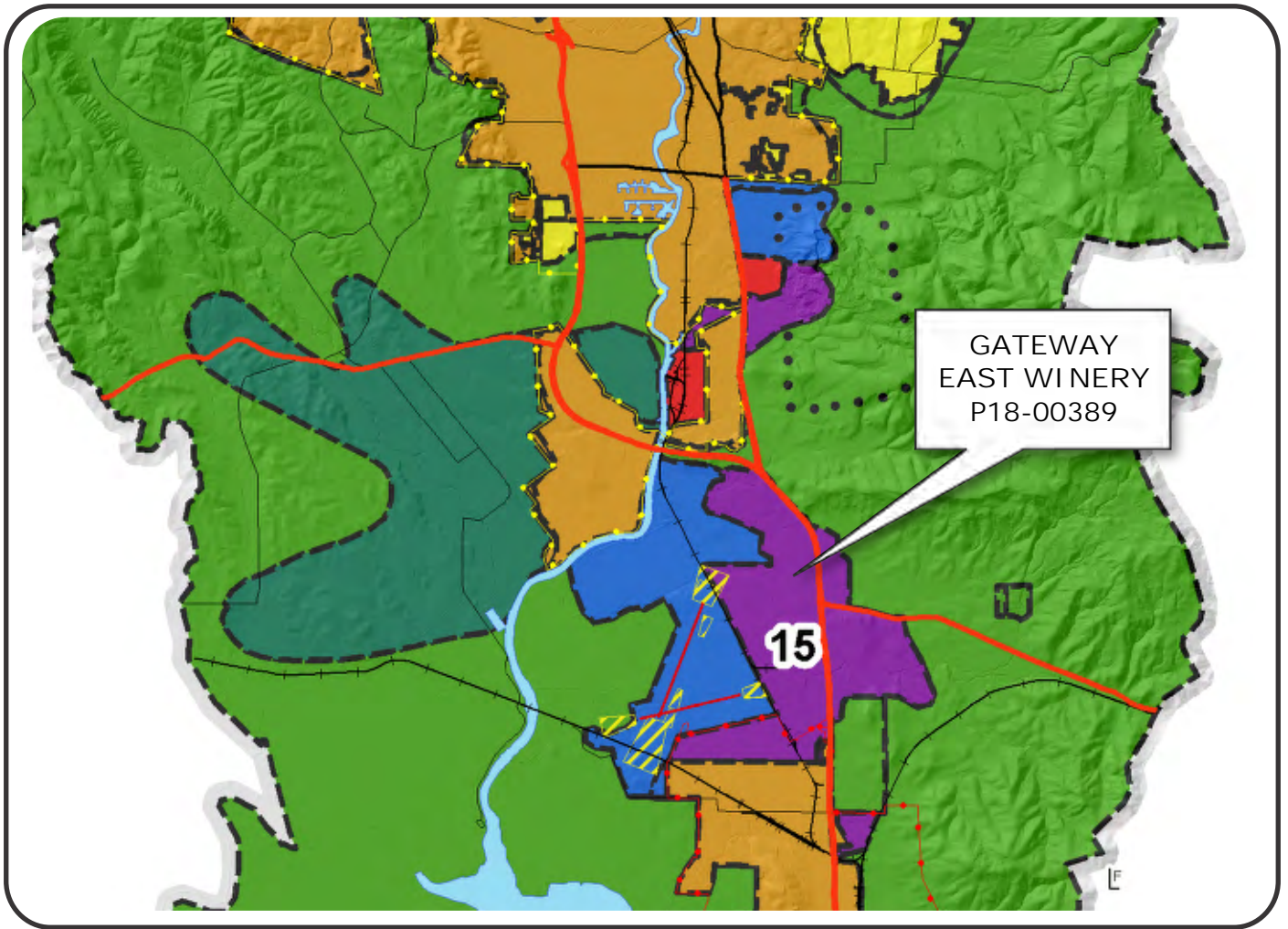


“H”

Graphics

# NAPA COUNTY LAND USE PLAN 2008 - 2030



## LEGEND



### URBANIZED OR NON-AGRICULTURAL

- Study Area
- Cities
- Urban Residential\*
- Rural Residential\*
- Industrial
- Public-Institutional
- Napa Pipe Mixed Use

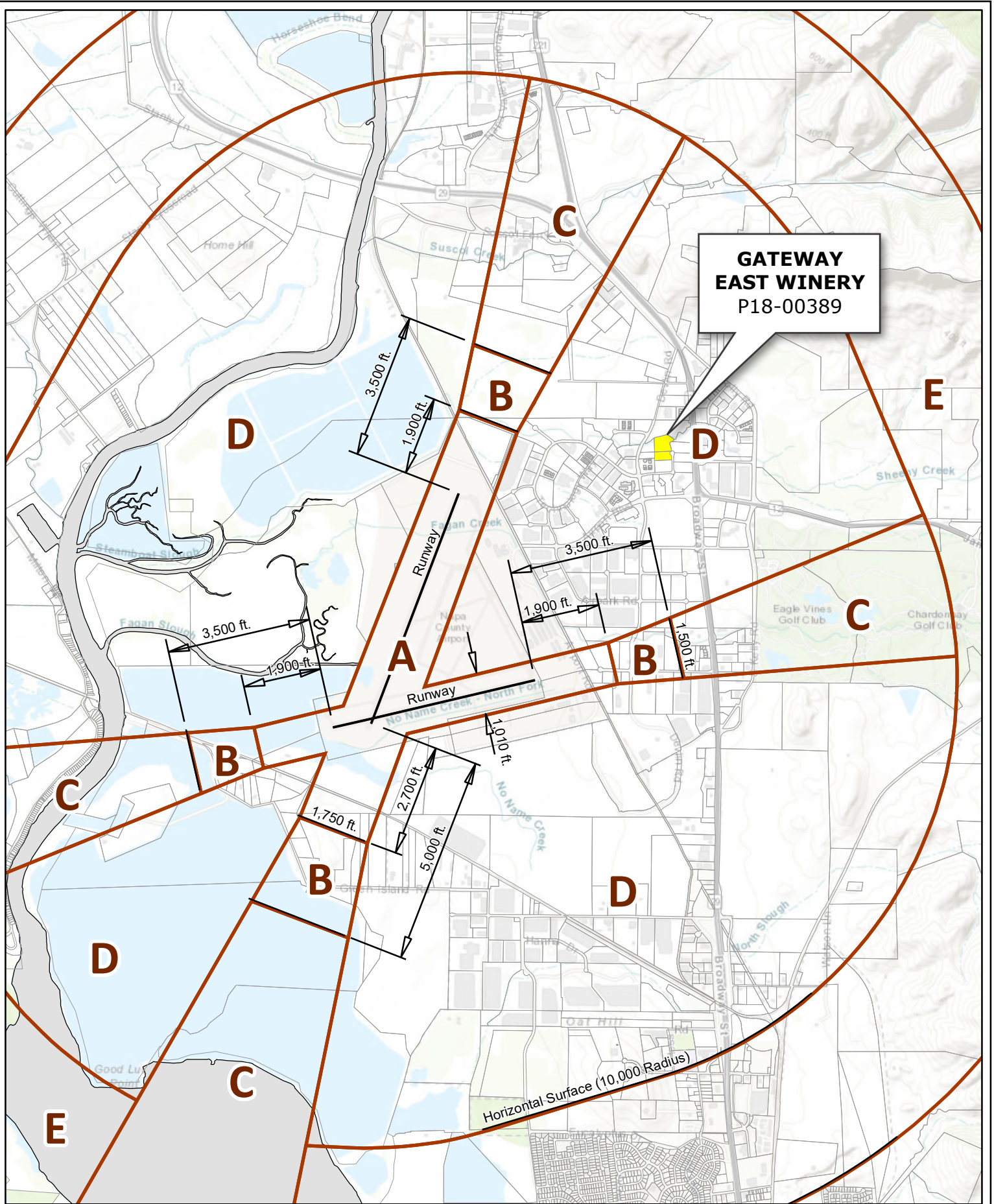
### OPEN SPACE

- Agriculture, Watershed & Open Space
- Agricultural Resource

### TRANSPORTATION

- Mineral Resource
- Limited Access Highway
- Major Road
- American Canyon ULL
- City of Napa RUL
- Landfill - General Plan
- Secondary Road
- Airport
- Railroad
- Airport Clear Zone

\* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations



# Compatibility Plan

## Napa County Airport

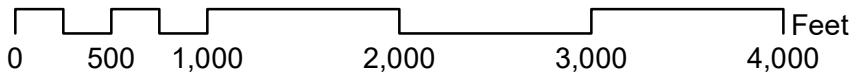
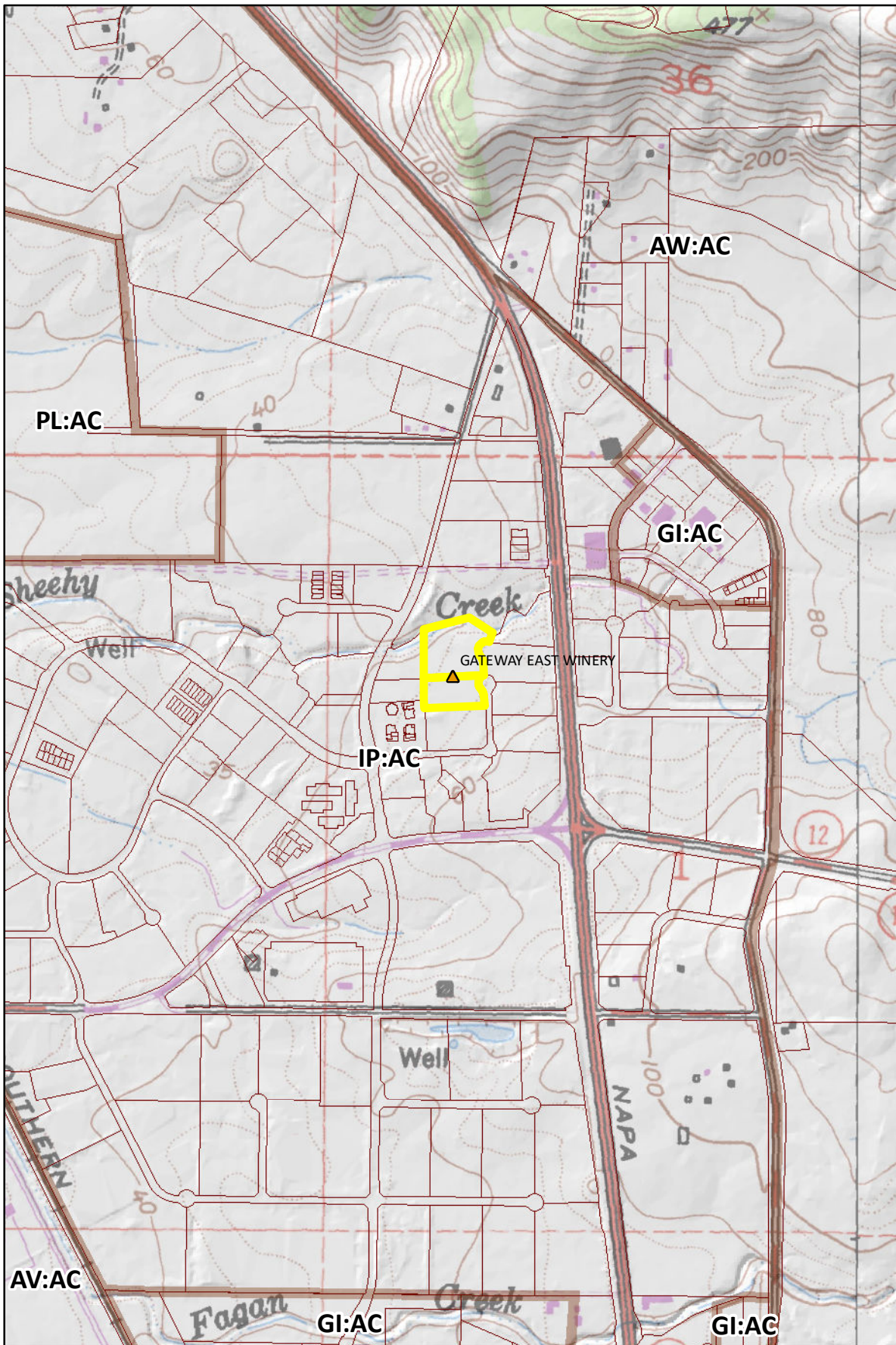
Horizontal Datum: NAD 83,  
CA State Plane Coordinates,  
Zone II, feet



