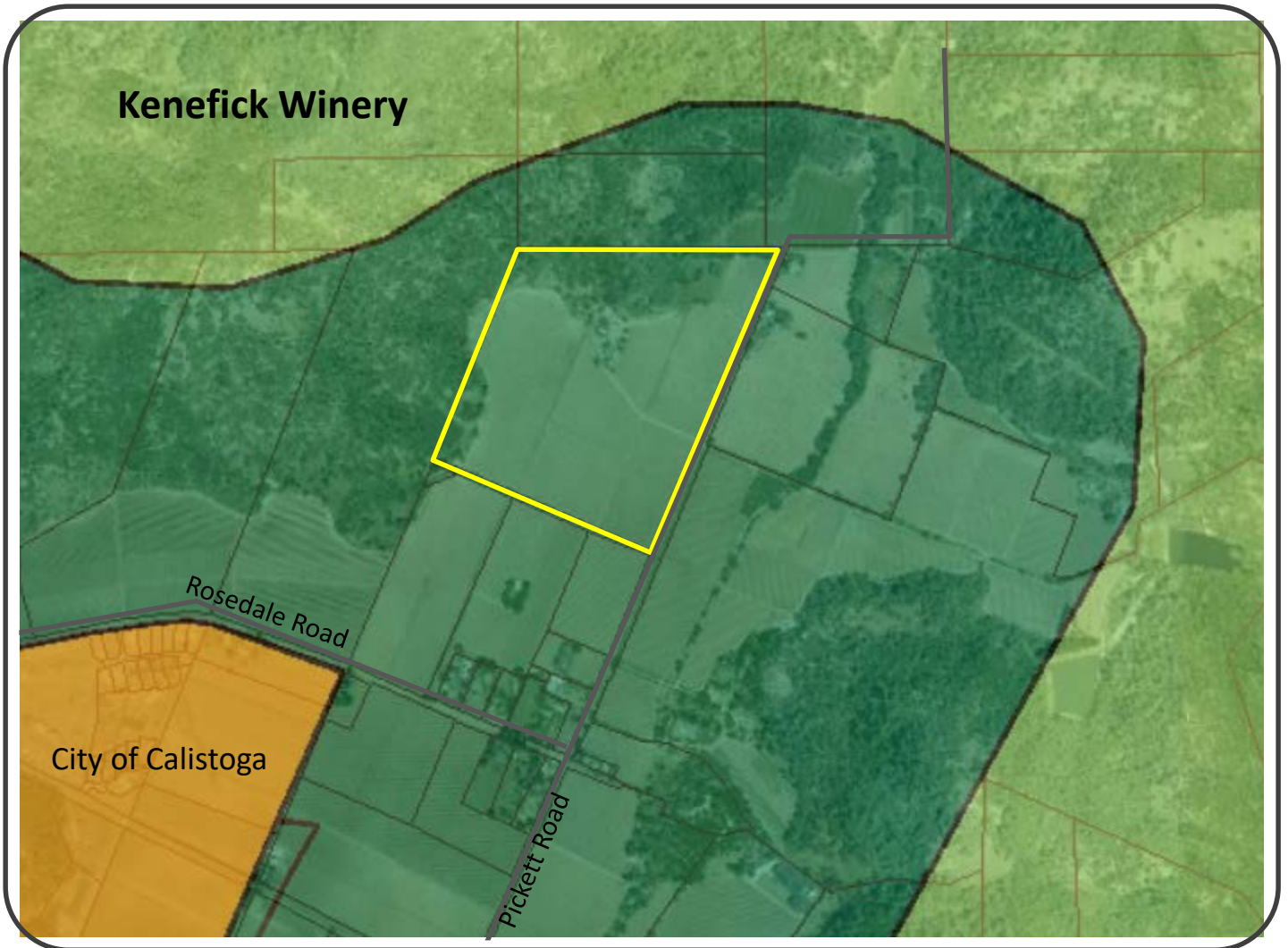


“J”

Graphics








NAPA COUNTY LAND USE PLAN 2008 – 2030





LEGEND




URBANIZED OR NON-AGRICULTURAL

-  Study Area
-  Cities
-  Urban Residential*
-  Rural Residential*
-  Industrial
-  Public-Institutional
-  Napa Pipe Mixed Use

OPEN SPACE

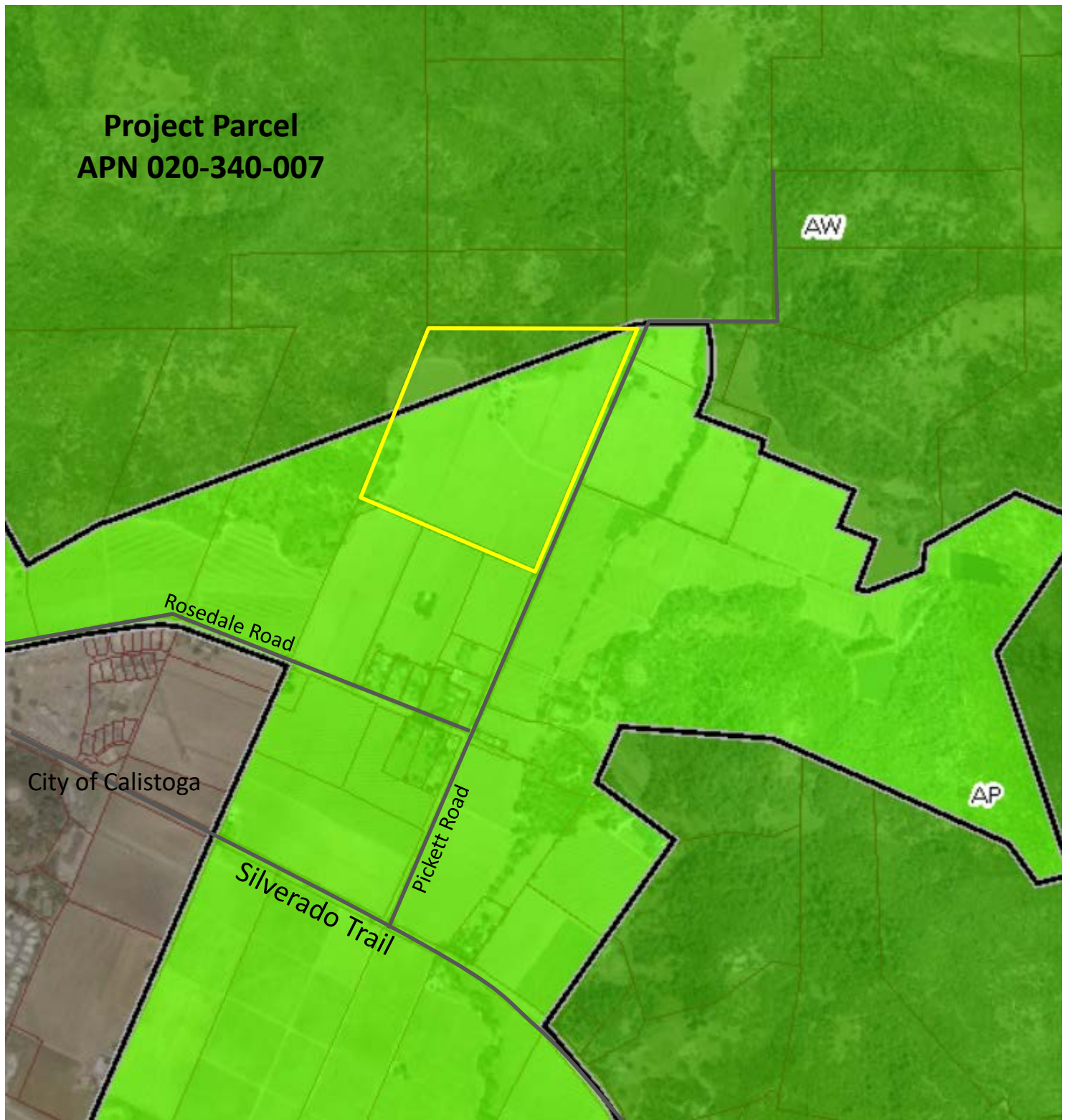
-  Agriculture, Watershed & Open Space
-  Agricultural Resource

TRANSPORTATION

-  Mineral Resource
-  Limited Access Highway
-  American Canyon ULL
-  City of Napa RUL
-  Landfill - General Plan
-  Road
-  Airport
-  Railroad
-  Airport Clear Zone

* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations

Project Parcel
APN 020-340-007



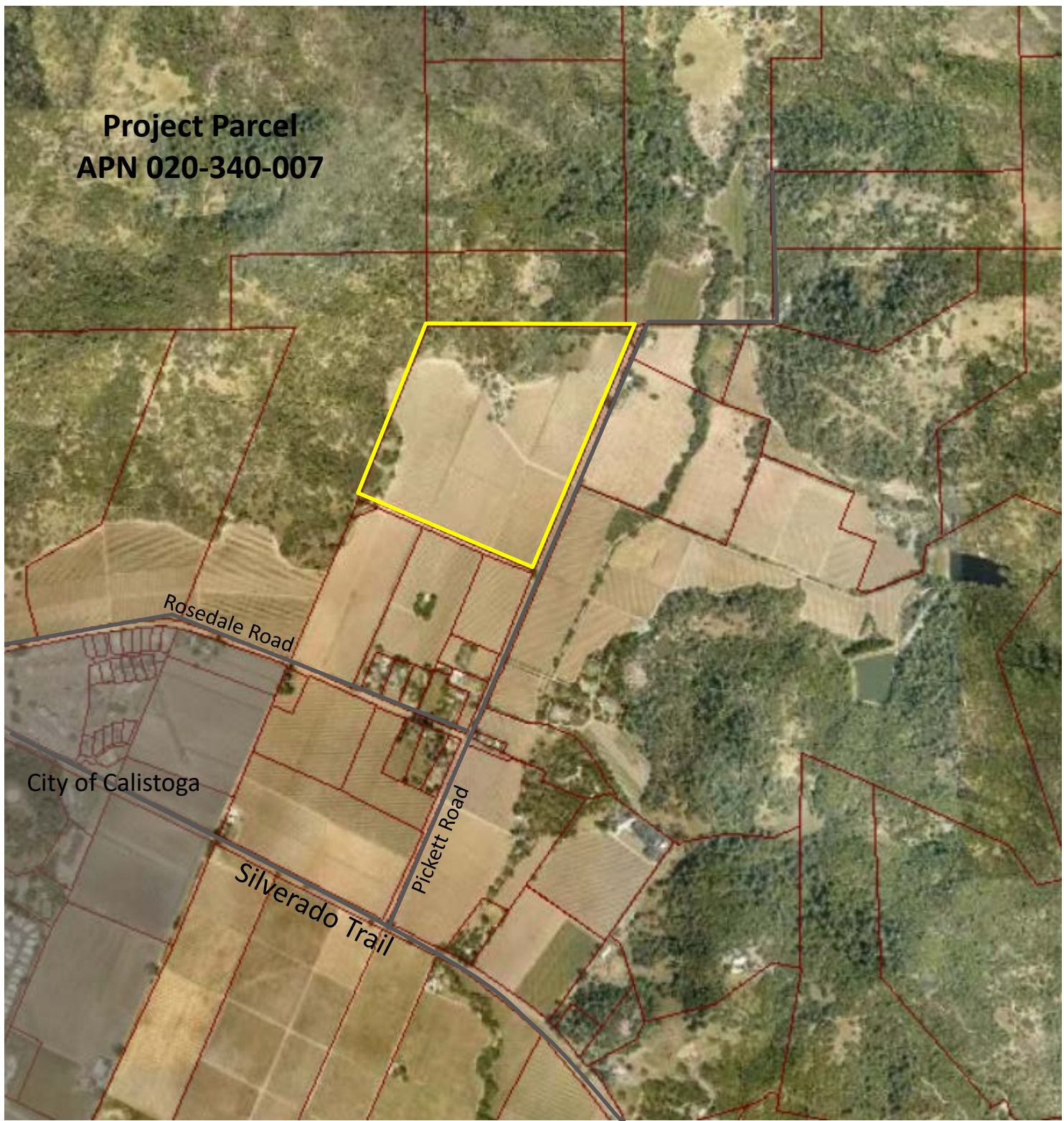
LEGEND

- Zoning
- Parcel



Zoning Designation

**Project Parcel
APN 020-340-007**

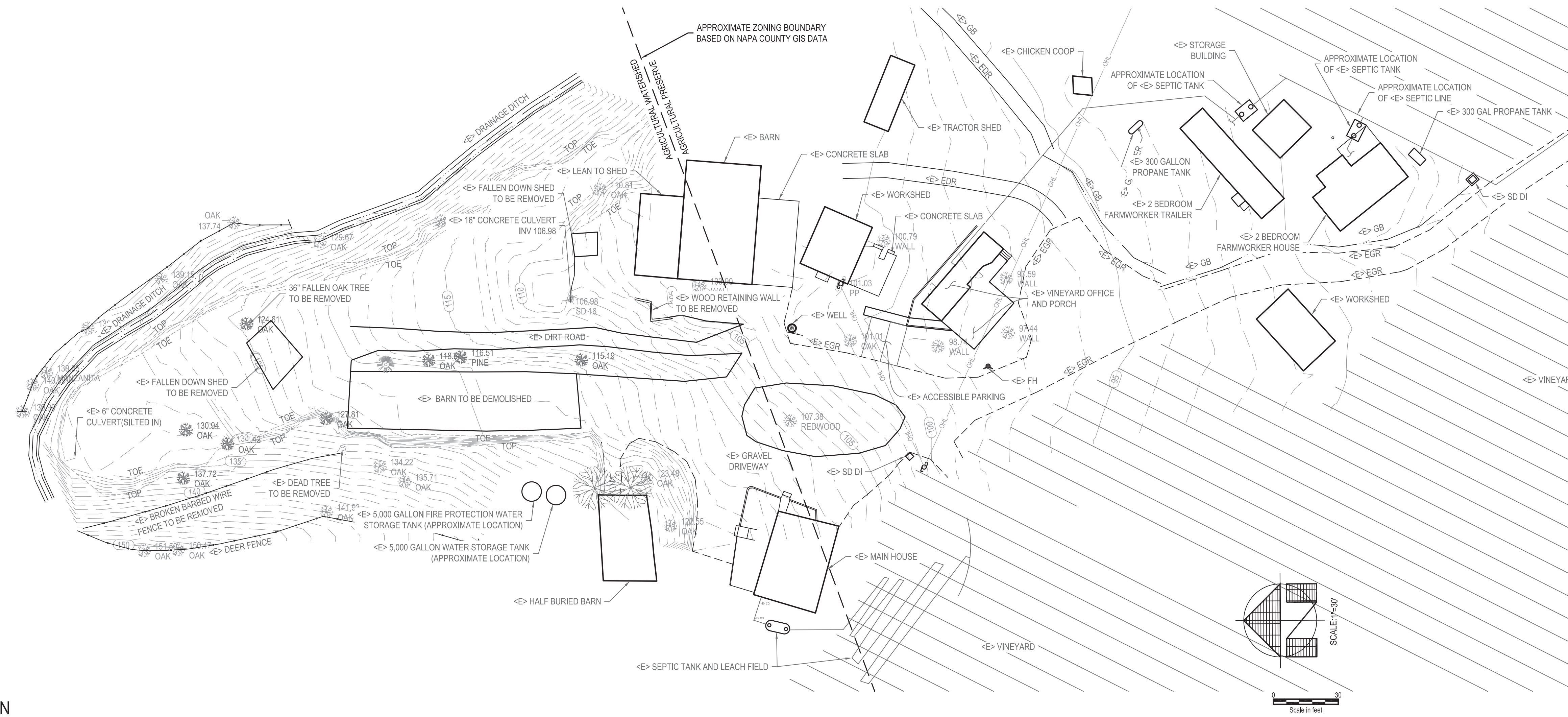


Existing Conditions

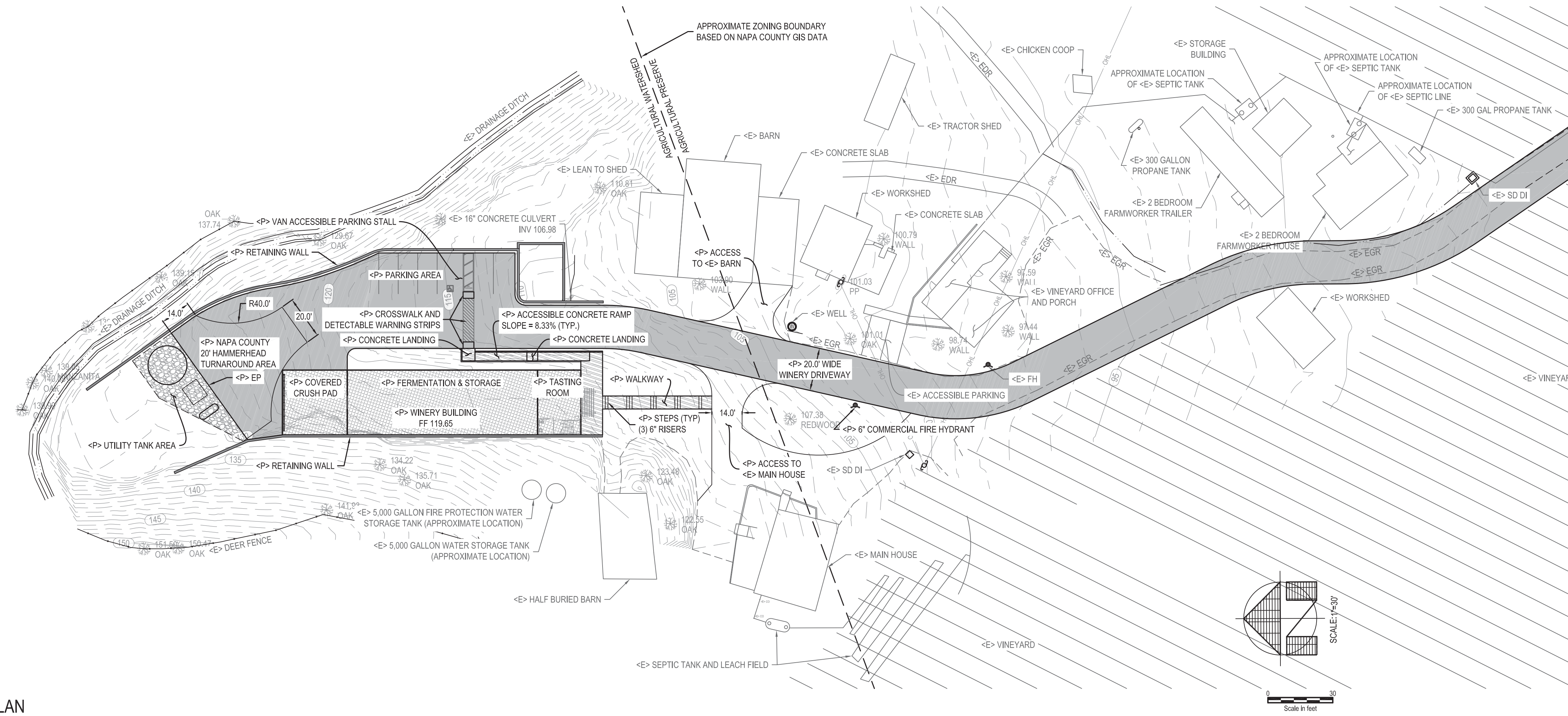
**Existing Agricultural
Storage Building**



**Proposed Winery
Location**



EXISTING SITE PLAN



PROPOSED SITE PLAN

LEGEND

X TREE TO BE DEMOLISHED

OAK TREE REMOVAL
 OAK - 7 TREES TOTAL
 PINE - 1 TREE TOTAL

TREE REPLACEMENT NOTES
 THE PROJECT PROPOSES TO REPLACE THE DEMOLISHED OAK TREES AT A RATIO OF 2:1. A TOTAL OF 14 NEW OAK TREES WILL BE PLANTED ON SITE.

CONSTRUCTION OF THIS PROJECT IS SUBJECT TO THE APPROVAL OF THE NAPA COUNTY BOARD OF SUPERVISORS. THE PROJECT IS SUBJECT TO THE NAPA COUNTY ZONING ORDINANCES AND THE NAPA COUNTY SUBDIVISION MAP ACT. THE PROJECT IS SUBJECT TO THE NAPA COUNTY SUBDIVISION MAP ACT. THE PROJECT IS SUBJECT TO THE NAPA COUNTY SUBDIVISION MAP ACT. THE PROJECT IS SUBJECT TO THE NAPA COUNTY SUBDIVISION MAP ACT.

DELTA CONSULTING & ENGINEERING
 OF ST. HELENA

1104 ADAMS STREET, SUITE 203 - ST. HELENA, CALIFORNIA 94574
 707-963-8456 + 707-963-8528 FAX

USE PERMIT PLANS

EXISTING & PROPOSED SITE PLAN

KENEFICK RANCH WINERY
 2200 PICKETT ROAD
 CALISTOGA, CA 94515
 APN: 020-340-007
 PROJECT: K-140



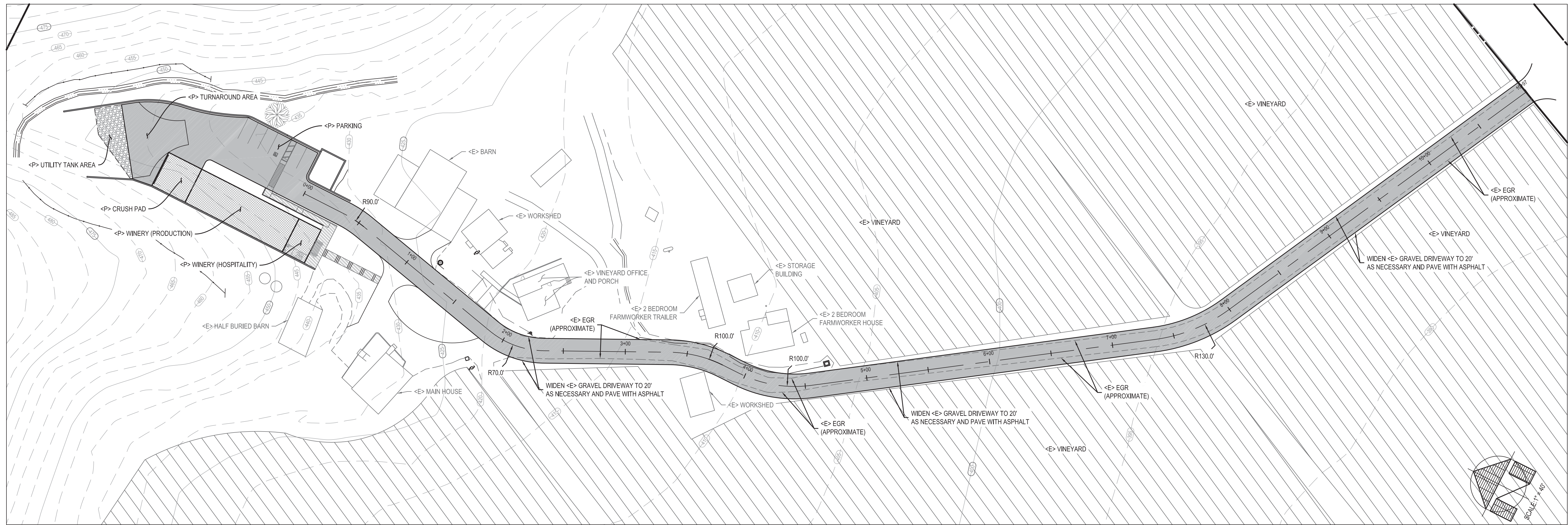
EVERY PERSON PLANNING TO DIG CALL USA AT 1-800-272-2909

FOR MORE INFORMATION SEE WWW.USADIGIT.COM

REVISIONS

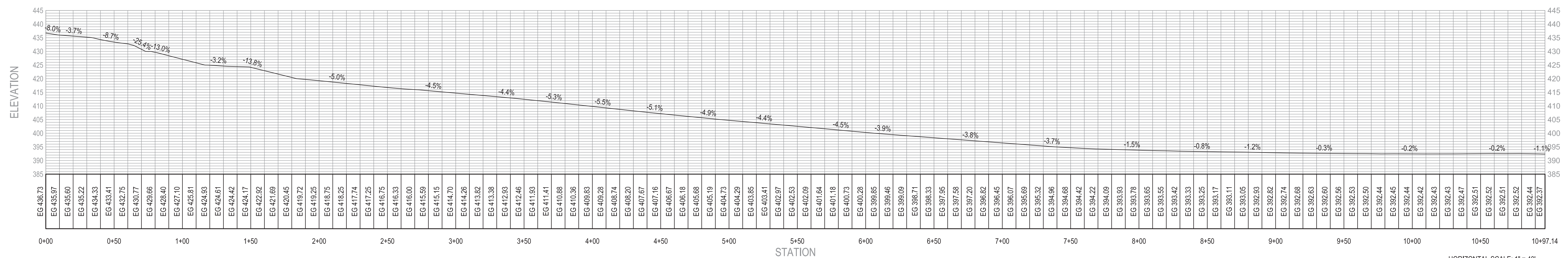
01/10/17	REMOVED LANDSCAPING REFERENCES FROM PROPOSED SITE PLAN
12/18/15	PERMIT SET
01/10/17	PLAN CHECK

SHEET: **UPP1.1**



ACCESS ROAD - CENTERLINE ALIGNMENT

TOPOGRAPHIC CONTOURS AND ELEVATIONS SHOWN ARE FROM NAPA COUNTY GIS DATA (DESCRIPTION: 2002 DTM & IMAGERY; NAME: I-3)



ACCESS ROAD - CENTERLINE PROFILE

TOPOGRAPHIC CONTOURS AND ELEVATIONS SHOWN ARE FROM NAPA COUNTY GIS DATA (DESCRIPTION: 2002 DTM & IMAGERY; NAME: I-3)

HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 20'

REVISIONS

- 01/10/17
- NO CHANGES THIS SHEET

CONSUMER PROTECTION: ANY PROFESSIONAL SERVICE PROVIDED BY THIS FIRM IS SUBJECT TO THE PROVISIONS OF THE PROFESSIONAL SERVICE CONTRACT. THIS FIRM IS NOT RESPONSIBLE FOR ANY OTHER ENGINEERING OR SURVEYING WORK NOT BEING PERFORMED BY THIS FIRM. THESE PLANS ARE FOR THE USE OF THE CLIENT ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE. ALL CHANGES TO THE PLANS MUST BE MADE BY THE ENGINEER. THE DRAWINGS ARE FOR THE USE OF THE CLIENT OF DELTA CONSULTING & ENGINEERING. ANY CHANGES TO THESE DRAWINGS MUST BE MADE BY THE ENGINEER. THE DRAWINGS ARE FOR THE USE OF THE CLIENT OF DELTA CONSULTING & ENGINEERING. ANY CHANGES TO THESE DRAWINGS MUST BE MADE BY THE ENGINEER. THE DRAWINGS ARE FOR THE USE OF THE CLIENT OF DELTA CONSULTING & ENGINEERING. ANY CHANGES TO THESE DRAWINGS MUST BE MADE BY THE ENGINEER.

