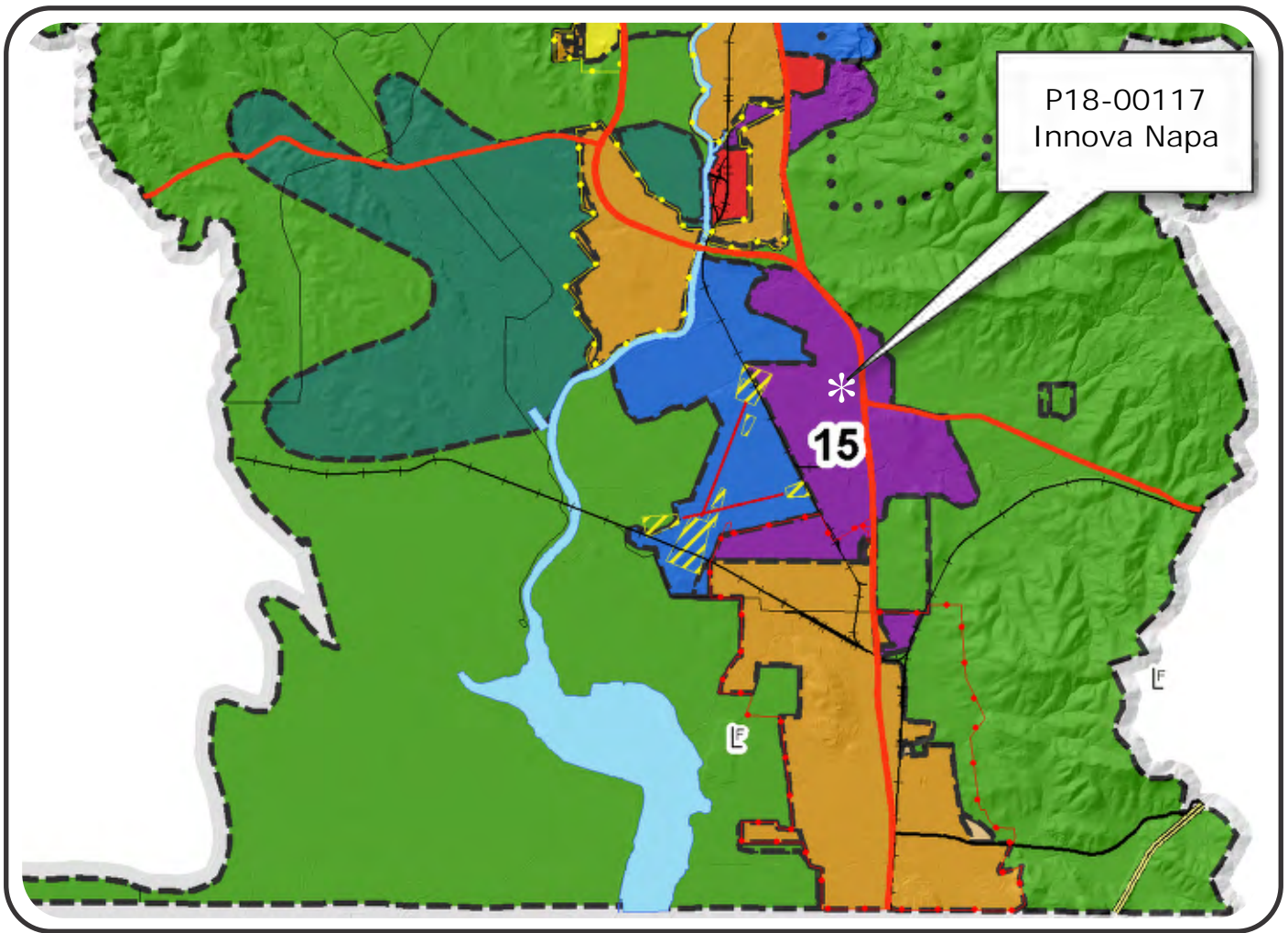


“G”

Graphics

# NAPA COUNTY LAND USE PLAN 2008 - 2030



## LEGEND



### URBANIZED OR NON-AGRICULTURAL

- Study Area
- Cities
- Urban Residential\*
- Rural Residential\*
- Industrial
- Public-Institutional
- Napa Pipe Mixed Use

### OPEN SPACE

- Agriculture, Watershed & Open Space
- Agricultural Resource

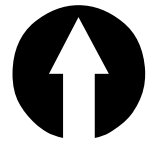
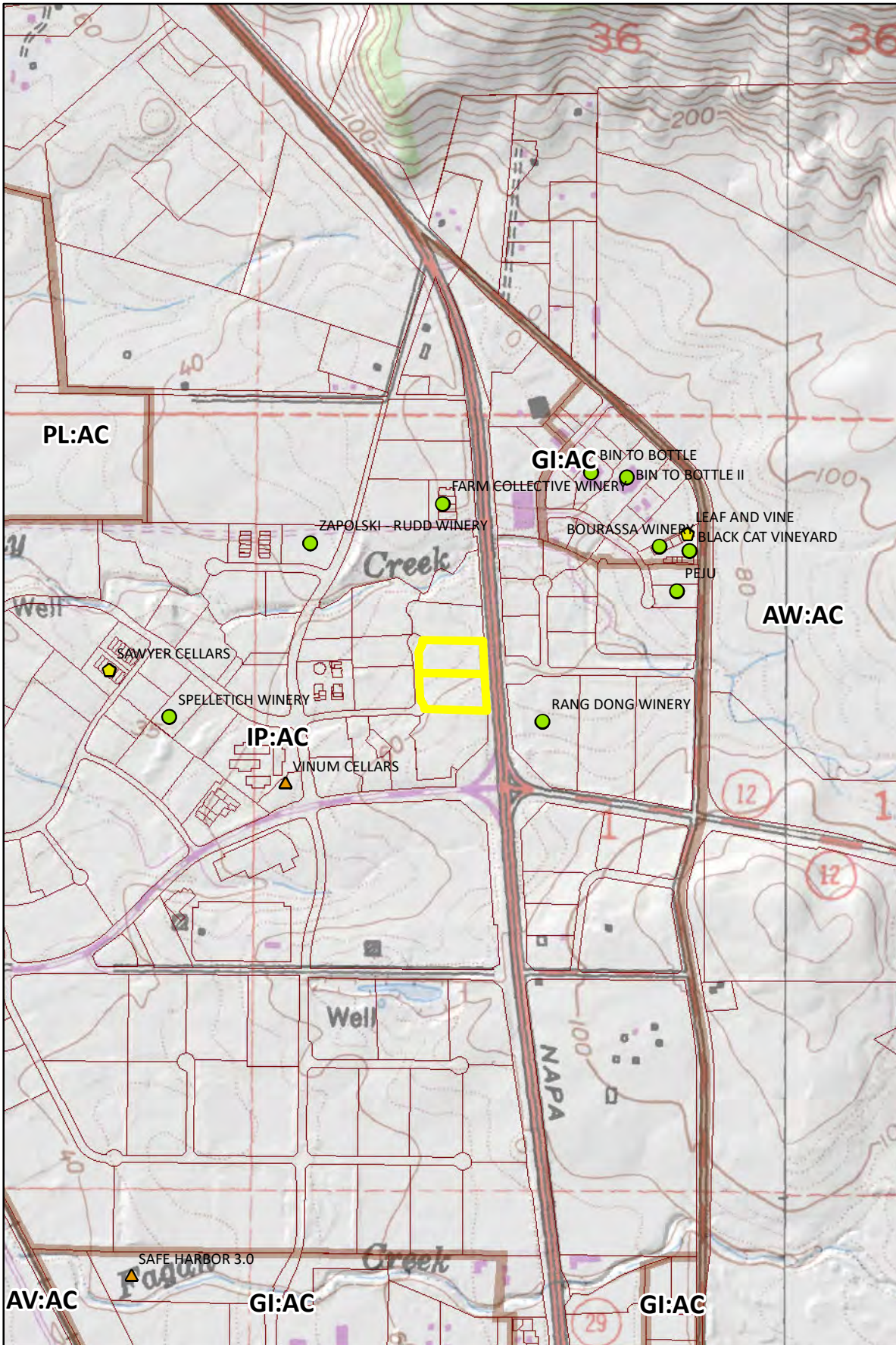
### TRANSPORTATION

- Mineral Resource
- Limited Access Highway
- Major Road
- American Canyon ULL
- City of Napa RUL
- Landfill - General Plan
- Secondary Road
- Airport
- Railroad
- Airport Clear Zone

\* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations

APN  
057-200-002 & 003  
12-18-2018  
UP






# ONING AP



## Legend

### Wineries

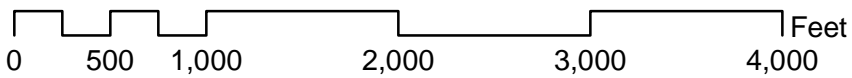
#### Status

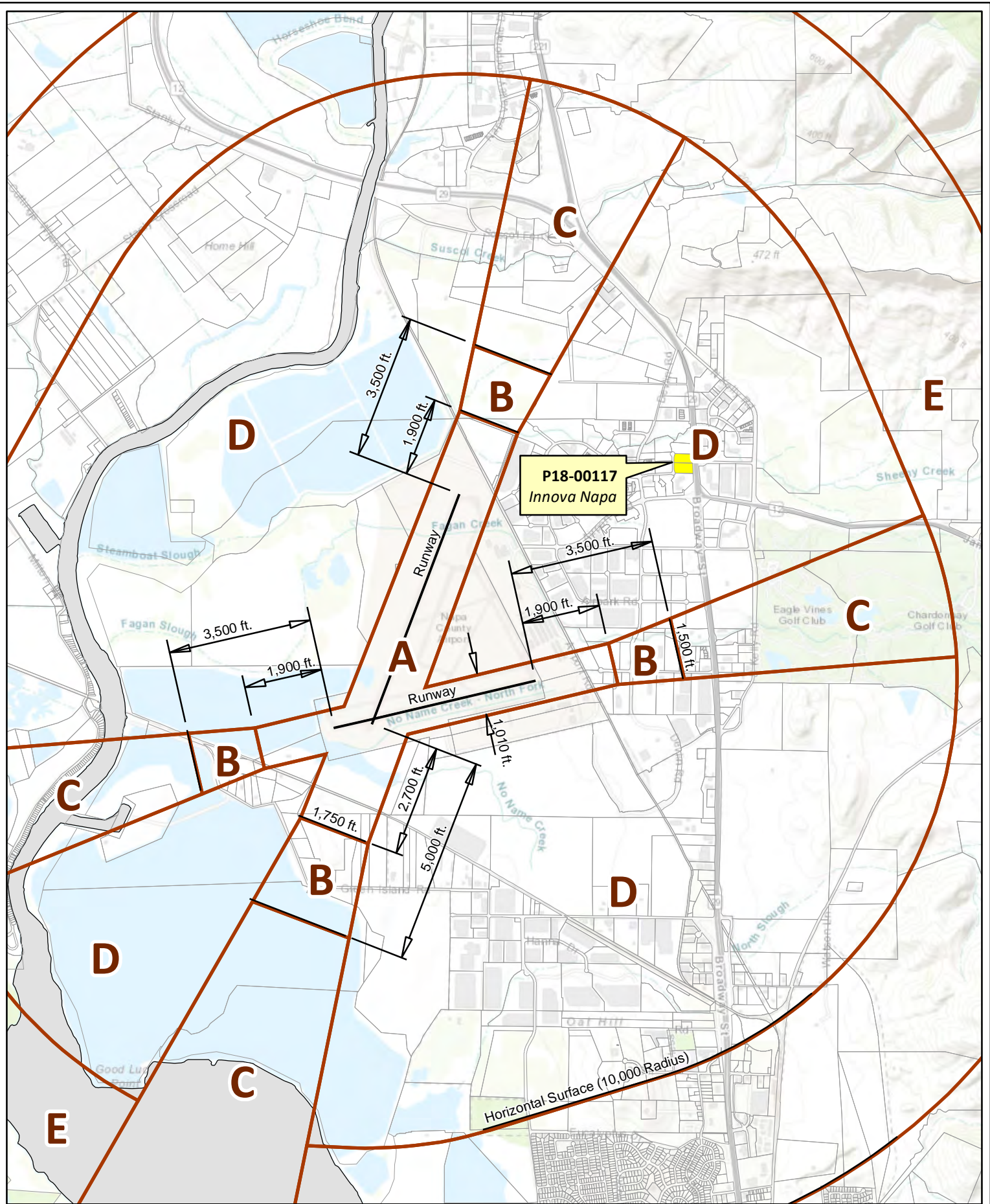
-  Producing
-  Producing, w/ pending major mod
-  Approved, not producing
-  Pending
-  Unknown

