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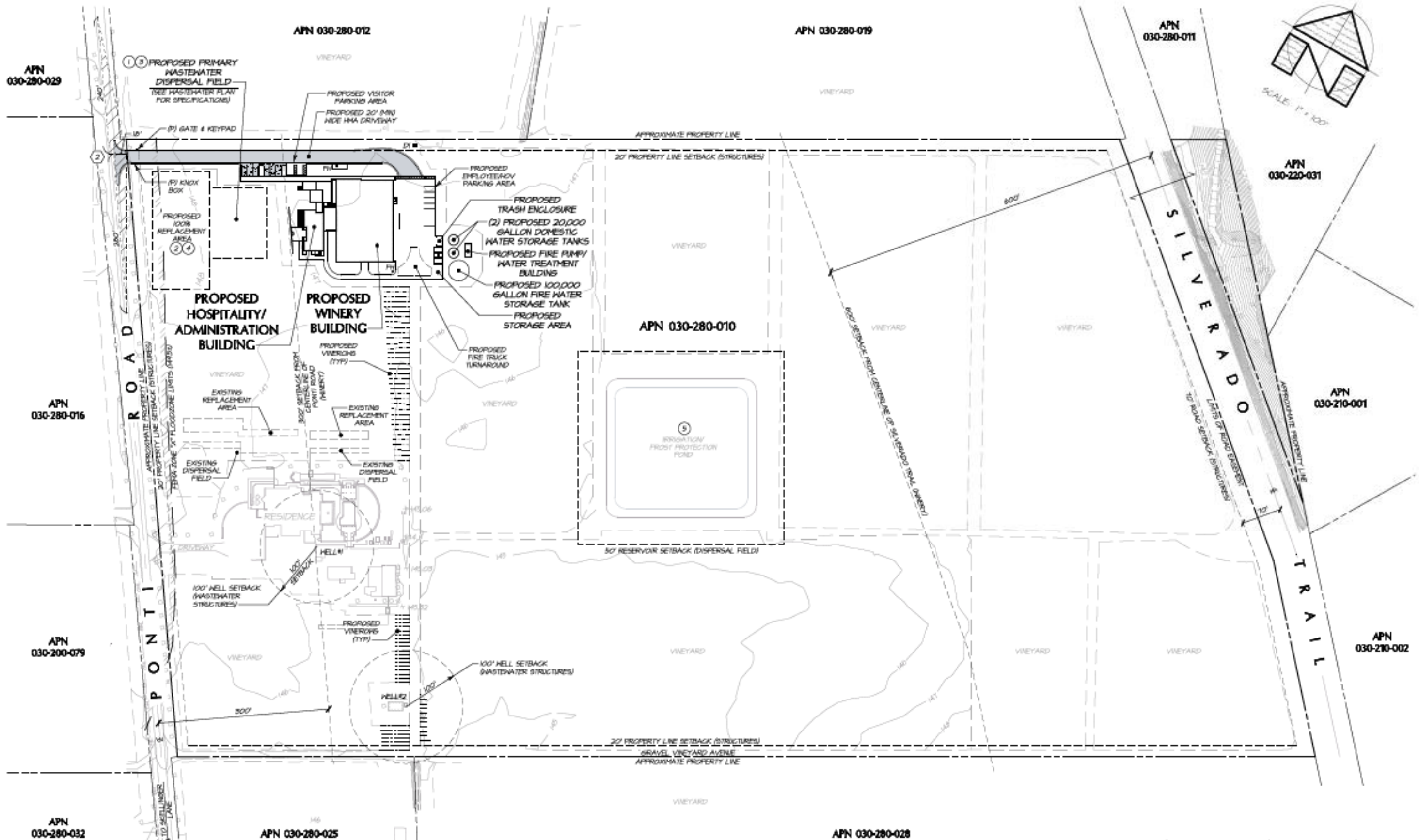
Project Plans, Architectural & Landscape Plans

Scarlett Winery P16-0428-UP
Planning Commission Hearing - October 2, 2019

SCARLETT WINERY

USE PERMIT DRAWINGS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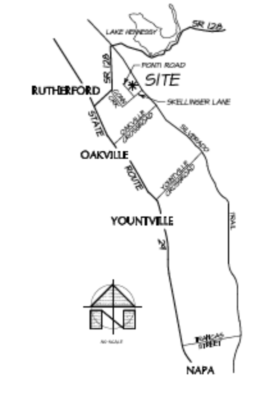
APN 030-200-079
APN 030-210-002
APN 030-280-032
APN 030-280-025
APN 030-280-028
APN 030-280-010
PROPOSED HOSPITALITY/ ADMINISTRATION BUILDING
PROPOSED WINERY BUILDING
PONTI ROAD
SILVERADO TRAIL
APPROXIMATE PROPERTY LINE
20' PROPERTY LINE SETBACK (STRUCTURES)
PROPOSED VISITOR PARKING AREA
PROPOSED 20' (MIN) WIDE HMA DRIVEWAY
PROPOSED TRASH ENCLOSURE
(2) PROPOSED 20,000 GALLON DOMESTIC WATER STORAGE TANKS
PROPOSED FIRE PUMP/ WATER TREATMENT BUILDING
PROPOSED 100,000 GALLON FIRE WATER STORAGE TANK
PROPOSED STORAGE AREA
PROPOSED FIRE TRUCK TURNAROUND
RESIDENCE
50' RESERVOIR SETBACK (DISPERSAL FIELD)
100' WELL SETBACK (WASTEWATER STRUCTURES)
GRAVEL VINEYARD AVENUE
VINEYARD

OVERALL SITE PLAN

SCALE: 1" = 100'



LOCATION MAP

NO SCALE

PROJECT INFORMATION:

PROPERTY OWNER:
ALSACE CO, LP
3200 DANVILLE BOULEVARD
SUITE 220
ALAMO, CA 94507

APPLICANT:
SCARLETT WINES
C/O MATTIE COOPER
3200 DANVILLE BOULEVARD
SUITE 100
ALAMO, CA 94507

PROJECT ADDRESS:
1052 PONTI ROAD
NAPA, CA 94558

ASSESSOR'S PARCEL NUMBER:
030-280-010

PARCEL SIZE:
47.88± ACRES

PROJECT SIZE:
3.0± ACRES

ZONING:
AP (SW'LY PORTION) 47.17± ACRES
AW (NE'LY PORTION) 0.71± ACRES

VINEYARD SUMMARY:

EXISTING VINEYARD	38.0± ACRES
VINEYARD REMOVED	2.0± ACRES
VINEYARD PROPOSED	0.4± ACRES
TOTAL VINEYARD AFTER WINERY DEVELOPMENT	36.4± ACRES

NOTES:

1. THE FADED BACKGROUND REPRESENTS EXISTING TOPOGRAPHIC FEATURES. A PORTION OF THE TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN WAS TAKEN FROM THE "TOPOGRAPHIC MAP OF A PORTION OF THE LANDS OF MCGAH FAMILY CELLARS" DATED JUNE 2015, PREPARED BY TERRA FIRMA SURVEYS, INC. AND A PORTION WAS APPROXIMATED FROM AERIAL PHOTOGRAPHY IN THE PUBLIC DOMAIN. BARTELT ENGINEERING ASSUMES NO LIABILITY, REAL OR ALLEGED, REGARDING THE ACCURACY OF THE TOPOGRAPHIC INFORMATION SHOWN.

(2) NO ITEMS THAT ARE WIDER THAN 18 INCHES MAY BE TALLER THAN 30 INCHES WITHIN THE DEPARTURE SITE TRIANGLES SHOWN (CASE B1, LEFT TURN FROM STOP, AND CASE B2, RIGHT TURN FROM STOP, ON MINOR ROAD WITH AN ASSUMED 25 MPH SPEED LIMIT) EXCEPT FOR STREET TREES AND TRAFFIC CONTROL DEVICES AND EQUIPMENT.

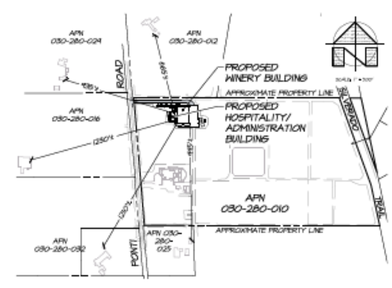
PROPOSED WASTEWATER DISPERSAL OPTIONS:

PREFERRED OPTION:

(1) PRIMARY COMBINED WASTEWATER DISPERSAL FIELD
(2) 100% COMBINED WASTEWATER REPLACEMENT AREA

ALTERNATIVE OPTION:

(3) PRIMARY SANITARY WASTEWATER DISPERSAL FIELD
(4) 100% COMBINED WASTEWATER REPLACEMENT AREA
(5) PROCESS WASTEWATER IRRIGATION/FROST PROTECTION POND



NEIGHBORING STRUCTURES MAP

SCALE: 1" = 500'

SHEET INDEX:

