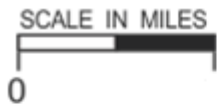
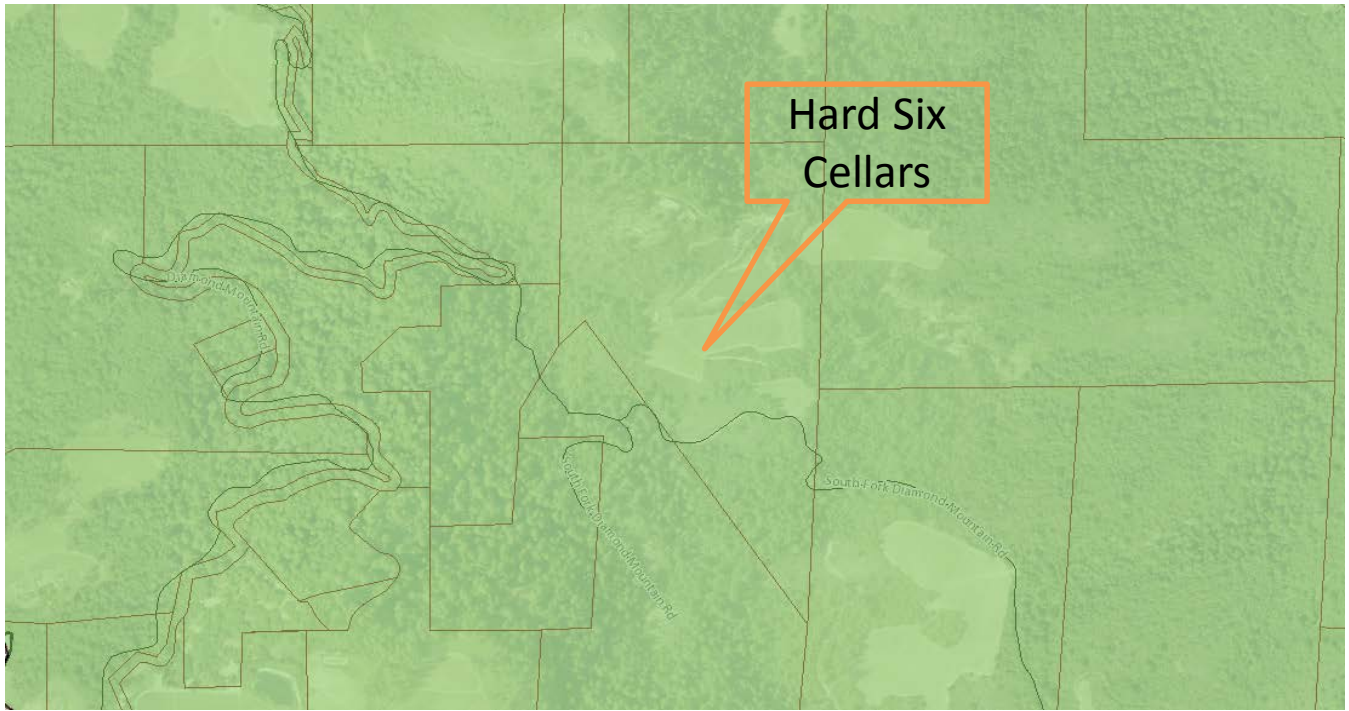


“K”

Graphics

Hard Six Cellars Winery P16-00333 & Use Permit Exception to
Conservation Regulations P19-00315
Planning Commission Hearing October 16, 2019

NAPA COUNTY LAND USE PLAN 2008 – 2030



LEGEND



URBANIZED OR NON-AGRICULTURAL

- Study Area
- Cities
- Urban Residential*
- Rural Residential*
- Industrial
- Public-Institutional
- Napa Pipe Mixed Use

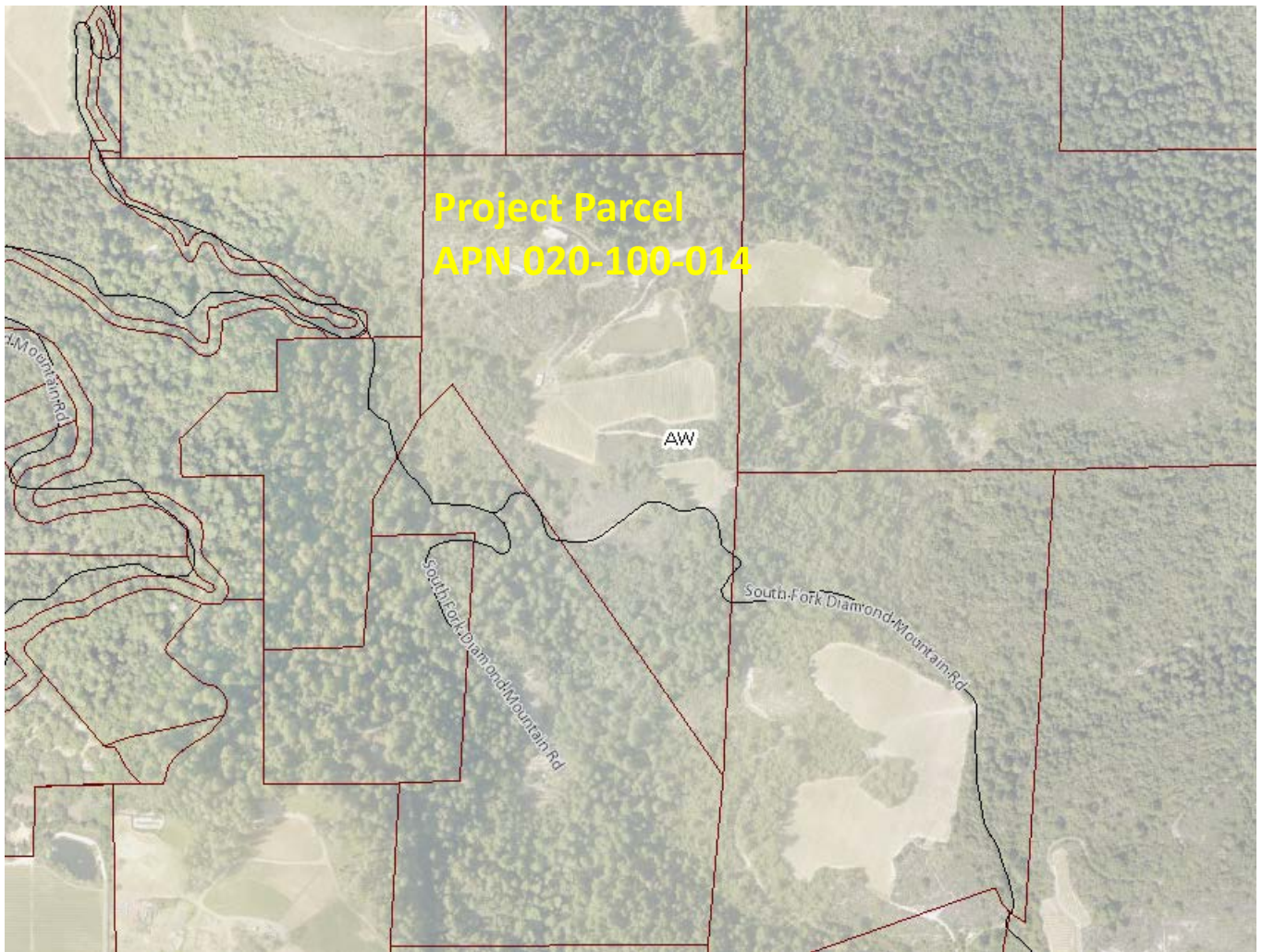
OPEN SPACE

- Agriculture, Watershed & Open Space
- Agricultural Resource

TRANSPORTATION

- Mineral Resource
- Limited Access Highway
- American Canyon ULL
- City of Napa RUL
- Landfill - General Plan
- Road
- Airport
- Railroad
- Airport Clear Zone

* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations

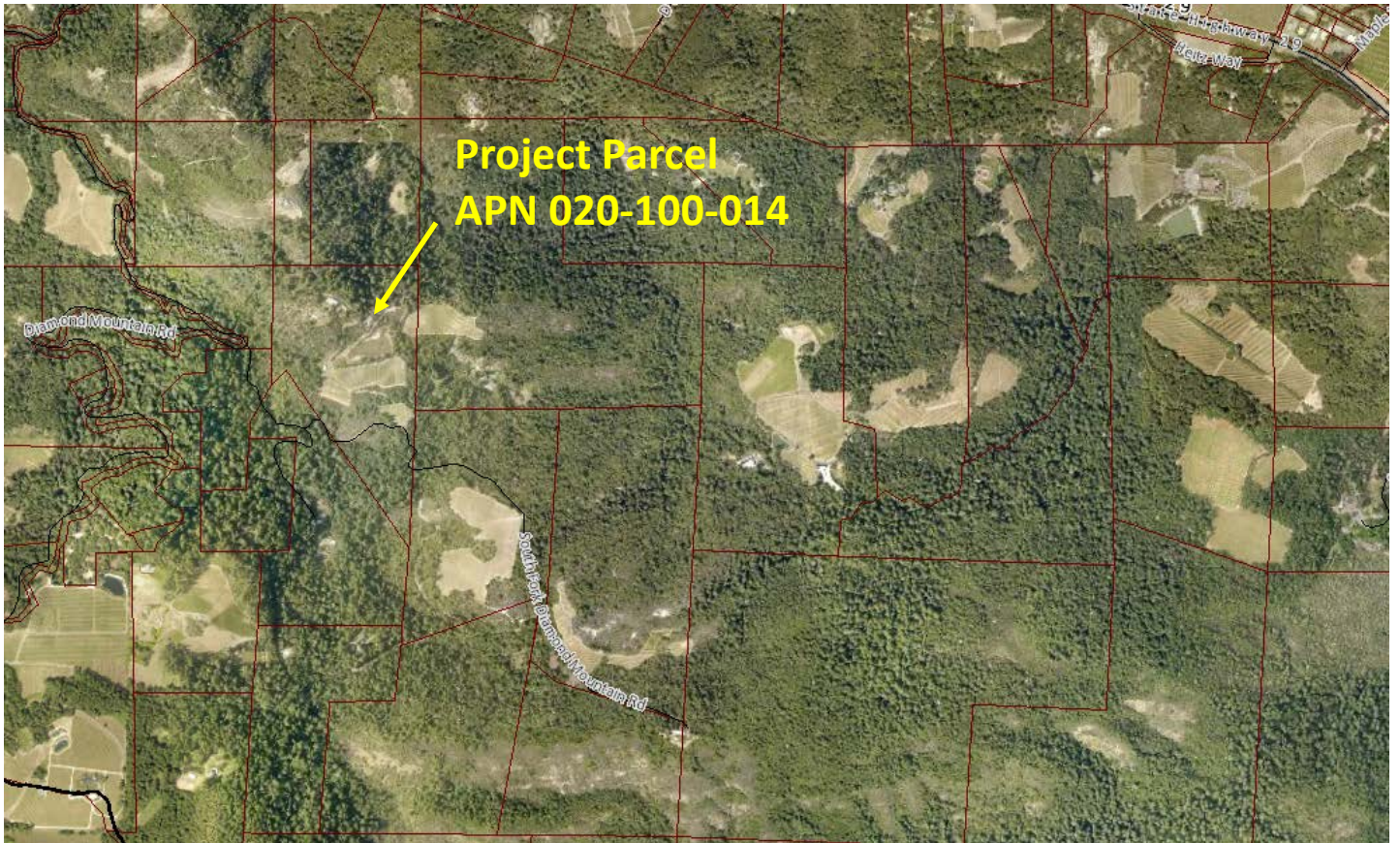


LEGEND

- Zoning
- Parcels



ZONING MAP



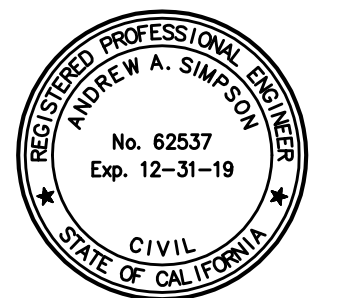
Existing Conditions

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND LOCAL GOVERNMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND LOCAL GOVERNMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND LOCAL GOVERNMENTS.

DELTA CONSULTING & ENGINEERING
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1104 ADAMS STREET, SUITE 203 - ST. HELENA, CALIFORNIA 94574
707-963-8456 + 707-963-8528 FAX

USE PERMIT
OVERALL SITE PLAN (WEST)

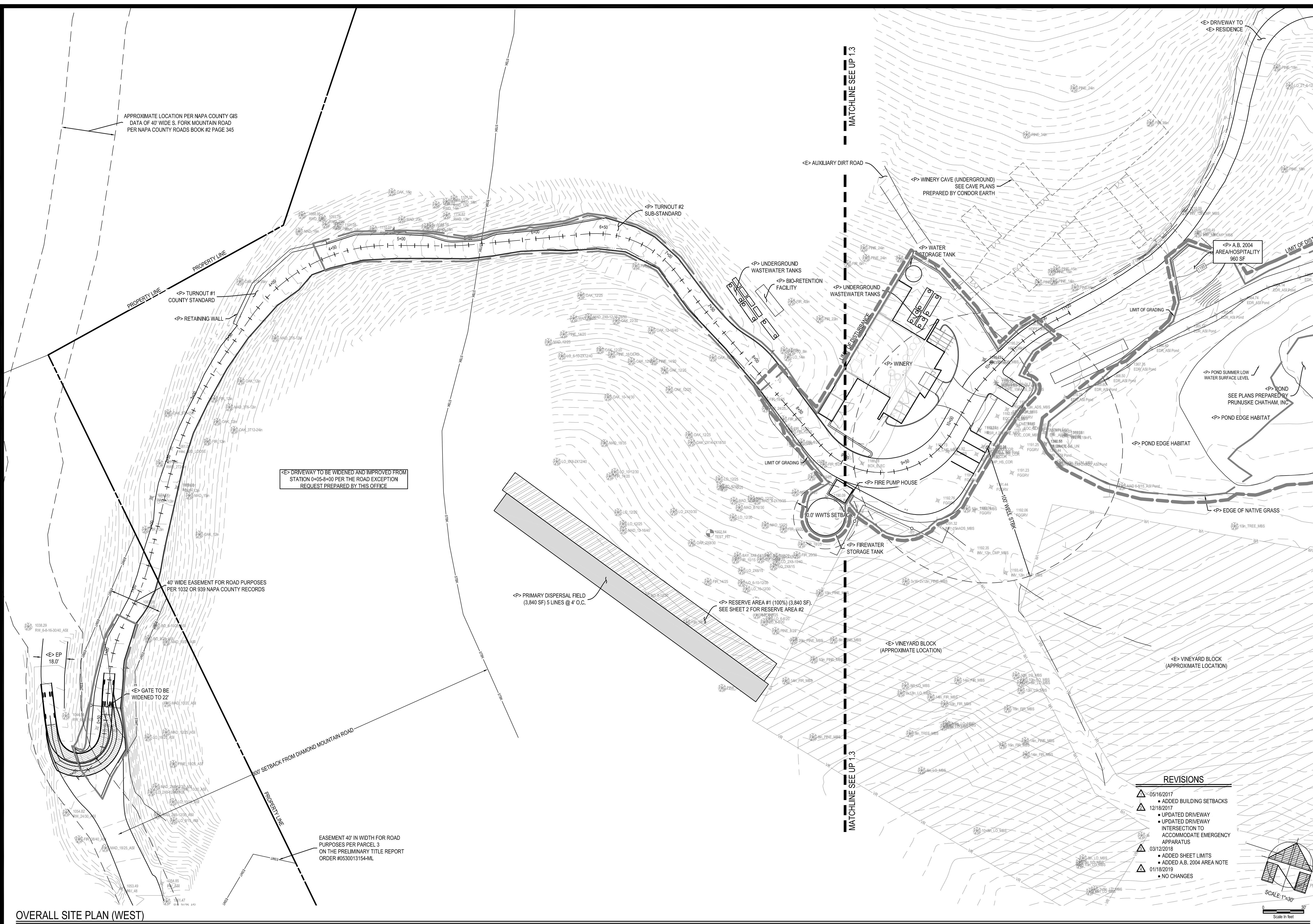
HARD SIX CELLARS
1755 S. FORK DIAMOND MOUNTAIN ROAD
CALISTOGA, CA 94515
APN: 020-100-014
PROJECT: N-116



EVERY PERSON PLANNING TO DIG
CALL USA AT 1-800-255-2909

DATE	ISSUE
05/16/17	PERMIT SET
12/18/17	PLAN CHECK
03/12/18	PLAN CHECK
01/18/19	RESUBMITTAL SHEET

UP1.2



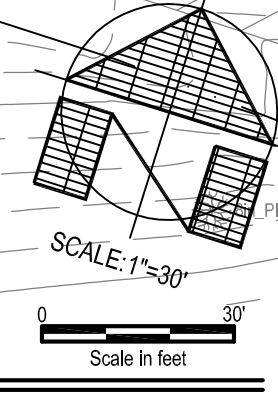
<E> DRIVEWAY TO BE WIDENED AND IMPROVED FROM STATION 0+05-8+00 PER THE ROAD EXCEPTION REQUEST PREPARED BY THIS OFFICE

