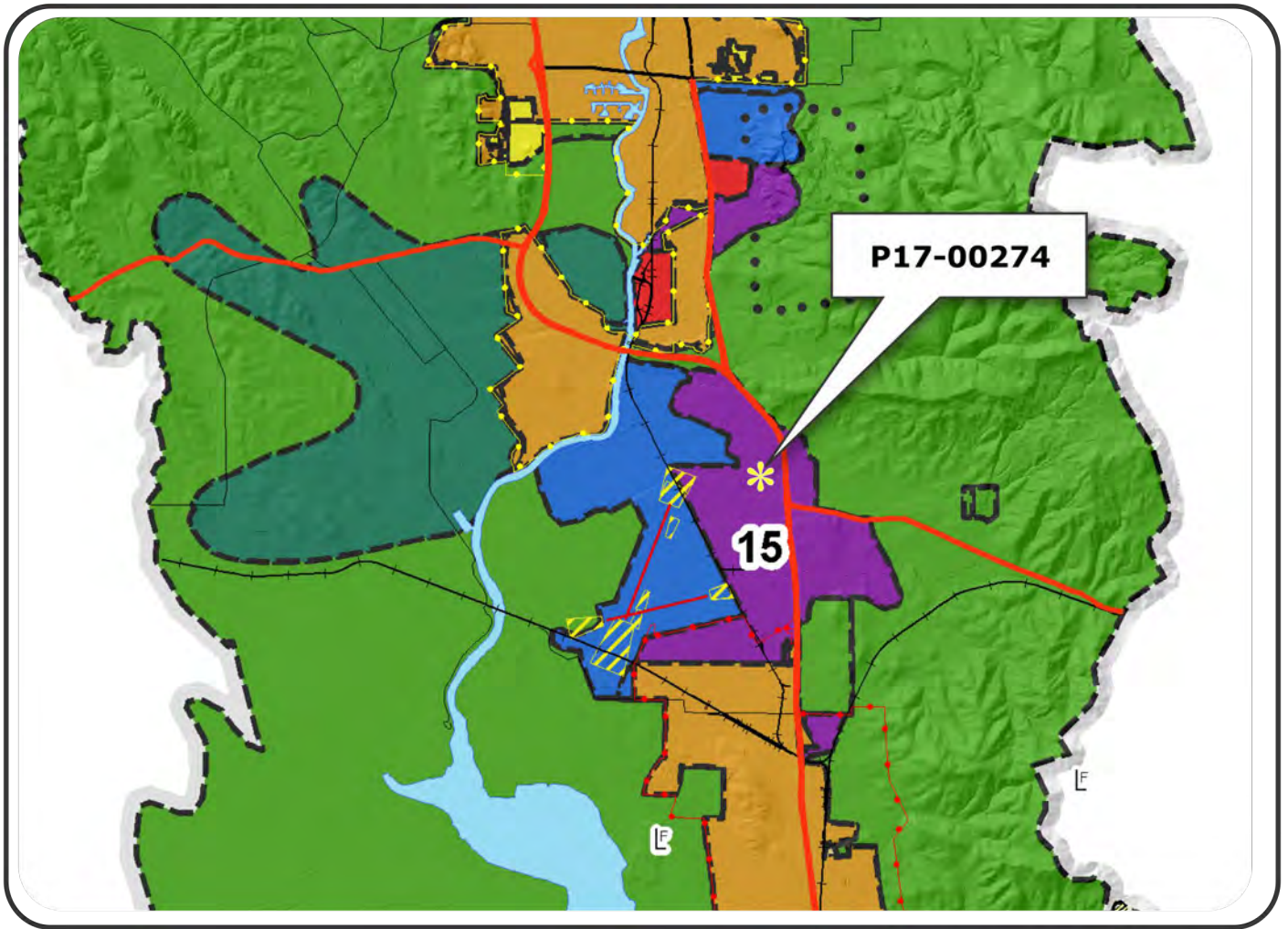


“G”

Graphics

# NAPA COUNTY LAND USE PLAN 2008 - 2030



## LEGEND



### URBANIZED OR NON-AGRICULTURAL

- Study Area
- Cities
- Urban Residential\*
- Rural Residential\*
- Industrial
- Public-Institutional
- Napa Pipe Mixed Use

### OPEN SPACE

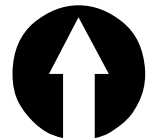
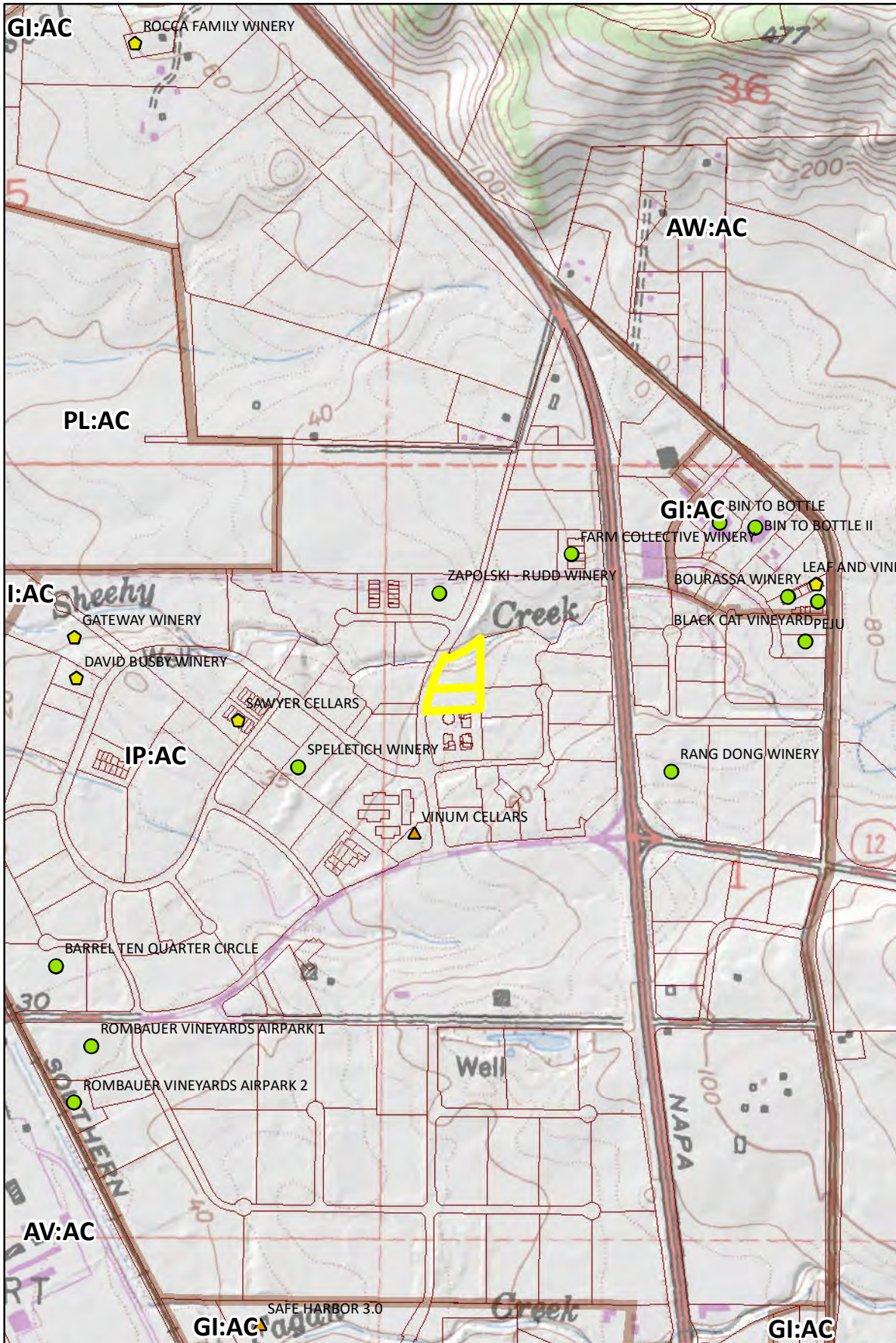
- Agriculture, Watershed & Open Space
- Agricultural Resource

### TRANSPORTATION

- Mineral Resource
- Limited Access Highway
- Major Road
- American Canyon ULL
- City of Napa RUL
- Landfill - General Plan
- Secondary Road
- Airport
- Railroad
- Airport Clear Zone

\* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations

# ZONING MAP

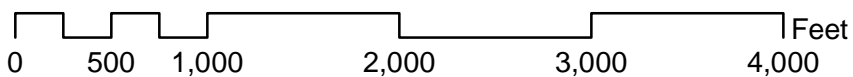


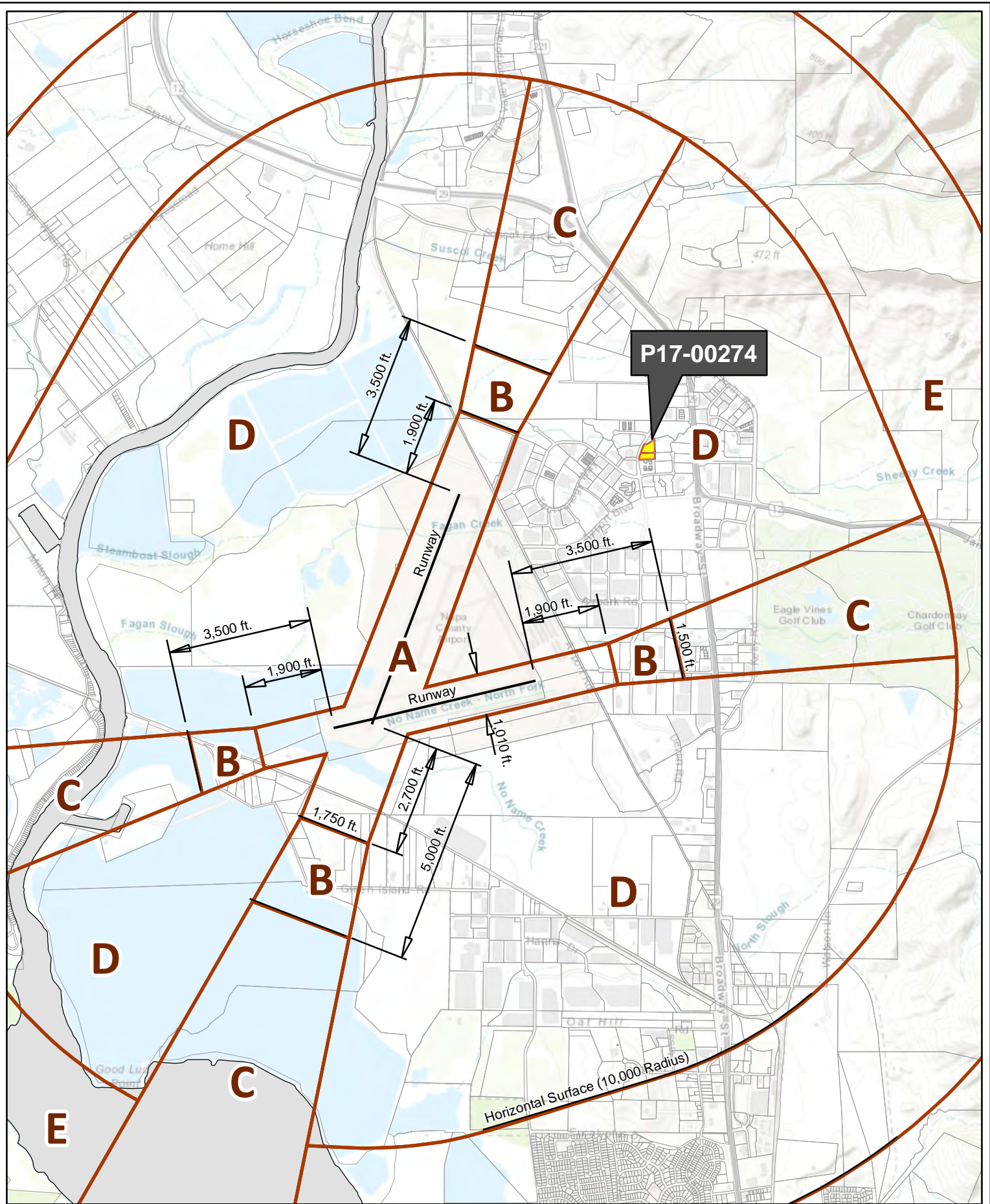
## Legend

### Wineries

#### Status

- Producing
- Producing, w/ pending major mod
- Approved, not producing
- Pending
- Unknown
- Zoning
- Parcels





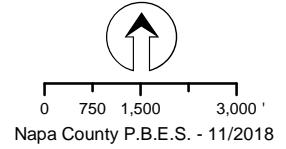
# Compatibility Plan

## Napa County Airport

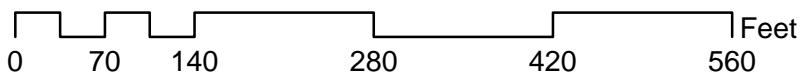
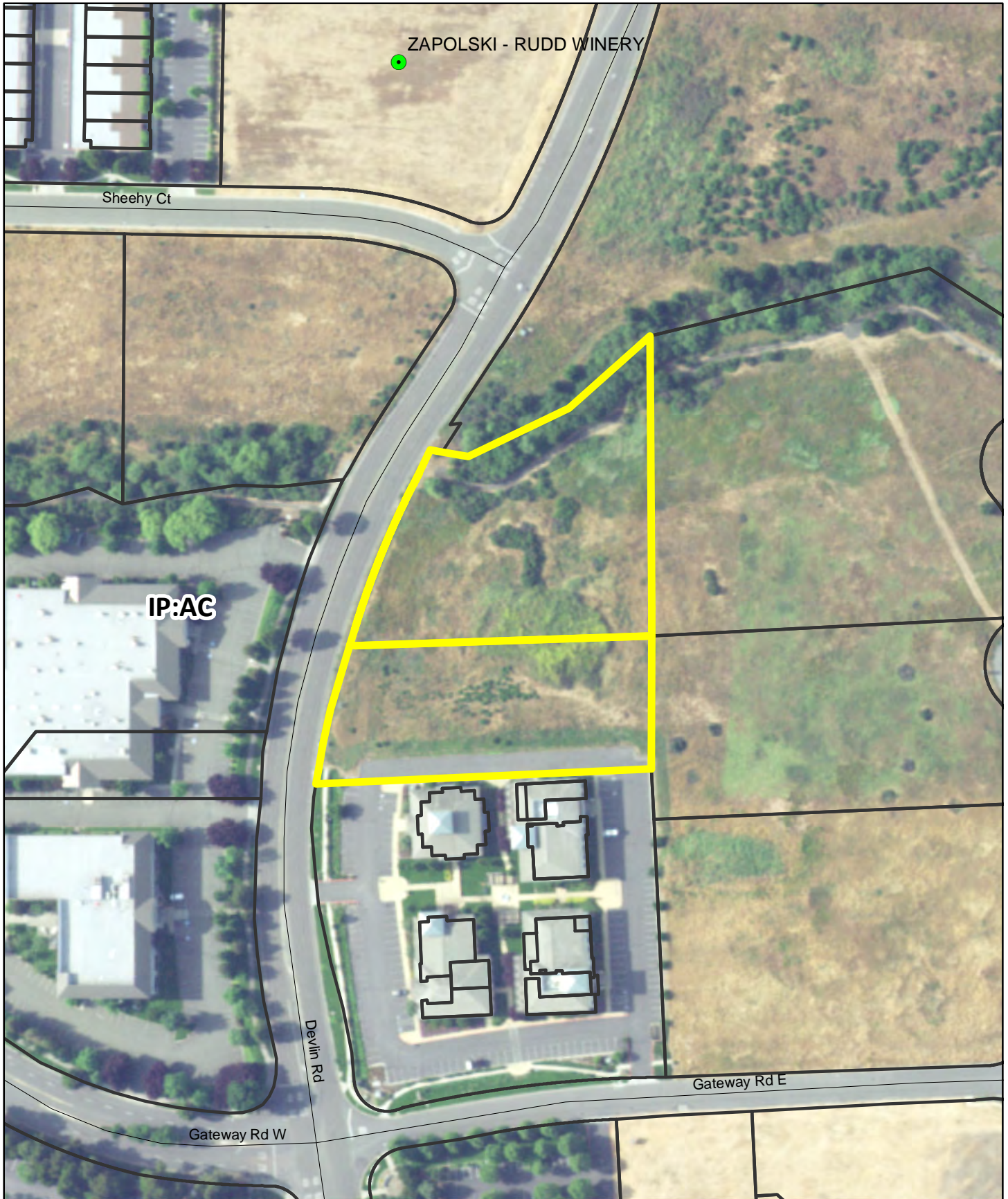
### Exhibit "D"

Horizontal Datum: NAD 83,  
 CA State Plane Coordinates,  
 Zone II, feet

Disclaimer: This map was prepared for informational  
 purposes only. No liability is assumed for the accuracy  
 of the data delineated hereon.



# CURRENT CONDITIONS (2016)



# SHEEHY BUILDING

DEVLIN ROAD SOUTH NAPA  
NAPA, CALIFORNIA 94558



## SHEET INDEX

### ARCHITECTURAL

- A0.1 TITLE SHEET
  - A0.2 GENERAL NOTES
  - A1.1 SITE PLAN
  - A1.1a PHOTOS
  - A2.1 FLOOR PLAN
  - A3.1 ROOF PLAN
  - A4.1 COLORED EXTERIOR ELEVATIONS
  - A5.0 BUILDING SECTIONS
  - A6.1 DETAILS
  - A6.1a DETAILS
- ARCHITECTURAL SHEET COUNT: 10

### LANDSCAPE

- L1 PRELIMINARY LANDSCAPE PLAN
  - L2 PRELIMINARY HYDROZONE PLAN
- LANDSCAPE SHEET COUNT: 2

### CIVIL

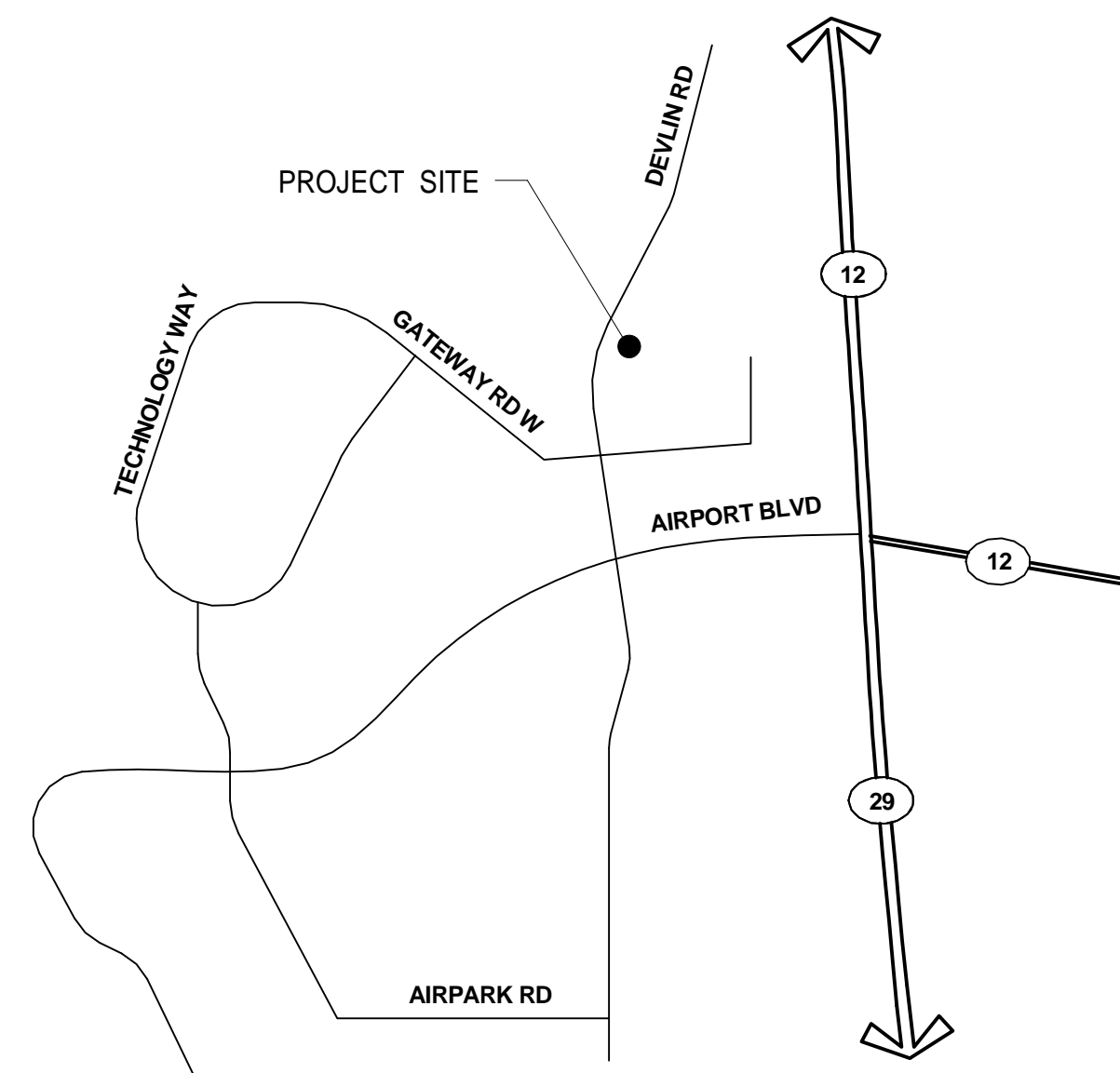
- UP1.0 COVER SHEET
  - UP2.0 GRADING PLAN
  - UP3.0 UTILITY PLAN
  - UP4.0 FIRE CIRCULATION PLAN
- CIVIL SHEET COUNT: 4

## PROJECT DESCRIPTION

NEW GROUND UP CONSTRUCTION OF 41,042 SF CONCRETE TILT-UP BUILDING WITH STOREFRONT AT MAIN ENTRY AND DECORATIVE METAL CANOPIES. BUILDING WILL HAVE A DEPRESSED LOADING DOCK AT THE N.E. CORNER AND GRADE LEVEL DOCK DOORS AROUND IT'S PERIMETER.

SITE IMPROVEMENT WORK TO INCLUDE: PAVED PARKING LOT WITH ADA PARKING; ADA SIDEWALK CIRCULATION; NEW LANDSCAPE/IRRIGATION SYSTEMS; AND A NEW CMU TRASH ENCLOSURE

## VICINITY MAP



## OWNER

### RUDD PROPERTIES, LLC

RUDD PROPERTIES, LLC  
2416 E 37TH ST. N  
WICHITA, KANSAS 67219

GUY BYRNE  
PH: 707-287-1026

### GENERAL CONTRACTOR

T.B.D.

## ARCHITECT

### WARE MALCOMB

4683 Chabot Dr #300  
Pleasanton, CA 94588

NICHOLAS DETORRES, AIA  
P 925.244.9620  
F 925.244.9621

## OWNER'S CONSULTANTS

### CIVIL ENGINEER

RSA+  
1515 4TH ST  
NAPA, CA 94559

HUGH LINN  
PH: 707.252-3301

## ARCHITECT'S CONSULTANTS

### LANDSCAPE ARCHITECT

THOMAS BAAK & ASSOCIATES, LLP  
1620 N. MAIN STREET, SUITE 4  
WALNUT CREEK, CA 94546

RICK STOVER, LA  
PH: (925) 933-2583 x105

## SHEEHY BUILDING

DEVLIN ROAD SOUTH NAPA  
NAPA, CALIFORNIA 94558

**WARE MALCOMB**  
Leading Design for Commercial Real Estate

architecture  
planning  
interiors  
graphics  
civil engineering  
4683 Chabot Dr #300  
Pleasanton, CA 94588  
P 925.244.9620  
F 925.244.9621

## TITLE SHEET

DATE	REMARKS
07.19.2017	USE PERMIT SUBMITTAL
12.21.2017	USE PERMIT COMMENT RESPONSE
02.13.2018	USE PERMIT COMMENT RESPONSE
05.21.2018	ROOF DESIGN REVISION

PA/PM: N. DETORRES

DRAWN BY: E.S.

JOB NO.: SNR17-0004-00

SHEET

# A0.1

DOOR NOTES

- 1. VERIFY THAT ALL DOORS AND DOOR HARDWARE MEET THE REQUIREMENTS OF ALL GOVERNING CODES & STANDARDS. NOTIFY THE ARCHITECT IMMEDIATELY IN CASE OF DISCREPANCY.
2. FIELD MEASURE, AS REQUIRED, ALL DOORS PRIOR TO FABRICATION.
3. PROVIDE SIGN IN CONTRASTING LETTERS OF 1 INCH OR MORE AT MAIN ENTRY STATING "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED".
4. VERIFY THAT EXISTING DOORS COMPLY WITH ACCESSIBILITY REQUIREMENTS.
5. RATED DOORS SHALL COMPLY WITH REQUIREMENTS OF ALL GOVERNING CODES & STANDARDS AND SHALL BEAR A LABEL FROM A RECOGNIZED AGENCY SHOWING THE SPECIFIC RATINGS.
6. ALL HARDWARE TO BE LEVER-TYPE GOVERNING CODES & ACCESSIBILITY STANDARDS.
7. DOOR HANDLES, PULLS OR KNOBS SHALL BE INSTALLED AT 40" ABOVE FINISH FLOOR. ALL OTHER OPERABLE PARTS OF DOOR HARDWARE (SUCH AS DEADBOLTS, KEYHOLES, ETC.) ARE TO BE CENTERED BETWEEN 34" AND 44" ABOVE FINISH FLOOR. IF EXISTING BUILDING STANDARD EXISTS, MATCH BUILDING STANDARD AND CONFIRM COMPLIANCE WITH ACCESSIBILITY REQUIREMENTS.
8. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE.
9. PROVIDE WEATHER SEALS ON ALL EXTERIOR DOORS PER ANSI STANDARDS.
10. CONTRACTOR IS RESPONSIBLE TO COORDINATE & VERIFY ALL DOOR FRAME THROAT THICKNESS FOR EACH LOCATION.
11. ALL DOOR FRAMES TO BE FACTORY FINISHED, U.O.N.
12. ALL WALL DOOR STOPS TO HAVE 2x6 BACKING IN THE WALL BEHIND.
13. MAXIMUM UNDERCUT OF ALL DOORS NOT IN A RATED CORRIDOR SHALL NOT EXCEED 1/2" ABOVE FINISH FLOOR SURFACE.
14. CONTRACTOR SHALL REFINISH ANY BLEISHED DOOR OR REPLACE SAID DOOR IF NOT ABLE TO REFINISH TO "AS NEW" CONDITION.
15. ALL DOORS TO BE OPERABLE FROM THE INSIDE WITHOUT A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
16. ALL DOORS WITH ELECTRONIC SECURITY DOOR LOCKS MUST BE OPERABLE FOR EXITING PURPOSES UNDER ALL CONDITIONS, INCLUDING A POWER OUTAGE.
17. IF BUILDING STANDARDS ARE INCONSISTENT FOR DOORS, RELITES, HARDWARE, DOOR AND RELITE FRAMES OR OTHER STANDARD DETAILS, THEN CONTRACTOR MUST VERIFY WITH DESIGNER AND OWNER PRIOR TO CONSTRUCTION.

