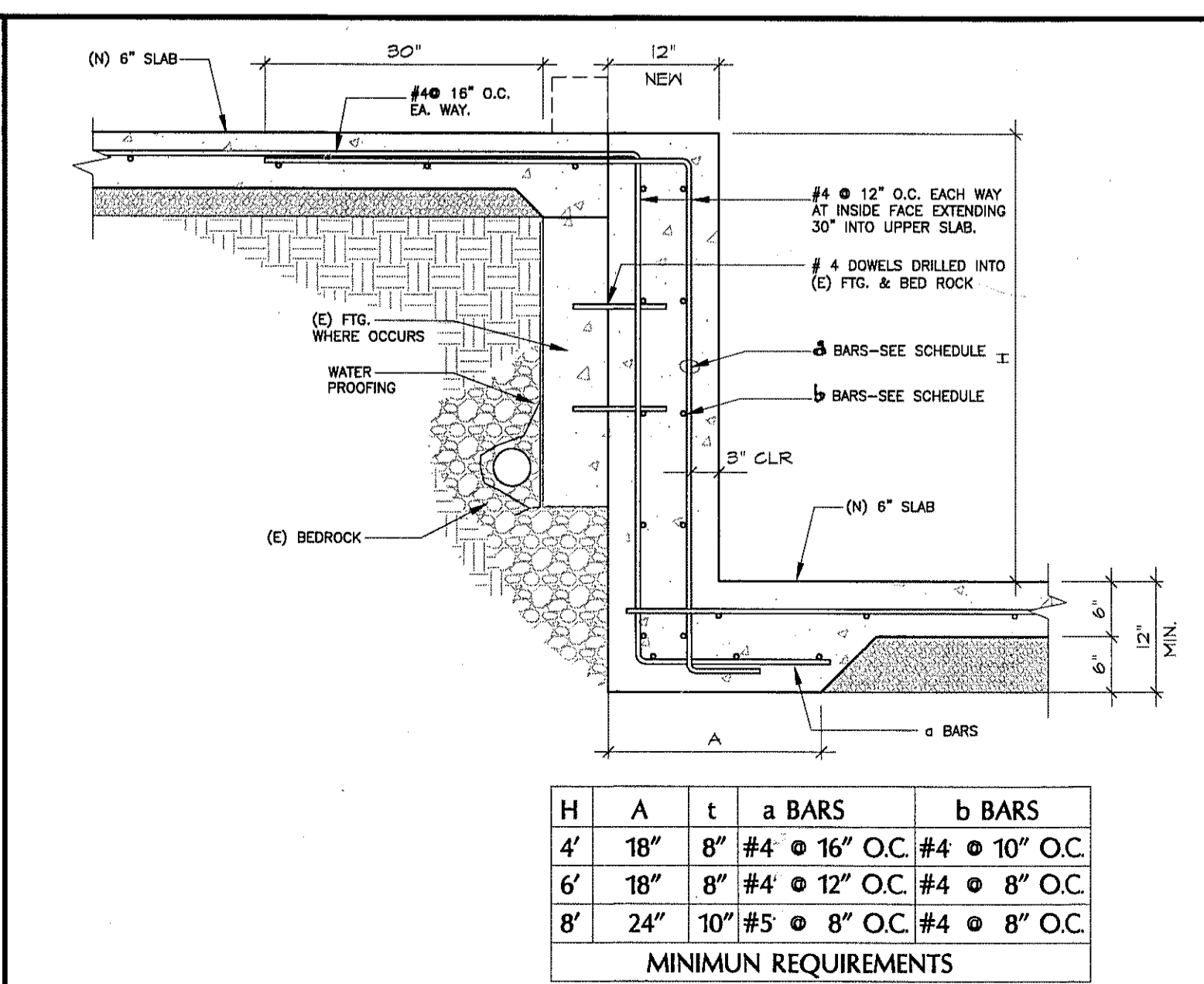


**TERRACE BARN PROPOSED FLOOR PLAN & FOUNDATION PLAN**

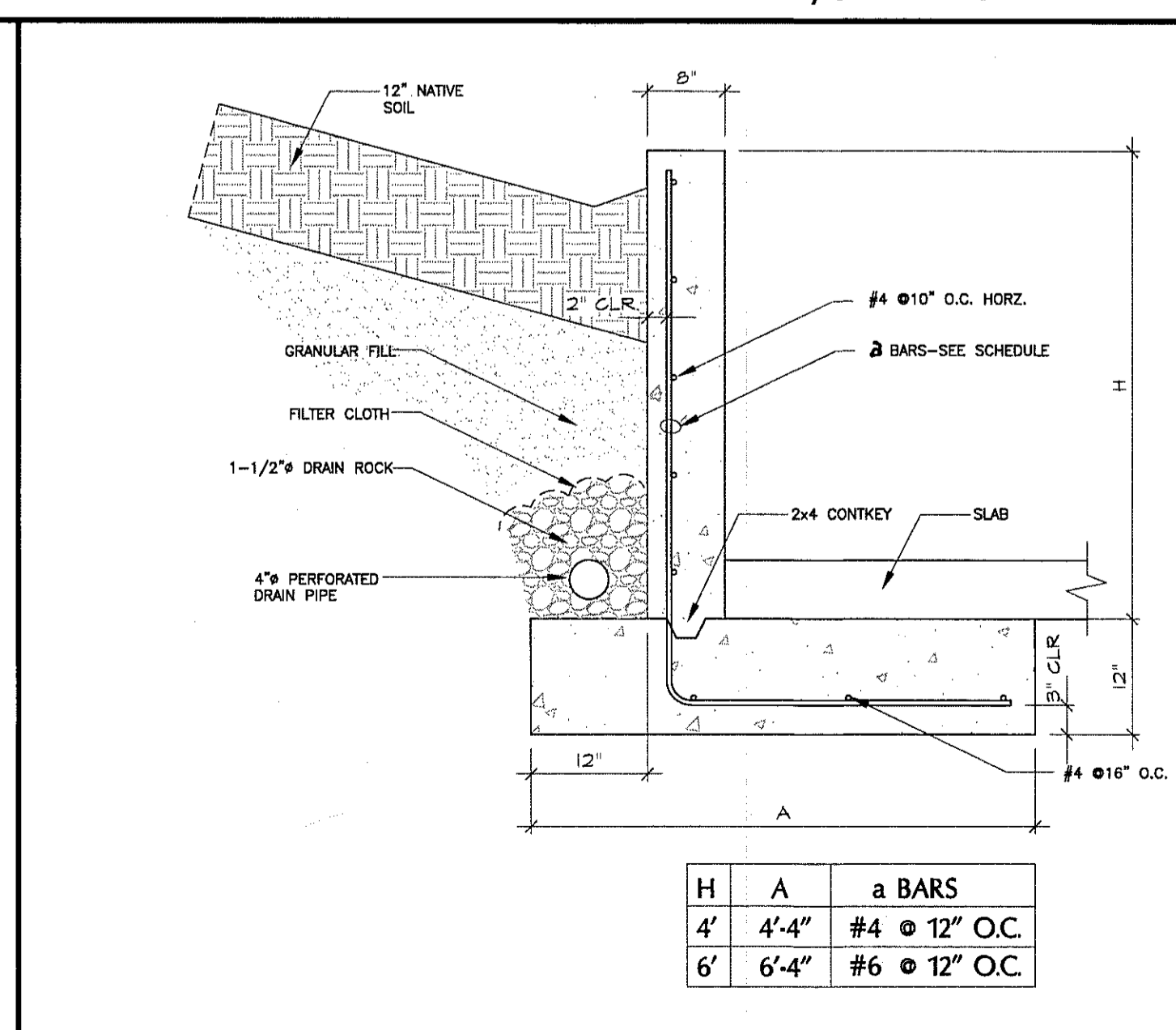
1/8" = 1'-0"