REGISTERED PROFESSIONAL ENGINEER PAUL NATHAN BARTELT No. 45102 CIVIL STATE OF CALIFORNIA

PREPARED UNDER THE DIRECTION OF

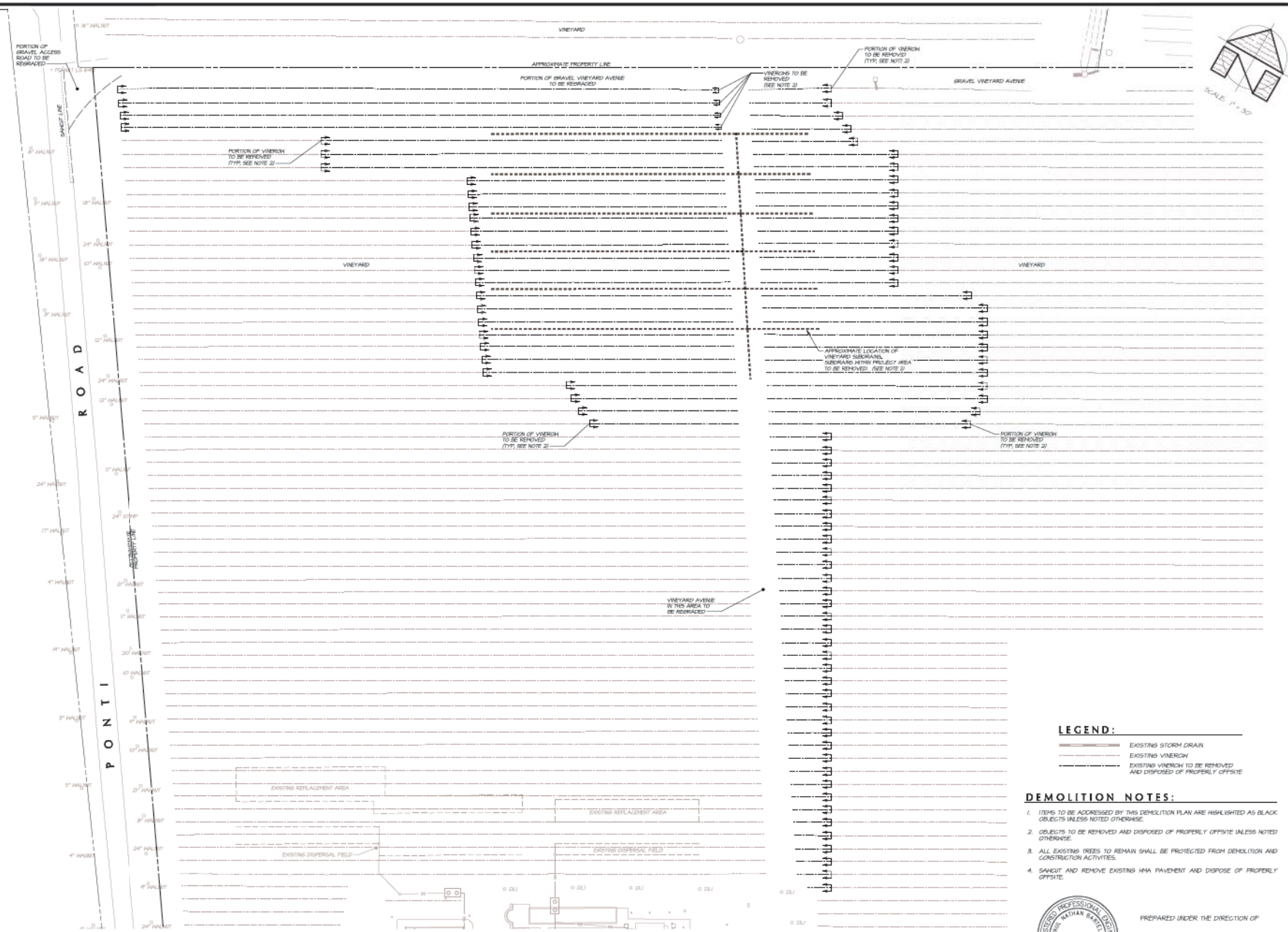
PAUL N. BARTELT R.C.E. 45102

BARTELT ENGINEERING
CIVIL ENGINEERING · LAND PLANNING
1303 Jefferson Street, 200 B, Napa, CA 94559
www.barteltengineering.com
Telephone: 707-258-1301

SCARLETT WINERY
OVERALL SITE PLAN
NAPA COUNTY CALIFORNIA

DATE: JANUARY 2018
FILE NO. 1502-UP.DWG
JOB NO. 15-02
SHEET NO. UP1 OF 3

P16-00428



EXISTING CONDITIONS & DEMOLITION PLAN

SCALE: 1" = 30'

LEGEND:

- EXISTING STORM DRAIN
- EXISTING VINEROW
- EXISTING VINEROW TO BE REMOVED AND DISPOSED OF PROPERLY OFFSITE

DEMOLITION NOTES:

1. ITEMS TO BE ADDRESSED BY THIS DEMOLITION PLAN ARE HIGHLIGHTED AS BLACK OBJECTS UNLESS NOTED OTHERWISE.
2. OBJECTS TO BE REMOVED AND DISPOSED OF PROPERLY OFFSITE UNLESS NOTED OTHERWISE.
3. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM DEMOLITION AND CONSTRUCTION ACTIVITIES.
4. SAWCUT AND REMOVE EXISTING HMA PAVEMENT AND DISPOSE OF PROPERLY OFFSITE.

REGISTERED PROFESSIONAL ENGINEER PAUL NATHAN BARTELT No. 45102 CIVIL STATE OF CALIFORNIA

PREPARED UNDER THE DIRECTION OF:

PAUL N. BARTELT R.C.E. 45102

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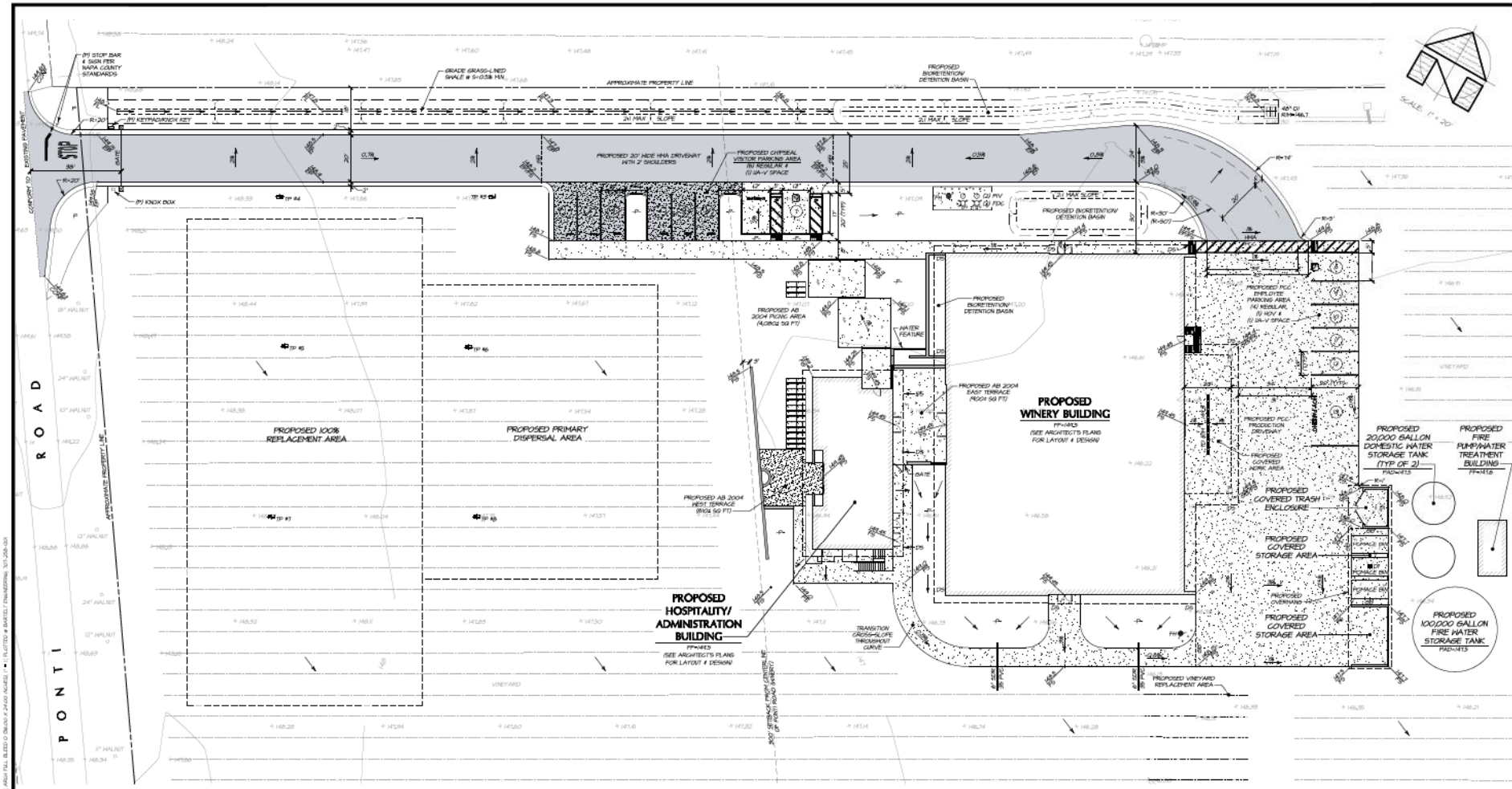
ENGINEERING
CIVIL ENGINEERING LAND PLANNING
1303 Jefferson Street, 200 B, Napa, CA 94559
www.bartelteng.com
Telephone: 707-258-1301

SCARLETT WINERY
EXISTING CONDITIONS & DEMOLITION PLAN
NAPA COUNTY CALIFORNIA

DATE: JANUARY 2018
FILE NO.: 1502-UP1949
JOB NO.: 15-02
SHEET NO.: UP2
OF 3



PROPOSED CONDITIONS

SCALE: 1" = 20'

TEST PIT EXPLORATION NOTES:

1. REPRESENTS TEST PIT LOCATION.
2. TEST PITS WERE EXCAVATED BY HAROLD SMITH & SONS USING A MINI-EXCAVATOR WITH A 24 INCH BUCKET ON NOVEMBER 24, 2015 AND WITNESSED BY A REPRESENTATIVE FROM BARTELT ENGINEERING AND NAPA COUNTY ENVIRONMENTAL HEALTH.

NOTES:

1. BUILDING FOOTPRINT WAS DERIVED FROM THE ARCHITECTURAL DIGITAL FILE. SEE ARCHITECTS PLANS FOR EXACT BUILDING SPECIFICATIONS.
2. LANDSCAPE ELEMENTS WERE DERIVED FROM THE LANDSCAPE DIGITAL FILE. SEE LANDSCAPE PLANS FOR EXACT SPECIFICATIONS.
3. SEE BARTELT ENGINEERING WASTEWATER SYSTEM FEASIBILITY STUDY FOR ADDITIONAL INFORMATION REGARDING TEST PITS.
4. EXISTING WELL #2 WILL BE UTILIZED AS THE WATER SOURCE FOR THE PROPOSED PUBLIC WATER SYSTEM THAT WILL SERVE THE EXISTING RESIDENCE, COTTAGE, WINERY AND TASTING ROOM. SEE OVERALL SITE PLAN FOR WELL LOCATION.
5. ALL PROPOSED PARKING SHALL CONFORM TO COUNTY OF NAPA ROAD AND STREET STANDARDS (RSS), DETAIL D-8 OFF STREET PARKING. UNIVERSAL ACCESS PARKING SHALL CONFORM TO COUNTY OF NAPA ROAD AND STREET STANDARDS (RSS), DETAIL D-9 HANDICAP SYMBOL OR THE CURRENT CALIFORNIA BUILDING CODE, WHICHEVER IS MORE STRINGENT.
6. ALL PROPOSED ONSITE WINERY ACCESS ROAD(S) SHALL CONFORM TO THE COUNTY OF NAPA ROAD AND STREET STANDARDS, SECTION 15 WHICH INCLUDES MINIMUM CRITERIA FOR WIDTH, SECTION AND INSIDE RADIUS OF CURVATURE FOR A COMMERCIAL ACCESS DRIVE.
7. ALL PROPOSED IMPROVEMENTS WITHIN THE COUNTY OF NAPA RIGHT OF WAY SHALL CONFORM TO NAPA COUNTY DEPARTMENT OF PUBLIC WORKS STANDARDS.

