

“M”

Graphics








NAPA COUNTY LAND USE PLAN 2008 – 2030





LEGEND



URBANIZED OR NON-AGRICULTURAL

-  Study Area
-  Cities
-  Urban Residential*
-  Rural Residential*
-  Industrial
-  Public-Institutional
-  Napa Pipe Mixed Use

OPEN SPACE

-  Agriculture, Watershed & Open Space
-  Agricultural Resource

TRANSPORTATION

-  Mineral Resource
-  Limited Access Highway
-  American Canyon ULL
-  City of Napa RUL
-  Landfill - General Plan
-  Road
-  Airport
-  Railroad
-  Airport Clear Zone

* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations

Rapp Equestrian Center
APN 052-170-018
P18-00197-UP



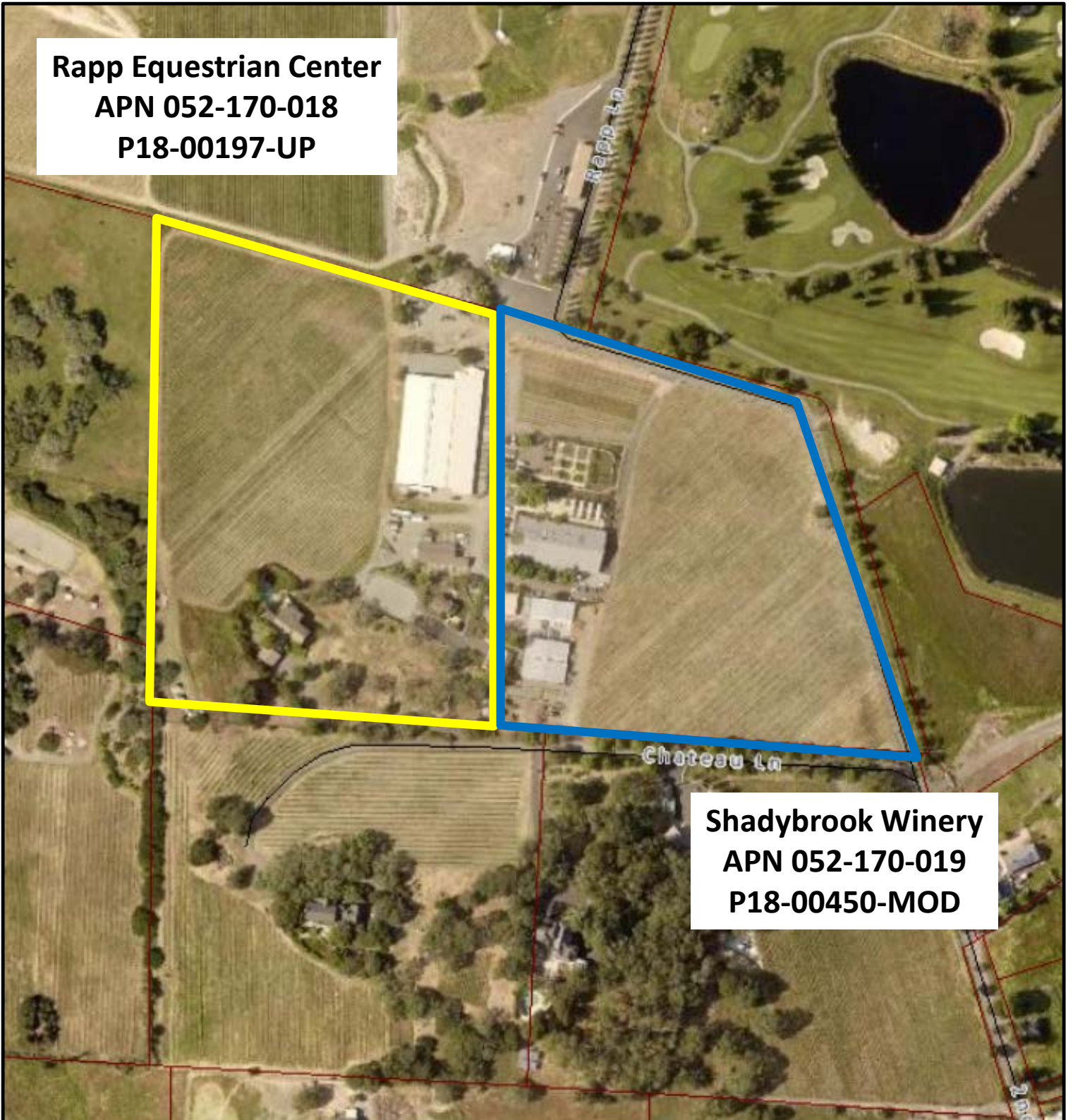
Shadybrook Winery
APN 052-170-019
P18-00450-MOD

LEGEND

- Zoning
- AW



Rapp Equestrian Center
APN 052-170-018
P18-00197-UP



Shadybrook Winery
APN 052-170-019
P18-00450-MOD



Existing Conditions

SHADYBROOK ESTATE WINERY USE PERMIT MODIFICATION PLAN



VICINITY MAP
SCALE: 1" = 3000'

PROJECT INFORMATION

OWNER: RAPP RANCH ESTATES LLC
20 CHATEAU LANE
NAPA, CA 94558

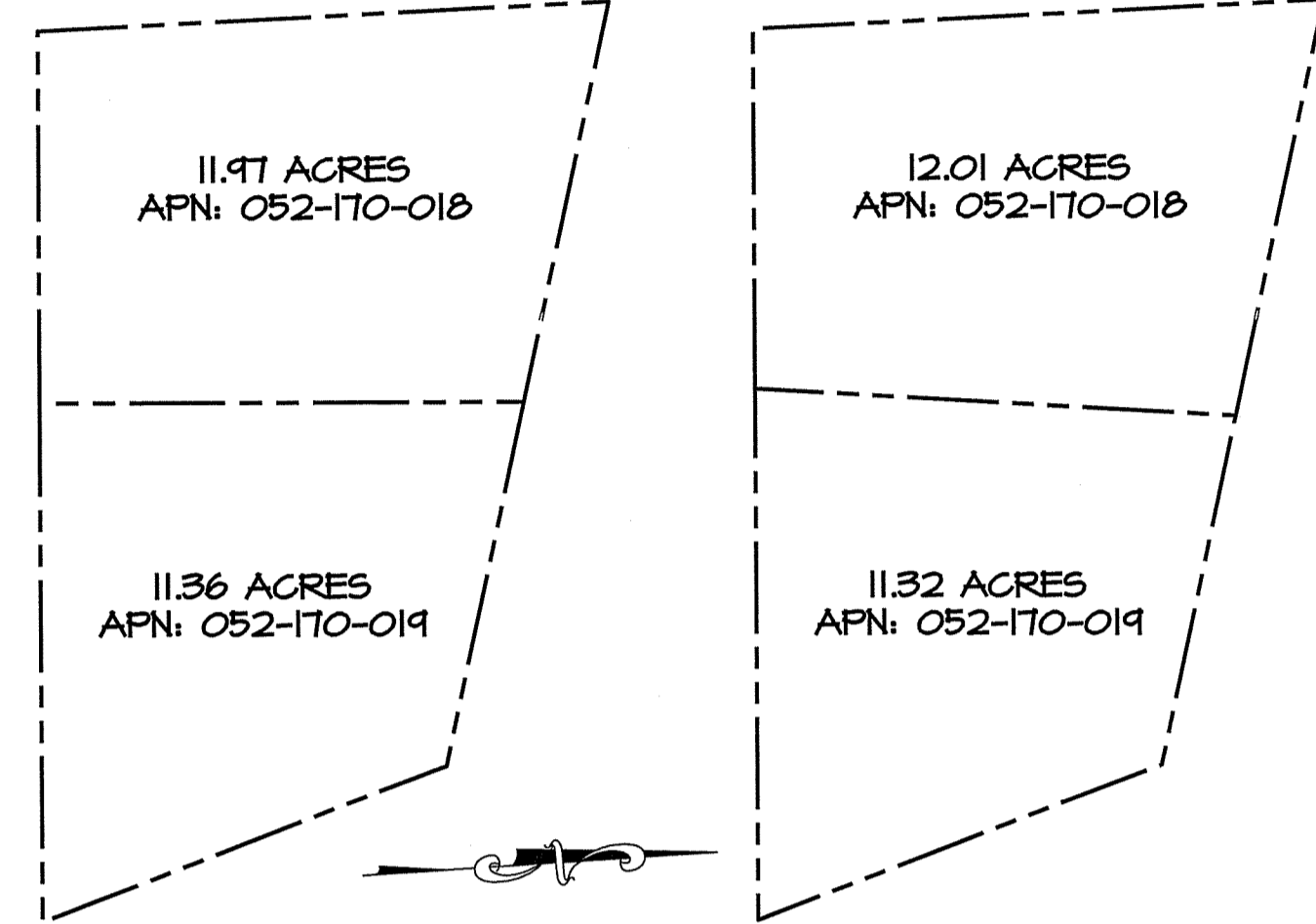
SITE ADDRESS: 100 RAPP LANE
NAPA, CA 94558

CIVIL ENGINEER: RSA
1515 FOURTH STREET
NAPA, CA 94559

APN: 052-170-019
PARCEL AREA: 11.36 ACRES
EXISTING USE: WINERY AND VINEYARD

SURVEY NOTES

- TOPOGRAPHY BASED ON A FIELD SURVEY PERFORMED BY RSA IN MAY 2018, AND A SUPPLEMENTAL SURVEY IN OCTOBER 2018. CONTOURS ARE SHOWN EVERY ONE FOOT (1'), HIGHLIGHTED EVERY FIVE FEET (5').
- HORIZONTAL DATUM, NORTH AMERICAN DATUM OF 1983 (NAD83) 2011 EPOCH BASED UPON G.P.S. OBSERVATIONS ON NETWORK UTILIZING CONTINUALLY OPERATING REFERENCE STATION (CORS) INFORMATION FROM THE CALIFORNIA SPATIAL REFERENCE CENTER (C.S.R.C.).
VERTICAL DATUM, NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- SURROUNDING CONTOURS ARE FROM NAPA COUNTY GIS AND ARE SHOWN FOR REFERENCE ONLY.
- BOUNDARY SHOWN IS RECORD INFORMATION PER BOOK 17 OF SURVEYS AT PAGE 7, N.C.R.
- NO LOCATION DESCRIBED FOR EASEMENT FOR ELECTRICAL FACILITIES GRANTED TO PGE, DOCUMENT 1766 OR 783.
- THE EASEMENTS SHOWN AFFECTING THE PARCELS ARE AS IDENTIFIED IN THE PRELIMINARY TITLE REPORT PROVIDED BY PLACER TITLE COMPANY AS ORDER NUMBER P-263444 DATED MARCH 28, 2018.