PERIMETER FOUNDATION 3/4" = 1'-0" C



INTERIOR RETAINING WALLS 3/4" = 1'-0" B

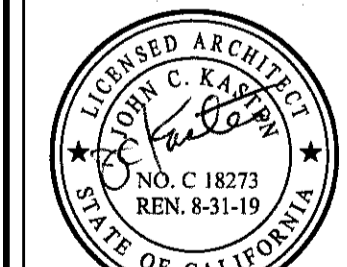


PERIMETER RETAINING WALL 3/4" = 1'-0" A

REVISIONS	BY
7/22/19	JK



**REPLACEMENT OF EXISTING BARN**  
100 RAPP LANE NAPA, CA 94558



Sheet Title  
**TERRACE BARN FLOOR PLAN**

Date: MAY-17-2017

Scale: AS NOTED

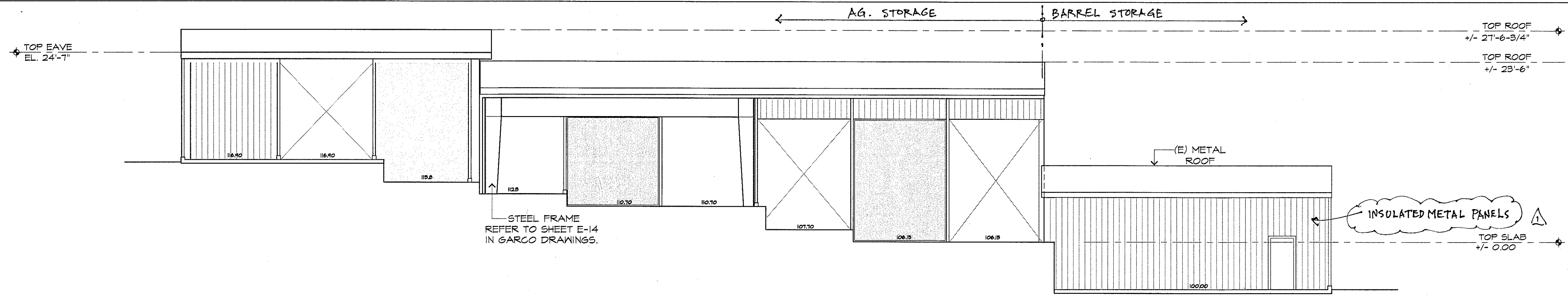
Drawn: Fernando Suarez

Checked: JK

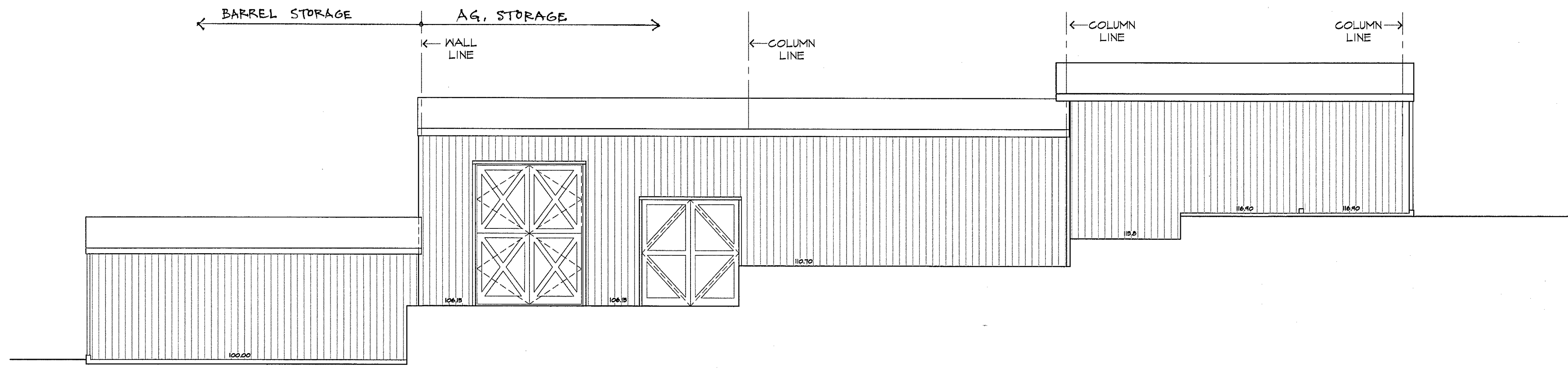
Sheet

**A-2**

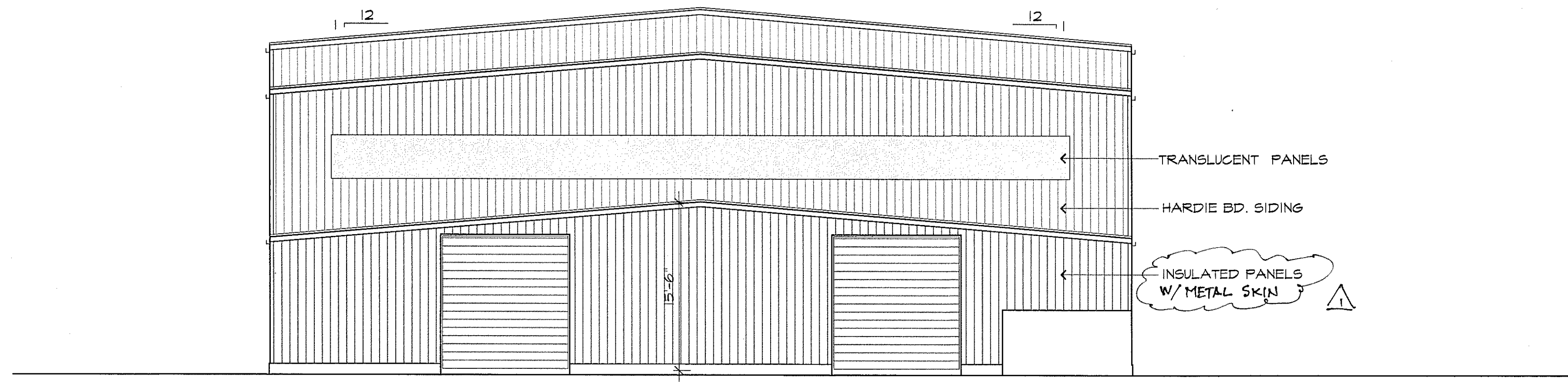
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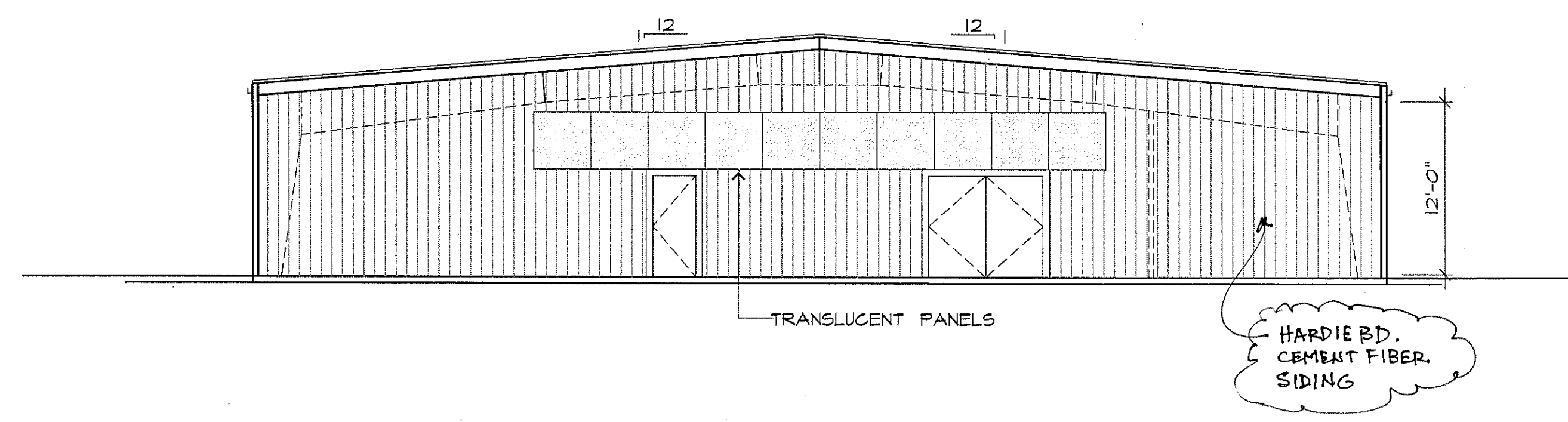
WEST ELEVATION 1/8"=1'-0"



EAST ELEVATION 1/8"=1'-0"



NORTH ELEVATION 1/8"=1'-0"



SOUTH ELEVATION 1/8"=1'-0"

REVISIONS	BY
1	JK

  
**KASTEN  
DESIGN  
INC**  
 (707) 224-9333  
 kastendesign.net  
 ARCHITECTURE  
 PLANNING  
 ILLUSTRATION  
  
 575 LINCOLN AVE. STE. 308  
 NAPA, CALIFORNIA 94558

**REPLACEMENT OF EXISTING BARN**  
**100 RAPP LANE NAPA, CA 94558**

  
 LICENSED ARCHITECT  
 JOHN C. KASTEN  
 NO. C 18273  
 REN. 8-31-19  
 STATE OF CALIFORNIA

Sheet Title

**BARN  
TERRACE  
ELEVATIONS**

Date: MAY-17-2017

Scale: AS NOTED

Drawn: Fernando Suarez

Checked: JK

Sheet

**A-3**