LEGEND:

TREE 6/15	EXISTING TREE
181	EXISTING OVERHEAD LINE
	PROPOSED CHIPSEAL
	PROPOSED HMA
	PROPOSED PEDESTRIAN PCC
	PROPOSED TRAFFIC-RATED PCC
	TRUNCATED DOMES
DI	DROP/DRAIN INLET
FDC	FIRE DEPARTMENT CONNECTION
FH	FIRE HYDRANT
GB	GRADE BREAK
HOV	HIGH OCCUPANCY VEHICLE
-P-	PROPOSED PLANTER
(P)	PROPOSED
PIV	POST INDICATOR VALVE

PARKING SUMMARY:

TYPE OF PARKING	NO. OF STALLS
REGULAR	10
UNIVERSAL ACCESS - VAN	2
HIGH OCCUPANCY VEHICLE ZONE	1
TOTAL	13

REGISTERED PROFESSIONAL ENGINEER PAUL NATHAN BARTELT No. 45102 CIVIL STATE OF CALIFORNIA

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DES. PBB DRAWN KP CHKD. PNB

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ENGINEERING
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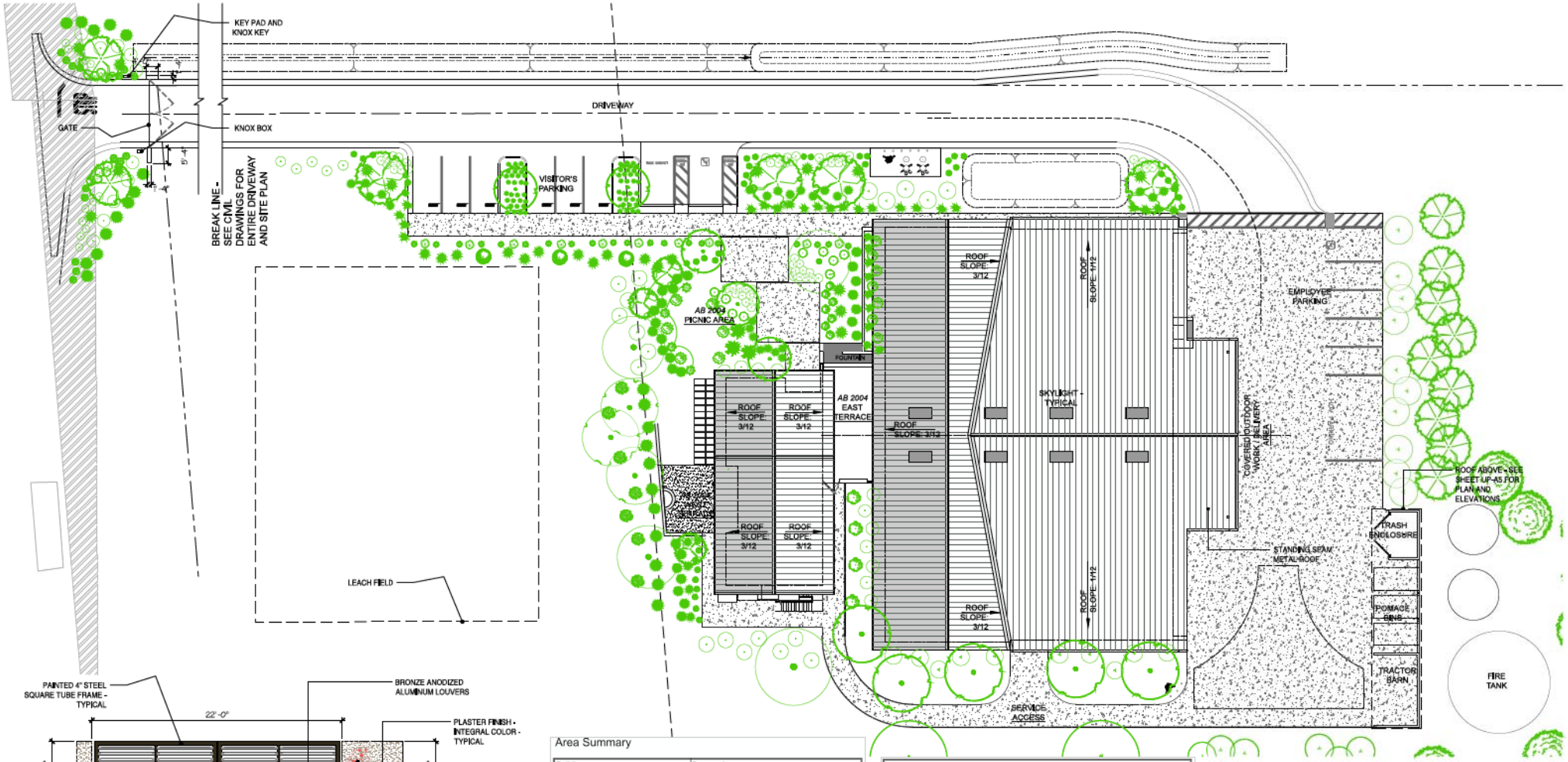
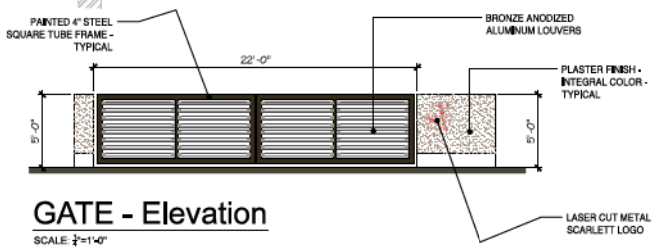
SCARLETT WINERY
PROPOSED CONDITIONS
USE PERMIT
NAPA COUNTY CALIFORNIA

DATE: JANUARY 2018
FILE NO.: 1502-UP2.dwg
JOB NO.: 15-02
SHEET NO.: UP3
OF 3





GATE - Elevation

SCALE: $\frac{3}{4}$"=1'-0"

Area Summary

Building	Proposed		
	Acces. Use (s.f)	Prod. Use (s.f.)	Total Building Area (s.f.)
Hospitality Building	3,818	0	3,818
Production Building	534	16,840	17,374
Exterior Areas	0	1,136	1,136
Total Accessory Use	4,352		
Total Production Use		17,976	
Accessory Use to Production Use			24%

EXTERIOR AREA DETAILS			
Space Name	Acces. Use	Prod. Use (s.f.)	Combined Total
Trash Enclosure		187	
Pomace Bin		538	
Storage		411	
Use Total	0	1,136	1,136
COMBINED AREA TOTAL			**1,136**

- SEE 1ST AND 2ND LEVEL FLOOR PLANS FOR BUILDING AREA BREAKDOWN

N

WINERY - Site Plan

SCALE: $\frac{1}{16}$"=1'-0"

USE PERMIT

January 31, 2018

SCARLETT WINES

UP A-1

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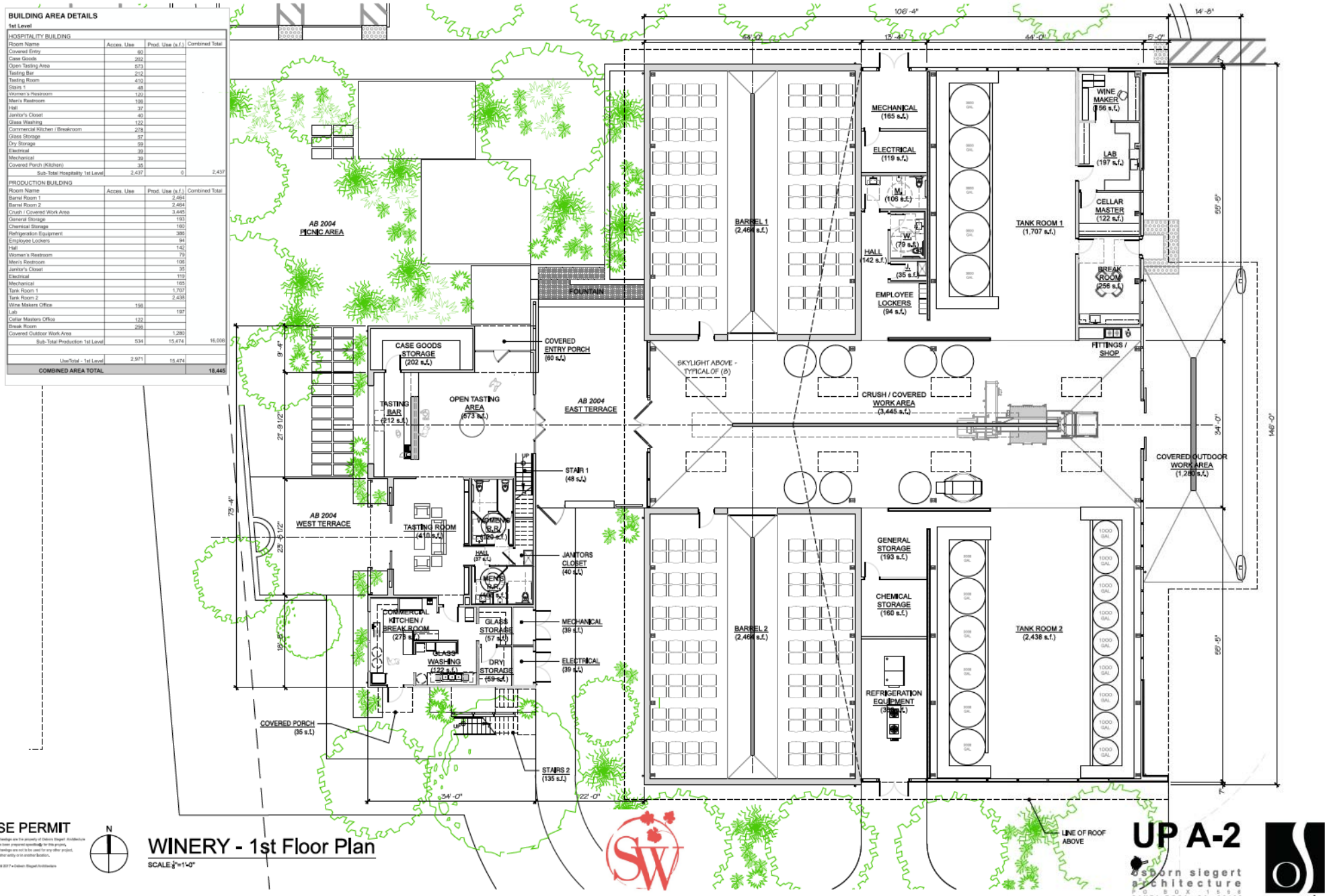
BUILDING AREA DETAILS

1st Level

HOSPITALITY BUILDING			
Room Name	Acces. Use	Prod. Use (s.f.)	Combined Total
Covered Entry	60		
Case Goods	202		
Open Tasting Area	573		
Tasting Bar	212		
Tasting Room	410		
Stairs 1	48		
Women's Restroom	120		
Men's Restroom	106		
Hall	37		
Janitor's Closet	40		
Glass Washing	122		
Commercial Kitchen / Breakroom	278		
Glass Storage	57		
Dry Storage	59		
Electrical	39		
Mechanical	39		
Covered Porch (Kitchen)	35		
Sub-Total Hospitality 1st Level	2,437	0	2,437

PRODUCTION BUILDING			
Room Name	Acces. Use	Prod. Use (s.f.)	Combined Total
Barrel Room 1		2,464	
Barrel Room 2		2,464	
Crush / Covered Work Area		3,445	
General Storage		193	
Chemical Storage		160	
Refrigeration Equipment		386	
Employee Lockers		94	
Hall		142	
Women's Restroom		79	
Men's Restroom		106	
Janitor's Closet		35	
Electrical		119	
Mechanical		165	
Tank Room 1		1,707	
Tank Room 2		2,438	
Wine Makers Office	156		
Lab		197	
Cellar Masters Office	122		
Break Room	256		
Covered Outdoor Work Area		1,280	
Sub-Total Production 1st Level	534	15,474	16,008
Use/Total - 1st Level	2,971	15,474	
COMBINED AREA TOTAL			**18,445**



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N

WINERY - 1st Floor Plan

SCALE 1/8"=1'-0"