40' WIDE EASEMENT FOR ROAD PURPOSES PER 1032 OR 939 NAPA COUNTY RECORDS

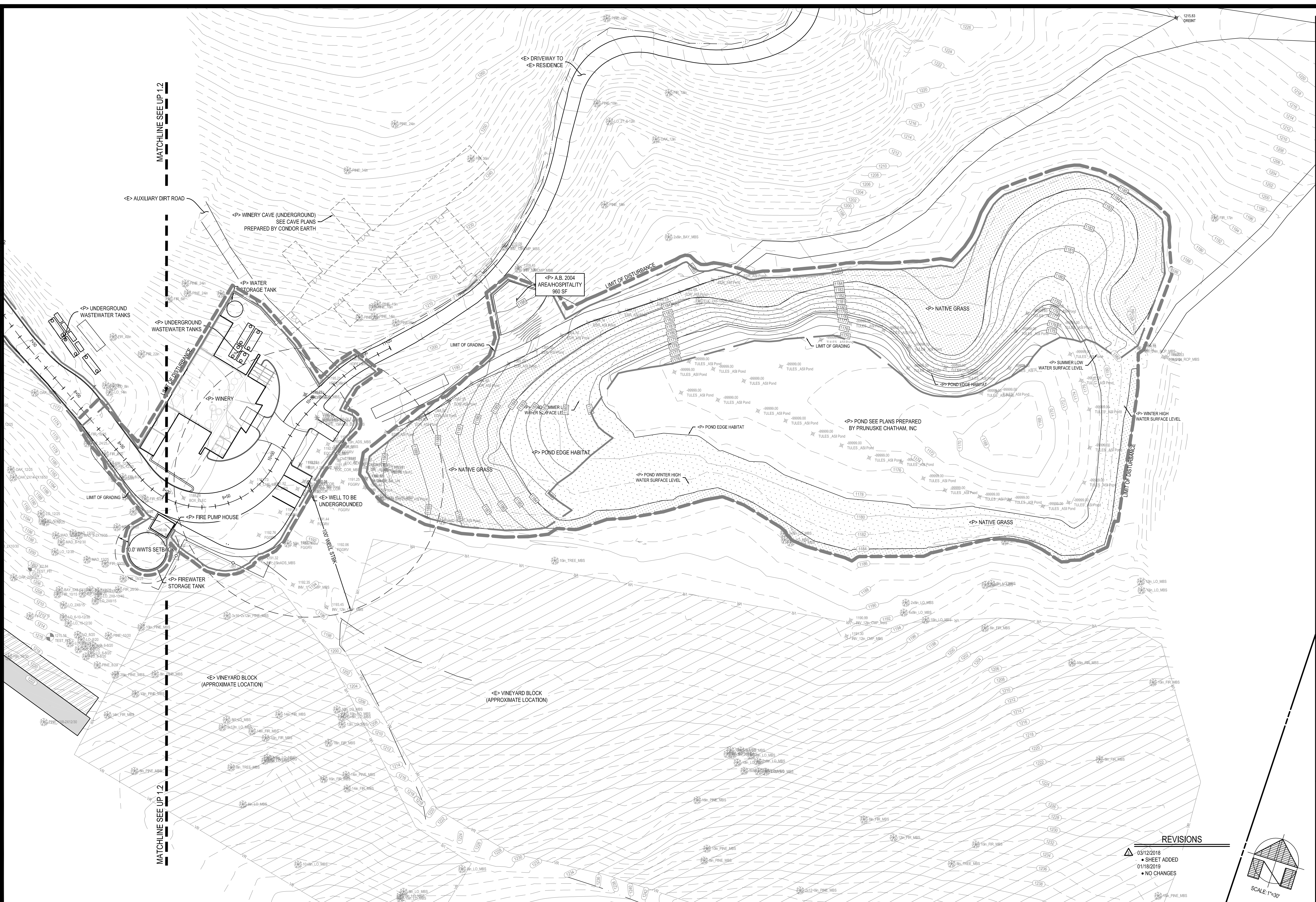
EASEMENT 40' IN WIDTH FOR ROAD PURPOSES PER PARCEL 3 ON THE PRELIMINARY TITLE REPORT ORDER #0530013154-ML

REVISIONS

05/16/2017	ADDED BUILDING SETBACKS
12/18/2017	UPDATED DRIVEWAY
03/12/2018	ADDED SHEET LIMITS
01/18/2019	ADDED A.B. 2004 AREA NOTE
	NO CHANGES



OVERALL SITE PLAN (WEST)



MATCHLINE SEE UP 1.2

MATCHLINE SEE UP 1.2

OVERALL SITE PLAN (EAST)

CONTRACTOR'S RESPONSIBILITY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF ALL UTILITIES AND EXISTING STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND EXISTING STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND EXISTING STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND EXISTING STRUCTURES.

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USE PERMIT
OVERALL SITE PLAN (EAST)

HARD SIX CELLARS
1755 S. FORK DIAMOND MOUNTAIN ROAD
CALISTOGA, CA 94515
APN: 020-100-014
PROJECT: N-116



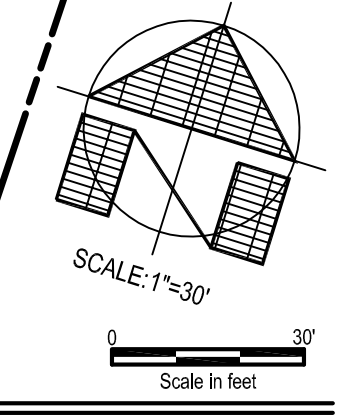
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CALL USA AT 1-800-252-2000

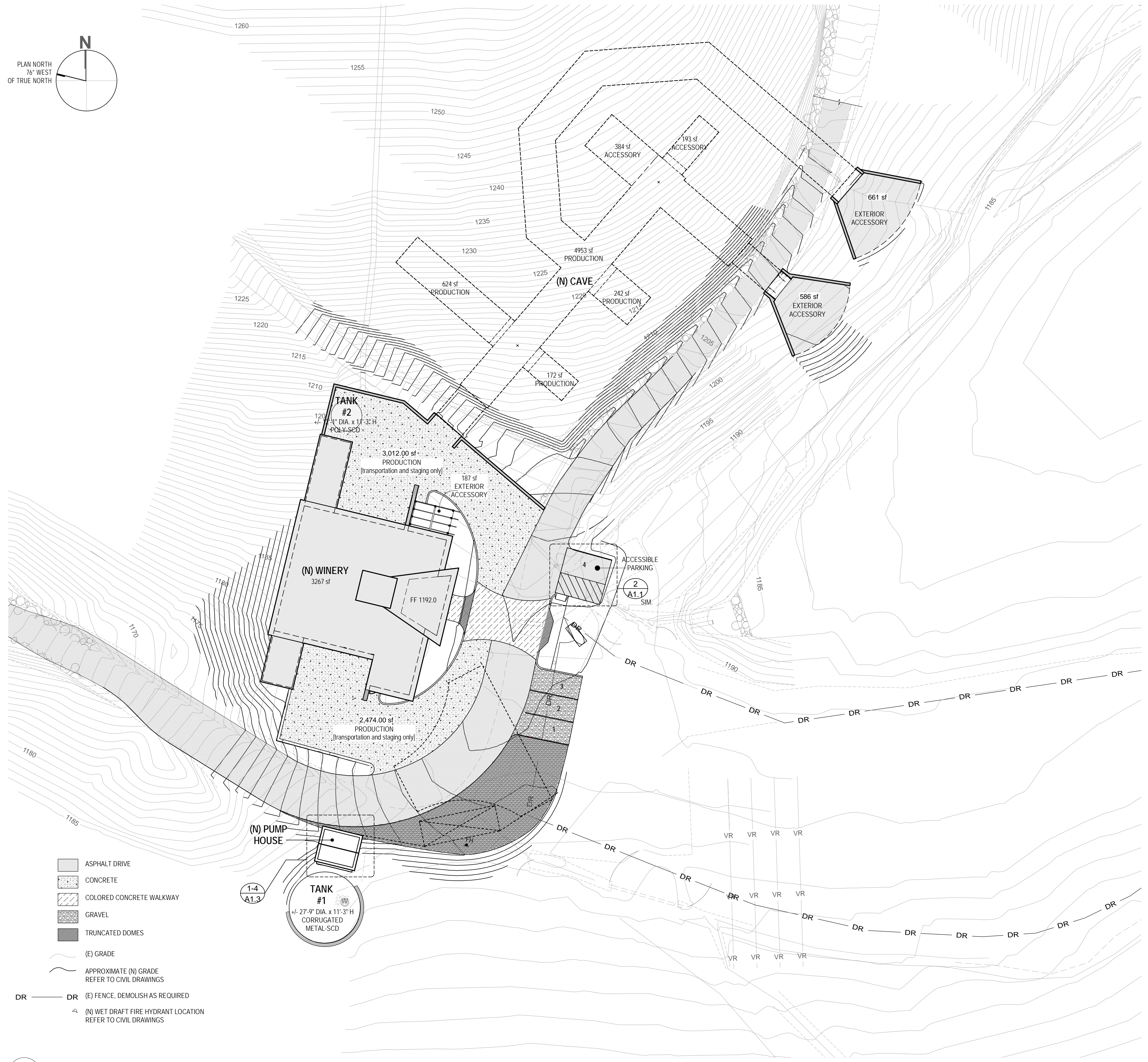
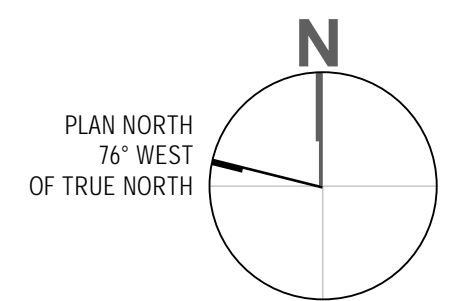
DATE	ISSUE
06/24/16	PERMIT SET
05/16/17	PLAN CHECK
12/18/17	PLAN CHECK
03/12/18	PLAN CHECK
01/18/19	RESUBMITTAL SHEET

UP1.3

REVISIONS

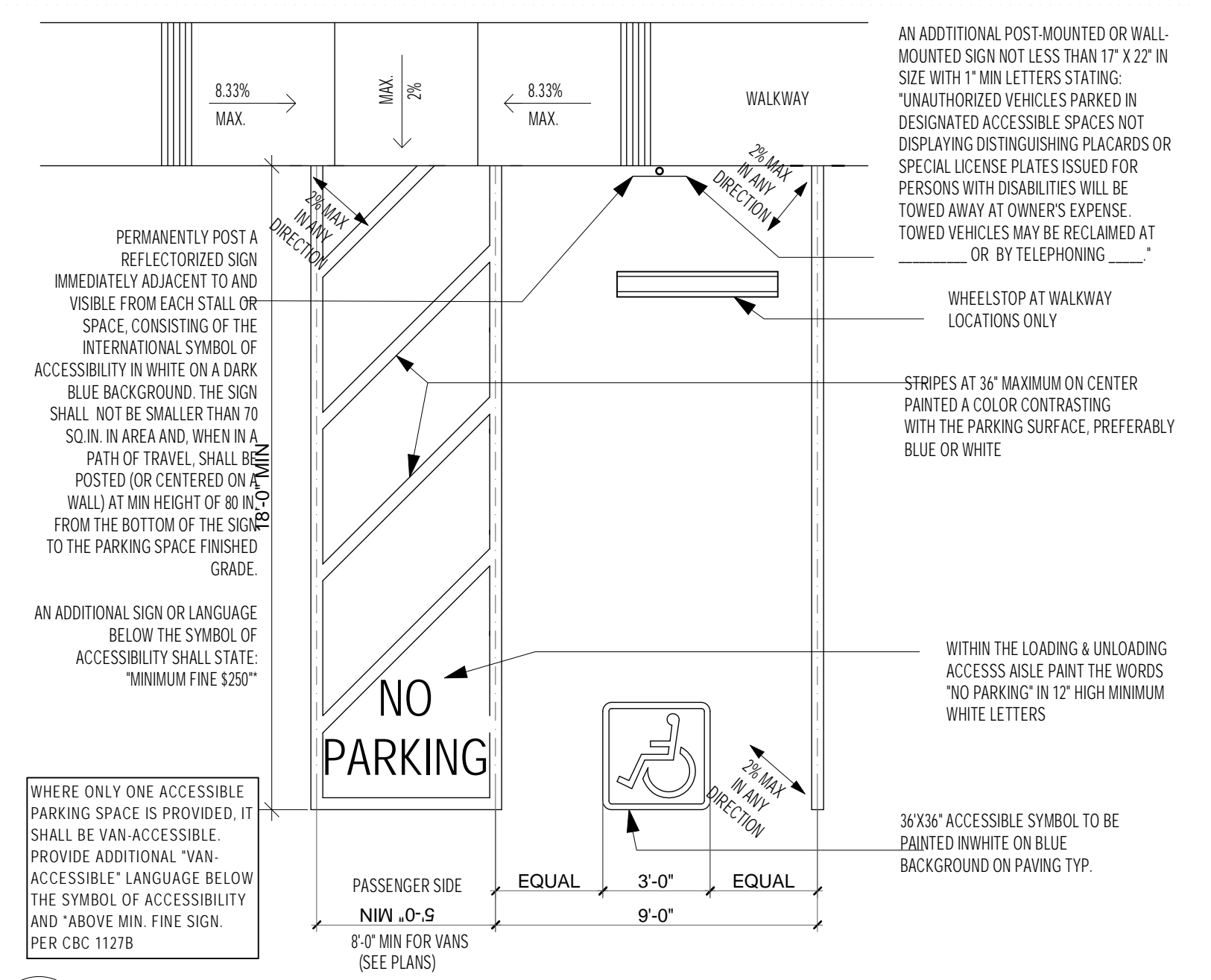
03/12/2018	• SHEET ADDED
01/18/2019	• NO CHANGES





- ASPHALT DRIVE
- CONCRETE
- COLORED CONCRETE WALKWAY
- GRAVEL
- TRUNCATED DOMES
- (E) GRADE
- APPROXIMATE (N) GRADE REFER TO CIVIL DRAWINGS
- DR (E) FENCE, DEMOLISH AS REQUIRED
- (N) WET DRAFT FIRE HYDRANT LOCATION REFER TO CIVIL DRAWINGS

1 BUILDING SITE, PARTIAL SITE PLAN
SCALE: 1" = 20'



2 TYPICAL PARKING FOR PERSONS WITH DISABILITIES - VAN SPACE
SCALE: 1/4" = 1'-0"

PROJECT AREA

WINERY INTERIOR:		
UNCONDITIONED PRODUCTION AREA *	2,447 SF	
CONDITIONED ACCESSORY AREA*	820 SF	3,267 SF
	SUB-TOTAL	
EXTERIOR:		
PAVED PRODUCTION AREA:	5,486 SF	
PAVED ACCESSORY AREA:	1,434 SF	6,920 SF
	SUB-TOTAL	
CAVE:		
PRODUCTION AREA*	5,991 SF	
ACCESSORY AREA*	1,143 SF	7,134 SF
	SUB-TOTAL	
TOTAL PRODUCTION:	13,924 SF	
TOTAL ACCESSORY:	3,397 SF	
OTHER (12X14 PUMP HOUSE):	145 SF	
	TOTAL PROJECT AREA	17,466 SF

* MEASURED AT INSIDE FACE OF WALLS

ISSUED FOR: BY:

USE PERMIT 06.24.16 RBE

ARCHITECT:

PJ Collins

PETER J. COLLINS ARCHITECTS
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ST HELENA, CA 94574
V: 707.967.8383
F: 707.967.9335

STAMP:

STATE OF CALIFORNIA
PETER J. COLLINS
ARCHITECT
NO. 4730-17
C018247
LICENSED ARCHITECT

COORDINATOR:

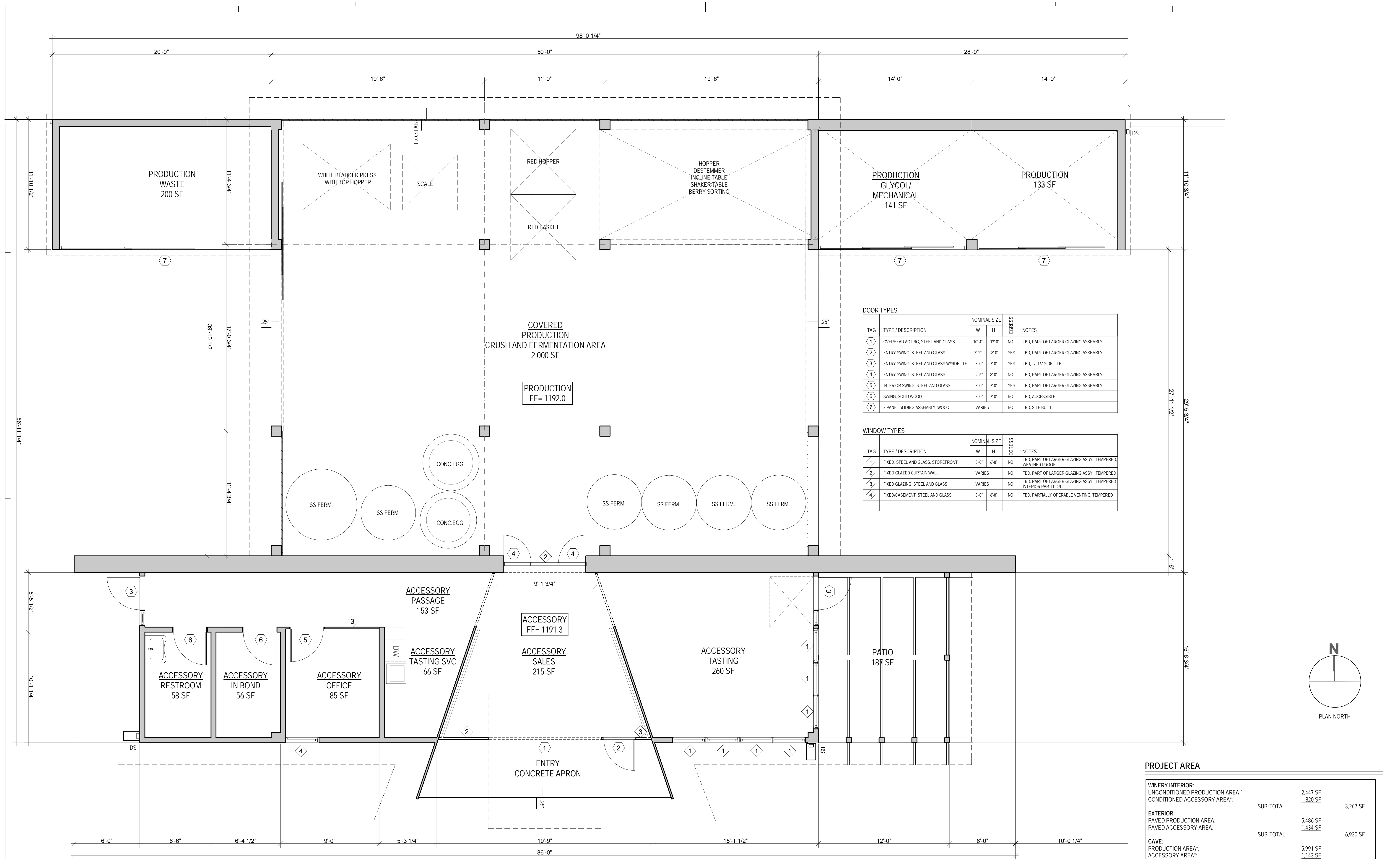
HARD SIX CELLARS
USE PERMIT
1755 S.FORK DIAMOND MTN. RD., CALISTOGA, CA 94515
APN # 020-100-014