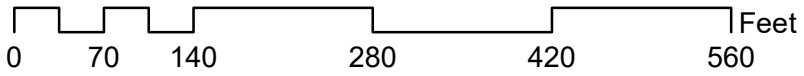
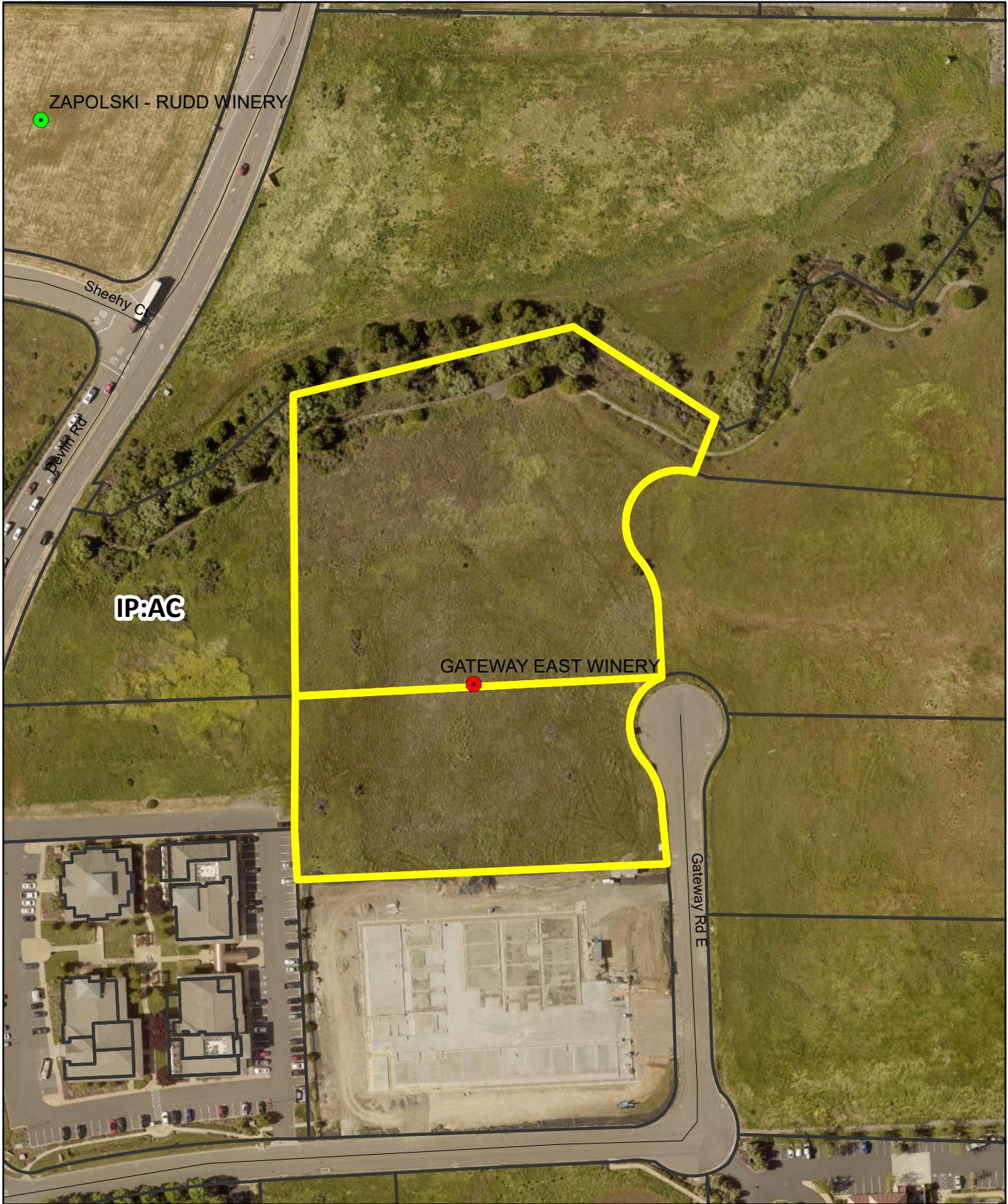
Disclaimer: This map was prepared for informational purposes only. No liability is assumed for the accuracy of the data delineated herein.



0 750 1,500 3,000'  
Napa County P.B.E.S. - 10/2019



- Legend**
- Wineries**
- Status
- Producing
  - Producing, w/ pending major mod
  - Approved, not producing
  - Pending
  - Unknown
  - Zoning
  - Parcels



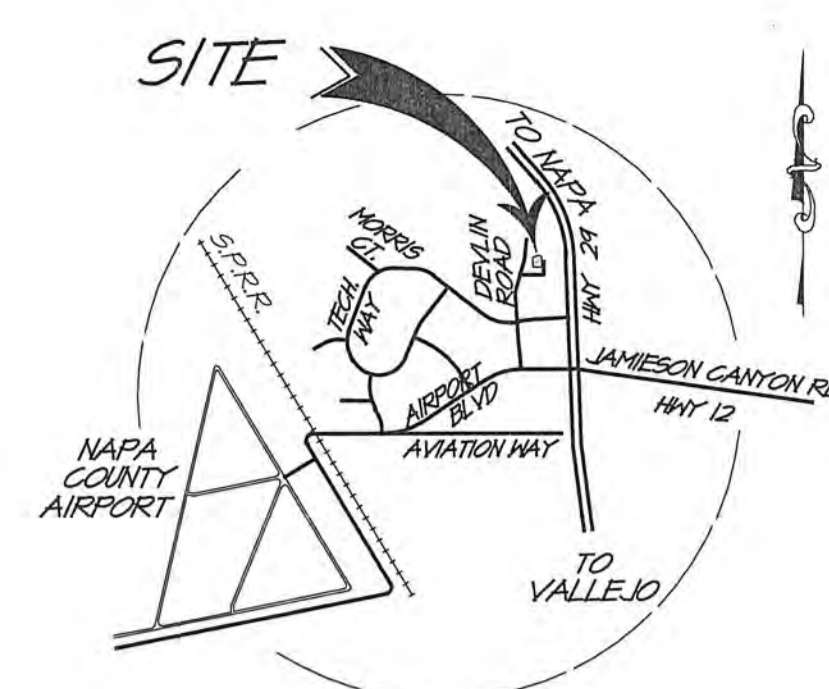
Aerials: Napa County, 2018

...

# GATEWAY EAST WINERY

## USE PERMIT PLANS

NAPA COUNTY CALIFORNIA



### PROJECT INFORMATION

**DEVELOPER:** SCANNELL PROPERTIES, LLC  
3468 MT. DIABLO BLVD., SUITE B115  
LAFAYETTE, CA 94549

**CONTACT:** TODD BERRYHILL  
todd@scannellproperties.com

**SITE ADDRESS:** GATEWAY ROAD EAST  
NAPA, CA

**CIVIL ENGINEER:** RSA+  
1515 FOURTH STREET  
NAPA, CA 94554

**CONTACT:** HUGH LINN  
TEL: (707) 252-3301

**ARCHITECT:** TERESA GOODWIN / HPA, INC.  
3833 4TH STREET, SUITE 101  
OAKLAND, CA 94607  
TEL: (949) 413-6896

**(E) PARCEL NO & AREA:** 057-210-039 & 057-210-040 (3.52 ACRES)  
(TWO PARCEL NUMBERS ARE FOR ASSESSORS PURPOSES ONLY)

**EXISTING USE:** VACANT

**PROPOSED USE:** COMMERCIAL / INDUSTRIAL

**NAPA COUNTY ZONING:** IP-AC  
INDUSTRIAL PARK WITH AIRPORT COMPATIBILITY OVERLAY

**AIRPORT AREA SPECIFIC PLAN LAND USE:** BUSINESS/INDUSTRIAL PARK

**WATER:** CITY OF AMERICAN CANYON

**RECLAIMED WATER:** NAPA SANITATION DISTRICT

**SEWER:** NAPA SANITATION DISTRICT

**GAS & ELECTRIC:** PG&E

**TELEPHONE:** AT&T

**BOUNDARY NOTE**  
THE BOUNDARY SHOWN HEREIN IS BASED ON THE MAP ENTITLED FINAL MAP OF NAPA VALLEY GATEWAY, UNIT THREE, PHASE 5 IN BOOK 21 OF MAPS AT PAGES 52 - 56.