LOT LINE ADJUSTMENT
SCALE: 1" = 300'

ABBREVIATIONS

BOP	BOTTOM OF PIPE	N.C.R.	NAPA COUNTY RECORD
CL	CENTERLINE	OC	ON CENTER
CO	CLEANOUT	OR	OFFICIAL RECORD
DM	DOMESTIC WATER	P.A.E.	PUBLIC ACCESS EASEMENT
EP	EDGE OF PAVEMENT	P.U.E.	PUBLIC UTILITY EASEMENT
EV	ELECTRIC VEHICLE	EL	EXISTING
EX / (E)	EXISTING	(P)	PROPOSED NEW WORK
FD	FOUND	FW	FIRE WATER
FF	FINISH FLOOR	PWW	PROCESS WASTE WATER
FG	FINISH GRADE	R	RADIUS
FH	FIRE HYDRANT	RFBP	REDUCED PRESSURE BACKFLOW PREVENTER
FL	FLOW LINE	ROW	RIGHT OF WAY
FW	FIRE WATER	RM	RECYCLED WATER
GB	GRADE BREAK	S	SLOPE (FEET/FOOT)
HP	HIGH POINT	S.A.D.	SEE ARCHITECT'S DRAWINGS
H.W.L.	HIGH WATER LEVEL	SD	STORM DRAIN
INV	INVERT	SDCO	STORM DRAIN CLEANOUT
IP	IRON PIPE	SS	SANITARY SEWER
IW	IRRIGATION WATER	SSCO	SANITARY SEWER CLEANOUT
LF	LINEAL FEET/FOOT	SSFM	SANITARY SEWER FORCE MAIN
LLA	LOT LINE ADJUSTMENT	STA	STATION
LP	LOW POINT	TOP	TOP OF PIPE
MH	MANHOLE	WM	WATER METER

SYMBOL LEGEND

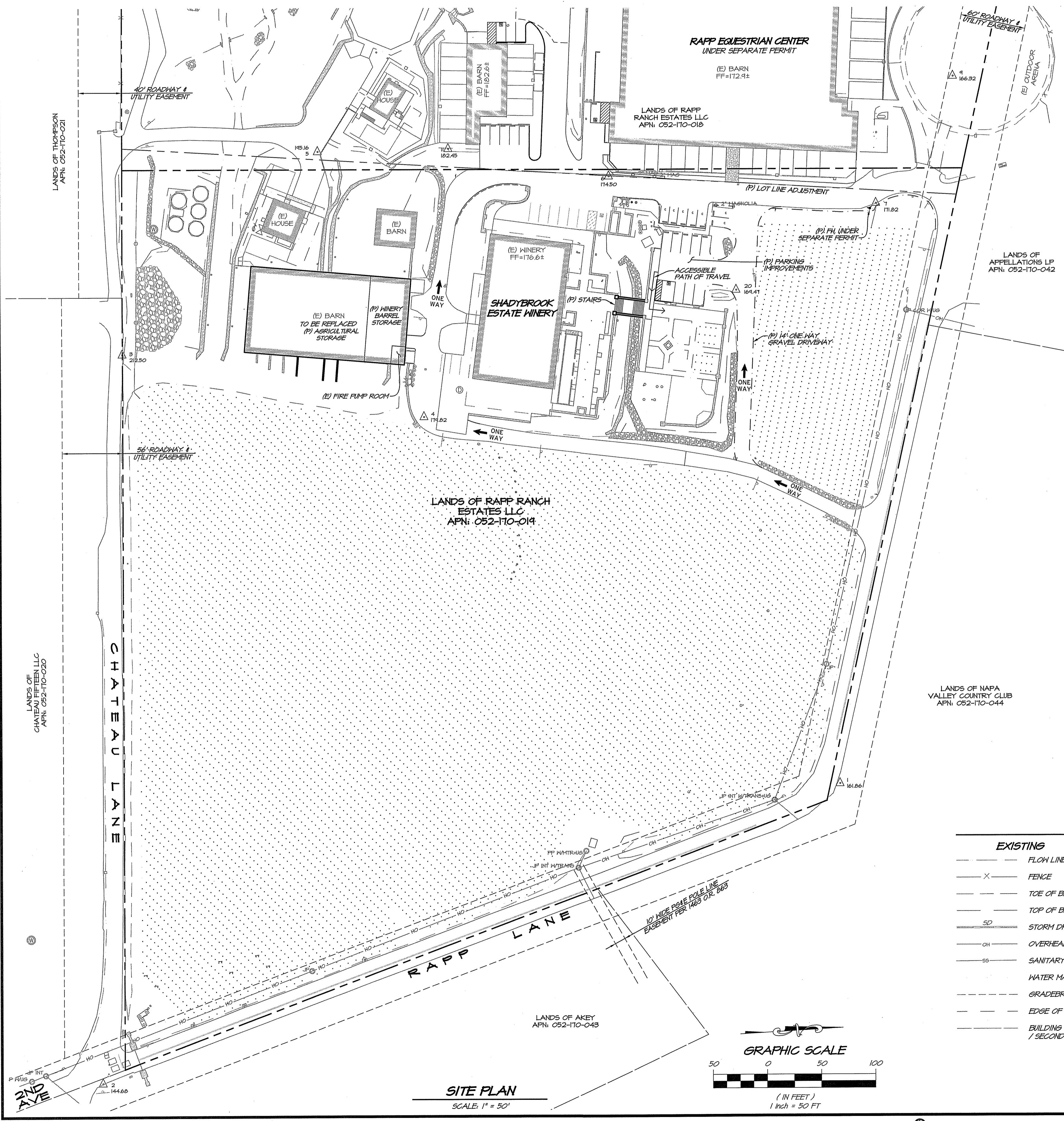
EXISTING	EXISTING	PROPOSED
— FLOW LINE	☒ FIRE HYDRANT	DS° DOWNSPOUT
-X- FENCE	⊙ SS MANHOLE	▩ TRUNCATED DOMES
— TOE OF BANK	○ TREE (AS NOTED)	— TOP / TOE DAYLIGHT
— TOP OF BANK	— GUY WIRE	— FLUSH CURB
— SD — STORM DRAIN PIPE	⊕ WELL	— VERTICAL CURB
— OH — OVERHEAD UTILITY LINES	⊕ IRRIGATION CONTROL VALVE	⊕ GATE VALVE
— SS — SANITARY SEWER LINE	○ UTILITY POLE	— DW — DOMESTIC WATER
— WATER MAIN	⊕ SS CO — SEWER CLEANOUT	— FW — FIRE WATER
— GRADEBREAK	△ SURVEY CONTROL STATION	— FH — FIRE HYDRANT
— EDGE OF ROAD	— SIGN	
— BUILDING OVERHEAD / SECOND STORY		

LOCAL SITE CONTROL

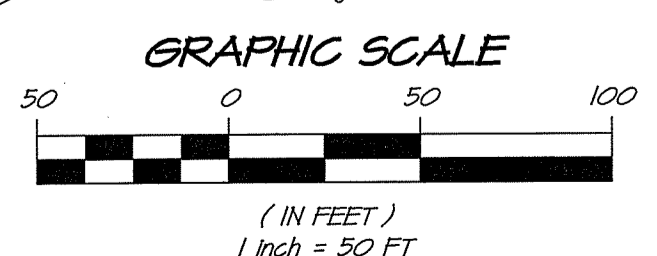
#	GROUND NORTHING	GROUND EASTING	ELEVATION
1	1814691.68	6490811.13	161.86'
2	1814000.42	6491104.73	144.68'
3	1814061.30	6490495.17	212.50'
4	1814335.86	6490509.72	179.82'
5	1814253.40	6490260.15	195.16'
6	1814520.55	6490299.43	174.50'
7	1814765.44	6490339.82	171.82'

SHEET INDEX

C1.0	COVER SHEET
C2.0	DEMOLITION PLAN
C2.1	LAYOUT PLAN
C2.2	PARCELS INGRESS & EGRESS
C2.3	GATE ELEVATION PLAN
C3.0	GRADING & DRAINAGE PLAN
C4.0	UTILITY PLAN
C5.0	COVERAGE & ACCESSORY PRODUCTION RATIO
A-2	TERRACE BARN FLOOR PLAN
A-3	TERRACE BARN ELEVATIONS



SITE PLAN
SCALE: 1" = 50'



SHADYBROOK ESTATE WINERY
COVER SHEET

CALIFORNIA
NAPA COUNTY

NO. DATE BY APPD

REVISIONS

0 02/21/19 FIRST SUBMITTAL

1 04/19/19 CHAIRMAN RESPONSE TO COMMENTS

2 08/09/19 CHAIRMAN RESPONSE TO COMMENTS

3 11/20/19 CHAIRMAN RESPONSE TO COMMENTS

1515 FOURTH STREET
NAPA, CALIF. 94559
OFFICE (707) 252-3301
WWW.RSACIVIL.COM

RSAC
RSAC CONSULTING CIVIL ENGINEERS • SURVEYORS • 11950

DATE NOV. 20, 2019

DRAWN JFH

DESIGNED JCK

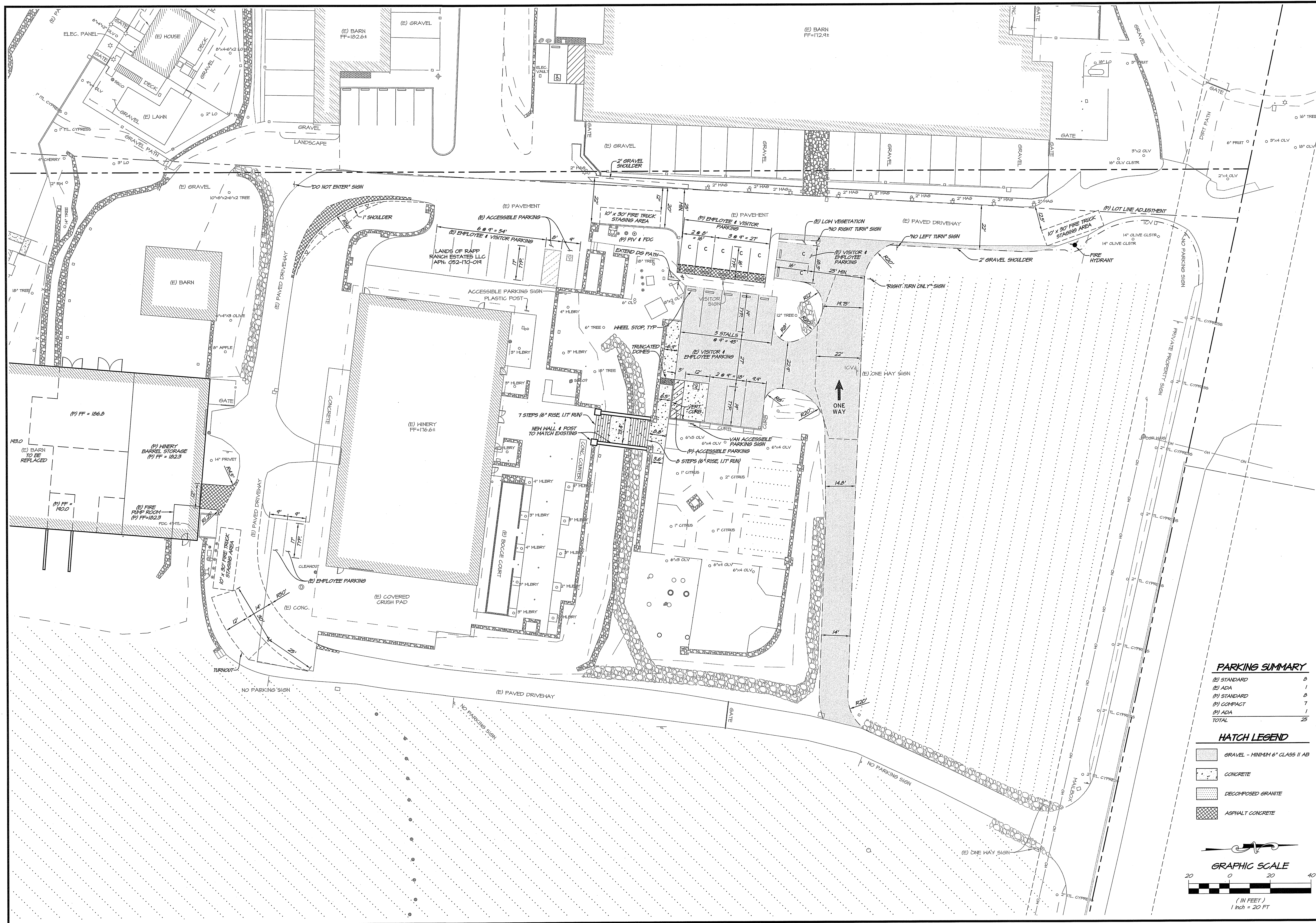
CHECKED MGS

JOB NO. 4118019.0

SHEET NO.