SITE PLAN

DATE: 7/13/2016
SCALE: AS NOTED
DRAWN BY: RBE
JOB: 14-008-HD6

A1.1

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DOOR TYPES

TAG	TYPE / DESCRIPTION	NOMINAL SIZE	EGRESS	NOTES
		W H		
1	OVERHEAD ACTING, STEEL AND GLASS	10'-4" 12'-0"	NO	TBD, PART OF LARGER GLAZING ASSEMBLY
2	ENTRY SWING, STEEL AND GLASS	3'-2" 8'-0"	YES	TBD, PART OF LARGER GLAZING ASSEMBLY
3	ENTRY SWING, STEEL AND GLASS W/SIDELITE	3'-0" 7'-0"	YES	TBD, +/- 16" SIDE LITE
4	ENTRY SWING, STEEL AND GLASS	2'-4" 8'-0"	NO	TBD, PART OF LARGER GLAZING ASSEMBLY
5	INTERIOR SWING, STEEL AND GLASS	3'-0" 7'-0"	YES	TBD, PART OF LARGER GLAZING ASSEMBLY
6	SWING, SOLID WOOD	3'-0" 7'-0"	NO	TBD, ACCESSIBLE
7	3-PANEL SLIDING ASSEMBLY, WOOD	VARIES	NO	TBD, SITE BUILT

WINDOW TYPES

TAG	TYPE / DESCRIPTION	NOMINAL SIZE	EGRESS	NOTES
		W H		
1	FIXED, STEEL AND GLASS, STOREFRONT	3'-0" 6'-4"	NO	TBD, PART OF LARGER GLAZING ASSY., TEMPERED, WEATHER PROOF
2	FIXED GLAZED CURTAIN WALL	VARIES	NO	TBD, PART OF LARGER GLAZING ASSY., TEMPERED
3	FIXED GLAZING, STEEL AND GLASS	VARIES	NO	TBD, PART OF LARGER GLAZING ASSY., TEMPERED INTERIOR PARTITION
4	FIXED/CASEMENT, STEEL AND GLASS	3'-0" 6'-4"	NO	TBD, PARTIALLY OPERABLE VENTING, TEMPERED

PROJECT AREA

WINERY INTERIOR:		
UNCONDITIONED PRODUCTION AREA *	2,447 SF	
CONDITIONED ACCESSORY AREA:	820 SF	
	SUB-TOTAL	3,267 SF
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PAVED PRODUCTION AREA:	5,486 SF	
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ISSUED FOR:	BY:
USE PERMIT 06.24.16	RBE



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ARCHITECT

CONSULTANT

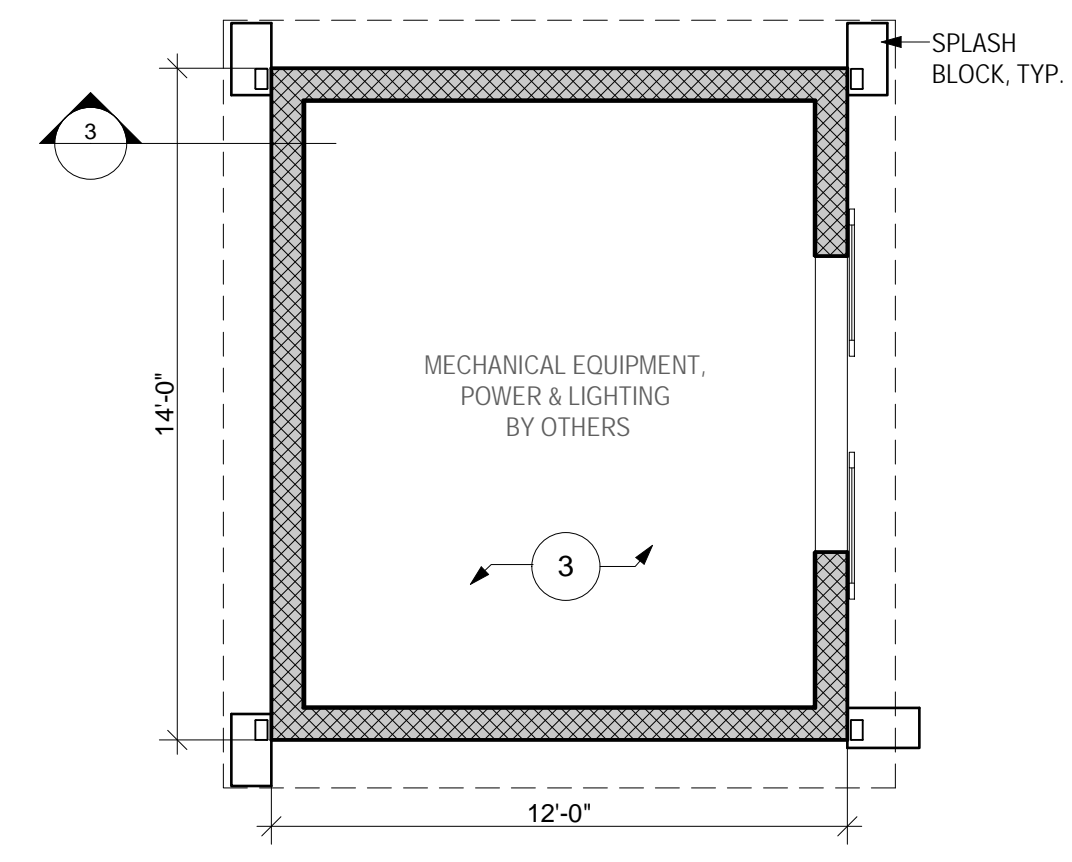
HARD SIX CELLARS
USE PERMIT
1755 S.FORK DIAMOND MTN. RD., CALISTOGA, CA 94515
APN # 020-100-014

FLOOR PLAN

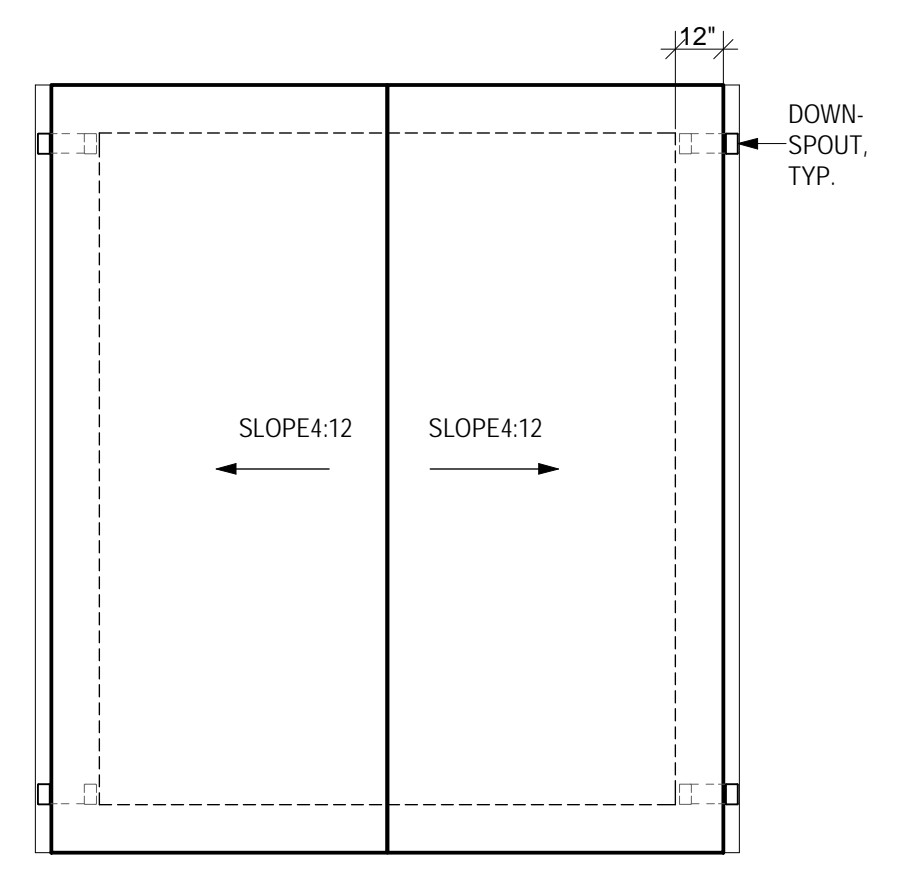
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SCALE: AS NOTED
DRAWN BY: RBE
JOB: 14-008-HD6

A1.2

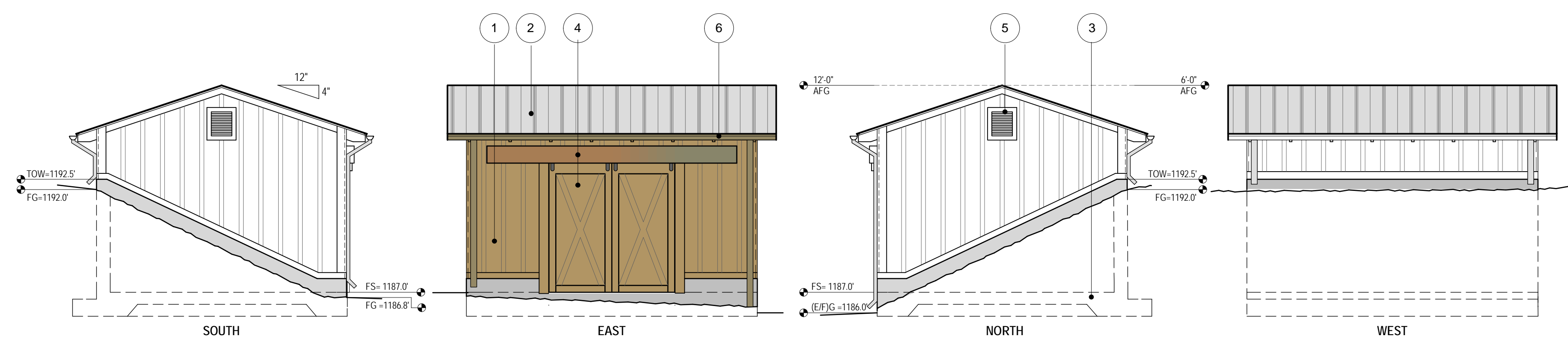
1 WINERY FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 PUMP HOUSE PLAN
SCALE: 1/4" = 1'-0"








2 PUMP HOUSE ROOF PLAN
SCALE: 1/4" = 1'-0"



3 PUMP HOUSE ELEVATIONS
SCALE: 1/4" = 1'-0"

NOTE: COLORS SHOWN ARE REPRESENTATIVE ONLY AND ARE NOT INTENDED TO BE AN ACCURATE DEPICTION OF FINAL MATERIAL COLOR.

KEYNOTES - PUMP HOUSE COLORS AND MATERIALS

- 1 CEDER BOARD AND BATTEN SIDING, STAINED
 SIM
- 2 STANDING SEAM METAL ROOFING, MATCH ROOF AT WINERY. COLOR: WEATHERED ZINC OR SIM.
 SIM
 Weathered Zinc SRI-35 SIM
- 3 CONCRETE SLAB FOUNDATION AND FLOOR WITH PERIMETER CURB. COLOR: NATURAL
- 4 CEDER SLIDING BARN DOORS, STAINED AND "AGED" METAL CORNICE, DOORS LATCH AND LOCK
 SIM
- 5 METAL, PREPAINTED LOUVERED VENTS AS REQ'D, WOOD TRIM, STAINED COLOR: SADDLE TAN OR SIM.
 Saddle Tan SRI-33
- 6 GALV. GUTTERS AND DOWNSPOUTS, PAINTED COLOR: SADDLE TAN OR SIMILAR SEE KEYNOTE #5

PROJECT AREA

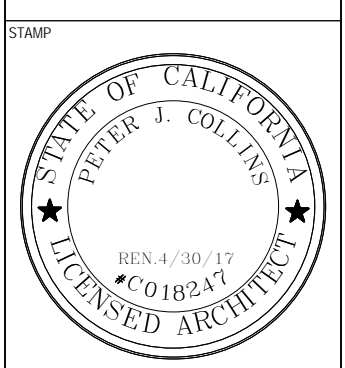
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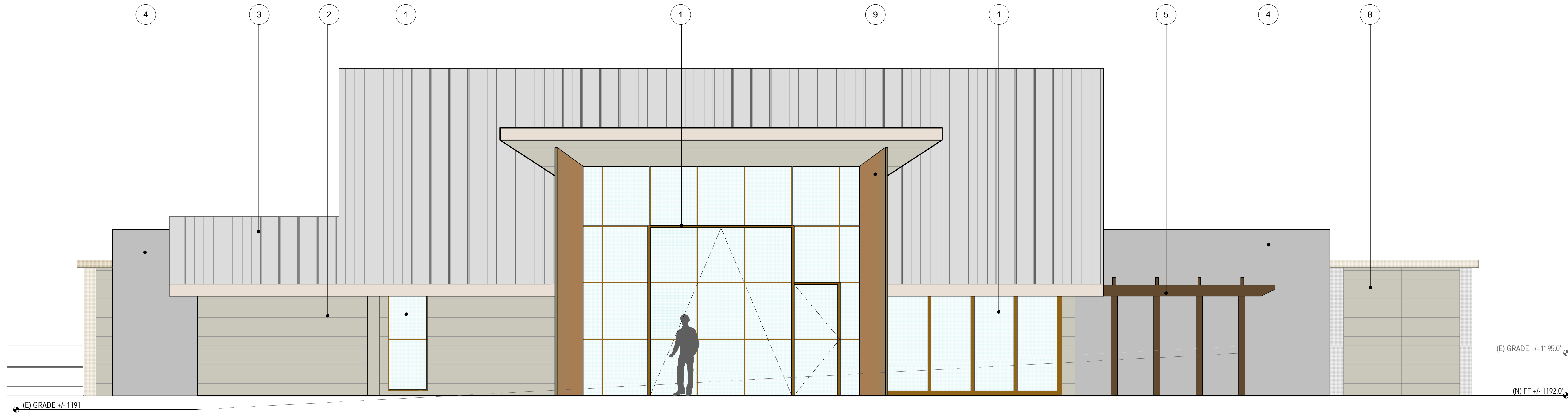
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 APN # 020-100-014

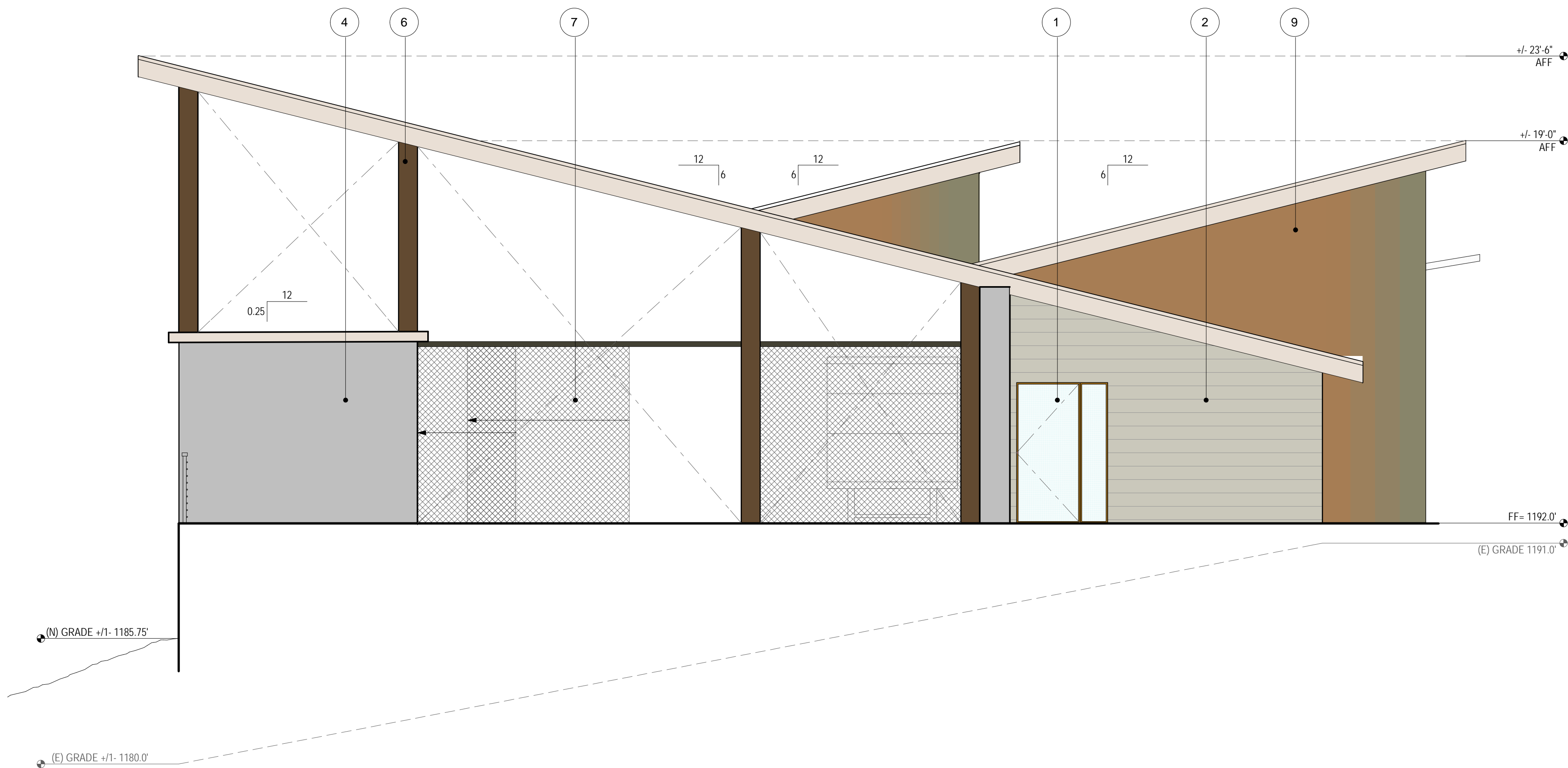
PUMP HOUSE

DATE:	6/24/2016
SCALE:	AS NOTED
DRAWN BY:	RBE
JOB:	14-008-HD6

A1.3



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

NOTE: COLORS SHOWN ARE REPRESENTATIVE ONLY
AND ARE NOT INTENDED TO BE AN ACCURATE DEPICTION
OF FINAL MATERIAL COLOR.