#### Zoning



#### Parcels





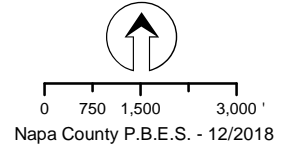
# Compatibility Plan

## Napa County Airport

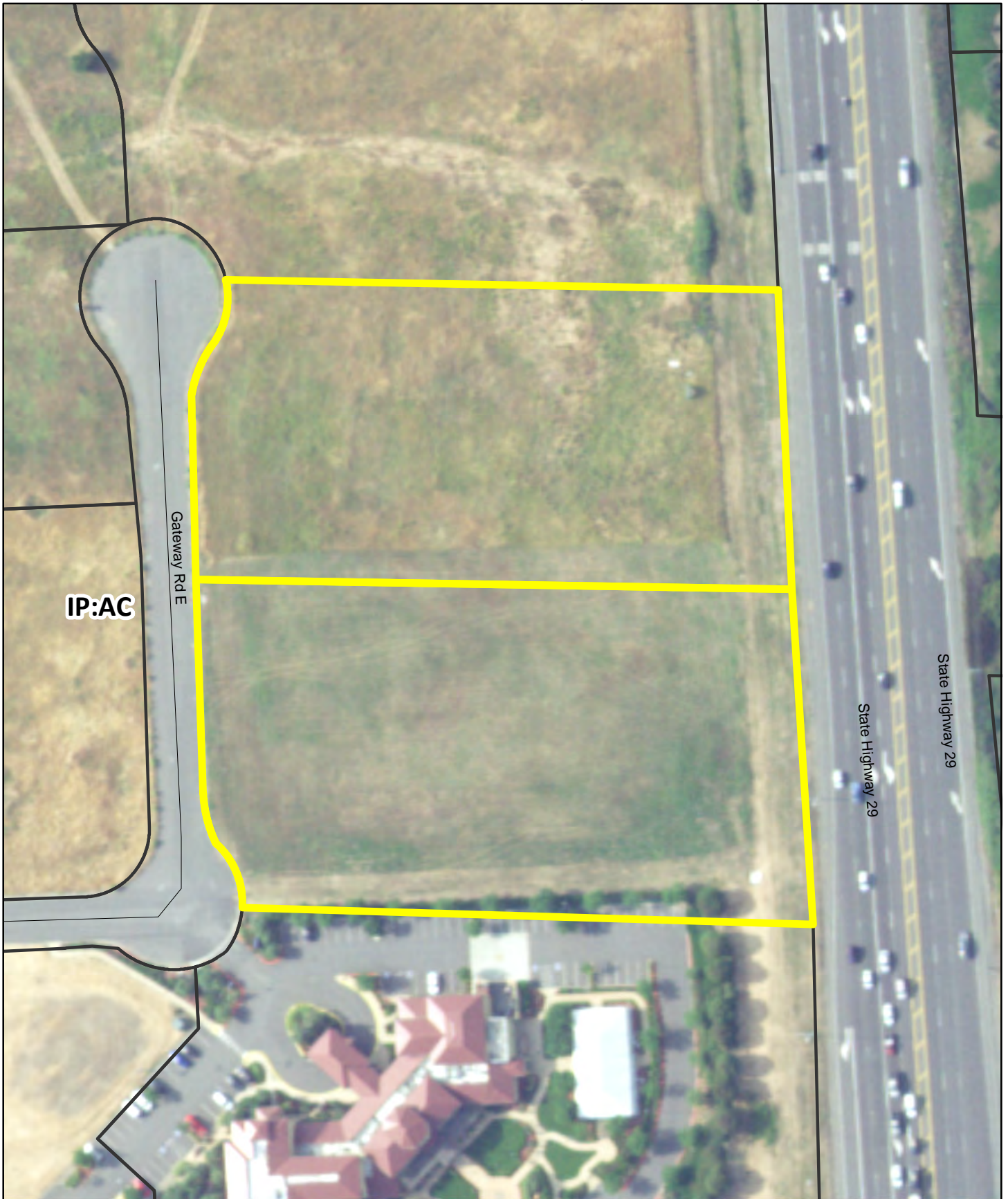
### Exhibit "D"

Horizontal Datum: NAD 83,  
 CA State Plane Coordinates,  
 Zone II, feet

Disclaimer: This map was prepared for informational purposes only. No liability is assumed for the accuracy of the data delineated hereon.



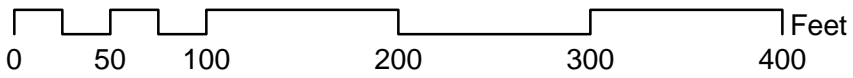
# CURRENT CONDITIONS (2016 AERIAL)



**IP:AC**

Gateway Rd E

State Highway 29



# **ARCHITECTURAL DRAWINGS**

# INNOVA NAPA GATEWAY



Copyright © 2017 Napa Design Partners, LLP. The drawings or written materials contained herein constitute the original and unpublished work of the architect. Reproduction, use or alteration in any form is strictly prohibited without the written consent of Napa Design Partners.

**OWNER:**  
ANDREW KILPATRICK  
INNOVA EQUITY INC.

8605 SANTA MONICA BLVD.#75763  
LOS ANGELES, CA 90069  
(916) 825-9097  
andrew@innova.build

**PROJECT:**  
INNOVA NAPA  
Gateway Road East

TITLE SHEET

ARCHITECTS STAMP:

PRINT DATE: May 23, 2018

DATE: March 26, 2018

REVISION:  
05-25-18  
PLANNING REVIEW  
# P18-00117

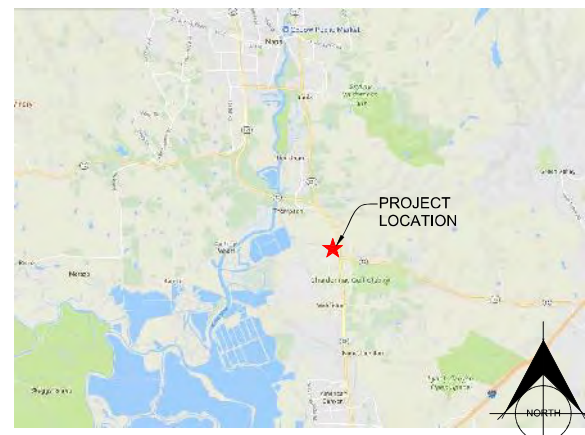
SHEET:

# T1

## ABBREVIATION LIST

@	AT	FOC	FACE OF CONCRETE	PREFIN	PREFINISHED
AB	ANCHOR BOLT	FOF	FACE OF FINISH	PJF	PREFORMED JOINT FILLER
ACOUS	ACOUSTICAL	FOM	FACE OF MASONRY	PLAM	PLASTIC LAMINATE
AC	ASPHALT CONCRETE	FOS	FACE OF STUD	PLAS	PLASTER
ACC	ACCESSIBLE	FFRP	FIREPROOF	PM	PRESSED METAL
AC	AIR CONDITIONING	FRTP	FIRE TREATED	PNL	PANEL
ADH	ADHESIVE	FRTD	FIRE TREATED	PNT	PAINT
ADJ	ADJACENT, ADJUSTABLE	FS	FULL SCALE	POL	POLISH
AF	ABOVE FIN FLR	FT	FOOT, FEET	PSI	POUNDS / SQUARE INCH
AGGR	AGGREGATE	FTG	FOOTING	PRF	PREFORMED
AL	ALUMINUM	FUR	FURRING	PROP	PROPERTY
ALT	ALTERNATE	FURN	FURNISH(ING)	PNT	POINT
ANOD	ANODIZED	FUT	FUTURE	PT	PRESSURE TREATED
AP	ACCESS PANEL	FN	FIELD NAIL	PTN	PARTITION
APPROX	APPROXIMATE	GA	GALVE	PVC	POLY VINYL CHLORIDE
ARCH	ARCHITECTURAL	GALV	GALVANIZED	PVMT	PAVEMENT
BBD	BACKERBOARD	GB	GYP	PWMT	PLYWOOD
BD	BOARD	GC	GENERAL CONTRACTOR	QT	QUARRY TILE
BEL	BELOW	GD	GRADE	R	RISER
BT	BETWEEN	GL	GLASS	RA	RETURN AIR GRILL
BL	BUILDING LINE	GOVT	GOVERNMENT	RB	RESILIENT BASE
BLDG	BUILDING	GS	GALVANIZED STEEL	RT	RESILIENT TILE
BLK	BLOCK	GYP	GYP	RWD	REDWOOD
BLKG	BLOCKING	H	HORIZONTAL	RWL	RAINWATER LEADER
BM	BEAM, BENCH MARK	(H)	HANDICAP	S	SOUTH
BOT	BOTTOM	HB	HOSE BIBB	SA	SUPPLY AIR GRILL
BRG	BEARING	HC	HOLLOWCORE	SC	SOLID CORE
BRK	BRICK	HDBD	HARDBOARD	SCHED	SCHEDULE
BRKT	BRACKET	HDWR	HARDWARE	SD	STORM DRAIN
BRZ	BRONZE	HML	HOLLOW METAL	SECT	SECTION
BACKSP	BACKSPLASH	HORIZ	HORIZONTAL	SF	SQUARE FOOT
BUR	BUILT-UP ROOF	HT	HEIGHT	SH	SHELF
BVL	BEVEL	HR	HOUR	SHT	SHEET
CAB	CABINET	HRTU	HEAT RECOVERY UNIT	SIM	SIMILAR
CB	CATCH BASIN	ID	INSIDE DIAMETER	SJ	STEEL JOIST
CEM	CEMENT	IN	INCH	SK	SINK
CHAM	CHAMFER	INCL	INCLUDED	SLNT	SLANT
CBD	CHALK BOARD	INST	INSTALL	SMS	SHEET METAL SCREW
CJ	CONTROL JOINT	INSUL	INSULATION	SP	STRUCTURAL PLYWOOD
CL	CENTERLINE	INT	INTERIOR	SPEC	SPECIFICATION
CLG	CEILING	INV	INVERT	SQ	SQUARE
CLO	CLOSET	IP	IRON PIPE	S&R	SHELF & ROD(DOR POLE)
CLR	CLEAR	LF	LINEAL FOOT	SS	SERVICE SK, STNLESS STL
CM	CONST MANAGER	LFR	LINEAL FOOT	STD	STANDARD
CMU	CONC MASONRY BLOCK	LKR	LOCKER	STL	STEEL
CO	CLEANOUT	LL	LEVEL LOAD	STN	STAIN
COL	COLUMN	LVR	LOUVER	STOR	STORAGE
CONC	CONCRETE	LTWT	LIGHTWEIGHT	STRUCT	STRUCTURAL
CONST	CONSTRUCTION	MACH	MACHINE	SUSP	SUSPENDED
CONT	CONTINUOUS	MAT	MATERIAL	T & TR	TREAD
CTR	CONTRACTOR	MAX	MAXIMUM	T&B	TOP & BOTTOM
CPT	COUNTERSINK	MB	MACHINE BOLT	TACKBD	TACKBOARD
CNSK	CERAMIC TILE	MECH	MECHANICAL	TEL	TELEPHONE
CY	CUBIC YARD	MED	MEDIUM	TEMP	TEMPERATURE
DTL	DETAIL	MEM	MEMBRANE	TH	TEMPERED GLASS
DF	DRINKING FOUNTAIN	MET	METAL	THOLD	THRESHOLD
DI	DRAIN INLET	MEZZ	MEZZANINE	T&G	TONGUE & GROOVE
DIA	DIAMETER	MFR	MANUFACTURER	TH	THICKNESS
DIM	DIMENSION	MH	MANHOLE	TOIL	TOILET
DIV	DIVIDER	MI	MALLEABLE IRON	TOC	TOP OF CURB OR CONC
DL	DEAD LOAD	MIN	MINIMUM	TOD	TOP OF DECK
DN	DOWN	MIR	MIRROR	TOJ	TOP OF JOIST
DP	DEEP	MISC	MISCELLANEOUS	TOP	TOP OF PAVEMENT
DS	DOWNSPOUT	ML	METAL LATH	TOS	TOP OF STEEL
DWG	DRAWING	MO	MASONRY OPENING	TOW	TOP OF WALL
DWR	DRAWER	MR	MOISTURE RESISTANT	TRTD	TREATED
EQ	EQUAL	MTD	MOUNTED	TRZO	TERRAZZO
EQUIP	EQUIPMENT	MUL	MULLION	TYP	TYPICAL
ESMT	EASEMENT	(N)	NEW	UC	UNDER CABINET
EW	EACH WAY	N	NORTH	UL	UNDERWRITERS LAB
EXP	EXPANSION, EXPOSURE	NAT	NATURAL	UON	UNLESS OTHERWISE NOTED
EXT	EXTERIOR	NIC	NOT IN CONTRACT	VERT	VERTICAL
EN	EDGE NAIL	NO	NUMBER	VAR	VARIABLE
FA	FIRE ALARM	NOM	NOMINAL	VAT	VINYL ASBESTOS TILE
FBGL	FIBERGLASS	NTS	NOT TO SCALE	VB	VAPOR BARRIER
FD	FLOOR DRAIN	O	OVER	VCT	VINYL COMPOSITION TILE
FDN	FOUNDATION	OBS	OBSCURE	VERT	VERTICAL
FE	FIRE EXTINGUISHER	OC	ON CENTER	VEST	VESTIBULE
FE	F.E. CABINET	OD	OUTSIDE DIAMETER	VS	VERTICAL GRAIN
FF	FINISH FLOOR	OH	OVERHANG	VVC	VINYL WALL COVERING
FG	FIXED GLASS	OPNG	OPENING	WC	WALL COVERING
FH	FIRE HOSE	OP	OPPOSITE	W	WEST
FHC	FIRE HOSE CABINET	PBD	PARTICLEBOARD	W	WITH
FN	FINISH	PC	PRECAST CONCRETE	WB	WOOD BASE
FKT	FIXTURE	PCPL	PORTLAND CEM PLAS	WD	WOOD
FLG	FLASHING	PERF	PERFORATED	WIN	WINDOW
FLR	FLOOR	PL	PLATE	WG	WIRE GLASS
FLOOR	FLOURESCENT	PREFAB	PREFABRICATED		
FO	FACE OF				
FOB	FACE OF BRICK, BLOCK				

## VICINITY MAP



## PROJECT ADDRESS

GATEWAY ROAD EAST  
NAPA, CA 94558

## SCOPE OF WORK

NEW PROPOSED LIGHT INDUSTRIAL BUILDING.