C1.0

1 OF 10 SHEETS

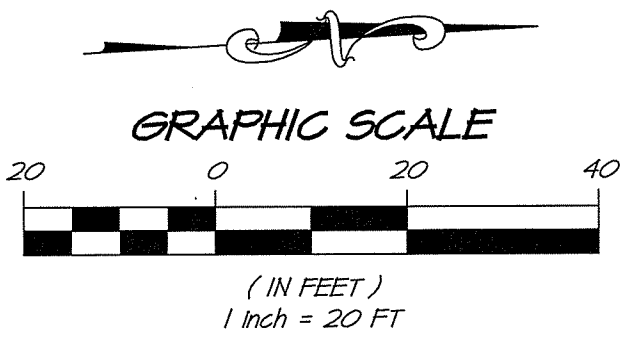


PARKING SUMMARY

(E) STANDARD	8
(E) ADA	1
(P) STANDARD	8
(P) COMPACT	7
(P) ADA	1
TOTAL	25

HATCH LEGEND

[Hatched Pattern]	GRAVEL - MINIMUM 6" CLASS II AB
[Dotted Pattern]	CONCRETE
[Cross-hatched Pattern]	DECOMPOSED GRANITE
[Grid Pattern]	ASPHALT CONCRETE

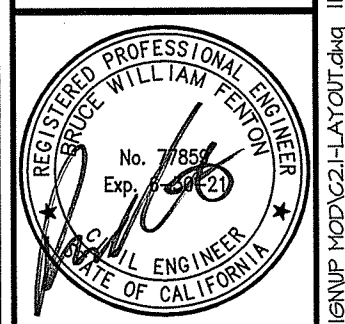


NO.	DATE	REVISIONS	BY	APPD
1	02/20/19	FIRST SUBMITTAL	JFH/JCK	
2	04/16/19	RESPONSE TO COMMENTS	JFH/JCK	
3	08/08/19	RESPONSE TO COMMENTS	JFH/JCK	
4	11/20/19	RESPONSE TO COMMENTS	JFH/JCK	

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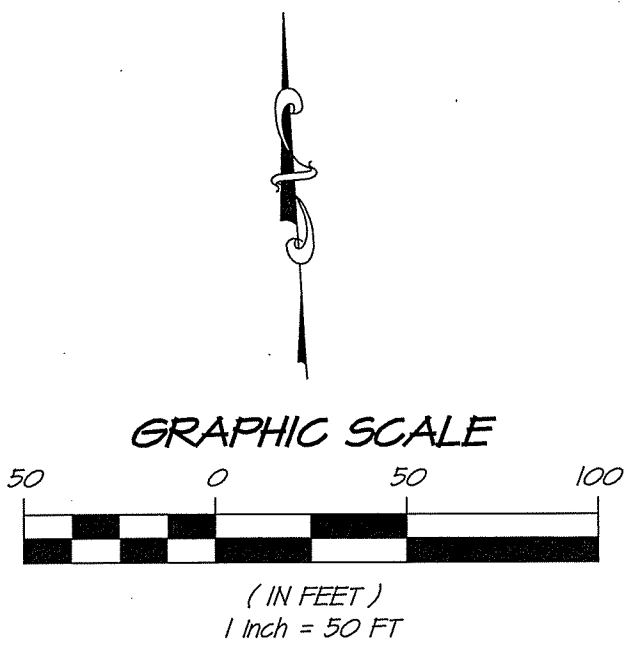
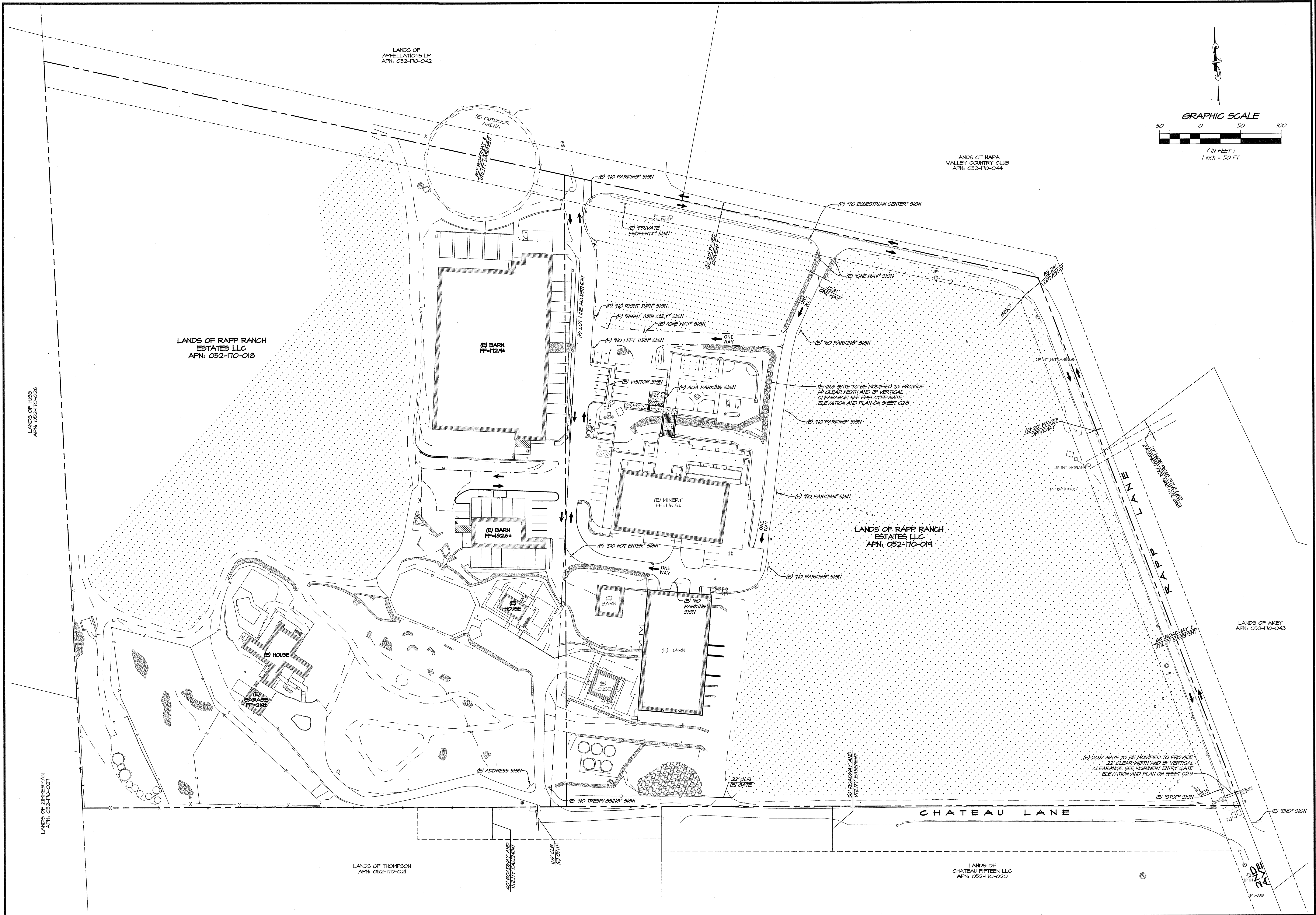
1515 FOURTH STREET
 NAPA, CALIF. 94959
 OFFICE (707) 252.3301
 + www.rsacivil.com

SHADYBROOK ESTATE WINERY
LAYOUT PLAN
 NAPA COUNTY
 CALIFORNIA



DATE	NOV. 20, 2019
DRAWN	JFH
DESIGNED	JCK
CHECKED	MBS
JOB NO.	4118019.0
SHEET NO.	

C2.1
 3 OF 10 SHEETS

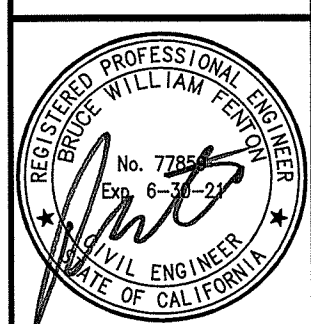


NO.	DATE	REVISIONS	BY	APPD
0	02/12/14	FIRST SUBMITTAL		
1	04/01/14	RESPONSE TO COMMENTS		
2	08/08/14	RESPONSE TO COMMENTS		
3	11/20/14	RESPONSE TO COMMENTS		