KEYNOTES - COLORS AND MATERIALS

1 ALUMINUM STORE-FRONT WINDOWS & DOORS,
BLOMBERG OR SIMILAR
COLOR: MEDIUM TAUPE FINISH



2 PREFINISHED HORIZONTAL METAL SIDING
COLOR: KYNAR 500 COATING :SIERRA TAN" OR SIMILAR



Sierra Tan SRI-59

3 PREFINISHED METAL STANDING SEAM ROOF
COLOR: KYNAR 500 COATING : "WEATHERED ZINC" OR SIM.



Weathered Zinc SRI-35

4 CAST IN PLACE CONCRETE WALLS, TYPICAL
COLOR: NATURAL NO COLORANT



5 STEEL TRELLIS, PAINTED
COLOR: "SADDLE TAN" OR SIMILAR



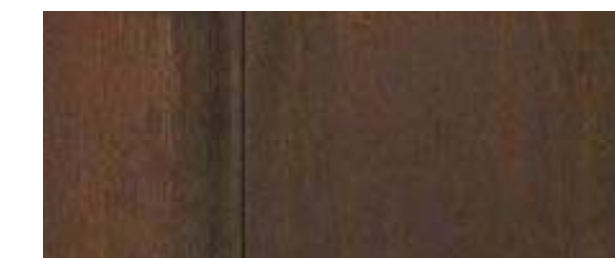
Saddle Tan SRI-33

6 STEEL COLUMNS AND BEAMS, PAINTED
COLOR: SEE KEYNOTE #5

7 METAL FENCING / SLIDING GATE
COLOR: NATURAL METAL FINISH OR COATED SIMILAR
TO KEYNOTE #5

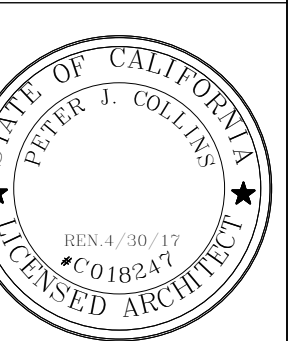
8 MECHANICAL AND TRASH ENCLOSURE DOORS
COLOR: SEE KEYNOTE #2

9 RUSTED STEEL CLADDING



ISSUED FOR:	BY:
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 APN # 020-100-014

ELEVATIONS,
COLORS, AND
MATERIALS

DATE:	6/24/2016
SCALE:	AS NOTED
DRAWN BY:	RBE
JOB:	14-008-HD6

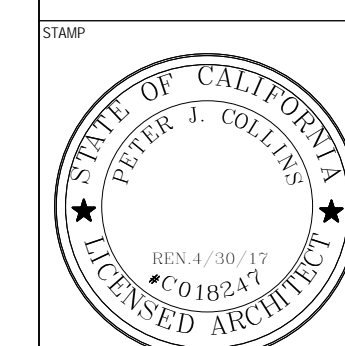
A2.1

ISSUED FOR:	BY:
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ARCHITECT



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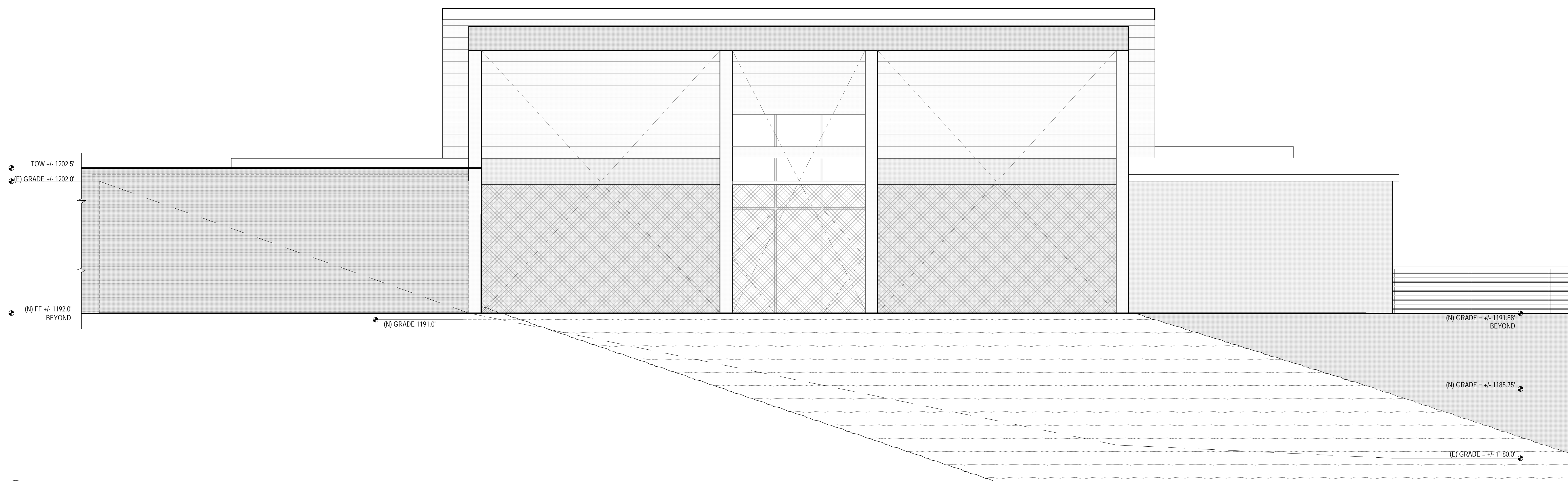
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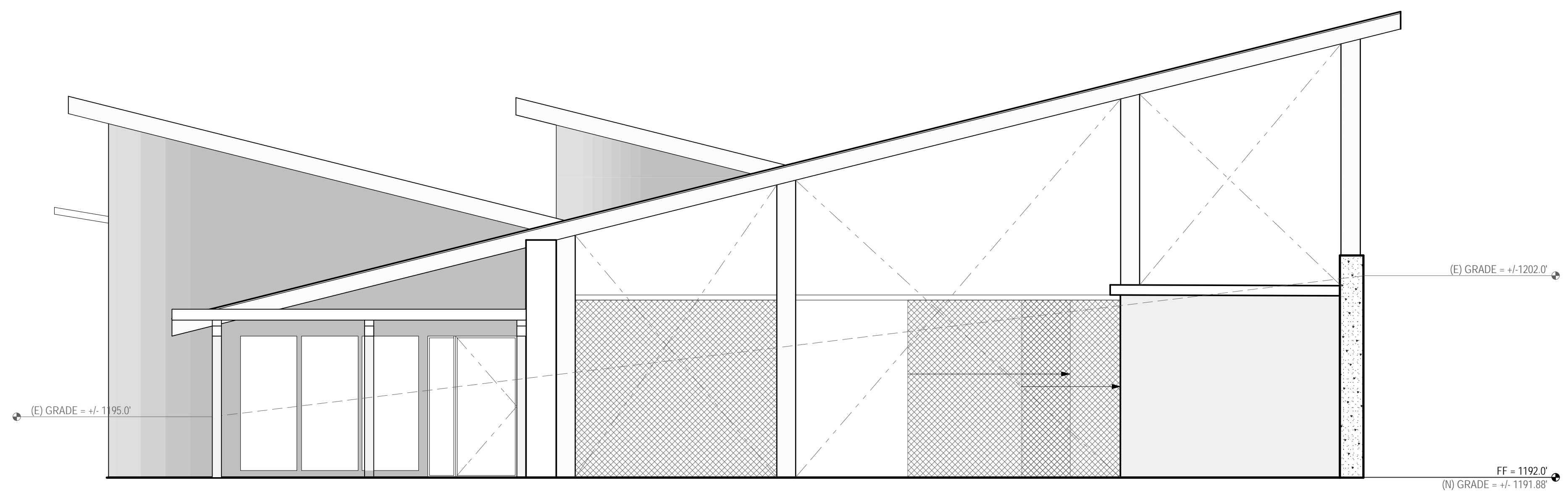
ELEVATIONS

DATE:	6/24/2016
SCALE:	AS NOTED
DRAWN BY:	RBE
JOB:	14-008-HD6

A2.2



1 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
 SCALE: 1/4" = 1'-0"

PLANTING NOTES:

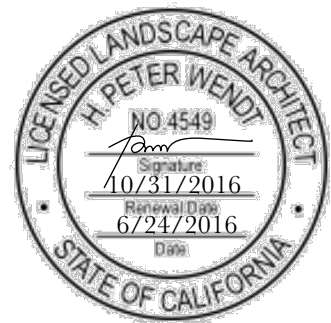
1. PRESERVE AND PROTECT NATURAL AREAS THAT ARE NOT AFFECTED BY PROPOSED CONSTRUCTION OR ASSOCIATED EARTH WORK.
2. ALL PROPOSED PLANT MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION AND WILL BE REJECTED IF NOT IN CONFORMANCE WITH INDUSTRY STANDARDS. PLANTS SHALL BE PRUNED PRIOR TO INSPECTION.
3. THE PLANT COUNT SHALL GOVERN IF ANY DISCREPANCY IS FOUND BETWEEN THE PLANT COUNT AND THE PLANTING PLAN(S).
4. PLANTING AREAS SHALL BE CLEARED OF ALL WEEDS AND DEBRIS PRIOR TO SOIL PREPARATION. IN THE CASE OF PERNICIOUS PERENNIAL WEEDS, A SYSTEMATIC HERBICIDE SHALL BE APPLIED PRIOR TO CLEARING. IF PARTICULARLY DIFFICULT WEEDS SUCH AS WILD ONION ARE ENCOUNTERED, THE LANDSCAPE ARCHITECT AND OWNERS SHALL BE ADVISED PRIOR TO PROCEEDING.
5. ALL PLANTING OPERATIONS SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH THIS TYPE OF WORK AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN.
6. THE LANDSCAPE CONTRACTOR SHALL SUPPLY AND CULTIVATE 2 INCHES OF NITROLIZED FIR BARK AND 1 INCH OF 3/16" MINUS LAVA STONE INTO THE TOP 6 INCHES OF ALL PLANTING AREAS. ROTOTILL IN LIFTS AS REQUIRED, OR HAND WORK NEAR ROOT SYSTEMS OF EXISTING TREES.
7. ALL PLANT MATERIAL SHALL BE DELIVERED TO THE JOBSITE FOR INSPECTION. PRIOR TO PLANTING, THE CONTRACTOR SHALL CONFIRM LOCATIONS OF ALL PLANTS WITH THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL GIVE 3 DAYS NOTICE OF PLANT DELIVERY AND PLACEMENT.
8. ON COMPLETION OF PLANTING AND IRRIGATION INSTALLATION, ALL PLANTED AREAS SHALL RECEIVE A UNIFORM LAYER OF 2 INCHES OF FIR BARK WOOD MULCH. CONTRACTOR SHALL PROVIDE A SAMPLE OF MULCH PRIOR TO ORDERING.
9. THE LANDSCAPE CONTRACTOR SHALL MAKE NO CHANGES TO THE PLANT LAYOUT WITHOUT CONSENT OF THE LANDSCAPE ARCHITECT.
10. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL NEW PLANTINGS FOR A 6 MONTH PERIOD OR UNTIL THERE IS EVIDENCE OF POSITIVE GROWTH. THE GUARANTEE PERIOD SHALL BEGIN AFTER FINAL INSPECTION AND APPROVAL.
11. ANY PLANTS THAT DIE OR ARE DAMAGED SHALL BE REPLACED IMMEDIATELY.

NUMBER	DESCRIPTION	WATER USE
H1	LOW DENSITY PLANTING	LOW/DRIP
H2	LOW DENSITY PLANTING	LOW/DRIP
H3	LOW DENSITY PLANTING	LOW/DRIP
H4	LOW DENSITY PLANTING	LOW/DRIP
H5	TREES	LOW/DRIP
H6	MED. DENSITY PLANTING	LOW/DRIP
H7	LOW DENSITY PLANTING	LOW/DRIP
H8	TREES	LOW/DRIP

HYDROZONE NUMBERS CORRESPOND WITH VALVE NUMBERS ON IRRIGATION PLAN.

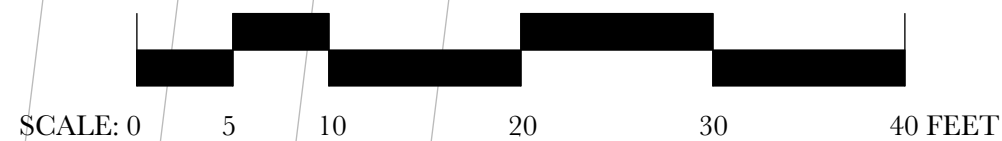
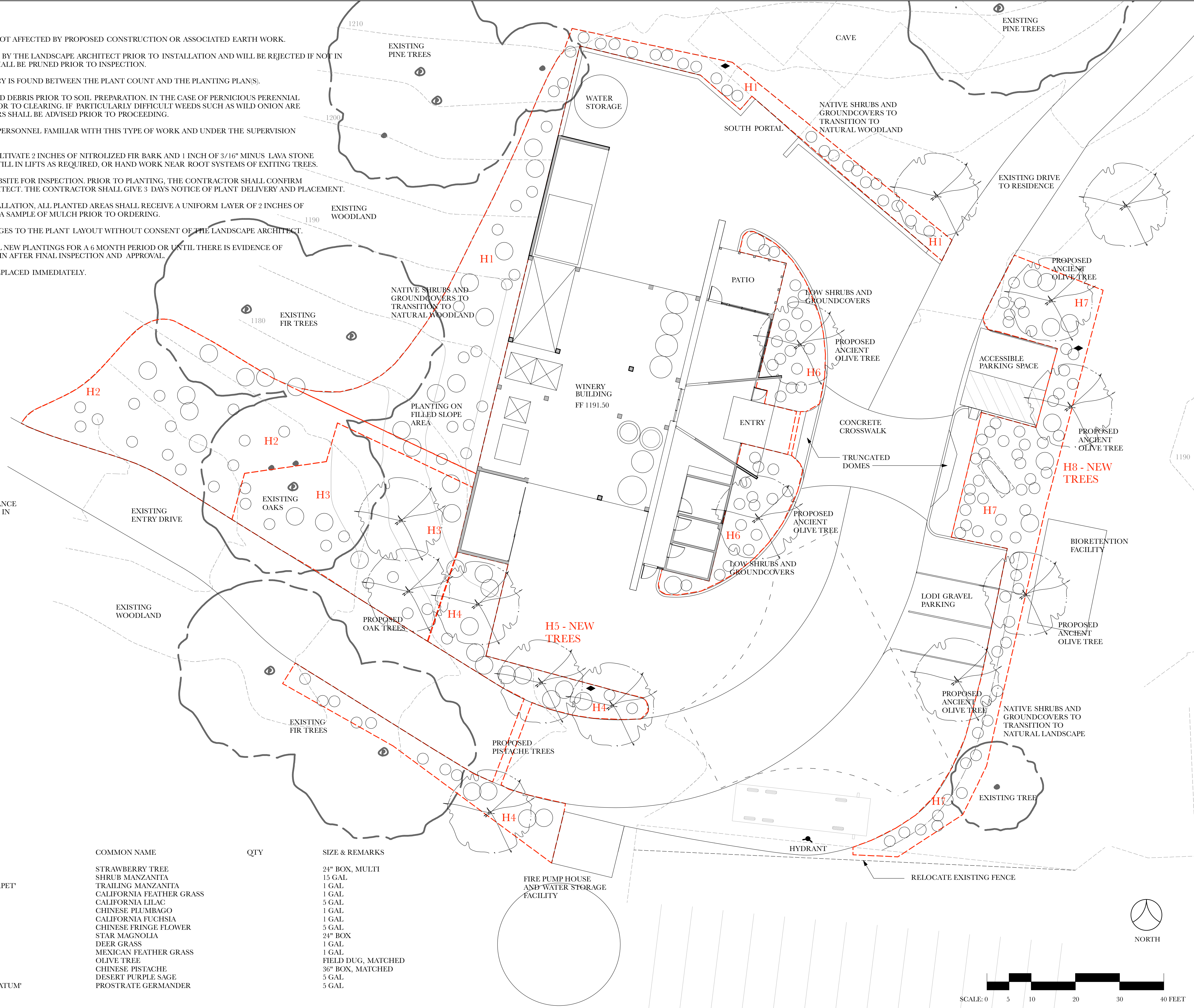
STATEMENT OF COMPLIANCE:

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



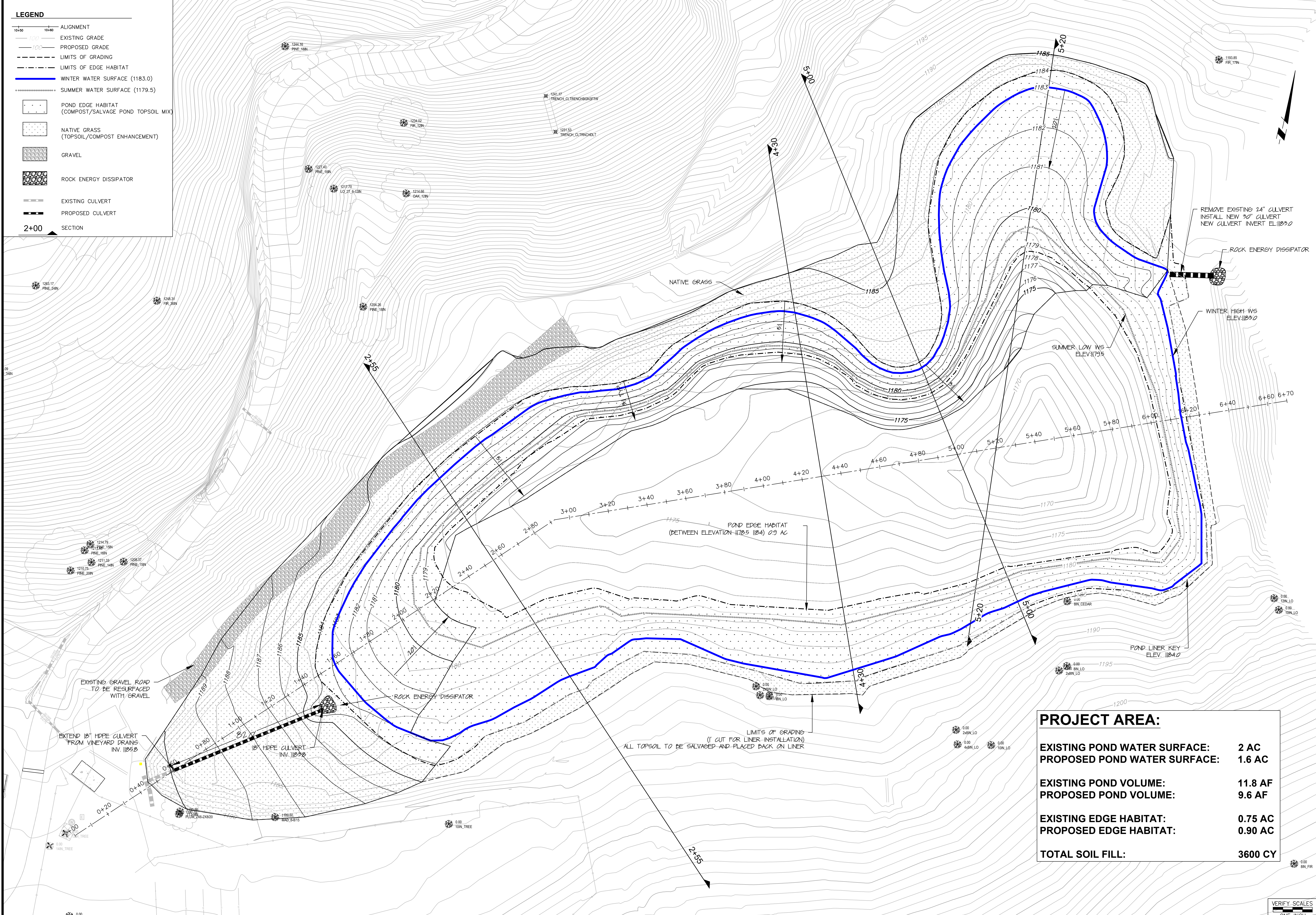
PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE & REMARKS
A	ARBUTUS MARINA	STRAWBERRY TREE		24" BOX, MULTI
B	ARCTOSTAPHYLOS DENSIFLORA	SHRUB MANZANITA		15 GAL
C	ARCTOSTAPHYLOS 'EMERALD CARPET'	TRAILING MANZANITA		1 GAL
D	CALAMAGROSTIS FOLIOSA	CALIFORNIA FEATHER GRASS		1 GAL
E	CEANOTHUS 'TILDEN PARK'	CALIFORNIA LILAC		5 GAL
F	CERATOSTIGMA WILMOTTIANUM	CHINESE PLUMBAGO		1 GAL
G	EPILOBIUM CANUM	CALIFORNIA FUCHSIA		1 GAL
H	LOROPETALUM C. 'RUBRUM'	CHINESE FRINGE FLOWER		5 GAL
J	MAGNOLIA STELLATA	STAR MAGNOLIA		24" BOX
K	MUHLENBERGIA RIGENS	DEER GRASS		1 GAL
L	NASSELA TENUISSIMA	MEXICAN FEATHER GRASS		1 GAL
M	OLEA SP.	OLIVE TREE		FIELD DUG, MATCHED
N	PISTACEA CHINENSIS	CHINESE PISTACHE		36" BOX, MATCHED
P	SALVIA DORRII	DESERT PURPLE SAGE		5 GAL
Q	TEUCRIUM CHAMAEDRYIS 'PROSTRATUM'	PROSTRATE GERMANDER		5 GAL



LEGEND

- 10+50 10+40 ALIGNMENT
- EXISTING GRADE
- PROPOSED GRADE
- LIMITS OF GRADING
- LIMITS OF EDGE HABITAT
- WINTER WATER SURFACE (1183.0)
- SUMMER WATER SURFACE (1179.5)
- POND EDGE HABITAT (COMPOST/SALVAGE POND TOPSOIL MIX)
- NATIVE GRASS (TOPSOIL/COMPOST ENHANCEMENT)
- GRAVEL
- ROCK ENERGY DISSIPATOR
- EXISTING CULVERT
- PROPOSED CULVERT
- 2+00 SECTION



PROJECT AREA:

EXISTING POND WATER SURFACE:	2 AC
PROPOSED POND WATER SURFACE:	1.6 AC
EXISTING POND VOLUME:	11.8 AF
PROPOSED POND VOLUME:	9.6 AF
EXISTING EDGE HABITAT:	0.75 AC
PROPOSED EDGE HABITAT:	0.90 AC
TOTAL SOIL FILL:	3600 CY



PREPARED FOR:
HARD SIX CELLARS
 1755 DIAMOND MTN RD.
 CALISTOGA, CA 94515

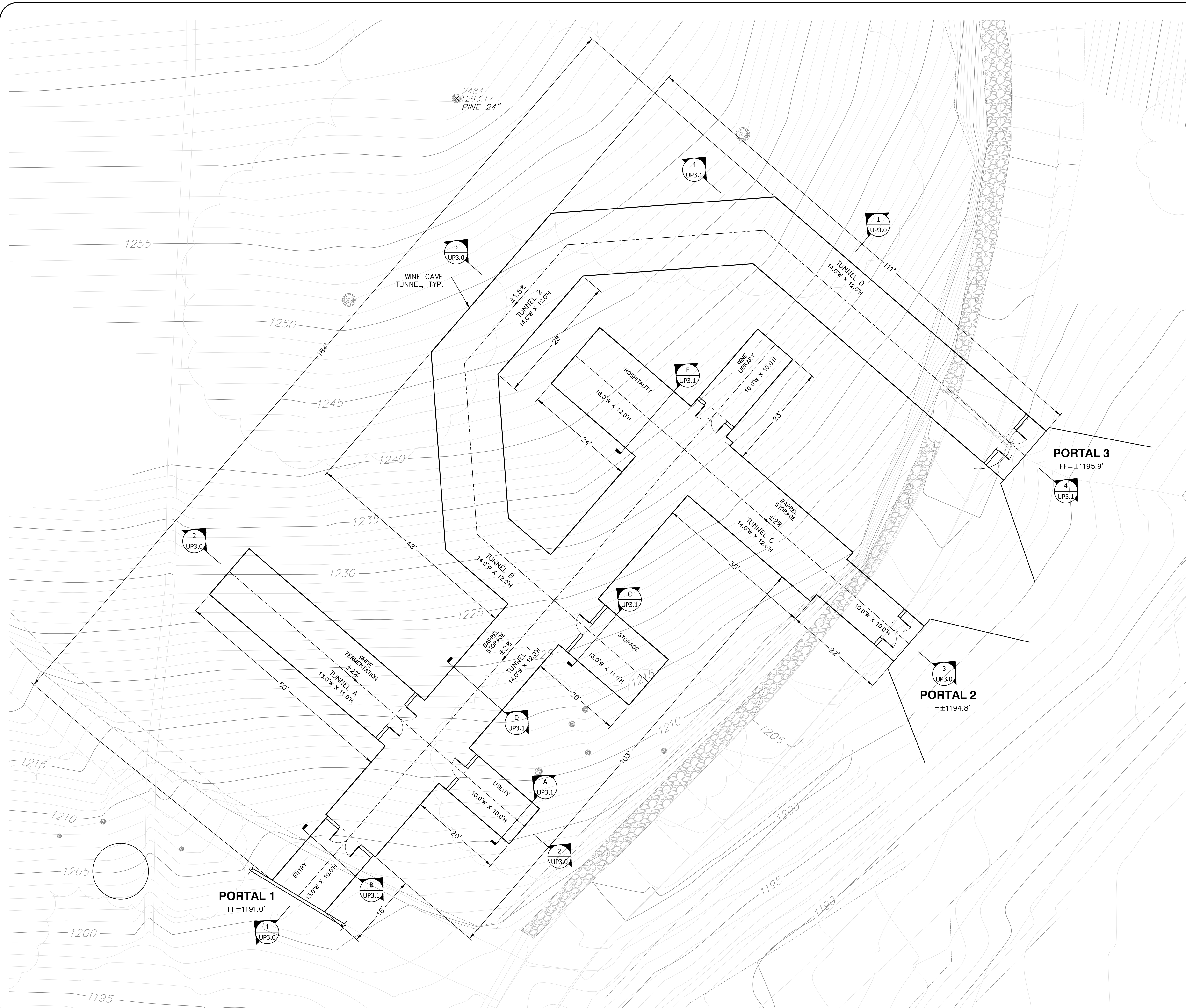


DATE:	6/24/2016	SCALE:	1"=20'
MAPPING BY:	MJ	DESIGNED BY:	JRH
DRAFTED BY:	JRH	CHECKED BY:	MJ

**HARD SIX CELLARS
 PRELIMINARY POND
 RESTORATION PLAN
 USE PERMIT**

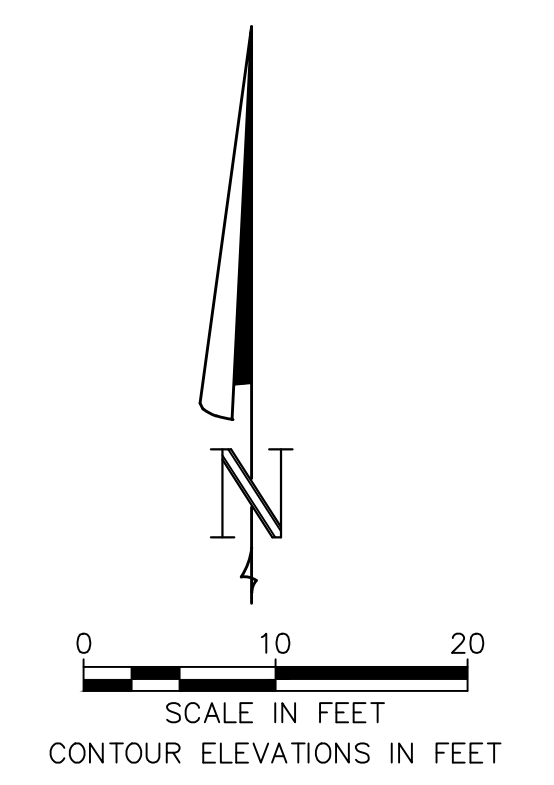
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 Plot Date: 6/22/2016 5:12 PM Layout: RESTORATION PLAN





TUNNEL DESCRIPTION:		FLOOR AREA
BARREL STORAGE	(PRODUCTION FACILITY)	= 4,953 SF
FERMENTATION	(PRODUCTION FACILITY)	= 624 SF
BBL STORAGE / FERMENTATION ACCESSORY	(PRODUCTION FACILITY)	= 414 SF
CAVE PRODUCTION FACILITY TOTAL		= 5,991 SF
ACCESSORY USE		= 1,143 SF
CAVE ACCESSORY USE TOTAL		= 1,143 SF
WINE CAVE TOTAL		= 7,134 SF

ESTIMATED CAVE SPOILS VOLUME:	
IN-PLACE TUNNEL VOLUME	= 3,586 CY
BULKING FACTOR WHEN RECOMPACTED TO 90%	= 1.10
TOTAL FACTORED TUNNEL SPOILS	= 3,945 CY

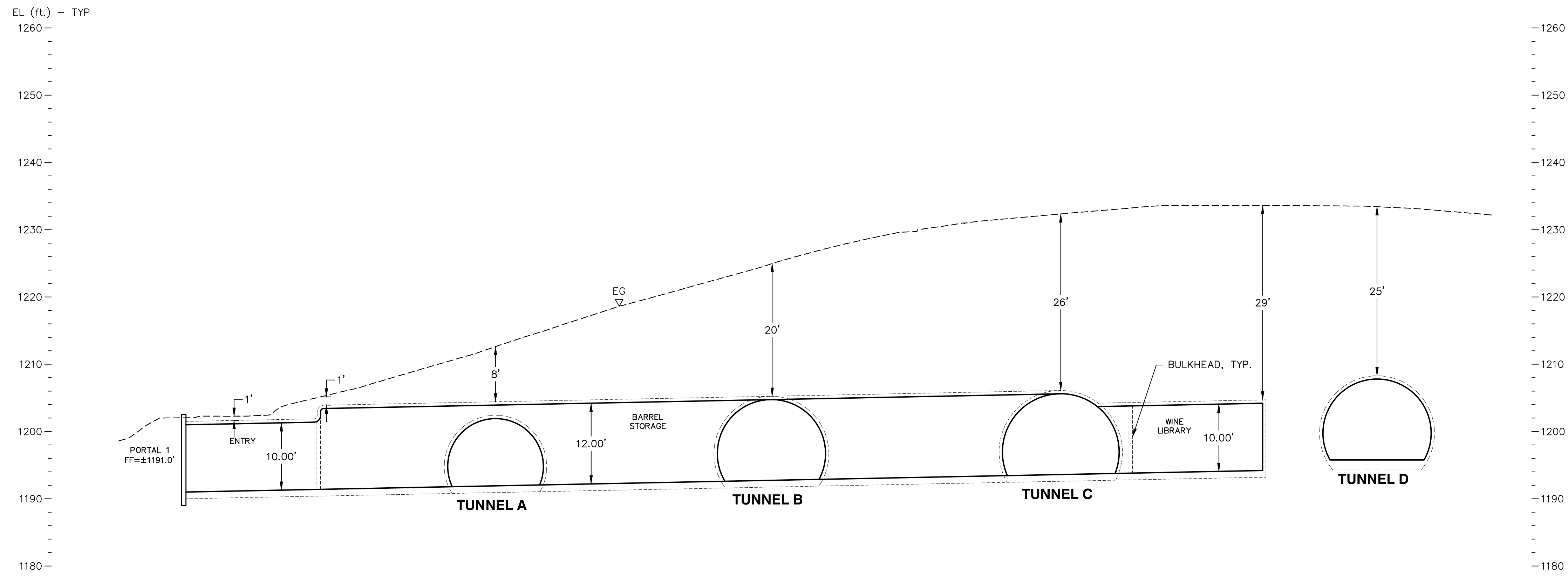


**FOR PLAN REVIEW ONLY
NOT FOR CONSTRUCTION**

REVISIONS			
0	06.24.16	SWL	FOR PERMIT
REV#	DATE	BY	DESCRIPTION
HARD SIX CELLARS			
WINE CAVE			
PLAN			
			SHEET UP2.0
<small>21663 Brian Lane P.O. Box 3805 Sonoma, CA 95370 (209) 532-0361 fax(209) 532-0773 www.condorearth.com</small>			
JOB# 7227	DRAWN: KGM	SCALE: AS SHOWN	
PRINTED:	CHECKED: SWL	FILE: 7227_LP2	