## AERIAL MAP



## PROJECT DATA

OCCUPANCY TYPE: B/S1  
CONSTRUCTION TYPE: TYPE III, NO HOUR  
SPRINKLER: YES  
APN: 0057-200-002 & 0057-200-003  
ZONING: IP:AC, INDUSTRIAL PARK, AIRPORT COMPATIBILITY COMBINATION DISTRICT.  
NUMBER OF STORIES: 1  
LOT AREA: 4.366 ACRES (190,182 S.F.)  
BUILDING AREA: 71,246 S.F.

**SITE STUDY**  
4.366 ± ACRES (190,182 s.f.)  
PROPOSED FAR/BLDG COVERAGE  
\*68,677 SQ.FT. < 71,246 SQ.FT.

**BUILDING SUMMARY**  
OFFICE: 10% 6,868 S.F. (APPROX.)  
WAREHOUSE: 90% 61,809 S.F.  
100% 68,677 S.F.

**PARKING REQUIRED:**  
OFFICE: 6,868 S.F. @ 1 / 250 S.F. =27 STALLS  
WAREHOUSE: 61,809 S.F. @ 1 / 1,000 S.F. FIRST 20,000 =20 STALLS  
41,809 S.F. @ 1 / 2,000 S.F. =21 STALLS  
68 STALLS REQ.

50 STANDARD  
17 COMPACT  
6 ACCESSIBLE  
73 STALLS-(PARKING SPACES SHOWN)

## APPLICABLE CODES

2016 CALIFORNIA BUILDING CODE  
2016 CALIFORNIA ELECTRICAL CODE  
2016 CALIFORNIA MECHANICAL CODE  
2016 CALIFORNIA PLUMBING CODE  
2016 CALIFORNIA FIRE CODE  
2016 CALIFORNIA ENERGY CODE  
2016 CALIFORNIA GREEN BLD'G STANDARDS

## GREEN BUILDING CODE (CALGREEN)

1. GENERAL CONTRACTOR TO PROVIDE TO LOCAL INFORMING AGENCY AND COPY(S) TO BUILDING OWNER/ TENANT/ARCHITECT A CONSTRUCTION WASTE MANAGEMENT PLAN PER CAL GREEN 5.408.1.

2. TESTING AND ADJUSTING IS REQUIRED FOR BUILDINGS LESS THAN 10,000 S.F. PER CAL GREEN 5.410.4 INCLUDING H.V.A.C. SYSTEMS, LIGHTING AND CONTROL SYSTEMS, WATER HEATING SYSTEMS AND OTHER ENERGY CONSUMING SYSTEMS.

## ARCHITECTURAL SYMBOL LEGEND

	SECTION NUMBER		BUILDING SECTION CUT INDICATOR		NORTH ARROW
	SHEET NUMBER		EXTERIOR ELEVATION INDICATOR		PLAN ELEVATION LABEL
	SECTION NUMBER DIRECTION		INTERIOR ELEVATION INDICATOR		CUT LINE
	DETAIL NUMBER		REVISION CLOUD AND REVISION INDICATOR		WINDOW INDICATOR
	GRID NUMBER / GRID LETTER		DOOR INDICATOR		WALL TYPES







1 =



2 =



3 LOOKING FROM HWY 29



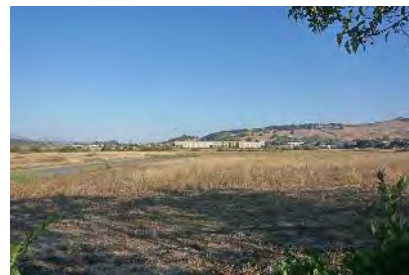
4 LOOKING FROM HWY 29



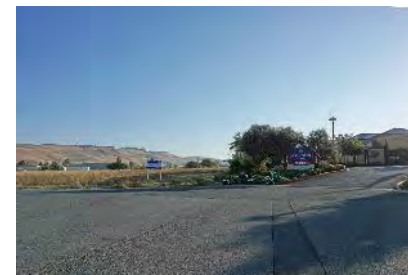
5 ADJ. PROPERTY -BACK OF MARRIOTT



6 SITE- FROM SOUTH NORTH



7 SITE - FROM SOUTHWEST CORNER



8 ADJ. PROPERTY - TO THE SOUTH



9 SITE- FROM WEST NORTH



10 SITE- FROM WEST SOUTH



11 SITE - FROM NORTH EAST



12 SOUTH WEST

**Napa Design Partners**  
 Architecture Interiors  
 Planning Preservation  
 Stephen R. Cuddy  
 AIA, LEED AP, CHRIS  
 855 Bordeaux Way, Suite 250  
 Napa, CA 94558  
 707-275-5000  
 NapaDesignPartners.com

Copyright 2017 Napa Design Partners, LLP. The drawings or written materials contained herein constitute the original and unpublished work of the architect. Reproduction, use or alteration in any form is strictly prohibited without the written consent of Napa Design Partners.

OWNER:  
 ANDREW KILPATRICK  
 INNOVA EQUITY INC.

8605 SANTA MONICA  
 BLVD.#75763  
 LOS ANGELES, CA 90069  
 (916) 825-9097  
 andrew@innova.build

PROJECT:  
 INNOVA NAPA  
 Gateway Road East

CONTEXTUAL MAP  
 WITH SITE PHOTOS

ARCHITECTS STAMP:

PRINT DATE: May 23, 2018

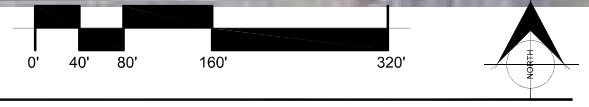
DATE: March 26, 2018

REVISION:

SHEET:

**A1.1**

**A EXISTING SITE- CONTEXTUAL MAP WITH SITE PHOTGRAPHS**  
 NTS



N:\17206-Edpatrick Napa Gateway\17206-A11 Context Pk.Ans. 8/21/2018 2:36:36 PM.Rlcry

Copyright 2017 Napa Design Partners, LLP. The drawings or written materials contained herein constitute the original and unpublished work of the architect. Reproduction, use or alteration in any form is strictly prohibited without the written consent of Napa Design Partners.

**OWNER:**  
 ANDREW KILPATRICK  
 INNOVA EQUITY INC.  
 8605 SANTA MONICA  
 BLVD.#75763  
 LOS ANGELES, CA 90069  
 (916) 825-9097  
 andrew@innova.build

**PROJECT:**  
 INNOVA NAPA  
 Gateway Road East

**MATERIALS BOARD**

**ARCHITECTS STAMP:**

**PRINT DATE:** May 23, 2018

**DATE:** March 26, 2018

**REVISION:**

**SHEET:**

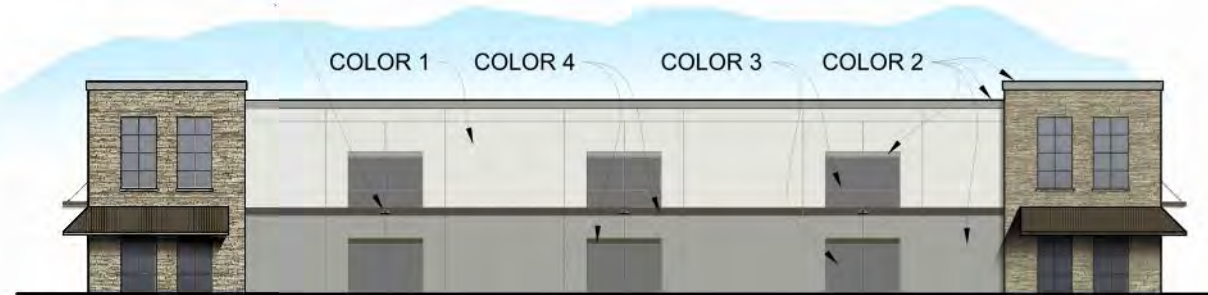
**A1.2**



**WALL MOUNTED LIGHT**



**METAL AWNING**



**(C) SOUTH ELEVATION**



**(D) WEST ELEVATION**



**CULTURED STONE- ECHO RIDGE**

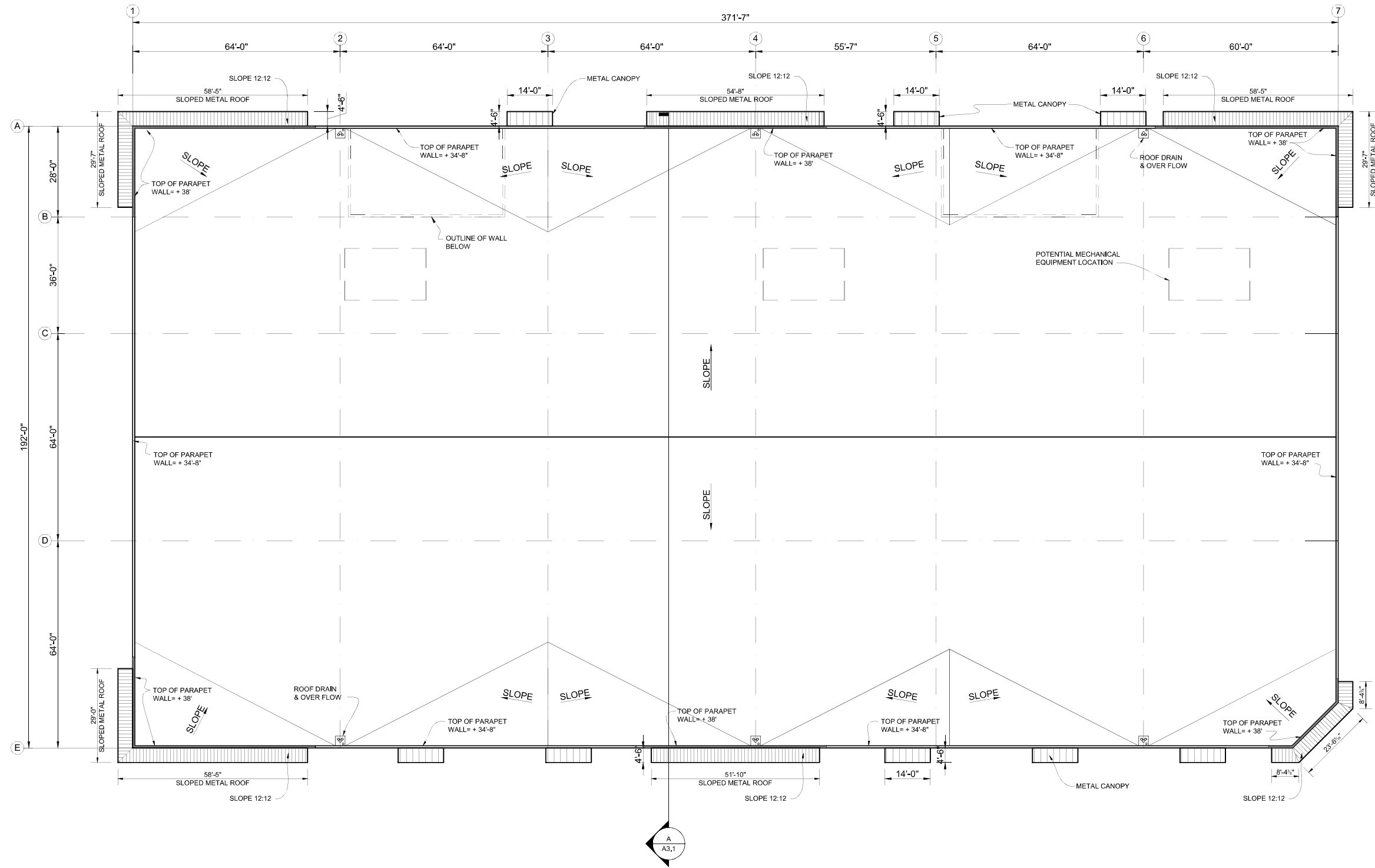


**MEDIUM BRONZE ALUMINUM**

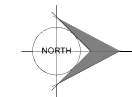
**COLORS -(Kelly Moore Paints)**

- = 1 (KM4891-1 Swan Dive)
- = 2 (KM5815-2 Actor's Star)
- = 3 (KMS821-3 Sandpiper Cove)
- = 4 (KMA72-5 Barnwood)





**A** PROPOSED ROOF PLAN  
SCALE: 1/16" = 1'-0"



Copyright 2017 Napa Design Partners, LLP.  
The drawings or written materials contained  
herein constitute the original and unpublished  
work of the architect. Reproduction, use or  
alteration in any form is strictly prohibited without  
the written consent of Napa Design Partners.