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OF ST. HELENA
1104 ADAMS STREET, SUITE 203 - ST. HELENA, CALIFORNIA 94574
707-963-8456 + 707-963-8528 FAX

USE PERMIT PLANS
ACCESS ROAD PLAN & PROFILE

KENEFICK RANCH WINERY
2200 PICKETT ROAD
CALISTOGA, CA 94515
APN: 020-340-007
PROJECT: K-140



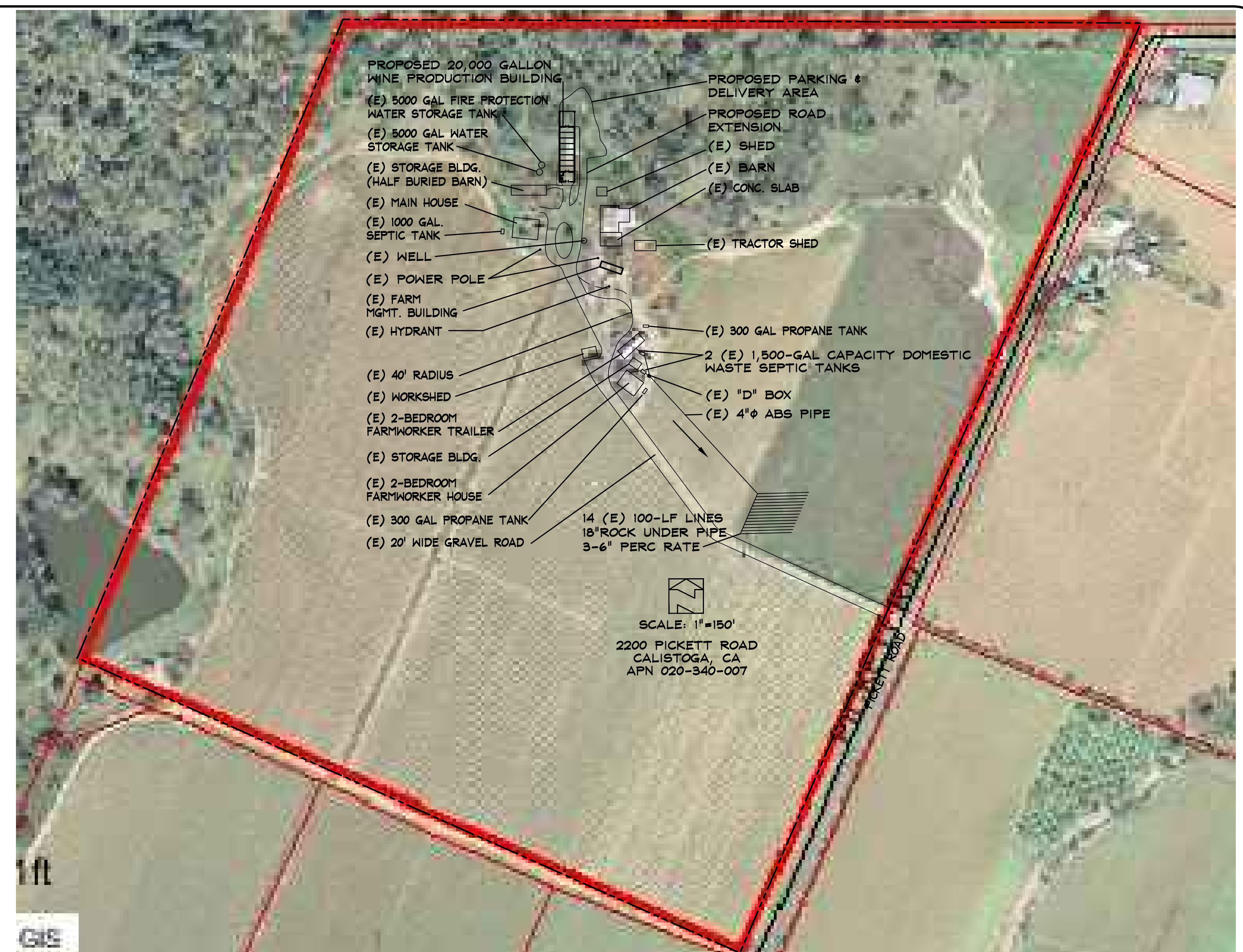
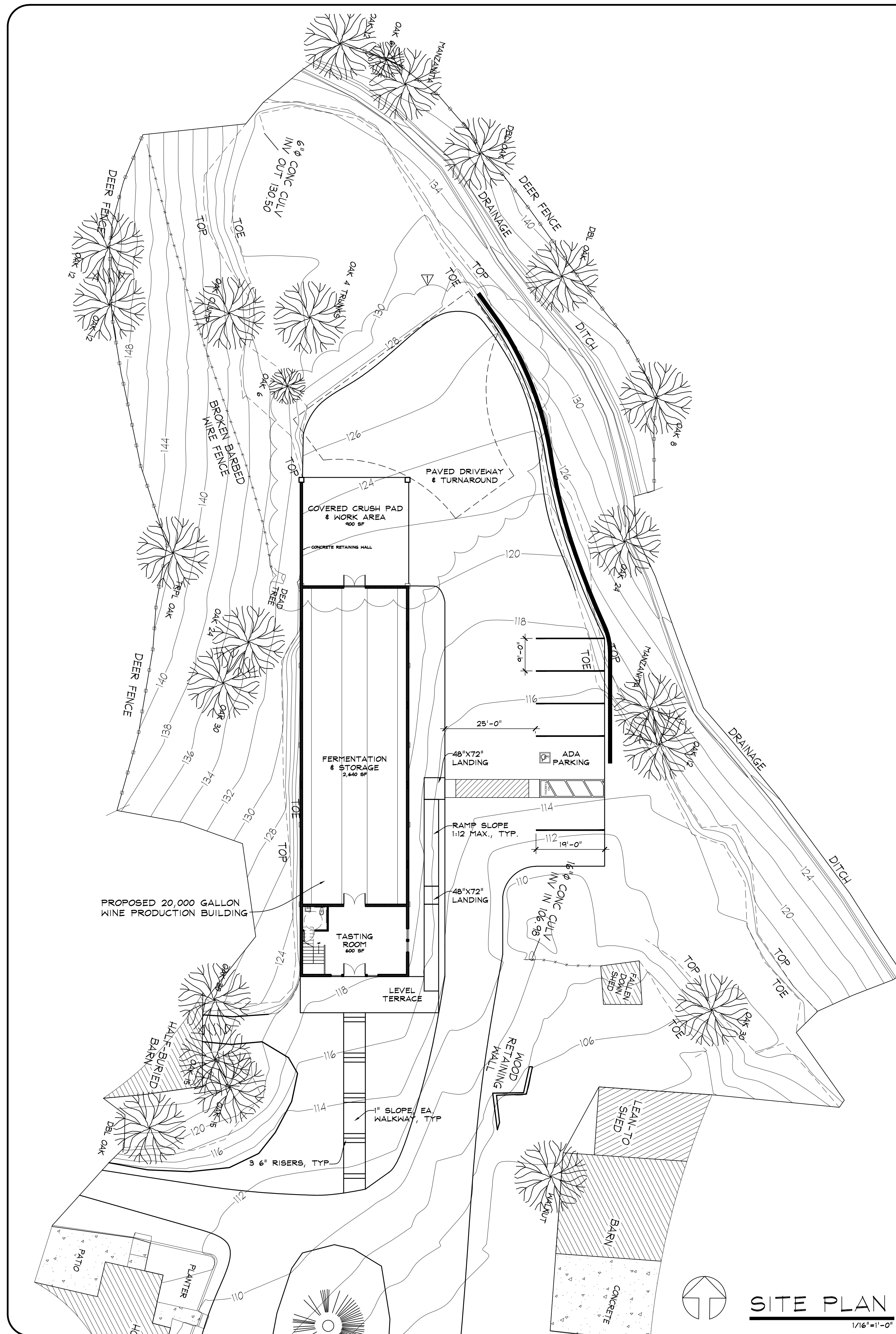
EVERY PERSON PLANNING TO DIG CALL USA AT 1-800-273-2989



DATE: 12/18/15
ISSUE: PERMIT SET
01/10/17 PLAN CHECK

SHEET:

UPP3.0

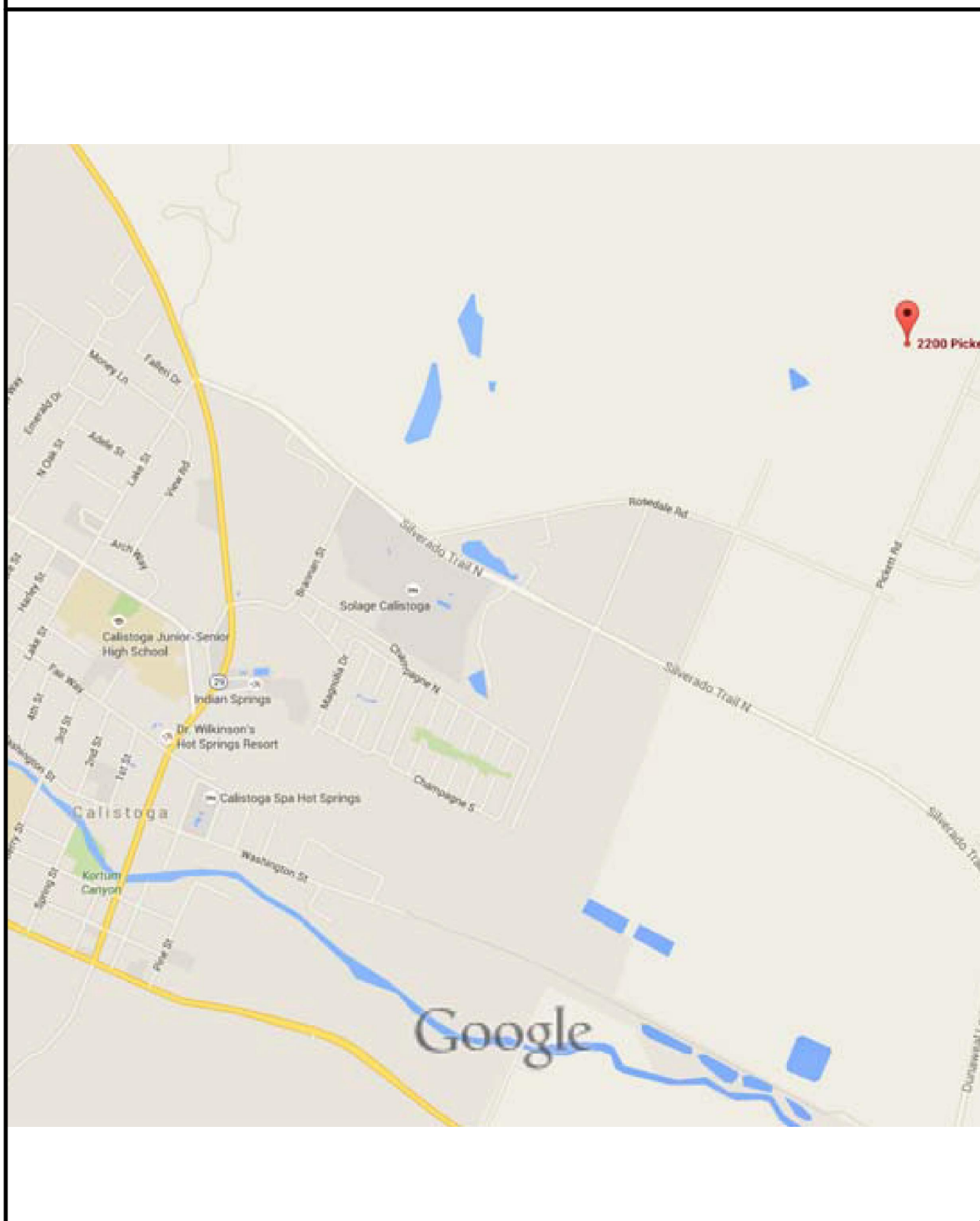


AERIAL SITE PLAN APN 020-340-007 SCALE: 1"=150'