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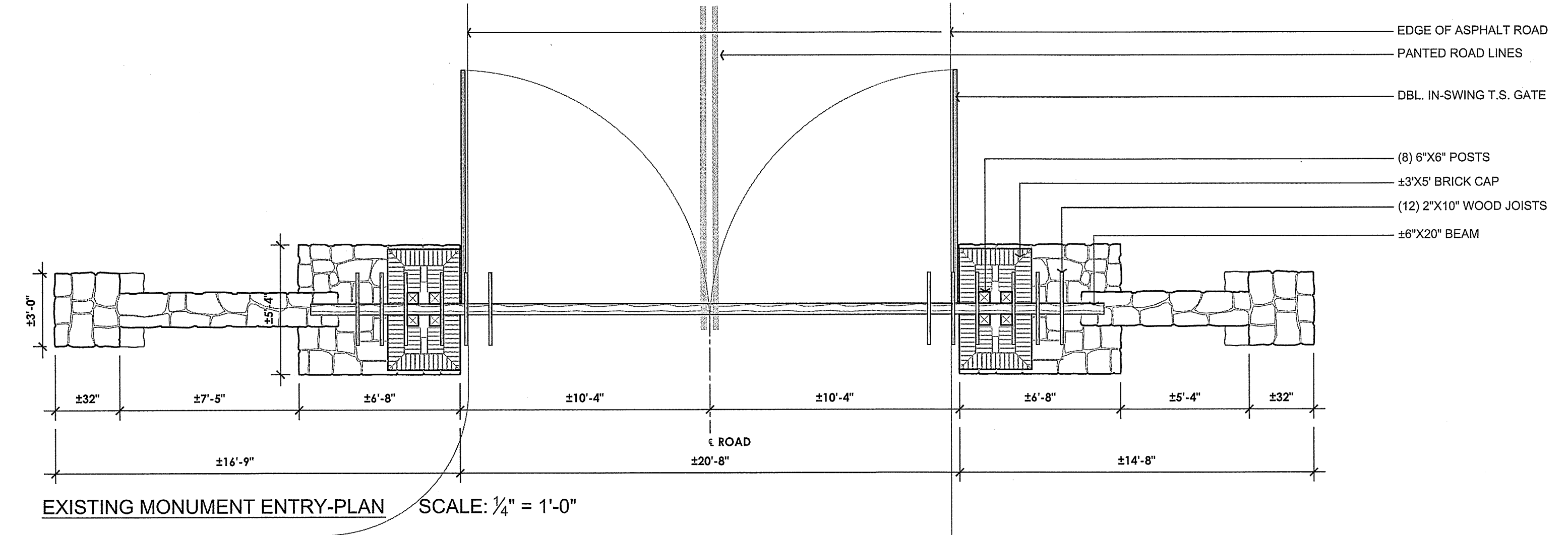
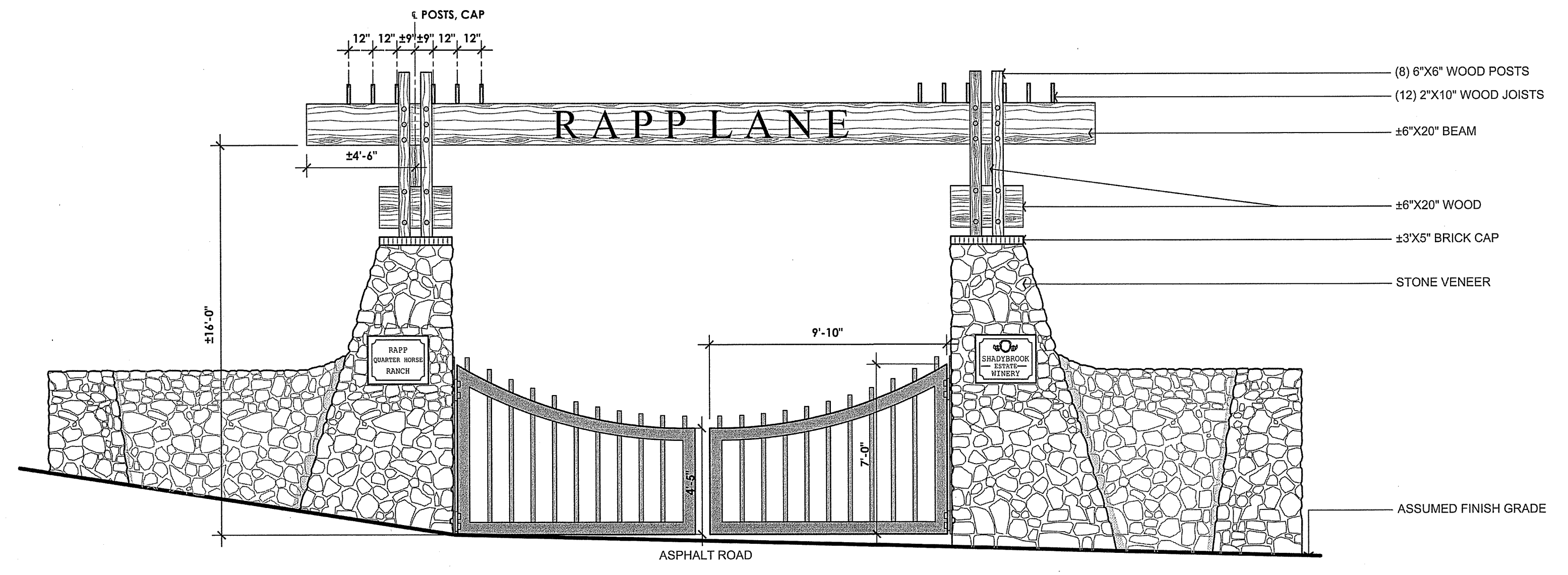
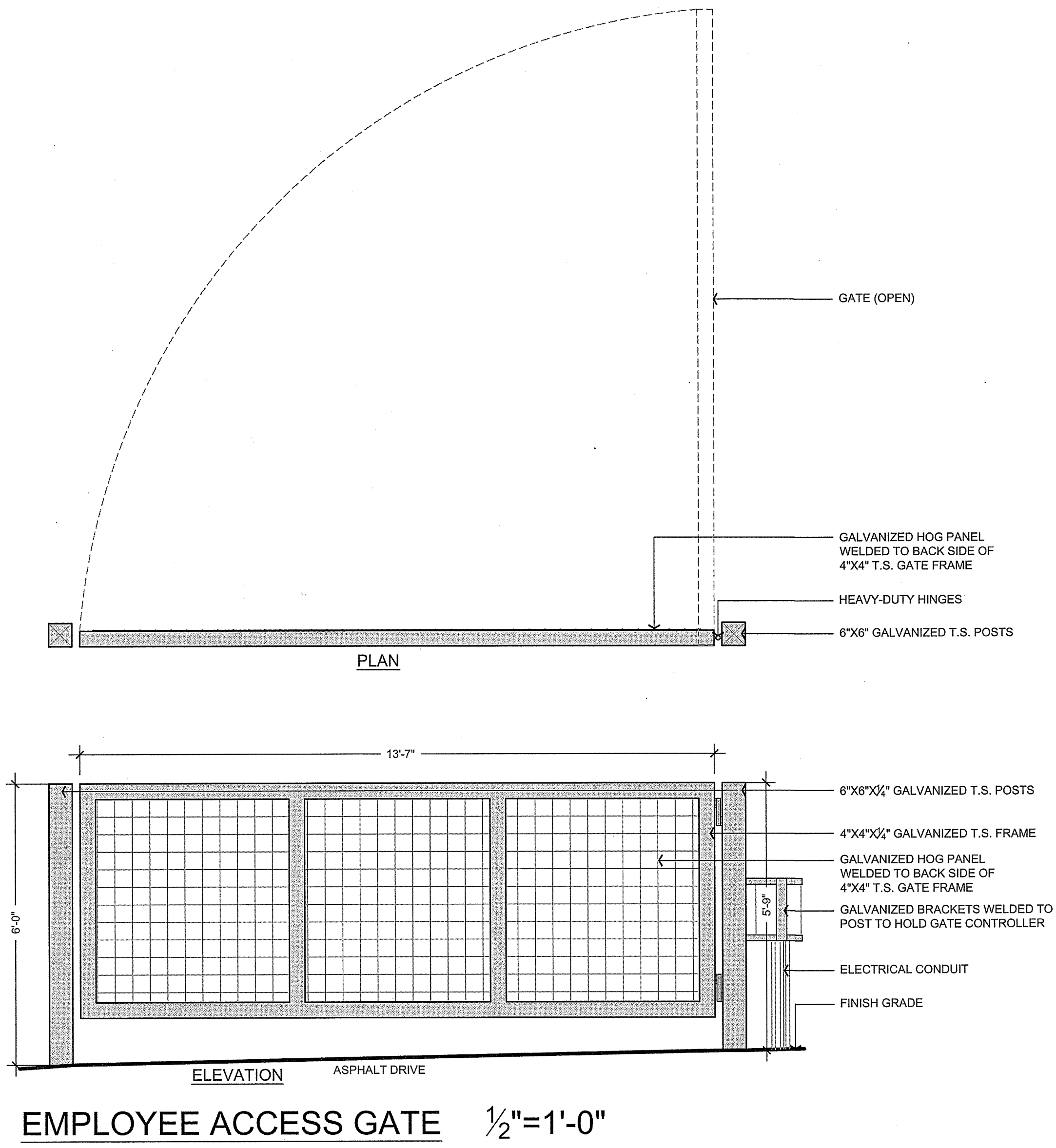
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 NAPA, CALIF. 94559
 OFFICE (707) 252-3301
 + www.rsacivil.com +

**SHADYBROOK ESTATE WINERY
 PARCELS INGRESS & EGRESS**
 CALIFORNIA
 NAPA COUNTY



DATE	NOV. 20, 2014
DRAWN	JFW
DESIGNED	JCK
CHECKED	MSS
JOB NO.	418019.0

SHEET NO.
C2.2
 4 OF 10 SHEETS



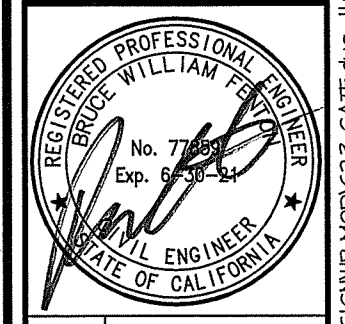
- NOTES**
- GATE ELEVATION AND PLAN PROVIDED BY OWNER.
 - EXISTING 20.6' GATE TO BE MODIFIED TO PROVIDE 22' CLEAR WIDTH AND 15' VERTICAL CLEARANCE. SEE GATE LOCATION ON SHEET C2.2.
 - EXISTING 13.6' GATE TO BE MODIFIED TO PROVIDE 16' CLEAR WIDTH. SEE GATE LOCATION ON SHEET C2.2.

NO.	DATE	REVISIONS	BY	APPD
0	02/21/14	FIRST SUBMITTAL	JFH	
1	04/16/14	RESPONSE TO COMMENTS	JFH	
2	04/16/14	RESPONSE TO COMMENTS	JFH	
3	11/20/14	RESPONSE TO COMMENTS	JFH	

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SHADYBROOK ESTATE WINERY
GATE ELEVATION PLAN
CALIFORNIA
NAPA COUNTY



DATE	NOV. 20, 2014
DRAWN	JFH
DESIGNED	JCK
CHECKED	MSS
JOB NO.	111804.0
SHEET NO.	C2.3

5 OF 10 SHEETS

REFER TO REPORTS PREPARED BY GPRS SUBSURFACE SCANNING SOLUTIONS.

At this site GPR maximum depth was approximately 12".

FINDINGS

We found that the slab was approximately 8" thick in most areas and was reinforced with rebar at an average of 16" on center in the floors and 10"-12" on the walls in most areas. Please keep in mind, differentiating between reinforcing, cables, and conduits is an interpretation based on depths, patterns, and other clues. Our findings are summarized in the table below:

Item	Rebar Size	Spacing	Notes
1	4"x4"	8"	12" on center
2	4"x4"	8"	12" on center
3	4"x4"	8"	12" on center
4	4"x4"	8"	12" on center
5	4"x4"	8"	12" on center
6	4"x4"	8"	16" on center
7	4"x4"	8"	16" on center
8	4"x4"	8"	16" on center
9	4"x4"	18"	12" on center
10	4"x4"	18"	8"-10" on center
11	4"x4"	18"	8"-12" on center
12	4"x4"	8"	16"
13	4"x4"	8"	16"
14	4"x4"	8"	16"
15	4"x4"	8"-Transfers to footing	16"
16	4"x4"	8"-Transfers to footing	16"

Notes for the above table:

- The concrete thickness varied for each area so the maximum and minimum depths found within each area are provided above.
- The average rebar spacing was determined by dividing the width of the area by the number of spaces between bars.