ROOF NOTES

- 1. SEE MECHANICAL DRAWINGS FOR HVAC EQUIPMENT, SHAFT AND PENETRATION LOCATIONS.
2. CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PLATFORMS AND BASES, POWER, WATER AND DRAIN LOCATIONS AND INSTALLATION REQUIREMENTS WITH EQUIPMENT MANUFACTURERS PRIOR TO PROCEEDING WITH WORK. CHANGES TO ACCOMMODATE FIELD CONDITIONS OR MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT ADDITIONAL CHARGE TO OWNER.
3. MECHANICAL AND PLUMBING EQUIPMENT PLATFORM DIMENSIONS SHALL BE A MINIMUM OF 0'-8" ABOVE ADJACENT ROOF ELEVATION.
4. VENTS THROUGH THE ROOF SHALL BE INSTALLED 10'-0" FROM AND TERMINATED 3'-0" ABOVE ANY FRESH AIR INTAKES.
5. ORIENT SKYLIGHTS/SMOKE HATCH HINGES TOWARD THE PREVAILING WIND.
6. SEE PLUMBING DRAWINGS FOR ALL ROOF DRAIN SIZES.
7. LEAD FLASHING TO BE USED AT ALL ROOF DRAIN AND OVERFLOW PENETRATIONS.
8. OVERFLOW SCUPPERS SHALL BE DESIGNED PER APPLICABLE CODES AND LOCATED 2 INCHES ABOVE THE LOW POINT OF THE ADJACENT FINISHED ROOF.
9. ALL INDIRECT WASTE PIPING ON ROOF SHALL BE TYPE "L" COPPER ATTACHED BY PIPE STRAPS NAILED TO A 2x4 REDWOOD BLOCKING. BLOCKING SHALL BE SET MASTIC AT 6'-0" O.C. PIPING SHALL BE SLOPED AND TERMINATE IN AN APPROVED RECEPTOR. PIPING TO BE INSTALLED PARALLEL AND PERPENDICULAR TO BUILDING ELEVATIONS.
10. SEE STRUCTURAL DRAWINGS FOR ROOF FRAMING.
11. ALL ROOF SURFACES SHALL SLOPE AT A MINIMUM OF 1/4 INCH PER FOOT IN ALL DIRECTIONS. CRICKETS SHALL BE USED ON THE HIGH SIDE OF ALL EQUIPMENT PLATFORMS.
12. ALL ROOFING SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH LOCAL CITY AGENCY WIND DESIGN ORDINANCES.
13. ROOFING TO BE UL CLASS "A" FIRE-RETARDANT RATING AS MANUFACTURED BY GAF, MANVILLE OR EQUAL.
14. ALL ROOF ELEVATIONS INDICATE BOTTOM OF SHEATHING FROM FINISHED FLOOR, DATUM ELEVATION 0'-0". SEE STRUCTURAL DRAWINGS.
15. REFER TO STRUCTURAL DRAWINGS TO CONFIRM ROOF ELEVATIONS.
16. T.O.P. = TOP OF PARAPET (ON SITE PLAN ONLY).

SITE NOTES

- 1. REFER TO LANDSCAPE DRAWINGS FOR CONCRETE WALKS, PAVING, BERMS, LANDSCAPING AND IRRIGATION.
2. REFER TO CIVIL DRAWINGS FOR SITE GRADING, DRAINAGE, CATCH BASINS, PAVING DETAILS, SITE UTILITIES, CURB AND GUTTER SWALES, FIRE HYDRANT LOCATIONS AND HORIZONTAL CONTROL DIMENSIONS.
3. REFER TO CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
4. ALL DIMENSION ON SITE PLAN ARE TO BE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB, PROPERTY LINE OR CENTERLINE OF PARKING STALL, UNLESS OTHERWISE NOTED.
5. FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL FIRE DEPARTMENT STANDARDS.
6. ALL PARKING STALL STRIPING SHALL BE PER LOCAL JURISDICTION STANDARDS. CONCRETE WALK SHALL RECEIVE EXPANSION JOINTS AT 50'-0" O.C MAX, AND CONTROL JOINTS AT 5'-0" O.C MAX, BETWEEN EXPANSION JOINTS, UNLESS NOTED OTHERWISE.

FIRE AUTHORITY NOTES

- 1. FINAL INSPECTION BY FIRE DEPARTMENT IS REQUIRED - SCHEDULE 2 DAYS IN ADVANCE.
2. THE PROJECT ADDRESS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER LOCAL FIRE DEPARTMENT STANDARDS.
3. AN UNOBSTRUCTED ALL-WEATHER FIRE APPARATUS ACCESS ROAD SHALL BE IN PLACE PRIOR TO DELIVERY OF COMBUSTIBLE BUILDING MATERIALS TO THE SITE.
4. FIRE PREVENTION WATER SERVICE SHALL BE IN SERVICE PRIOR TO THE DELIVERY OF COMBUSTIBLE BUILDING MATERIALS TO THE SITE.
5. ACCESS GATES SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE IN COMPLIANCE WITH LOCAL FIRE AUTHORITY.
6. PRIVATE FIRE HYDRANTS, SPRINKLER CONTROL AND POST INDICATOR VALVES, AND RISERS TO FIRE DEPARTMENT CONNECTIONS SHALL BE PAINTED "SAFETY RED" PER LOCAL FIRE AUTHORITY.
7. ALL FIRE HYDRANTS SHALL HAVE A "BLUE REFLECTIVE PAVEMENT MARKER" INDICATING ITS LOCATION ON THE STREET OR DRIVE PER LOCAL FIRE AUTHORITY STANDARDS. ON PRIVATE PROPERTY THESE MARKERS ARE TO BE MAINTAINED IN GOOD CONDITION BY THE PROPERTY OWNER.
8. PROVIDE OUTSIDE GAS SHUT-OFF VALVE. PROVIDE SIGN INDICATION MAIN GAS AND ELECTRICAL SHUT-OFF PER LOCAL FIRE DEPARTMENT.
9. FIRE SPRINKLER SYSTEM(S) SHALL MEET STATE & LOCAL FIRE CODES AND BE PROVIDED TO PROTECT ENTIRE BUILDING INCLUDING PROJECTIONS OVER 4'-0".
10. FIRE SPRINKLER SYSTEM(S) AND ALL CONTROL VALVES, INCLUDING EXTERIOR SHALL BE SUPERVISED BY A.U.L. LISTED CENTRAL ALARM STATION OR PER STATE & LOCAL FIRE CODES.
11. ALL VALVES CONTROLLING THE WATER SUPPLY FOR AUTOMATIC SPRINKLER SYSTEMS AND WATER-FLOW SWITCHES ON ALL SPRINKLER SYSTEMS SHALL BE ELECTRICALLY MONITORED WHERE THE NUMBER OF SPRINKLERS IS 100 OR MORE.
12. ELECTRICAL SUBCONTRACTORS TO INSTALL WIRING FOR FIRE SPRINKLER, ALARM BELL, AND TELEPHONE WARNINGS AS REQUIRED BY FIRE DEPARTMENT.
13. INSTALLATION OF FIRE ALARM SYSTEMS SHALL BE IN ACCORDANCE WITH STATE & LOCAL FIRE CODES.
14. COMPLETE PLANS AND SPECIFICATIONS FOR ALL FIXED FIRE PROTECTION EQUIPMENTS INCLUDING AUTOMATIC SPRINKLERS AND OTHER FIRE-PROTECTION SYSTEMS, SHALL BE SUBMITTED BY INSTALLING CONTRACTOR. SUCH PLANS SHALL BE APPROVED BY LOCAL FIRE AUTHORITY PRIOR TO INSTALLATION.
15. ALL REQUIRED FIRE DOORS SHALL BEAR A LABEL FROM A RECOGNIZED AGENCY SHOWING THE SPECIFIC RATINGS.
16. EXIT SIGNS AND ILLUMINATION SHALL CONFORM TO ALL APPLICABLE BUILDING AND FIRE CODES.
17. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
18. PROVIDE OR MODIFY AS NEEDED SPRINKLER ALARM AND SMOKE DETECTION SYSTEM PER APPLICABLE CODES INCLUDING IF NECESSARY FIRE HORNS, STROBE LIGHTS, CONTROL PANEL CONNECTIONS, SMOKE DETECTORS, AUDIO VISUAL ALARMS. SUBMIT SHOP DRAWINGS TO THE FIRE MARSHAL FOR APPROVAL.
19. ALL CONSTRUCTION AND USE FOR THE FACILITY SHALL COMPLY WITH ALL APPLICABLE STANDARDS, REGULATIONS CODES AND ORDINANCES AT TIME OF BUILDING PERMIT ISSUANCE.
20. BENEFICIAL OCCUPANCY WILL NOT BE GRANTED UNTIL ALL FIRE DEPARTMENT FIRE AND LIFE SAFETY ITEMS HAVE BEEN INSTALLED, TESTED AND FINALED.
21. PROJECTS SHALL HAVE AN APPROVED WATER SUPPLY FOR FIRE PROTECTION BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE. ALL UNDERGROUND FIRE LINES, PUMP AND TANK PLANS ARE REQUIRED TO BE A SEPARATE SUBMITTAL FROM THE BUILDING OR CIVIL PLANS.
22. SEPARATE SUBMITTALS REQUIRED FOR UNDERGROUND FIRE LINES, FIRE PUMP, AUTOMATIC FIRE SPRINKLERS, FIRE ALARM SYSTEMS, KITCHEN HOOD EXTINGUISHING SYSTEMS, HIGH PILED STORAGE (ANY COMBUSTIBLE STORED OVER 12 FEET IN HEIGHT).
23. ALL BUILDINGS, FACILITIES, AND DEVELOPMENTS SHALL BE ACCESSIBLE TO FIRE DEPARTMENT APPROVED ACCESS ROADS AND/OR DRIVEWAYS. THE FIRE ACCESS ROAD SHALL COMPLY WITH THE REQUIREMENTS OF THE NAPA COUNTY ROAD & STREET STANDARDS.
24. ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. PROVIDE AN ENGINEERED ANALYSIS OF THE PROPOSED ROADWAY NOTING ITS ABILITY TO SUPPORT APPARATUS WEIGHING 75,000 LBS.
25. PROVIDE FIRE DEPARTMENT ACCESS ROADS TO WITHIN 150 FEET OF ANY EXTERIOR PORTION OF THE BUILDINGS AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
26. ROADWAYS SHALL BE A MINIMUM OF 20 FEET IN WIDTH WITH A 2 FOOT SHOULDER AND 15 FOOT VERTICAL CLEARANCE.
27. ROADWAY RADIUS SHALL NOT HAVE AN INSIDE RADISU OF LESS THAN 50 FEET, AND ADDITIONAL SURFACE WIDTH OF 4 FEET SHALL BE ADDED TO CURVES OF 50-100 FEET RADIUS AND 2 FEET TO CURVES OF 100-200 FEET.
28. FIRE DEPARTMENT CONNECTIONS (FDC) FOR AUTOMATIC SPRINKLER SYSTEMS SHALL BE LOCATED FULLY VISIBLE AND RECOGNIZABLE FROM THE STREET OR FIRE APPARATUS ACCESS ROADS. FDC SHALL BE LOCATED WITHIN 50 FEET OF AN APPROVED FIRE HYDRANT.
29. THE MINIMUM MAIN SIZE OF ALL FIRE HYDRANTS SHALL BE 6 INCHES IN DIAMETER. PIPING SHALL BE INSTALLED WITH C-900 CLASS 200 PIPING OR DUCTILE IRON OR EQUIVALENT PER NFPA 24, 2013 EDITION FOR THE INSTALLATION OF UNDERGROUND FIRE PROTECTION MAINS.
30. DEVELOPMENTS IN EXCESS OF 10,000 SQUARE FEET REQUIRE LOOPED FIRE MAINS OF A MINIMUM OF TEN (10) INCH DIAMETER TO SUPPLY FIRE HYDRANTS SPACED AT A MAXIMUM OF 300-FOOT INTERVALS.
31. AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH PROVISIONS SET FORTH IN THE CALIFORNIA FIRE CODE AS AMENDED BY THE COUNTY OF NAPA AND THE APPLICABLE NATIONAL FIRE PROTECTION ASSOCIATION STANDARD. AUTOMATIC FIRE SPRINKLER SYSTEMS SHALL BE DESIGNED BY A FIRE PROTECTION ENGINEER OR C-16 LICENSED CONTRACTOR.
32. ALL BUILDINGS SHALL COMPLY WITH CALIFORNIA FIRE CODE, CHAPTER 10 MEANS OF EGRESS REQUIREMENTS, INCLUDING BUT NOT LIMITED TO: EXIT SIGNS, EXIT DOORS, EXIT HARDWARE AND EXIT ILLUMINATION.
33. EMERGENCY RESPONDER RADIO COVERAGE IN NEW BUILDINGS. ALL NEW BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING BASED UPON THE EXISTING COVERAGE LEVELS OF THE PUBLIC SAFETY COMMUNICATION SYSTEMS OF THE JURISDICTION AT THE EXTERIOR OF THE BUILDING.

GENERAL PROJECT NOTES

GLAZING NOTES

- 1. EACH LIGHT SHALL BEAR THE MANUFACTURER'S LABEL DESIGNATING THE TYPE AND THICKNESS OF THE GLASS.
2. GLASS SHALL BE FIRMLY SUPPORTED ON ALL FOUR EDGES.
3. FIELD MEASURE ALL OPENINGS PRIOR TO FABRICATION.
4. FIXED OR OPERABLE GLAZING IN HAZARDOUS LOCATIONS AS DEFINED IN THE BUILDING CODE SHALL BE TEMPERED GLASS (SAFETY GLASS).
5. GLAZING IN SWINGING, SLIDING AND BIFOLD DOORS SHALL BE TEMPERED.
6. ALL GLAZING WITHIN A 24" ARC OF EITHER EDGE OF A DOOR AND WITHIN 60" OF THE FLOOR SHALL BE TEMPERED.
7. GLAZING IN WINDOWS: ALL GLAZING THAT MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE TEMPERED:
7.1. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SF.
7.2. THE BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR.
7.3. THE TOP EDGE IS GREATER THAN 36" ABOVE THE FLOOR.
7.4. WALKING SURFACE IS WITHIN 36".
8. ALL GLASS SHALL COMPLY WITH THE REQUIREMENTS OF THE STATE AND LOCAL CODES AND THE U.S. PRODUCT SAFETY COMMISSIONS: SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS.
9. WHERE JOINTS ARE REQUIRED IN MULTIPLE LITE SITUATIONS, SILICON IS TO BE PROVIDED U.O.N.O.

GENERAL NOTES

- 1. ALL WORK SHALL BE PERFORMED SO AS TO COMPLY WITH ALL LEGAL, INDUSTRY AND PROJECT-SPECIFIC REQUIREMENTS AND STANDARDS INCLUDING WITHOUT LIMITATION OF THE FOLLOWING:
A. ALL APPLICABLE BUILDING CODES
B. ALL APPLICABLE SPECIALTY CODES INCLUDING THE MOST CURRENT ISSUES AND SUPPLEMENTS
C. THE PROJECT MANUAL AND ASSOCIATED SPECIFICATIONS
D. THE MANUFACTURER'S REQUIREMENTS OR RECOMMENDATIONS
E. ALL APPLICABLE LANDLORD BUILDING STANDARDS
2. IN USING THESE PLANS FOR BIDDING OR CONSTRUCTION PURPOSES, ALL CONTRACTORS ARE REQUIRED TO REVIEW AND TREAT THEM AS A WHOLE IN ORDER TO IDENTIFY ALL REQUIREMENTS THAT DIRECTLY OR INDIRECTLY AFFECT THEIR PORTION OF THE WORK. EVEN REQUIREMENTS LOCATED IN SECTIONS DESIGNATED AS APPLICABLE TO OTHER TRADES OR IN DOCUMENTS PROVIDED BY OTHER MEMBERS OF THE PROJECT DESIGN TEAM. UNLESS EXPRESSLY PROVIDED OTHERWISE, THE INTENT IS TO INCLUDE ALL LABOR, MATERIALS, PRODUCTS AND SERVICES NECESSARY OR APPROPRIATE FOR THE COMPLETED PROJECT AS CALLED FOR OR REASONABLY IMPLIED FROM THE PLANS AND SPECIFICATIONS PROVIDED BY THE PROJECT'S DESIGN TEAM. IN CASE OF CONFLICTS OR OMISSIONS, THE AFFECTED CONTRACTOR IS REQUIRED TO EITHER OBTAIN DIRECTION FROM AN APPROPRIATE REPRESENTATIVE OF THE OWNER, OR OTHERWISE TO APPLY THE MORE STRINGENT OR COSTLY STANDARD.
3. IN INTERPRETING THESE PLANS, THE FOLLOWING GENERAL RULES APPLY:
A. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS
B. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS
C. WORK NOT PARTICULARLY SHOWN OR SPECIFIED SHALL BE THE SAME AS SIMILAR PARTS THAT ARE SHOWN AND SPECIFIED
D. WORK SHOWN AS "NIC" IS FOR REFERENCE ONLY AND THE RESPONSIBILITY OF THE CONTRACTOR ONLY TO THE EXTENT THAT THIS WORK MAY REQUIRE SOME REASONABLE PROTECTION OR COORDINATION EFFORTS.
4. THESE PLANS AND SPECIFICATIONS ARE INTENDED TO REPRESENT ONLY THE FINISHED CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION AND DEMOLITION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES INCLUDING ANY AND ALL SAFETY PRECAUTIONS AND PROGRAMS, AND SHALL INDEMNIFY TO THE FULLEST EXTENT ALLOWED BY LAW THE OWNER AND THE PROJECT DESIGN TEAM FROM AND AGAINST ANY AND ALL RELATED CLAIMS AND LIABILITY.
5. THESE PLANS AND SPECIFICATIONS ARE INTENDED TO SET FORTH THE REQUIREMENTS FOR THE CONSTRUCTION OF THE PROJECT TO A STANDARD LEVEL OF QUALITY AND DETAIL, AND THEY ARE INTENDED TO BE SUPPLEMENTED BY APPROPRIATE REQUESTS FOR INFORMATION (RFIs), ERRORS AND OMISSIONS ARE TO BE EXPECTED AND ANTICIPATED, AND ALL CONTRACTORS ARE REQUIRED TO CAREFULLY REVIEW THESE PLANS FOR ERRORS AND OMISSIONS AND TO BRING THEM TO THE ATTENTION OF THE APPROPRIATE OWNER REPRESENTATIVE IN A TIMELY MANNER; AND ANY CONTRACTOR WHO FAILS TO DO SO BEFORE BIDDING OR OTHERWISE PROCEEDING ASSUMES THE RISK OF ANY CONSEQUENCES.
6. SCALED DIMENSIONS SHOULD BE CONSIDERED ONLY APPROXIMATE; AND IN ANY EVENT ALL CONTRACTORS PROCEED AT THEIR OWN RISK IF THEY FAIL TO VERIFY AND FIELD MEASURE DIMENSIONS BEFORE PROCEEDING WITH ANY AFFECTED PROCUREMENT, FABRICATION OR CONSTRUCTION.
7. PLANS ARE TO BE CONSIDERED DIAGRAMMATIC IN NATURE AND INTENDED ONLY TO DEMONSTRATE THE RELATIONSHIP AMONG COMPONENT PARTS, AND NOT TO DEPICT SPECIFIC LOCATIONS.
8. CONTRACTOR RFI'S ARE INTENDED TO OBTAIN INFORMATION NOT AVAILABLE FROM THE PLANS AND SPECIFICATIONS. RFI'S WILL NOT BE PROCESSED THAT CAN BE ANSWERED BY A REVIEW OF THESE DOCUMENTS, THAT REQUEST DIMENSIONS THAT CAN BE OBTAINED FROM THE PLANS BY MATHEMATICAL CALCULATION THAT ARE IN EFFECT A SUBSTITUTION SUBMITTAL, OR THAT SEEK DIRECTION CONCERNING CONSTRUCTION MEANS AND METHODS OR SAFETY PRECAUTIONS. WHERE APPROPRIATE, RFI'S SHOULD BE SPECIFIC AS TO WHICH PORTION OF THE PLANS AND SPECIFICATIONS NEEDS CLARIFICATION, AND WHAT INFORMATION IS REQUIRED.
9. NO DEVIATIONS OR OMISSIONS FROM THE REQUIREMENTS OF THE PLANS AND SPECIFICATIONS PROVIDED BY THE PROJECT'S DESIGN TEAM ARE ALLOWED WITHOUT THE EXPRESSED AUTHORIZATION OF AN APPROPRIATE OWNER REPRESENTATIVE, AND THE RESPONSIBLE CONTRACTOR WILL INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE PROJECT DESIGN TEAM FROM AND AGAINST THE CONSEQUENCES OF ANY UNAUTHORIZED DEVIATIONS OR OMISSIONS. SUBSTITUTION SUBMITTALS WILL BE CONSIDERED ONLY IF THE PROPOSED SUBSTITUTION IMPROVES THE QUALITY OF THE PROJECT TO THE OWNER; AND IN NO EVENT WILL THE OWNER BE REQUIRED TO AUTHORIZE A SUBSTITUTION THAT IS NOT EQUAL IN QUALITY TO WHAT IS SPECIFIED.

GENERAL NOTES

- 1. DESIGN/BUILD CONTRACTOR SUBMITTALS WILL BE REVIEWED BY THE PROJECT DESIGN TEAM, IF AT ALL, ONLY FOR CONFORMANCE WITH THE AESTHETIC ASPECTS AND MAJOR SPACE LIMITATIONS OF THE PROJECT; AND EACH DESIGN/BUILD CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING:
A. PREPARING ALL THE ENGINEERING AND OTHER DRAWINGS AND SPECIFICATIONS FOR THE COMPONENTS OF ITS DESIGN/BUILD UNDERTAKING.
B. COMPLYING WITH THE PROJECT'S REQUIREMENTS AND SPACE LIMITATIONS.
C. COORDINATION AND INTERFACING WITH OTHER TRADES AND CONSULTANTS.
D. OBTAINING ANY REQUIRED OR APPROPRIATE APPROVALS FROM AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
E. HAVING THEIR DESIGN CONSULTANTS SERVE AS THE PROFESSIONAL OF RECORD FOR THE PORTIONS OF WORK WHICH THEY DESIGN.
1. AT THE CONCLUSION OF THE CONSTRUCTION, EACH PRIME CONTRACTOR SHALL PROVIDE SUCH WRITTEN CERTIFICATION THAT THE CONSTRUCTION HAS BEEN PERFORMED IN COMPLIANCE WITH THE PROJECT'S APPROVED PLANS AND SPECIFICATIONS AS THE BUILDING OFFICIAL WITH JURISDICTION OVER THE PROJECT MAY REQUIRE, OR AS THE OWNER MAY REASONABLY REQUEST.
2. VERSIONS OF THESE PLANS PROVIDED IN ANY ELECTRONIC FORM ARE SUBJECT TO THE SAME PROVISION AS THE OTHER INSTRUMENTS OF SERVICE PREPARED BY OR ON BEHALF OF THE PROJECT DESIGN TEAM, INCLUDING WITHOUT LIMITATION THEIR COMMON LAW STATUTORY OR OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. A RECIPIENT IS GRANTED AT MOST A TRANSFERABLE NONEXCLUSIVE LICENSE TO REUSE THE PLANS SOLELY FOR PROJECT PURPOSES; AND NO RECIPIENT IS AUTHORIZED TO USE OR TO ALLOW THE USE OF ALL OR ANY PORTION OF THESE PLANS FOR ANY OTHER PURPOSE, AND ANY OTHER USE FOR ANY OTHER PURPOSE COULD CONSTITUTE ACTIONABLE PLAGIARISM. ANY ELECTRONIC DOCUMENTS WILL BE PROVIDED IN THE RESPONSIBLE DESIGN PROFESSIONAL'S STANDARD FORMATS AND CONVENTIONS AND WITH NO GUARANTEE OF THE ABSENCE OF VIRUSES OR OTHER HARMFUL MATERIAL, OR OF COMPATIBILITY WITH ANY RECIPIENT'S SOFTWARE OR HARDWARE SO THAT ANY USE WITH OR CONVERSION TO THE OTHER FORMS OR CONVENTIONS, OR THE USE WITH ANY PARTICULAR SOFTWARE OR HARDWARE, IS AT THE RECIPIENT'S SOLE RISK.

JOB SITE NOTES

- 1. WHERE EXISTING TENANTS/BUSINESSES ARE ADJACENT TO THE JOB SITE/TENANT, THE CONTRACTOR SHALL MINIMIZE CONSTRUCTION NOISE - EXTREMELY NOISY CONSTRUCTION SHALL OCCUR AT NON-TYPICAL BUSINESS HOURS. CONTRACTOR SHOULD NOTIFY BUILDING REPRESENTATIVE OF SPECIAL CIRCUMSTANCES IN ADVANCE PRIOR TO WORK.
2. THE CONTRACTOR AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AND SURROUNDING AREA FREE FROM DUST AND DEBRIS. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR AND WATER POLLUTION CONTROL STANDARDS AND REGULATIONS OF THE STATE DEPARTMENT OF HEALTH.
3. CONSTRUCTION DEBRIS AND WASTES SHALL BE DEPOSITED AT AN APPROPRIATE SITE. THE CONTRACTOR SHALL INFORM THE BUILDING REPRESENTATIVE OF THE LOCATION OF DISPOSAL SITES.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE GENERAL CLEANING OF THE JOB AFTER ITS COMPLETION. WHERE APPLICABLE, CLEANING SHALL INCLUDE, BUT NOT BE LIMITED TO, THE EXTERIOR AND THE INTERIOR OF THE BUILDING, THE PATH OF TRAVEL TO THE JOB SITE, PARKING LOTS, ELEVATORS, LOBBIES, AND CORRIDOR CARPETS.
5. THE CONTRACTOR SHALL PROVIDE PEDESTRIAN PROTECTION, WHERE REQUIRED PER STATE AND LOCAL CODES.
6. IF TRENCHES OR EXCAVATIONS 5'-0" OR MORE IN DEPTH ARE REQUIRED, OBTAIN ISSUANCE OF A BUILDING OR GRADING PERMIT.
7. NO HAZARDOUS MATERIALS SHALL BE USED OR STORED WITHIN THE BUILDING WHICH DOES NOT COMPLY WITH THE LOCAL FIRE AUTHORITY AND STATE & COUNTY REQUIREMENTS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR BLOCKING OFF SUPPLY AND RETURN AIR GRILLES, DIFFUSERS & DUCTS TO KEEP DUST FROM ENTERING INTO BUILDING AIR DISTRIBUTION SYSTEMS.
9. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE BUILDING AND SITE WHILE JOB IS IN PROGRESS AND UNTIL THE JOB IS COMPLETED.