ABBREVIATIONS	
AB	ANGLE
AC	ANCHOR BOLT
AGG	ASPHALT CONCRETE
ALUM	ALUMINUM
AT	AT
BL	BLOCK
BLDG	BUILDING
BLKG	BLOCKING
BMT	BEAM
BN	BOUNDARY NAIL
BOTT	BOTTOM
C	CENTER LINE
CB	CARRIAGE BOLT
CER	CERAMIC
CI	CAST IRON
CLG	CEILING
CONC	CONCRETE
CONC CONT	CONCRETE CONTINUOUS
CSK	COUNTERSINK
CSHT	CASEMENT
CW	CUT WASHER
D	DIAMETER
DBL	DRYER
DET	DETAIL
DF	DOUGLAS FIR
DH	DOUBLE HUNG
DIAG	DIAGONAL
DISP	DISPOSAL
DITTO	DITTO
DS	DOWNSPOUT
DW	DISHWASHER
(E)	EXISTING
EA	EACH
EAF	EACH FACE
EJL	EXPANSION JOINT
ELEV	ELEVATION
EQ	EQUAL
EQV	EQUIVALENT
ES	EACH SIDE
EA	EACH END
EXT	EXISTING EXTERIOR
FB	FLAT BAR
FDN	FOUNDATION
FN	FACE NAIL
FOC	FACE OF CONCRETE
FHC	FACE OF HEART CENTER
FOM	FACE OF MASONRY
FOP	FACE OF PLYWOOD
FOS	FACE OF STUD
FTG	FOOTING
FURN	FURNACE
G	GAS
GA	GAUGE
GB	GYPSUM WALLBOARD
GD	GARAGE DISPOSAL
GFI	GROUND FAULT CIRCUIT INTERRUPTER
GI	GALVANIZED IRON
GL	GLASS
GLB	GLUE LAMINATED BEAM
GR	GRADE
GSH	GALVANIZED SHEET METAL
GTF	GYPSUM BOARD
HD	HOSE BIBB
HC	HOLLOW CORE
HD	HOLLOW CORE
HD	HOLLOW CORE
HT	HORIZONTAL
HT	HEIGHT
IJ	I-JOIST (MANUFACTURED BUILT-UP - 2X12)
KD	KILN DRIED
LAM	LAMINATE(D)
LAV	LAVATORY
MAT'L	MATERIAL
MAX	MAXIMUM
MB	MACHINE BOLT
MC	MEDICINE CABINET
MIN	MINIMUM
MIM	MALLEABLE IRON WASHER
MJ	MOVEMENT JOINT
MTL	METAL
(N)	NATURAL
NAT	NATURAL
NEC	NATIONAL ELECTRICAL CODE
NO	NUMBER
NTS	NOT TO SCALE
O	OVER
OC	ON CENTER
OH	OVERHEAD
OF	OPENING
PEN	PLYWOOD EDGE NAIL
PL	PLATE
PLYWD	PLYWOOD
PT	PRESSURE TREATED
R	RADIUS
R	RISER
RAR	RETURN AIR REGISTER
REFR	REFRIGERATOR
RO	ROUGH OPENING
RWD	REDWOOD
S4S	SURFACE FOUR SIDES
SAD	SEE ARCHITECTURAL DRAWING
SBD	SOLID BLOCKING
SC	SOLID CORE
SCR	SCREEN
SH	SINGLE HUNG
SIM	SIMILAR
SL	SLIDER, SLOPE
SL GL DR	SLIDING GLASS DOOR
SN	SHEAR WALL
T	TREAD
T&G	TONGUE AND GROOVE
TC	TRASH COMPACTOR
TEMP	TEMPERATURE
THERM	THERMOSTAT
TN	TOP
TOC	TOP OF CONCRETE
TOC	TOP OF CURB
TOF	TOP OF FRAMING
TOP	TOP OF PLYWOOD
TOB	TOP OF STEEL
TS	TUBE STEEL
TYP	TYPICAL
UBC	UNIFORM BUILDING CODE
UMC	UNIFORM MECHANICAL CODE
UNO	UNLESS NOTED OTHERWISE
UNO	UNLESS NOTED OTHERWISE
UNO	UNLESS NOTED OTHERWISE
VERT	VERTICAL
VIF	VERIFY IN FIELD
W	WASHER
W/C	WATER CLOSET
W/D	WASHER/DRYER
WFSB	WIDE FLANGE STEEL BEAM
WH	WATER HEATER
WI	WIRE MESH
WP	WATER PROOF
WKF	WELDED WIRE FABRIC
WKF	WELDED WIRE MESH

LEGEND/SYMBOLS	
[Symbol]	NATURAL GRADE/UNDISTURBED SOIL
[Symbol]	FILL/BACKFILL SOIL
[Symbol]	COMPACTED FILL
[Symbol]	CONCRETE
[Symbol]	SAND
[Symbol]	GRAVEL
[Symbol]	STONE
[Symbol]	BATT INSULATION
[Symbol]	RIGID INSULATION
[Symbol]	POURED CONCRETE WALL
[Symbol]	CONCRETE BLOCK WALL
[Symbol]	NEW WALL W/ 2X4 STUDS
[Symbol]	NEW WALL W/ 2X6 STUDS
[Symbol]	NEW WALL W/ 2X8 STUDS
[Symbol]	NEW WALL W/ 2X10 STUDS
[Symbol]	NEW WALL W/ 2X12 STUDS
[Symbol]	EXISTING WALL TO REMAIN
[Symbol]	PLYWOOD
[Symbol]	HIDDEN LINE
[Symbol]	CENTER LINE
[Symbol]	PROPERTY LINE
[Symbol]	DIMENSION TO CENTER LINE
[Symbol]	DIMENSION TO FACE OF STUD
[Symbol]	INTERIOR ELEVATION SHEET NO.
[Symbol]	DOOR REFERENCE
[Symbol]	WINDOW REFERENCE
[Symbol]	KEYNOTE REFERENCE
[Symbol]	SECTION ARROW SHEET NO.
[Symbol]	SECTION REFERENCE SHEET NO.
[Symbol]	DETAIL REFERENCE NO. SHEET NO.
[Symbol]	DETAIL ARROW

SHEET INDEX	
1	• AERIAL SITE PLAN, SITE PLAN • ABBREVIATIONS, LEGEND/SYMBOLS, • SHEET INDEX, VICINITY MAP
2	• FIRST & SECOND FLOOR PLANS • EXTERIOR ELEVATIONS • EXISTING SOUTH & EAST ELEVATION PHOTOS



M O R E
Associates
Architecture

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Calistoga, California 94515
707-942-1500 morefore@aol.com

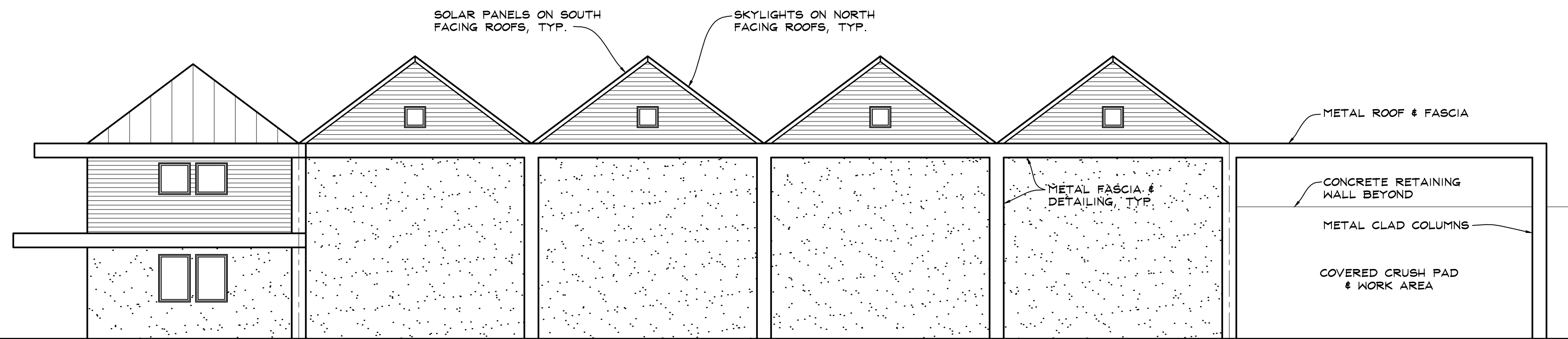
date: 8-28-15
scale: AS NOTED
job no.: 0410
drawn by: BCM

revisions:
1-10-17 USE PERMIT PLAN
CHECK REVISIONS

• SITE PLAN
• AERIAL SITE PLAN
• SHEET INDEX, VICINITY MAP
• ABBREVIATIONS, LEGEND/SYMBOLS

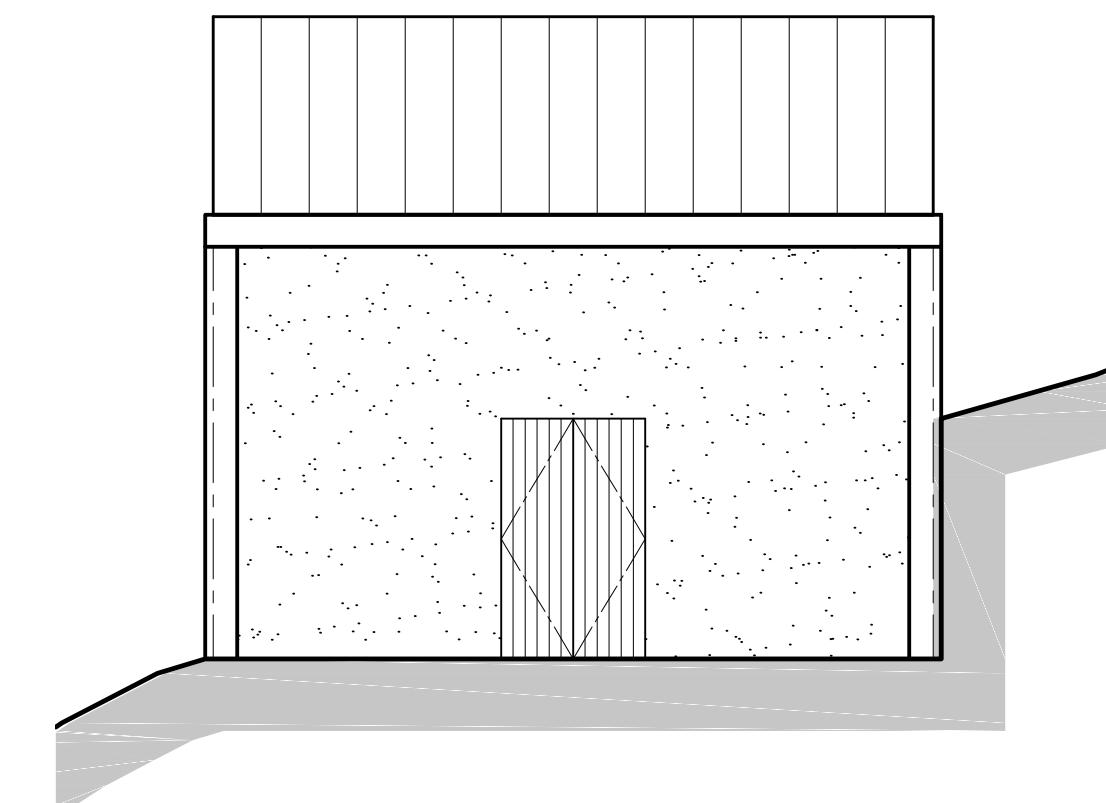
KENEFICK WINERY
USE PERMIT APPLICATION
2200 pickett road calistoga, ca 94515

sheet no. **1** of 2



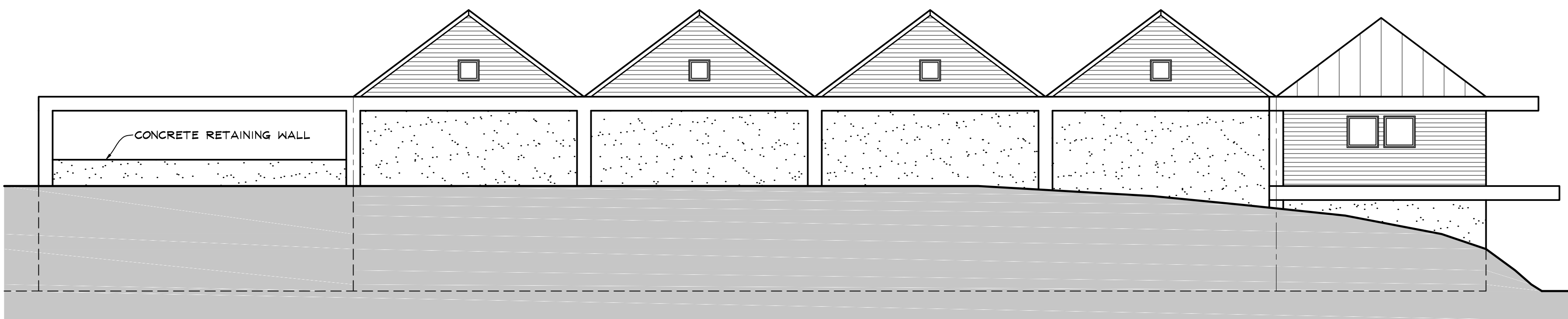
EAST ELEVATION

1/8"=1'-0"



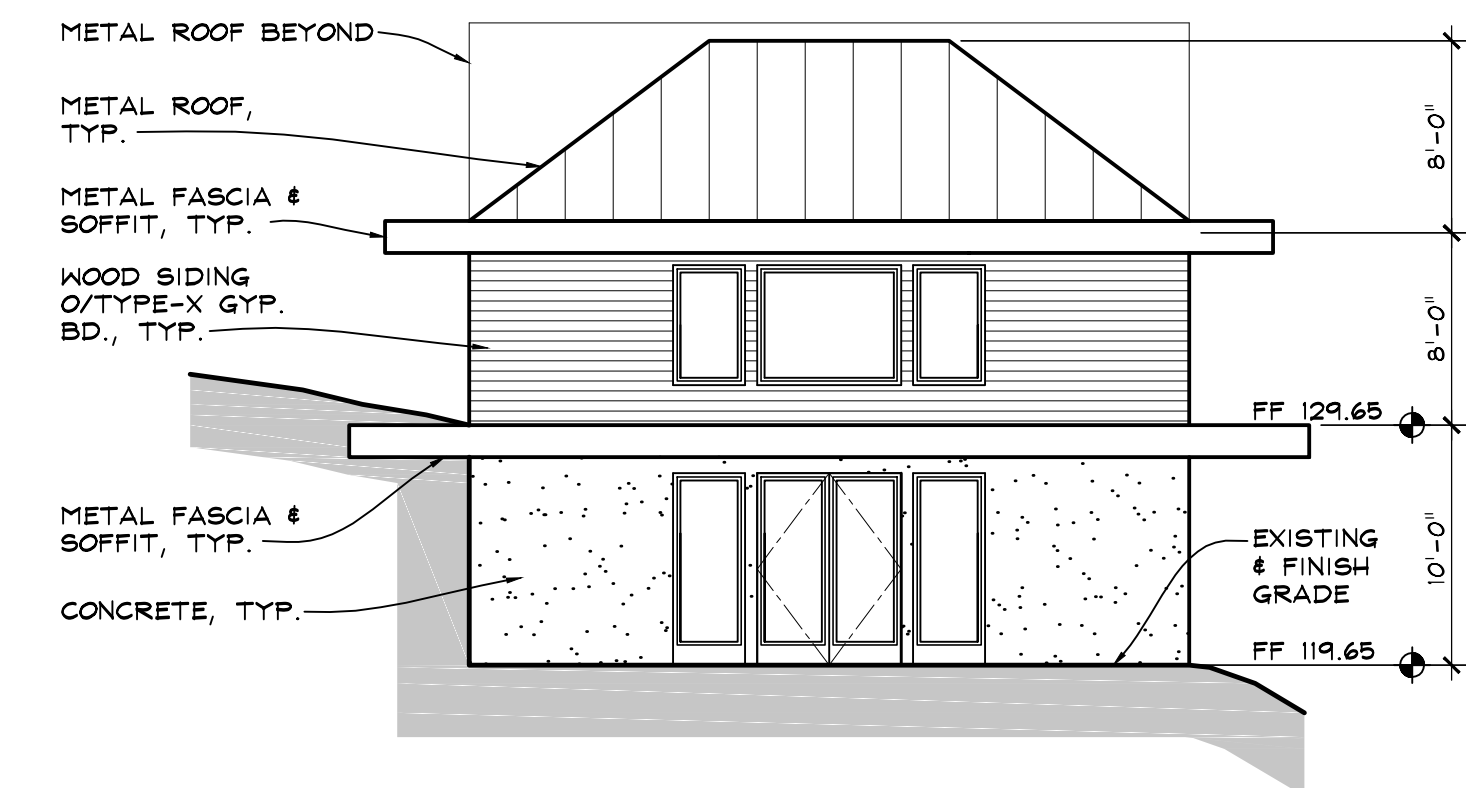
NORTH ELEVATION

1/8"=1'-0"