**TOPOGRAPHIC MAP**  
TOPOGRAPHIC MAP PREPARED BY RSA+,  
DATE, JUNE, 2017

**SHEET INDEX**

UP1.0	COVER SHEET
UP2.0	GRADING PLAN AND SECTIONS
UP3.0	UTILITY PLAN

**SYMBOL LEGEND**

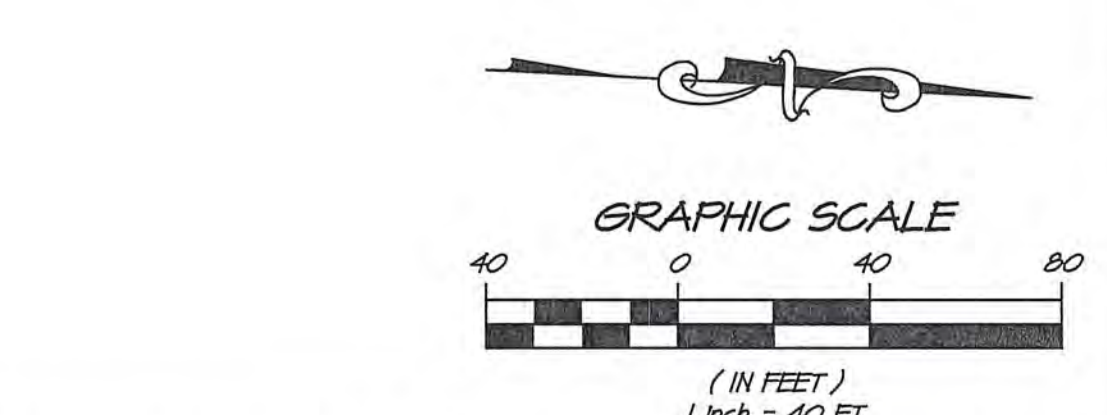
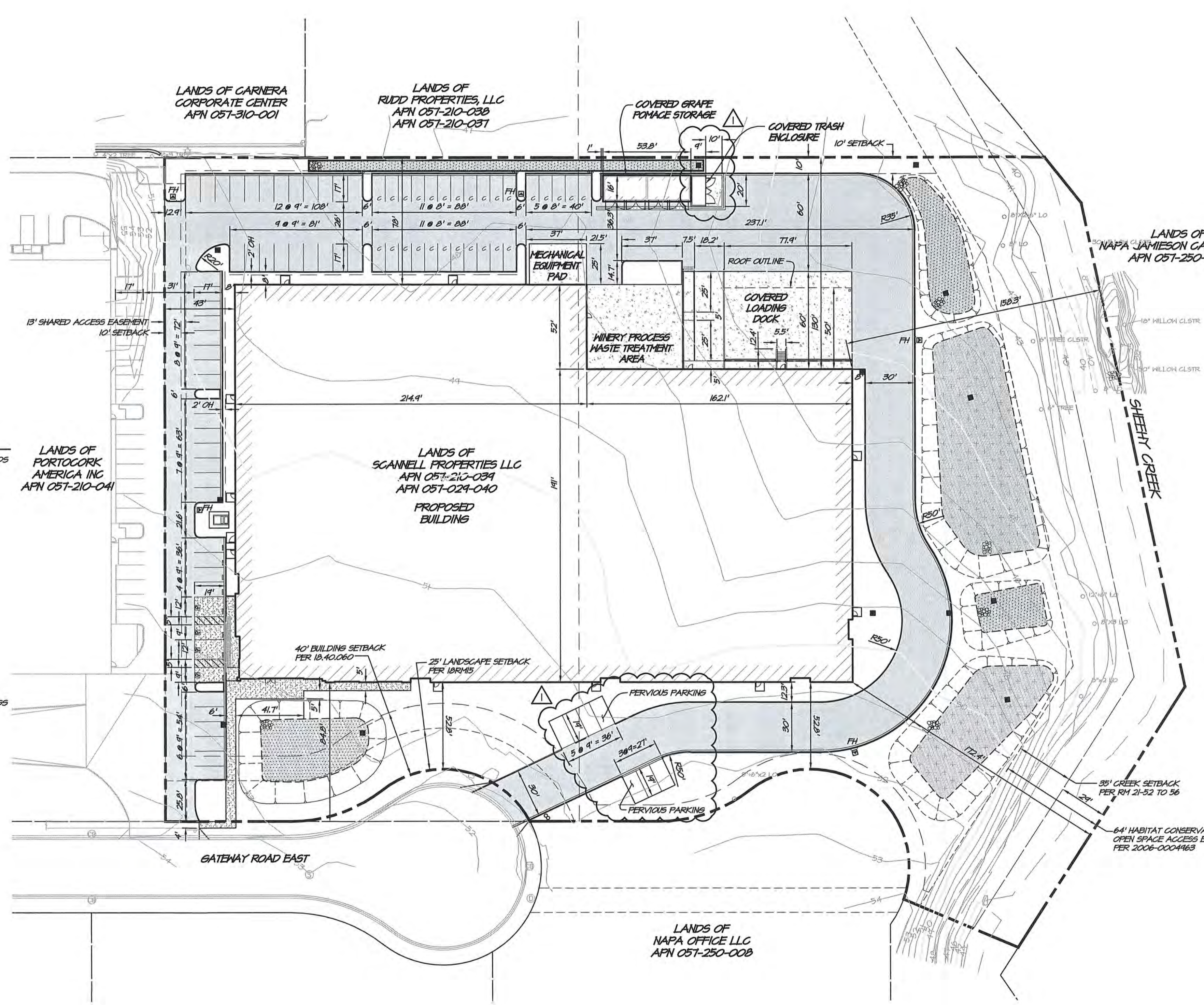
EXISTING SYMBOL	DESCRIPTION	PROPOSED SYMBOL	DESCRIPTION
	CATCH BASIN		DRAIN INLET
	CURB AND GUTTER		CURB & GUTTER
	DROP INLET		6\"/>
	EXISTING CONTOUR		FIRE HYDRANT ASSEMBLY
	WIRE FENCE		GRADE BREAK
	WOOD FENCE		SANITARY SEWER CLEAN OUT
	POWER POLE W/ GUY WIRE		STORM DRAIN CLEANOUT
	ROADSIDE SIGN		SANITARY SEWER LINE
	SANITARY SEWER LINE		PROPERTY LINE
	SANITARY SEWER MANHOLE		EASEMENT
	SPOT ELEVATION		SLOPE (2:1, UNLESS OTHERWISE SHOWN)
	STORM DRAIN LINE		STORM DRAIN LINE
	STREET CENTERLINE		STREET CENTERLINE
	STREET CENTERLINE		FIRE WATER LINE
	WATER LINE		DOMESTIC WATER LINE
	WATER METER		WATER METER
	OVERHEAD ELECTRIC		WATER TEE
	STREET LIGHT		WATER VALVE
	TREE TO BE REMOVED		VALLEY GUTTER

**ABBREVIATIONS**

AB	AGGREGATE BASE	NCSS	NAPA COUNTY ROADS & STREET STANDARDS
AC	ASPHALT CONCRETE	NSD	NAPA SANITATION DISTRICT
APN	ASSESSORS PARCEL NUMBER	PA	PLANTING AREA
BR	BIO-RETENTION	POC	POINT OF CONNECTION
BW	BACK OF WALK	PKGS	PARKING
CB	CATCH BASIN	PL	PROPERTY LINE
CH	CHANNEL	ROM	RIGHT OF WAY
CO	CLEANOUT	RFD	REDUCED PRESSURE DEVICE
C	COMPACT PARKING	RHL	RAIN WATER LEADER
CL	CENTER LINE	RH	RETAINING WALL
CONC	CONCRETE	S	SOUTH
CV	CHECK VALVE	SAD	SEE ARCHITECTURAL DRAWINGS
DDCV	DOUBLE DETECTOR CHECK VALVE	SD	STORM DRAIN
DI	DROP INLET	SE	SLOPE EQUALS
DH	DOMESTIC WATER	SDE	STORM DRAIN EASEMENT
E	EAST	SDMH	STORM DRAIN MANHOLE
EX(IST)	EXISTING	SF	SQUARE FOOT
EP	EDGE OF PAVEMENT	SFR	SPRINKLER
FDG	FIRE DEPT CONNECTION	SLAD	SEE LANDSCAPE ARCHITECTURAL DRAWINGS
FF	FINISH FLOOR ELEVATION	SL	SEWER LATERAL
FG	FINISH GRADE	SS	SANITARY SEWER
FH	FIRE HYDRANT	SSD	SEE STRUCTURAL DRAWINGS
FL	FLOW LINE	SSCO	SANITARY SEWER CLEANOUT
FS	FIRE SERVICE LATERAL	SSE	SANITARY SEWER EASEMENT
FH	FIRE WATER	SSMH	SANITARY SEWER MANHOLE
GB	GRADE BREAK	STD	STANDARD
HP	HIGH POINT	SNK	SIDEWALK
INV	INVERT	TC	TOP OF CURB
IRR	IRRIGATION	TW	TOP OF WALL
JB	JUNCTION BOX	TYP	TYPICAL
JP	JOINT POLE	U.O.N.	UNLESS OTHERWISE NOTED
LG	LIP OF GUTTER	V.I.F.	VERIFY IN FIELD
MH	MANHOLE	W	WEST
IN	NEW	WM	WATER METER
N	NORTH	WV	WATER VALVE

**HATCH LEGEND**

	(P) BUILDING
	ASPHALT CONCRETE SURFACED ROAD DESIGNED AND MAINTAINED TO SUPPORT LOAD EQUIVALENT TO H20-44
	12\"/>
	6\"/>
	BIORETENTION AREA
	MITIGATED WETLANDS PER BIOLOGICAL REPORT