OWNER:  
ANDREW KILPATRICK  
INNOVA EQUITY INC.  
  
8605 SANTA MONICA  
BLVD.#75763  
LOS ANGELES, CA 90069  
(916) 825-9097  
andrew@innova.build

PROJECT:  
  
INNOVA NAPA  
Gateway Road East

PROPOSED  
ROOF PLAN

ARCHITECTS STAMP:

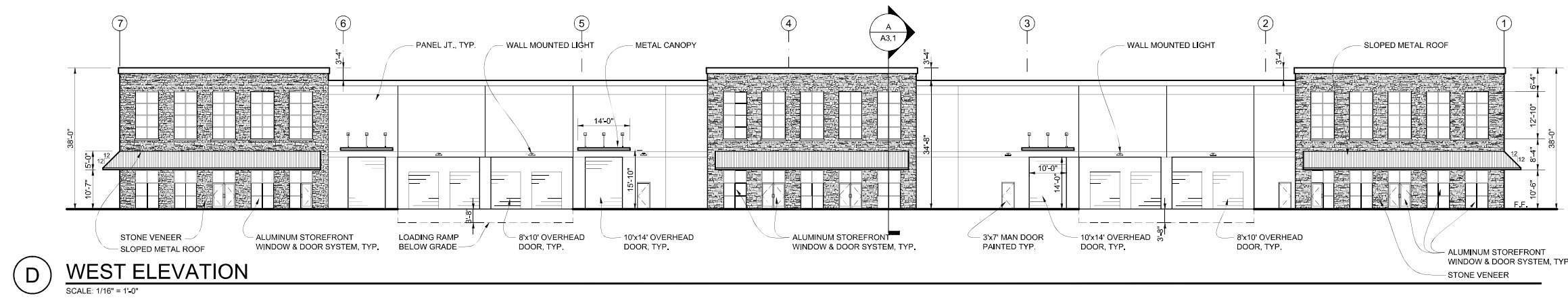
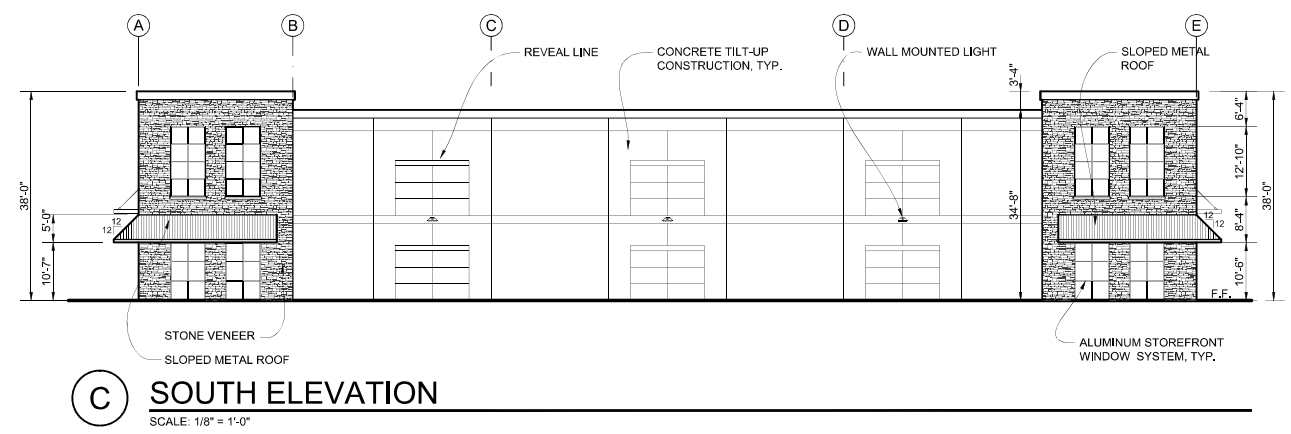
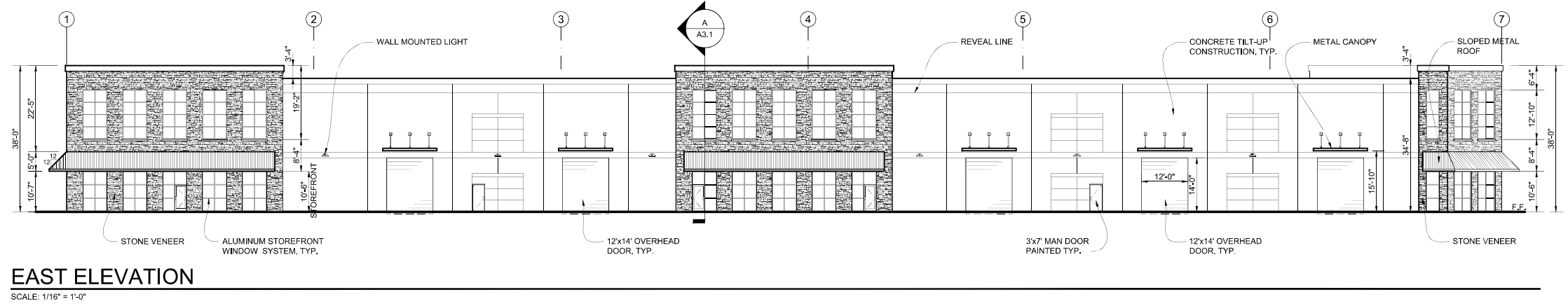
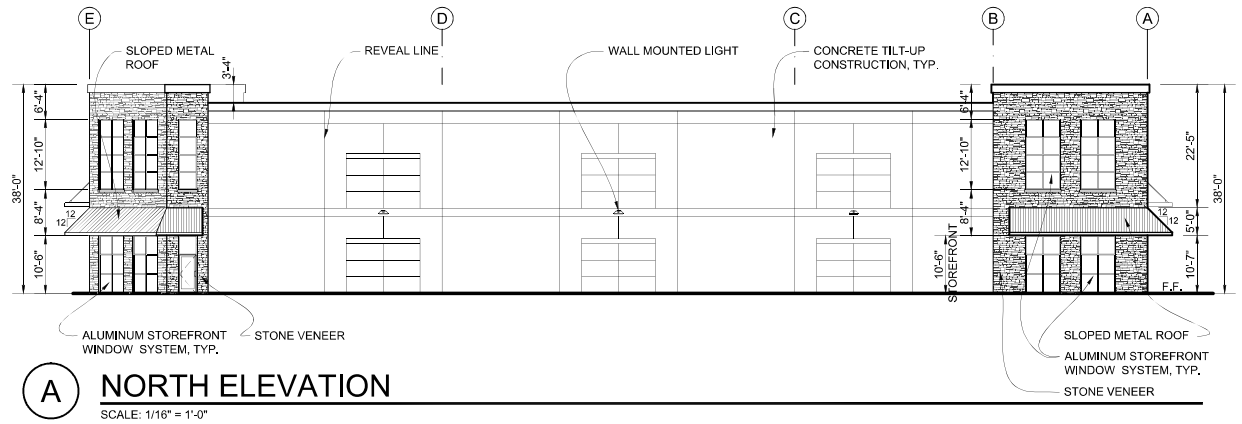
PRINT DATE: May 23, 2018

DATE: March 26, 2018

REVISION:

SHEET:

**A2.1**



# **CIVIL DRAWINGS**

Copyright 2017 Napa Design Partners, LLP.  
 The drawings or written materials contained  
 herein constitute the original and unpublished  
 work of the architect. Reproduction, use or  
 alteration in any form is strictly prohibited without  
 the written consent of Napa Design Partners.

OWNER:  
 ANDREW KILPATRICK  
 INNOVA EQUITY INC.  
 8605 SANTA MONICA  
 BLVD.#75763  
 LOS ANGELES, CA 90069  
 (916) 825-9097  
 andrew@innova.build

PROJECT:  
 INNOVA NAPA  
 Gateway Road East

BUILDING SECTION  
 TRASH ENCLOSURE

ARCHITECTS STAMP:

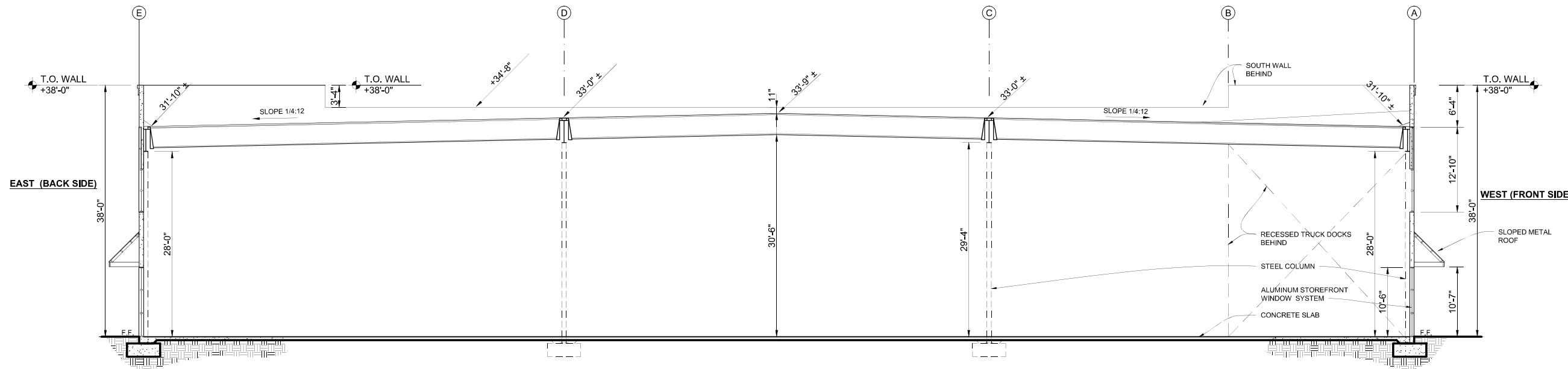
PRINT DATE: May 23, 2018

DATE: March 26, 2018

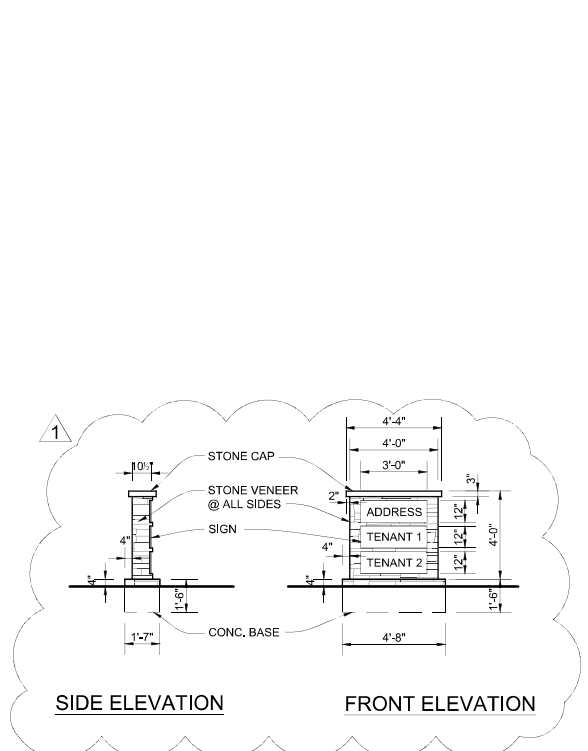
REVISION:  
 05-25-18  
 PLANNING REVIEW  
 # P18-00117

SHEET:

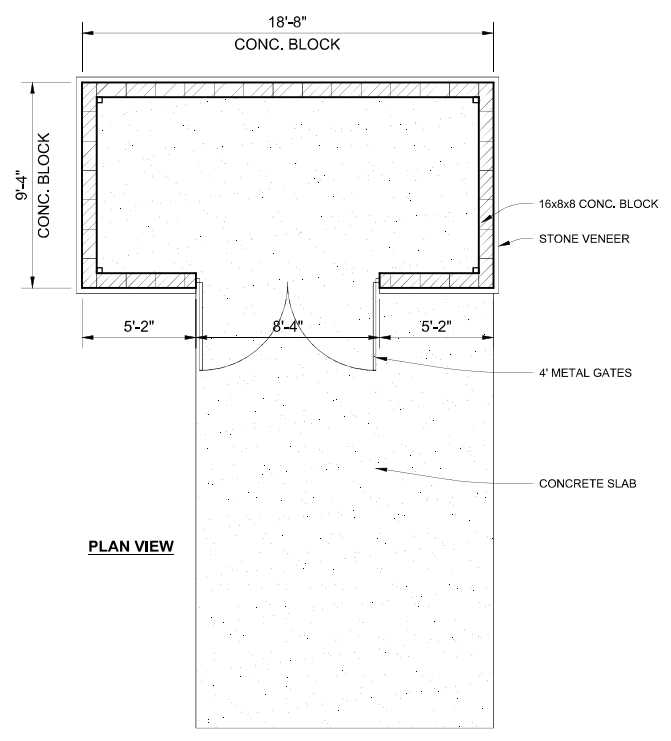
**A3.1**



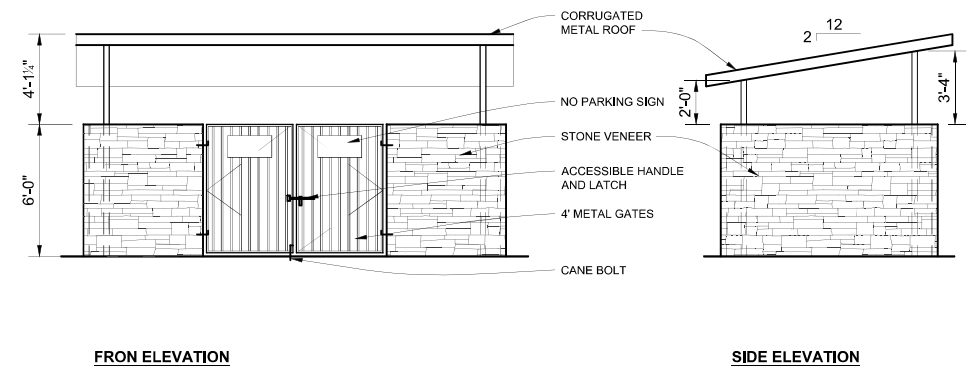
**A** BUILDING SECTION  
 SCALE: 1/8" = 1'-0"



**C** PROJECT SIGN  
 SCALE: 1/4" = 1'-0"

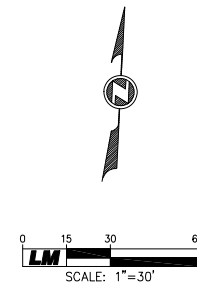
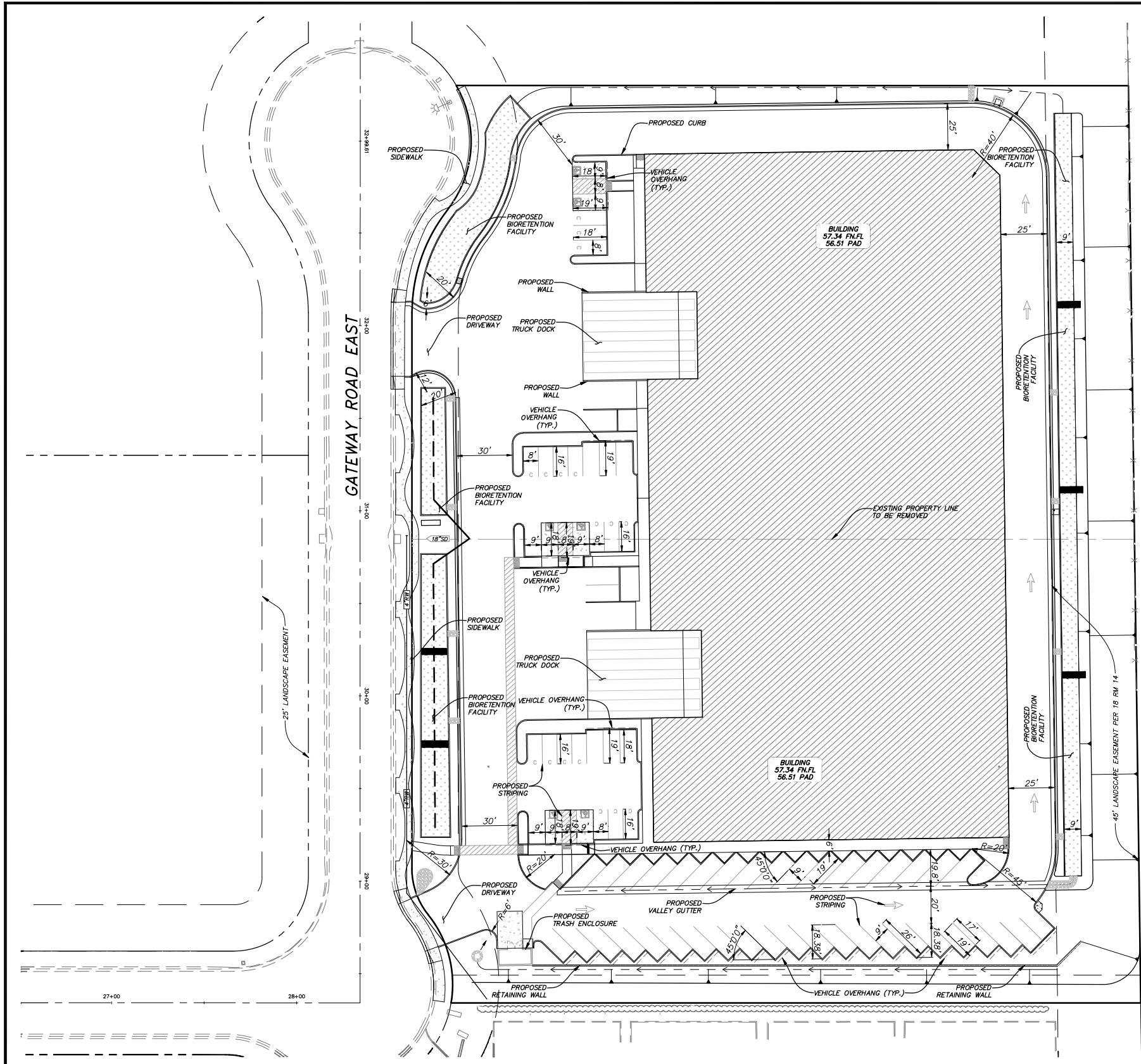


**B** PROPOSED TRASH ENCLOSURE  
 SCALE: 1/4" = 1'-0"



FRON ELEVATION SIDE ELEVATION

N:\17206-Edmond Napa Gateway\17206-A3.1\Bldg Section.dwg, 6/14/2018 2:32:35 PM, Betsy



DESIGNED BY	BPB				
DRAWN BY	AB				
CHECKED BY	BPB				
REV.	DATE	DESCRIPTION	BY	APP'D.	

**LM LAUGENOUR AND MEIKLE**  
 CIVIL ENGINEERING - LAND SURVEYING - PLANNING  
 608 COURT STREET, WOODLAND, CALIFORNIA 95695 · PHONE: (530) 662-1755  
 P.O. BOX 828, WOODLAND, CALIFORNIA 95776 · FAX: (530) 662-4602

BY: BRYAN P. BONINO  
 DATE: 05/16/18 P.E. 41804

PRELIMINARY IMPROVEMENT PLANS  
 FOR  
**INNOVA WAREHOUSE**

CITY OF NAPA CALIFORNIA

CIVIL SITE PLAN

SCALE  
 1"=30'

**C-201**

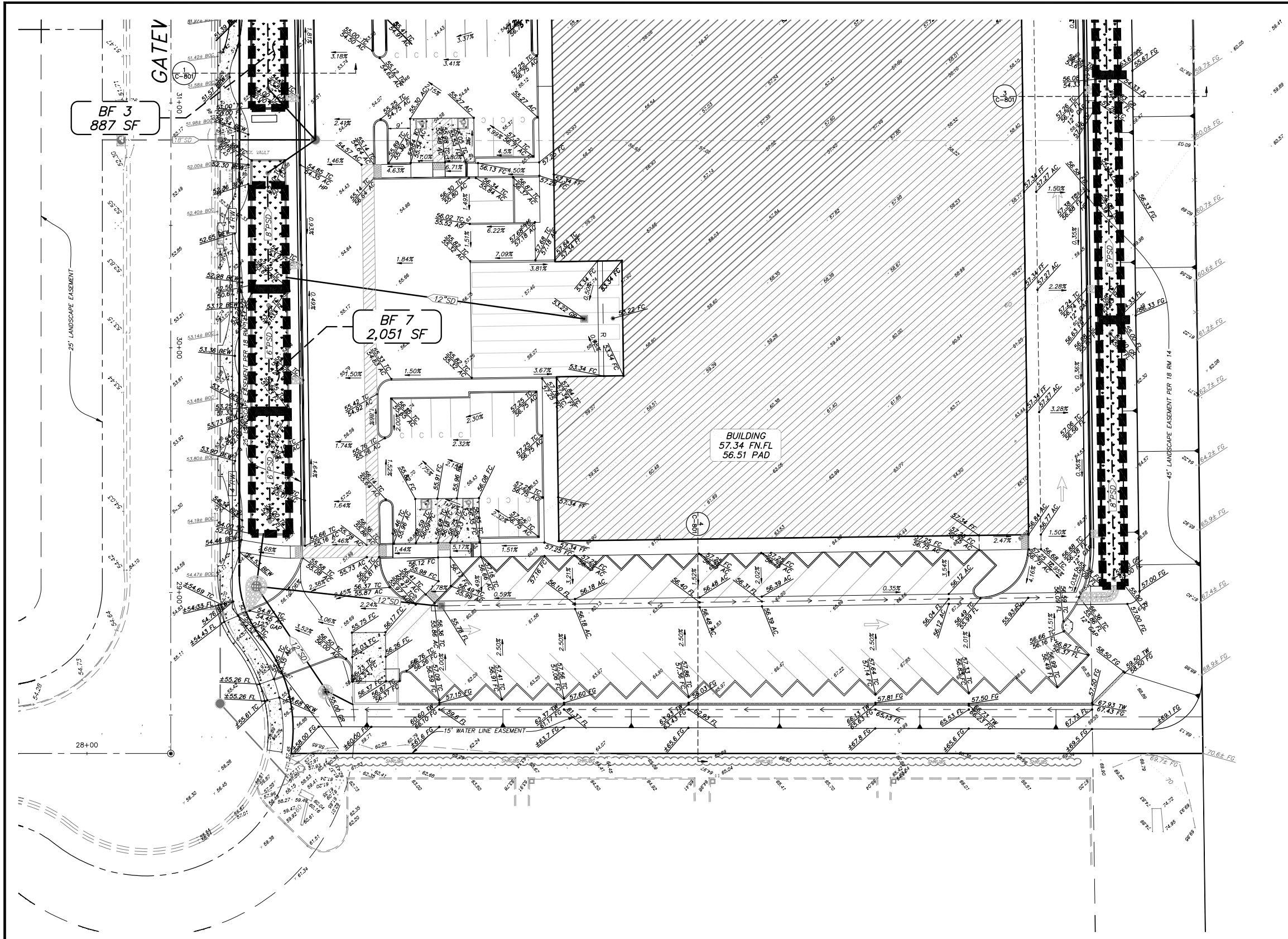
SHEET 10F 7

CAD FILE: 3847-1\_C201  
 DATE: 05/16/18  
 JOB NO. 3847-1

X:\Land Projects\3847-1.dwg\3847-1\_C201.dwg







- GENERAL GRADING NOTES:**
- ALL EARTHWORK ACTIVITIES, INCLUDING EXCAVATION, GRADING, SCARIFYING, MOISTURIZING, FILL PLACEMENT, COMPACTION, ETC., SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS CONTAINED IN THE PROJECT GEOTECHNICAL ENGINEERING REPORT AND IN CONFORMANCE WITH THE CITY STANDARD SPECIFICATIONS, CALIFORNIA BUILDING CODE (C.B.C.), AND WITH THE GRADING PLAN.
  - THE GEOTECHNICAL ENGINEER SHALL OBSERVE THE GRADING ACTIVITIES AND PERFORM COMPACTION TESTING FOR THIS PROJECT. THE CONTRACTOR SHALL PROVIDE AT LEAST 24 HOURS NOTICE TO THE GEOTECHNICAL ENGINEER OF THE NEED FOR OBSERVATION AND TESTING SERVICES. THE PROJECT OWNER WILL PAY FOR THE COST OF PROVIDING THESE SERVICES; HOWEVER, IF SAMPLES OF MATERIALS ARE SUBMITTED WHICH FAIL TO PASS THE SPECIFIED TESTS OR IF WORK IS PERFORMED WHICH FAILS TO MEET THESE SPECIFICATIONS, THE CONTRACTOR SHALL PAY FOR ALL SUBSEQUENT RE-TESTS AND RE-INSPECTIONS.
  - EARTHWORK SHALL INCLUDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO CONSTRUCT THE SITE TO THE GRADES SHOWN. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR THE DISPOSAL OF EXCESS EXCAVATION OR FOR THE IMPORT OF MATERIAL.
  - TO ACCOMMODATE TRENCH AND FOUNDATION SPOILS, THE CONTRACTOR'S GRADING SHALL INCLUDE UNDERCUTTING OF PAVED AREAS AS APPROPRIATE, OR SOME OTHER METHOD APPROVED BY THE ENGINEER. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR THE DISPOSAL OF EXCESS EXCAVATION OR FOR THE IMPORT OF MATERIAL.
  - CONTRACTOR SHALL OVEREXCAVATE LANDSCAPE AREAS TO ACCOMMODATE SITE STRIPPINGS. STRIPPINGS ARE NOT ALLOWED IN PAVING OR BUILDING AREAS.
  - ALL CUT SLOPES SHALL BE ROUNDED AT THE "BREAK" SO THAT THEY BLEND WITH THE NATURAL GROUND CONTOUR.