WEST ELEVATION

1/8"=1'-0"

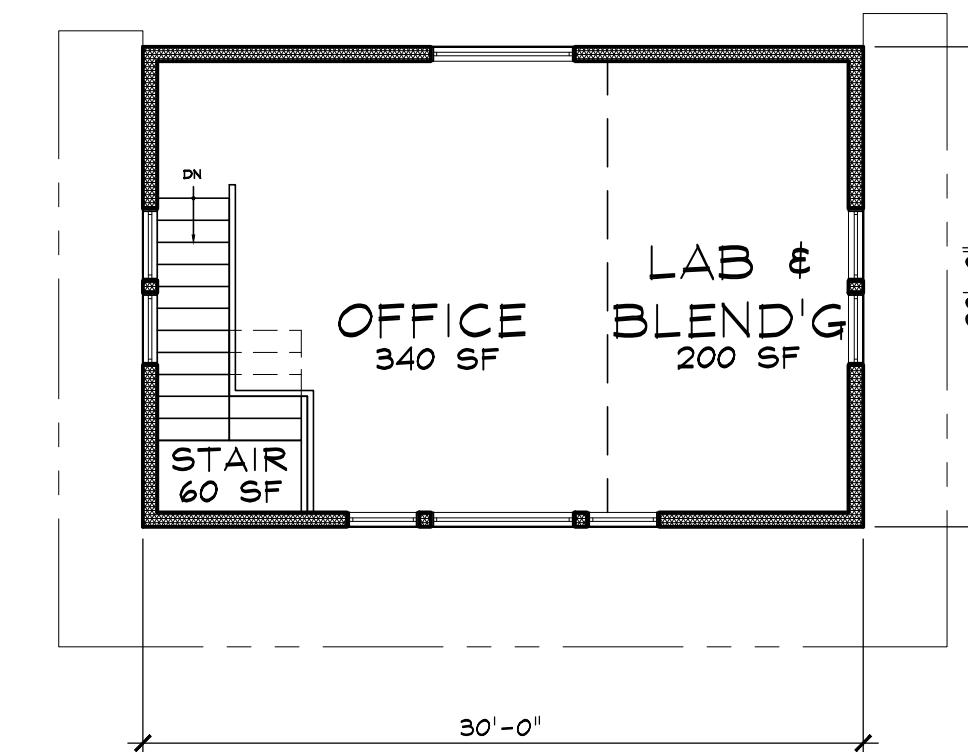


SOUTH ELEVATION

1/8"=1'-0"

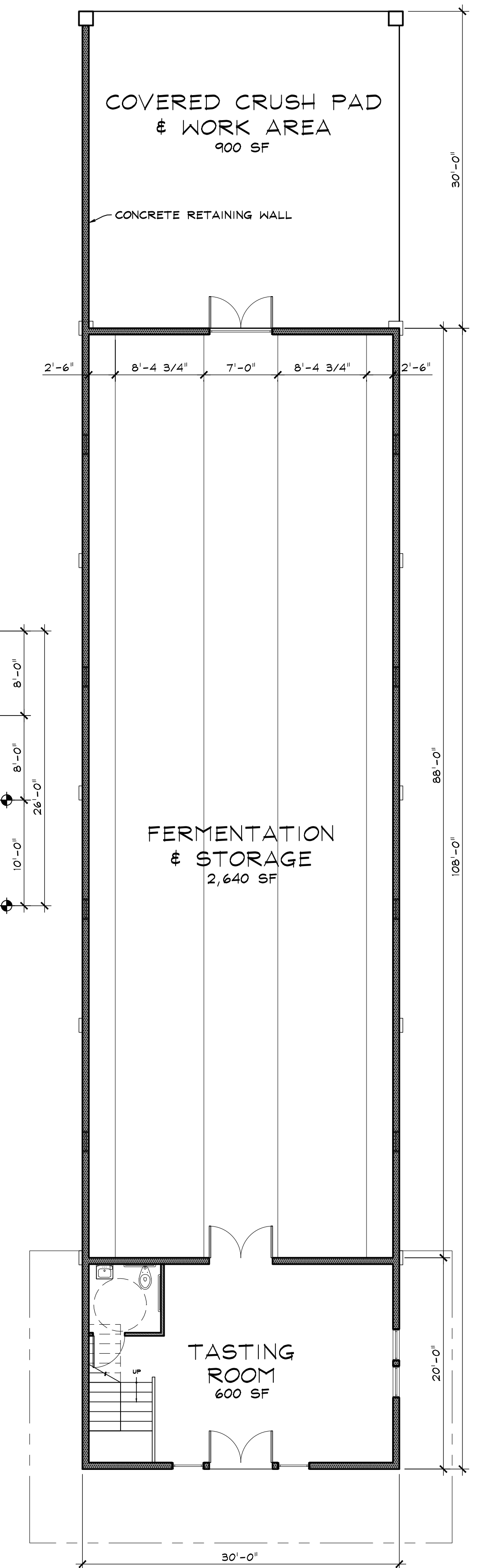
EXTERIOR COLORS

METAL ROOF, FASCIA & SOFFITS - DARK GRAY-GREEN
 WOOD SIDING - NATURAL MEDIUM TONE CLEAR WOOD STAIN
 CONCRETE WALLS - NATURAL GRAY CONCRETE
 DOORS & WINDOWS - METAL FRAMES, DARK GRAY-GREEN



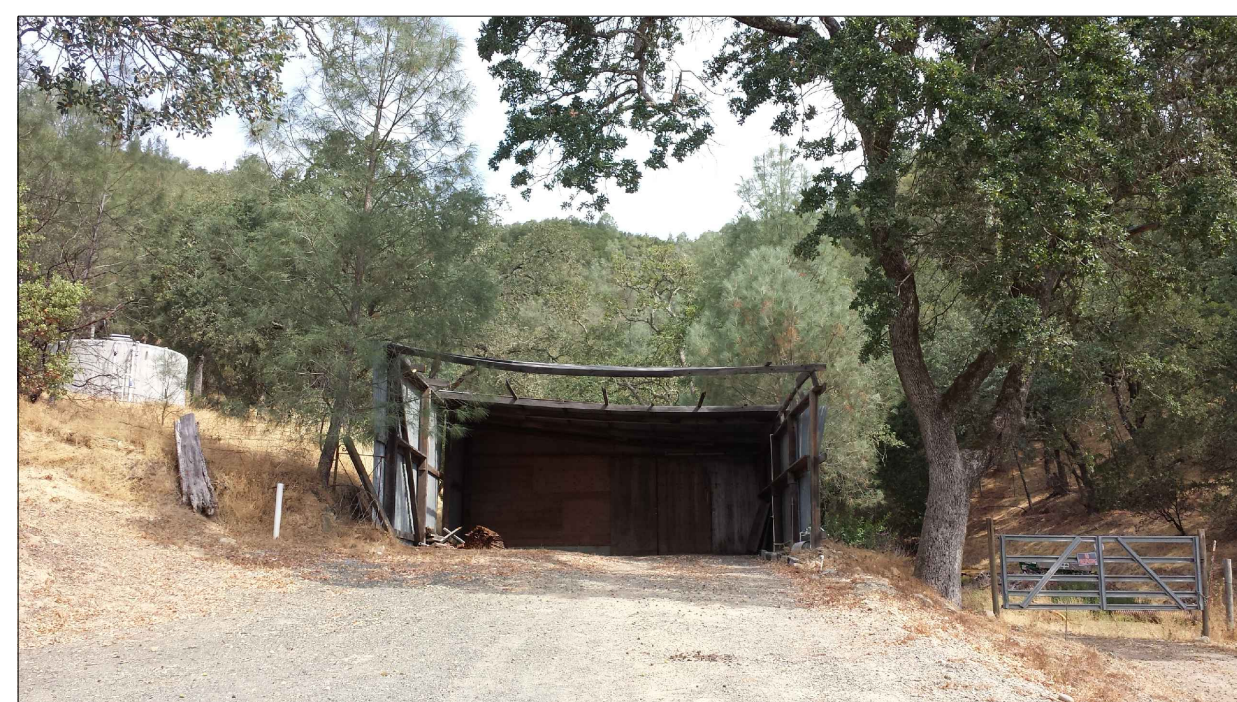
SECOND FLOOR PLAN

600 SQUARE FEET 1/8"=1'-0"



FIRST FLOOR PLAN

3,240 SQUARE FEET 1/8"=1'-0"



EXISTING SOUTH ELEVATION PHOTO

AS OF 8-10-15

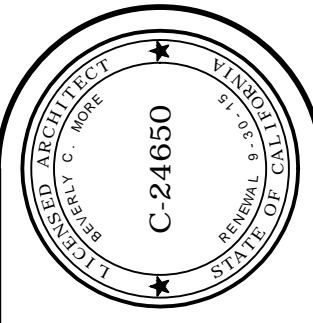
NTS



EXISTING EAST ELEVATION PHOTO

AS OF 8-10-15

NTS



M O R E
 Associates
 Architecture
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 Calistoga, California 94515
 707-942-1360 moremore@aol.com

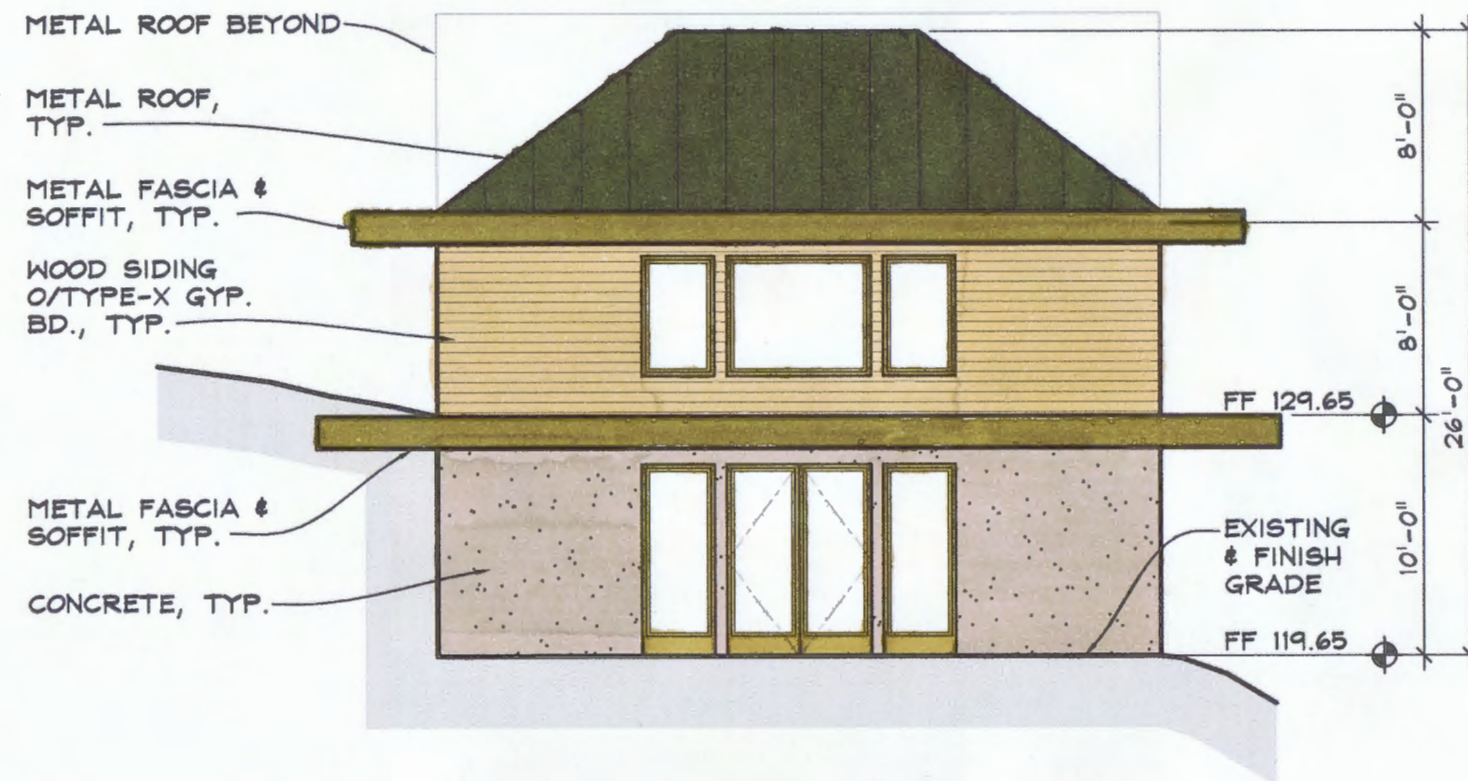
date: 8-28-15
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 drawn by: BCM