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UP A-2

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BUILDING AREA DETAILS

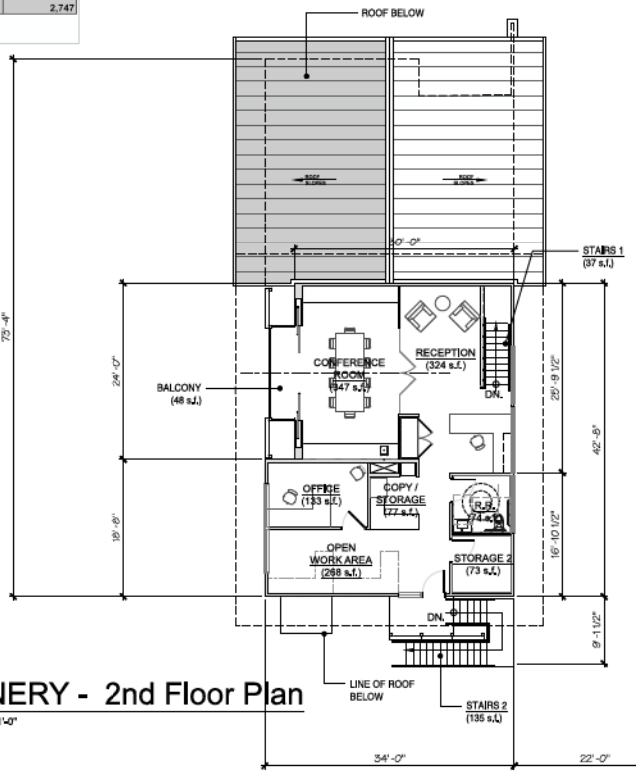
2nd Level

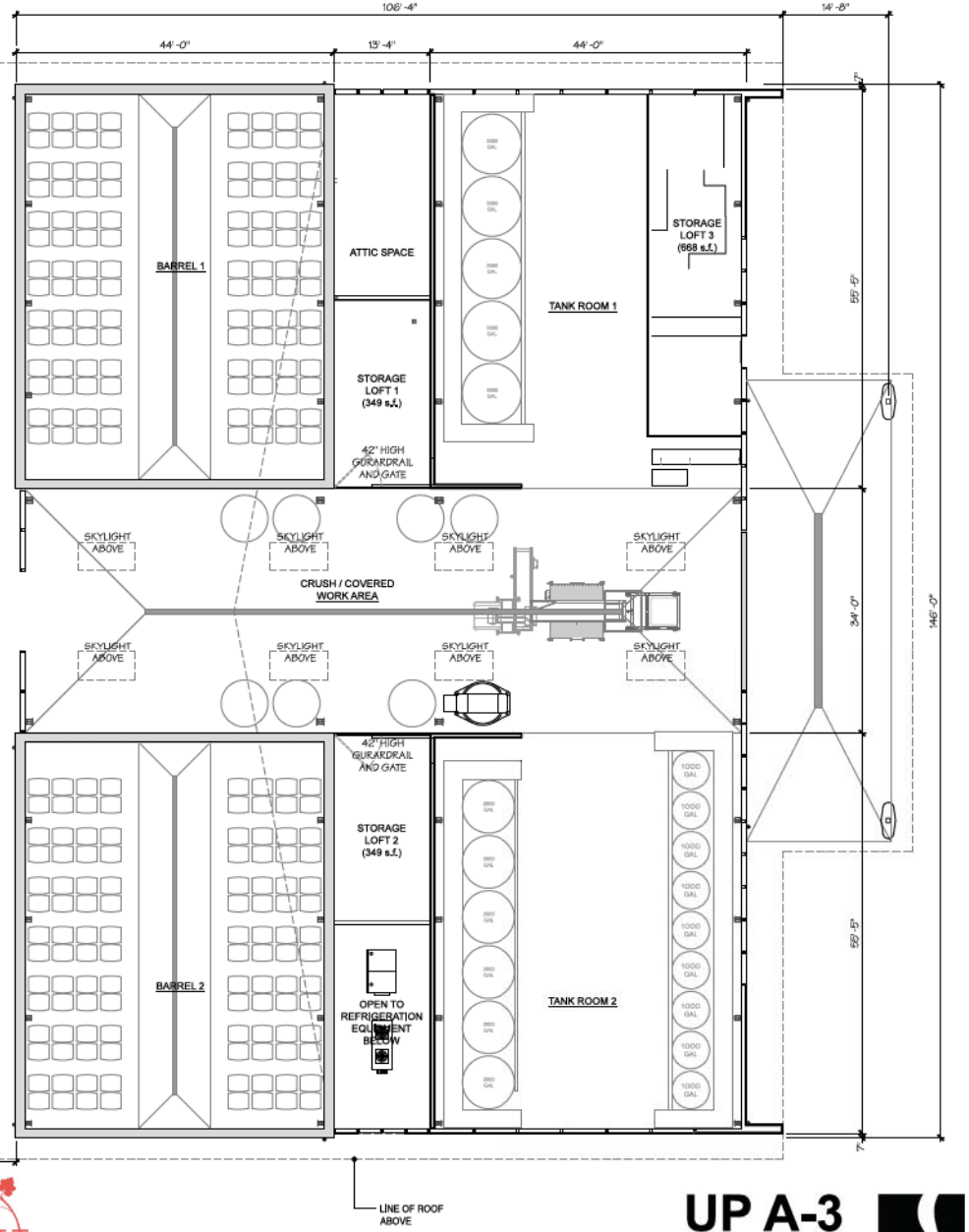
HOSPITALITY BUILDING

Room Name	Acces. Use	Prod. Use (s.f.)	Combined Total
Reception	324		
Conference Room	347		
Balcony	48		
Office 1	127		
Copy / Storage	74		
Open Office Area	277		
Women's Restroom	73		
Men's Restroom	74		
Stairs 1	37		
Sub-Total Hospitality 2nd Level	1,381	0	1,381

PRODUCTION BUILDING

Room Name	Acces. Use	Prod. Use (s.f.)	Combined Total
Storage Area 1		349	
Storage Area 2		349	
Storage Area 3		668	
Sub-Total Production 2nd Level	0	1,366	1,366
Use Total	1,381	1,366	
COMBINED AREA TOTAL			**2,747**





N

WINERY - 2nd Floor Plan

SCALE: 1/4"=1'-0"

USE PERMIT

January 31, 2018

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UP A-3

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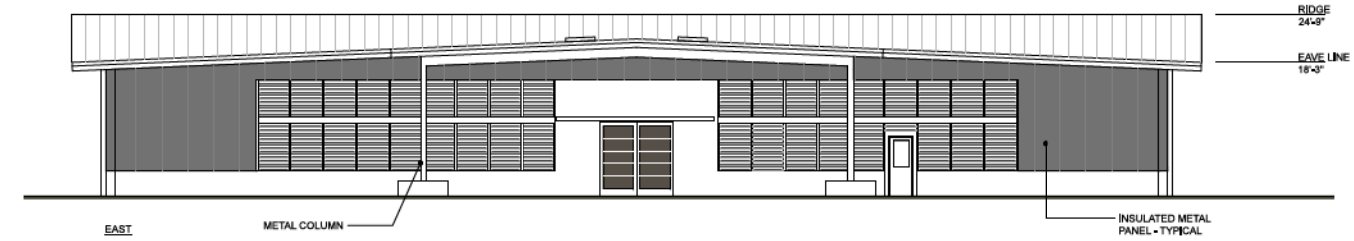
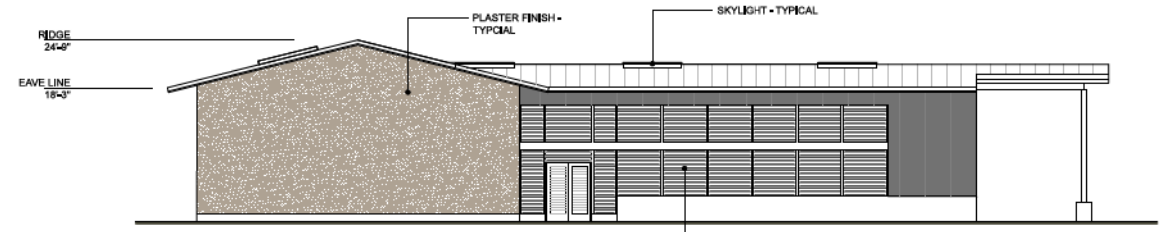
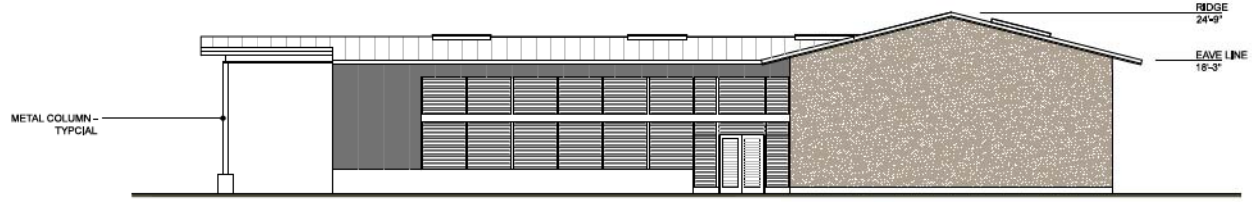


EAST



SOUTH

WEST



NORTH

WINERY - Elevations

SCALE: 1/8"=1'-0"

* SEE ALSO SHEET UP-A5 FOR HOSPITALITY ELEVATIONS

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SCARLETT WINES

UP A-4

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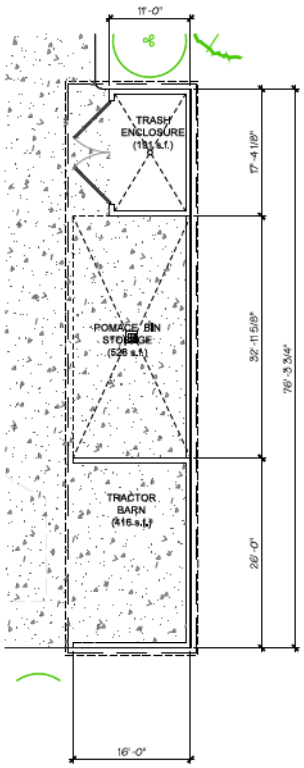
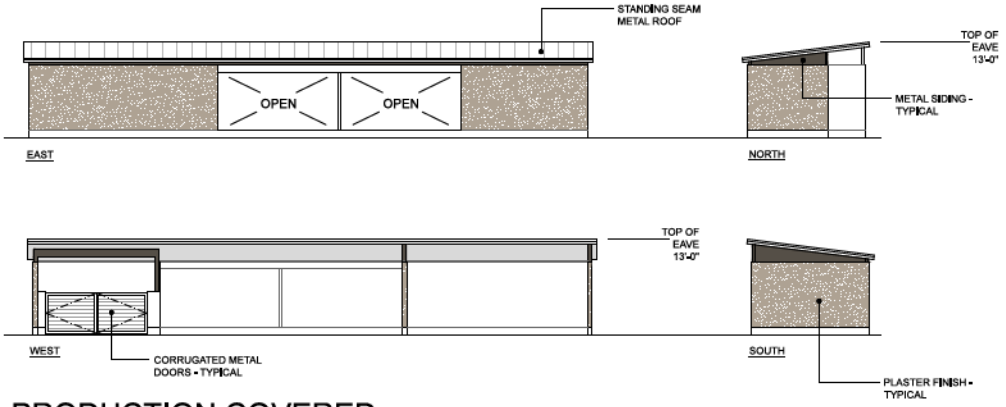