At this site GPR maximum depth was approximately 12".

FINDINGS

We found that the slab was approximately 8" thick in most areas and was reinforced with rebar at an average of 12"-16" on center. Please keep in mind, differentiating between reinforcing, cables, and conduits is an interpretation based on depths, patterns, and other clues. Our findings are summarized in the table below:

Item	Rebar Size	Spacing	Notes
1A	4"x4"	8"-18"	12"-16" on center
2A	4"x4"	8"-18"	12"-16" on center
3A	4"x4"	8"-18"	12"-16" on center
4A	4"x4"	8"-18"	12"-16" on center
5A	4"x4"	8"-18"	12"-16" on center
6A	4"x4"	8"-18"	12"-16" on center
7A	4"x4"	8"-18"	12"-16" on center
8A	4"x4"	8"-18"	12"-16" on center
9A	4"x4"	8"-18"	12"-16" on center

Notes for the above table:

- The concrete thickness varied for each area so the maximum and minimum depths found within each area are provided above.
- The average rebar spacing was determined by dividing the width of the area by the number of spaces between bars.

EXISTING CONCRETE REINFORCEMENT

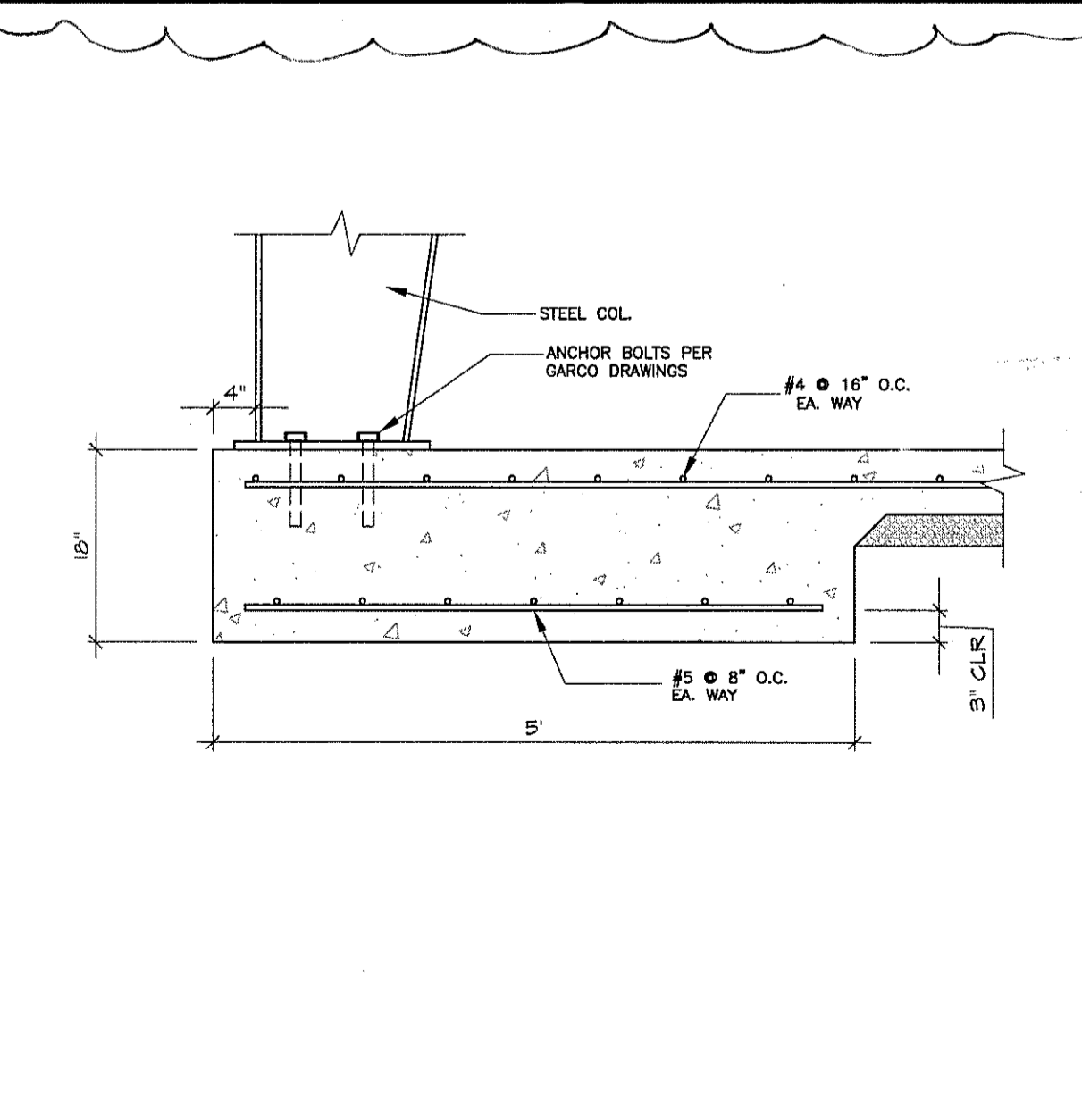
1-hr. Rating
UL Design U305
Drywall System

Studs: Wood 2x4 (nom.)
Stud spacing: 16" o.c.
Gypsum panel: 1/2" SHEETROCK brand Gypsum Panel, FIRECODE Core, or 3/4" SHEETROCK brand Gypsum Panel, Water-Resistant, FIRECODE Core, each side.
Application: Horizontal.
Attachment: 1 1/4" cement-coated nails spaced 7" o.c.
Joints: Exposed and taped and treated.
Insulation: 3" batts THERMAFIBER SAFB (optional).
Perimeter: May be caulked with SHEETROCK Acoustical Sealant.

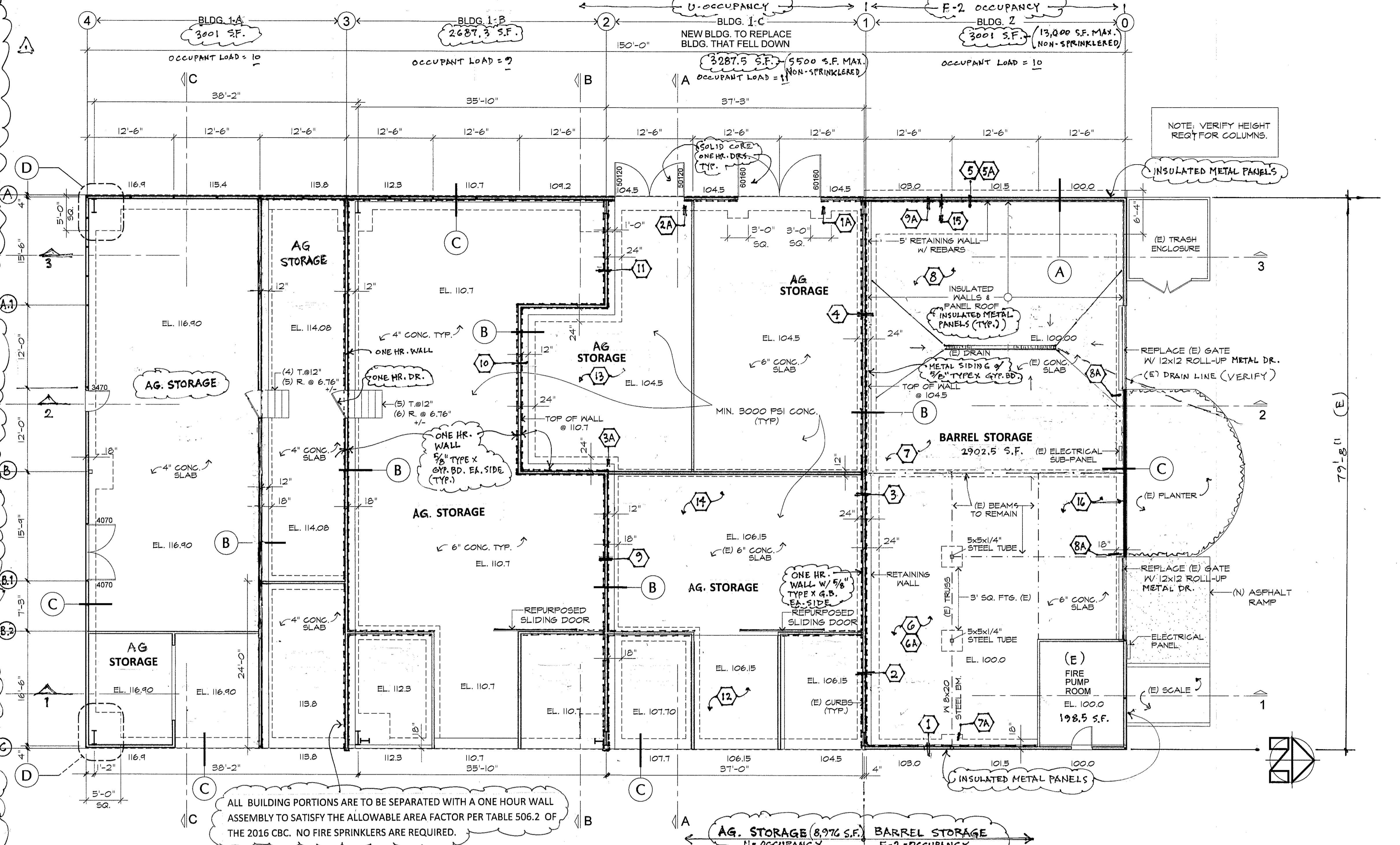
1-hr. Rating
UL Design U465
Drywall System

Studs: Steel 3x4 x 25-ga. (min.)
Stud spacing: 24" o.c.
Gypsum panel: 1/2" SHEETROCK brand Gypsum Panel, FIRECODE Core, or 3/4" SHEETROCK brand Gypsum Panel, Water-Resistant, FIRECODE Core, each side.
Application: Vertical.
Attachment: Type S screws 8" o.c.
Joints: Taped and treated.
Insulation: 3" batts THERMAFIBER SAFB (optional).
Perimeter: May be caulked with SHEETROCK Acoustical Sealant.