- GRADING NOTES:**
- THERE ARE NO PLANNED PERMANENT GRADING SPOILS AREAS PLANNED FOR THE SITE.
  - ALL TEMPORARY GRADING SPOILS AREAS REQUIRED FOR THE CONSTRUCTION OF THE SITE SHALL BE MAINTAINED UTILIZING BMP'S WHICH WILL BE REQUIRED WITH THE PROJECT SWPPP.

**ENGINEER'S OPINION OF EARTHWORK VOLUMES:**  
 CUT VOLUME, EXISTING GROUND VS. FINISHED SUBGRADE: (16,271 CY)  
 FILL VOLUME, EXISTING GROUND VS. FINISHED SUBGRADE: (2,245 CY)  
 VOLUMES SHOWN ARE RAW NUMBERS FROM EXISTING GRADE PROJECTED SUBGRADE AND DO NOT ACCOUNT FOR STRIPPINGS, SHRINKAGE, TRENCH SPOILS, FOUNDATION SPOILS OR THE EFFECTS OF ANY SOILS TREATMENT. CONTRACTOR SHALL REVIEW PLANS, GEOTECHNICAL REPORT AND SITE CONDITIONS AND SHALL SATISFY HIMSELF AS TO ACTUAL VOLUMES.

DESIGNED BY	BPB				
DRAWN BY	AB				
CHECKED BY	BPB				
REV.	DATE	DESCRIPTION	BY	APP'D.	

**LM LAUGENOUR AND MEIKLE**  
 CIVIL ENGINEERING - LAND SURVEYING - PLANNING  
 808 COURT STREET, WOODLAND, CALIFORNIA 95695 - PHONE: (530) 662-1755  
 P.O. BOX 828, WOODLAND, CALIFORNIA 95776 - FAX: (530) 662-4602

BY: BRYAN P. BONINO  
 DATE: 05/16/18 P.E. 41804

PRELIMINARY IMPROVEMENT PLANS  
 FOR  
**INNOVA WAREHOUSE**

CITY OF NAPA CALIFORNIA

**GRADING & DRAINAGE PLAN**

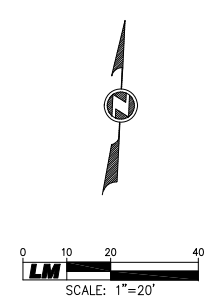
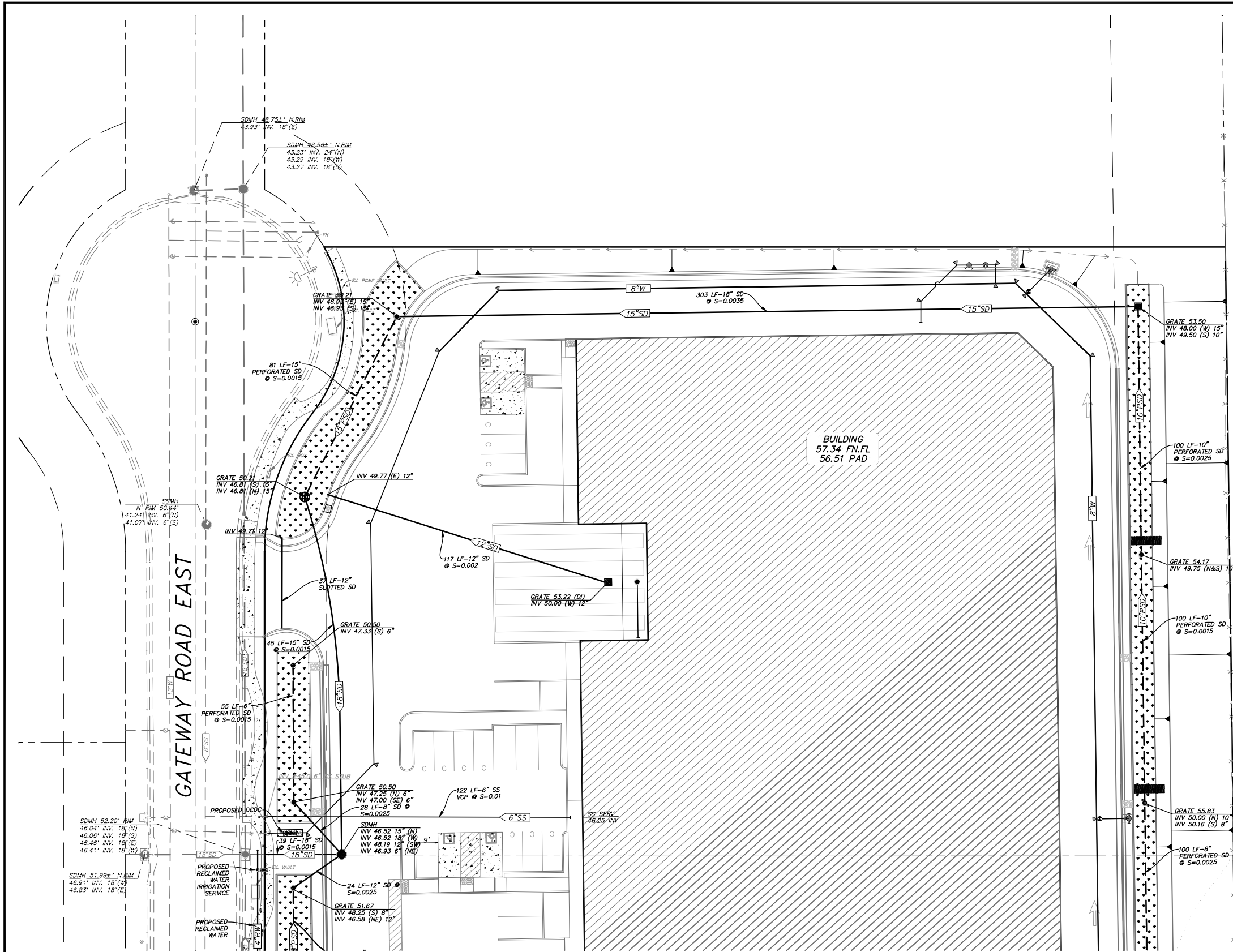
SCALE  
 1"=20'

**C-302**

CAD FILE: 3847-1\_C302  
 DATE: 05/16/18  
 JOB NO. 3847-1

SHEET 30F 7

X:\Land Projects\3847-1.dwg\3847-1\_C302.dwg



DESIGNED BY	BPB				
DRAWN BY	AB				
CHECKED BY	BPB				
REV.	DATE	DESCRIPTION	BY	APP'D.	

**LM LAUGENOUR AND MEKLE**  
 CIVIL ENGINEERING - LAND SURVEYING - PLANNING  
 608 COURT STREET, WOODLAND, CALIFORNIA 95695 · PHONE: (530) 662-1755  
 P.O. BOX 828, WOODLAND, CALIFORNIA 95776 · FAX: (530) 662-4602

BY: BRYAN P. BONINO  
 DATE: 05/16/18 P.E. 41804

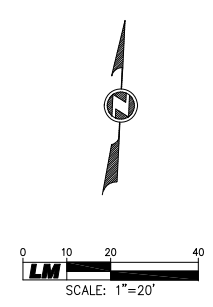
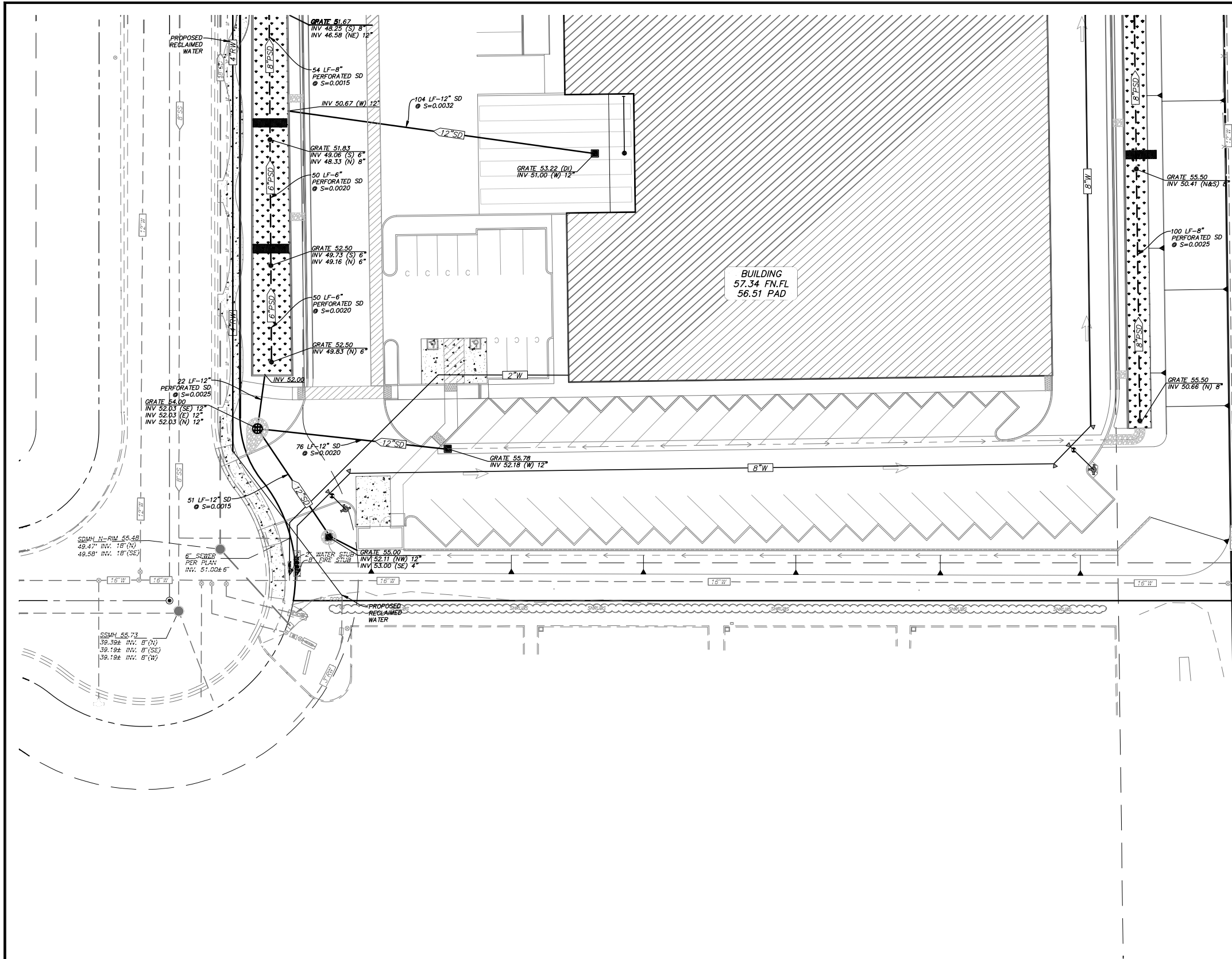
PRELIMINARY IMPROVEMENT PLANS  
 FOR  
**INNOVA WAREHOUSE**

CITY OF NAPA CALIFORNIA

UTILITIES PLAN

SCALE	1"=20'	<b>C-401</b>
CAD FILE	3847-1_C401	
DATE	05/16/18	
JOB NO.	3847-1	SHEET 4 OF 7

X:\Land Projects\3847-1.dwg\3847-1\_C401.dwg



DESIGNED BY	BPB				
DRAWN BY	AB				
CHECKED BY	BPB				
REV.	DATE	DESCRIPTION	BY	APP'D.	