PRODUCTION COVERED STORAGE / TRASH - Plan

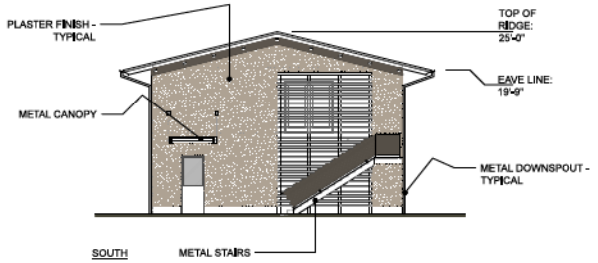
SCALE: 1/8"=1'-0"

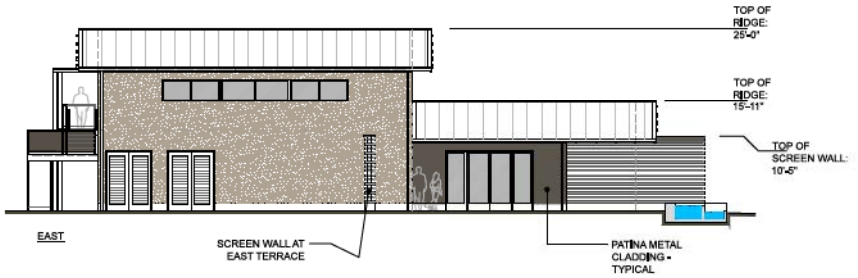
• SEE SHEET UP A-1 FOR AREA CALCULATIONS

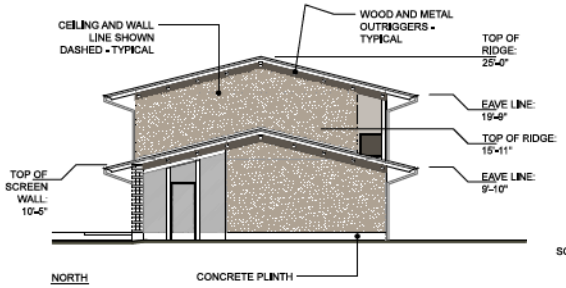


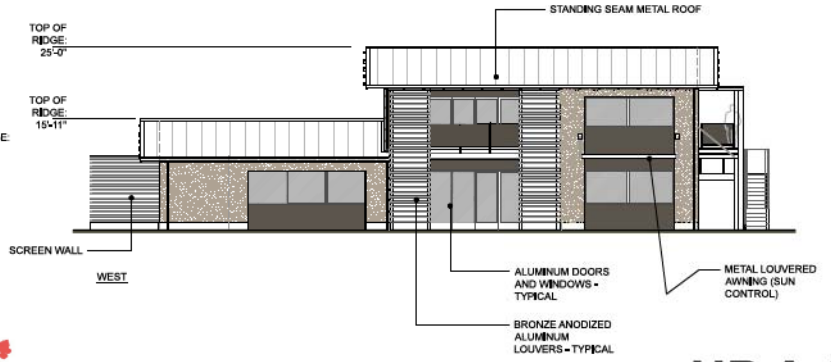
PRODUCTION COVERED STORAGE / TRASH - Elevations

SCALE: 1/8"=1'-0"









HOSPITALITY - Elevations

SCALE: 1/8"=1'-0"

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January 31, 2018

SCARLETT WINES

UP A-5

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Looking East at Northwest Corner of Property
(Main Entrance)

Looking West at Northeast Corner of Property
(Silverado Trail)

Looking West at Southeast Corner of Property
(Silverado Trail)

Aerial View from Northwest Corner of Property
(Main Entrance)

PROPOSED

Looking East at Northwest Corner of Property

Looking West at Northeast Corner of Property
(Silverado Trail)

Looking West at Southeast Corner of Property
(Silverado Trail)

Aerial View from Northwest Corner of Property

EXISTING

USE PERMIT

January 31, 2018

SCARLETT WINES

Perspective Views

UP A-6

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SCARLETT WINERY

PLANTING PLAN

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landscape design
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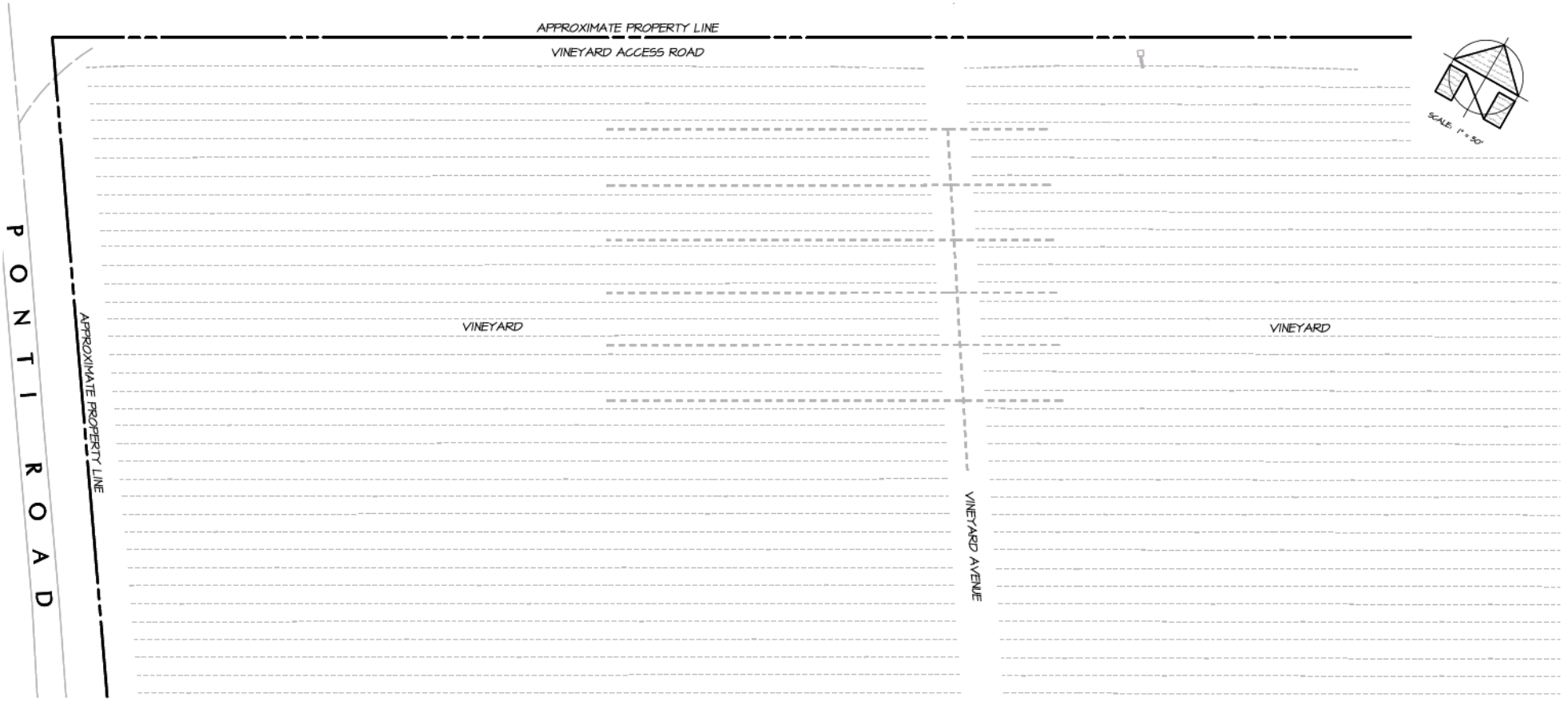
SCARLETT WINERY
PROPOSED LANDSCAPE PLAN
NAPA, CA

MARC WILKIE
1-12-2018
1" = 30'
ARCH D

VERIFY MEASUREMENTS IN THE FIELD



WINERY COVERAGE AREA EXHIBIT
EXISTING CONDITIONS

SCALE: 1" = 50'

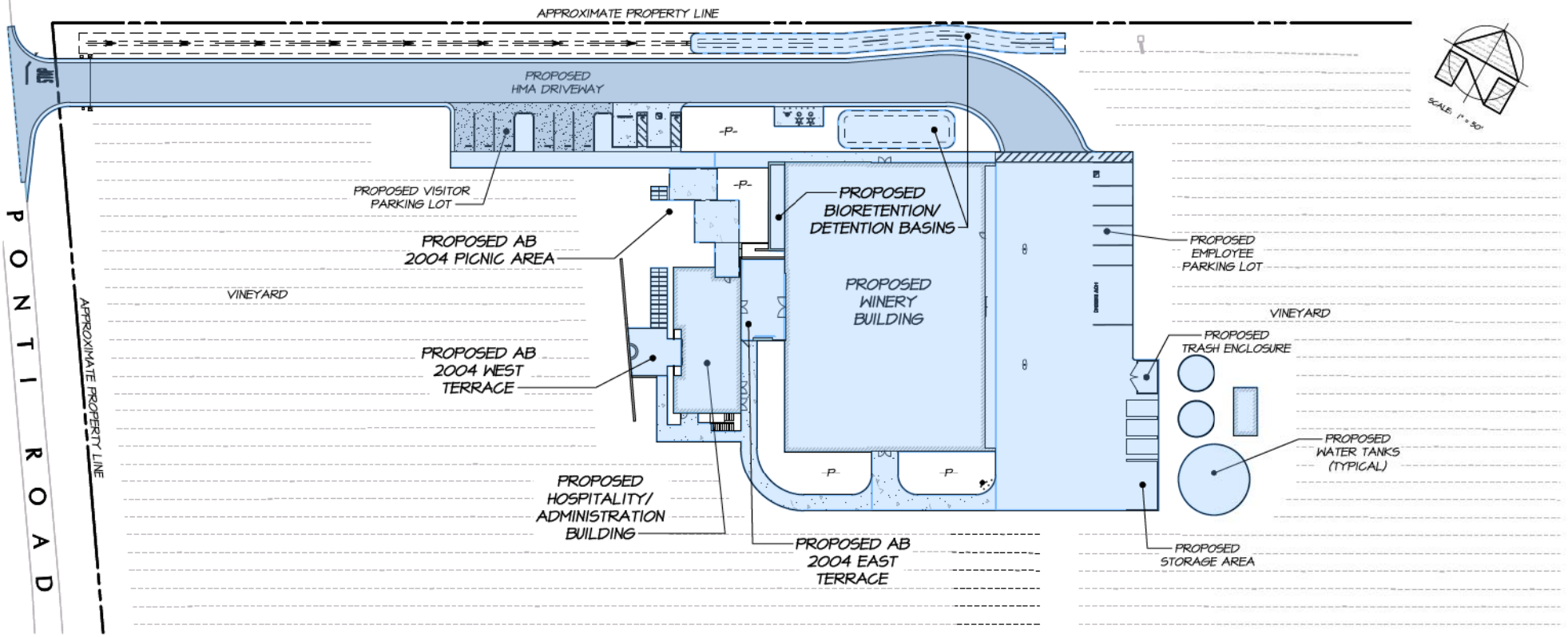
WINERY COVERAGE CALCULATIONS:

WINERY COVERAGE AREA
(0 SF = 0.00 ACRES)
PARCEL SIZE: 47.88± ACRES

WINERY COVERAGE - THE TOTAL SQUARE FOOT AREA OF ALL WINERY BUILDING FOOTPRINTS, ALL AGGREGATE PAVED OR IMPERVIOUS GROUND SURFACE AREAS OF THE PRODUCTION FACILITY WHICH INCLUDES ALL OUTSIDE WORK, TANK AND STORAGE AREAS (EXCEPT CAVES), ALL PAVED AREAS INCLUDING PARKING AND LOADING AREAS, WALKWAYS AND ACCESS DRIVEWAYS TO PUBLIC OR PRIVATE ROADS OR RIGHTS-OF-WAY; AND ALL ABOVE-GROUND WASTEWATER AND RUN-OFF TREATMENT SYSTEMS. SEE NAPA COUNTY CODE 18.104.220