1515 FOURTH STREET  
NAPA, CALIF. 94559  
OFFICE (707) 252-3301  
WWW.RSACIVIL.COM

REVISIONS

NO.	DATE	REVISIONS
1	1/15/2019	REVISED PER PLAN CHECK COMMENTS

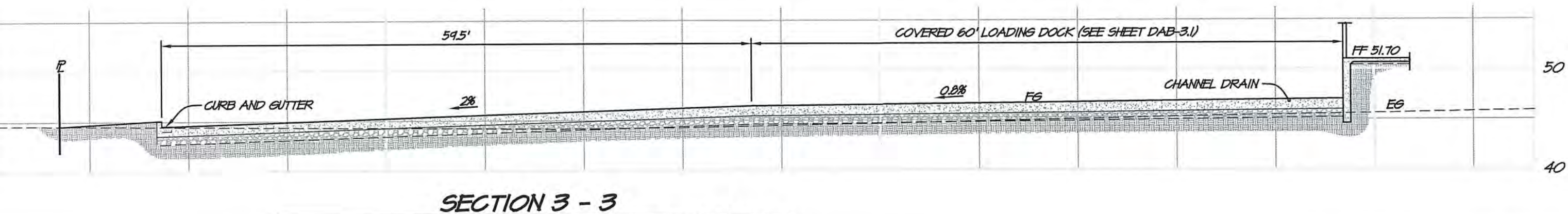
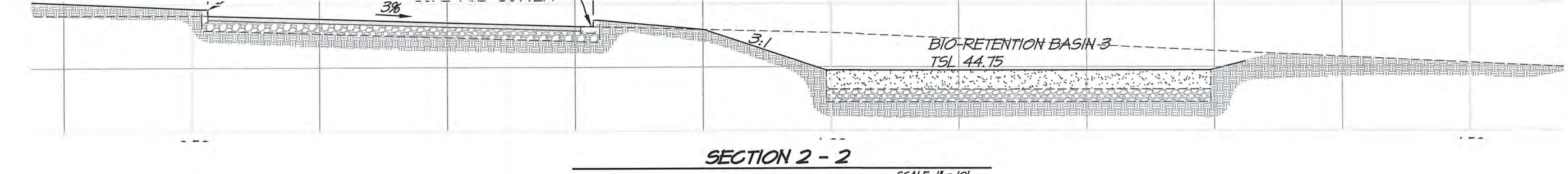
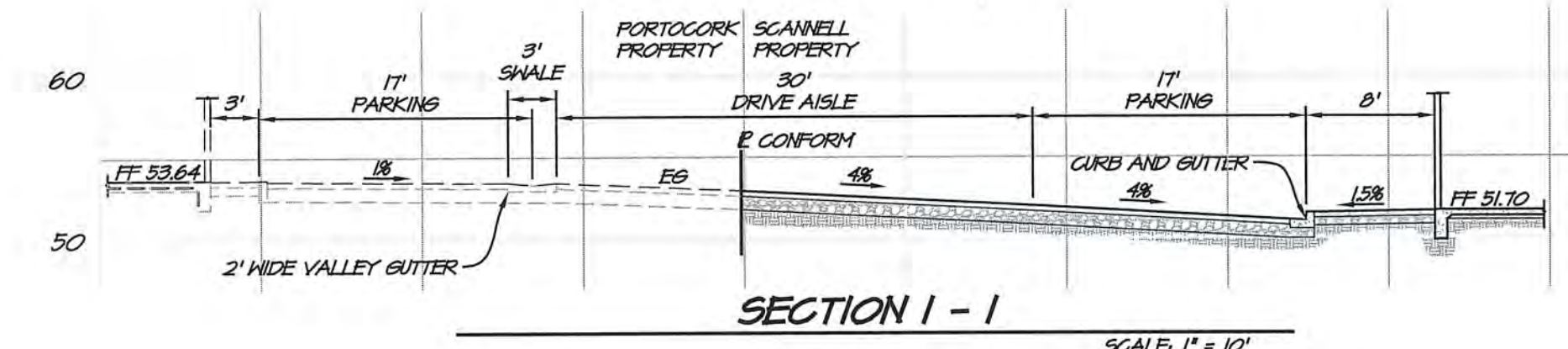
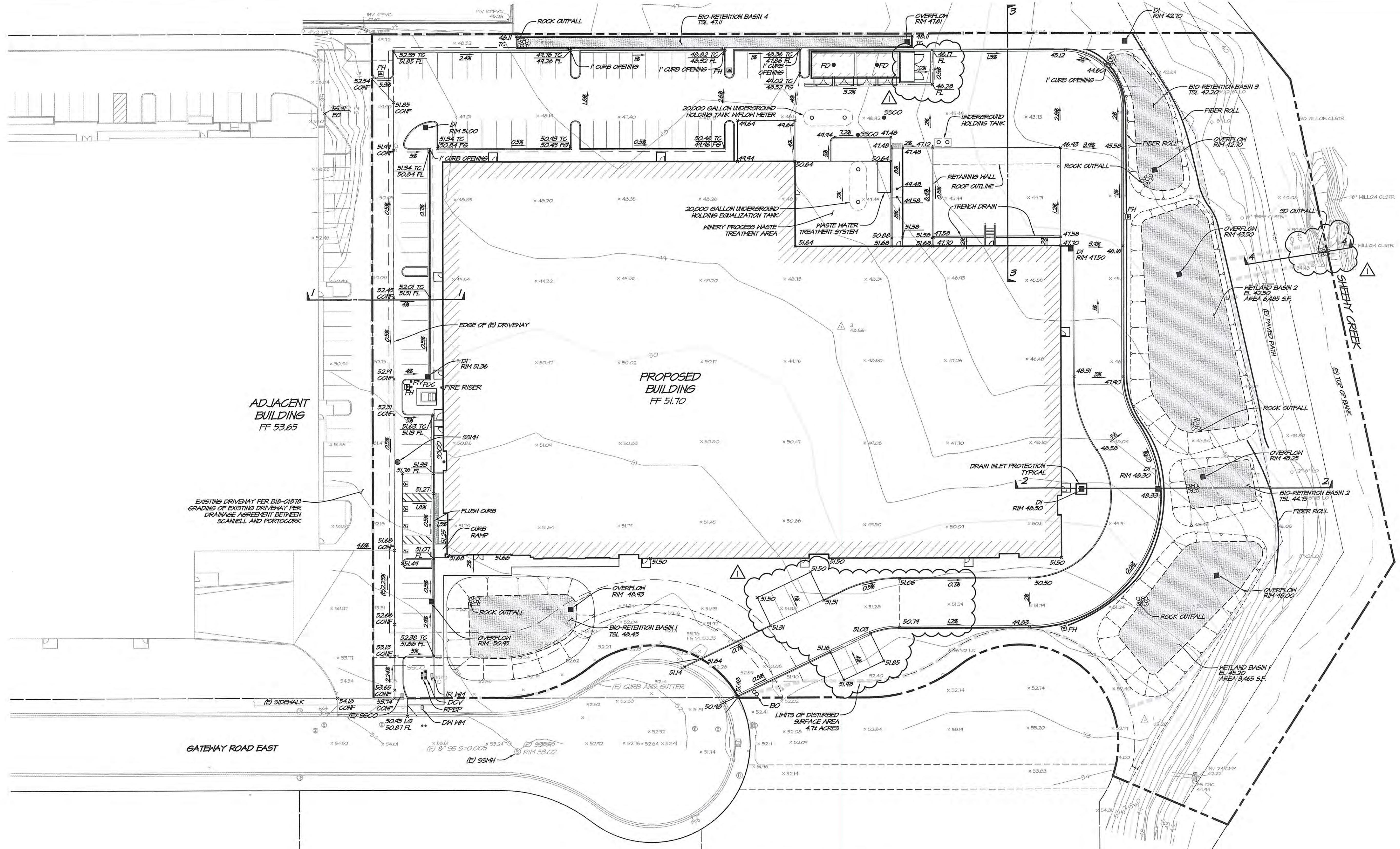
DCB  
EGB  
BY APPD

GATEWAY EAST WINERY  
COVER SHEET

NAPA COUNTY  
CALIFORNIA

REGISTERED PROFESSIONAL ENGINEER  
No. 52509  
Exp. 12-31-20  
CIVIL ENGINEER  
STATE OF CALIFORNIA

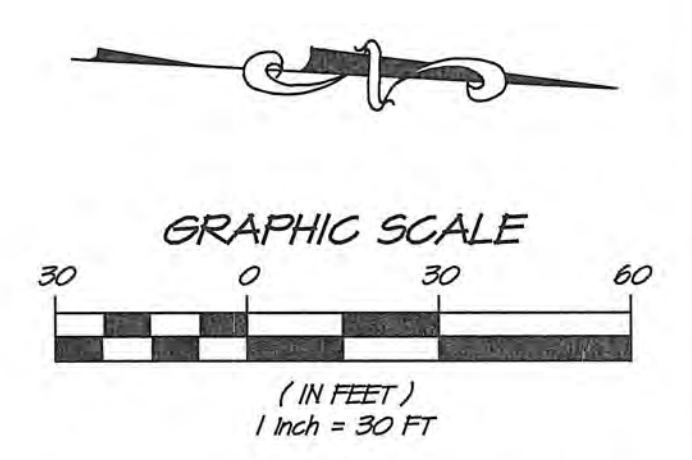
DATE: JAN 31, 2019  
DRAWN: DCB  
DESIGNED: EMB/DJB  
CHECKED: HAL  
JOB NO.: 4117082.0  
SHEET NO.: UP1.0  
1 OF 3 SHEETS



NOTE:  
DISTURBED AREA TOTALS 4.7 ACRES.  
A STORMWATER POLLUTION PREVENTION  
PLAN IS REQUIRED. CONTRACTOR TO  
INSTALL ALL BMP'S AS REQUIRED.

EARTHWORK ESTIMATES	
CUT	6,200 C.Y.
FILL	6,200 C.Y.
NET	0

NOTE:  
EARTHWORK DOES NOT INCLUDE  
EXCAVATION FOR FOOTINGS.



NO.	DATE	REVISIONS	BY	APPD.
1	1/31/2019	REVISED PER PLAN CHECK COMMENTS	DCB	ECB

**RSA+**  
RSA+ CONSULTING CIVIL ENGINEERS + SURVEYORS + | 1950 |

1515 FOURTH STREET  
NAPA, CALIF. 94559  
OFFICE (707) 252-3301  
+ WWW.RSACIVIL.COM

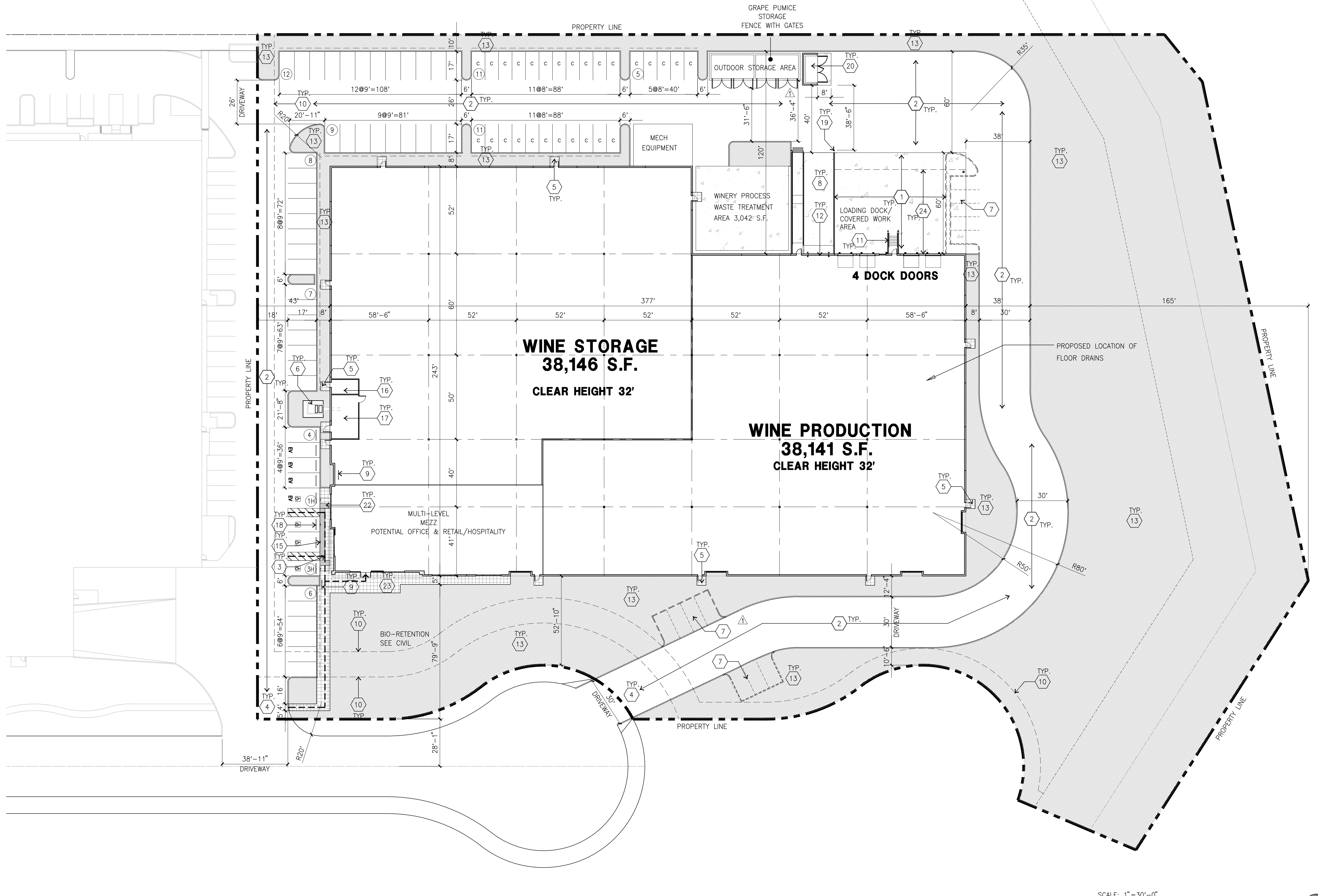
**GATEWAY EAST WINERY**  
**GRADING PLAN AND SECTIONS**  
NAPA COUNTY CALIFORNIA



DATE	JAN 31, 2019
DRAWN	DCB
DESIGNED	EM/DB
CHECKED	HAL
JOB NO.	117062.0
SHEET NO.	<b>UP2.0</b>
2 OF 3 SHEETS	







**OVERALL SITE PLAN**  
 scale: 1"=30'-0"  
 SCALE: 1"=30'-0"  
 0 30' 60' 90'  
 TRUE NORTH

**SITE PLAN KEYNOTES**

- |  |  |
|--|--|
| 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.  | 10 SETBACK MINIMUMS                              |
| 2 ASPHALT CONCRETE (AC) PAVING   | 11 EXTERIOR STAIR.                               |
| 3 ACCESSIBLE PATH OF TRAVEL  | 12 12' X 14' DRIVE-IN DOOR                       |
| 4 DRIVEWAY APRONS SEE CIVIL.   | 13 LANDSCAPE.                                    |
| 5 5'-6"X5'-6"X4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. SLOPE TO BE 1/4" : 12" MAX. | 14 NOT USED                                      |
| 6 APPROXIMATE LOCATION OF TRANSFORMER.   | 15 ACCESSIBLE PARKING STALL SIGN                 |
| 7 DEFERRED PARKING SPACE.  | 16 FIRE RISER ROOM                               |
| 8 CONCRETE RAMP WITH CONCRETE GAIRD WALL.  | 17 ELECTRICAL ROOM                               |
| 9 BIKE RACK TYPICAL.   | 18 PRE-CAST CONC. WHEEL STOP.                    |
|  | 19 CONC. FILLED GUARD POST *6 DIA. U.N.O. 48" H. |
|  | 20 TRASH ENCLOSURE                               |
|  | 21 NOT USED                                      |
|  | 22 TRUNCATED DOME                                |
|  | 23 LANDSCAPE AT ENTRANCE                         |
|  | 24 COVERED CRUSH PAD                             |