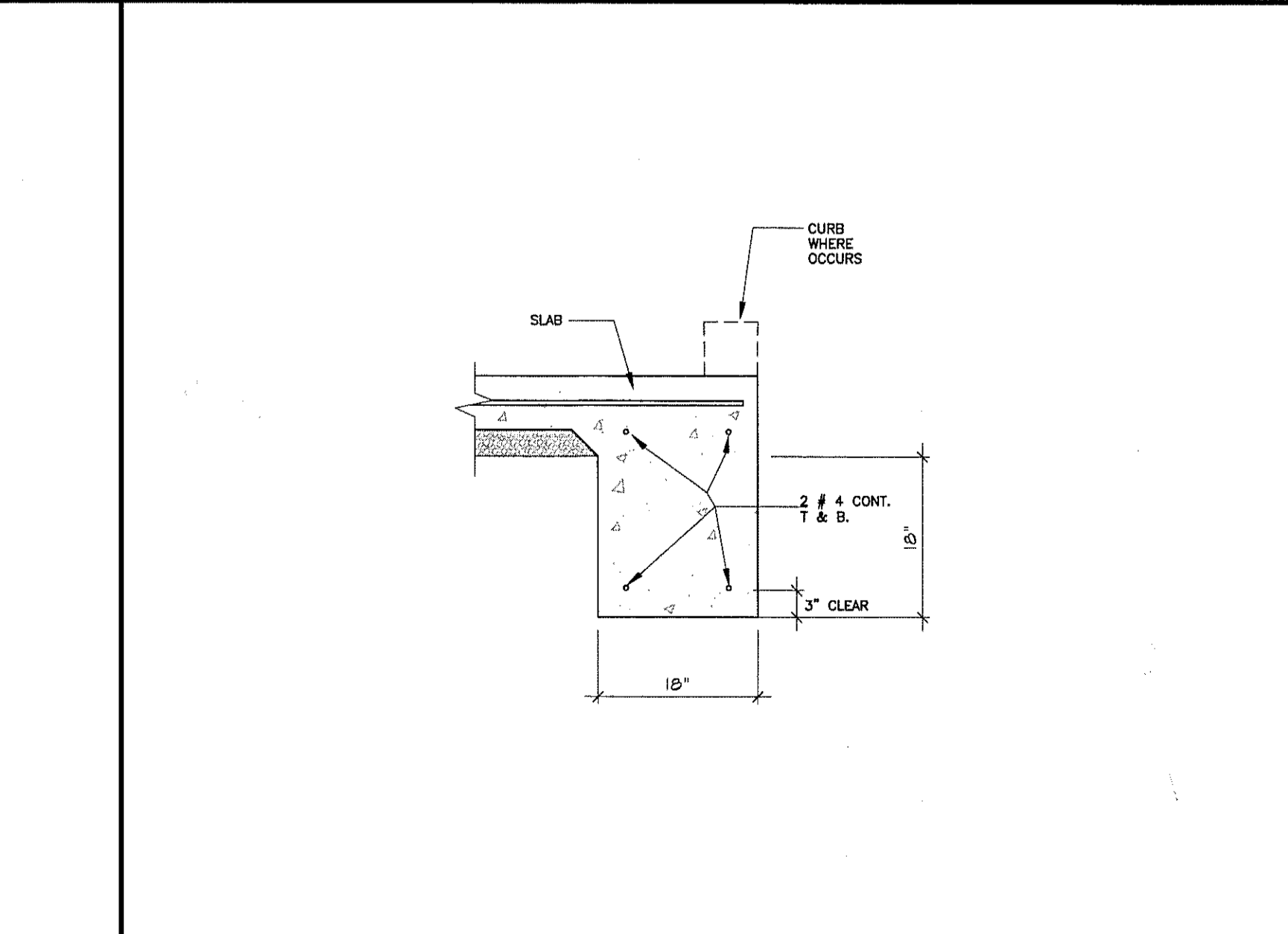
ONE HOUR WALLS



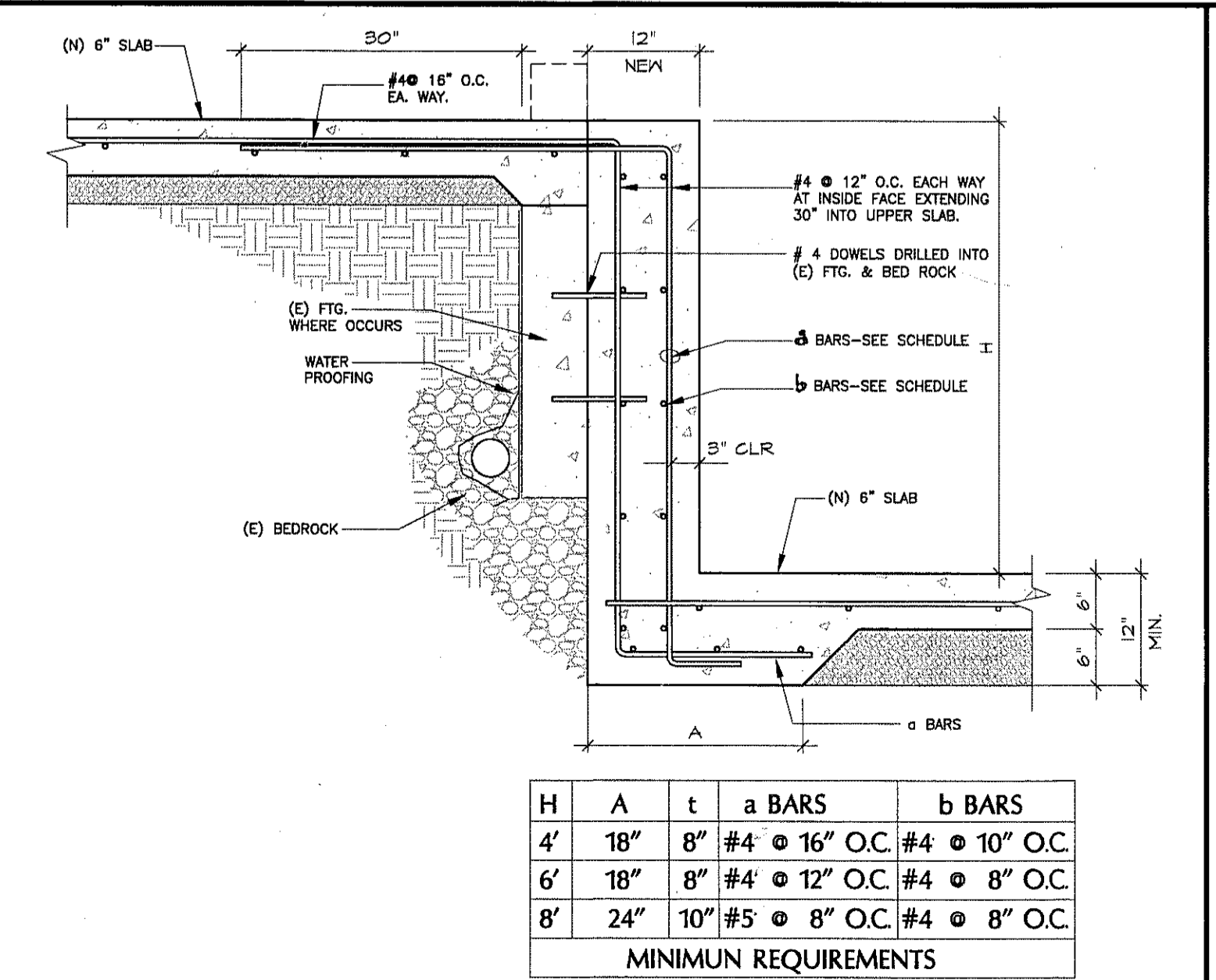
STEEL COL. FOOTING 3/4" = 1'-0" D



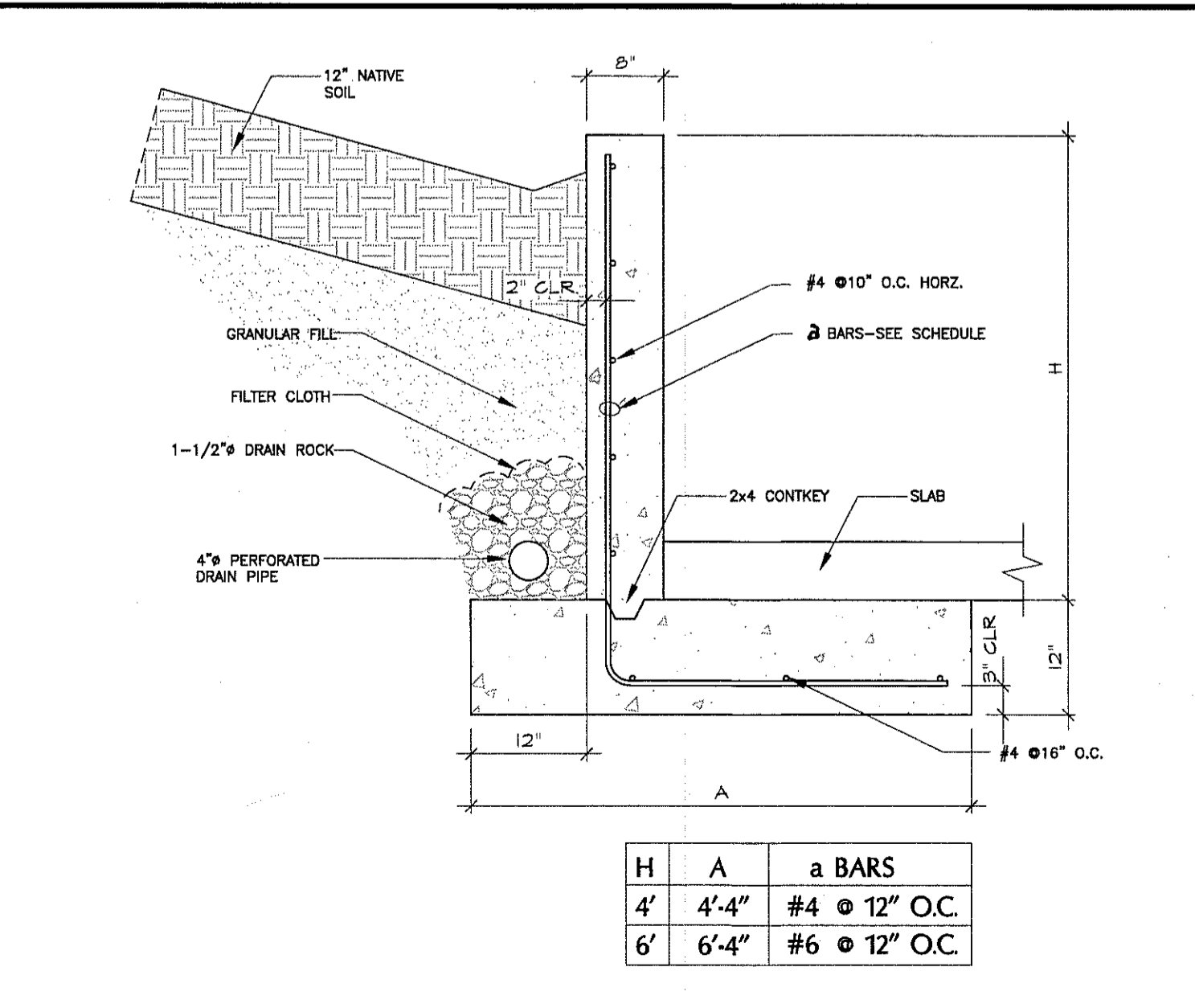
TERRACE BARN PROPOSED FLOOR PLAN & FOUNDATION PLAN 1/8" = 1'-0"