BARTELT
ENGINEERING
CIVIL ENGINEERING · LAND PLANNING
1303 Jefferson Street, 200 B, Napa, CA 94559
www.barteltengineering.com
· Telephone: 707-258-1301 ·

Scarlett Winery
1052 Ponti Road
Napa County, CA
APN 030-280-010
Job No. 15-02
January 2018 - Revised
Sheet 1 of 5



LEGEND:

- PROPOSED CHIPSEAL
- PROPOSED HMA
- PROPOSED BUILDING
- PROPOSED PEDESTRIAN PCC
- PROPOSED TRAFFIC-RATED PCC
- -P- PROPOSED PLANTER

WINERY COVERAGE AREA EXHIBIT PROPOSED CONDITIONS

SCALE: 1" = 50'

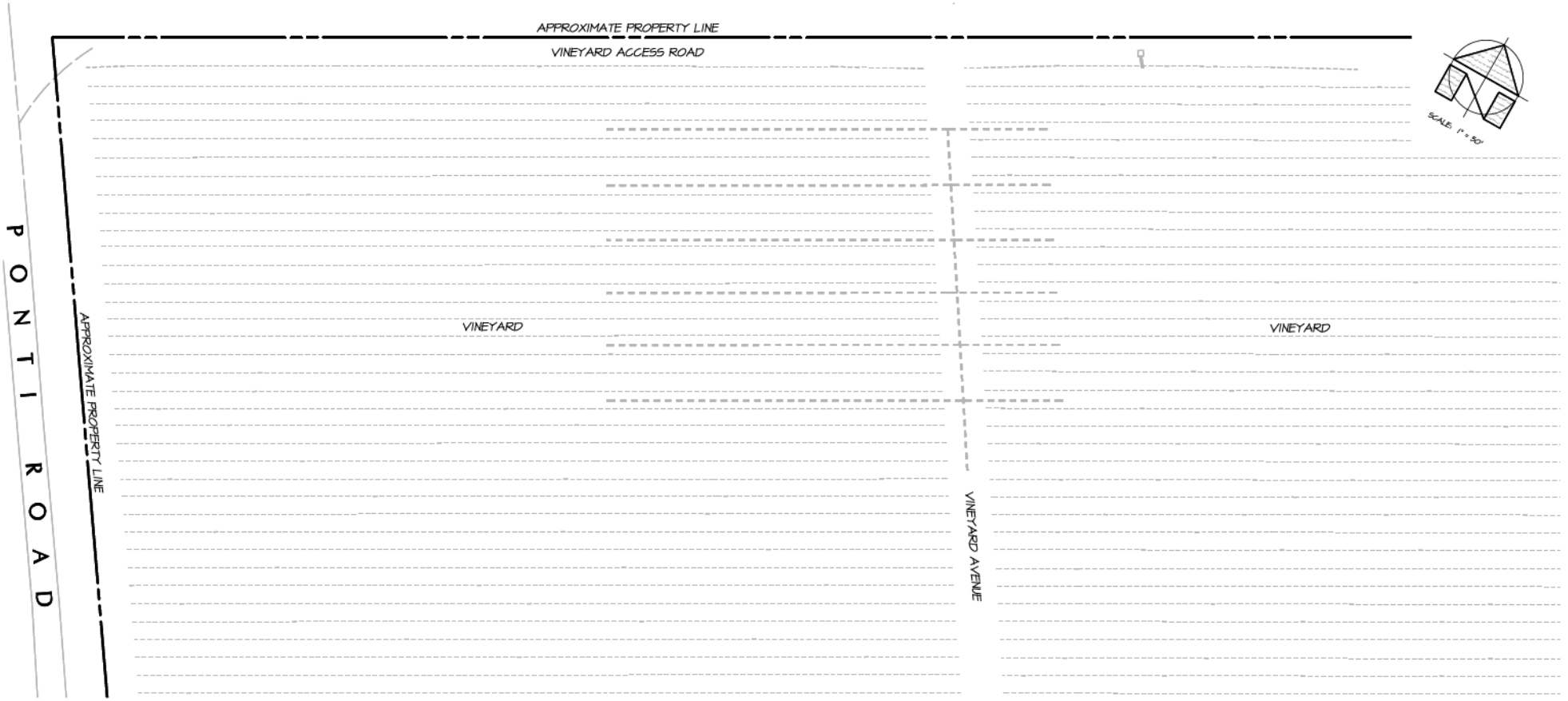
WINERY COVERAGE CALCULATIONS:

WINERY COVERAGE AREA (59,902± SF = 1.38± ACRES)
PARCEL SIZE: 47.88± ACRES
1.38 ACRES / 47.88 ACRES = **2.9%** < 25% OR
1.38 ACRES < 15 ACRES (WHICHEVER IS LESS)

WINERY COVERAGE - THE TOTAL SQUARE FOOT AREA OF ALL WINERY BUILDING FOOTPRINTS, ALL AGGREGATE PAVED OR IMPERVIOUS GROUND SURFACE AREAS OF THE PRODUCTION FACILITY WHICH INCLUDES ALL OUTSIDE WORK, TANK AND STORAGE AREAS (EXCEPT CAVES), ALL PAVED AREAS INCLUDING PARKING AND LOADING AREAS, WALKWAYS AND ACCESS DRIVEWAYS TO PUBLIC OR PRIVATE ROADS OR RIGHTS-OF-WAY; AND ALL ABOVE-GROUND WASTEWATER AND RUN-OFF TREATMENT SYSTEMS. SEE NAPA COUNTY CODE 18.104.220

BARTELT ENGINEERING
CIVIL ENGINEERING · LAND PLANNING
1303 Jefferson Street, 200 B, Napa, CA 94559
www.barteltengineering.com
· Telephone: 707-258-1301 ·

Scarlett Winery
1052 Ponti Road
Napa County, CA
APN 030-280-010
Job No. 15-02
January 2018 - Revised
Sheet 2 of 5



WINERY DEVELOPMENT AREA EXHIBIT
EXISTING CONDITIONS

SCALE: 1" = 50'

WINERY DEVELOPMENT AREA:

WINERY DEVELOPMENT AREA
(0 SF = 0.00 ACRES)
PARCEL SIZE: 47.88± ACRES

WINERY DEVELOPMENT AREA - ALL AGGREGATE PAVED OR IMPERVIOUS OR SEMI-PERMEABLE GROUND SURFACE AREAS OF THE PRODUCTION FACILITY WHICH INCLUDES ALL STORAGE AREAS (EXCEPT CAVES), OFFICES, LABORATORIES, KITCHENS, TASTING ROOMS AND PAVED PARKING AREAS FOR THE EXCLUSIVE USE OF WINERY EMPLOYEES. SEE NAPA COUNTY CODE 518.104.210

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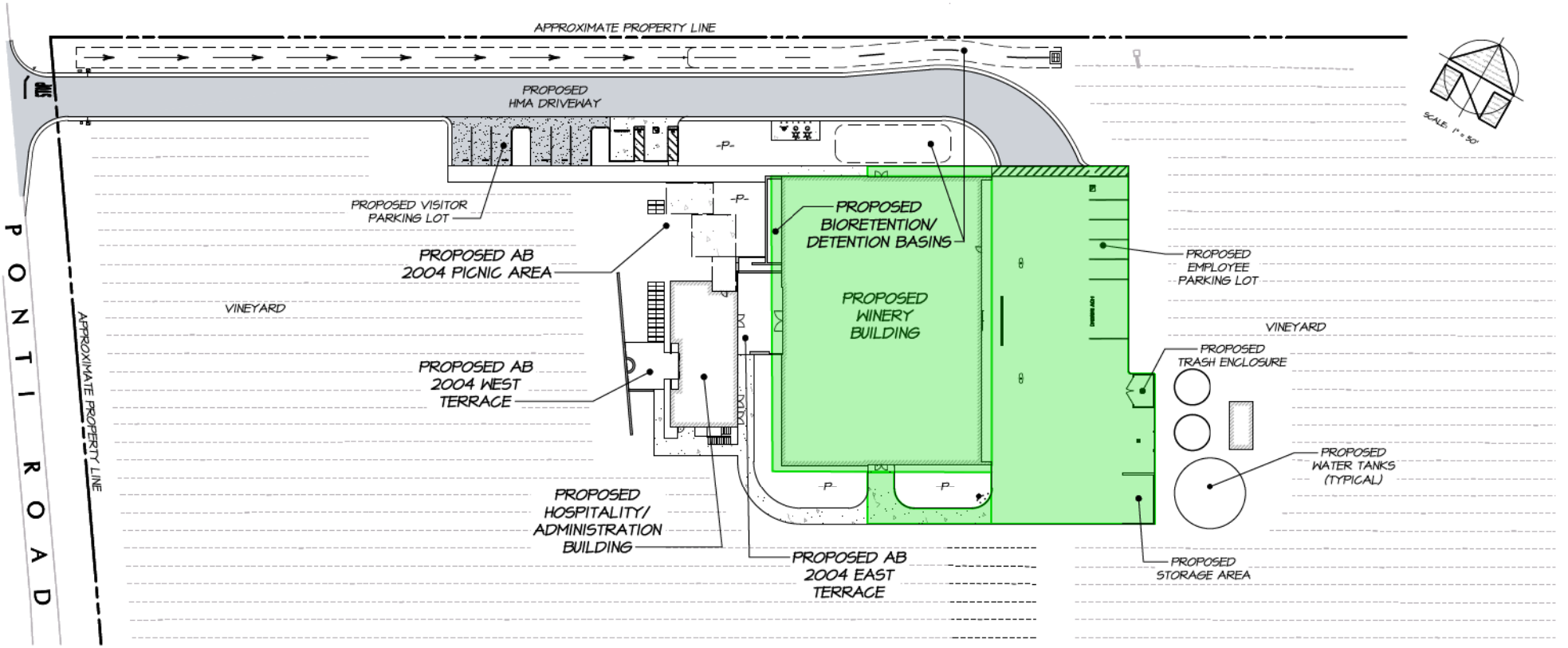

LEGEND:

- PROPOSED CHIPSEAL
- PROPOSED HMA
- PROPOSED BUILDING
- PROPOSED PEDESTRIAN PCC
- PROPOSED TRAFFIC-RATED PCC
- -P- PROPOSED PLANTER

WINERY DEVELOPMENT AREA EXHIBIT PROPOSED CONDITIONS

SCALE: 1" = 50'

WINERY DEVELOPMENT AREA:

WINERY DEVELOPMENT AREA
(31,116± SF = 0.71± ACRES)
PARCEL SIZE: 47.88± ACRES

WINERY DEVELOPMENT AREA - ALL AGGREGATE PAVED OR IMPERVIOUS OR SEMI-PERMEABLE GROUND SURFACE AREAS OF THE PRODUCTION FACILITY WHICH INCLUDES ALL STORAGE AREAS (EXCEPT CAVES), OFFICES, LABORATORIES, KITCHENS, TASTING ROOMS AND PAVED PARKING AREAS FOR THE EXCLUSIVE USE OF WINERY EMPLOYEES. SEE NAPA COUNTY CODE 18.104.210