DRAWING NOTES

- 1. UNLESS OTHERWISE NOTED OR INDICATED, ALL DIMENSIONS ON THESE DOCUMENTS SHALL BE TO FACE OF CURB, FACE OF CONCRETE OR MASONRY, FACE OF FINISH OR CENTERLINE OF GRIDS.
2. ALL VERTICAL DIMENSIONS SHOWN ARE FROM FLOOR SLAB, U.O.N.
3. DIMENSIONS SHOWN IN FIGURES TAKE PRECEDENCE OVER DIMENSIONS SCALED FROM DRAWINGS. LARGE SCALE DRAWINGS AND DETAILS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
4. THE TERM "ALIGN", AS USED IN THESE DOCUMENTS, SHALL MEAN TO ACCURATELY FINISH THE FINISH OF THE SAME PLANE.
5. "TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS THROUGHOUT. U.O.N.
6. DETAILS ARE USUALLY KEYS AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR AND ARE REPRESENTATIVE OF ALL SIMILAR CONDITIONS THROUGHOUT, U.O.N.
7. COLUMN CENTERLINES (GRID LINES) ARE SHOWN FOR DIMENSIONING PURPOSES.
8. WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, THE DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK IN THE SAME BUILDING.

INTERIOR/EXTERIOR NOTES

- 1. WHERE ELECTRICAL, MECHANICAL AND/OR PLUMBING ITEMS, SUCH AS LIGHTS, DUCTS, PIPING, DOWNSPOUTS, ETC. ARE TO PENETRATE ANY BUILDING FOOTINGS, SLABS, FLOORS, STRUCTURAL FRAMING, WALL PARTITIONS, CEILINGS, ETC., IT IS REQUIRED THAT AN APPROPRIATELY SIZED OPENING OR CLEARANCE BE FURNISHED. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL ITEMS WITH THE ARCHITECT AND MECHANICAL CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MECHANICAL, PLUMBING AND ELECTRICAL WORK. ANY CONFLICT OR DISCREPANCY WITHIN CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION.
2. CONTRACTOR, ALONG WITH MECHANICAL CONTRACTOR, SHALL PROVIDE AND LOCATE ACCESS DOORS/PANELS IN WALL & CEILING CONSTRUCTION AS REQUIRED TO PROVIDE ACCESS TO MECHANICAL, FIRE SPRINKLER, PLUMBING & ELECTRICAL WORK. CONTRACTOR SHALL SUBMIT A PLAN OF ALL PROPOSED ACCESS PANEL LOCATIONS TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
3. ALL PENETRATIONS AT RATED CONSTRUCTION SHALL BE PROTECTED TO MAINTAIN RATING.
4. WHERE OCCURS, CONTRACTOR SHALL PATCH ANY EXISTING WALLS AND/OR CEILINGS AS NEEDED TO REFURBISH THE LEASE SPACE AND REPAIR ALL DAMAGES CAUSED BY CONTRACTOR.
5. INTERIOR WALLS AND CEILINGS SHALL BE INSTALLED IN ACCORDANCE TO STATE & LOCAL CODES, INCLUDING REQUIREMENTS FOR FLAME SPREAD AND SMOKE DENSITY RATINGS FOR FINISH MATERIALS.
6. WHEN USED, ALL NOISE BARRIER BATTS (SOUND INSULATION) AND INSULATION BATTS SHALL BE NON-COMBUSTIBLE AND SHALL NOT CONTAIN OR UTILIZE OZONE DEPLETING COMPOUNDS.
7. ALL NEW CONSTRUCTION MATERIALS SHALL BE 100% ASBESTOS-FREE.

FLOOR PLAN NOTES

- 1. ALL EXITS SHALL HAVE EXIT SIGNS.
2. ALL CONDUIT PIPING, IN ELECTRICAL ROOM TO BE CONCEALED WITHIN THE WALL CONSTRUCTION.
3. REFER TO PLUMBING, CIVIL, AND SITE PLANS, FOR SIZE AND ROUTING OF ROOF DRAINAGE CONNECTION TO UNDERGROUND STORM DRAIN OR RUN TO DAYLIGHT AS SHOWN.
4. FLOORS SHALL BE SLOPED TO FLOOR DRAINS. COORDINATED WITH PLUMBING AND STRUCTURAL DRAWINGS. IN RATED FLOOR CONDITIONS, CONFIRM REMAINING FLOOR THICKNESS STILL CONFORMS TO MINIMUM RATINGS REQUIREMENT.

PRE-CONSTRUCTION MEETING

- 1. PRIOR TO START OF CONSTRUCTION, A PRE-CONSTRUCTION MEETING IS TO BE HELD INCLUDING A RESPONSIBLE REPRESENTATIVE OF THE ARCHITECT, THE OWNER AND THE GENERAL CONTRACTOR. THE DISCUSSION WILL BE IN REGARDS TO THE ARCHITECT-OWNER-CONTRACTOR (AOC) CORRESPONDENCE PROCESSES AND PROCEDURES. AT A MINIMUM, THE FOLLOWING IS TO BE DISCUSSED:
2. AOC REGULARLY SCHEDULED MEETINGS
2.1. WHEN
2.2. WHERE
2.3. HOW OFTEN
2.4. IN PERSON VERSUS CONFERENCE CALLS
2.5. APPROXIMATE ALLOTTED TIME PER MEETING
3. CONSTRUCTION MEETING MINUTES
3.1. FORMAT FOR THE MINUTES
3.2. CONTRACTOR TO AUTHOR THE MINUTES
4. FORMAL CHANGES IN THE WORK
4.1. ADDENDA AND BULLETINS ISSUED BY THE ARCHITECT
4.2. CHANGE ORDER REQUESTS ISSUED BY THE CONTRACTOR
4.3. CHANGE ORDERS ISSUED BY THE CONTRACTOR
4.4. TRACKING MECHANISMS
5. REQUESTS FOR INFORMATION PROCESS
5.1. TRACKING MECHANISM
5.2. DEFINE Cc RECIPIENT LIST
5.3. STANDARD RESPONSE TIMES (2-5 WORKING DAYS IS STANDARD)
6. SUBMITTAL PROCESS
6.1. TRACKING MECHANISM
6.2. ISSUANCE SCHEDULE BY THE CONTRACTOR
6.3. DEFINE Cc RECIPIENT LIST
6.4. STAMPED REVIEWED AND APPROVED BY CONTRACTOR PRIOR TO SUBMISSION
6.5. NON-REQUESTED SUBMITTALS MAY NOT BE REVIEWED
6.6. STANDARD RESPONSE TIMES (7-10 WORKING DAYS IS STANDARD)
7. SUBSTITUTIONS
7.1. REQUEST FORMS WITH REASONS AND BENEFIT FOR SUBSTITUTION
8. PAYMENT APPLICATIONS
8.1. PROCESS
8.2. SUBMITTAL DATE
8.3. ANTICIPATED TURN-AROUND
9. PUNCH LISTS
9.1. ONLY ONE PUNCH WALK TO BE PROVIDED BY DESIGN TEAM
9.2. CONTRACTOR TO PUNCH AND MAKE CORRECTIONS PRIOR TO DESIGN TEAM PUNCH.
9.3. A FINAL WALK WILL OCCUR ONLY IF THE ARCHITECT IS CONTRACTED TO DO SO.

G.C. INSTRUCTIONS

- SUBMITTALS
1. AT THE START OF JOB PROVIDE A SCHEDULE OF ALL ANTICIPATED SUBMITTALS AND DATES. FLAG SUBMITTALS WHICH ARE OR COULD BE CRITICAL PATH. FLAG SUBMITTALS THAT WILL BE REQUESTED TO BE EXPEDITED FASTER THAN THE STANDARD 7-10 DAYS.
2. A SUBMITTAL LOG IS TO BE MAINTAINED BY THE GENERAL CONTRACTOR AND A CURRENT COPY IS TO BE INCLUDED WITH EACH SUBMISSION.
3. ALL SUBMITTALS MUST BE REVIEWED AND APPROVED WITH A STAMP AND SIGNATURE BY THE GENERAL CONTRACTOR PRIOR TO SUBMISSION. THE REVIEW WILL INCLUDE BUT NOT BE LIMITED TO:
3.1. CONFIRMING THAT THE SUBMITTAL MEETS THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
3.2. COORDINATION HAS TAKEN PLACE WITH ALL INTERCONNECTING TRADES
3.3. THE SUBMITTAL IS COMPLETE AND COMPREHENSIVE
4. REQUESTS ON SUBMITTALS FOR DIMENSIONS WHICH CAN BE DISCERNABLE THROUGH MATHEMATICAL MEANS FROM INFORMATION ALREADY PROVIDED ON THE CONTRACT DOCUMENTS WILL NOT BE PROVIDED.
5. SUBMITTALS NOT REQUESTED BY THE CONTRACT DOCUMENTS MAY OR MAY NOT BE REVIEWED AT THE DESIGN TEAMS DISCRETION.
6. SUBMITTALS ARE TO BE ROUTED THROUGH THE ARCHITECT AND ARE NOT TO BE SENT DIRECTLY TO ARCHITECT'S CONSULTANTS UNLESS SPECIFICALLY AUTHORIZED BY THE ARCHITECT.
7. MINOR CHANGES IN THE WORK MAY OCCUR AS A RESULT OF THE DESIGN TEAM'S REVIEW. IF A CHANGE RESULTS IN MODIFICATIONS TO THE CONTRACT PRICE OR SCHEDULE, THE CONTRACTOR WILL ISSUE A CHANGE ORDER REQUEST FOR REVIEW AND APPROVAL BY THE OWNER AND ARCHITECT PRIOR TO PROCEEDING.
REQUESTS FOR INFORMATION (RFI'S)
1. THE GENERAL CONTRACTOR IS TO REVIEW ALL PROSPECTIVE RFI'S AND MAKE EVERY EFFORT TO ANSWER THEM BEFORE SUBMITTING TO THE DESIGN TEAM.
2. MINOR CHANGES IN THE WORK MAY OCCUR AS A RESULT OF THE DESIGN TEAM'S REVIEW. IF A CHANGE RESULTS IN MODIFICATIONS TO THE CONTRACT PRICE OR SCHEDULE, THE CONTRACTOR WILL ISSUE A CHANGE ORDER REQUEST FOR REVIEW AND APPROVAL BY THE OWNER AND ARCHITECT PRIOR TO PROCEEDING.
3. AN RFI LOG IS TO BE MAINTAINED BY THE GENERAL CONTRACTOR AND A CURRENT COPY IS TO BE INCLUDED WITH EACH RFI SUBMISSION ALONG WITH ANY CRITICAL RESPONSE DUE DATES.
4. RFI'S REGARDING METHODS AND MEANS OF CONSTRUCTION WILL NOT BE REVIEWED AND WILL BE REMOVED FROM THE RFI LOG.

- CHANGE ORDERS
1. A COMPLETE SCHEDULE OF VALUES OF THE BASE CONTRACT IS TO BE PROVIDED TO THE OWNER AND ARCHITECT PRIOR TO THE START OF ANY WORK.
2. ALL CHANGE ORDER REQUESTS ARE TO BE REVIEWED AND APPROVED BY THE OWNER AND ARCHITECT PRIOR TO SUBMISSION OF A CHANGE ORDER.
3. CHANGE ORDER REQUESTS ARE TO INCLUDE A COMPLETE BREAKDOWN BY TRADE ALONG WITH TRADE BACK-UP AND UNIT PRICING WHERE APPLICABLE.
4. A CHANGE ORDER REQUEST AND CHANGE ORDER LOG IS TO BE MAINTAINED BY THE GENERAL CONTRACTOR AND SUBMITTED ALONG WITH EACH CHANGE ORDER REQUEST.

WARE MALCOMB
Leading Design for Commercial Real Estate
architecture
planning
interiors
graphics
civil engineering
4683 Chabot Dr #300
Pleasanton, CA 94588
P: 925.244.9620
F: 925.244.9621

SHEEHY BUILDING
DEVLIN ROAD SOUTH NAPA
NAPA, CALIFORNIA 94558

GENERAL NOTES table with columns: DATE, REMARKS, USE PERMIT SUBMITTAL, USE PERMIT COMMENT, USE PERMIT RESPONSE, USE PERMIT COMMENT, USE PERMIT COMMENT, ROOF DESIGN REVISION

PA/PM: N DETORRES
DRAWN BY: E.S.
JOB NO.: SNR17-0004-00

SHEET
A0.2
5/4/2016 9:41:04 AM

SITE PLAN	
DATE	REMARKS
07.19.2017	USE PERMIT SUBMITTAL
12.21.2017	USE PERMIT COMMENT RESPONSE
02.13.2018	USE PERMIT COMMENT RESPONSE
05.21.2018	ROOF DESIGN REVISION

PA/PM:	N. DETORRES
DRAWN BY:	E.S.
JOB NO.:	SNR17-0004-00

**NOTES**  
SEE SHEET A0.2 FOR GENERAL NOTES

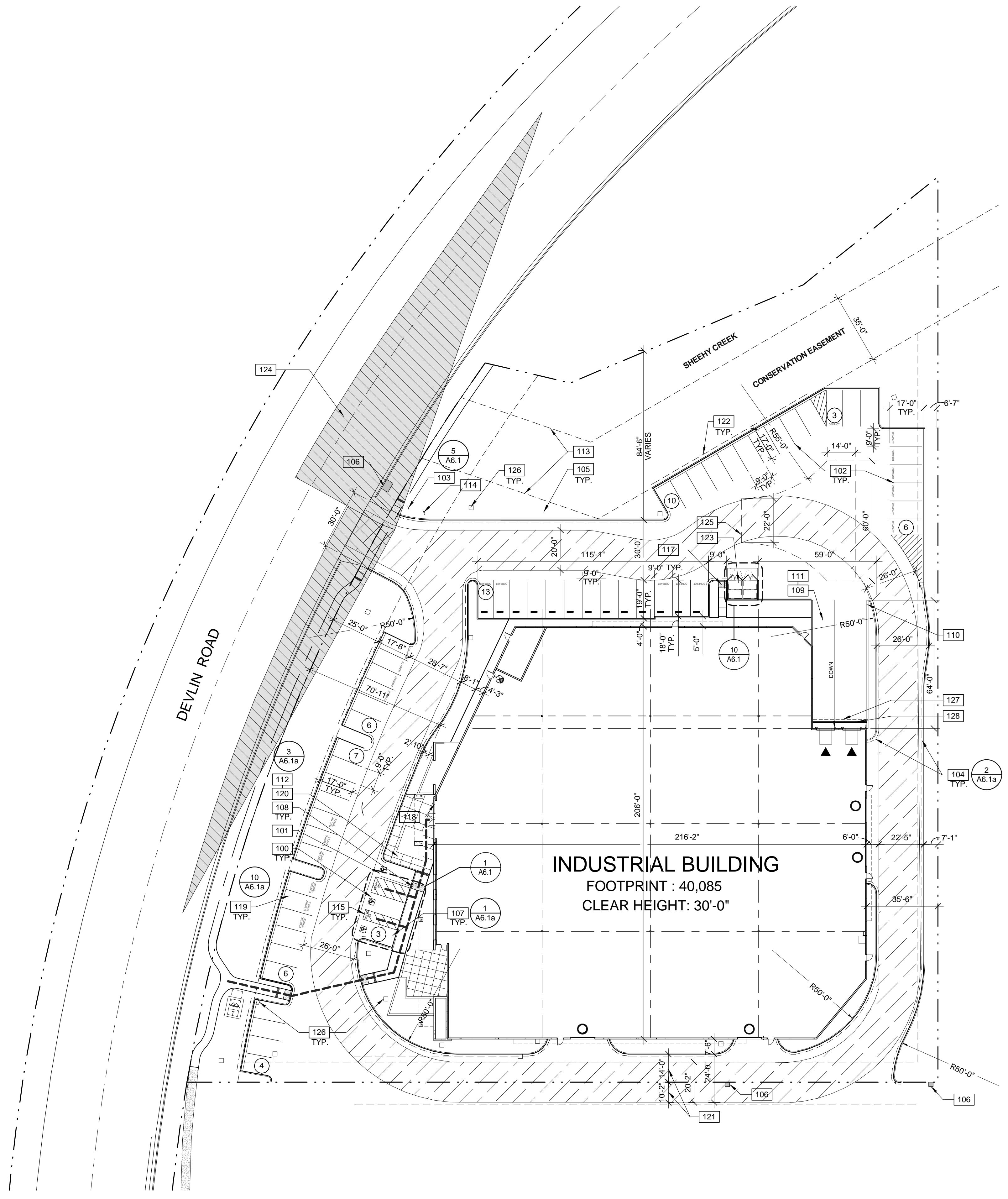
100. ACCESSIBLE PARKING STALL WITH SIGNAGE, SEE DETAILS 1, 2, 3, & 4/A6.1.
101. VAN ACCESSIBLE PARKING STALL WITH SIGNAGE, SEE DETAILS 1, 2, 3, & 4/A6.1.
102. PAINTED PARKING STRIPING.
103. FIRE LANE SIGNAGE, SEE DETAILS 5 & 6/A6.1.
104. FIRE LANE CURB, DASHED LINE INDICATES EXTENT OF CONTINUOUS CURB TO BE PAINTED RED.
105. LANDSCAPE AND IRRIGATION AREA.
106. (E) DRAINAGE INLET
107. PRECAST CONCRETE WHEEL STOP.
108. ACCESSIBLE CURB RAMP WITH TRUNCATED DOMES.
109. CONCRETE RAMP AT LOADING DOCK.
110. 4'-0" TO 6'-0" HIGH CONCRETE RETAINING WALL.
111. LOADING DOCK TO PROVIDE COVER PER BASMAA MANDATE.
112. BIKE RACK.
113. EASEMENT LINE.
114. ACCESSIBLE DIRECTIONAL SIGN, SEE DETAILS 7 & 8/A6.1
115. ACCESSIBLE PARKING ACCESS AISLE.
116. NOT USED.
117. CURB RAMP AND TRUNCATED DOMES.
118. RECESSED KNOX-BOX, INSTALL AT 5'-0" ABOVE FINISH FLOOR. COORDINATE FINAL LOCATION WITH FIRE INSPECTOR.
119. CLEAN AIR/VANPOOL/LEV DESIGNATED PARKING STALL.
120. SHORT-TERM AND LONG-TERM BIKE PARKING FOR THE PUBLIC AND EMPLOYEES.
121. EXISTING EASEMENT OFFICIAL RECORD NUMBER: 2006-0031724. SEE SHEET UP1.0 FOR ADDITIONAL INFORMATION.
122. 1'-6" PARKING OVERHANG.
123. TRASH ENCLOSURE WITH RECYCLE BIN AND ROOF, SEE DETAILS 9 THROUGH 15/A6.1
124. INTERSECTION SIGHT TRIANGLE PER AASHTO \* A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS' FIG. 9-15A. 45 MPH DESIGN SPEED.
125. EMERGENCY VEHICLE TURNAROUND AREA PER 2016 NAPA COUNTY ROAD AND STREET STANDARDS.
126. PROPOSED DRAINAGE INLET, SEE SHEET UP2.0 FOR ADDITIONAL INFORMATION.
127. 4' DEEP LOADING DOCK ROOF OVERHANG ABOVE PER BASMAA MANUAL.
128. TRENCH DRAIN CONNECTING TO AN UNDERGROUND HOLDING TANK TO CONTROL THE SPILL OF WET GOODS; SEE SHEET UP3.0 FOR ADDITIONAL INFORMATION.

**LEGEND**

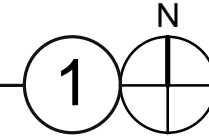
- ACCESSIBLE PATH OF TRAVEL: 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
- - - PROPERTY LINE.
- ☐ POLE MOUNTED LIGHT FIXTURE.
- ☐ WALLPACK LIGHT FIXTURE.
- T TRANSFORMER WITH CONCRETE PAD. (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS)
- ☐ LANDSCAPE AND IRRIGATION AREA.
- ▨ FIRE LANE (HATCHED)
- ① PARKING STALL COUNT TOTAL
- ▲ DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- FIRE HYDRANT
- P.I.V. WITH TAMPER

**PROJECT DATA**

<b>SITE AREA:</b>	2.74 AC (119,665 SF)
<b>BUILDING AREA:</b>	40,085 SF (.92 AC)
WAREHOUSE =	38,020 SF
OFFICE (AT 5%) =	2,065 SF
<b>COVERAGE:</b>	34%
<b>PARKING REQUIRED:</b>	
WAREHOUSE	1:1000 SF FOR THE FIRST 20,000 SF AND 1:2000 SF FOR THEREAFTER.
STALLS REQUIRED:	20 + (18,085 SF/2000 SF) = 29.04 (30)
OFFICE	1:250 SF
STALLS REQUIRED:	2065 SF/250 SF = 8.3 (9)
<b>TOTAL STALLS REQUIRED</b>	= 39
<b>TOTAL STALLS PROVIDED</b>	= 58
<b>COMPACT</b>	
35% OF TOTAL = 20 STALLS PROVIDED = 16 STALLS	
<b>ACCESSIBLE</b>	
PER CBC 2016 TABLE 11B-208.2 THE MINIMUM NUMBER OF REQUIRED ACCESSIBLE PARKING SPACES FOR A FACILITY WITH A TOTAL OF 51-76 SPACES IS 3 STALLS. PROVIDED = 3 STALLS	



**SITE PLAN**







**SITE IMAGE**  
SCALE: 1 1/2" = 1'-0"  
4



**SITE IMAGE**  
SCALE: 1 1/2" = 1'-0"  
1



**SITE IMAGE**  
SCALE: 1 1/2" = 1'-0"  
5



**SITE IMAGE**  
SCALE: 1 1/2" = 1'-0"  
2



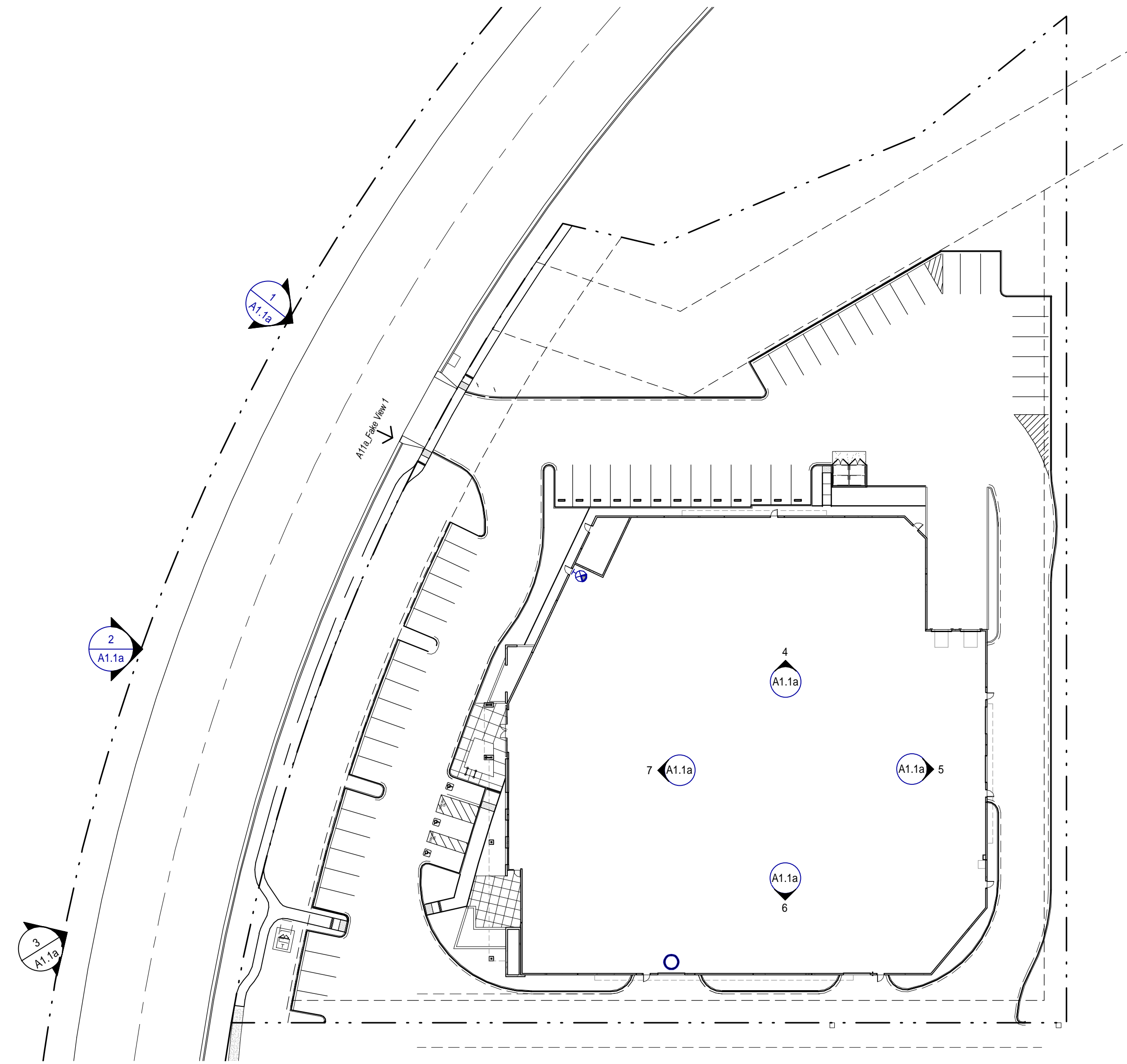
**SITE IMAGE**  
SCALE: 1 1/2" = 1'-0"  
6