PERIMETER FOUNDATION 3/4" = 1'-0" C



INTERIOR RETAINING WALLS 3/4" = 1'-0" B

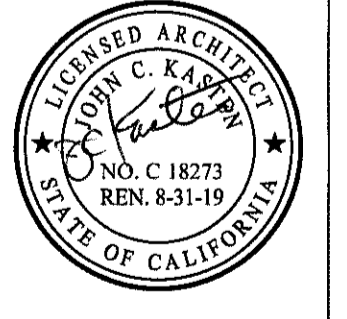


PERIMETER RETAINING WALL 3/4" = 1'-0" A

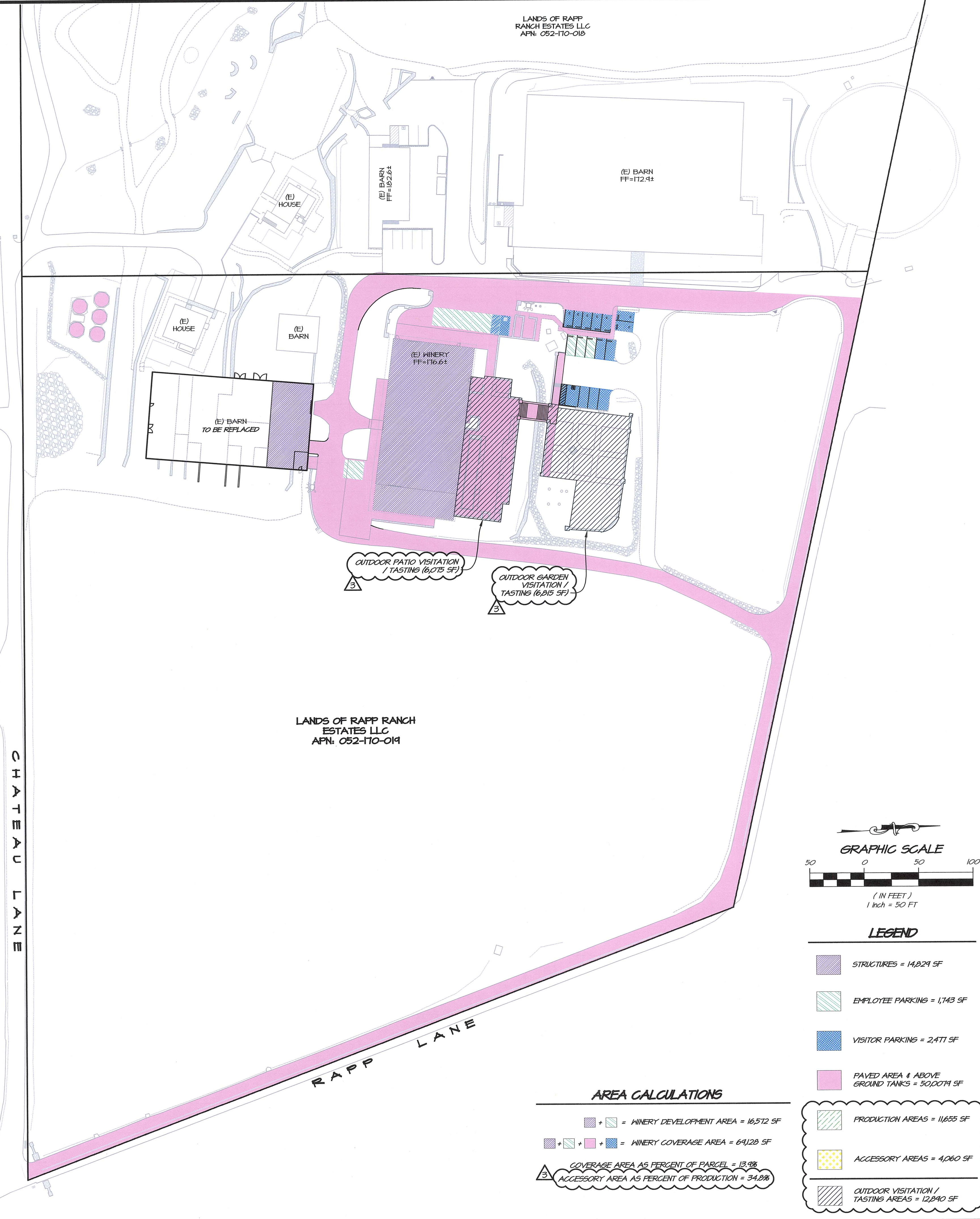
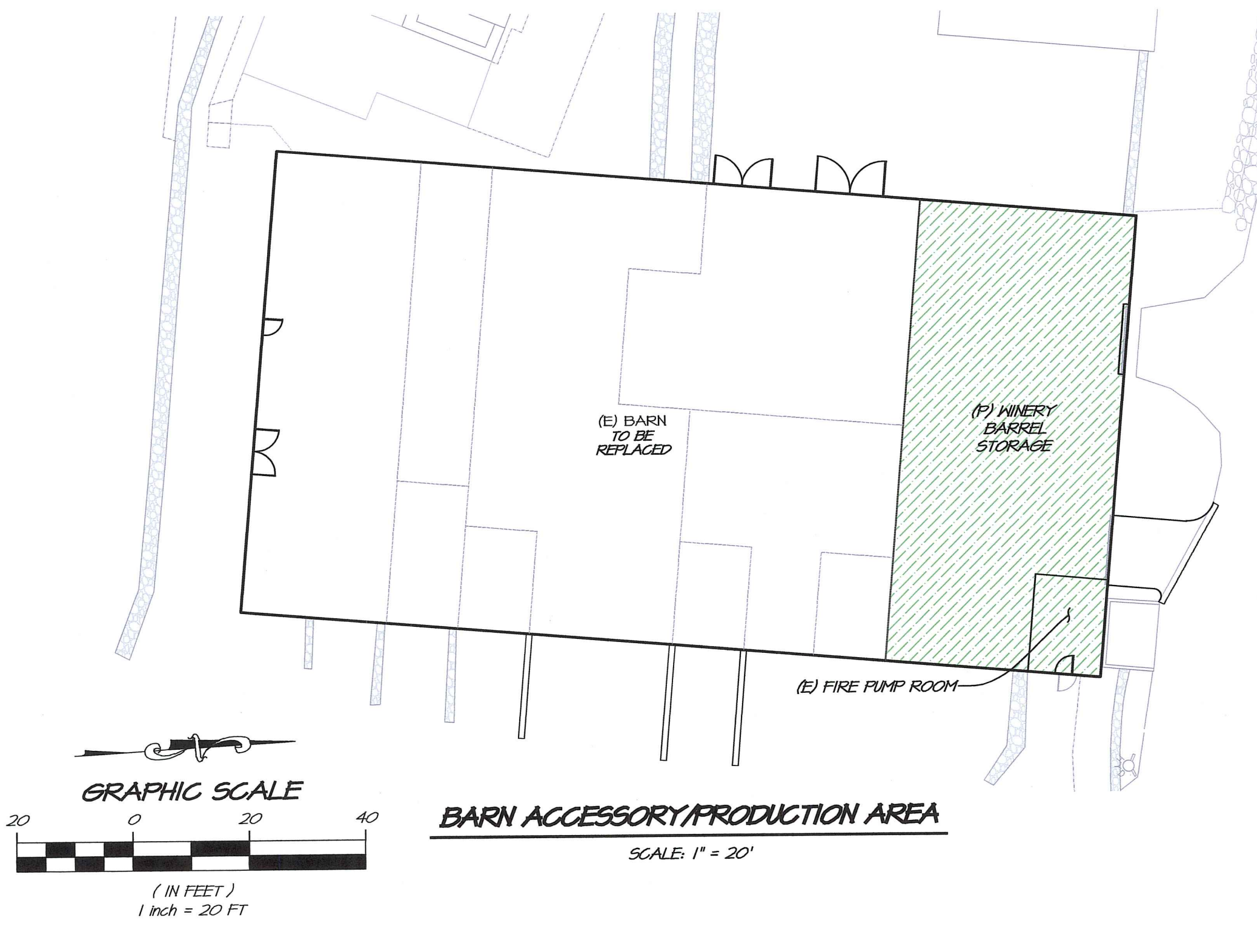
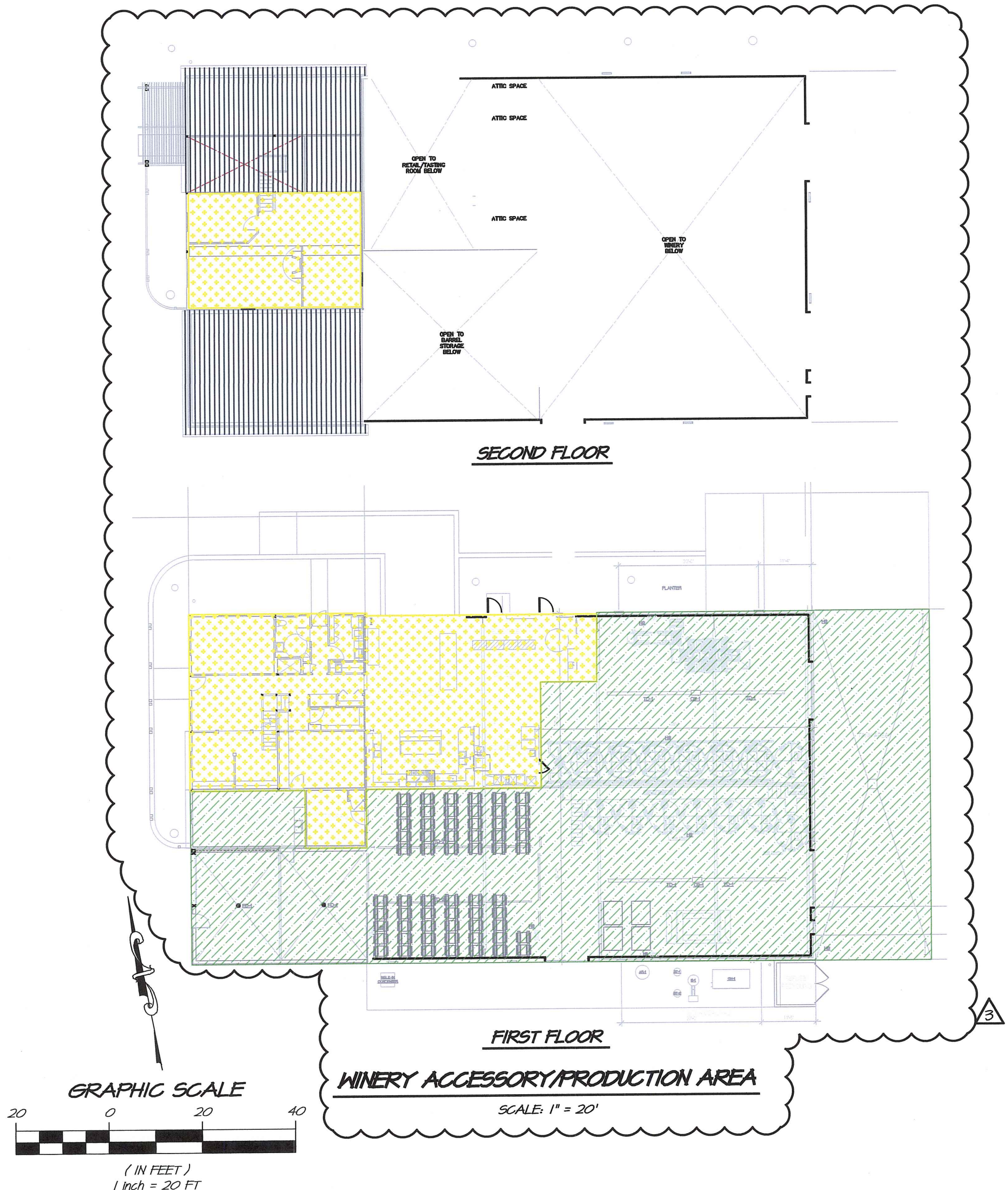
REVISIONS	BY
7/22/19	JK