revisions:
 1-10-17 USE PERMIT PLAN
 CHECK REVISIONS

- FIRST & SECOND FLOOR PLANS
- EXTERIOR ELEVATIONS
- EXISTING SOUTH & EAST ELEVATION PHOTOS

KENEFICK WINERY
 USE PERMIT APPLICATION
 2200 pickett road calistoga, ca 94515

KENEFICK WINERY

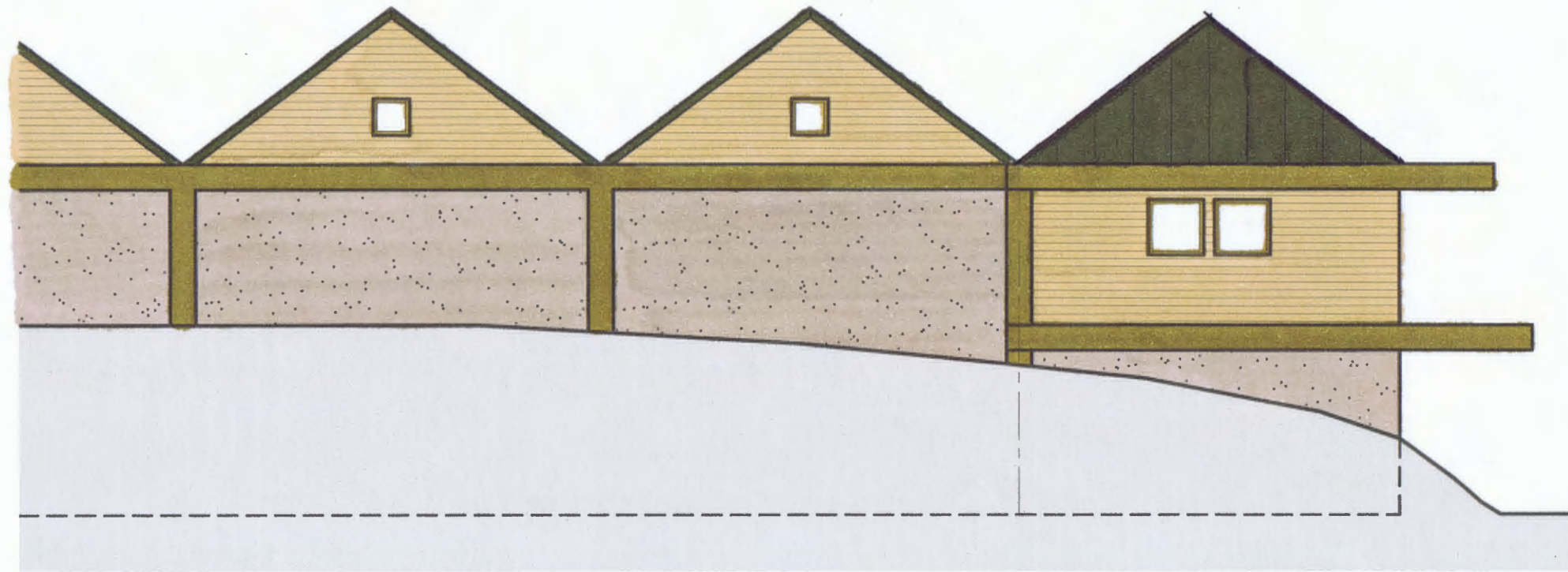


SOUTH ELEVATION

1/8"=1'-0"

EXTERIOR COLORS

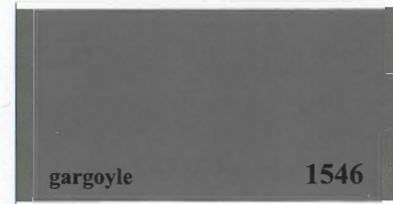
METAL ROOF, FASCIA & SOFFITS - DARK GRAY-GREEN
WOOD SIDING - NATURAL MEDIUM TONE CLEAR WOOD STAIN
CONCRETE WALLS - NATURAL GRAY CONCRETE
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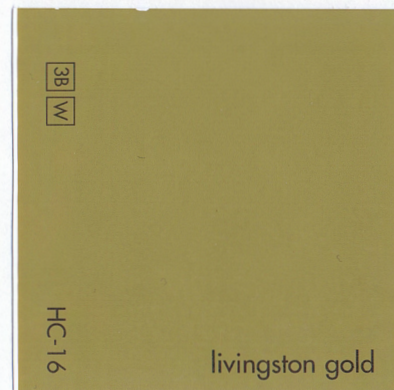
WEST ELEVATION (partial)

1/8"=1'-0"

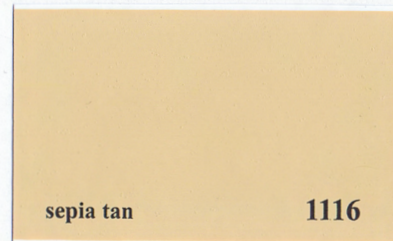
KENEFICK WINERY PROPOSED EXTERIOR COLORS



STANDING SEAM METAL ROOF
to match Benjamin Moore paint color Gargoyle 1546



METAL FASCIA, SOFFIT & DOOR & WINDOW FRAMES
to match Benjamin Moore paint color Livingston Gold HC-16



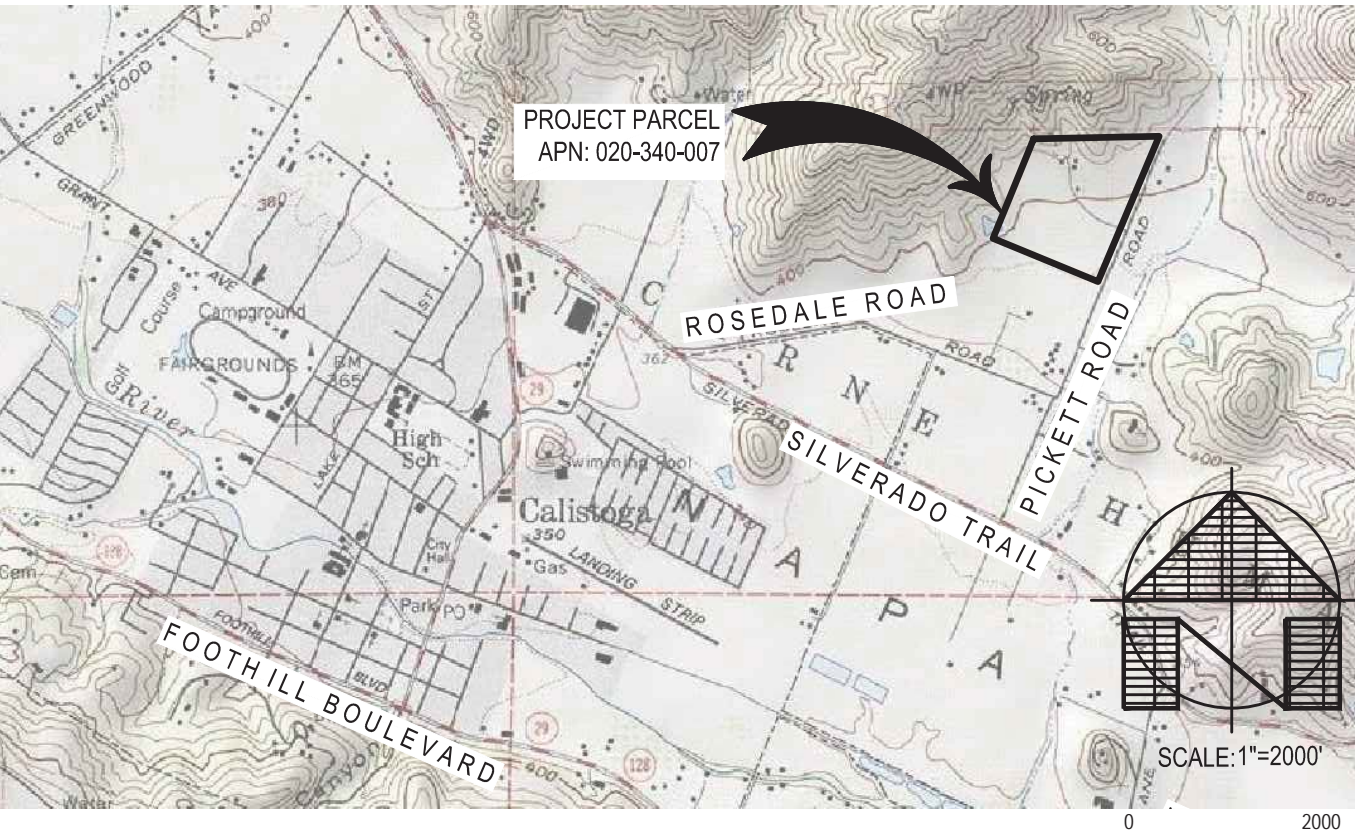
HORIZONTAL WOOD SIDING
with clear stain to approximate Benjamin Moore paint color Sepia Tan 1116



EXPOSED CONCRETE and/or STUCCO SIDING
to approximate Benjamin Moore paint color Brushed Aluminum 1485

NOTE: The paint colors above are used to approximate the colors of the proposed exterior materials in the absence of having actual product samples at this time.

USE PERMIT PLANS FOR: KENEFICK RANCH WINERY 2200 PICKETT ROAD CALISTOGA, CALIFORNIA



VICINITY MAP
MAP FROM USGS 7.5 MIN SERIES MAP NAME: CALISTOGA

PROJECT INFORMATION		SHEET INDEX	
OWNERS/SUBDIVIDER:	KENEFICK RANCH 2198 PICKETT ROAD CALISTOGA, CA 94515 TOM KENEFICK	CIVIL ENGINEER:	DELTA CONSULTING & ENGINEERING, INC. 1104 ADAMS STREET, SUITE 203 ST. HELENA, CA 94574 DANE HOIME, P.E. 707/963-8456
SITE ADDRESS:	2200 PICKETT ROAD CALISTOGA, CA 94515	ARCHITECT:	MORE ASSOCIATES 3041 FOOTHILL BLVD CALISTOGA, CA 94515 BEV MORE 707/942-1360
ASSESSOR PARCEL #	020-340-007		
PARCEL SIZE:	± 44.28 ACRES		
		UPP1.0	COVER SHEET
		UPP1.1	EXISTING & PROPOSED SITE PLAN
		UPP2.0	WINERY COVERAGE EXHIBIT
		UPP3.0	ACCESS ROAD PLAN & PROFILE
		UPP4.0	PRELIMINARY GRADING PLAN
		UPP5.0	PRELIMINARY UTILITY PLAN
		UPP5.1	PRELIMINARY UTILITY PLAN

PROJECT NOTES

THIS SET OF PLANS HAS BEEN PREPARED FOR THE KENEFICK WINERY USE PERMIT. THE PROJECT PROPOSES TO CONSTRUCT A WINERY FACILITY WITH A PRODUCTION CAPACITY OF 20,000 GALLONS PER YEAR AND TO PROVIDE HOSPITALITY FUNCTIONS. THIS SET OF PLANS CONTAINS A PRELIMINARY DESIGN OF THE WINERY SITE, WHICH INCLUDES AN IMPROVED ACCESS DRIVEWAY, PARKING AREAS, GRADING AND DRAINAGE, AND UTILITY INFRASTRUCTURE.

ESTIMATED EARTHWORK QUANTITIES

THE EARTHWORK QUANTITIES LISTED BELOW ARE ESTIMATES ONLY AND MAY VARY DUE TO SOIL TYPE, COMPACTION AND BULKING FACTORS, AND GRADING PRACTICES AND COMPACTION VALUES. THE CUT AND FILL QUANTITIES HAVE BEEN DERIVED USING A VOLUMETRIC ANALYSIS BETWEEN THE EXISTING AND PROPOSED GRADE ELEVATIONS. CONTRACTOR SHALL WORK WITH THE PROJECT GEOTECHNICAL ENGINEER TO DETERMINE IF COMPACTION AND BULKING FACTORS ARE APPLICABLE FOR THE PROPOSED GRADING ACTIVITIES. SEE THE TABLE BELOW FOR THE ESTIMATED EARTHWORK QUANTITIES FOR THE PROJECT.