**SITE IMAGE**  
SCALE: 1 1/2" = 1'-0"  
3



**SITE IMAGE**  
SCALE: 1 1/2" = 1'-0"  
7



**WARE MALCOMB**  
Leading Design for Commercial Real Estate

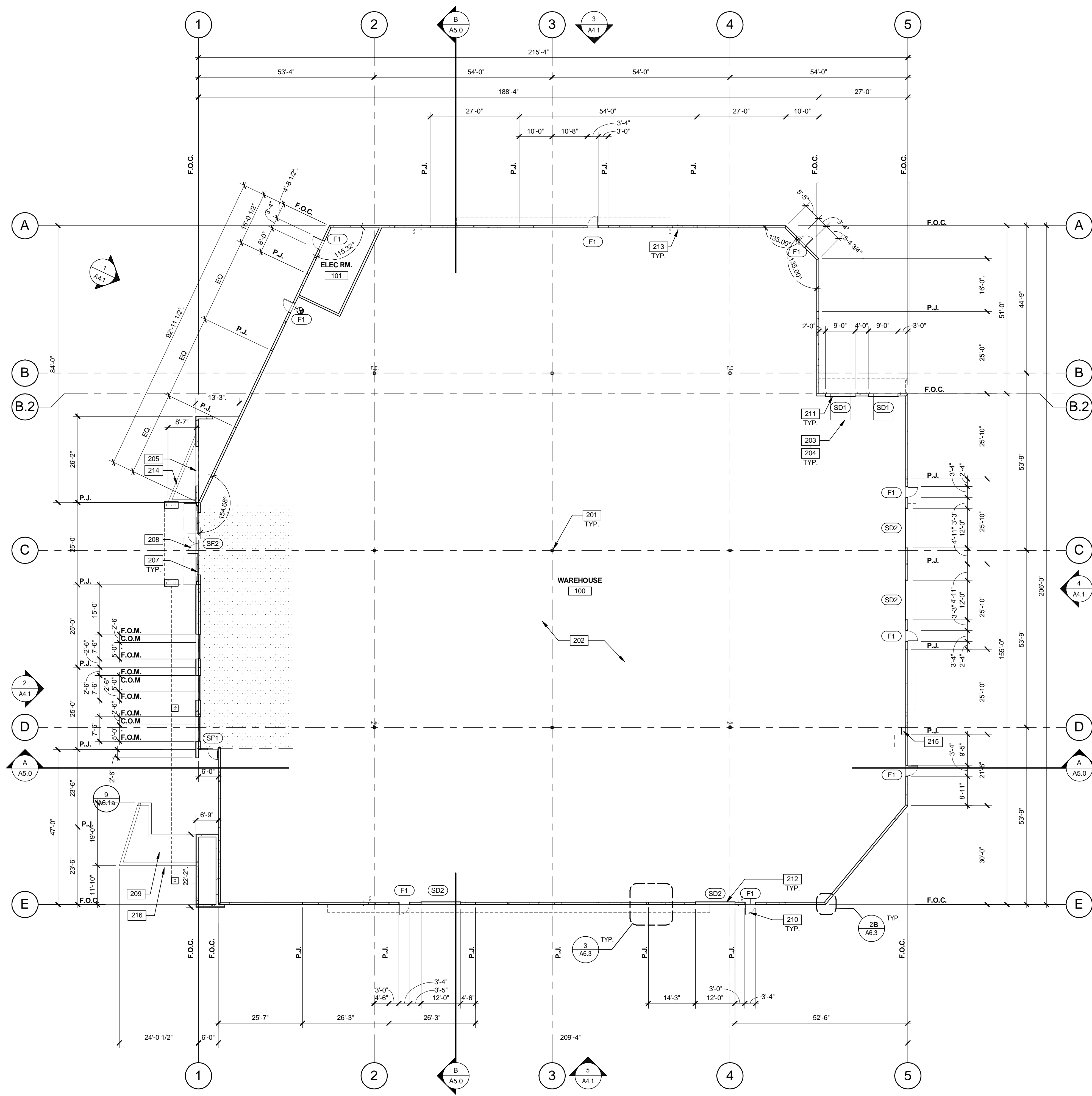
architecture  
planning  
interiors  
graphics  
civil engineering  
4683 Chabot Dr. #300  
Pleasanton, CA 94588  
P: 925.344.9620  
F: 925.344.9621

**SHEEHY BUILDING**  
DEVLIN ROAD SOUTH NAPA  
NAPA, CALIFORNIA 94558

DATE	REMARKS
07.19.2017	USE PERMIT SUBMITTAL
12.21.2017	USE PERMIT COMMENT RESPONSE
02.13.2018	USE PERMIT COMMENT
05.21.2018	ROOF DESIGN REVISION

PA/PM:	N. DETORRES
DRAWN BY:	E.S.
JOB NO.:	SNR17-0004-00

SHEET  
**A1.1a**



**NOTES**

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB. PROVIDE VAPOR RETARDER OVER SAND BASE AT OFFICE AREA PER SOILS REPORT. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN WAREHOUSE.
- 203 6'X8' HYDRAULIC DOCK LEVELER.
- 204 DOCK PIT.
- 205 OUTLINE OF WALL ABOVE.
- 207 ALUMINIUM STOREFRONT FRAMING SYSTEM.
- 208 ALUMINIUM STOREFRONT DOOR.
- 209 WATER FOUNTAIN AND ELEVATED REFLECTING POND.
- 210 HOLLOW METAL DOOR.
- 211 9'X10' SECTIONAL DOOR (DOCK LEVEL) FOR FUTURE LOADING AND UNLOADING, SEE ELEVATIONS.
- 212 12'X14' SECTIONAL DOOR (GRADE LEVEL) FOR FUTURE LOADING AND UNLOADING, SEE ELEVATIONS.
- 213 PRIMARY AND SECONDARY ROOF DRAIN AND DRAIN LEADERS, TRANSITION DIAGONALLY ATTACH TO WALL WITH UNI-STRUTS.
- 214 PLANTER WALL W/ STONE VENEER.
- 215 ROOF LADDER.
- 216 WATER FOUNTAIN AND ELEVATED REFLECTING POND WALL W/ STONE VENEER.

**ABBREVIATIONS**

- F.O.C. = FACE OF CONCRETE
- P.J. = PANEL JOINT
- C.O.M. = CENTER OF MULLION
- F.O.M. = FACE OF MULLION

**WALL LEGEND**

- CONCRETE WALL

**DOOR TYPES**

- (SF1) ALUMINIUM STOREFRONT
- (SF2) 3'-0" x 8'-0" CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STILE)
- (SF2) 6'-0" x 8'-0" (PAIR) CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STILE)
- FRAME: MANUFACTURER
- HARDWARE:
  - 2 SETS PIVOT SET
  - 2 SETS INTER PIVOT
  - 1 EA MORTISE CYLINDER
  - 2 SETS OFFSET PULL
  - 1 EA OH CLOSER
  - 1 EA THRESHOLD
  - 1 EA DECAL
- NOTE: WEATHERSEAL BY DOOR MANUFACTURER
- (F1) HOLLOW METAL
- (F1) 3'-0" x 7'-0" PAINTED INSULATED HOLLOW METAL DOOR
- HARDWARE:
  - 3 EA HINGES
  - 1 EA EXIT DEVICE
  - 1 EA CYLINDER
  - 1 EA CLOSER
  - 1 EA PERIMETER SEAL
  - 1 EA BOTTOM DRIP
  - 1 EA THRESHOLD
  - 1 EA LOCK GUARD
  - 1 EA HVY DUTY FLOOR STOP

- (SD1) SECTIONAL O.H. DOOR
- (SD2) 9'-0" x 10'-0" DOCK HIGH SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH FOR LOADING/UNLOADING WET AND DRY GOODS.
- (SD2) 12'-0" x 14'-0" SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH FOR LOADING/UNLOADING DRY GOODS ONLY.
- HARDWARE:
  - 1 EA SLIDE BOLT
  - 1 EA PAD LOCK

**DOOR NOTES**

**BUTT HINGES:**  
 SSSS - STANDARD WEIGHT, PLAIN BEARING, STEEL HINGES OR APPROVED EQUAL.  
 ALL EXTERIOR OUTSWING DOOR BUTTS SHALL BE MADE OF NON-FERROUS MATERIAL AND SHALL HAVE STAINLESS STEEL HINGE PINS.  
 VON DUPRIN 99 SERIES PANIC DEVICE OR APPROVED EQUAL.  
 CLOSING DEVICES: NORTON 8500 BF SERIES OR APPROVED EQUAL.  
 STOPS: TRIMCO W1200 SERIES DOOR STOP.  
 SLIDE BOLT AND PAD LOCK: INSTALL SLIDE BOLT ABOVE LEVEL OF DOOR GUARD.

**WARE MALCOMB**  
 Leading Design for Commercial Real Estate

architecture  
 interiors  
 graphics  
 civil engineering

4683 Chabot Dr. #300  
 Pleasanton, CA 94588  
 P: 925.244.9620  
 F: 925.244.9621

**SHEEHY BUILDING**

DEVLIN ROAD SOUTH NAPA  
 NAPA, CALIFORNIA 94558

**FLOOR PLAN**

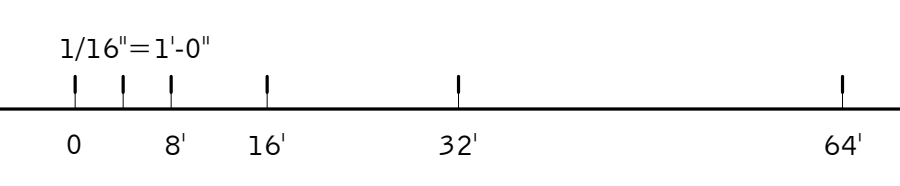
DATE	REMARKS
07.19.2017	USE PERMIT SUBMITTAL
12.21.2017	USE PERMIT COMMENT RESPONSE
02.13.2018	USE PERMIT COMMENT RESPONSE
05.21.2018	ROOF DESIGN REVISION

PA/PM:	N. DETORRES
DRAWN BY:	E.S.
JOB NO.:	SNR17-0004-00

SHEET

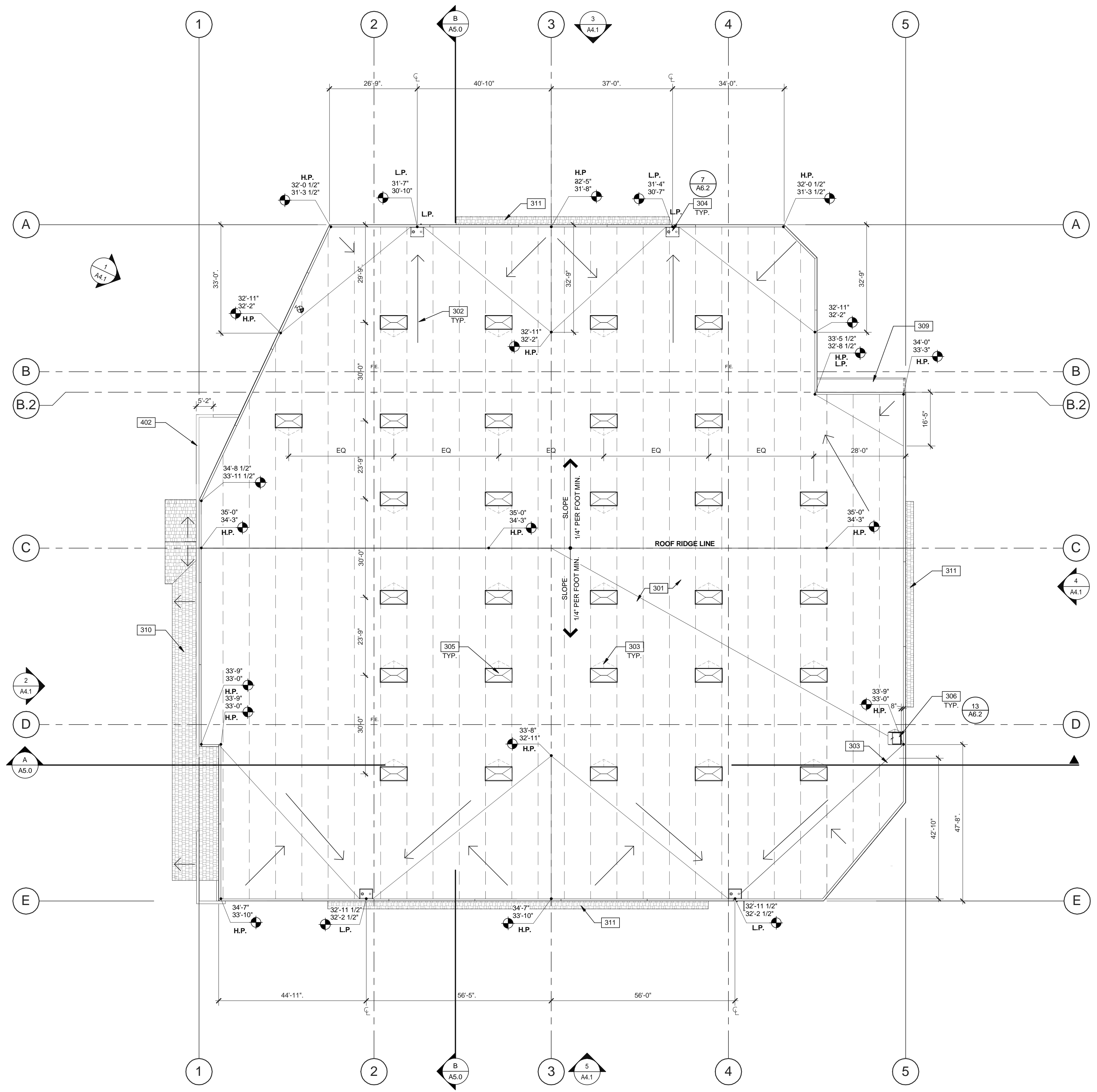
**A2.1**

5/4/2018 9:41:12 AM



**FLOOR PLAN**

SCALE: 1/16" = 1'-0"



- NOTES**
- 301 SINGLE-PLY ROOFING.
  - 302 FLOW LINE TO DRAIN.
  - 303 CRICKET.
  - 304 PRIMARY AND SECONDARY DRAINS.
  - 305 4'x8' FIBERGLASS VENTED SKYLIGHT/SMOKE HATCH. COORDINATE EXACT LOCATION TO PREVENT CONFLICT WITH FRAMING, FIRE SPRINKLER LINES, ELECTRICAL CONDUITS, AND LIGHTING.
  - 306 ROOF HATCH.
  - 309 4' DEEP LOADING DOCK ROOF OVERHANG WITH DOWNSPOUT PER BASMAA MANUAL.
  - 310 LOW SLOPING ROOF WITH HEAVY TIMBER STRUCTURE AND CONCRETE TILE FINISH.
  - 311 SLOPING ROOF WITH HEAVY TIMBER STRUCTURE AND CONCRETE TILE FINISH.
  - 402 SCREEN WALL.

- ABBREVIATIONS**
- T.O.P. = TOP OF PARAPET
  - H.P. = TOP OF ROOFING - HIGH POINT
  - L.P. = TOP OF ROOFING - LOW POINT

**CALCULATIONS**

**SKYLIGHTS:**  
 SKYLIGHT SIZE: 48" x 96" = 32 S.F.  
 (WAREHOUSE AREA S.F.) x 2.0% = 40,085 x .02 = 32  
 (SKYLIGHT SIZE)

DESIRED: 25 SKYLIGHTS  
 PROVIDED: 29 SKYLIGHTS

**LEGEND**

SKYLIGHT: (2%)  
 COORDINATE EXACT LOCATION TO PREVENT CONFLICT WITH FRAMING, FIRE SPRINKLER LINES, ELECTRICAL CONDUITS AND LIGHTING. SEE STRUCTURAL DRAWINGS.

**WARE MALCOMB**  
 Leading Design for Commercial Real Estate

architecture  
 planning  
 interiors  
 graphics  
 civil engineering  
 4683 Chabot Dr. #300  
 Pleasanton, CA 94588  
 P: 925.244.9620  
 F: 925.244.9621

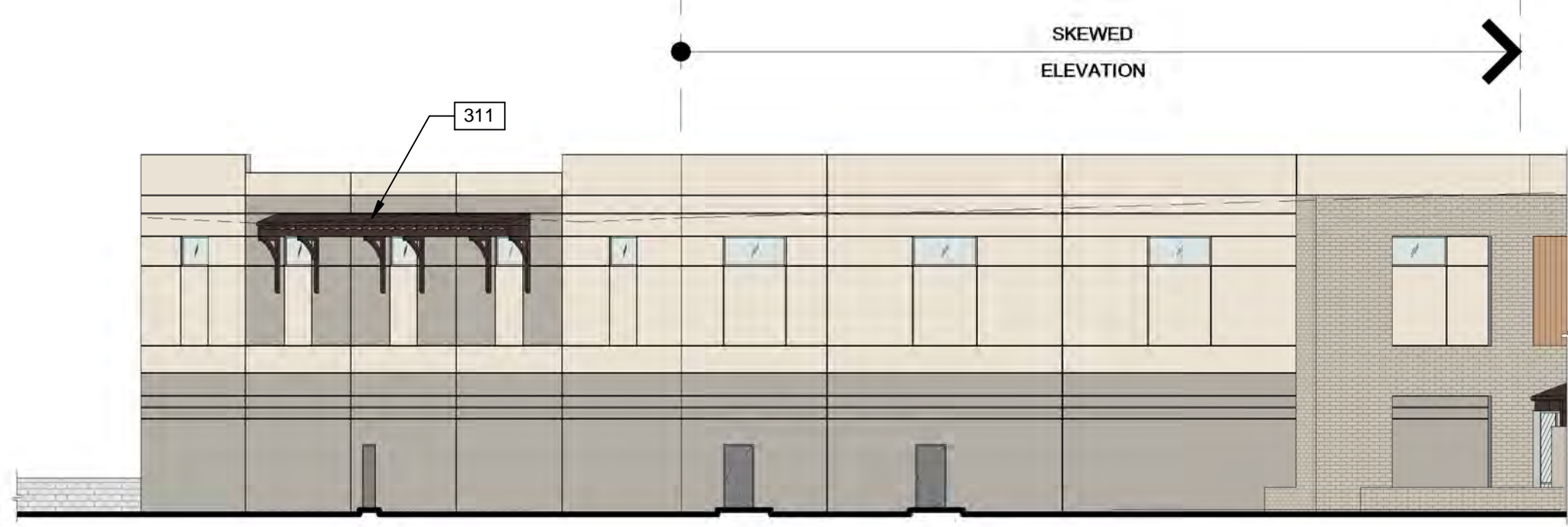
**SHEEHY BUILDING**  
 DEVLIN ROAD SOUTH NAPA  
 NAPA, CALIFORNIA 94558

**ROOF PLAN**

DATE	REMARKS
07.19.2017	USE PERMIT SUBMITTAL
12.21.2017	USE PERMIT COMMENT RESPONSE
02.13.2018	USE PERMIT COMMENT RESPONSE
05.21.2018	ROOF DESIGN REVISION

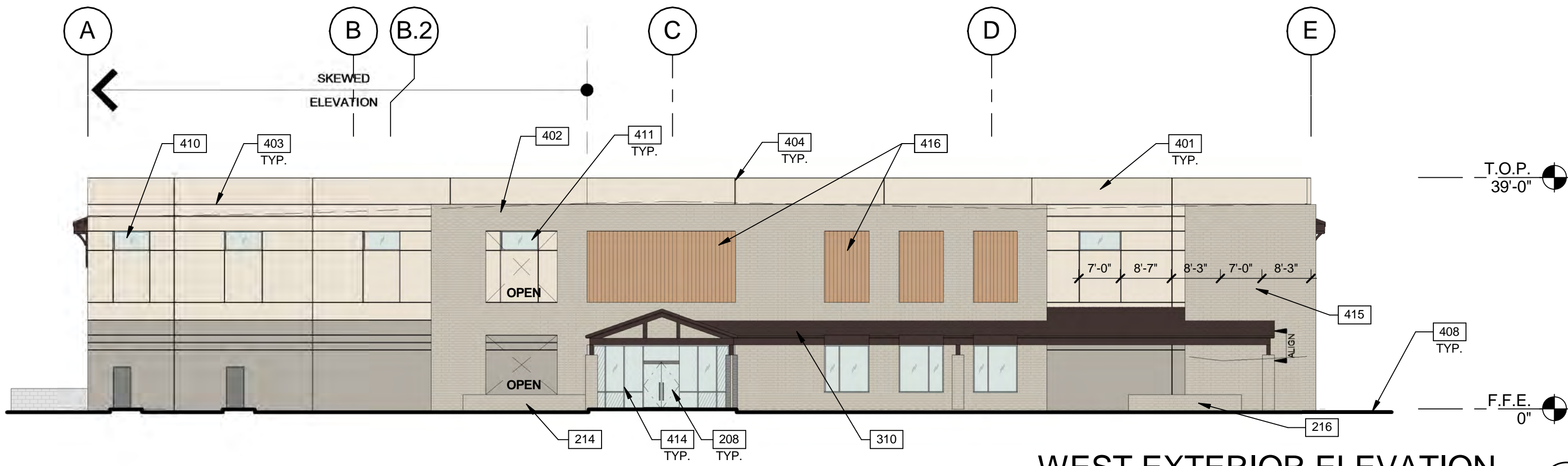
PA/PM: N. DETORRES  
 DRAWN BY: E.S.  
 JOB NO.: SNR17-0004-00

SHEET  
**A3.1**



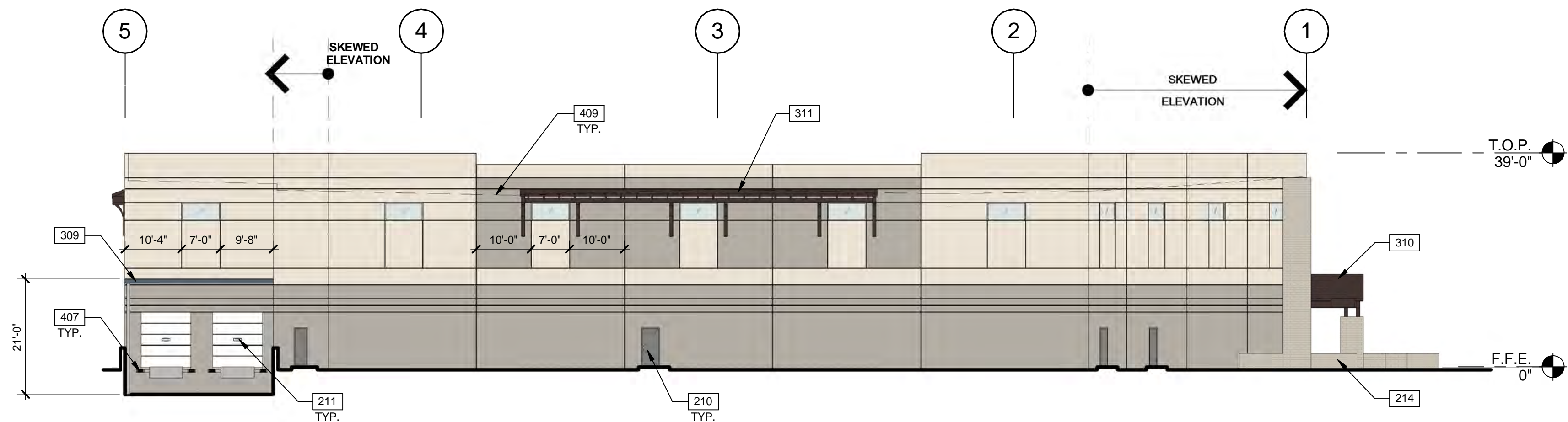
**NORTHWEST EXTERIOR ELEVATION**

SCALE: 1/16" = 1'-0" ①



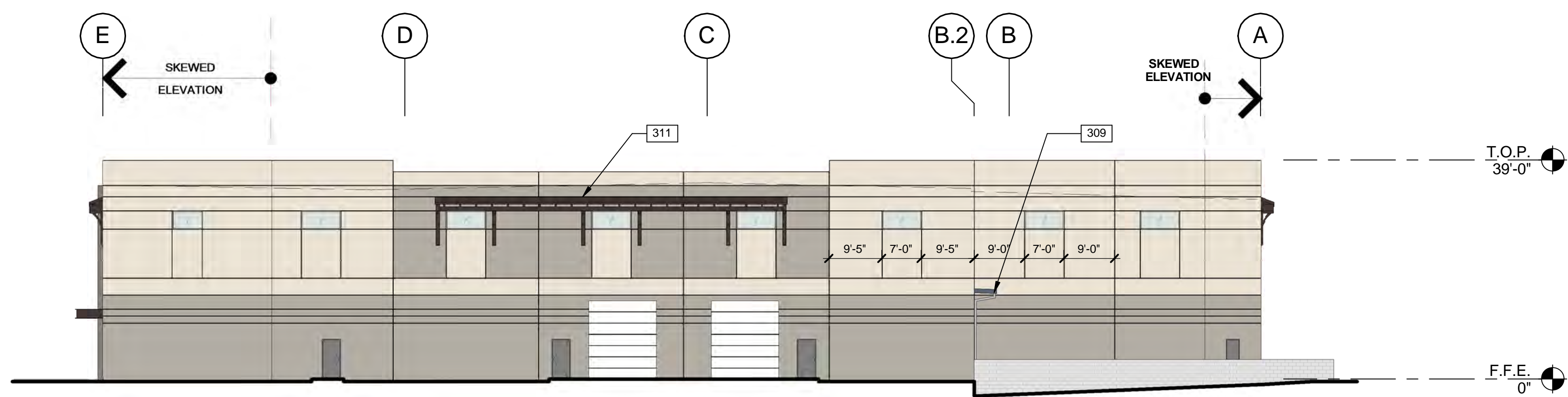
**WEST EXTERIOR ELEVATION**

SCALE: 1/16" = 1'-0" ②



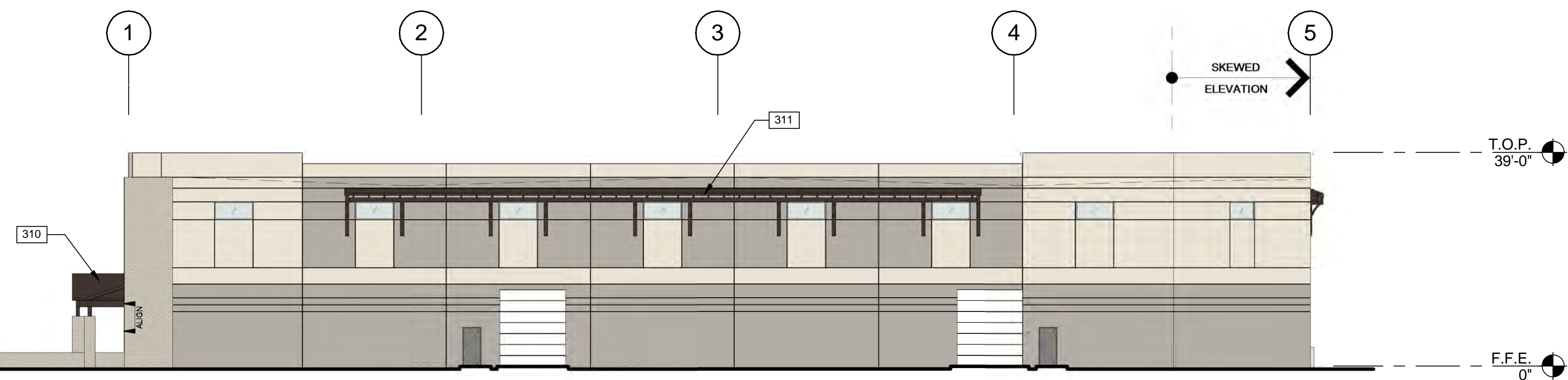
**NORTH EXTERIOR ELEVATION**

SCALE: 1/16" = 1'-0" ③



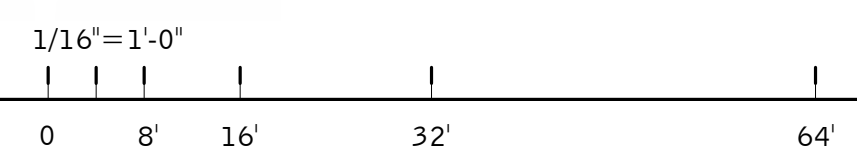
**EAST EXTERIOR ELEVATION**

SCALE: 1/16" = 1'-0" ④



**SOUTH EXTERIOR ELEVATION**

SCALE: 1/16" = 1'-0" ⑤



**NOTES**

- SEE SHEET A0.2 FOR GENERAL NOTES
- 208 ALUMINIUM STOREFRONT DOOR.
  - 210 HOLLOW METAL DOOR.
  - 211 9'X10' SECTIONAL DOOR (DOCK LEVEL) FOR FUTURE LOADING AND UNLOADING. SEE ELEVATIONS.
  - 214 PLANTER WALL W/ STONE VENEER.
  - 216 WATER FOUNTAIN AND ELEVATED REFLECTING POND WALL W/ STONE VENEER.
  - 309 4' DEEP LOADING DOCK ROOF OVERHANG WITH DOWNSPOUT PER BASMAA MANUAL.
  - 310 LOW SLOPING ROOF WITH HEAVY TIMBER STRUCTURE AND CONCRETE TILE FINISH.
  - 311 SLOPING ROOF WITH HEAVY TIMBER STRUCTURE AND CONCRETE TILE FINISH.
  - 401 CONCRETE WALL, PAINTED.
  - 402 SCREEN WALL.
  - 403 3/4" V-REVEAL.
  - 404 CONCRETE WALL JOINT.
  - 407 DOCK BUMPER.
  - 408 FINISH GRADE VARIES.
  - 409 LINE OF ROOF BEYOND.
  - 410 CLERESTORY WINDOW.
  - 411 GLAZING BEYOND.
  - 414 ARCADIA LIGHT CHAMPANGE ANODIZED MULLIONS- AB-1.
  - 415 WATER FOUNTAIN.
  - 416 PROVIDE METAL PANEL/CLADDING FINISH COLOR TO MATCH WOOD GRAIN FINISH.