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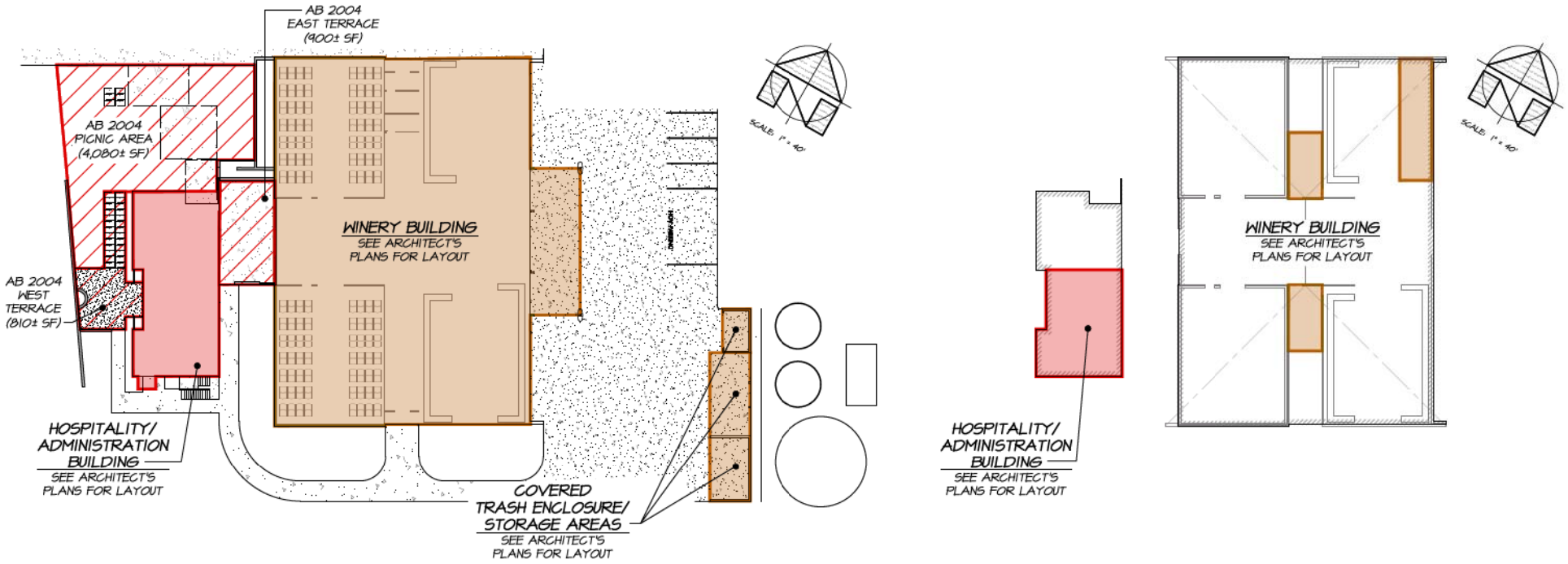
Sheet 4 of 5



GROUND FLOOR

SECOND FLOOR

WINERY PRODUCTION AND ACCESSORY USE EXHIBIT
PROPOSED CONDITIONS

SCALE: 1" = 40'

PRODUCTION/ACCESSORY CALCULATIONS:

PRODUCTION FACILITY AREA
(17,976± SF)

AB 2004 AREA
(5,790± SF)

ACCESSORY USE AREA
(4136± SF)
4,352 SF / 17,374 SF = **24%** < 40%

PRODUCTION FACILITY - (FOR THE PURPOSE TO CALCULATE THE MAXIMUM ALLOWABLE ACCESSORY USE) THE TOTAL SQUARE FOOTAGE OF ALL WINERY CRUSHING, FERMENTING, BOTTLING, BULK AND BOTTLE STORAGE, SHIPPING, RECEIVING, LABORATORY, EQUIPMENT STORAGE AND MAINTENANCE FACILITIES, AND EMPLOYEE-DESIGNATED RESTROOMS BUT DOES NOT INCLUDE WASTEWATER TREATMENT OR DISPOSAL AREAS WHICH CANNOT BE USED FOR AGRICULTURAL PURPOSES. SEE NAPA COUNTY CODE 18.104.200

ACCESSORY USE - THE TOTAL SQUARE FOOTAGE OF AREA WITHIN WINERY STRUCTURES USED FOR ACCESSORY USES RELATED TO A WINERY THAT ARE NOT DEFINED AS "PRODUCTION FACILITY" WHICH WOULD INCLUDE OFFICES, LOBBIES/WAITING ROOMS, CONFERENCE/MEETING ROOMS, NON-PRODUCTION ACCESS HALLWAYS, KITCHENS, TASTING ROOMS (PRIVATE AND PUBLIC AREAS), RETAIL SPACE AREAS, LIBRARIES, NON-EMPLOYEE DESIGNATED RESTROOMS, ART DISPLAY AREAS, OR ANY AREA WITHIN WINERY STRUCTURES NOT DIRECTLY RELATED TO WINE PRODUCTION. SEE NAPA COUNTY CODE 18.104.200

NOTE:
FLOOR PLANS PROVIDED BY
OSBORN SIEGERT ARCHITECTURE, LP

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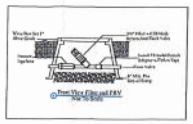
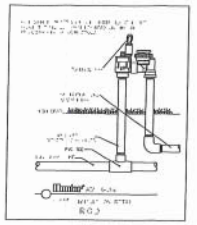
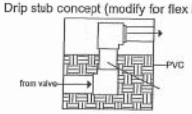
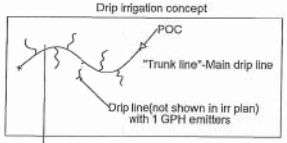




Drip stub concept (modify for flex lines)



Drip irrigation concept



IRRIGATION LEGEND NEW PLANTING AREA

SYMBOL	ITEM	DESCRIPTION	QTY
B	CONTROLLER	RAINBIRD RC-C STATION AT GARAGE or CONTRACTORS CHOICE	3
	MAINLINE	SCHEDULE 40 PVC PIPE SIZE FOR LAWN SPRINKLERS	3
	DRIP LINES	3/4" POLYETHYLENE TUBING	17
	FLEX LINE BUBBLER	3/4" POLYETHYLENE TUBING for DEEP WATERING FOR FRUIT TREES	6
○	ROTATING 25' HEAD SPRAYERS FOR LAWN	RAINBIRD OR CONTRACTORS CHOICE	0

	# STATION REGULATING VALVE BOX	8 Valves for drip irrigation(Plant\Shrub)
	# STATION REGULATING VALVE BOX	8 Valves for drip irrigation(Plant\Shrub)
	# STATION REGULATING VALVE BOX	6 Valves for bubblers (Trees) 1 Valve for drip irrigation(Plant\Shrub) 1 Open Valve for future development

NOTE: ALL MAIN LINES TO BE FLEX LINES (POLYETHYLENE 3/4" TUBING) DUE TO ROCKY TERRAINE, WITH THE EXCEPTION OF THE LAWN SPRINKLERS LINES. CONTRACTOR CAN PUT IN HARD LINES WHERE DEEMED TO BE APPROPRIATE FOR LONGETIVITY OF SYSTEM.

NOTE 2: USE 1 GPH EMITTERS (2 per one gallon / 3 per five gallon plants / 4 per fifteen gallon plants)

Drainage and Irrigation

Note that Contractor is solely responsible for proper runoff, drainage and irrigation of all landscape areas. Contractor is also responsible for field verifying all existing conditions and adjusting accordingly. All Landscape Site improvements to be installed as per Manufacturers specifications.

1. Drainage shall be directed as shown by the plot plan provided.
2. All planting areas to have positive drainage. Where negative drainage may occur, install area drains and connect to existing drainage.
3. Contractor/Owner shall provide adequate surface drainage so that water does not pond within planting or hardscape areas.
4. No drainage shall cross property lines.
5. Contractor/Owner shall adjust or increase the number of sprinklers required in order to provide "head to head" irrigation coverage for all lawn areas.
6. All flower bed areas shall have designated valves with drip or spray emitters.
7. All PVC pipe shall be Sch. 40. run from valves to planter areas.
8. Antisiphon valves shall be placed 12" above highest sprinkler.
9. All plants, shrubs, trees, and lawn areas shall have drip irrigation using drip emitters or spray heads as needed to provide guaranteed coverage.
10. All new trees planted shall have perforated Sch. 40 PVC, 3" pipe to a depth of at least two feet.
11. Provide sleeving (2x) two times the diameter of the pipe for all irrigation, drainage, electrical, natural gas or other utility lines run under any hardscape areas.
12. Contractor/Owner is responsible for obtaining all building, plumbing, electrical and other permits and approvals. Landscape Designer/Architect shall not be held liable for the Contractor/Owner failing to obtain permits. Nor is the Landscape Designer/Architect to be held responsible for any revisions or deviations to these drawing.

Contractor/Owner shall abide by all local, state and federal laws, codes and ordinances.

Planting Notes

- Installing Contractor shall verify all dimensions and areas to be planted prior to start of job. Notify Owner and Designer or any discrepancies prior to starting work.
- All Planting areas shall be free of trash, debris and construction materials larger than 2" and be brought to finish grade before planting begins.
- Slope all surfaces with regard to drainage requirements so that water does not stand. Finish grades shall be flush at catch basins.
- Soil amendments shall be applied at the rate of six cubic yards per 1000 sq. feet and thoroughly retrofitted into the soil prior to planting or irrigation installation.
- Amendment shall be either a nitrified wood component or composted poultry or mushroom compost or equal and shall be free of weed seed and all non-organic materials.
- No soil amendments are to be added to any ground for food production unless certified as organic.
- All plants shall be of quality nursery stock, labeled true to name and variety.
- Planting holes shall be 1½ times the diameter and 2" less the depth of the root ball.
- All five gallon trees and larger to be double staked and tied using 8' lodge pole tree stakes.
- After completion of planting, all areas are to be raked smooth and brought back to finish grade.
- Prior to placement of topdressing, all shrub and groundcover areas are to be treated with Ronstar G pre-emergent herbicide or equal at manufacturer's recommended rate.
- Contractor shall guarantee all shrubs, sod, and groundcovers for a period of 90 days from date of project completion. Trees shall be guaranteed for a period of one year from date of project completion.
- All hydro seeded areas shall be graded and prepared in the same manner as sod installation including complete weed control/eradication. Client shall be notified of any and all delays such preparation shall require and may choose to sign a waiver releasing Contractor from all liability of weed encroachment or failure of the hydro seed if the above steps are not taken.

HALL LANDSCAPE DESIGN

DISCLOSURES

Landscape Design concept is diagrammatic. Actual site conditions take precedence over Design concept. Measurements are approximate and do not take the place of an engineer's survey.
Hall Landscape Design is not responsible for any modifications of the design by others. Modifications may be necessary by the homeowner or contractor to execute this design.

HALL LANDSCAPE DESIGN
Tel (707) 227-4931
Email: ian@hlalidesign.info

Scarlett Winery
Napa, CA

1-23-15
DATE

1" =30'-0"
SCALE

Irrigation for Winery
AREA OF SCOPE

1 of 1
SHEET NUMBER

Ian Hall
DESIGNER

N

Appendix B – Sample Water Efficient Landscape Worksheet.