ESTIMATED PROJECT EARTHWORK			
1:1 RATIO	CUT VOLUME (CY)	FILL VOLUME (CY)	NET VOLUME (CY)
	1,300	350	1,150 (CUT)

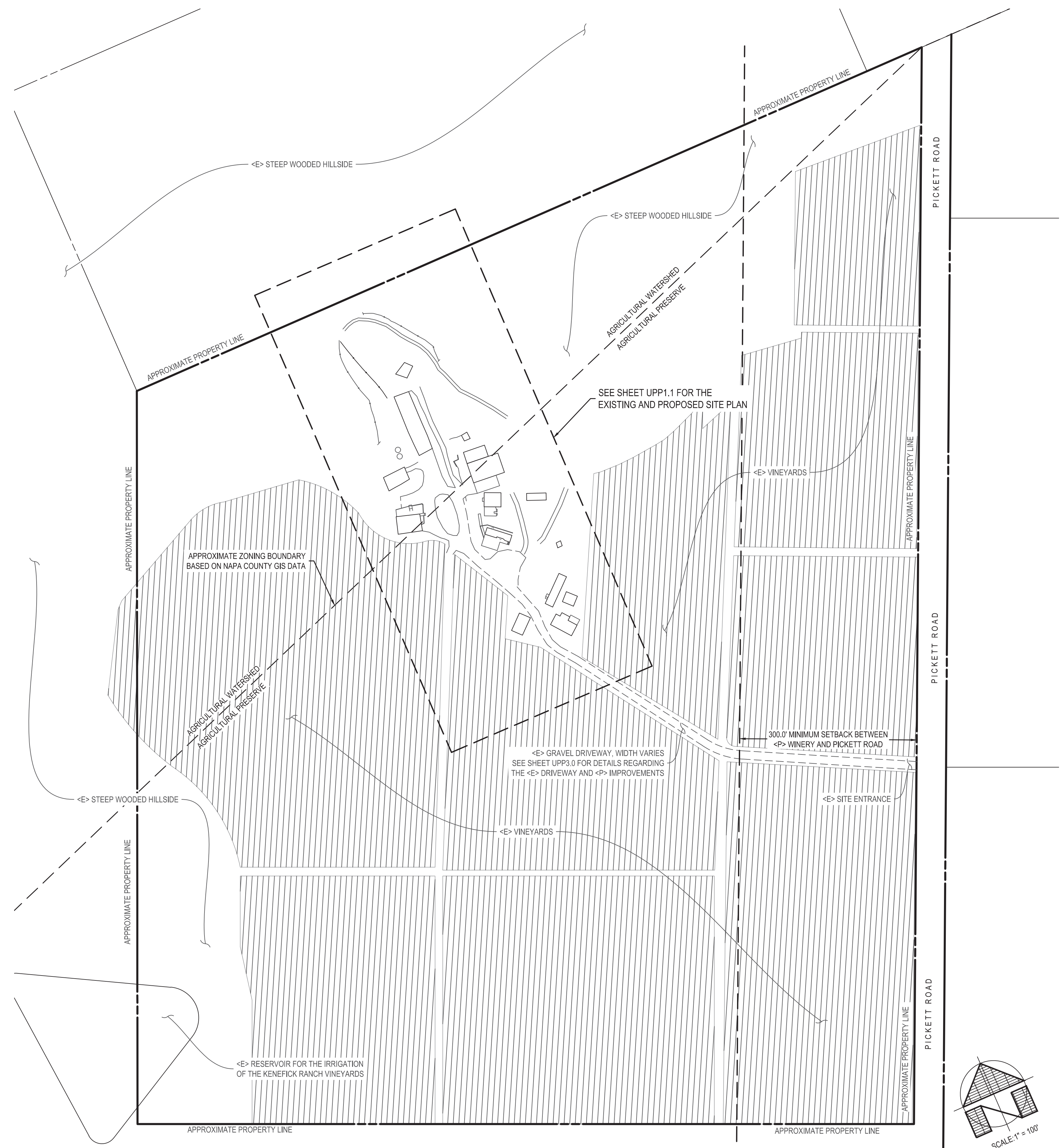
THE AREA OF DISTURBANCE IS APPROXIMATELY 42,500 SF.
EXCESS MATERIAL SHALL BE SPREAD IN THIN LIFTS IN THE EXISTING VINEYARDS.

SURVEY NOTES

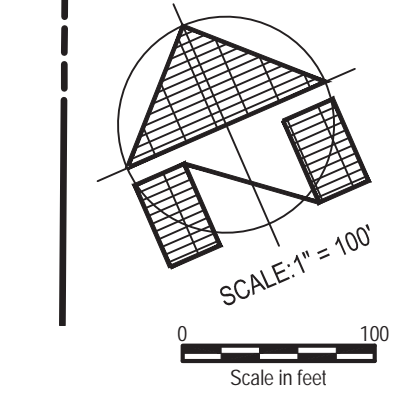
- THE BOUNDARY ON THESE DRAWINGS DOES NOT REPRESENT A PROPERTY LINE. SURVEY. PROPERTY LINES SHOWN HEREON ARE BASED ON RECORD DATA, AND MAY NOT REPRESENT THE TRUE POSITIONS OF THE LINES.
- THE TOPOGRAPHY IS BASED ON A FIELD SURVEY OF JANUARY 2010, PERFORMED BY STERK ENGINEERING, INC. AND A FIELD SURVEY OF JUNE 26, 2013, PERFORMED BY TERRA FIRMA SURVEYS, INC.
- THIS SURVEY IS BASED ON AN ASSUMED VERTICAL DATUM. THE DIRECTION OF NORTH BASED ON 34 RS 7/8, N.C.R.
- SITE BENCHMARK SHALL BE DETERMINED BY CONTRACTOR IN THE FIELD.
- DELTA CONSULTING & ENGINEERING ASSUMES NO LIABILITY, REAL OR ALLEGED, REGARDING THE ACCURACY OF THE TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS.
- CONTRACTOR SHALL PROTECT EXISTING SURVEY MONUMENTS OR REPLACE THEM AT HIS OWN EXPENSE.

ABBREVIATIONS

AB	AGGREGATE BASE	EC	END OF CURVE	LP	LOW POINT	(S)	SOUTH
AC	ASPHALT CONCRETE	(E)	EAST	MH	MANHOLE	S	SLOPE (FEET/FOOT)
AD	AREA DRAIN	-E-	EXISTING	MON	MONUMENT	SAD	SEE ARCHITECTURAL DWGS
ARV	AIR RELEASE VALVE	ECR	END CURB RETURN	(N)	NORTH	SM	SEE MECHANICAL DWGS
BC	BEGIN CURVE / BACK OF CURB	EG	EXISTING GROUND	NDS	NATIONAL DIVERSIFIED SALES	SED	SEE ELECTRICAL DWGS
BFE	BASE FLOOD ELEVATION PER FIRM	EP	EDGE OF PAVEMENT	OC	ON CENTER	SD	STORM DRAIN
BM	BENCHMARK	EVC	END VERTICAL CURVE	OG	ORIGINAL GROUND	SDP	SUB DRAIN PIPE
BO	BLOWOFF	FC	FACE OF CURB	OH	OVERHEAD	SL	SEWER LATERAL
BCR	BEGIN CURB RETURN	FDC	FIRE DEPT. CONNECTION	OHL	OVERHEAD LINE	SS	SANITARY SEWER
BR	BOTTOM OF RAMP	FG	FINISH GRADE	-P-	PROPOSED	SSCO	SANITARY SEWER CLEAN OUT
BVC	BEGIN VERTICAL CURVE	FH	FIRE HYDRANT	PCC	PORTLAND CONCRETE CEMENT	SSFH	SANITARY SEWER FLUSH HOLE
BS	BOTTOM OF STAIRS	FIRM	FLOOD INSURANCE RATE MAP	PG&E	PACIFIC GAS AND ELECTRIC	SSM	SANITARY SEWER MANHOLE
BSW	BACK OF SIDEWALK	FL	FLOW LINE	PI	POINT OF INTERSECTION	STA	STATION
CB	CATCH BASIN	FF	FINISHED FLOOR	PVI	POST INDICATOR VALVE	STD	STANDARD
C&G	CURB AND GUTTER	FS	FINISHED SURFACE	PL	PROPERTY LINE	SW	SIDEWALK
CMU	CONCRETE MASONRY UNIT	FM	FORCE MAIN	PRC	POINT OF REVERSE CURVE	TC	TOP OF CURB
CP	CONCRETE PIPE	GB	GRADE BREAK	PSI	POUNDS PER SQUARE INCH	TR	TOP OF RAMP
CL	CENTERLINE	HP	HIGH POINT	PUE	PUBLIC UTILITY EASEMENT	TS	TOP OF STAIRS
CO	CLEANOUT	IE	INVERT ELEVATION	PVC	POLYVINYL CHLORIDE	TW	TOP OF WALL
CV	CHECK VALVE	INST	INSTALL	PVI	POINT OF VERTICAL INTERSECTION	VC	VERTICAL CURVE
CW	COLD WATER	INV	INVERT	PW	PROCESS WASTE	VCP	VITRIFIED CLAY PIPE
CWS	100 YEAR WATER SURFACE	IP	IRON PIPE	R	RADIUS	VG	VALLEY GUTTER
DCV	DOUBLE CHECK VALVE	IRR	IRRIGATION	RC	RELATIVE COMPACTION	(W)	WEST
DI	DROP INLET	JP	JOINT POLE	RT	RIGHT	WHARF	WHARF/DRAFT HYDRANT
DS	DOWNSPOUT	LF	LINEAL FEET/FOOT	ROW	RIGHT OF WAY	WM	WATER METER
DW	DRIVEWAY / DOMESTIC WASTE	LH	LAMP HOLE	RWL	RAIN WATER LEADER	WS	WATER SERVICE
DWG	DRAWING	LT	LEFT	RCP	REINFORCED CONCRETE PIPE	WW	WATER VALVE



EXISTING OVERALL SITE PLAN



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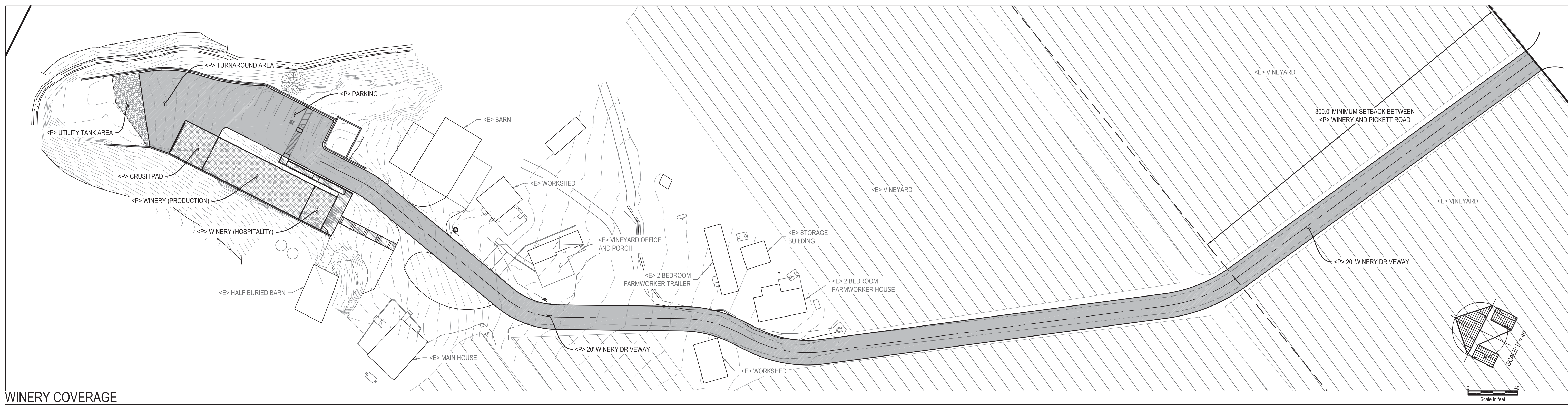
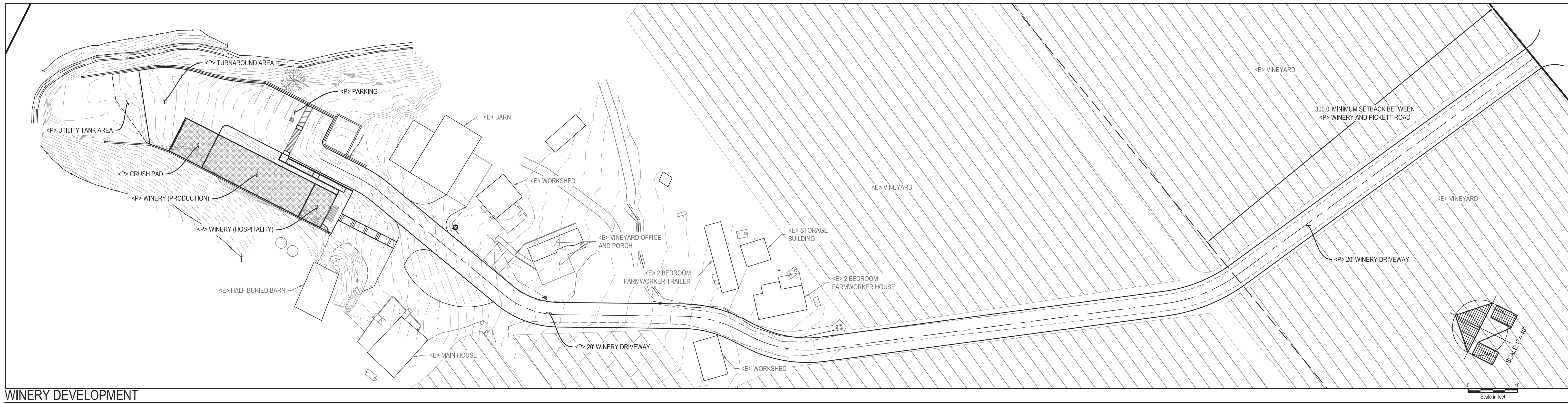
KENEFICK RANCH WINERY
2200 PICKETT ROAD
CALISTOGA, CA 94515
APN: 020-340-007
PROJECT: K-140



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WINERY COVERAGE AND DEVELOPMENT AREAS

AREA	COVERAGE (FT ²)	DEVELOPMENT (FT ²)
PRODUCTION BUILDING FOOTPRINT	2,640	2,640
HOSPITALITY BUILDING FOOTPRINT	600	600
GARBAGE AND RECYCLING	-	-
EMPLOYEE PARKING (2 EXCLUSIVE)	-	-
TOTAL DEVELOPMENT AREA (FT ²):	-	3,240
COVERED CRUSH PAD	900	
WORK AREAS	0	
SURFACE WASTEWATER DISPOSAL FIELD	0 (CONVENTIONAL SEPTIC)	
PAVING	31,350 (PAVING INCLUDES: DRIVEWAYS, PARKING, PATHS, COURTYARD, AND UTILITY TANK AREA)	
TOTAL COVERAGE (FT ²):	35,490	
TOTAL COVERAGE (ACRES):	0.81	
TOTAL PARCEL (ACRES):	44.28	
PERCENT COVERAGE:	1.83%	

NOTE:
 1. HATCHING DENOTES THE AREAS INCLUDED IN THE CALCULATIONS FOR THE "WINERY DEVELOPMENT AREA" AND THE "WINERY COVERAGE" ACCORDING TO THE DEFINITIONS FOUND IN THE SUPPLEMENTAL APPLICATION FOR WINERY USES IN THE USE PERMIT APPLICATION.
 2. SEE ARCHITECTURAL PLANS FOR ADDITIONAL DETAILS AND SQUARE FOOTAGE BREAKDOWN OF THE PRODUCTION AND HOSPITALITY BUILDINGS.