**LEGENDS**

- GLASS:**
- HIGH PERFORMANCE GLAZING PPG SOLARBAN 250
  - SPANDREL GLASS
  - TEMPERED GLASS

- MATERIALS:**
- CORONADO STONE VENEER 6" SPLIT LIMESTONE, FINISH: GREEN VALLEY QUARTZITE
  - WOOD VERTICAL SLIDING, FINISH: SMOOTH MYANMAR

**COLORS:**  
PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

- BASE COLOR: SHERWIN WILLIAMS : PANDA WHITE - SW 6147
- SECONDARY COLOR: SHERWIN WILLIAMS : PUSSYWILLOW - SW 7643
- ACCENT COLOR: SHERWIN WILLIAMS : ROCKWEED - SW 2735

\*SEE MATERIAL BOARD AND COLORED ELEVATIONS FOR LOCATION OF PAINT

**MULLION:**  
ARCADIA LIGHT CHAMPANGE ANODIZED MULLIONS- AB-1

**WARE MALCOMB**  
Leading Design for Commercial Real Estate

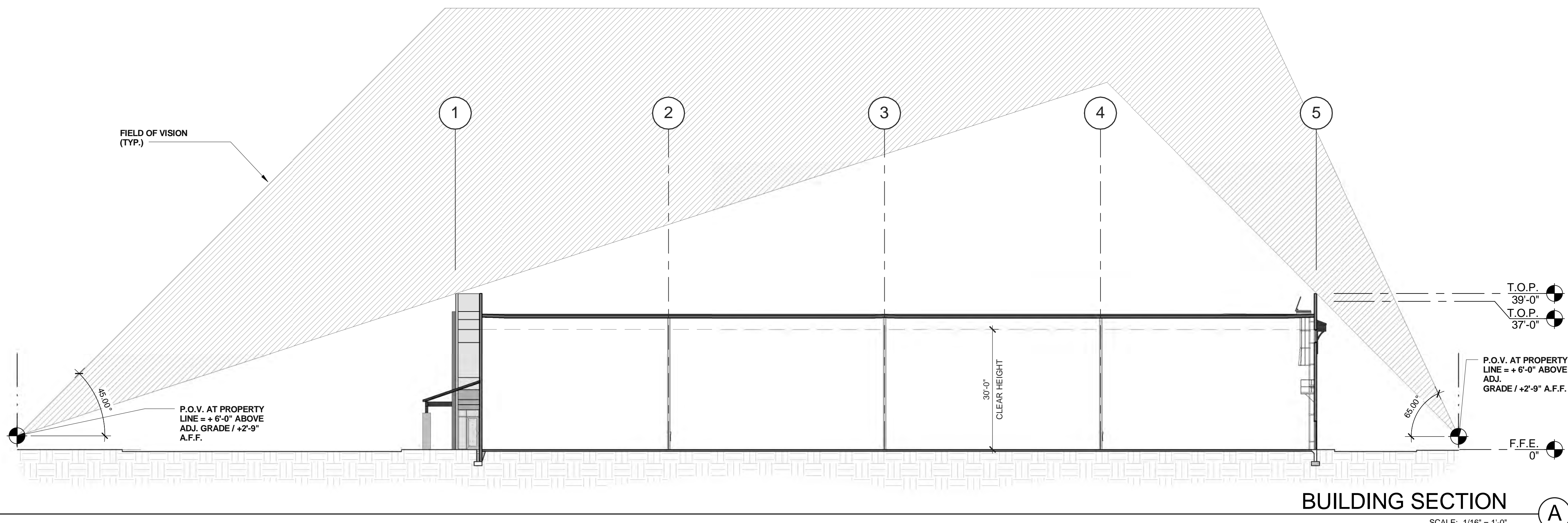
architecture  
planning  
interiors  
graphics  
civil engineering  
4683 Chabot Dr. #300  
Pleasanton, CA 94588  
P: 925.244.9620  
F: 925.244.9621

**SHEEHY BUILDING**  
DEVLIN ROAD SOUTH NAPA  
NAPA, CALIFORNIA 94558

DATE	REVISIONS
07.19.2017	USE PERMIT SUBMITTAL
12.21.2017	USE PERMIT COMMENT RESPONSE
02.13.2018	USE PERMIT COMMENT RESPONSE
05.21.2018	ROOF DESIGN REVISION

PA/PM:	N. DETORRES
DRAWN BY:	E.S.
JOB NO.:	SNR17-0004-00

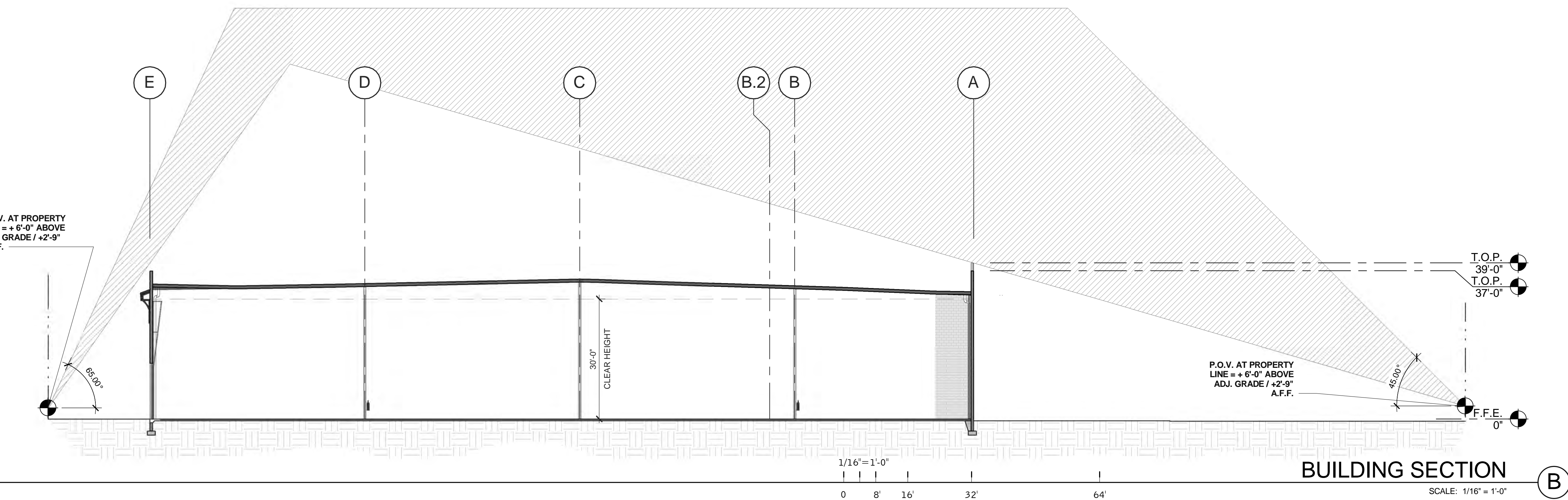
SHEET  
**A4.1**



**BUILDING SECTION A**  
SCALE: 1/16" = 1'-0"

NOTES

**WALL LEGEND**  
CONCRETE WALL



**BUILDING SECTION B**  
SCALE: 1/16" = 1'-0"

**WARE MALCOMB**  
Leading Design for Commercial Real Estate

architecture  
planning  
interiors  
graphics  
civil engineering

4683 Chabot Dr. #300  
Pleasanton, CA 94588  
P: 925.244.9620  
F: 925.244.9621

**SHEEHY BUILDING**  
DEVLIN ROAD SOUTH NAPA  
NAPA, CALIFORNIA 94558

BUILDING SECTIONS	
DATE	REMARKS
07.19.2017	USE PERMIT SUBMITTAL
12.21.2017	USE PERMIT COMMENT RESPONSE
02.13.2018	USE PERMIT COMMENT
05.21.2018	ROOF DESIGN REVISION