**LM LAUGENOUR AND MEKLE**  
 CIVIL ENGINEERING - LAND SURVEYING - PLANNING  
 608 COURT STREET, WOODLAND, CALIFORNIA 95695 - PHONE: (530) 662-1755  
 P.O. BOX 828, WOODLAND, CALIFORNIA 95776 - FAX: (530) 662-4602

BY: BRYAN P. BONINO  
 DATE: 05/16/18 P.E. 41804

PRELIMINARY IMPROVEMENT PLANS  
 FOR  
**INNOVA WAREHOUSE**

CITY OF NAPA CALIFORNIA

UTILITIES PLAN

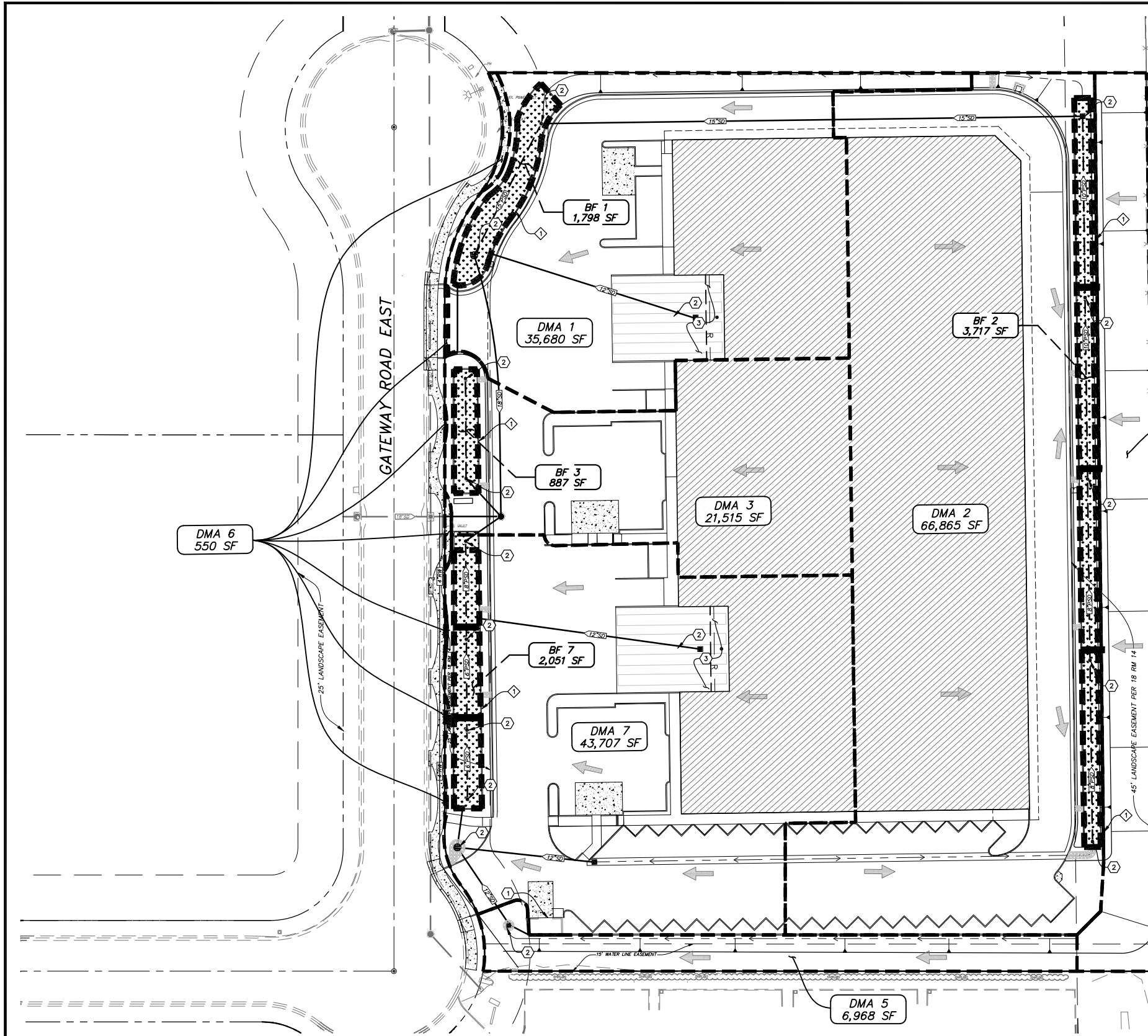
SCALE  
 1"=20'

**C-402**

SHEET 50F 7

CAD FILE: 3847-1\_C402  
 DATE: 05/16/18  
 JOB NO. 3847-1

X:\Land Projects\3847-1.dwg\3847-1\_C402.dwg



**POTENTIAL POLLUTION SOURCES AND CONTROL MEASURES:**

1. REFUSE AREA, COVERED AND ENCLOSED FOR DUMPSTERS, GRADED TO MINIMIZE STORMWATER RUN-ON AND RUNOFF. SEE GRADING PLAN FOR FURTHER DETAIL.
2. STORM DRAIN INLET, MARK WITH WORDS "NO DUMPING! FLOWS TO BAY". SEE UTILITY PLAN FOR FURTHER DETAIL.
3. THE LOADING AREA WILL BE COVERED AND HYDRADICALLY ISOLATED WITH NO RUN-ON/OFF. FLOOR DRAINS WITHIN THE COVERED PORTION OF THE DOCK AREA WILL BE PLUMBED TO THE SANITARY SEWER.

**TREATMENT CONTROL MEASURES:**

1. INSTALL BIORETENTION FACILITY PER DETAIL 1 SHEET C-502 (DETAILS TO BE ADDED FOR BUILDING PERMIT APPLICATION). SEE GRADING PLAN AND LANDSCAPING PLAN FOR MORE DETAIL.

**LEGEND**

- DMA DRAINAGE MANAGEMENT AREA
- BF BIORETENTION FACILITY
- DMA 1  
1,000 SF** WATER QUALITY AREA NAME AND SQUARE FOOTAGE
- WATER QUALITY AREA BOUNDARY
- BF 1  
1,000 SF** BIORETENTION FACILITY NAME AND SQUARE FOOTAGE
- BIORETENTION FACILITY AREA
- ➔ DIRECTION OF FLOW
- BIORETENTION FACILITY BOUNDARY

DESIGNED BY <u>BPB</u>					
DRAWN BY <u>AB</u>					
CHECKED BY <u>BPB</u>					
REV.	DATE	DESCRIPTION	BY	APP'D.	

**LM LAUGENOUR AND MEIKLE**  
 CIVIL ENGINEERING - LAND SURVEYING - PLANNING  
 608 COURT STREET, WOODLAND, CALIFORNIA 95695 - PHONE: (530) 662-1755  
 P.O. BOX 828, WOODLAND, CALIFORNIA 95776 - FAX: (530) 662-4602

BY BRYAN P. BONINO  
 DATE 05/16/18 P.E. 41804

PRELIMINARY IMPROVEMENT PLANS  
 FOR  
**INNOVA WAREHOUSE**

CITY OF NAPA CALIFORNIA

SCALE  
**1"=30'**

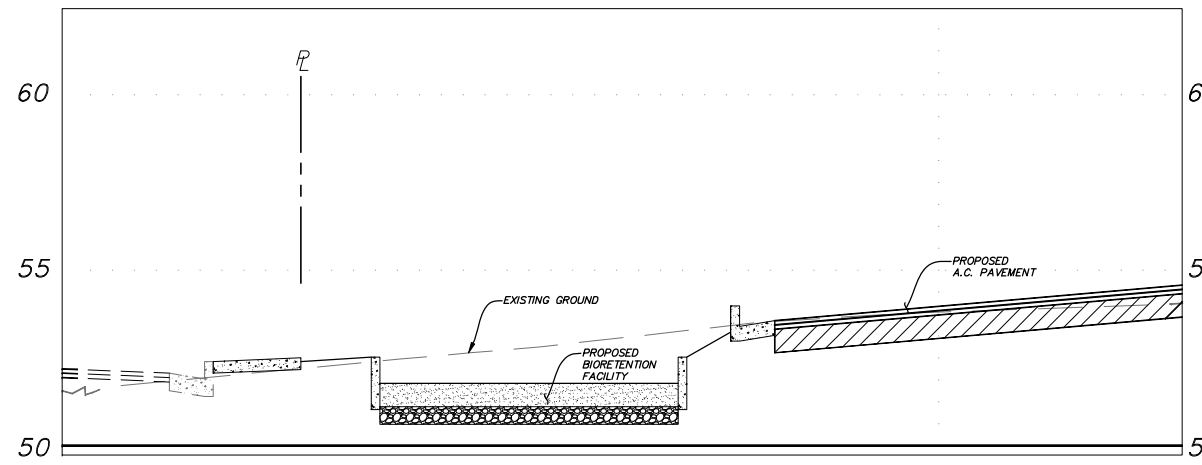
**STORMWATER CONTROL PLAN**

**C-501**

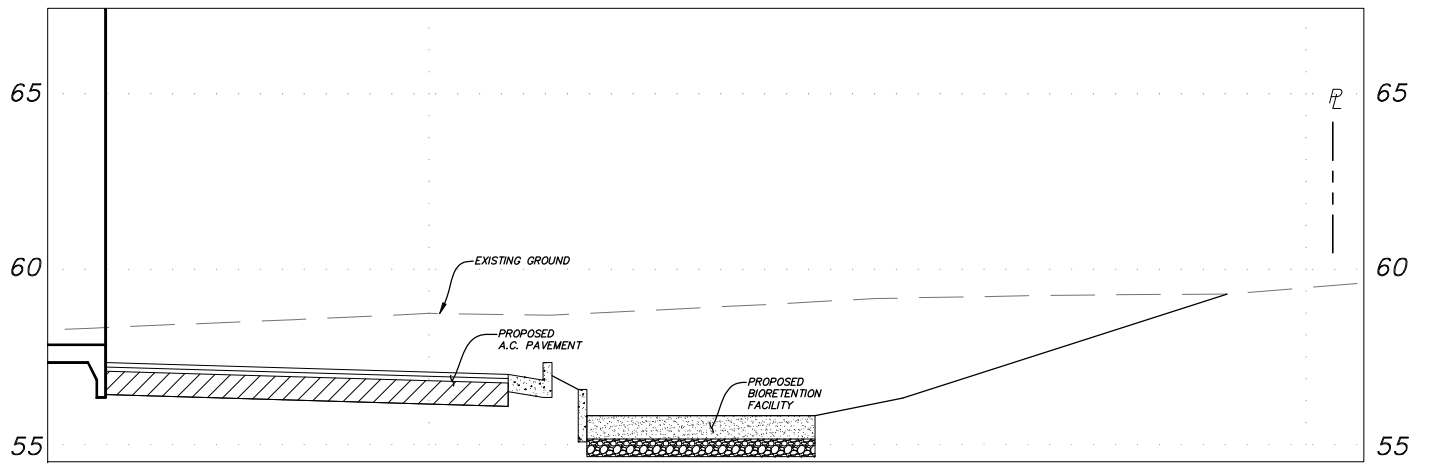
SHEET 6 OF 7

CAD FILE: 3847-1\_C501  
 DATE: 05/16/18  
 JOB NO. 3847-1

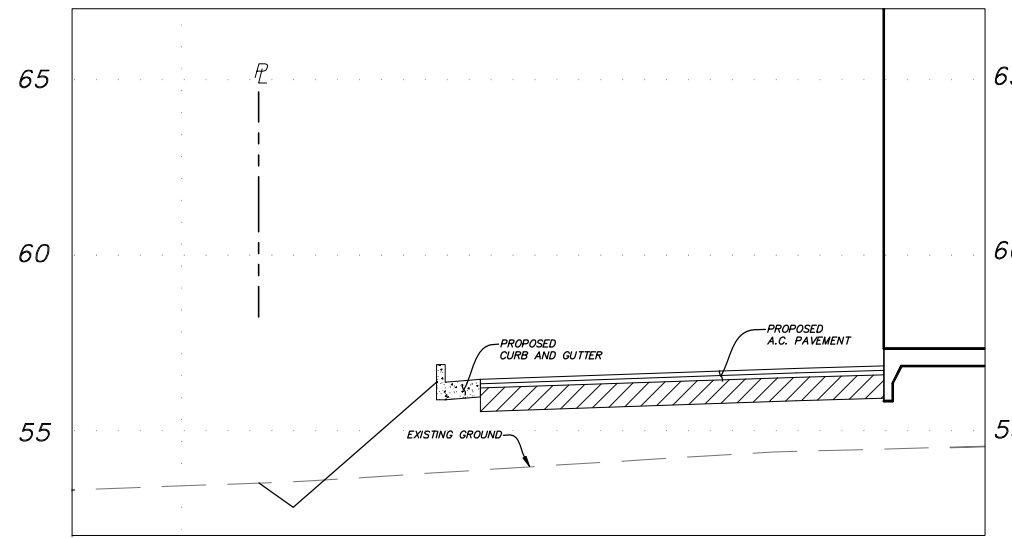
X:\Land Projects\3847-1.dwg\3847-1\_C501.dwg