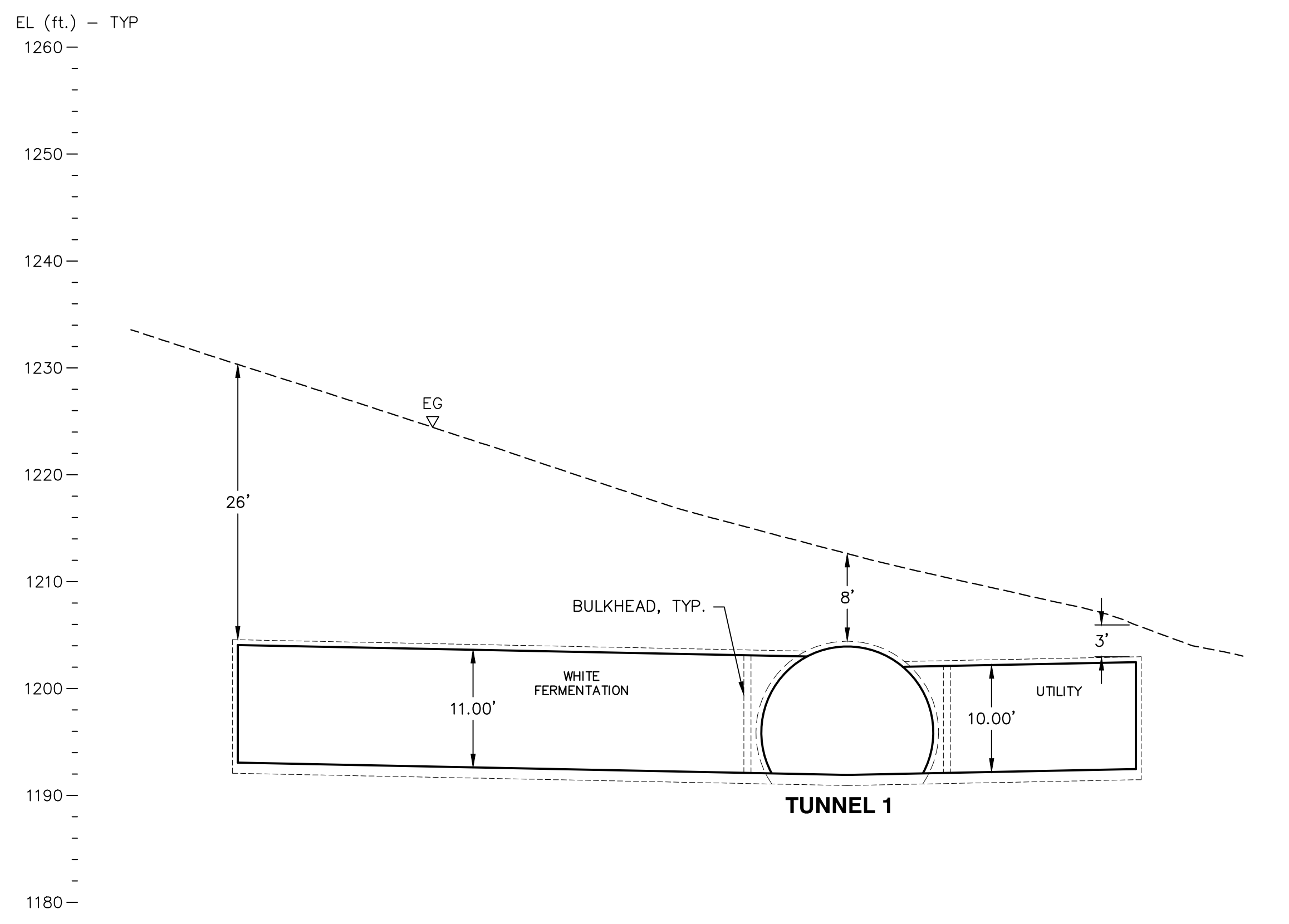
DISCLAIMER: THIS PLAN REPRESENTS FEATURES FOR ILLUSTRATION PURPOSES ONLY. IT IS NOT A LEGAL SURVEY AND IS NOT INTENDED FOR USE IN DETERMINING BOUNDARIES OR DIMENSIONS. ANY USE OF THIS PLAN FOR PURPOSES OTHER THAN FOR APPROXIMATE LOCATION OF FEATURES IS DONE SO AT THE USER'S RISK AND WITHOUT THE CONSENT OF CONDOR EARTH TECHNOLOGIES, INC.

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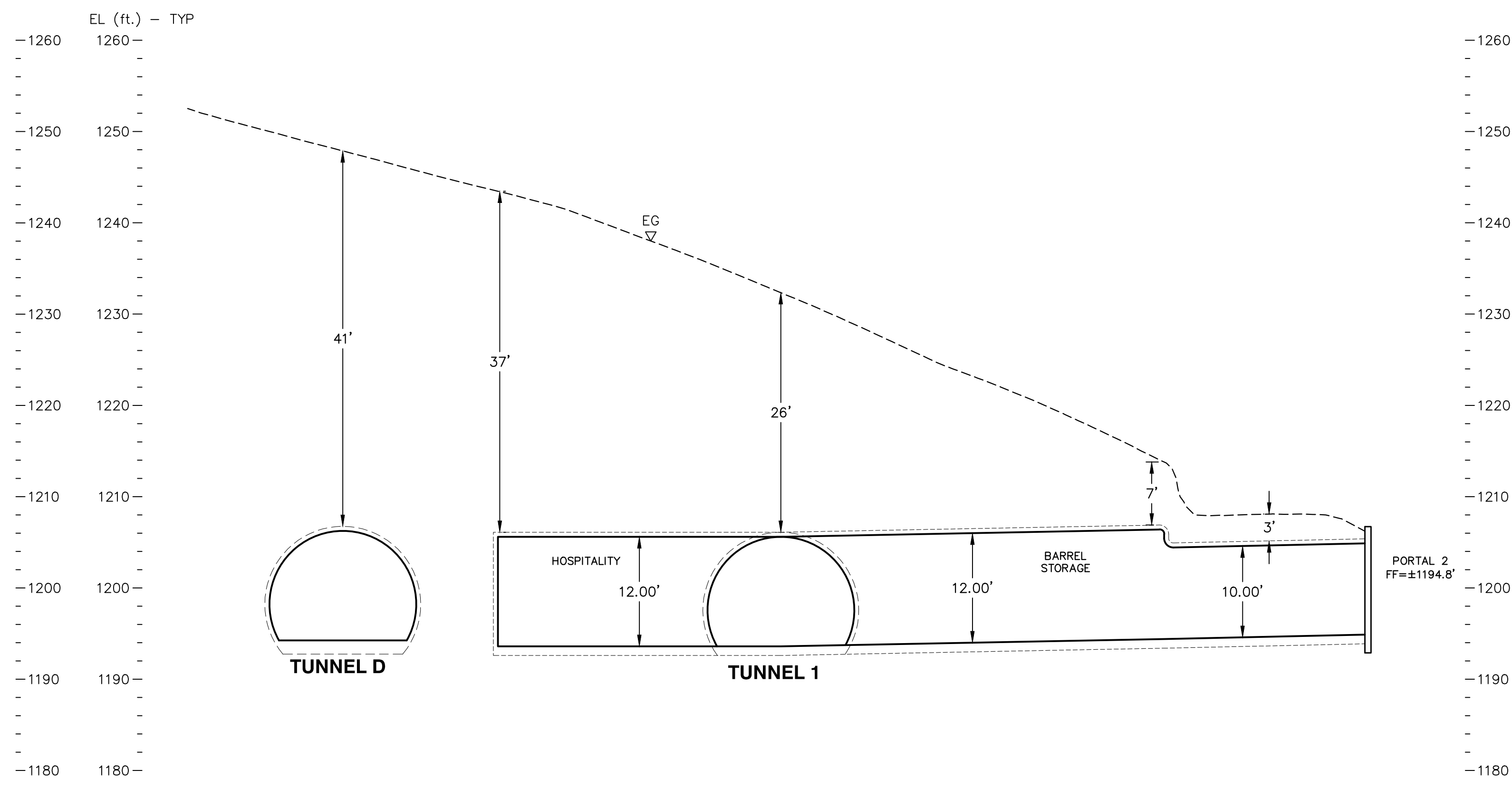
1 TUNNEL 1 PROFILE
PROFILE

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SCALE IN FEET
SCALE: AS SHOWN



2 TUNNEL A PROFILE
PROFILE

0 10
SCALE IN FEET
SCALE: AS SHOWN



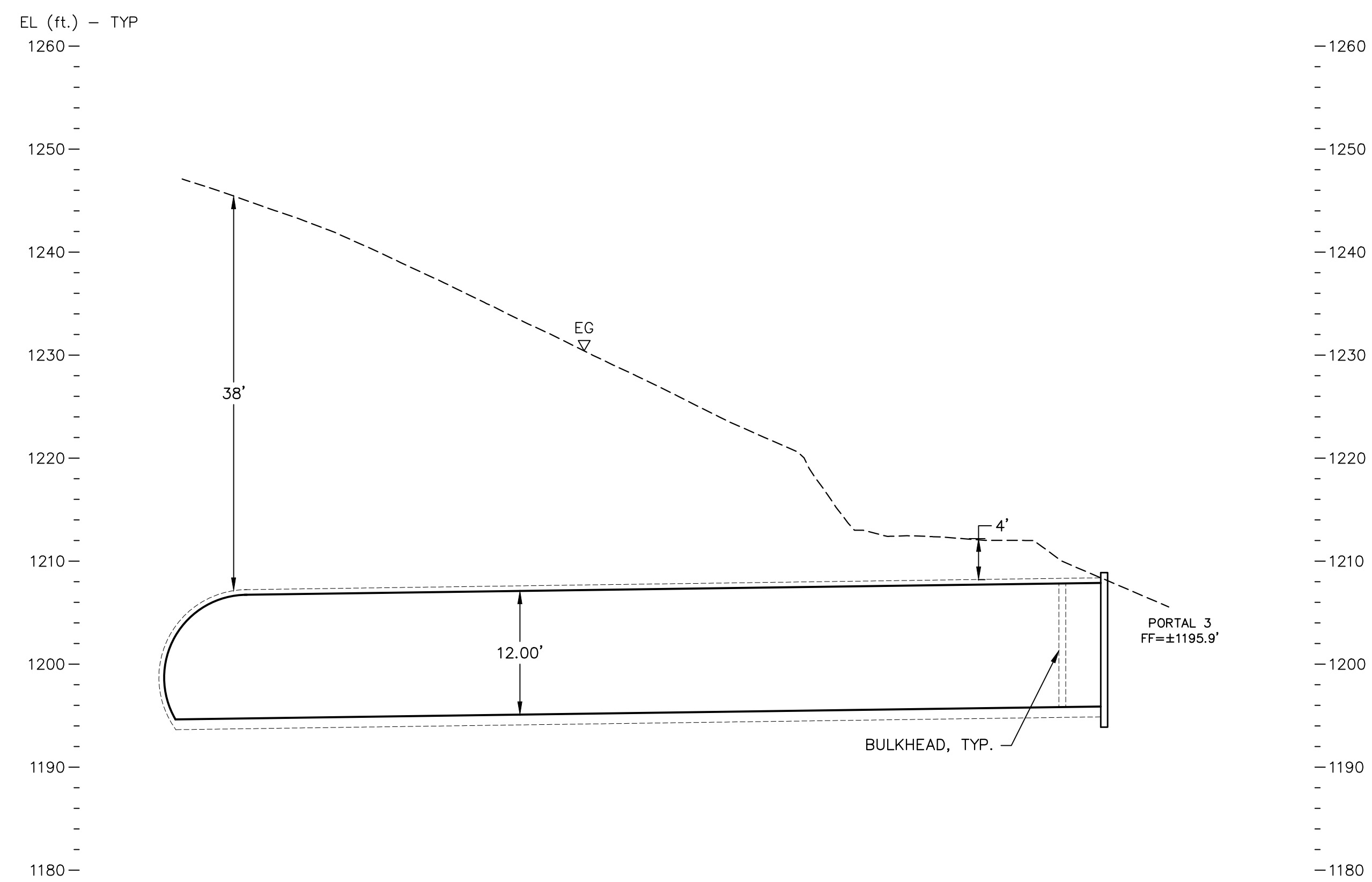
3 TUNNEL C PROFILE
PROFILE

0 10
SCALE IN FEET
SCALE: AS SHOWN

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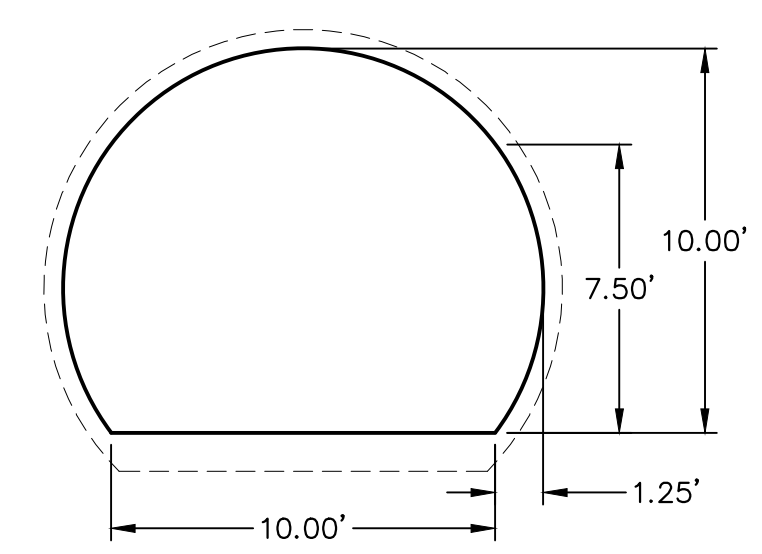
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REV#	DATE	BY	DESCRIPTION
HARD SIX CELLARS			
WINE CAVE			
PROFILES			
CONDOR EARTH TECHNOLOGIES, INC.		SHEET	
21663 Brian Lane P.O. Box 3805 Sonoma, CA 95370 (209) 532-0361 fax(209) 532-0773 www.condorearth.com		UP3.0	
JOB# 7227	DRAWN: KGM	SCALE: AS SHOWN	
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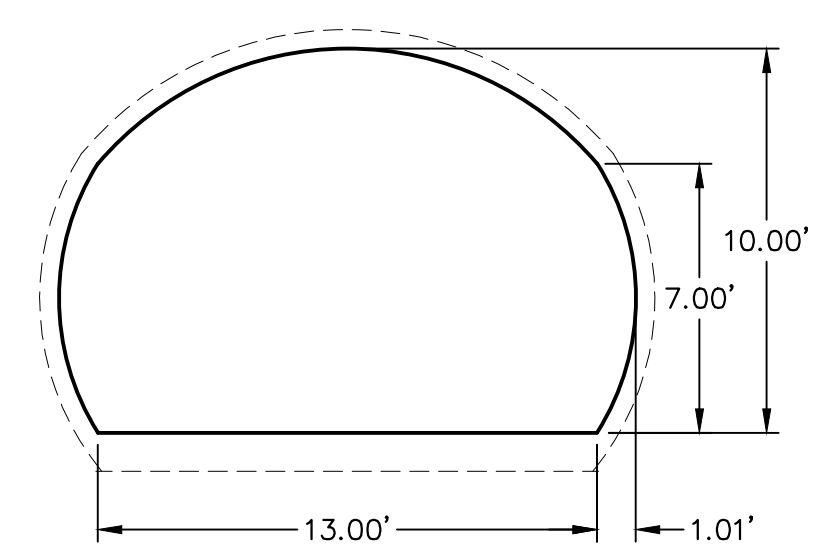


4 TUNNEL D PROFILE
PROFILE

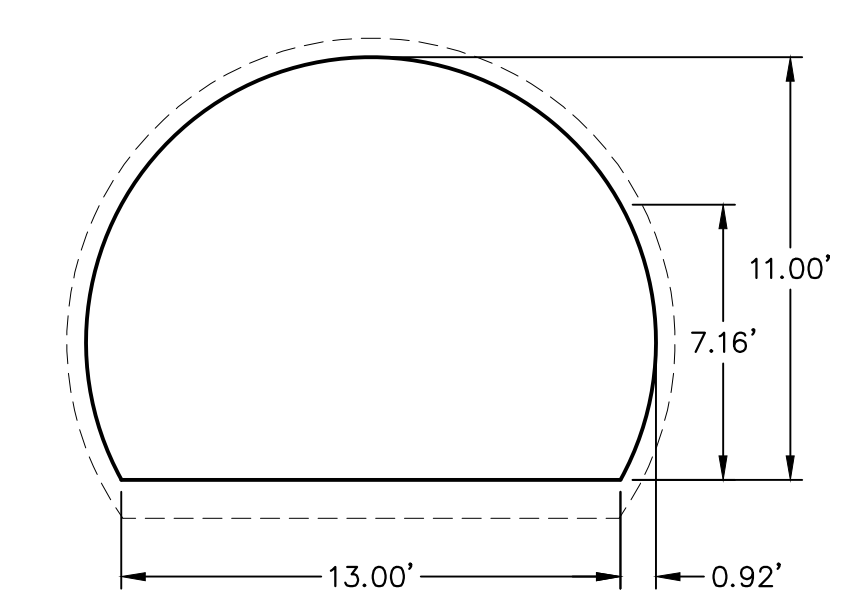
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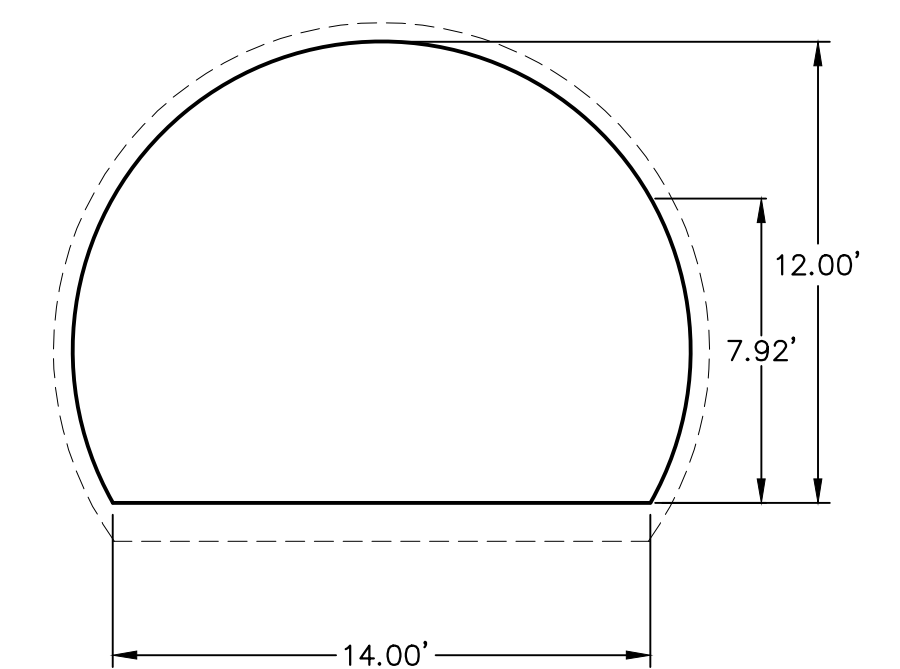
A 10.0' W X 10.0' H TUNNEL
WINE LIBRARY, UTILITY SCALE: AS SHOWN