REPLACEMENT OF EXISTING BARN
100 RAPP LANE NAPA, CA 94558



Sheet Title: **TERRACE BARN FLOOR PLAN**
Date: MAY-17-2017
Scale: AS NOTED
Drawn: Fernando Suarez
Checked: JK
Sheet: A-2



AREA CALCULATIONS

- WINERY DEVELOPMENT AREA = 16,572 SF
- WINERY COVERAGE AREA = 64,120 SF
- COVERAGE AREA AS PERCENT OF PARCEL = 13.9%
- ACCESSORY AREA AS PERCENT OF PRODUCTION = 34.8%
- PRODUCTION AREAS = 11,655 SF
- ACCESSORY AREAS = 4,060 SF
- OUTDOOR VISITATION / TASTING AREAS = 12,890 SF

NO.	DATE	REVISIONS	BY	APPD
0	02/20/14	FIRST SUBMITTAL	JFK	
1	04/04/14	RESPONSE TO COMMENTS	JFK	
2	04/09/14	RESPONSE TO COMMENTS	JFK	
3	11/20/14	RESPONSE TO COMMENTS	JFK	

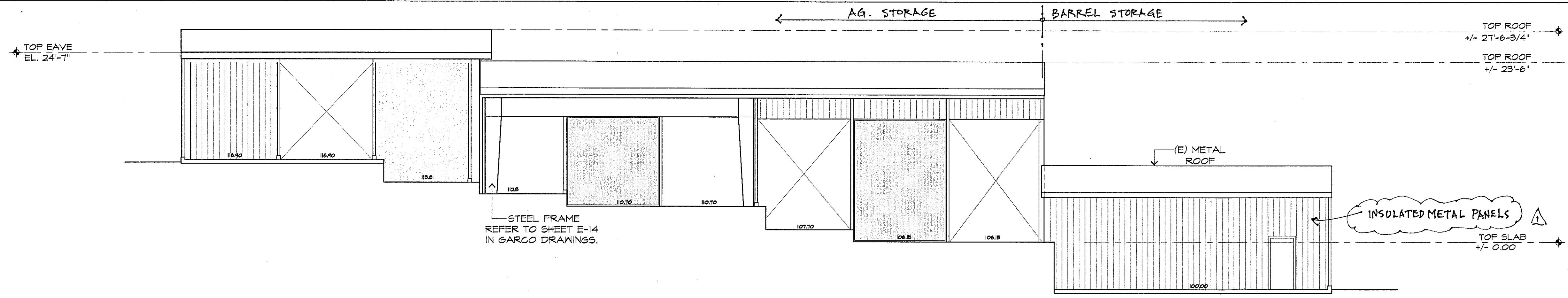
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SHADYBROOK ESTATE WINERY
COVERAGE & ACCESSORY/PRODUCTION RATIO
CALIFORNIA
NAPA COUNTY

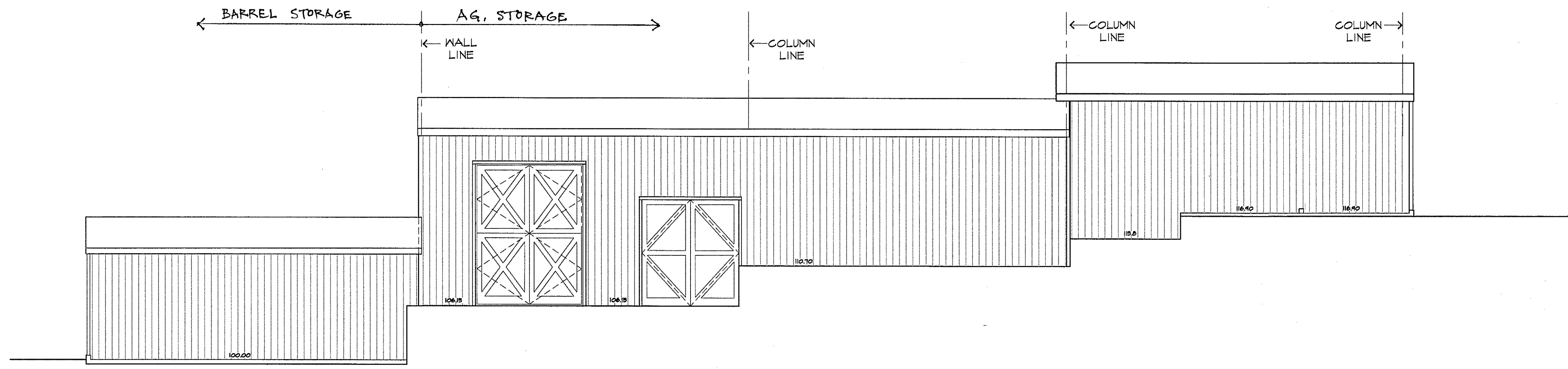
REGISTERED PROFESSIONAL ENGINEER
No. 7785
Exp. 8-30-21
CIVIL ENGINEER
STATE OF CALIFORNIA

DATE	NOV. 20, 2014
DRAWN	JFK
DESIGNED	JFK
CHECKED	MSB
JOB NO.	410010
SHEET NO.	C5.0
8 OF 10 SHEETS	



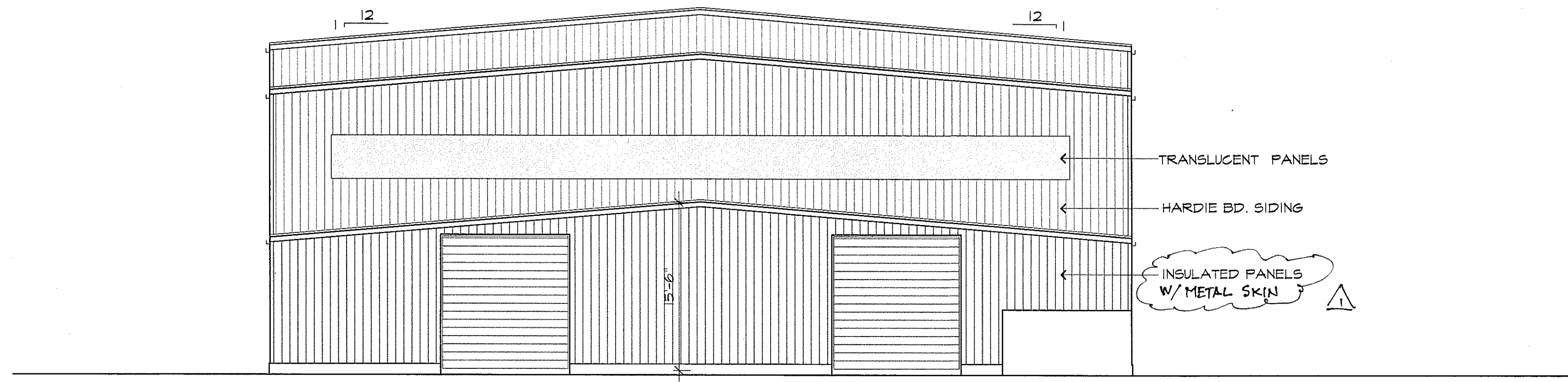
WEST ELEVATION

1/8"=1'-0"



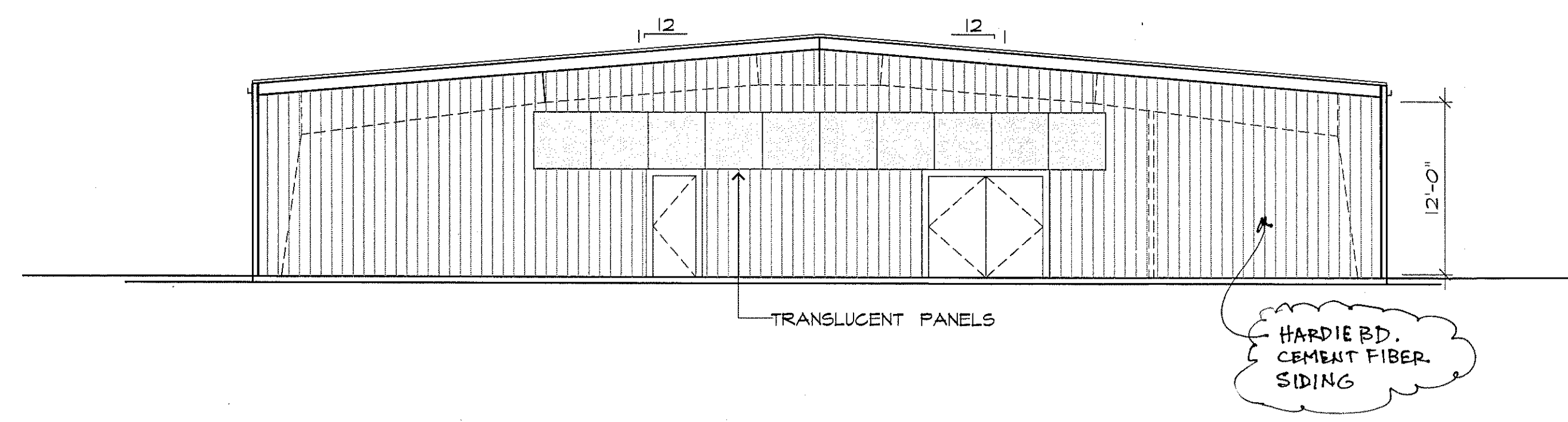
EAST ELEVATION

1/8"=1'-0"



NORTH ELEVATION

1/8"=1'-0"



SOUTH ELEVATION

1/8"=1'-0"

REVISIONS	BY
1	JK

KASTEN DESIGN INC
 (707) 224-9333
 kastendesign.net
 ARCHITECTURE
 PLANNING
 ILLUSTRATION
 575 LINCOLN AVE. STE. 308
 NAPA, CALIFORNIA 94558

REPLACEMENT OF EXISTING BARN
100 RAPP LANE NAPA, CA 94558



Sheet Title: **BARN TERRACE ELEVATIONS**

Date: MAY-17-2017

Scale: AS NOTED

Drawn: Fernando Suarez

Checked: JK

Sheet: **A-3**

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