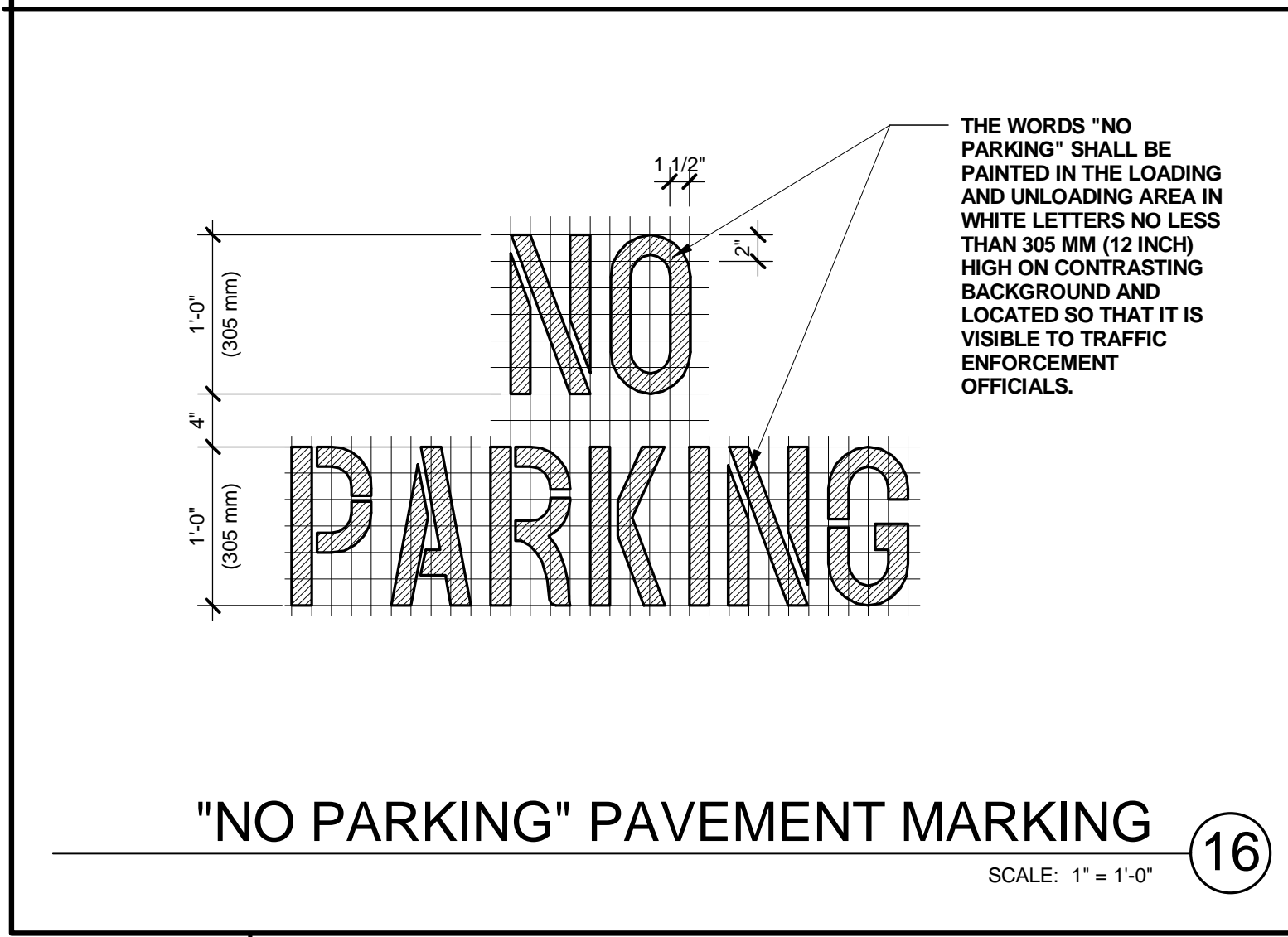
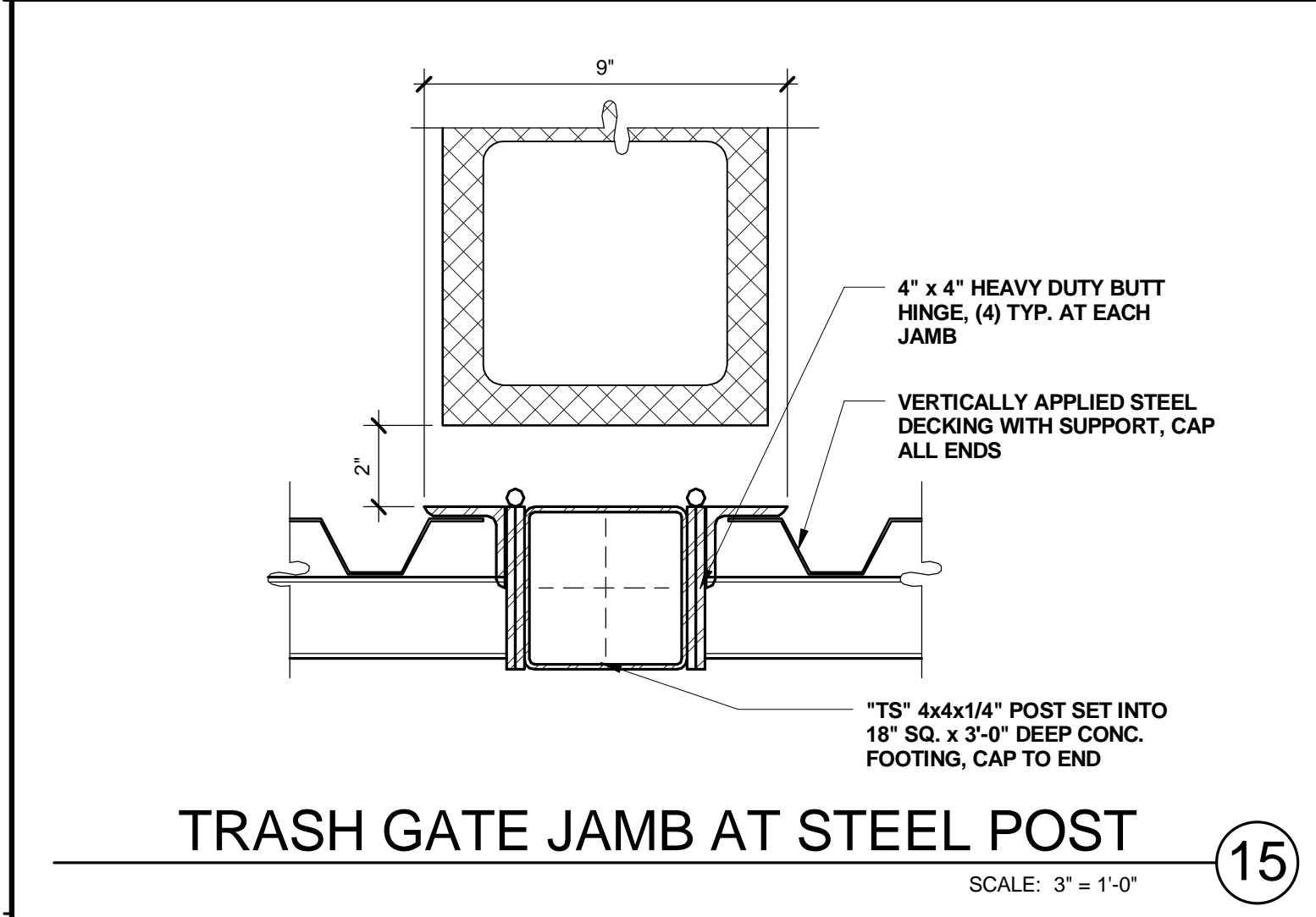
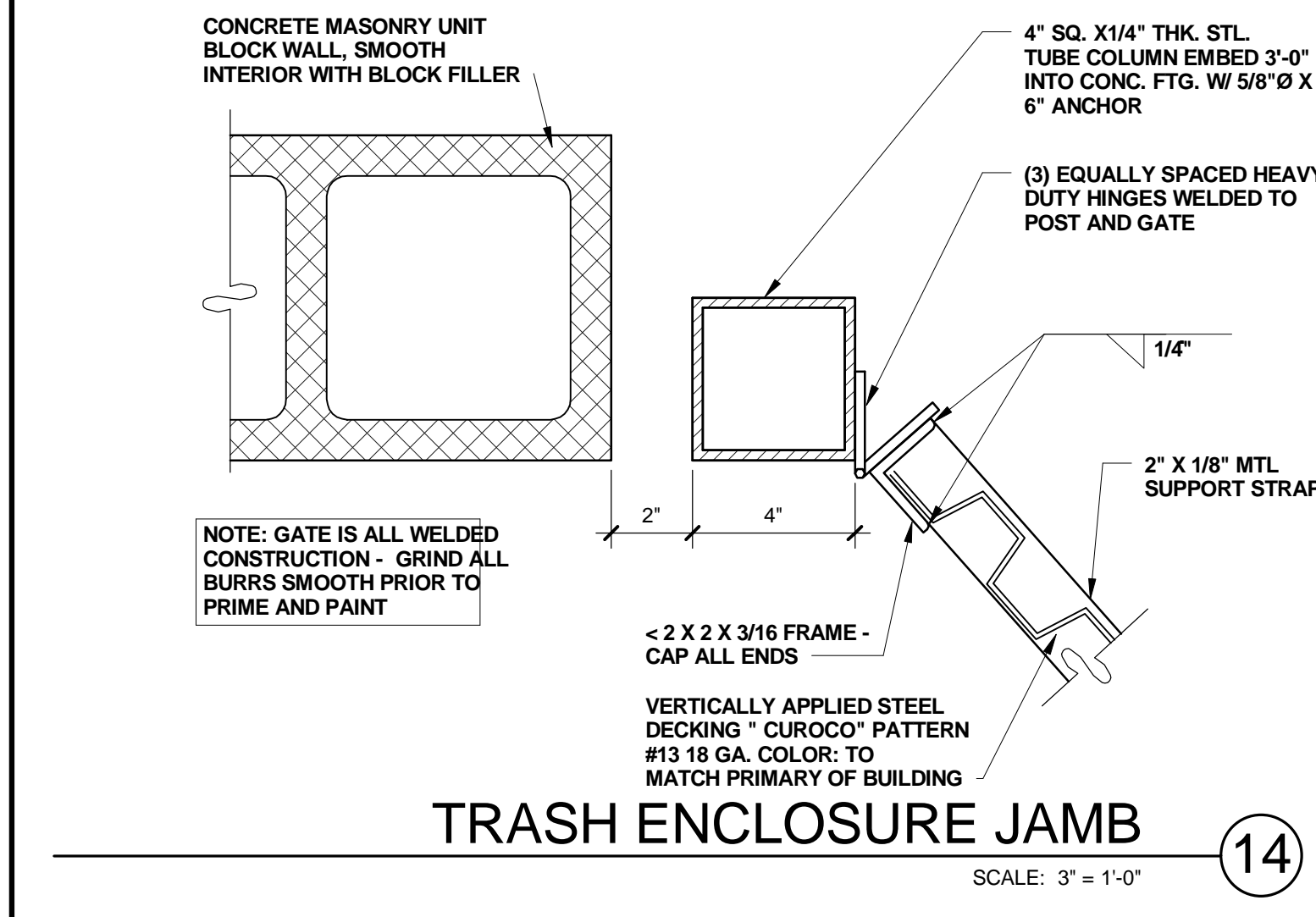
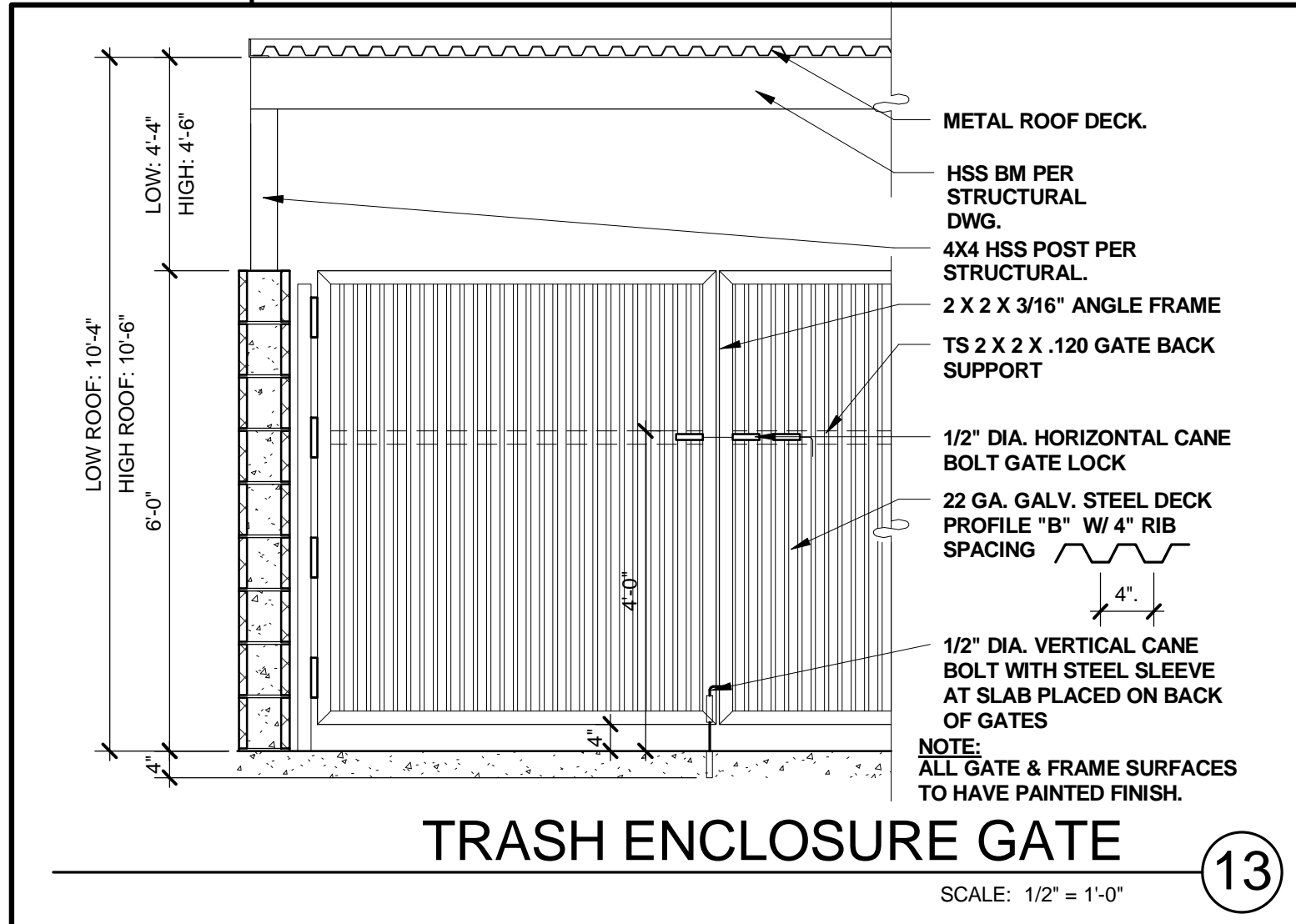
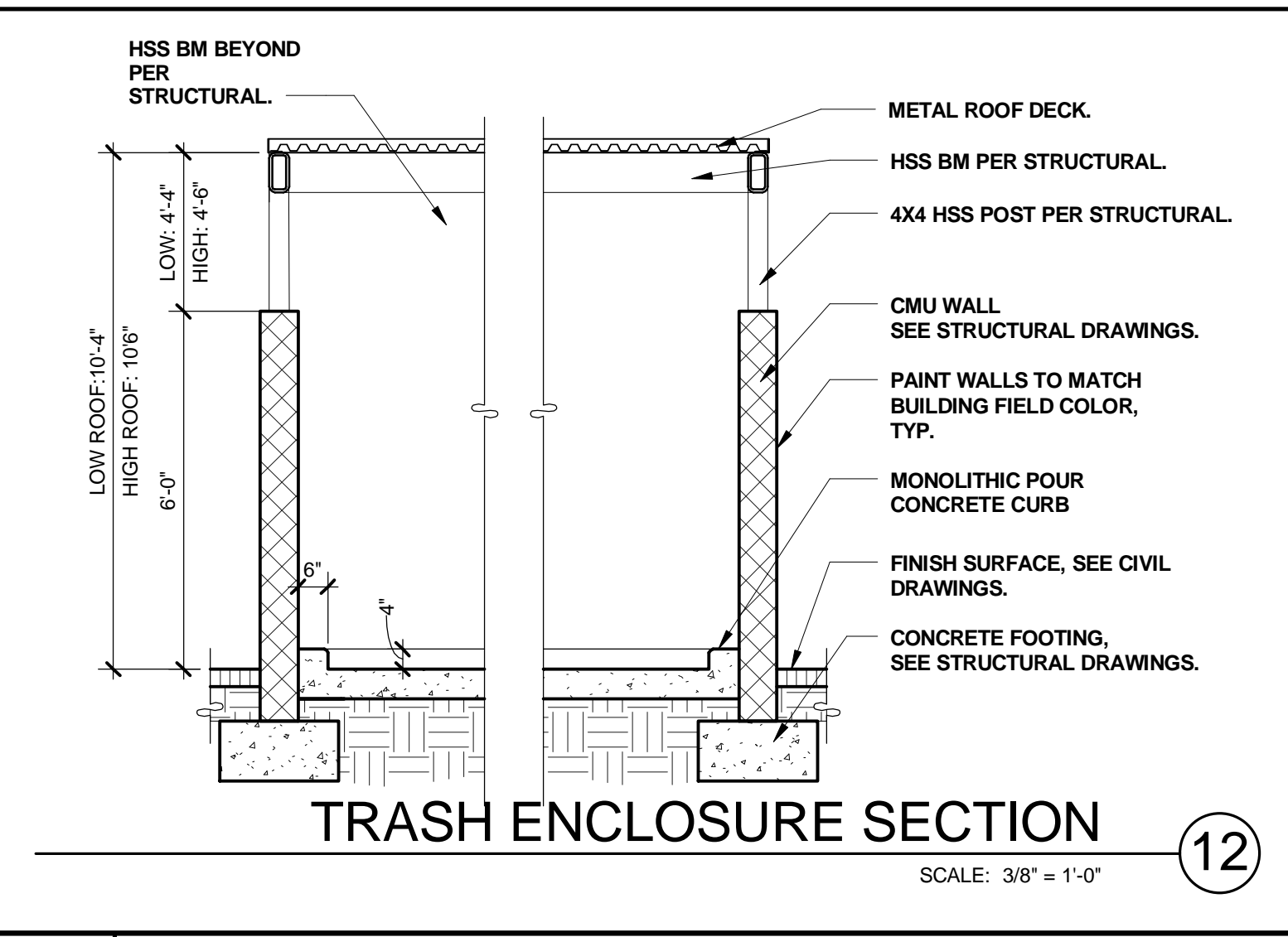
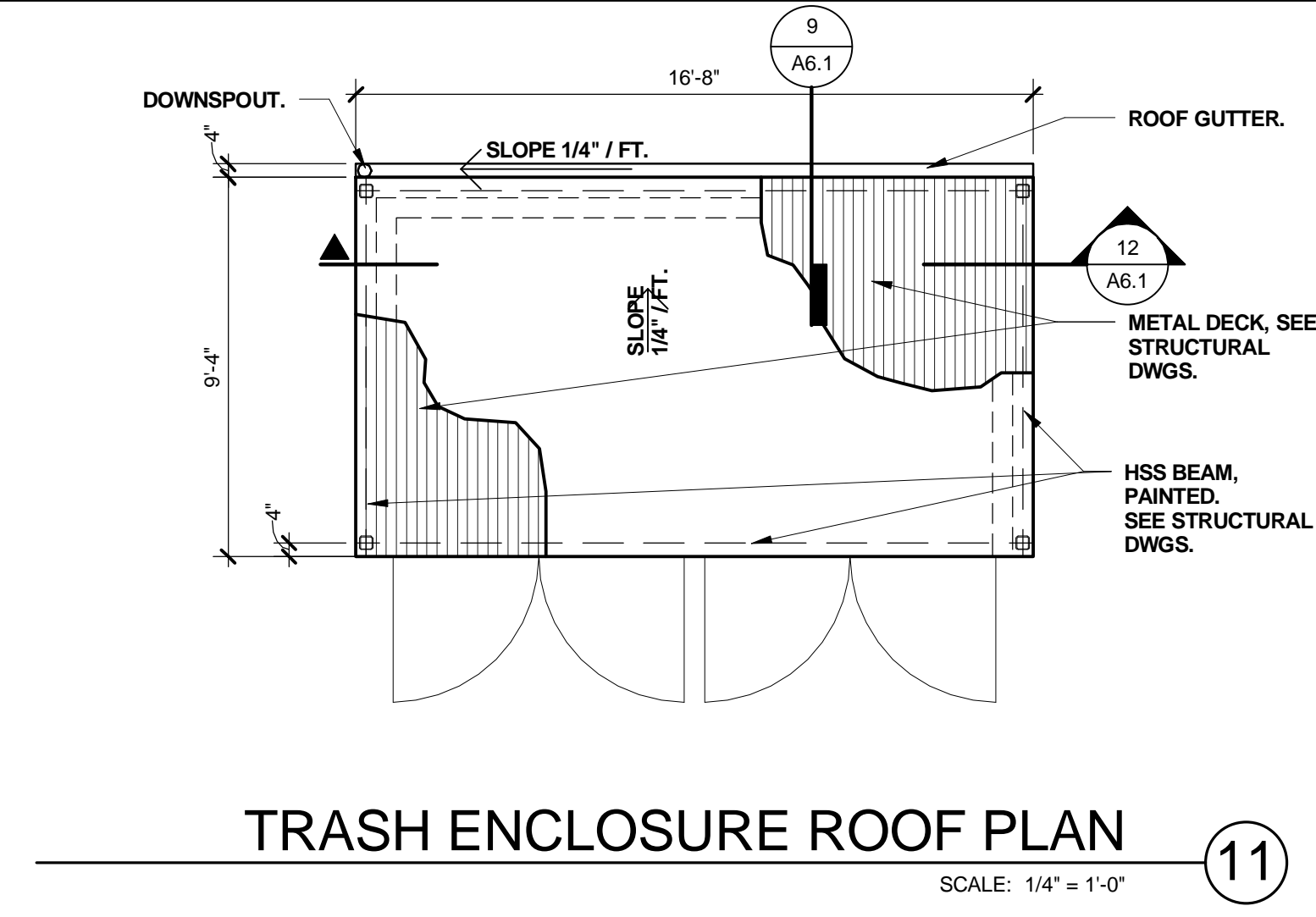
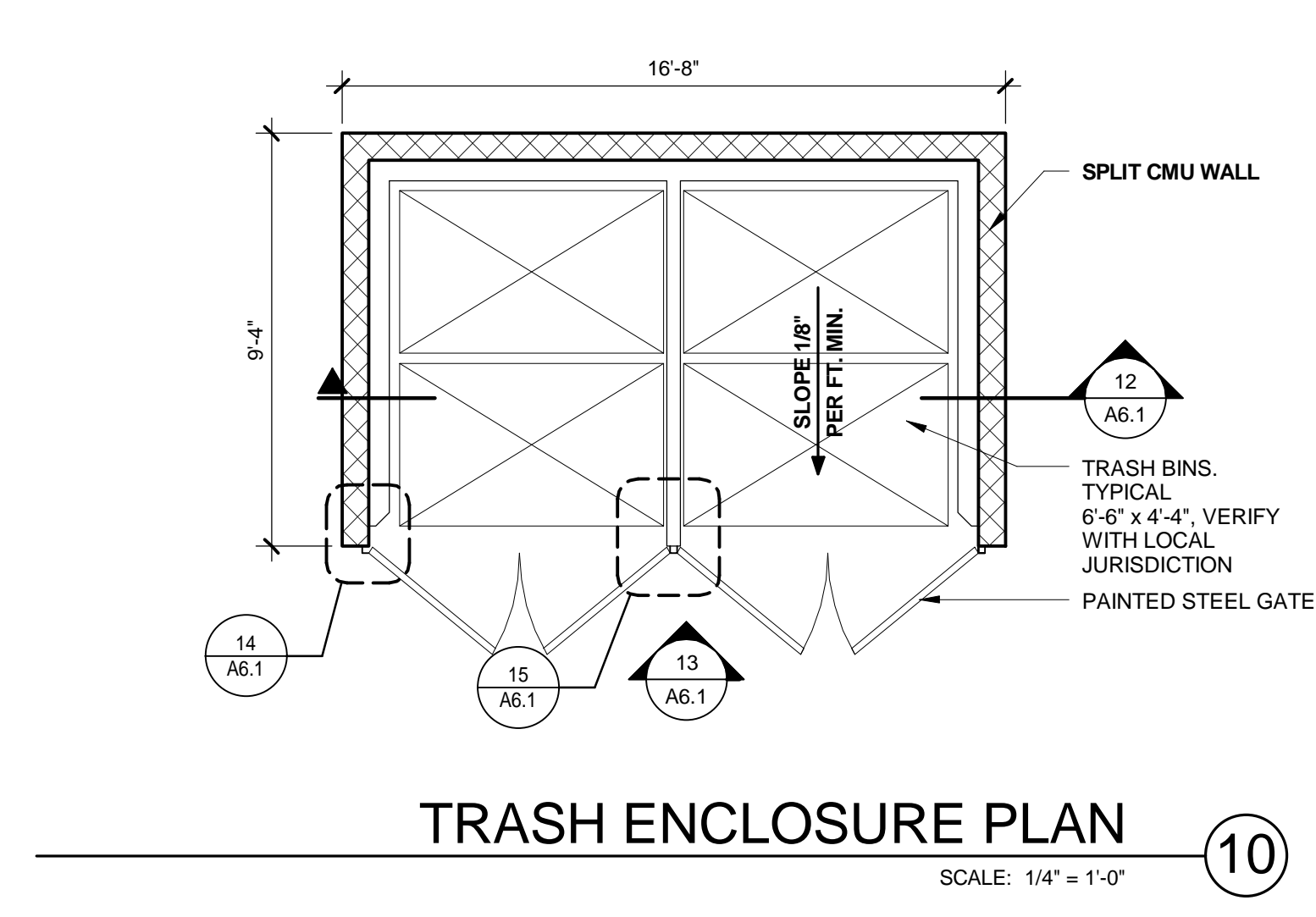
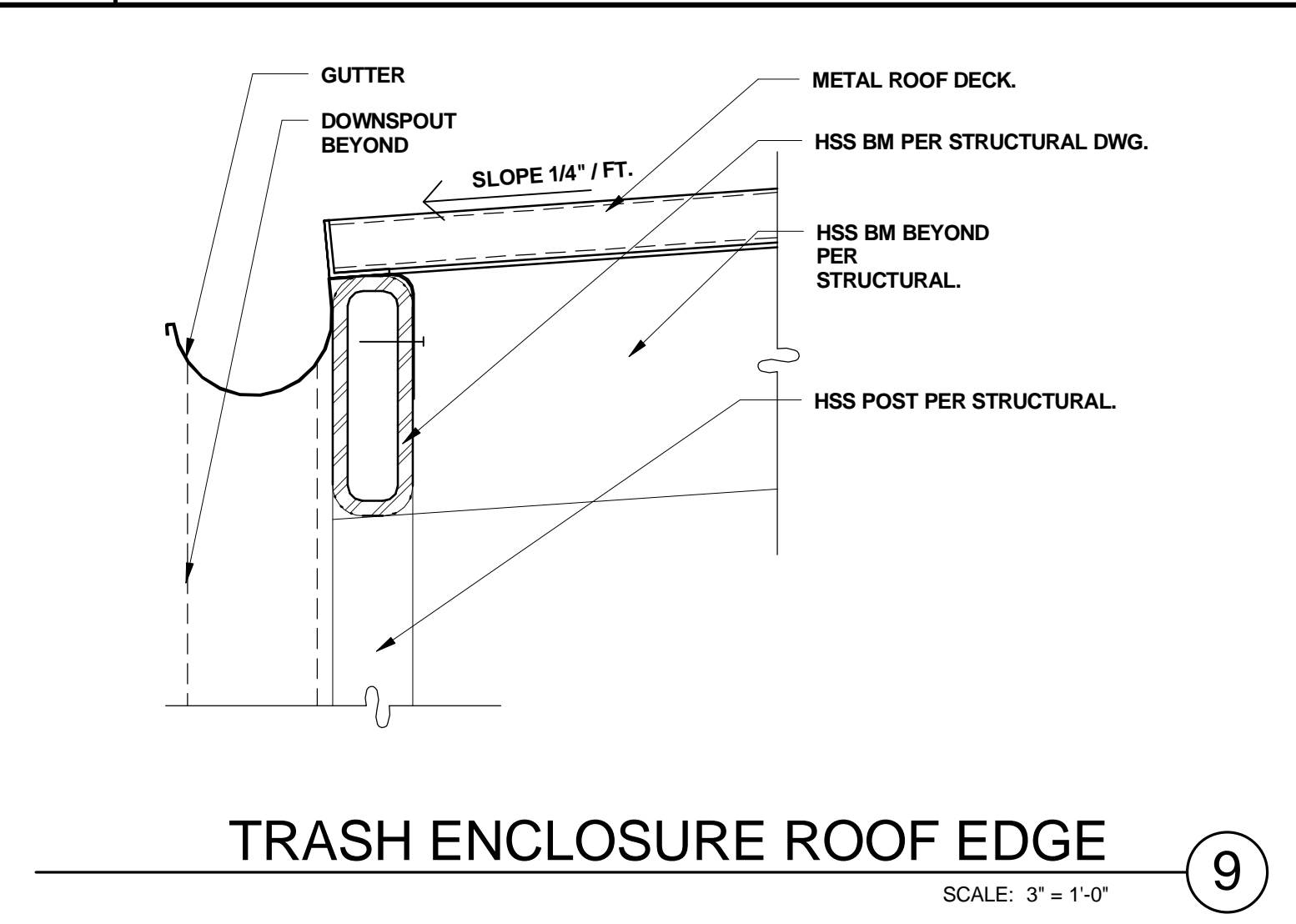
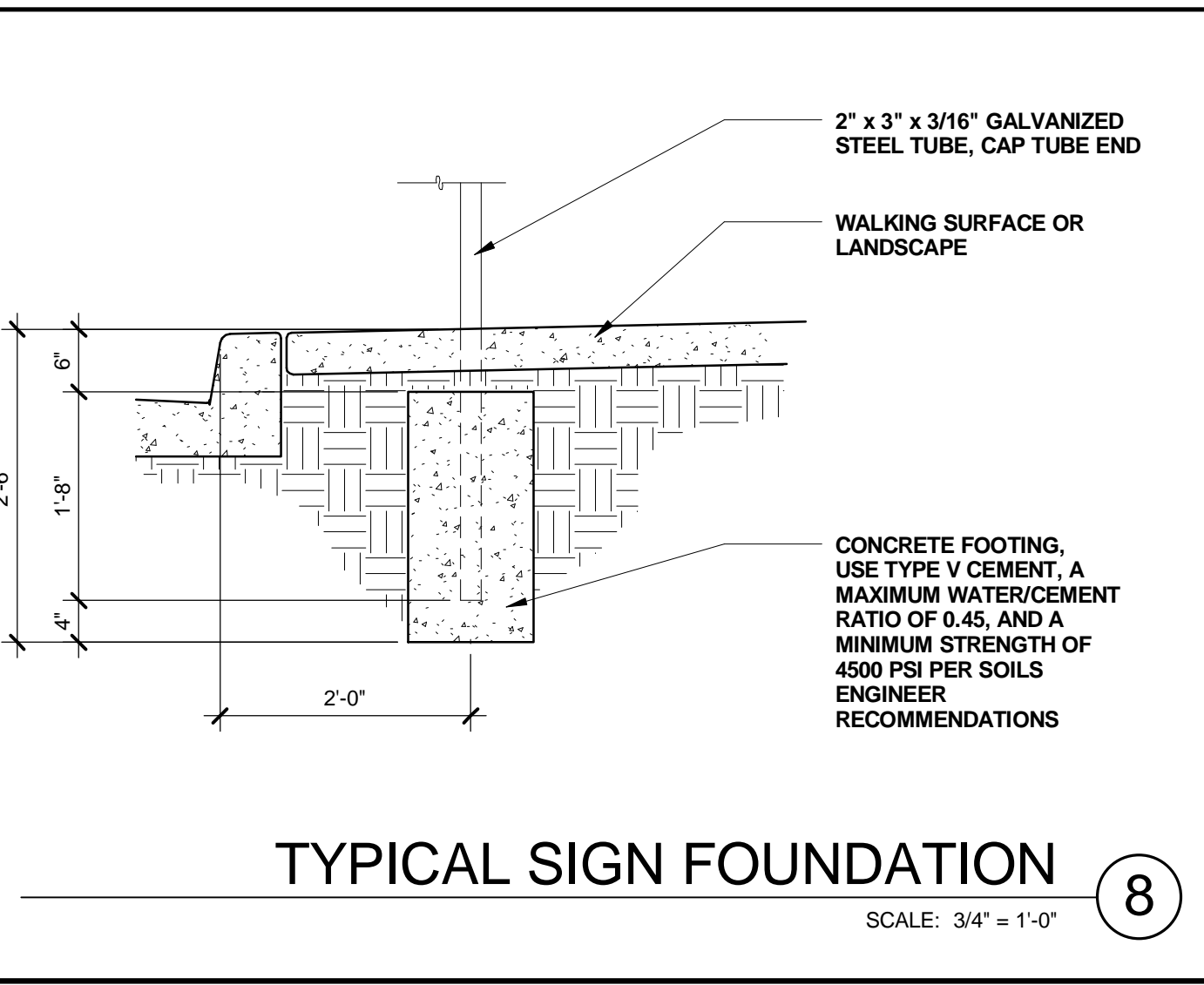