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USE PERMIT PLANS
WINERY COVERAGE

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CONTRACTOR SHALL VERIFY ALL INFORMATION PROVIDED BY THE CLIENT AND THE PROJECT'S RECORD DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.

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USE PERMIT PLANS
PRELIMINARY GRADING PLAN

KENEFICK RANCH WINERY
2200 PICKETT ROAD
CALISTOGA, CA 94515
APN: 020-340-007
PROJECT: K-140

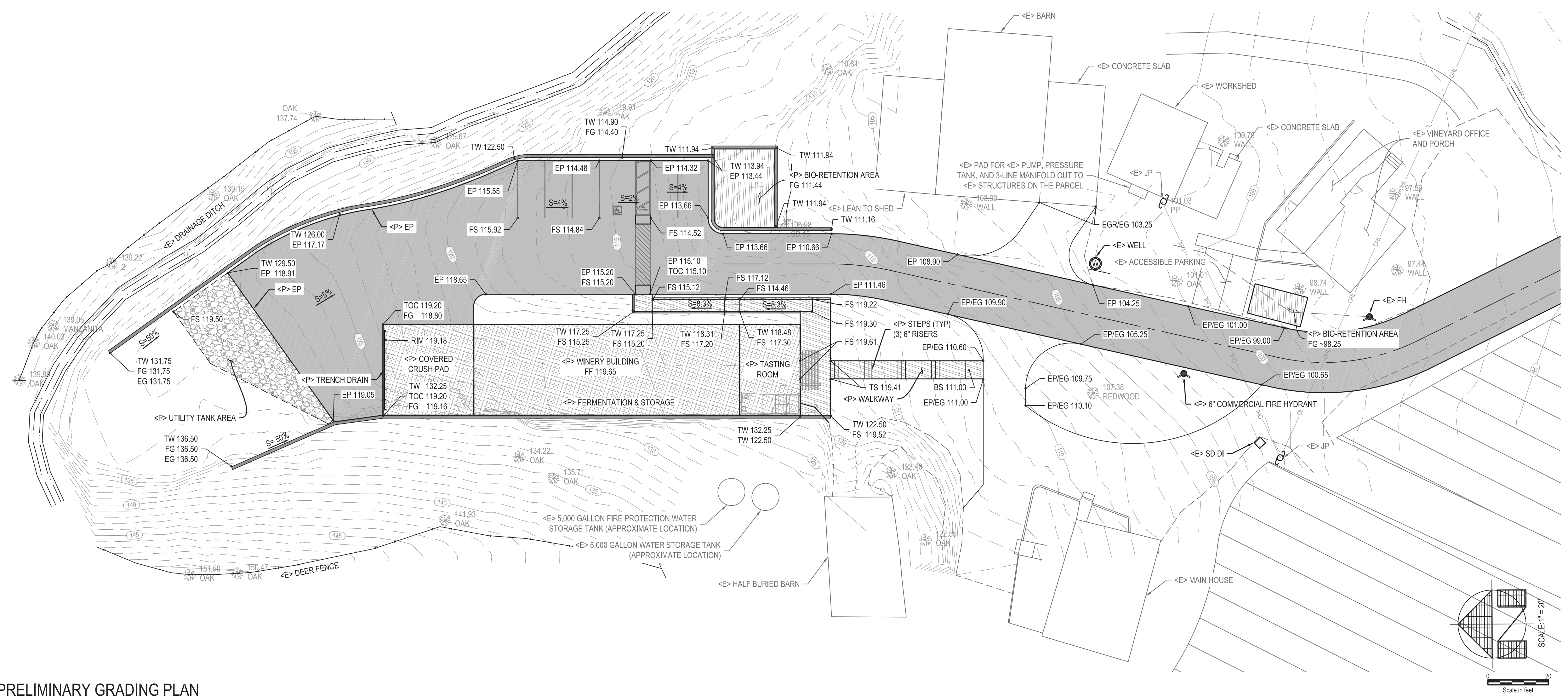


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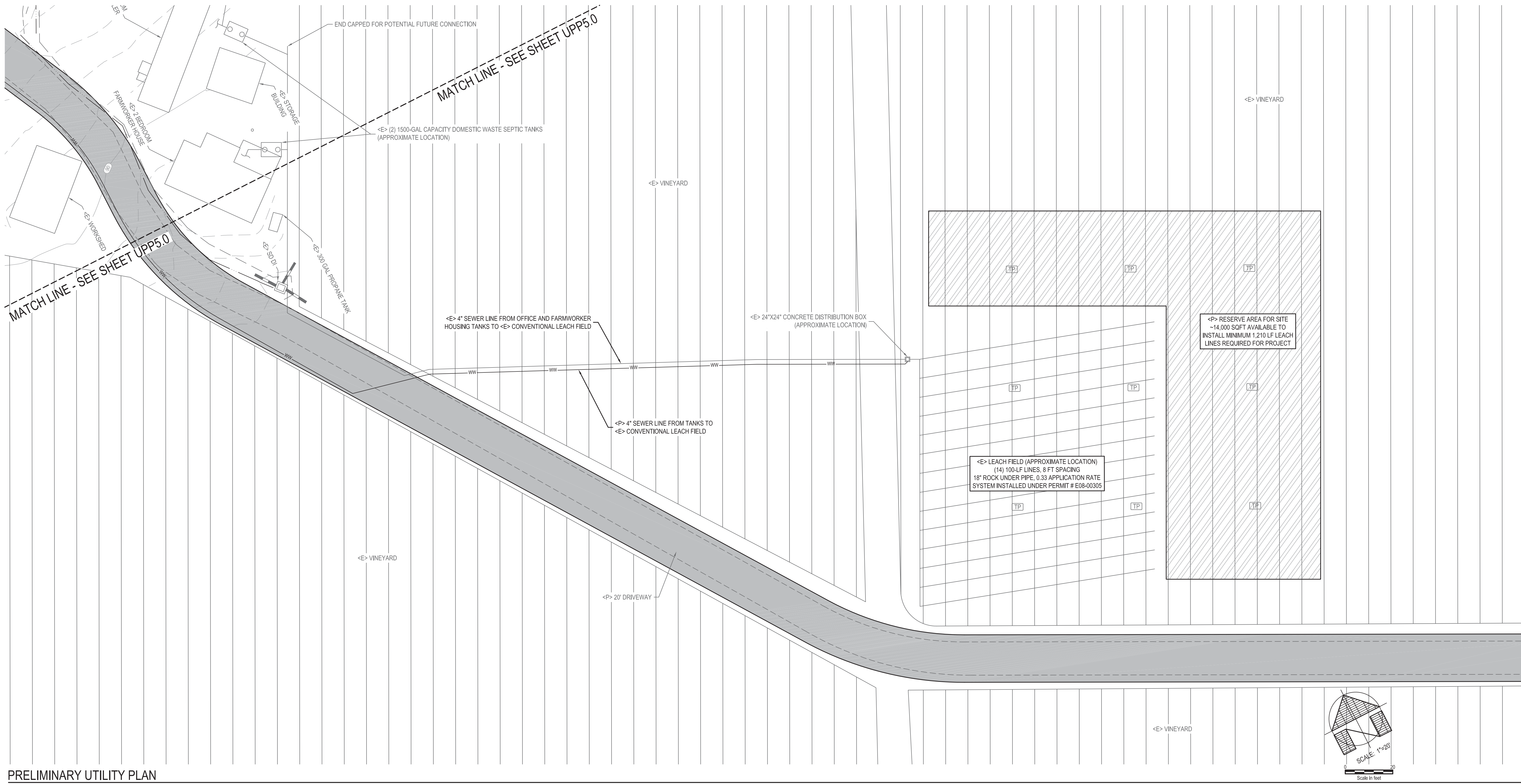
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PRELIMINARY GRADING PLAN

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PRELIMINARY UTILITY PLAN

WET UTILITY NOTES

WASTEWATER

1. THE PRIMARY TREATMENT OPTION, SHOWN ON THESE PLANS, FOR BOTH DOMESTIC AND PROCESS WASTEWATER FROM THE WINERY DEVELOPMENT IS CONNECTING TO AN EXISTING CONVENTIONAL TREATMENT SYSTEM. SEE THE SEPTIC FEASIBILITY REPORT PREPARED BY THIS OFFICE FOR DETAILS REGARDING THE DOMESTIC AND PROCESS WASTEWATER FROM THE PROPOSED WINERY, CAPACITY CALCULATIONS FOR THE EXISTING SYSTEM, AND ADDITIONAL TREATMENT OPTIONS.
2. THE LOCATION OF EXISTING SEPTIC SYSTEM COMPONENTS IS APPROXIMATE AND BASED ON THE ORIGINAL PLANS PREPARED BY DOUG STERK, P.E., AND THE AS-BUILT PLANS PREPARED BY DICK BLAKELEY UNDER NAPA COUNTY PERMIT #E08-00305.

POTABLE WATER

1. THE EXISTING WELL IS USED TO SUPPLY POTABLE WATER TO ALL EXISTING BUILDINGS ON THE PARCEL. WATER IS PUMPED FROM THE WELL TO AN ABOVE GROUND CONCRETE STORAGE TANK SHOWN ON THE PLANS. A SUCTION LINE IS PLUMBED FROM THE TANK TO A PRESSURE DISTRIBUTION SYSTEM THAT SUPPLIES THE EXISTING BUILDINGS. THE PRESSURE DISTRIBUTION SYSTEM CONSISTS OF A PUMP, PRESSURE TANKS, AND A MANIFOLD TO DISTRIBUTE THE WATER THROUGHOUT THE SITE.
2. WATER FOR THE PROPOSED WINERY WILL BE PROVIDED BY THE EXISTING WELL. THE EXISTING WELL PUMP SYSTEM WILL BE MODIFIED TO SUPPLY WATER AS NEEDED TO AN ABOVE GROUND STORAGE TANK TO BE USED FOR THE WINERY ONLY. THE STORAGE TANK FOR THE WINERY WILL BE PLUMBED TO A DISTRIBUTION SYSTEM DEDICATED TO WINERY USE ONLY.
3. ALL WATER QUALITY TREATMENT MEASURES FOR THE WINERY WILL BE DETERMINED AT THE CONSTRUCTION DOCUMENT PHASE.

FIRE WATER

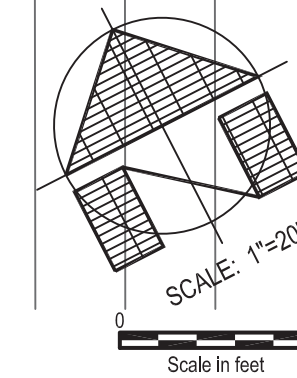
1. AN ABOVE GROUND WATER STORAGE AND FIRE PUMP SYSTEM ARE PROPOSED FOR THIS PROJECT. A MINIMUM OF 12,000 GALLONS MUST BE DESIGNATED TO FIRE WATER STORAGE. THE FIRE PUMP SYSTEM WILL BE DESIGNED AT THE CONSTRUCTION DOCUMENT PHASE.

STORM WATER

1. STORMWATER RUNOFF FROM THE DEVELOPMENT WILL DRAIN TO SEVERAL BIO-RETENTION FACILITIES. SEE THE STORMWATER CONTROL PLAN PREPARED BY THIS OFFICE FOR DETAILS REGARDING THE BIO-RETENTION FACILITIES AND THEIR CORRESPONDING DRAINAGE MANAGEMENT AREAS.
2. RUNOFF THAT CANNOT BE INFILTRATED BY THE BIO-RETENTION FACILITIES WILL DRAIN TO THE SITE'S EXISTING STORM DRAIN SYSTEM, WHICH COLLECTS AND CONVEYS RUNOFF TO A ROADSIDE DITCH ALONGSIDE PICKETT ROAD.
3. IF REQUIRED, THE ASSOCIATED STORM DRAIN PIPES SHALL BE UPGRADED TO ACCOMMODATE ANY ADDITIONAL STORM WATER RUNOFF. ALL REQUIRED UPGRADES SHALL BE DETERMINED AT THE CONSTRUCTION DOCUMENT PHASE.

DRY UTILITY NOTES

1. CURRENTLY, POWER AND COMMUNICATIONS FOR THE SITE ARE PROVIDED BY AN <E> JOINT POLE. A NEW SERVICE WILL BE INSTALLED AS NECESSARY AT THE <E> JOINT POLE TO PROVIDE POWER AND COMMUNICATIONS FOR THE <P> WINERY BUILDING. ANY IMPROVEMENTS REQUIRED SHALL BE COORDINATED BY THE CONTRACTOR, OWNER, AND ELECTRICAL DESIGN CONSULTANT, AND THE UTILITY COMPANY AT THE CONSTRUCTION DOCUMENT PHASE.
2. A NEW PROPANE TANK WILL BE INSTALLED TO MEET THE DEMAND FROM THE <P> WINERY BUILDING. THE NEW PROPANE TANK AND GAS PIPE SIZING WILL BE DETERMINED AT THE CONSTRUCTION DOCUMENT PHASE.



CONVEYANCE OF THESE PLANS DOES NOT CONSTITUTE AN ENDORSEMENT OF ANY PRODUCT OR SERVICE BY THE ENGINEER. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ENGINEER. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ENGINEER. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ENGINEER. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ENGINEER.

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