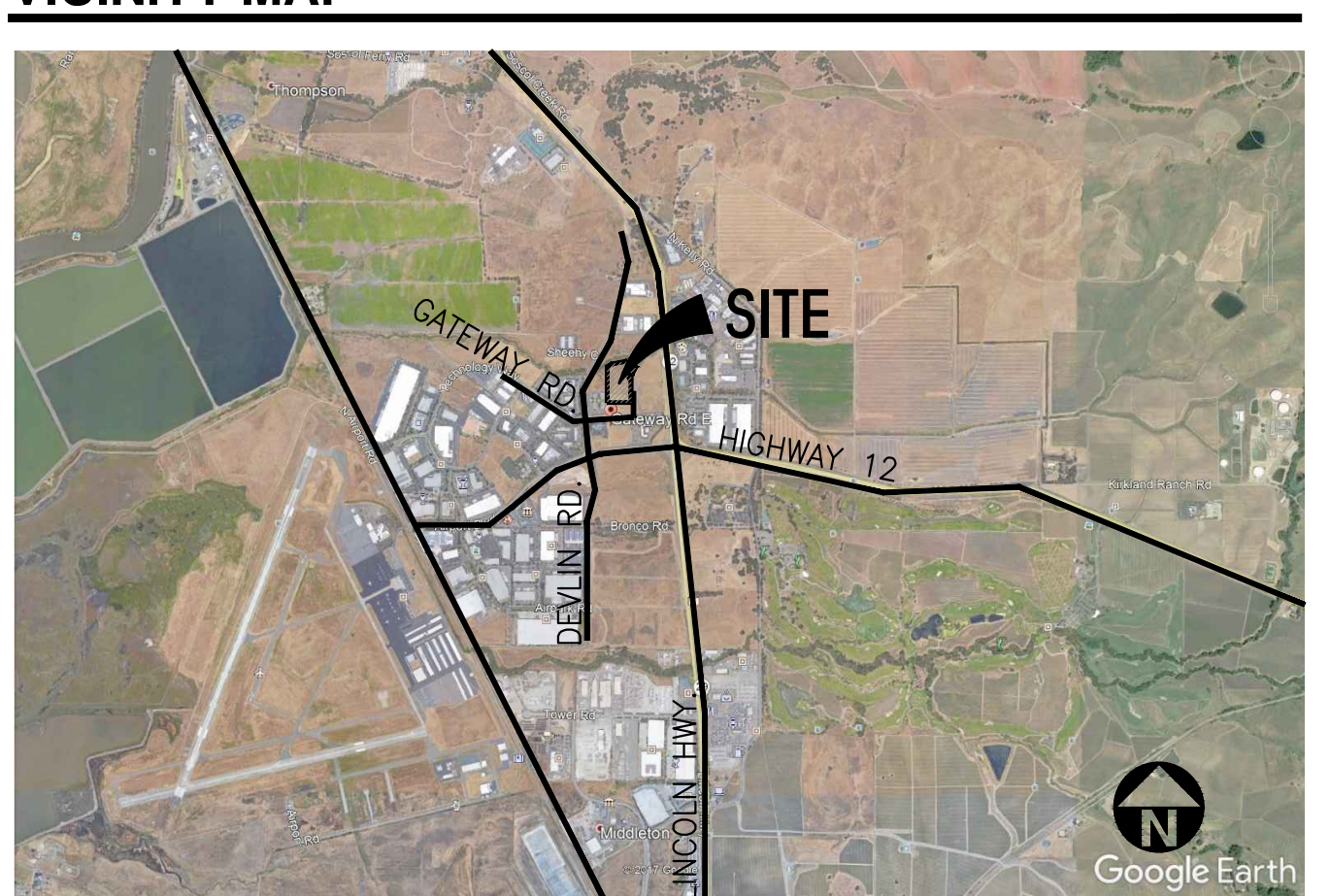
**SITE PLAN GENERAL NOTES**

- THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY TBD
- IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORING FOR ALL SITE CONCRETE
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
- THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM AS REQUIRED
- SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
- ALL BUILDINGS OF 5,000 S.F. IN SIZE WILL HAVE FIRE SPRINKLERS INSTALLED.
- PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
- PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
- KNOX BOXES WILL BE INSTALLED FOR ALL LEASE SPACES.
- ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
- NOT USED.
- ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
- LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
- TRASH ENCLOSURE SHALL HAVE (6") HIGH CURB AT WALLS AND 4" DIA. BOLLARDS AT GATE CONC. PAD AT ENCLOSURE SHALL HAVE LEVEL SURFACE AND PAVING MATERIAL SHALL CONSIST OF A FIVE-INCH AGGREGATE BASE MATERIAL AND SIX INCHES OF PORTLAND CEMENT PAVING OR EQUIVALENT MATERIALS APPROVED BY THE DIRECTOR.

**SITE PLAN GENERAL NOTES**

- CONCRETE PAVING - SEE "C" DRWS. FOR THICKNESS
- STANDARD PARKING STALL W/ 2' OVERHANG
- COMPACT PARKING STALL W/ 2' OVERHANG
- ACCESSIBLE PARKING STALL, W/ 5' ACCESSIBLE AISLE
- VAN ACCESSIBLE PARKING STALL, W/ 5' ACCESSIBLE AISLE
- PATH OF TRAVEL
- LANDSCAPE AREAS
- HARDSCAPE

**VICINITY MAP**



**PROJECT INFORMATION**

<b>Project Address</b> BLDG.: GATEWAY ROAD EAST, NAPA, CA	<b>Code</b> CBC 2016 CPC 2016 CMC 2016 CEC 2016
<b>Owner/Applicant</b> SCANNELL 3569 MT. DIABLO BLVD. SUITE 220 LAFAYETTE, CA 94549 PHONE: (510) 899-8302 CONTACT: TODD BERRYHILL	<b>Assessors Parcel Number</b> APN: 057-210-039 APN: 057-210-040
<b>Applicant's Representative</b> HPA, INC. 383 4TH STREET, SUITE 101, OAKLAND, CA 94607 CONTACT: JESSICA SHEEHAN PHONE: (949) 862-2106	<b>Code Analysis</b> CONCRETE TILT-UP BUILDING BUILDING OCCUPANCY: III-B CONSTRUCTION TYPE: S-1/B OFFICE & WAREHOUSE AUTOMATIC FIRE SPRINKLER YES ACTUAL PARAPET 37' TO 42' ACTUAL AREA (BASIC) 87,600 S.F. ACTUAL AREA INCREASED W/ 60' MIN. YARD ON 4 SIDES UNLIMITED, PER SECTION 507.3
<b>Zoning</b> INDUSTRIAL PARK (IP)	<b>Parcel Map Legal Description</b> TO BE DETERMINED
<b>Legal Description</b> SEE CIVIL DRAWINGS FOR THE LEGAL DESCRIPTION	

**PROJECT DATA**

<b>SITE AREA</b>		
In s.f.	240,359 s.f.	
In acres	5.52 ac	
<b>BUILDING AREA</b>		
office	5,606 s.f.	
Mezz office	3,500 s.f.	
Retail/Hospitality	1,000 s.f.	
Warehouse	76,287 s.f.	
<b>Total</b>	<b>86,393 s.f.</b>	
<b>COVERAGE</b>	<b>34.5%</b>	
<b>AUTO PARKING REQUIRED</b>		
Office: 1/250 s.f.	36 stalls	
Retail: 1/250 s.f.	4 stalls	
Whse: 1st 20K @ 1/1,000 s.f.	20 stalls	
above 20K @ 1/2,000 s.f.	28 stalls	
<b>TOTAL</b>	<b>89 stalls</b>	
<b>AUTO PARKING PROVIDED</b>		
Standard (9' x 17') + 2' overhang	46 stalls	
Compact (8' x 17') + 2' overhang	27 stalls	
Van (Future Ev van)	1 stalls	
Accessible	2 stalls	
Van Accessible	1 stalls	
<b>TOTAL</b>	<b>77 stalls</b>	
Deferred Parking	12 stalls	

<b>ZONING ORDINANCE FOR CITY</b>	
Δ Zoning Designation -IP: AC, Industrial Park, Airport Compatibility Combination District	
<b>MAXIMUM BUILDING HEIGHT ALLOWED</b>	
Height - 35' variance required	
<b>MAXIMUM COVERAGE</b>	
Coverage -35%+per 18.40.040	
<b>LANDSCAPE REQUIREMENT</b>	
Percentage - 20%	
<b>SETBACKS</b>	
<b>Building</b>	<b>Landscape</b>
Front - 40'	25'
Side - 10'	10'
Rear - 10'	10'



hpa, inc.  
 383 4th street, suite 101  
 oakland, ca  
 94607  
 tel: 949-862-2113  
 fax: 949-863-0851  
 email: hpa@hparchs.com



3569 Mt. Diablo Blvd.,  
 Suite 220 Lafayette, CA 94549  
 Phone: 510-899-8302

**Project:**  
**GATEWAY EAST WINERY**

GATEWAY ROAD EAST  
 NAPA, CA 94558

**Consultants:**

Civil:	RSA*
Structural:	-
Mechanical:	-
Plumbing:	-
Electrical:	-
Landscape:	GreenDesign Lands. Arch.
Fire Protection:	-
Soils Engineer:	-

Title: overall site plan

Project Number:	17527
Drawn by:	Y.L.
Date:	10/08/2018
Revision:	
Δ Planning Application	01/31/2019
Δ Planning Application	04/24/2019

Sheet:

**DAB-1.1**

CAUTION : IF THIS SHEET IS NOT A 30" X 42" IT IS A REDUCED PRINT

Owner:



3569 Mt. Diablo Blvd.,  
Suite 220 Lafayette, CA 94549  
Phone: 510-899-8302

Project:

**GATEWAY EAST  
WINERY**

GATEWAY ROAD EAST  
NAPA, CA 94558

Consultants:

- Civil: RSA\*
- Structural: -
- Mechanical: -
- Plumbing: -
- Electrical: -
- Landscape: GreenDesign Lands. Arch.
- Fire Protection: -
- Soils Engineer: -