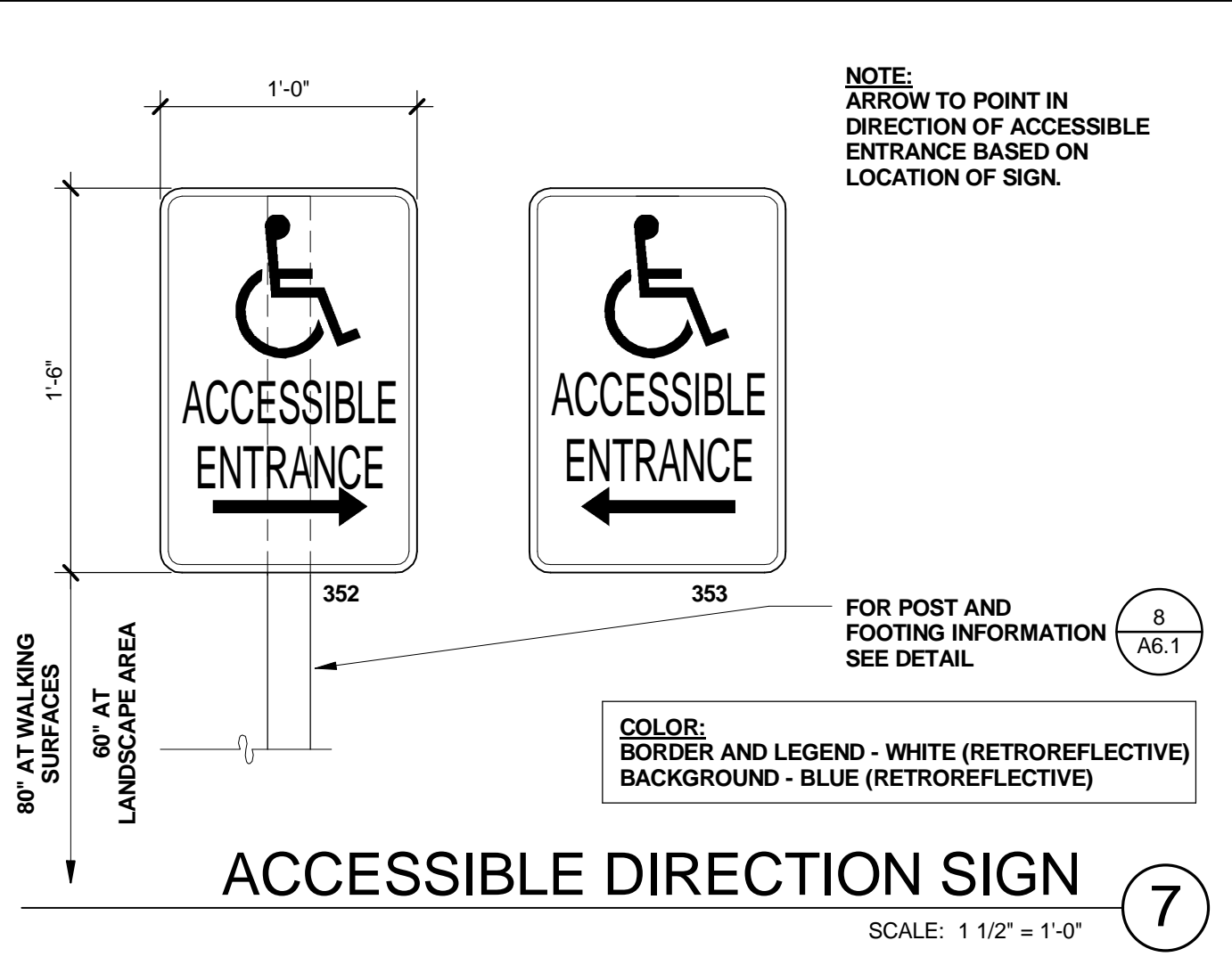
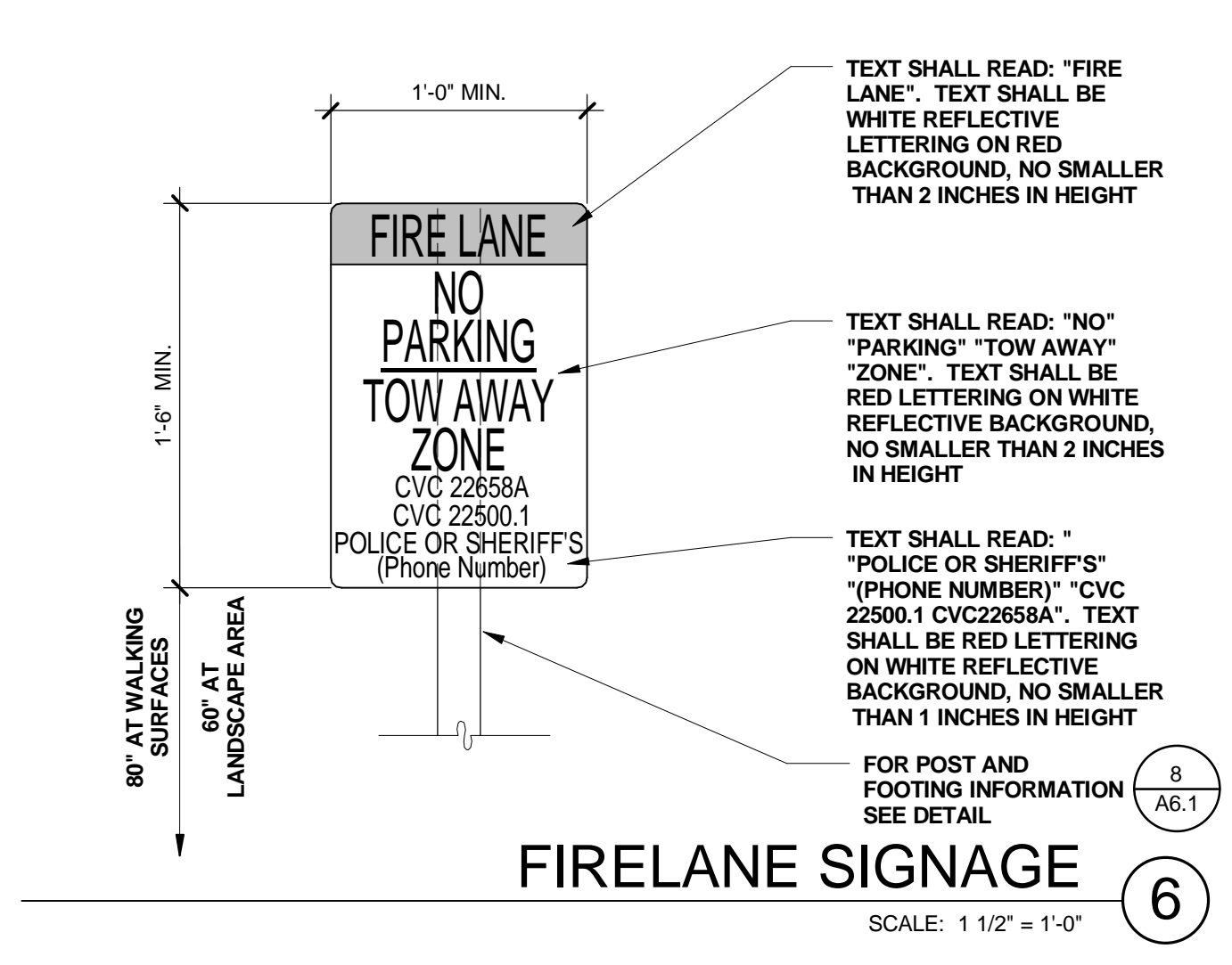
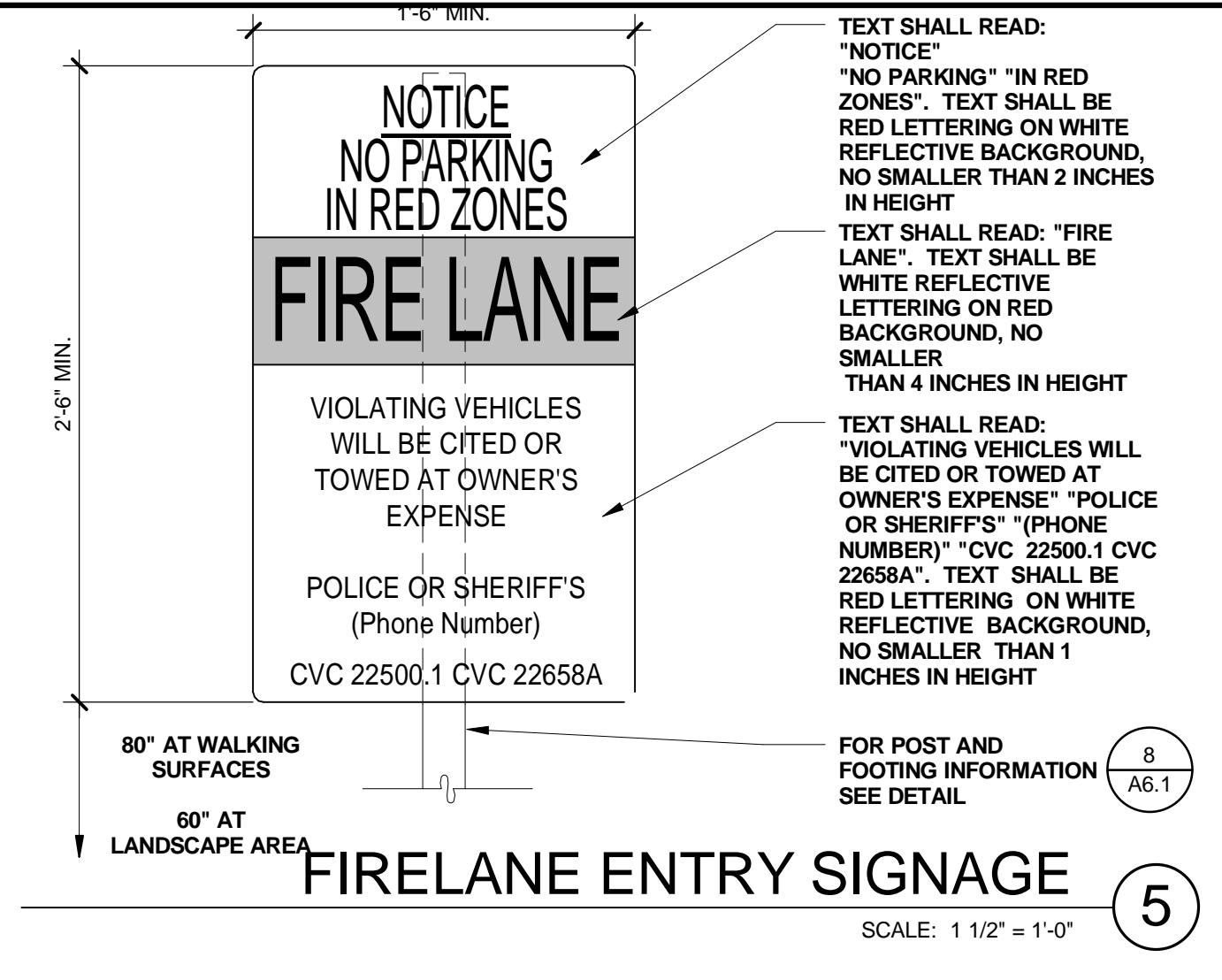
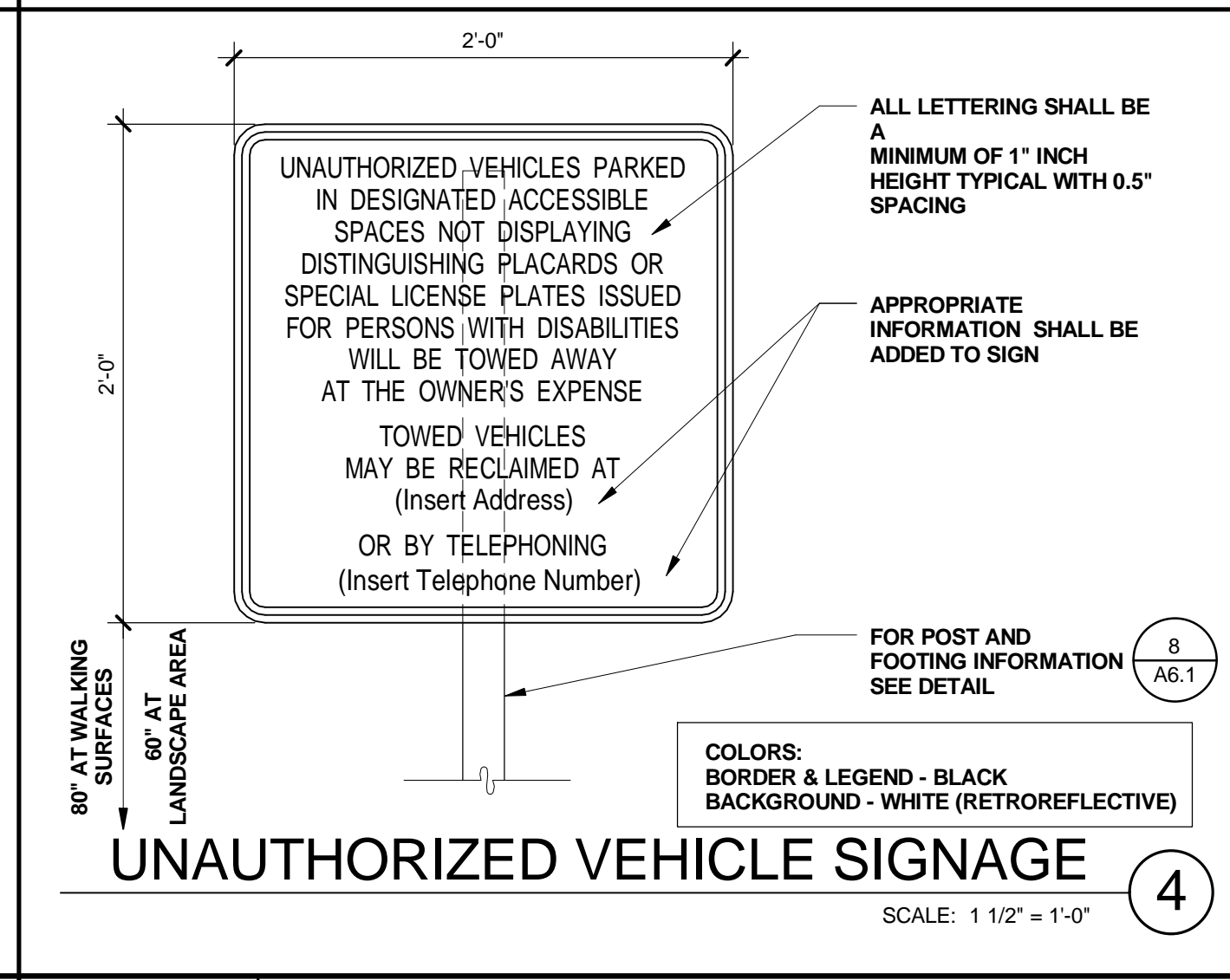
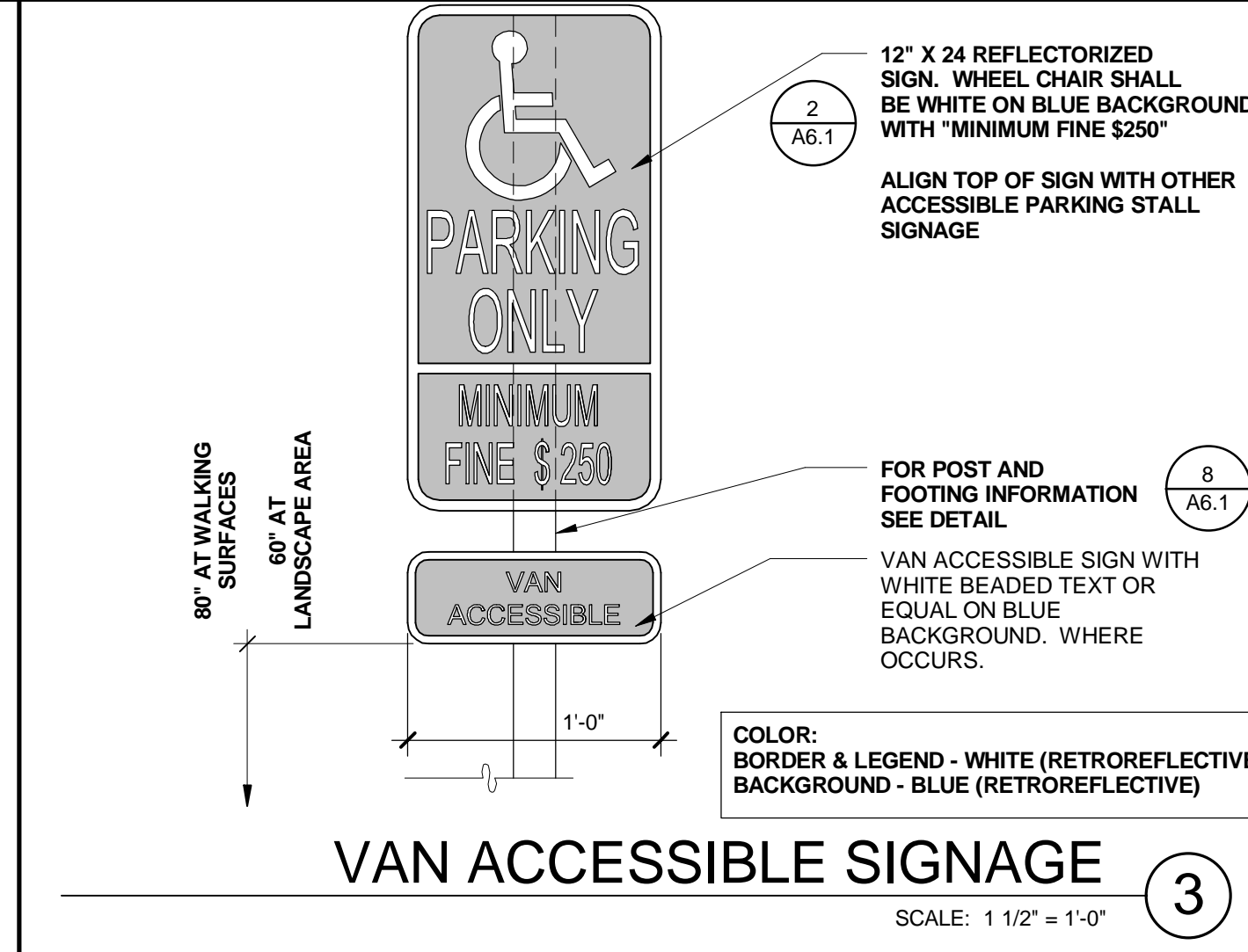
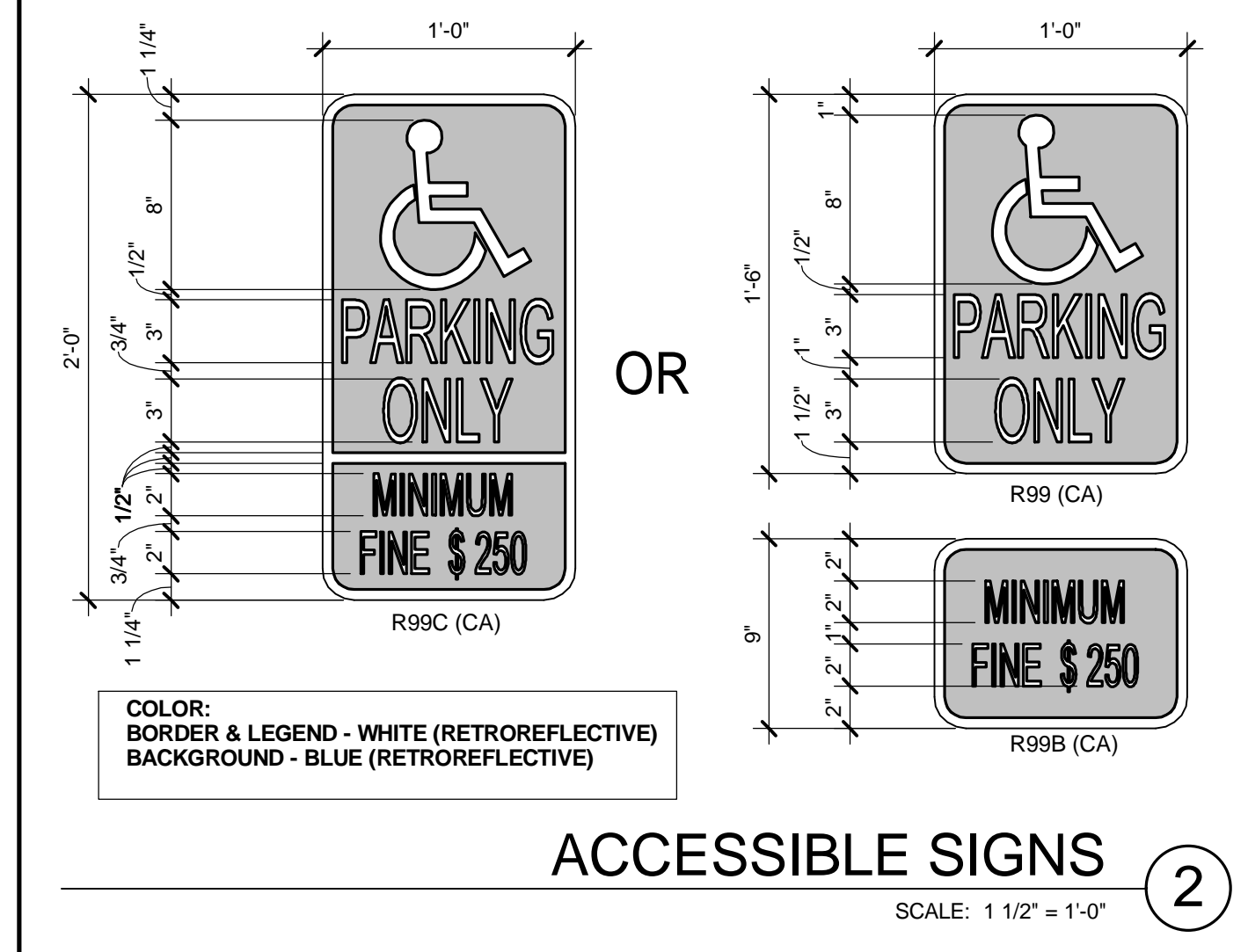
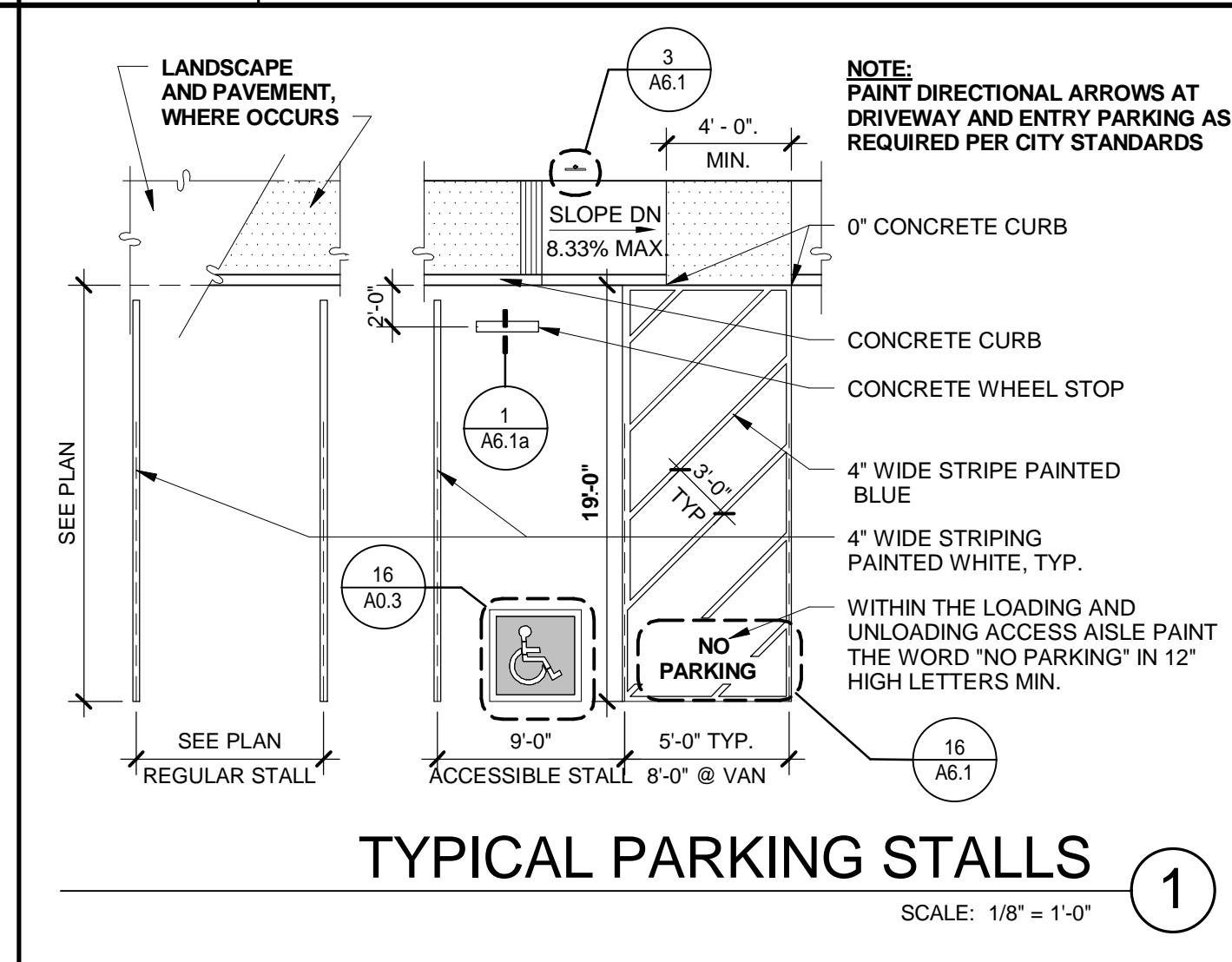
PA/PM:	N. DETORRES
DRAWN BY:	E.S.
JOB NO.:	SNR17-0004-00