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package. Please complete all sections (A and B) of the worksheet.

SECTION A. HYDROZONE INFORMATION TABLE

Please complete the hydrozone table(s) for each hydrozone. Use as many tables as necessary to provide the square footage of landscape area per hydrozone.

Hydrozone*	Zone or Valve	Irrigation Method**	Area (Sq. Ft.)	% of Landscape Area
LW	yellow box, red valve	B	1444	6%
LW	yellow box, purple valve	B	1431	6%
LW	yellow box, mustard valve	B	1240	5%
LW	yellow box, dark green valve	B	1243	5%
MW	yellow box, blue valve	B	1439	6%
LW	yellow box, orange valve	B	1419	6%
MW	yellow box, green valve	D	921	4%
LW	red box, cyan valve	D	948	4%
LW	red box, red valve	D	863	4%
MW	red box, green valve	O	1030	4%
LW	red box, orange valve	D	1048	5%
LW	red box, blue valve	D	916	4%
MW	red box, pink valve	D	637	3%
MW	red box, dark green valve	D	653	3%
MW	red box, mustard valve	D	1059	5%
MW	blue box mustard valve	D	589	3%
MW	blue box, dark green valve	D	716	3%
MW	blue box pink valve	D	733	3%
	Total	See next page →		~~100%~~

** Hydrozone*
HW = High Water Use Plants
MW = Moderate Water Use Plants
LW = Low Water Use Plants

***Irrigation Method*
MS = Micro-spray
S = Spray
R = Rotor
B= Bubbler
D= Drip
O = Other

Appendix B – Sample Water Efficient Landscape Worksheet.

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.
Please complete all sections (A and B) of the worksheet.

SECTION A. HYDROZONE INFORMATION TABLE

Please complete the hydrozone table(s) for each hydrozone. Use as many tables as necessary to provide the square footage of landscape area per hydrozone.

Hydrozone*	Zone or Valve	Irrigation Method**	Area (Sq. Ft.)	% of Landscape Area
MW	blue box, orange valve	D	1056	5%
MW	blue box, cyan valve	D	827	3%
MW	blue box red valve	D	1150	5%
MW	blue box green valve	D	897	4%
MW	blue box blue valve	D	986	4%
	Total	23,244 sq. ft.		100%

** Hydrozone*
HW = High Water Use Plants
MW = Moderate Water Use Plants
LW = Low Water Use Plants

***Irrigation Method*
MS = Micro-spray
S = Spray
R = Rotor
B= Bubbler
D= Drip
O = Other

SECTION B. WATER BUDGET CALCULATIONS

Section B1. Maximum Applied Water Allowance (MAWA)

The project's Maximum Applied Water Allowance shall be calculated using this equation:

MAWA = (ETo) (0.62) [(0.7 x LA) + (0.3 x SLA)]

where:

MAWA = Maximum Applied Water Allowance (gallons per year)
ETo = Reference Evapotranspiration from Appendix A (inches per year)
0.7 = ET Adjustment Factor (ETAF)
LA = Landscaped Area includes Special Landscape Area (square feet)
0.62 = Conversion factor (to gallons per square foot)
SLA = Portion of the landscape area identified as Special Landscape Area (square feet)
0.3 = the additional ET Adjustment Factor for Special Landscape Area (1.0 - 0.7 = 0.3)

Maximum Applied Water Allowance = 446,958.9 **gallons per year**

Show calculations.

MAWA = (44.3)(0.62)[(0.7 x 23,244) + (0.3 x 0)]
MAWA = 27.47 x (16,270.8 + 0)
MAWA = 27.47 x 16,270.8
MAWA = 446,958.9

Effective Precipitation (Eppt)

If considering Effective Precipitation, use 25% of annual precipitation. Use the following equation to calculate Maximum Applied Water Allowance:

MAWA= (ETo – Eppt) (0.62) [(0.7 x LA) + (0.3 x SLA)]

Maximum Applied Water Allowance = _____ **gallons per year**

Show calculations.

N/A

Section B2. Estimated Total Water Use (ETWU)

The project's Estimated Total Water Use is calculated using the following formula:

$$ETWU = (ETo)(0.62)\left(\frac{PF\,x\,HA}{IE} + SLA\right)$$

where:

ETWU = Estimated total water use per year (gallons per year)
ETo = Reference Evapotranspiration (inches per year)
PF = Plant Factor from WUCOLS (see Definitions)
HA = Hydrozone Area [high, medium, and low water use areas] (square feet)
SLA = Special Landscape Area (square feet)
0.62 = Conversion Factor (to gallons per square foot)
IE = Irrigation Efficiency (minimum 0.71)

Hydrozone Table for Calculating ETWU

Please complete the hydrozone table(s). Use as many tables as necessary.

Hydrozone	Plant Water Use Type(s)	Plant Factor (PF)	Area (HA) (square feet)	PF x HA (square feet)
LW	Shrub	.3	1048	314.4
LW	Shrub	.3	916	274.8
MW	Shrub	.5	637	318.5
MW	Shrub	.5	653	326.5
MW	Shrub	.5	1059	529.5
			Sum	see next page
	SLA	0		

Estimated Total Water Use = _____ **gallons**

Show calculations.

See next page →

Section B2. Estimated Total Water Use (ETWU)

The project's Estimated Total Water Use is calculated using the following formula:

$$ETWU = (ETo)(0.62)\left(\frac{PF\,x\,HA}{IE} + SLA\right)$$

where:

ETWU = Estimated total water use per year (gallons per year)
ETo = Reference Evapotranspiration (inches per year)
PF = Plant Factor from WUCOLS (see Definitions)
HA = Hydrozone Area [high, medium, and low water use areas] (square feet)
SLA = Special Landscape Area (square feet)
0.62 = Conversion Factor (to gallons per square foot)
IE = Irrigation Efficiency (minimum 0.71)

Hydrozone Table for Calculating ETWU

Please complete the hydrozone table(s). Use as many tables as necessary.

Hydrozone	Plant Water Use Type(s)	Plant Factor (PF)	Area (HA) (square feet)	PF x HA (square feet)
LW	tree	.3	1419	425.7
MW	shrub	.5	921	460.5
LW	shrub	.3	948	284
LW	shrub	.3	863	258.9
MW	shrub	.5	1030	515
			Sum	see next page
	SLA	0		

Estimated Total Water Use = _____ **gallons**

Show calculations.

see next page →

Section B2. Estimated Total Water Use (ETWU)

The project's Estimated Total Water Use is calculated using the following formula:

$$ETWU = (ETo)(0.62)\left(\frac{PF \times HA}{IE} + SLA\right)$$

where:

ETWU = Estimated total water use per year (gallons per year)
ETo = Reference Evapotranspiration (inches per year)
PF = Plant Factor from WUCOLS (see Definitions)
HA = Hydrozone Area [high, medium, and low water use areas] (square feet)
SLA = Special Landscape Area (square feet)
0.62 = Conversion Factor (to gallons per square foot)
IE = Irrigation Efficiency (minimum 0.71)

Hydrozone Table for Calculating ETWU

Please complete the hydrozone table(s). Use as many tables as necessary.

Hydrozone	Plant Water Use Type(s)	Plant Factor (PF)	Area (HA) (square feet)	PF x HA (square feet)
LW	tree	.3	1444	433.2
LW	tree	.3	1431	429.3
LW	tree	.3	1240	372
LW	tree	.3	1243	372.9
MW	tree	.5	1439	719.5
			Sum	see next page
	SLA	0		

Estimated Total Water Use = _____ gallons

Show calculations.

see next page →

Section B2. Estimated Total Water Use (ETWU)

The project's Estimated Total Water Use is calculated using the following formula:

$$ETWU = (ETo)(0.62)\left(\frac{PF \times HA}{IE} + SLA\right)$$

where:

ETWU = Estimated total water use per year (gallons per year)
ETo = Reference Evapotranspiration (inches per year)
PF = Plant Factor from WUCOLS (see Definitions)
HA = Hydrozone Area [high, medium, and low water use areas] (square feet)
SLA = Special Landscape Area (square feet)
0.62 = Conversion Factor (to gallons per square foot)
IE = Irrigation Efficiency (minimum 0.71)

Hydrozone Table for Calculating ETWU

Please complete the hydrozone table(s). Use as many tables as necessary.

Hydrozone	Plant Water Use Type(s)	Plant Factor (PF)	Area (HA) (square feet)	PF x HA (square feet)
MW	shrub	.5	589	294.5
MW	shrub	.5	716	358
MW	shrub	.5	733	366.5
MW	shrub	.5	1055	527.6
MW	shrub	.5	827	413.5
			Sum	See next page
	SLA	0		

Estimated Total Water Use = _____ **gallons**

Show calculations.

See next page →

Section B2. Estimated Total Water Use (ETWU)

The project's Estimated Total Water Use is calculated using the following formula:

$$ETWU = (ETo)(0.62)\left(\frac{PF \times HA}{IE} + SLA\right)$$

where:

ETWU = Estimated total water use per year (gallons per year)
ETo = Reference Evapotranspiration (inches per year)
PF = Plant Factor from WUCOLS (see Definitions)
HA = Hydrozone Area [high, medium, and low water use areas] (square feet)
SLA = Special Landscape Area (square feet)
0.62 = Conversion Factor (to gallons per square foot)
IE = Irrigation Efficiency (minimum 0.71)

Hydrozone Table for Calculating ETWU

Please complete the hydrozone table(s). Use as many tables as necessary.

Hydrozone	Plant Water Use Type(s)	Plant Factor (PF)	Area (HA) (square feet)	PF x HA (square feet)
MW	Shrub	.5	1150	575
MW	Shrub	.5	897	448.5
MW	Shrub	.5	986	493
			Sum	9,511.2
	SLA	0		

Estimated Total Water Use = _____ **gallons**

Show calculations.

$ETWU = (44.3)(0.62)\left[\frac{9511.2}{.75} + 0\right]$

ETWU = 27.47 x 12,681.6

ETWU = 348,363.6

PART 2. CERTIFICATION OF INSTALLATION ACCORDING TO THE LANDSCAPE DOCUMENTATION PACKAGE

"I/we certify that based upon periodic site observations, the work has been substantially completed in accordance with the ordinance and that the landscape planting and irrigation installation conform with the criteria and specifications of the approved Landscape Documentation Package."

Signature*	Date 01/23/2018	
Name (print) Ian Hall	Telephone No. (707) 227-4931	
	Fax No. (707) 224-3089	
Title Landscape Designer	Email Address ian@hall design.info	
License No. or Certification No. N/A		
Company Hall Landscape Design	Street Address 3171 Vichy Ave.	
City Napa	State CA	Zip Code 94558

*Signer of the landscape design plan, signer of the irrigation plan, or a licensed landscape contractor.

PART 3. IRRIGATION SCHEDULING

Attach parameters for setting the irrigation schedule on controller per ordinance Section 492.10.

PART 4. SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE

Attach schedule of Landscape and Irrigation Maintenance per ordinance Section 492.11.

PART 5. LANDSCAPE IRRIGATION AUDIT REPORT

Attach Landscape Irrigation Audit Report per ordinance Section 492.12.

PART 6. SOIL MANAGEMENT REPORT

Attach soil analysis report, if not previously submitted with the Landscape Documentation Package per ordinance Section 492.5.

Attach documentation verifying implementation of recommendations from soil analysis report per ordinance Section 492.5.