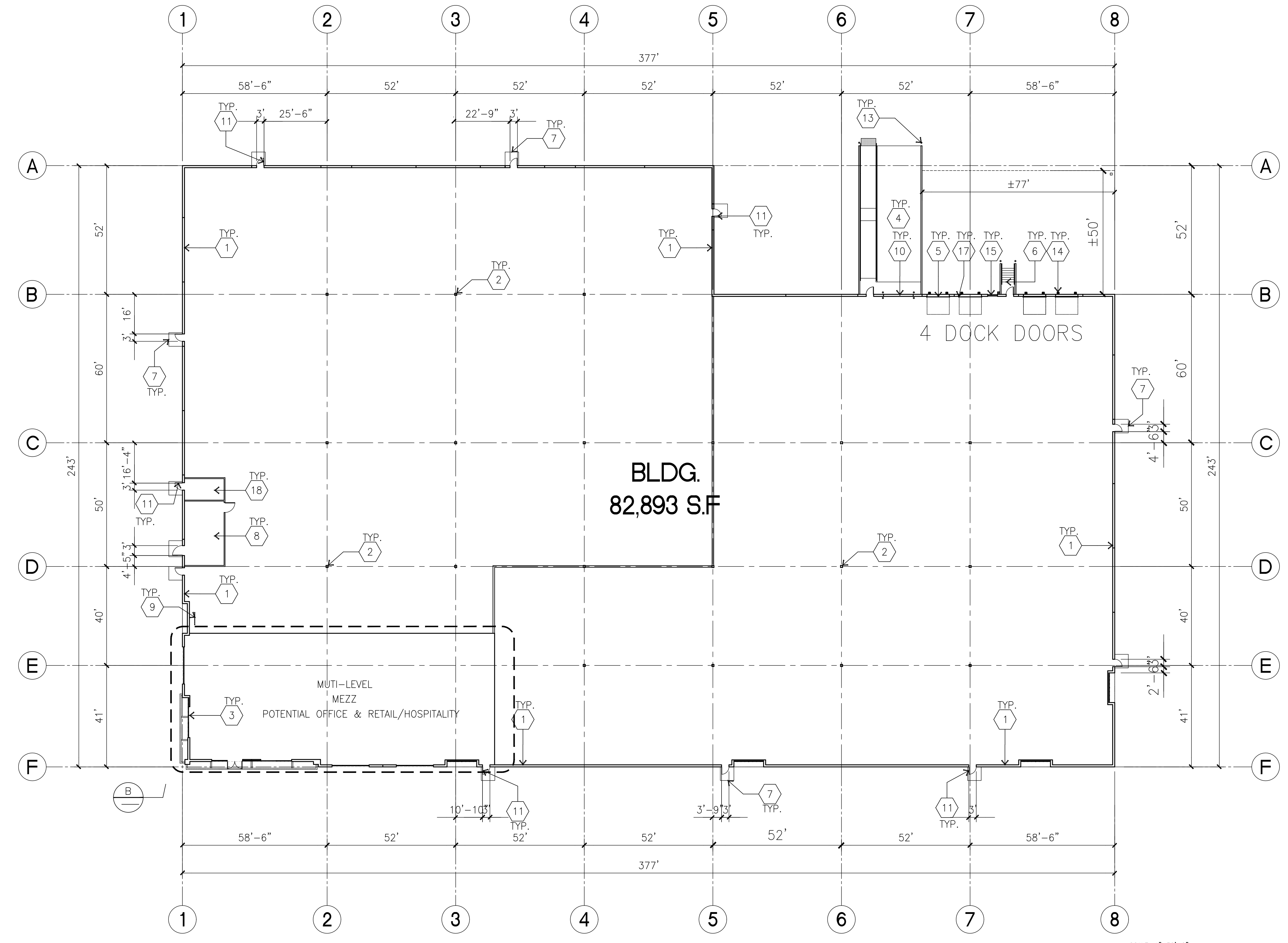
Title: **OVERALL FLOOR PLAN**

Project Number: 17527  
Drawn by: Y.L.  
Date: 10/08/2018

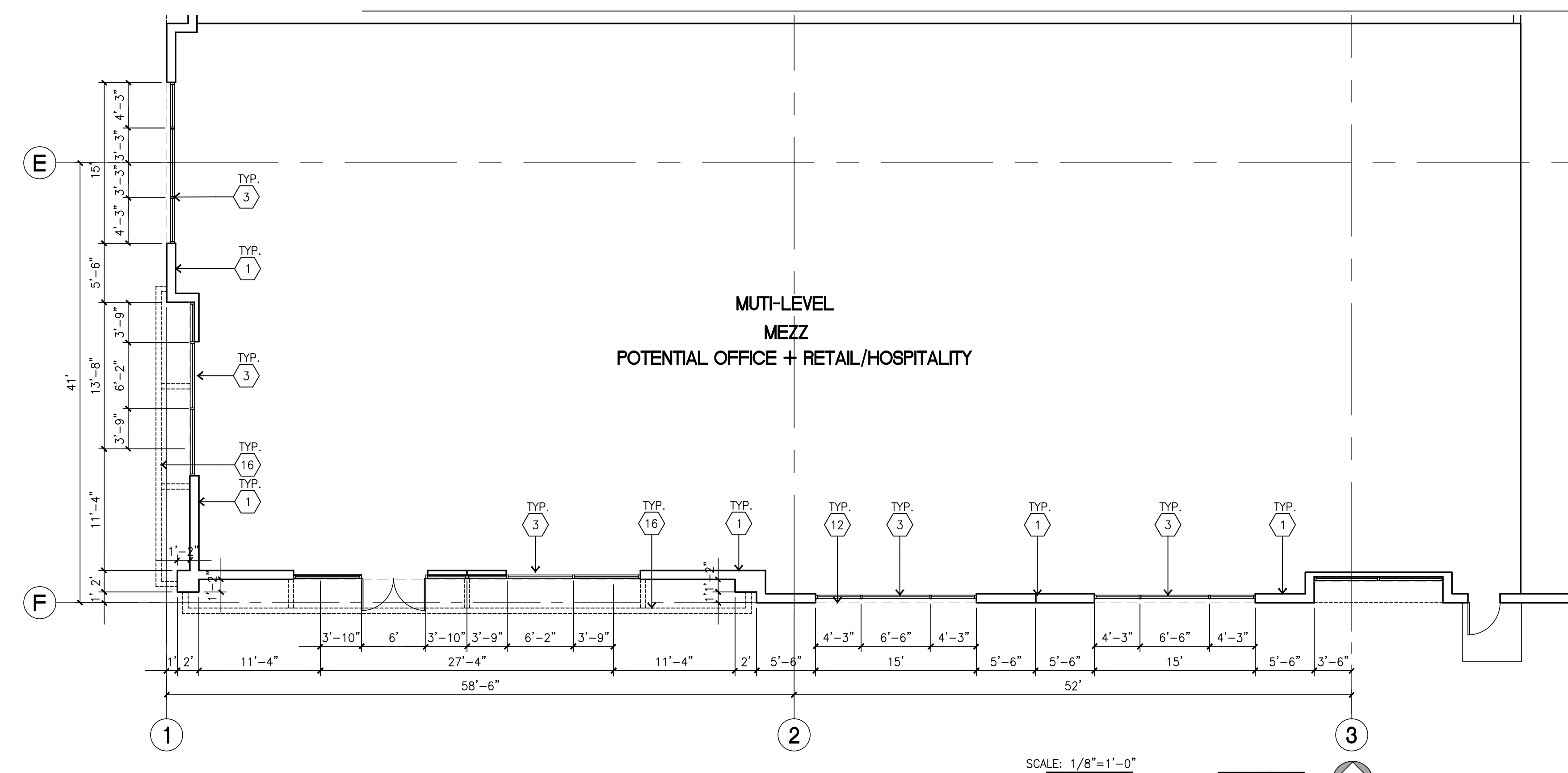
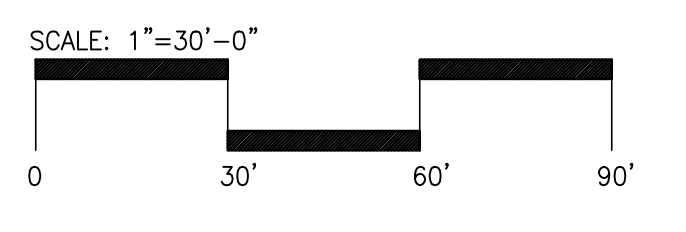
Revision:


Sheet:

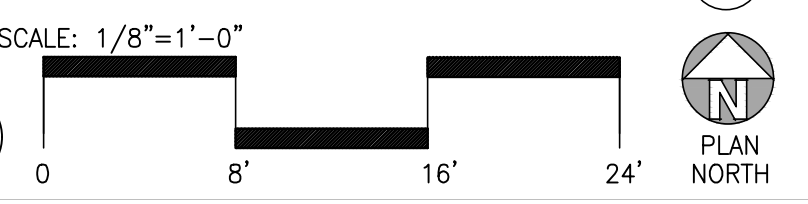
**DAB-2.1**



**OVERALL FLOOR PLAN**  
scale: 1" = 30'-0"



**ENLARGED FLOOR PLAN**  
scale: 1/8" = 1'-0"



**KEYNOTES - FLOOR PLAN**

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 5 9'-0" X 10' DOCK DOOR. SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 6 EXTERIOR STAIR
- 7 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12" MAX.
- 8 ELECTRICAL ROOM
- 9 INTERIOR BIKE RACK
- 10 12' X 14' DRIVE THRU, SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 11 3"x7" HOLLOW METAL EXTERIOR MAN DOOR. DESIGNED TO RESIST CITY REQUIRED WIND SPEED
- 12 SOFFIT LINE ABOVE
- 13 CONC. FILLED GUARD POST. 6" DIA. U.N.O. 48"H.
- 14 DOCK DOOR BUMPER
- 15 LOUVERED OPENING FOR VENTILATION.
- 16 METAL CANOPY ABOVE
- 17 Z GUARD.
- 18 FIRE RISER ROOM

**GENERAL NOTES-FLOOR PLAN**

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT APPROXIMATELY 100'. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. SEE CIVIL FOR BUILDING FLOOR SLOPE
- D. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
- E. PROVIDE FIRE EXTINGUISHERS AT LOCATIONS DETERMINED BY FIRE DEPARTMENT
- F. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- G. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- H. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
- I. ALL MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN.
- J. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.