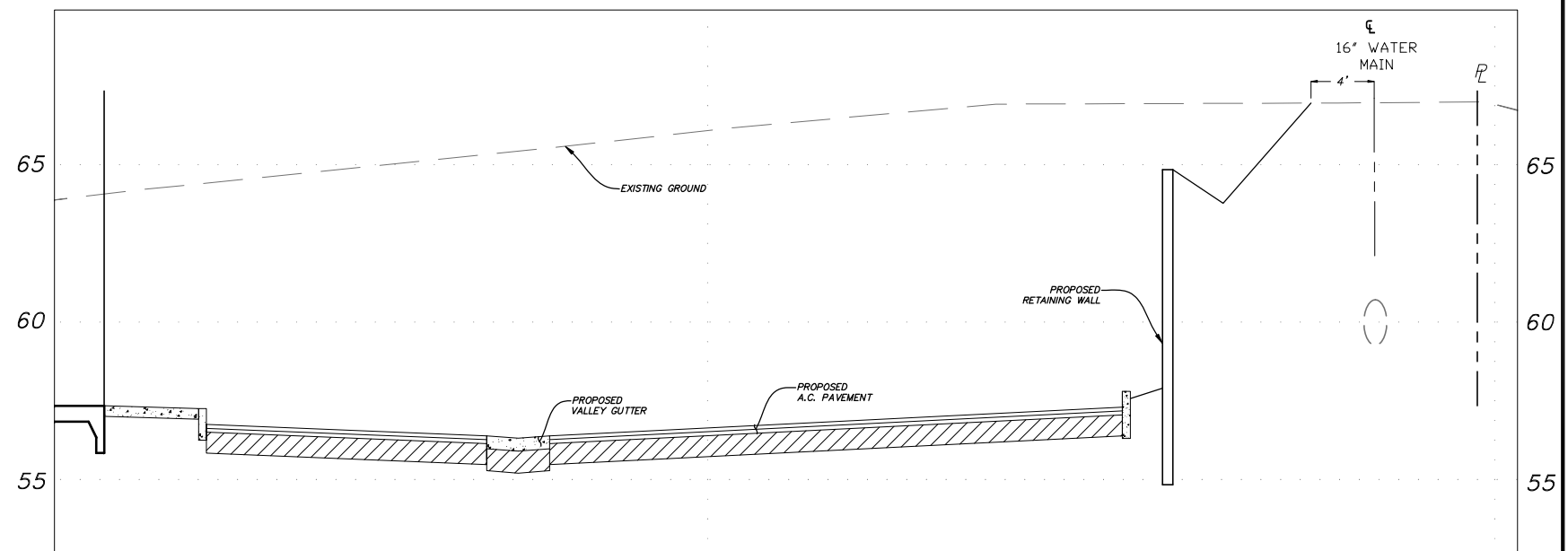
① WESTERN PROPERTY LINE  
NTS



③ EASTERN PROPERTY LINE  
NTS



② NORTHERN PROPERTY LINE  
NTS



④ SOUTHERN PROPERTY LINE  
NTS

DESIGNED BY	BPB				
DRAWN BY	AB				
CHECKED BY	BPB				
REV.	DATE	DESCRIPTION	BY	APP'D.	

**LM LAUGENOUR AND MEKLE**  
 CIVIL ENGINEERING - LAND SURVEYING - PLANNING  
 608 COURT STREET, WOODLAND, CALIFORNIA 95695 · PHONE: (530) 662-1755  
 P.O. BOX 828, WOODLAND, CALIFORNIA 95776 · FAX: (530) 662-4602

BY: BRYAN P. BONINO  
 DATE: 05/16/18 P.E. 41804

PRELIMINARY IMPROVEMENT PLANS  
 FOR  
**INNOVA WAREHOUSE**

CITY OF NAPA CALIFORNIA

CROSS SECTIONS

SCALE  
N/A

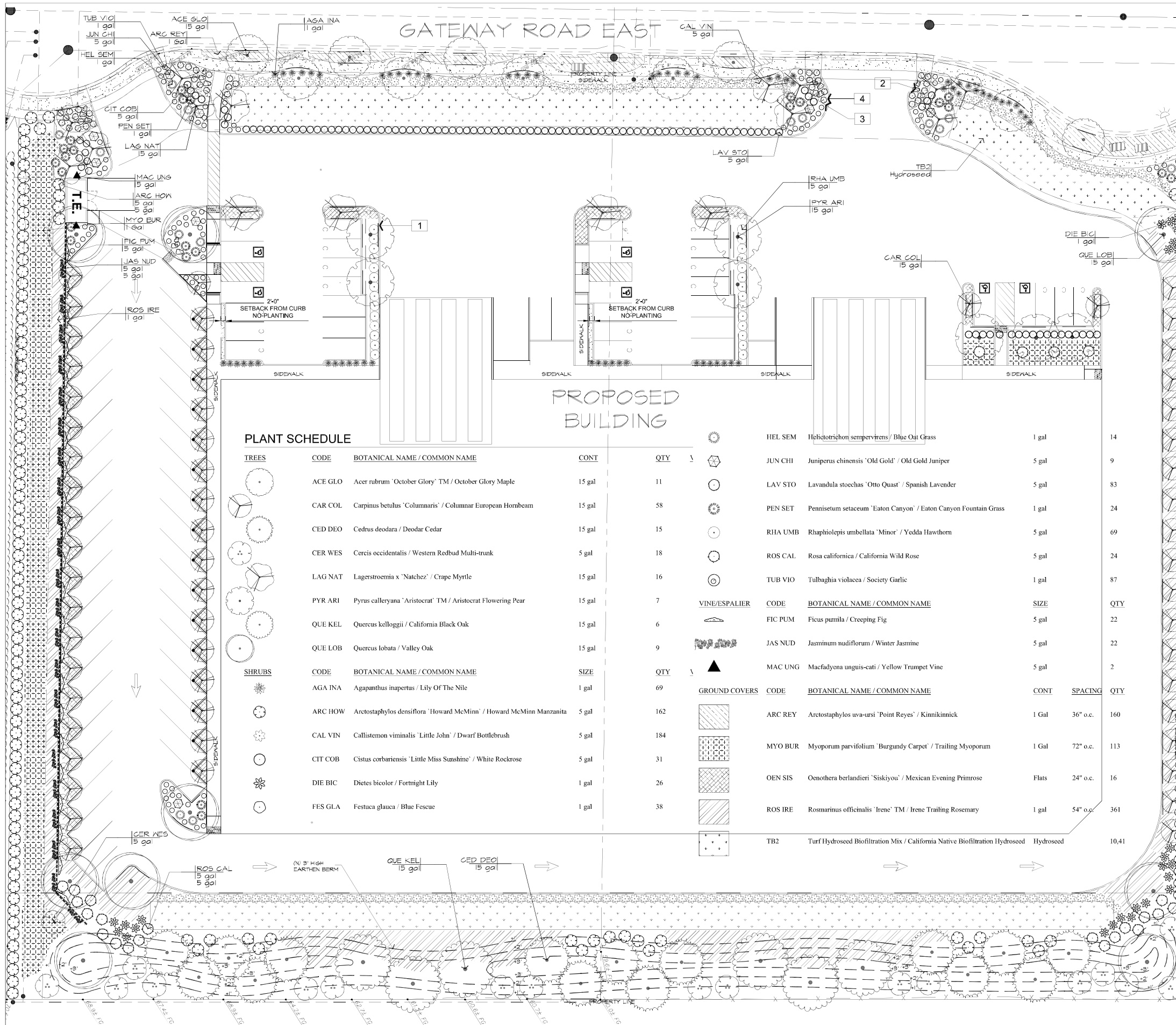
**C-801**

SHEET 7 OF 7

CAD FILE: 3847-1\_CB01  
 DATE: 05/16/18  
 JOB NO. 3847-1

X:\Land Projects\3847-1\dwg\3847-1\_CB01.dwg

# **LANDSCAPE ARCHITECT DRAWINGS**



**PLANT SCHEDULE**

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	QTY	
	ACE GLO	Acer rubrum 'October Glory' TM / October Glory Maple	15 gal	11	
	CAR COL	Carpinus betulus 'Columnaris' / Columnar European Hornbeam	15 gal	58	
	CED DEO	Cedrus deodara / Deodar Cedar	15 gal	15	
	CER WES	Cercis occidentalis / Western Redbud Multi-trunk	5 gal	18	
	LAG NAT	Lagerstroemia x 'Natchez' / Crape Myrtle	15 gal	16	
	PYR ARI	Pyrus calleryana 'Aristocrat' TM / Aristocrat Flowering Pear	15 gal	7	
	QUE KEL	Quercus kelloggii / California Black Oak	15 gal	6	
	QUE LOB	Quercus lobata / Valley Oak	15 gal	9	
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	SIZE	QTY	
	AGA INA	Agapanthus inapertus / Lily Of The Nile	1 gal	69	
	ARC HOW	Arctostaphylos densiflora 'Howard McMinn' / Howard McMinn Manzanita	5 gal	162	
	CAL VIN	Callistemon viminalis 'Little John' / Dwarf Bottlebrush	5 gal	184	
	CIT COB	Cistus corbariensis 'Little Miss Sunshine' / White Rockrose	5 gal	31	
	DIE BIC	Dietes bicolor / Fortnight Lily	1 gal	26	
	FES GLA	Festuca glauca / Blue Fescue	1 gal	38	
VINE/ESPALIER	CODE	BOTANICAL NAME / COMMON NAME	SIZE	QTY	
	FIC PUM	Ficus pumila / Creeping Fig	5 gal	22	
	JAS NUD	Jasminum nudiflorum / Winter Jasmine	5 gal	22	
	MAC UNG	Macfadyena unguis-cati / Yellow Trumpet Vine	5 gal	2	
GROUND COVERS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	ARC REY	Arctostaphylos uva-ursi 'Point Reyes' / Kinnikinnick	1 Gal	36" o.c.	160
	MYO BUR	Myoporum parvifolium 'Burgundy Carpet' / Trailing Myoporum	1 Gal	72" o.c.	113
	OEN SIS	Oenothera berlandieri 'Siskiyou' / Mexican Evening Primrose	Flats	24" o.c.	16
	ROS IRE	Rosmarinus officinalis 'Irene' TM / Irene Trailing Rosemary	1 gal	54" o.c.	361
	TB2	Turf Hydroseed Biofiltration Mix / California Native Biofiltration Hydroseed	Hydroseed		10.41

**REFERENCE NOTES SCHEDULE**

SYMBOL	DESCRIPTION	QTY
1	Root Barrier Manufacture: Deep Root Model #: UB 24-2	1,784 lf
2	Boulder Groupings: Clean Washed Field Stone 3 Boulders Per Group 1 - 3'x2', 1 - 2'x2' & 1 - 1'x2'	15
3	Aluminum Landscape Edging Manufacture: Permalock CleanLine Size: 3/16"x4" Color: Green	105 lf
4	Decomposed Granite	611 sf

**PLANTING NOTES**

1. THE PLAN IS DIAGRAMMATIC. PLANT COUNTS SHALL TAKE PRESENCE OVER WRITTEN PLANT TOTALS.
2. ALL PLANT MATERIAL AND PLANT INSTALLATION SHALL COMPLY WITH THE CITY OF NAPA LANDSCAPE GUIDELINES & SPECIFICATIONS.
3. ALL PLANT MATERIALS SHALL COMPLY WITH CITY OF NAPA WATER CONSERVATION ORDINANCE.
4. IRRIGATION TO BE A FULLY AUTOMATIC UNDERGROUND SYSTEM.

**GENERAL NOTES**

1. THE PROJECT IS LOCATED WITH THE RECYCLED WATER BENEFIT ZONE.
2. THE ESTIMATED IRRIGATION WATER USE = 501,648 GALLONS YEAR, 1.54 ACER FEET/YEAR
3. THE TOTAL LANDSCAPE AREA = 49,763 SF, 1.14 ACERS.

**STUDIO C**  
LANDSCAPE ARCHITECTURE & PLANNING  
PO BOX 277057  
SACRAMENTO, CA 95827  
(PH) 916-868-2854

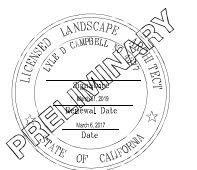


**LANDSCAPE PLAN**

**GATEWAY ROAD EAST**  
**NAPA, CA**  
**APN: 057-200-003**

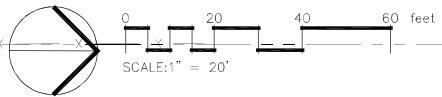
**DRAWING #:** SC0288Pre  
**PROJECT #:** SC0288  
**DATE:** 03..22.18

REVISIONS	DATE



**NOT FOR CONSTRUCTION**  
THESE PLANS HAVE NOT BEEN APPROVED  
BY THE GOVERNING AGENCY  
AND ARE SUBJECT TO CHANGE.

**PRELIMINARY LANDSCAPE PLAN**



**Drawing No.**  
**L1.1 of 1**  
**Title**  
**Preliminary Landscape Plan**