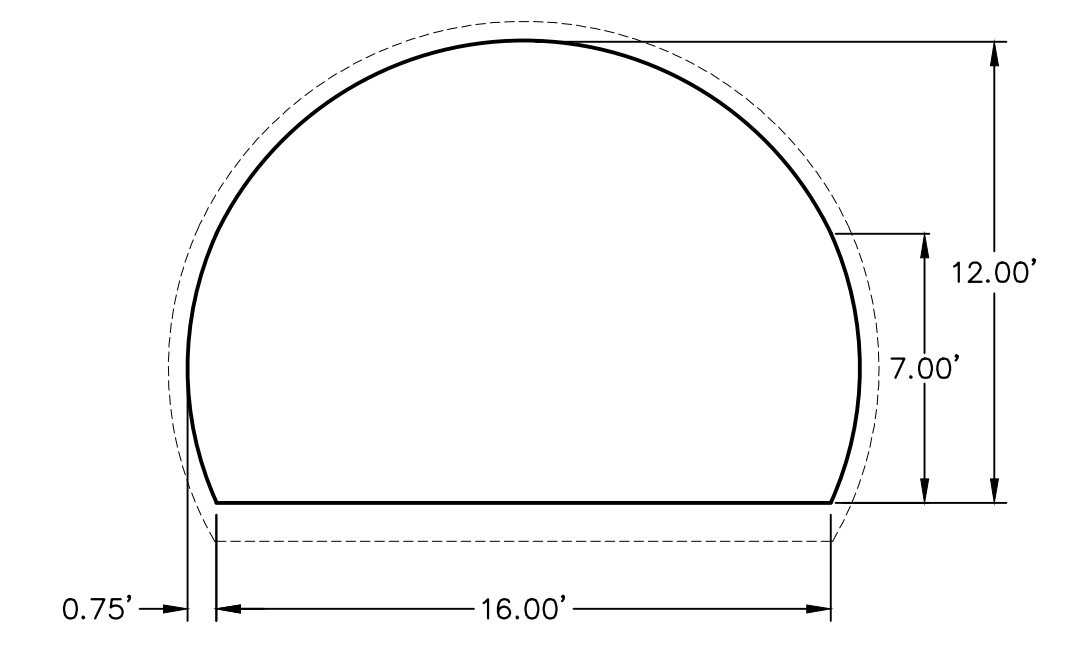
B 13' W X 10' H TUNNEL
ENTRY SCALE: AS SHOWN



C 13' W X 11' H TUNNEL
WHITE FERMENTATION, STORAGE SCALE: AS SHOWN



D 14.0' W X 12.0' H TUNNEL
BARREL STORAGE SCALE: AS SHOWN



E 16.0' W X 12.0' H TUNNEL
HOSPITALITY SCALE: AS SHOWN

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NOT FOR CONSTRUCTION*

REV#	DATE	BY	DESCRIPTION
0	06.24.16	SWL	FOR PERMIT

HARD SIX CELLARS

WINE CAVE

PROFILE AND SECTIONS

CONDOR EARTH TECHNOLOGIES, INC.

21663 Brian Lane
P.O. Box 3805
Sonoma, CA 95370
(209) 532-0361
fax(209) 532-0773
www.condorearth.com

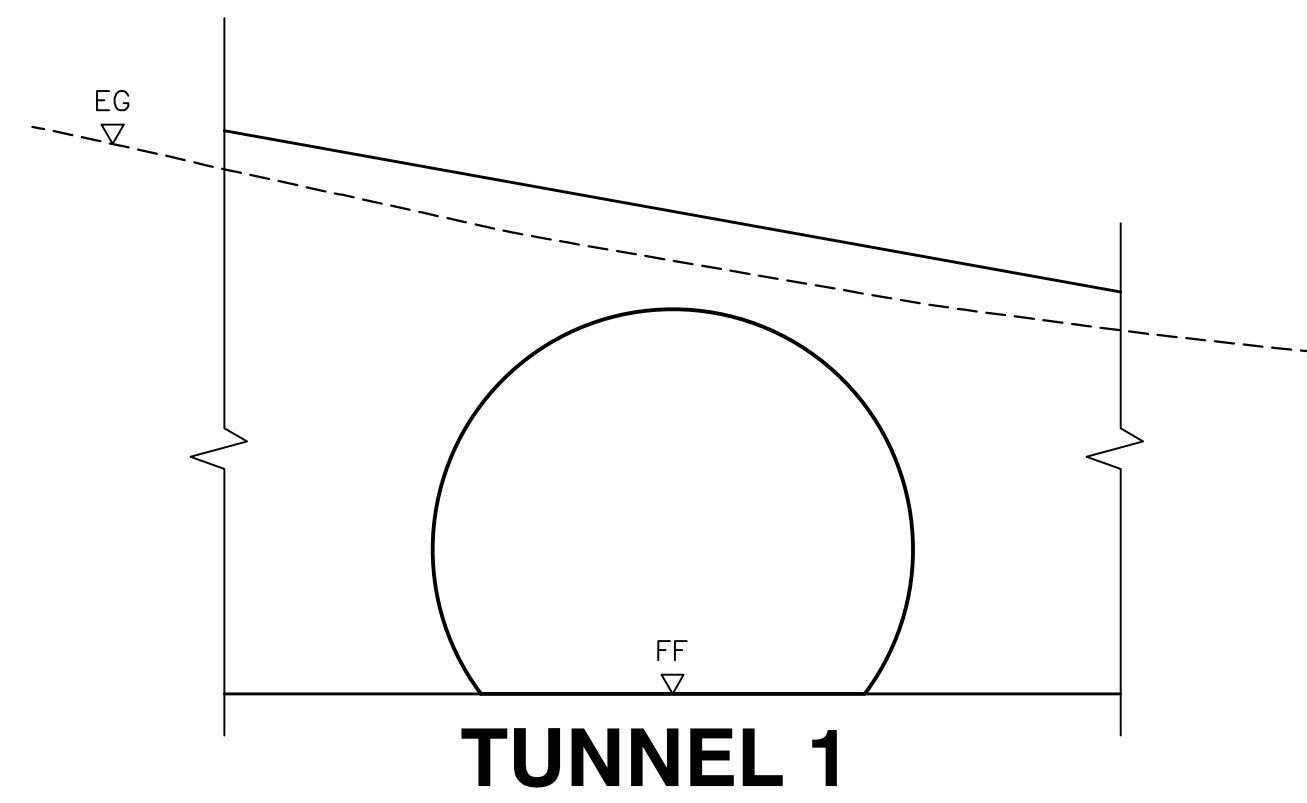
CONDOR

**SHEET
UP3.1**

JOB#: 7227 DRAWN: KGM SCALE: AS SHOWN
PRINTED: CHECKED: SWL FILE: 7227_UP3

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EL (ft.) - TYP
1210 -
-
-
-
1200 -
-
-
-
1190 -
-
-
1180 -

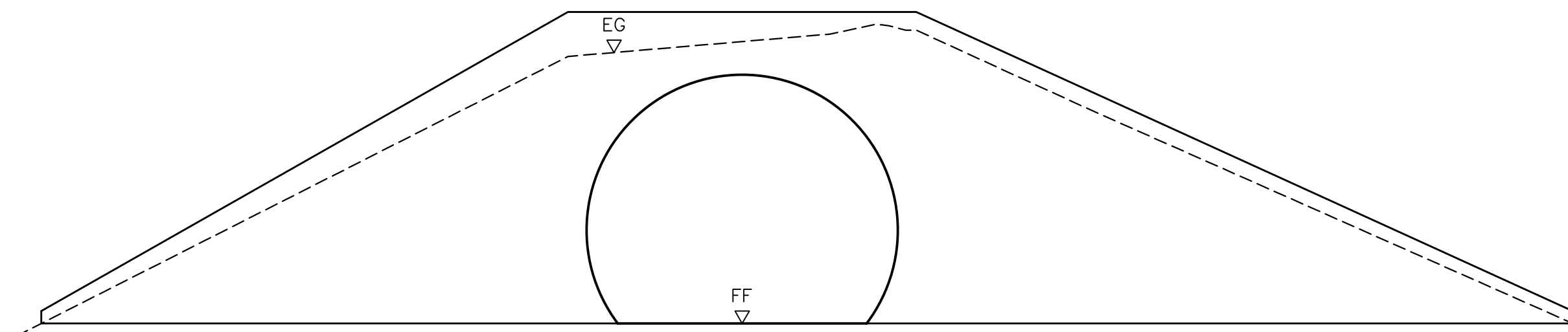


TUNNEL 1

PORTAL 1 ELEVATION

0 5
SCALE IN FEET
SCALE: AS SHOWN

EL (ft.) - TYP
1220 -
-
-
-
1210 -
-
-
-
1200 -
-
-
1190 -
-
-
1180 -

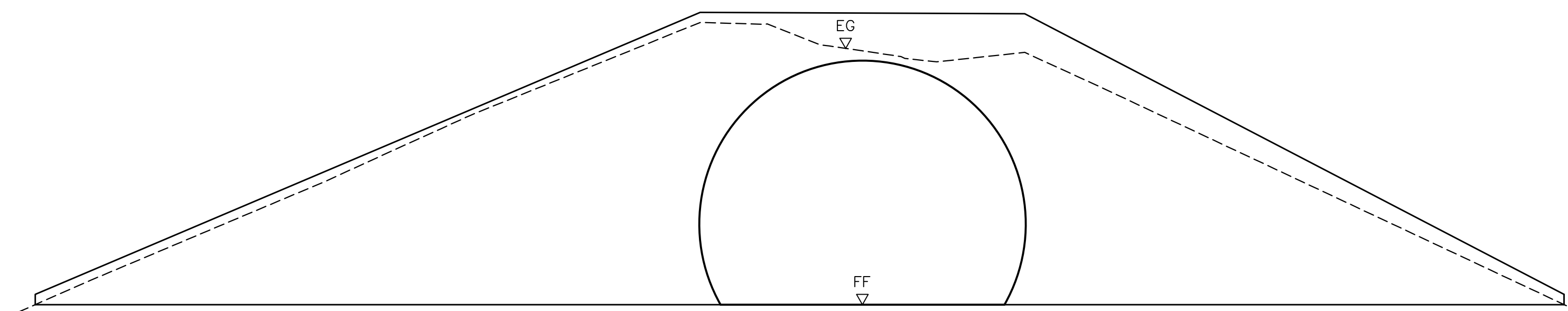


TUNNEL C

PORTAL 2 ELEVATION

0 5
SCALE IN FEET
SCALE: AS SHOWN

EL (ft.) - TYP
1220 -
-
-
-
1210 -
-
-
-
1200 -
-
-
1190 -
-
-
1180 -



TUNNEL D

PORTAL 3 ELEVATION

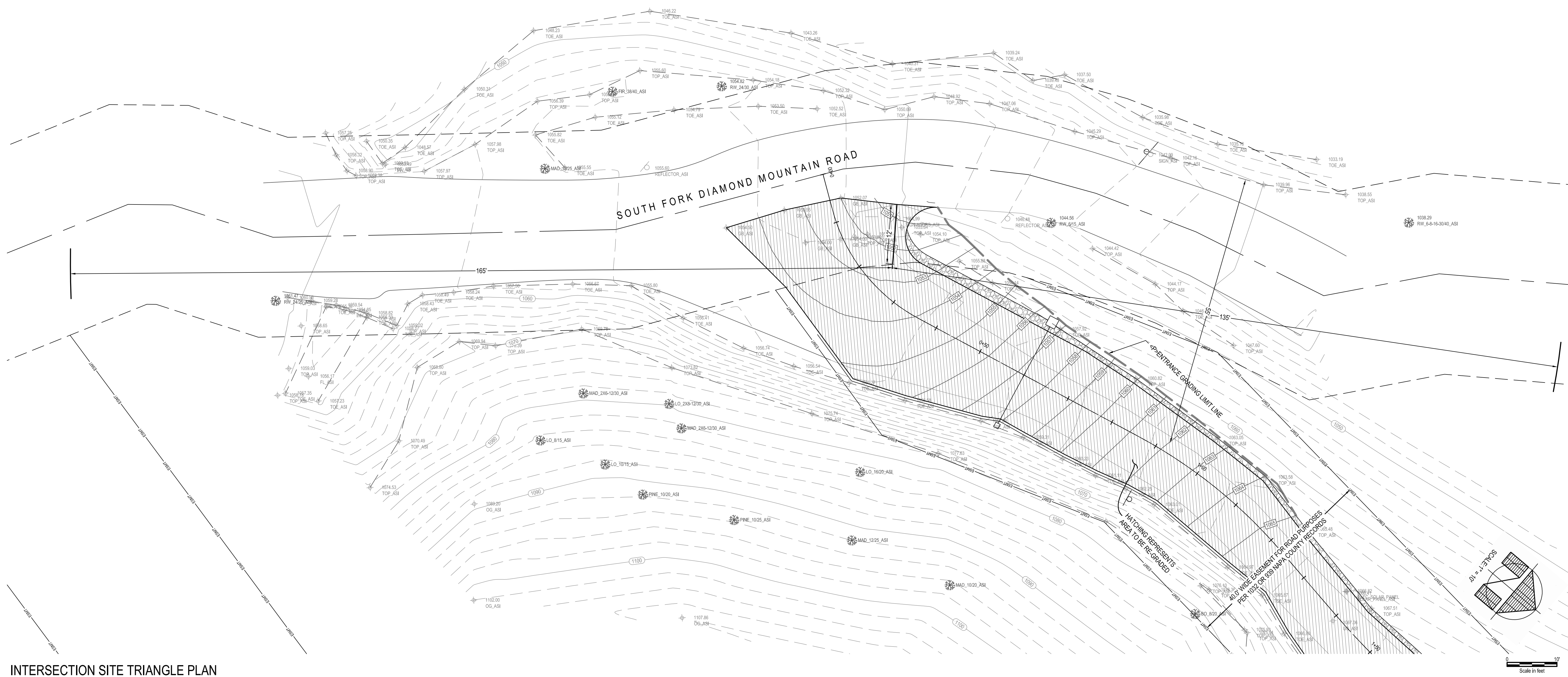
0 5
SCALE IN FEET
SCALE: AS SHOWN

-1220
-
-
-
-
-1210
-
-
-
-1200
-
-
-
-1190
-
-
-1180

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REV#	DATE	BY	DESCRIPTION
0	06.24.16	SWL	FOR PERMIT
HARD SIX CELLARS			
WINE CAVE			
PORTAL ELEVATIONS			
CONDOR EARTH TECHNOLOGIES, INC. 21663 Brian Lane P.O. Box 3805 Sonoma, CA 95370 (209) 532-0361 fax(209) 532-0773 www.condorearth.com			SHEET UP4.0
JOB#:	7227	DRAWN:	KGM
PRINTED:		CHECKED:	SWL
SCALE:	AS SHOWN	FILE:	7227_IP4

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INTERSECTION SITE TRIANGLE PLAN

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.