CAUTION : IF THIS SHEET IS NOT A 30" X 42" IT IS A REDUCED PRINT

Owner:



3569 Mt. Diablo Blvd.,  
Suite 220 Lafayette, CA 94549  
Phone: 510-899-8302

Project:

**GATEWAY EAST  
WINERY**

GATEWAY ROAD EAST  
NAPA, CA 94558

Consultants:

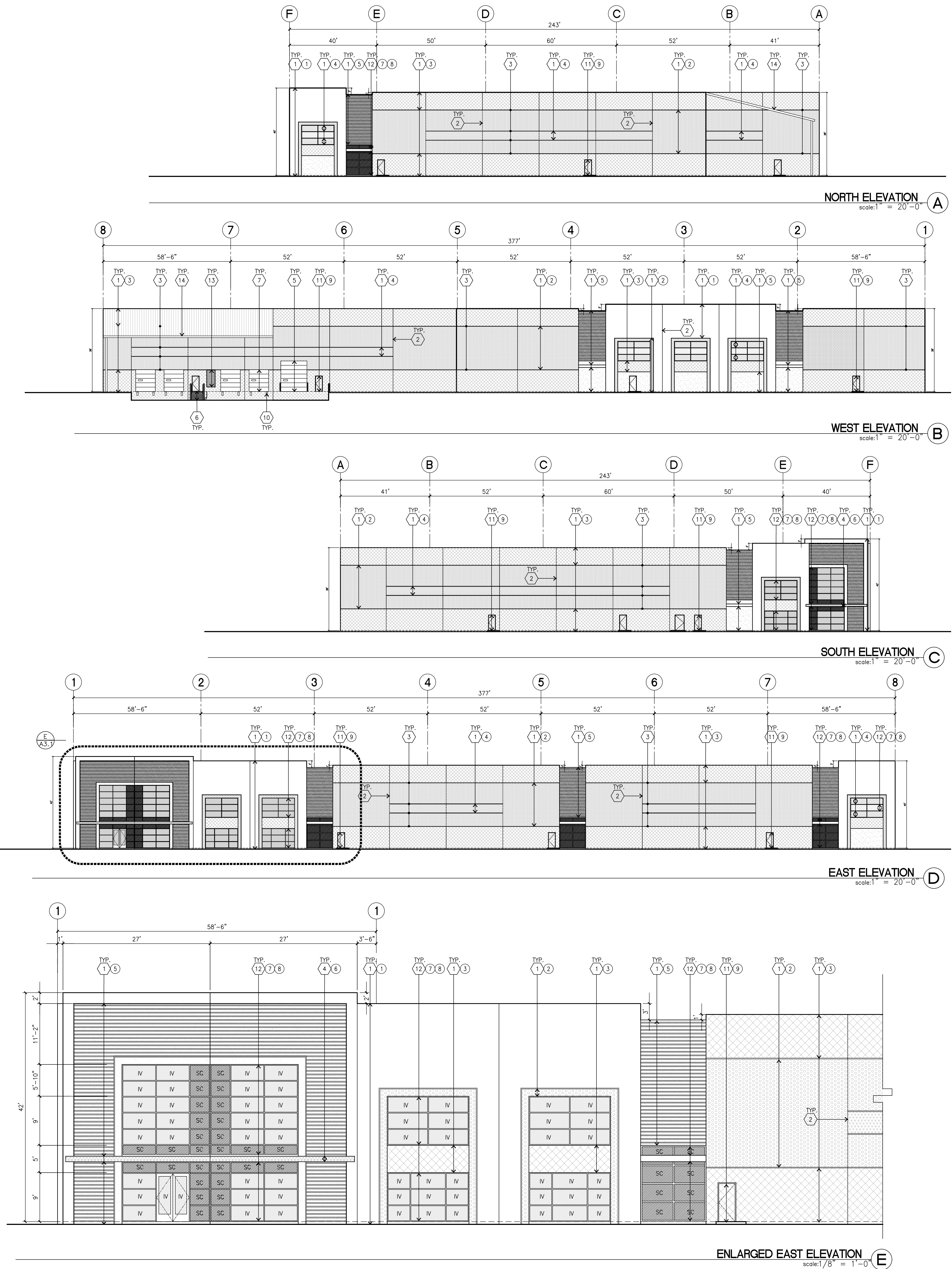
- Civil: RSA<sup>+</sup>
- Structural: -
- Mechanical: -
- Plumbing: -
- Electrical: -
- Landscape: GreenDesign Lands. Arch.
- Fire Protection: -
- Soils Engineer: -

Title: ELEVATIONS

Project Number: 17527  
Drawn by: Y.L.  
Date: 10/08/2018  
Revision: \_\_\_\_\_

Sheet:

**DAB-3.1**



**KEYNOTES – ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES. SEE "C" DRAWINGS. WATERPROOF ALL WALLS WHERE GRADE IS HIGHER AND EXPOSED TO THE WEATHER ONE SIDE. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN. NOT REQUIRED AT DOCK HIGH CONDITION OR AT RAMP WALLS.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR.
- 4 METAL TUBE STEEL CANOPY
- 5 OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 STAIR WITH STEEL HANDRAIL, TYP.
- 7 OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 8 NOT USED
- 9 NOT USED
- 10 DOCK BUMPER.
- 11 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 12 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
- 13 METAL LOUVER. PAINT TO MATCH BUILDING COLOR.
- 14 ROOF

**GENERAL NOTES – ELEVATIONS**

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL. = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST CITY REQUIRED EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE. HIGH PERFORMANCE GLASS.
- I. ALL CONCRETE OPENING ARE TO BE PRE-QUARANTEED THAT GLASS CAN BE ORDERED WITHIN 30 DAYS OF START OF GRADING. THIS IS INCLUDE TIME REQUIRED FOR SHOP DRAWING REVIEW. PREFERENCE IS FOR MEDIUM PERFORMANCE GLASS.

**COLOR SCHEDULE – ELEVATIONS**

- EXTERIOR CONCRETE WALLS TO HAVE ONE COAT OF PRIMER AND ONE FINISH COAT OF PAINT
- 1 CONCRETE TILT-UP PANEL PAINT: SHERWIN WILLIAMS SW 7006 EXTRA WHITE
  - 2 CONCRETE TILT-UP PANEL PAINT: SHERWIN WILLIAMS SW 7063 NEBULOUS WHITE
  - 3 CONCRETE TILT-UP PANEL PAINT: SHERWIN WILLIAMS SW 7064 PASSIVE
  - 4 CONCRETE TILT-UP PANEL PAINT: SHERWIN WILLIAMS SW 7066 GRAY MATTERS
  - 5 CONCRETE TILT-UP PANEL PAINT: SHERWIN WILLIAMS SW 7068 GRIZZLE GRAY
  - 6 CANOPY COLOR: SHERWIN WILLIAMS SW 7006 EXTRA WHITE @ AWNING CANOPY
  - 7 MULLIONS COLOR: CLEAR ANODIZED MULLION
  - 8 GLAZING COLOR: BLUE GLAZING
  - 9 DOORS COLOR: MATCH BUILDING COLOR OR FACTORY FINISH WHITE FOR DOCK DOOR, TYP

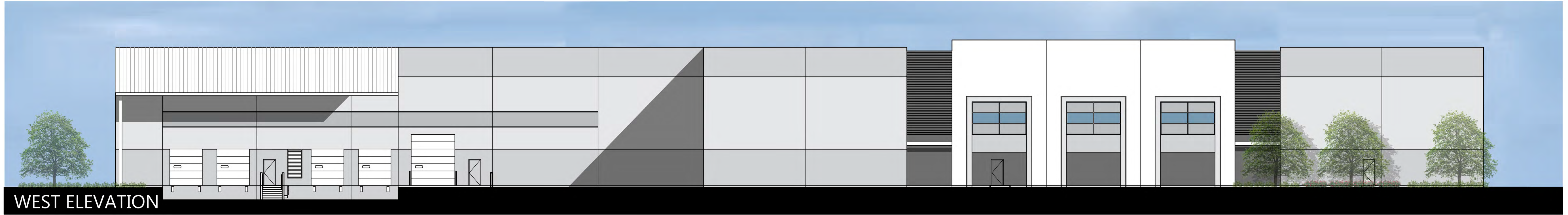
**GLAZING LEGEND**

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- IV INSULATED VISION GLASS
  - SC SPANDREL GLASS WITH CONCRETE BEHIND
  - V SINGLE LITE VISION GLASS
  - S SPANDREL GLASS
  - IV : INSULATED VISION GLASS  
1/4" ATLANTICA + 1/4" SUNGATE 400 CLEAR  
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES  
U: 0.27 SHGC: 0.36 VLT: 58%  
MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B
  - SC : SPANDREL WITH CONCRETE BEHIND  
1/4" CLEAR WITH ATLANTIC WATERS OPACICOAT PAINTED ON REFLECTIVE.  
INSTALLED ON CONCRETE.
  - V : VISION GLASS  
1/4" ATLANTICA
  - S : SPANDREL  
1/4" CLEAR WITH ATLANTIC WATERS OPACICOAT PAINTED ON REFLECTIVE.  
INSTALLED ON OPENINGS.
  - MULLIONS : ANODIZED CLEAR.

CAUTION : IF THIS SHEET IS NOT A 30" X 42" IT IS A REDUCED PRINT



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



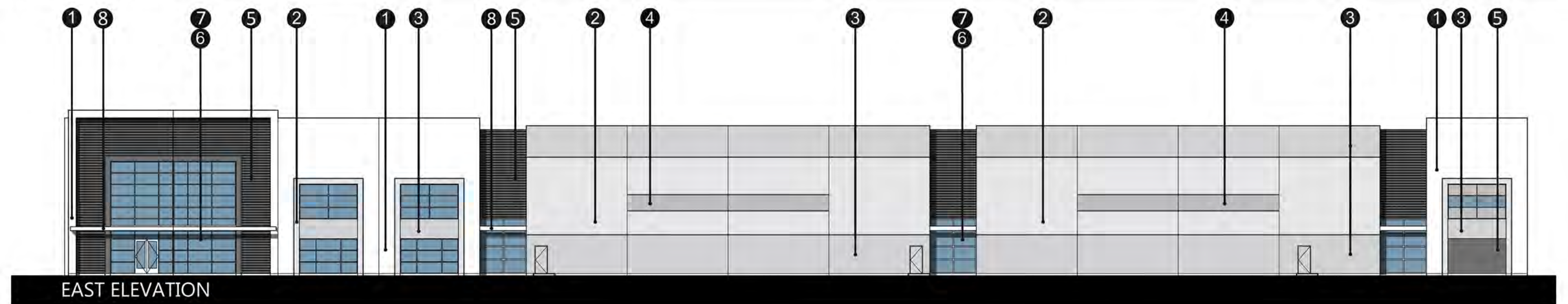
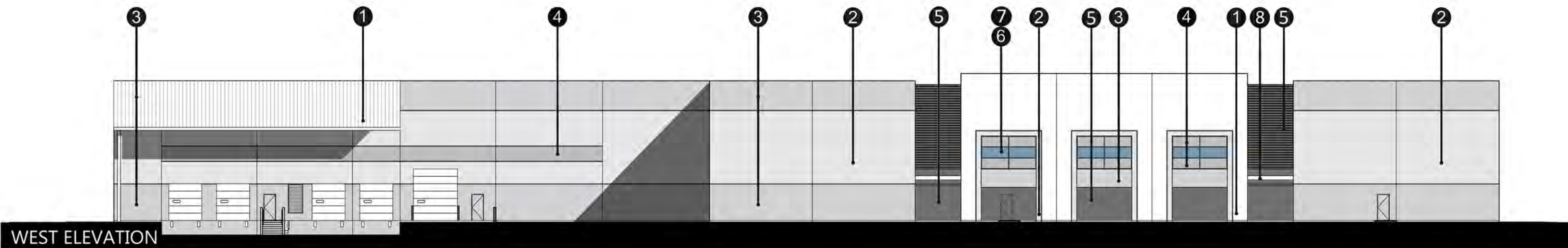
EAST ELEVATION



# GATEWAY ROAD EAST

NAPA, CA





- |   |   |  |   |   |   |   |   |
|---|---|--|---|---|---|---|---|
| 1   | 2   | 3  | 4   | 5   | 6   | 7   | 8   |
|  |  |  |  |  |  |  |  |
| SHERWIN WILLIAMS<br>SW 7006<br>EXTRA WHITE  | SHERWIN WILLIAMS<br>SW 7063<br>NEBULOUS WHITE                                       | SHERWIN WILLIAMS<br>SW 7064<br>PASSIVE   | SHERWIN WILLIAMS<br>SW 7066<br>GRAY MATTERS   | SHERWIN WILLIAMS<br>SW 7068<br>GRIZZLE GRAY   | BLUE GLAZING  | Clear Anodized<br>MULLIONS  | Sherwin Williams<br>SW 7006<br>EXTRA WHITE<br>@ AWNING CANOPY                         |



# GATEWAY ROAD EAST

NAPA, CA



Owner:

Project:

**GATEWAY ROAD EAST**

GATEWAY ROAD EAST  
NAPA, CA 94558

Consultants:

CIVIL	RSA
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	-
LANDSCAPE	Green Design Lands
FIRE PROTECTION	-
SOILS ENGINEER	-

Title:  
PRELIMINARY  
LANDSCAPE PLAN


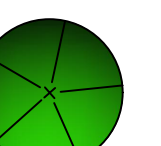
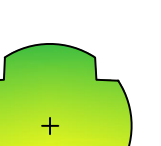

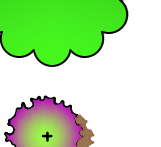

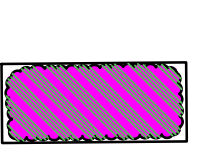
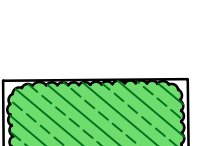
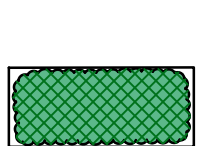

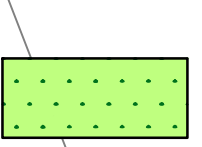
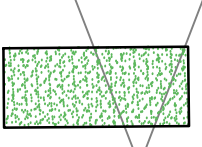

Project Number: 17527  
Drawn by: BH  
Date: 10-2-18

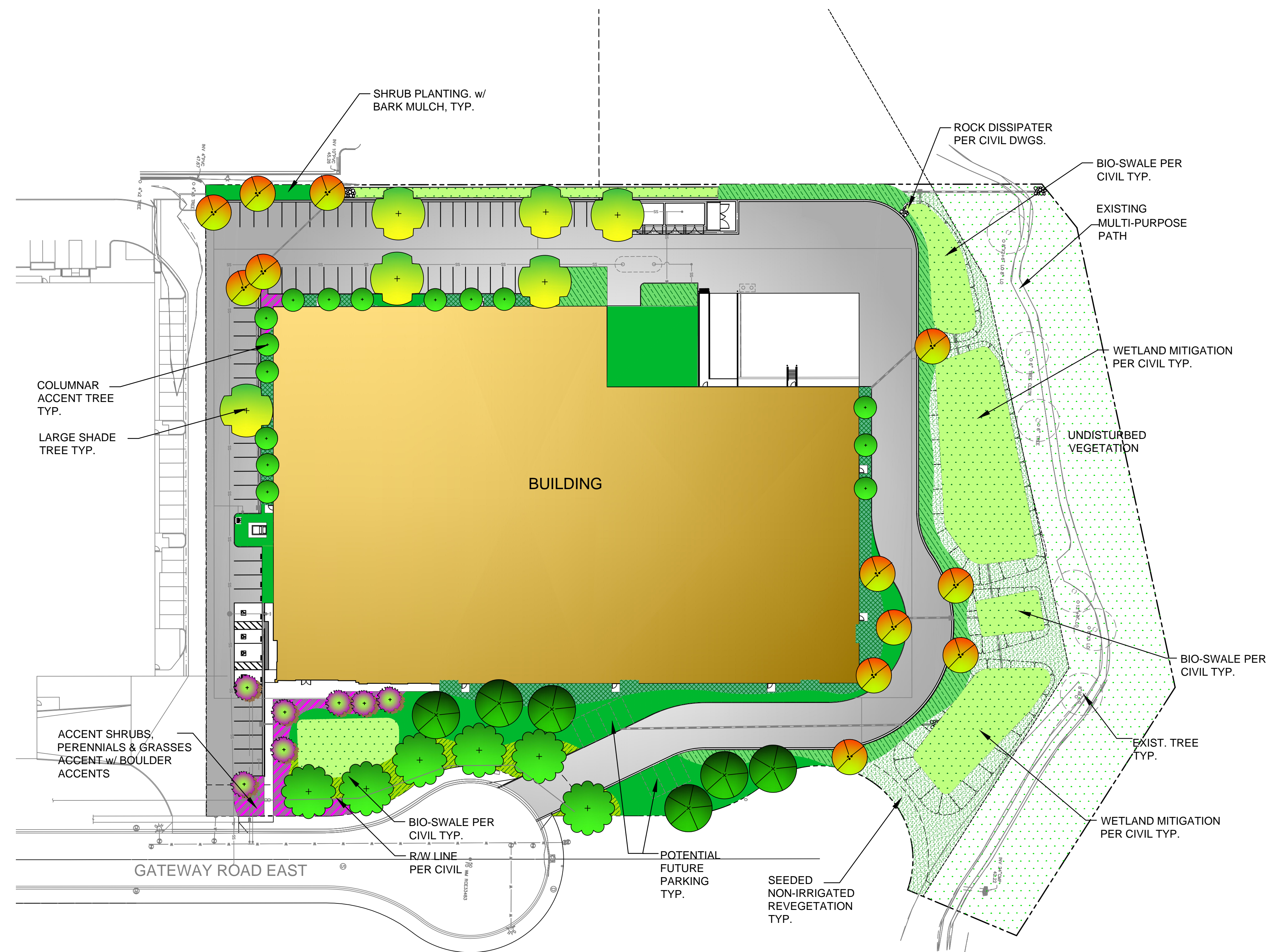
Revision:  
REVISED 1-25-19

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**LC1**

**LEGEND**

-  COLUMNAR DECIDUOUS TREE
-  LARGE EVERGREEN TREE
-  LARGE DECIDUOUS SHADE TREE
-  STREET TREE
-  FLW. ACCENT TREE
-  LOW SHRUBS/SOME PERENNIAL ACCENTS W/ BARK MULCH
-  PROJECT ACCENT PLANTING- LOW ACCENT SHRUBS/GROUNDCOVER/PERENNIALS WITH BARK MULCH AND LARGE BOULDER ACCENTS
-  SCREEN SHRUBS 10' MAX. HEIGHT WITH ROCK MULCH
-  FOUNDATION PLANTING LARGE SHRUBS WITH LOW SHRUB OR GROUNDCOVER ACCENT BARK MULCH
-  STREET FRONTAGE PLANTING FLW. SHRUBS AND PERENNIALS W/ BARK MULCH W/ BOULDER ACCENT AREAS
-  BIO-SWALE GRASSES SEEDED W/ EROSION CONTROL BLANKETING
-  NATIVE GRASS AND WILDFLOWERS- SEEDED HYDROMULCH
-  UNDISTURBED NATIVE VEGETATION



**PRELIMINARY PLANT LIST: WATER REGIME LISTED IS PER WUCOLS REGION 1**

CA NATIVE "N"	BOTANICAL NAME	COMMON NAME	SIZE	WATER REGIME	MATURE HABIT /ZONE
					H X W
	<b>LARGE TREES</b>				
N	PLATANUS A. 'COLUMBIA'	SYCAMORE	15 GAL.	1.25' CAL.	L 60' X 50'
N	QUERCUS AGRIFOLIA	COAST LIVE OAK	15 GAL.	1.25' CAL.	L 50' X 40'
N	CEDRUS DECURRENS	INCENSE CEDAR	15 GAL.	1.25' CAL.	L 40' X 15'
	<b>ACCENT TREES</b>				
N	LAGERSTROMIA	CRAPE MYRTLE	15 GAL.		L 20' X 12'
N	UMBELLULARA CALIFORNICA	BAY LAUREL	15 GAL.		L 15' X 15'
	<b>SHRUBS</b>				
N	BACCHARIS CENTENNAL	COYOTE BRUSH	5 GAL.		L 3' X 5'
N	RHAMNUS 'SAN BRUNO'	COFFEE BERRY	5 GAL.		L 4' X 6'
N	SALVIA CLEVELAND 'WINFRED GILMAN'	SALVIA	5 GAL.		L 4' X 4'
N	CEANOTHUS 'CENTENNIAL'	CALIFORNIA LILAC	5 GAL.		L 1' X 4'
N	RIBES SANGUINEUM	PINK CURRANT	5 GAL.		L 5' X 5'
N	GARRYA ELLIPTICA 'JAMES ROOF'	SILK TASSEL	5 GAL.		L 8' X 8'
N	ARCTOSTAPHYLOS 'HOWARD MCMINN'	MANZANITA	5 GAL.		L 8' X 8'
N	PHILADELPHUS LEWISII	MOCK ORANGE	5 GAL.		L 6' X 5'
N	DUDLEYA B.X. CYMOSA	CHALK DUDLEYA	5 GAL.		L 2' X 3'
	<b>GROUNDCOVER</b>				
N	MAHONIA REPENS	CREeping MAHONIA	5 GAL.		L 3' X 3'
N	ARCTOSTAPHYLOS 'EMERALD GREEN'	MANZANITA	5 GAL.		L 1' X 4'
	<b>PERENNIALS</b>				
N	ERIGONUM GRANDE RUBESCENS'	BUCKWHEAT	1 GAL.		L 1' X 3'
N	ACHILLEA 'MOONSHINE'	YARROW	1 GAL.		L 3' X 3'
N	NEPATA	CATMINT	1 GAL.		L 3' X 2'
N	VERBENA	VERBENA	1 GAL.		L 1.5' X 1.5'
N	ZAUSCHNERIA CALIFORNICA	CA. FUSCHIA	1 GAL.		L 2' X 1'
N	DUDLEYA B.X. CYMOSA	CHALK DUDLEYA	5 GAL.		L 2' X 3'
	<b>GRASSES</b>				
N	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	1 GAL.	M	L 2' X 2'

**LANDSCAPE CALCULATIONS**

TOTAL SITE AREA: 5.52 ACRES  
STREET FRONTAGE LANDSCAPE REQUIRED 20' WIDE (PROVIDED)  
STREET FRONTAGE TREES REQUIRED 1/30 LF. = 6  
STREET FRONTAGE TREES PROVIDED: 6  
PARKING SPACES PROVIDED = 84  
PARKING AREA TREES REQUIRED 1/10 SPACES = 9  
PARKING AREA TREES PROVIDED = 10  
TOTAL SITE LANDSCAPE AREA: 89,133 S.F. (INC. BIO-SWALE, WETLAND AND NATIVE)  
NEW CONTAINER LANDSCAPE AREA: 26,878 S.F.  
NEW SEEDED LANDSCAPE AREAS: 29,331 S.F.  
EXISTING VEGETATION AREA: 32,924 S.F.

**WATER EFFICIENT LANDSCAPE REQUIREMENTS**

ALL IRRIGATION EITHER PERMANENT OR TEMPORARY SHALL BE AUTOMATIC TIMER CONTROLLED. PERMANENTLY IRRIGATED SHRUBS AND TREES SHALL BE POINT SOURCE DRIP AND OR BUBBLER IRRIGATED. AUTOMATIC CONTROLLER ET DATA, REPEAT CYCLING IRRIGATION ZONES PER PLANT WATER REQUIREMENTS RAIN SENSOR TO BE SPECIFIED SOIL AMENDMENTS TO BE INCORPORATED PLANTER SURFACE AREAS TO BE MULCHED WATER USAGE TO MEET STATE WATER EFFICIENT LANDSCAPE STANDARD CALIFORNIA NATIVE AND DROUGHT TOLERANT PLANTS SPECIFIED

THESE PLANS COMPLY WITH THE CRITERIA OF THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (WEL) AND I HAVE APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN INTENT. PLANS SHALL MEET THE MAVA PER STATE ORDINANCE IN FINAL DESIGN.

*BH*  
BARBARA M. HATCH, RLA ASLA

**PRELIMINARY LANDSCAPE PLAN**

SCALE: 1" = 40'-0"