DELTA CONSULTING & ENGINEERING
OF ST. HELENA
1104 ADAMS STREET, SUITE 203 - ST. HELENA, CALIFORNIA 94574
707-963-8456 + 707-963-8528 FAX

USE PERMIT
INTERSECTION SIGHT TRIANGLE

HARD SIX CELLARS
1755 S. FORK DIAMOND MOUNTAIN ROAD
CALISTOGA, CA 94515
APN: 020-100-014
PROJECT: N-116



EVERY PERSON PLANNING TO DIG
CALL USA AT 1-800-252-2909

FOR MORE INFORMATION
SEE WWW.USANDOT.ORG

DATE	ISSUE
06/24/16	PERMIT SET
05/16/17	PLAN CHECK
12/18/17	PLAN CHECK
03/12/18	PLAN CHECK
01/18/19	RESUBMITTAL SHEET

REVISIONS	
△	03/12/18 NEW SHEET DEDICATED TO ENTRANCE SITE TRIANGLE
△	01/18/19 NO CHANGES

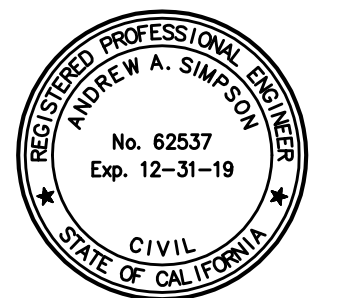
UP 2.7

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

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OF ST. HELENA
1104 ADAMS STREET, SUITE 203 - ST. HELENA, CALIFORNIA 94574
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USE PERMIT
WINERY COVERAGE

HARD SIX CELLARS
1755 S. FORK DIAMOND MOUNTAIN ROAD
CALISTOGA, CA 94515
APN: 020-100-014
PROJECT: N-116

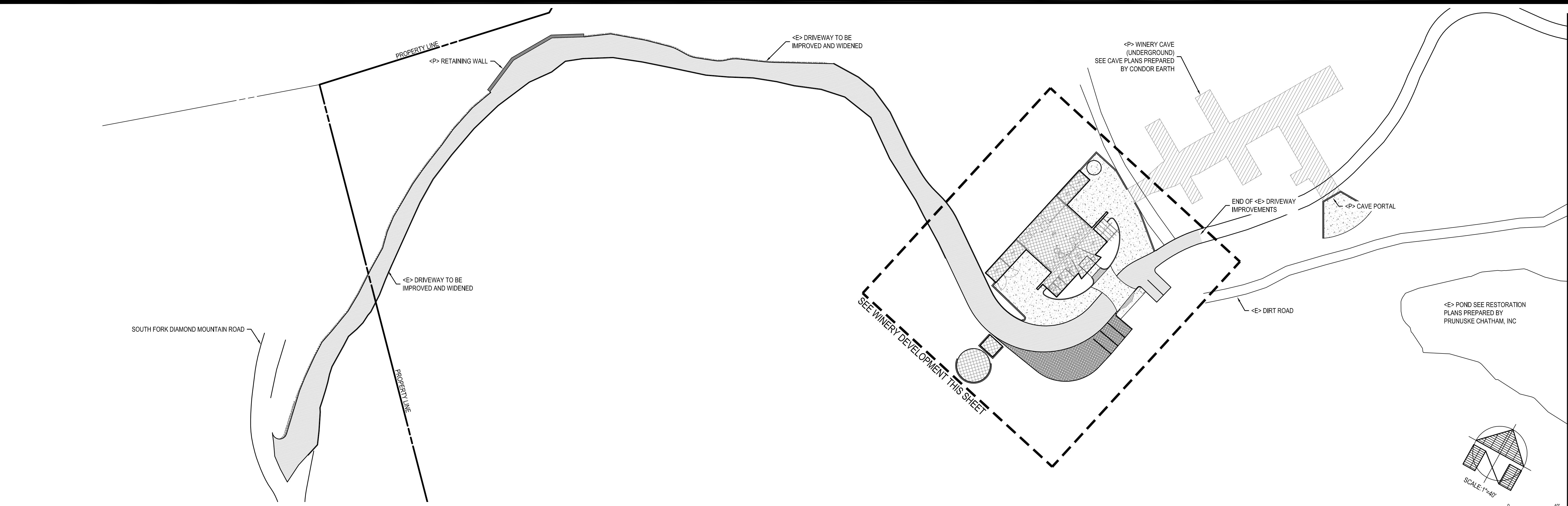


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CALL USA AT 1-800-252-2000

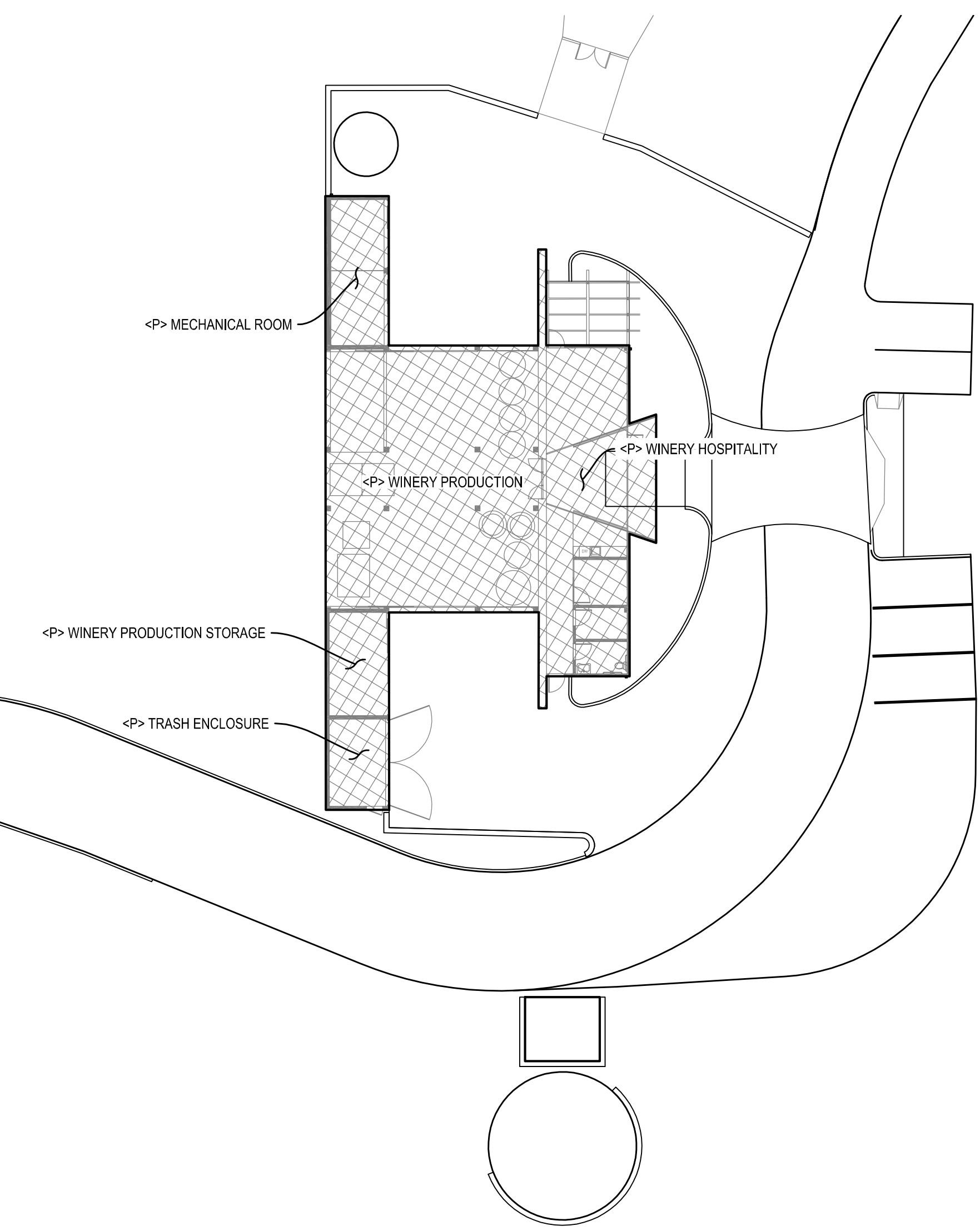
FOR MORE INFORMATION SEE WWW.USANDOTY.ORG

DATE	ISSUE
06/24/16	PERMIT SET
05/16/17	PLAN CHECK
12/18/17	PLAN CHECK
03/12/18	PLAN CHECK
01/18/19	RESUBMITTAL SHEET

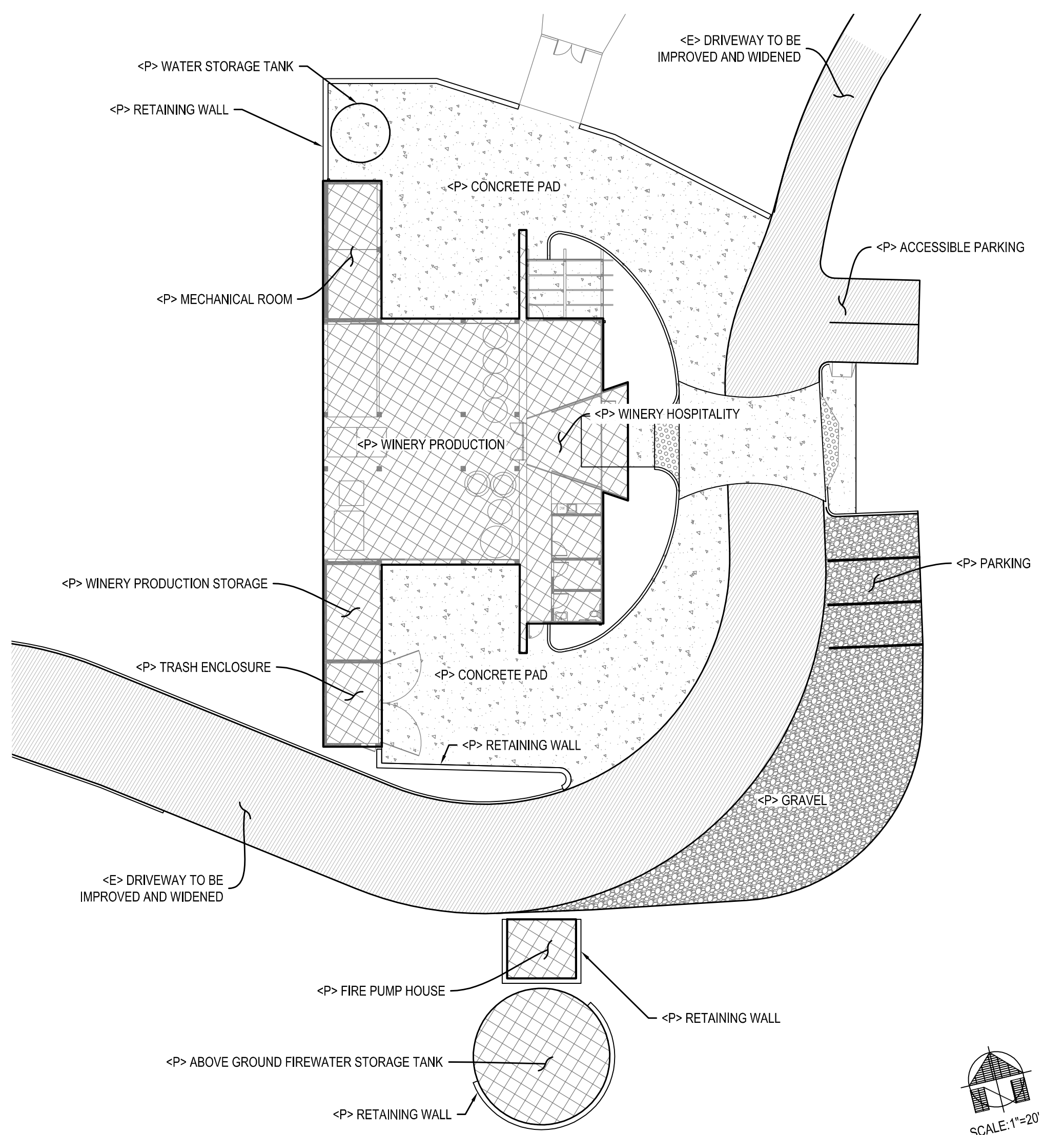
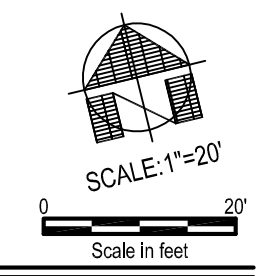
UP4.0



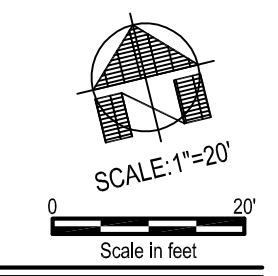
COVERAGE - WINERY OVERALL SITE PLAN



WINERY DEVELOPMENT



WINERY COVERAGE



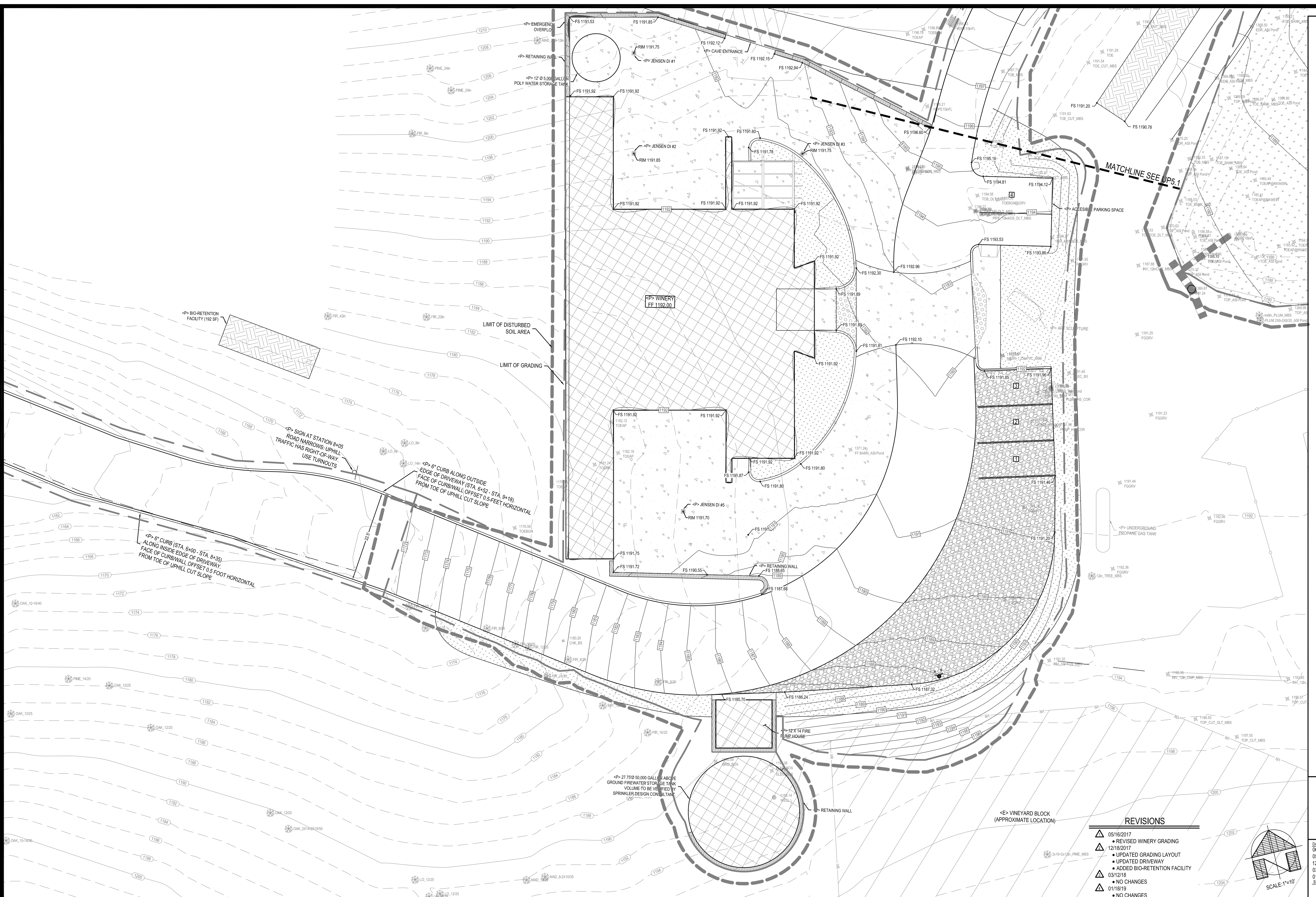
WINERY COVERAGE AND DEVELOPMENT AREAS

AREA	COVERAGE (FT ²)	DEVELOPMENT (FT ²)
<P> WINERY PRODUCTION	2,606	2,606
<P> WINERY HOSPITALITY	893	893
<P> TRASH ENCLOSURE	200	200
<P> MECHANICAL ROOM	274	274
<P> FIREWATER STORAGE TANK	605	
<P> FIRE PUMP HOUSE	168	
<P> CONCRETE PAD	6,355	
<P> WINERY CAVE CONCRETE PAD	960	
<P> PAVED PARKING	306	
<P> GRAVEL AREA & PARKING	2,310	
<E> DRIVEWAY TO BE WIDENED AND IMPROVED	19,529	
TOTAL DEVELOPMENT AREA (FT ²):		3,969
TOTAL COVERAGE (FT ²):	34,325	
TOTAL COVERAGE (ACRES):	0.79	
TOTAL PARCEL (ACRES):	56.31	
PERCENT COVERAGE:	1.40%	

NOTE:
1. HATCHING DENOTES THE AREAS INCLUDED IN THE CALCULATIONS FOR THE "WINERY DEVELOPMENT AREA" AND THE "WINERY COVERAGE" ACCORDING TO THE DEFINITIONS FOUND IN THE SUPPLEMENTAL APPLICATION FOR WINERY USES IN THE USE PERMIT APPLICATION.

REVISIONS

- 05/16/2017
 - 12/18/2017
 - 03/12/18
 - 01/18/19
- NO CHANGES THIS SHEET
 - NO CHANGES THIS SHEET
 - NO CHANGES
 - NO CHANGES



GRADING PLAN

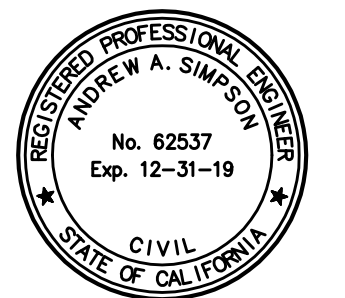
CONSTRUCTION OF THIS PROJECT SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA CIVIL ENGINEERING PRACTICE ACT AND ALL APPLICABLE REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL FIELD DATA AND FOR OBTAINING ALL NECESSARY SURVEY DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL FIELD DATA AND FOR OBTAINING ALL NECESSARY SURVEY DATA.

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USE PERMIT
GRADING PLAN

HARD SIX CELLARS
1755 S. FORK DIAMOND MOUNTAIN ROAD
CALISTOGA, CA 94515
APN: 020-100-014
PROJECT: N-116



EVERY PERSON PLANNING TO DIG CALL USA AT 1-800-252-2909

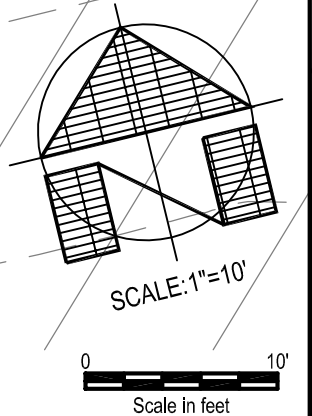


DATE: 06/24/16
05/16/17
12/18/17
03/12/18
01/18/19

ISSUE:
PERMIT SET
PLAN CHECK
PLAN CHECK
PLAN CHECK
RESUBMITTAL SHEET

REVISIONS

△	05/16/2017	REVISED WINERY GRADING
△	12/18/2017	UPDATED GRADING LAYOUT
△	03/12/18	ADDED BIO-RETENTION FACILITY
△	01/18/19	NO CHANGES
△	01/18/19	NO CHANGES



UP5.0