SHEET  
**A5.0**

**DETAILS**

DATE	REMARKS
07.19.2017	USE PERMIT SUBMITTAL RESPONSE
12.21.2017	USE PERMIT COMMENT RESPONSE
02.13.2018	USE PERMIT COMMENT RESPONSE
05.21.2018	ROOF DESIGN REVISION

PA/PM:	N. DETORRES
DRAWN BY:	E.S.
JOB NO.:	SNR17-0004-00



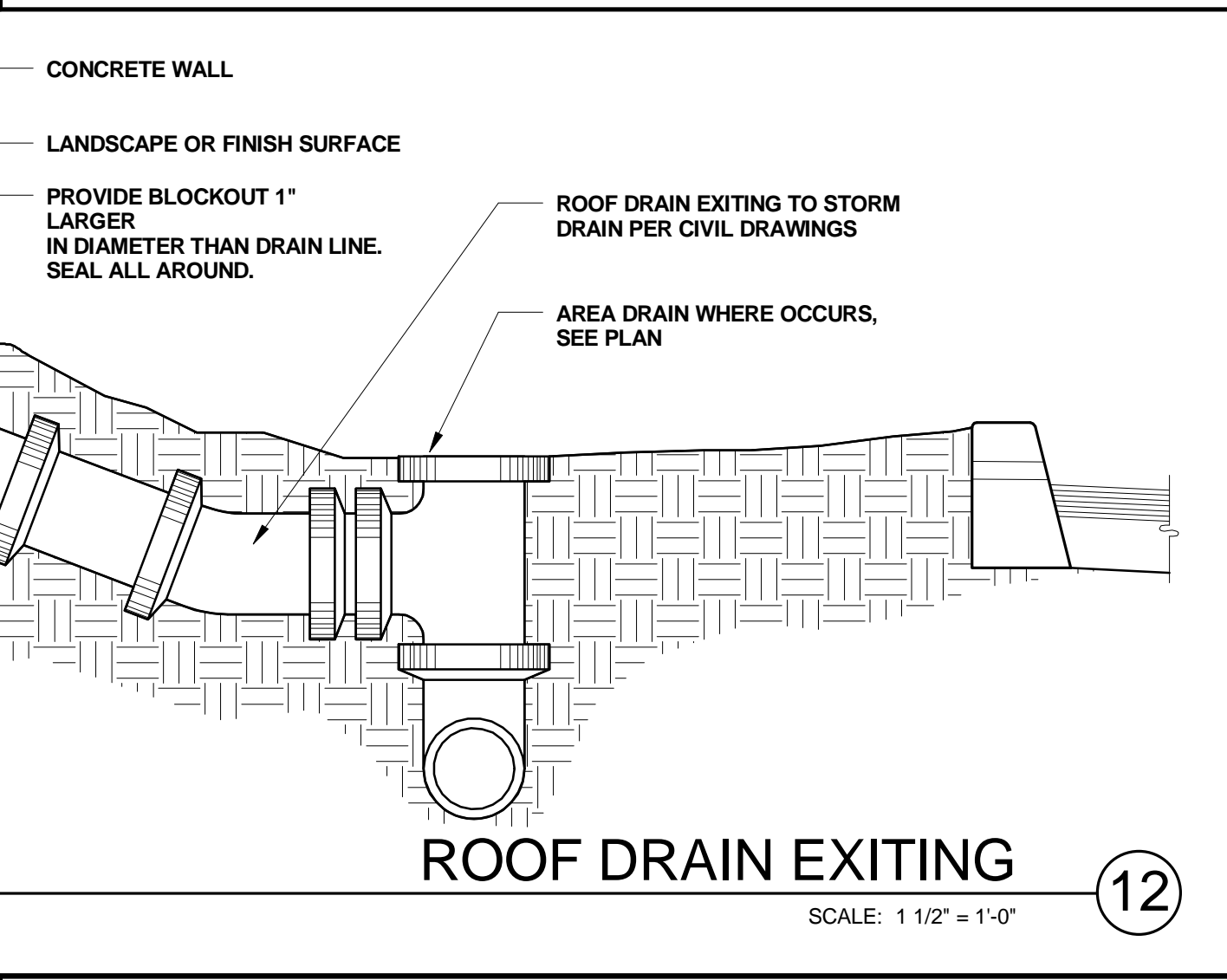
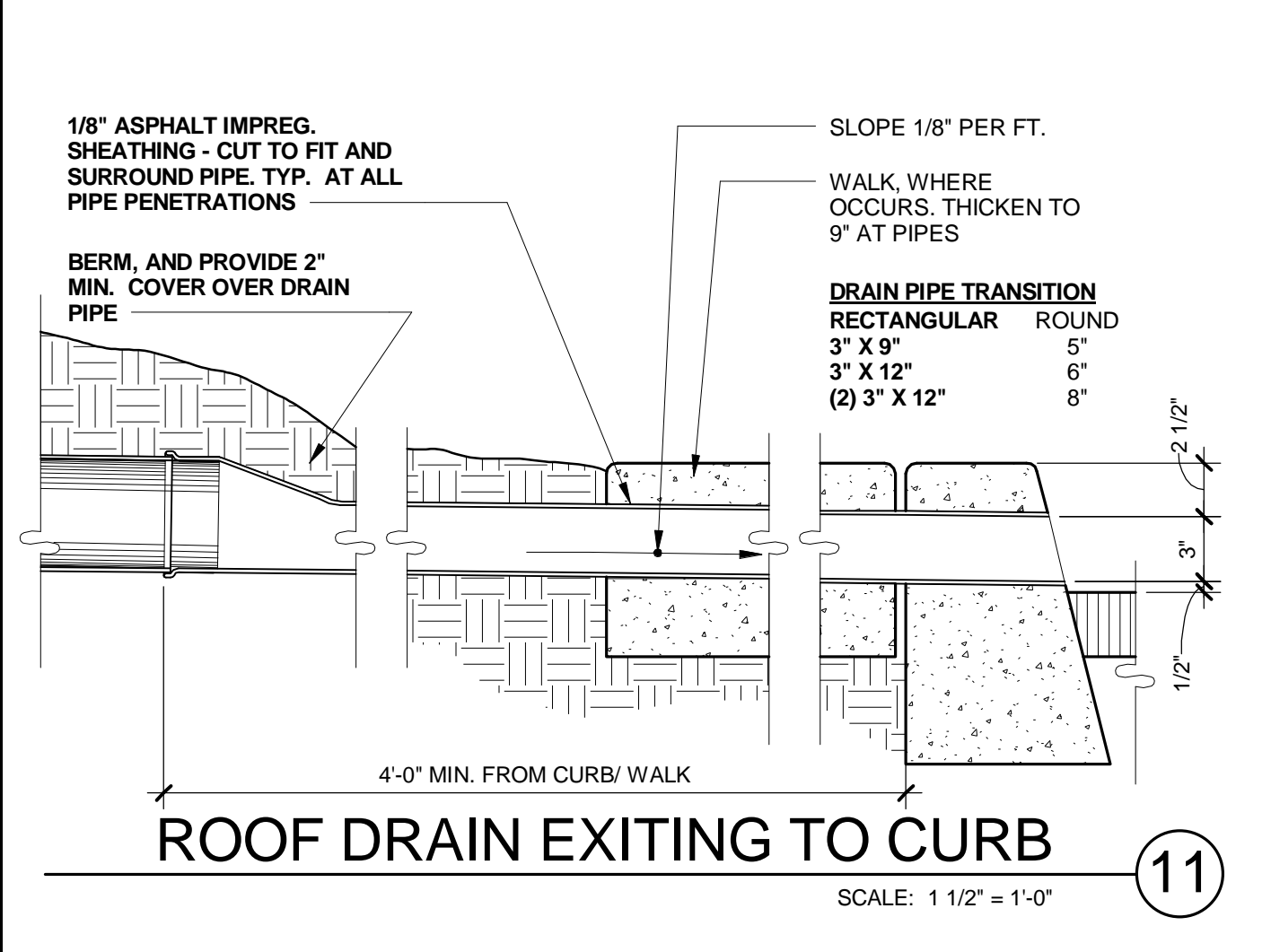
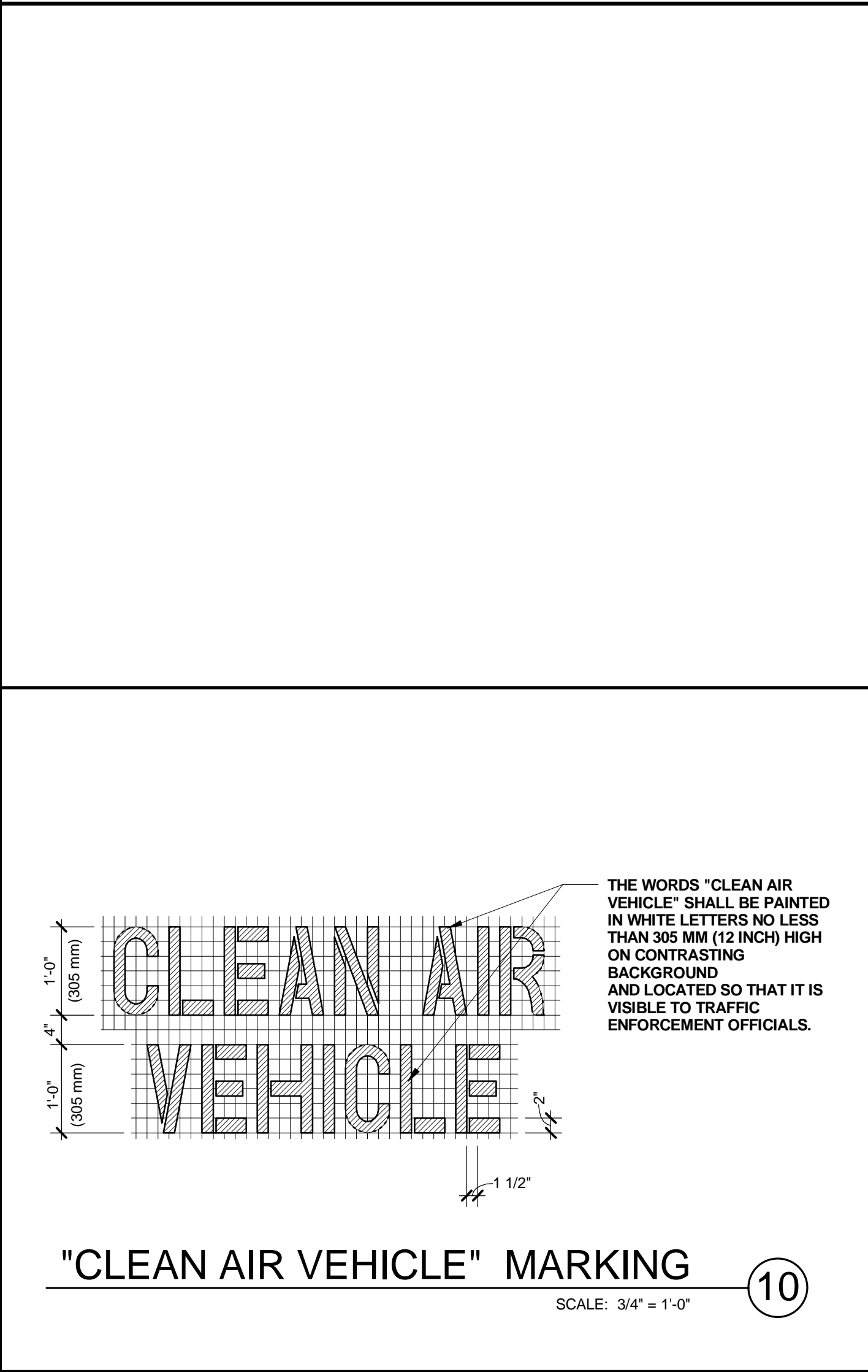
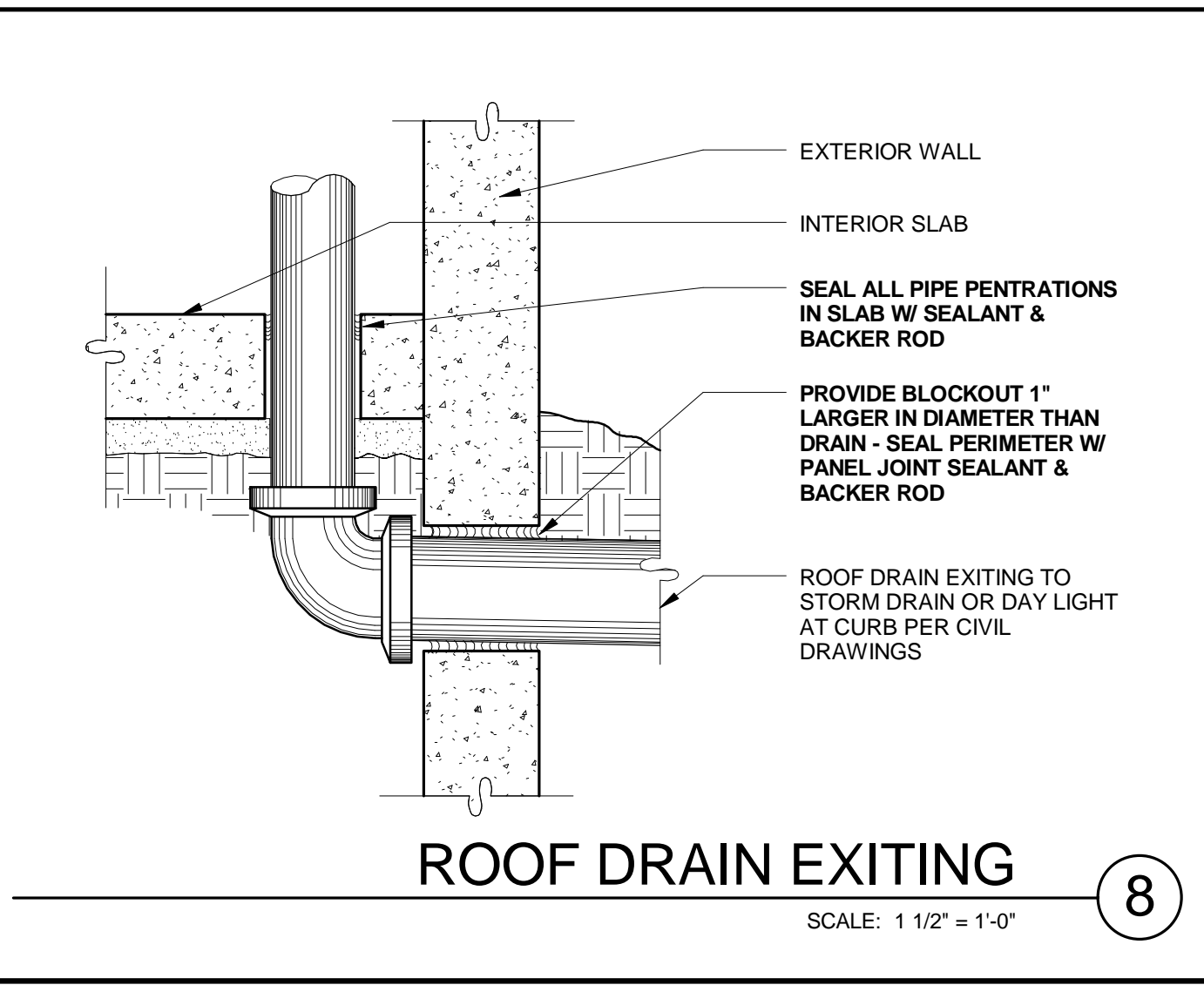
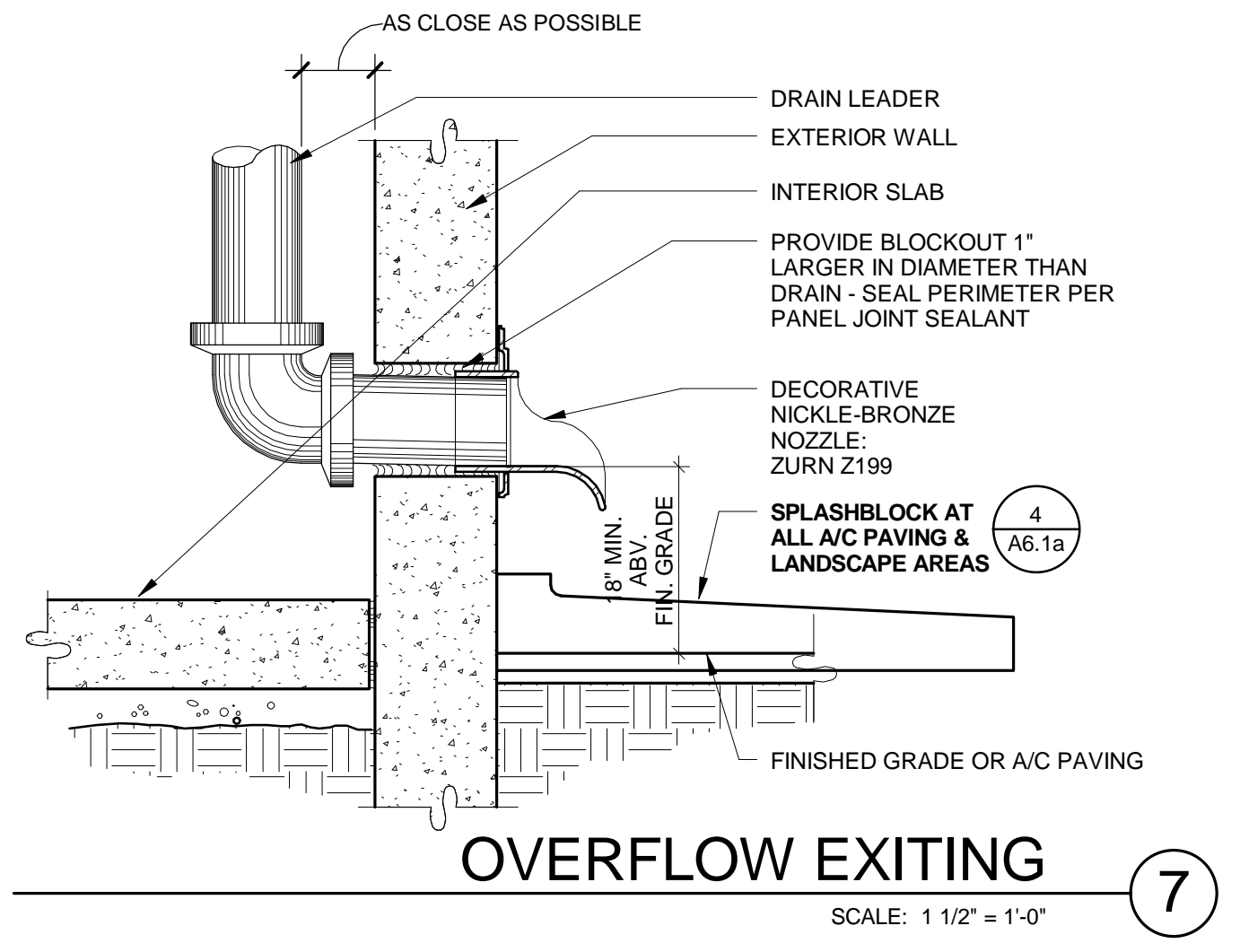
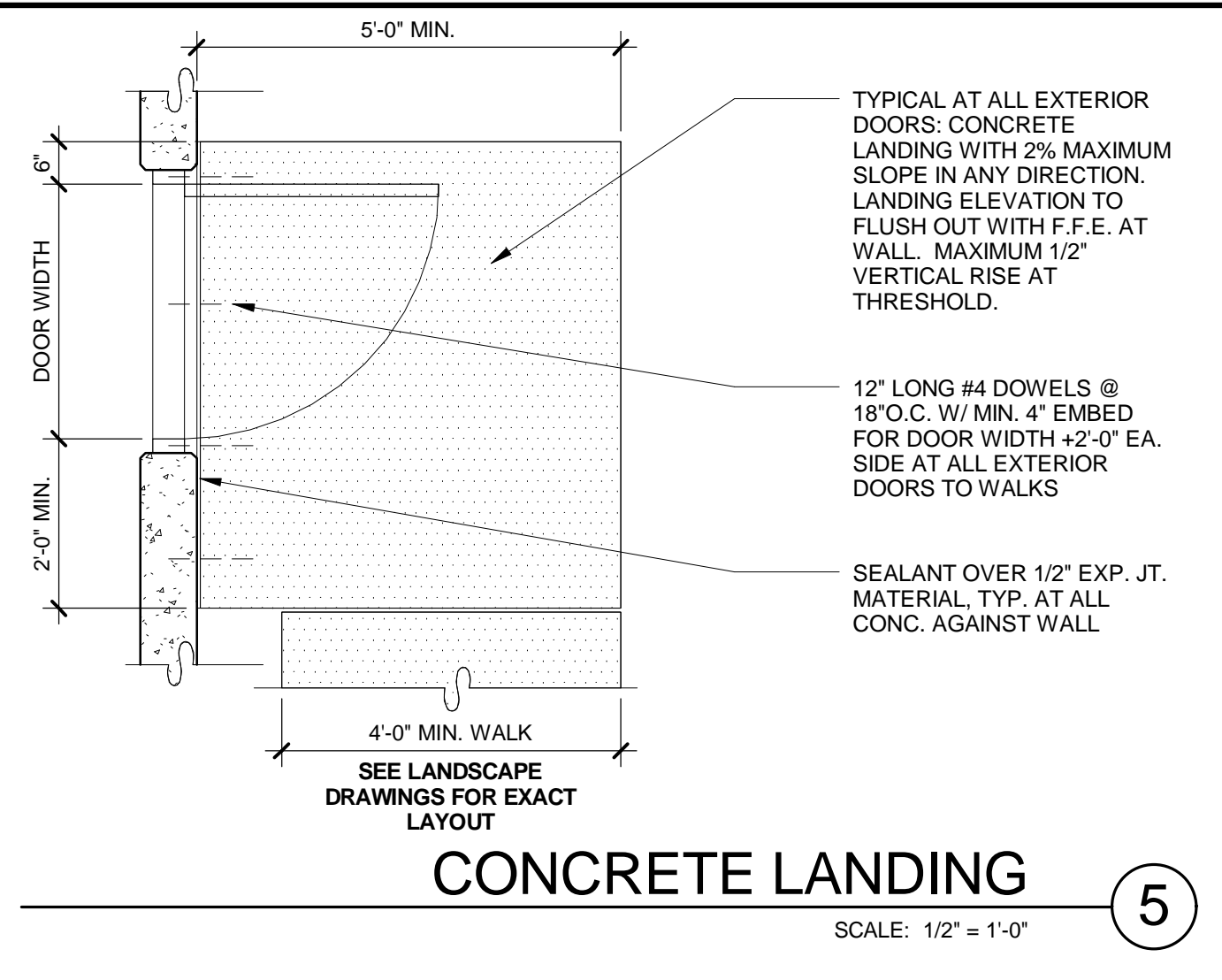
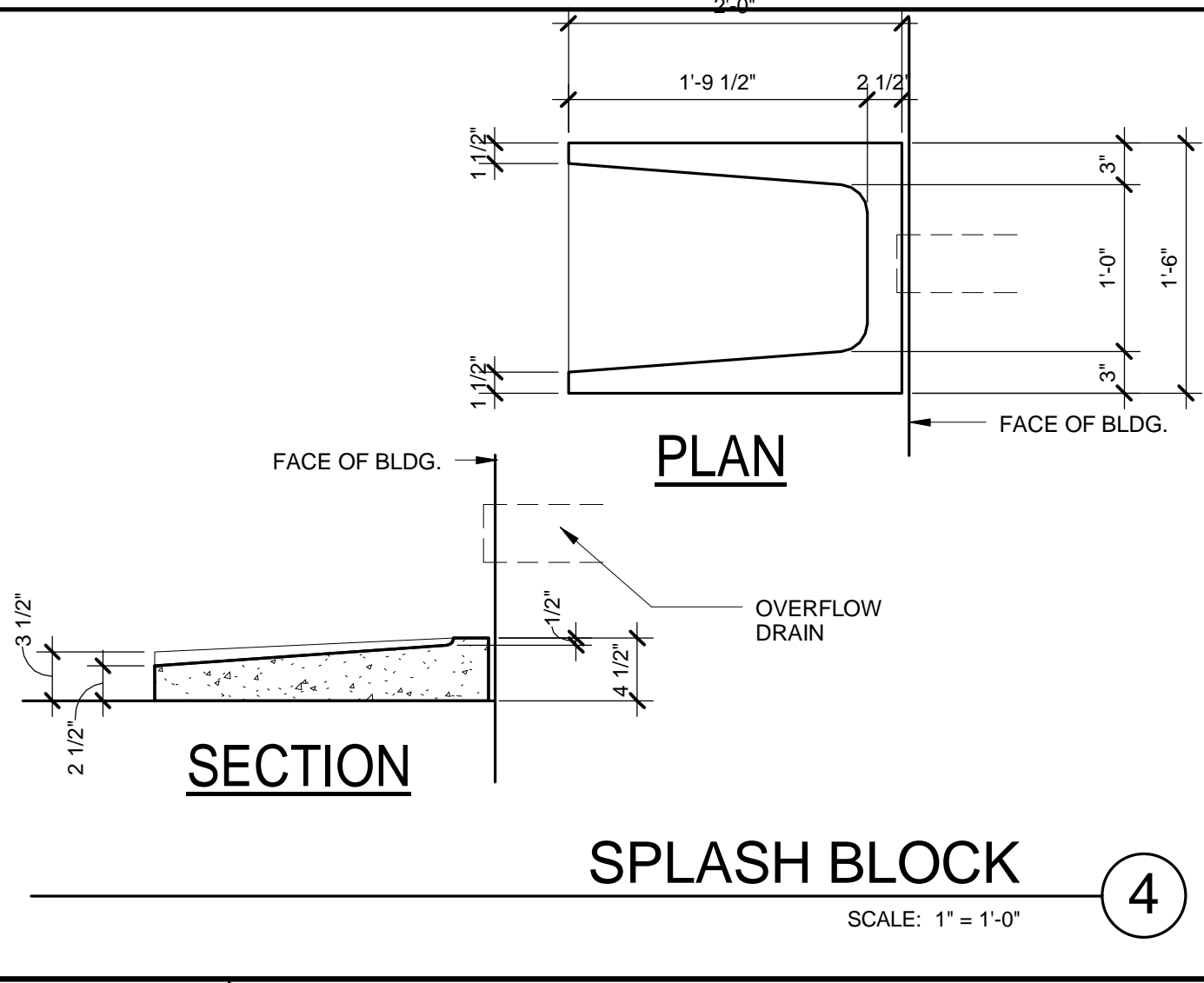
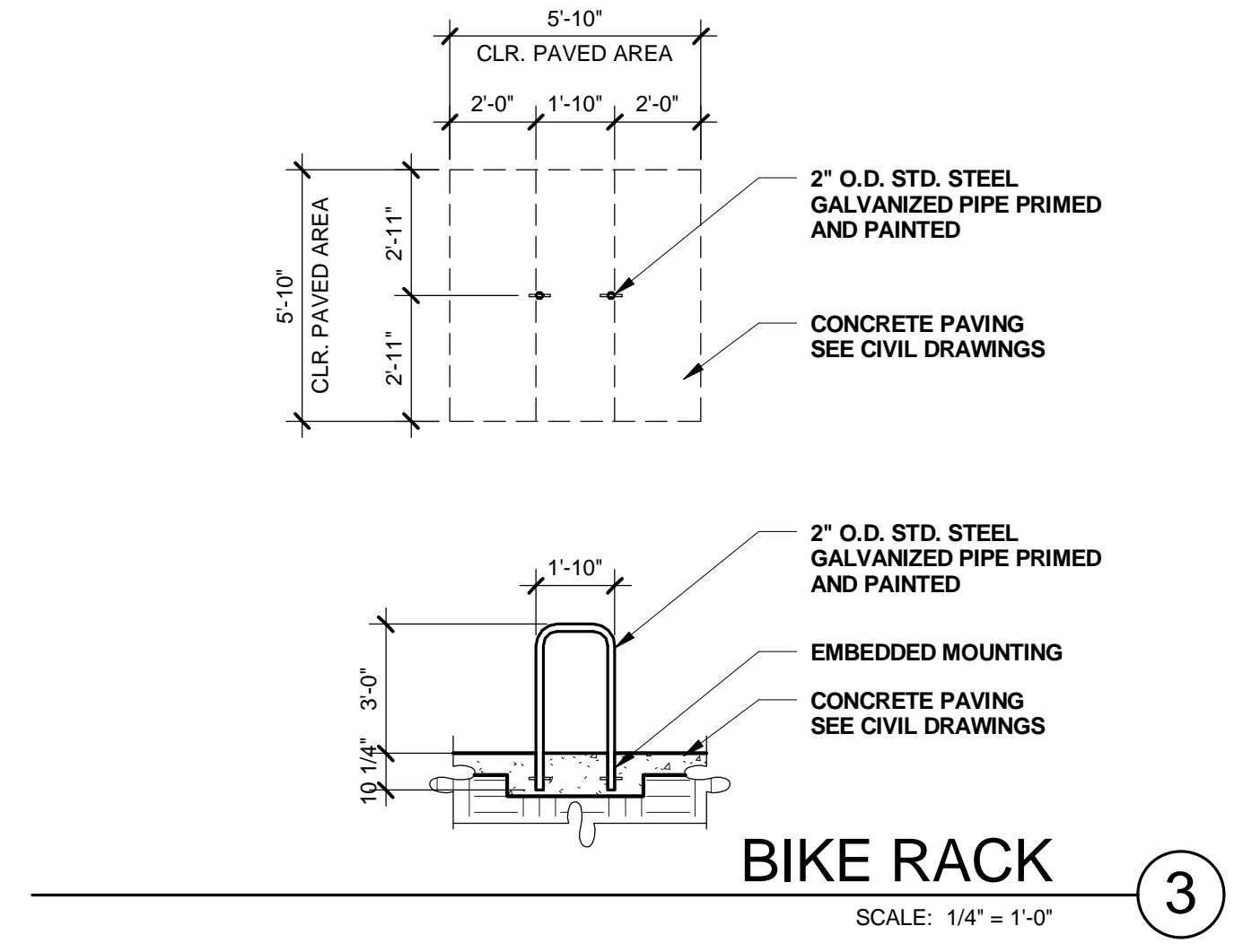
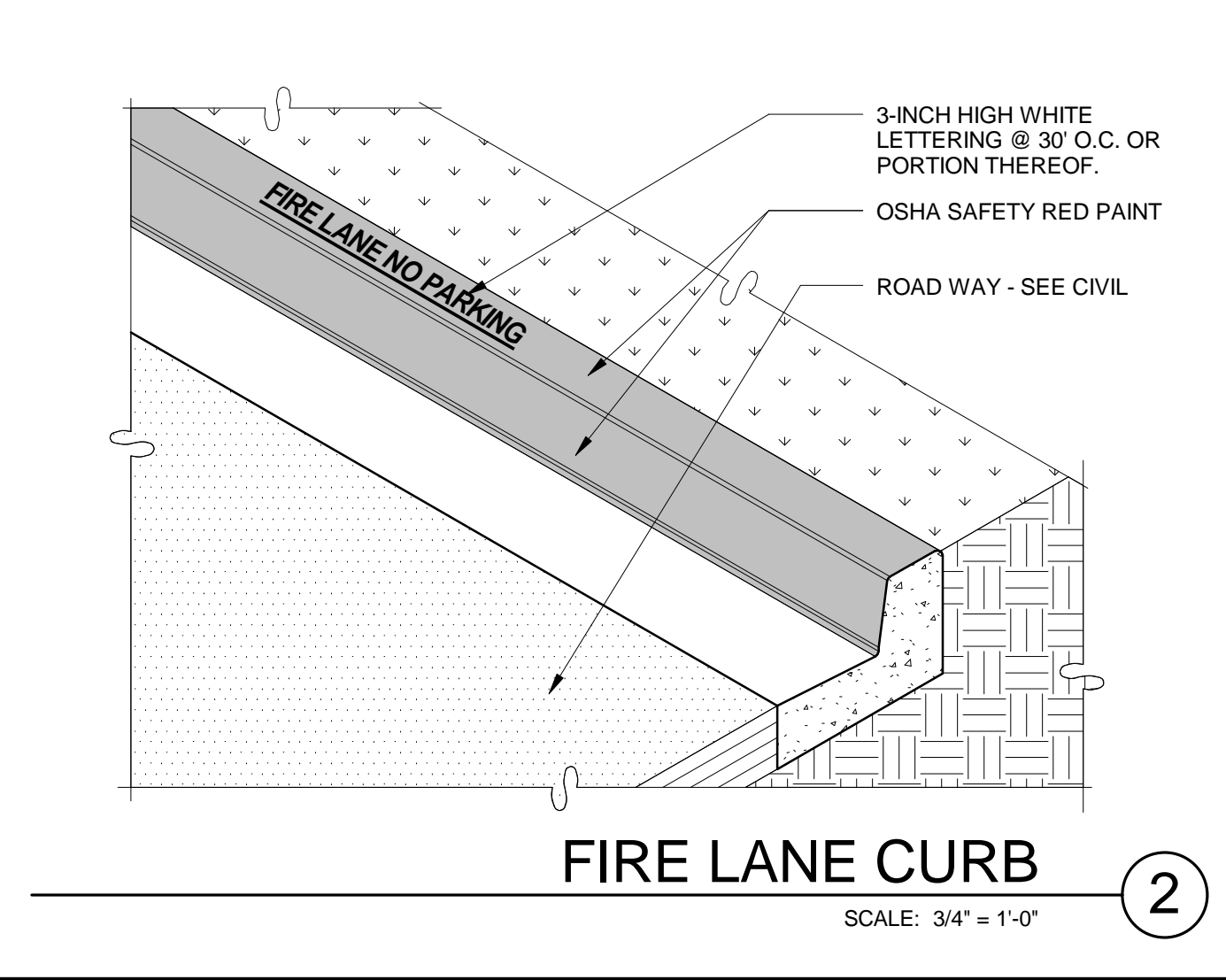
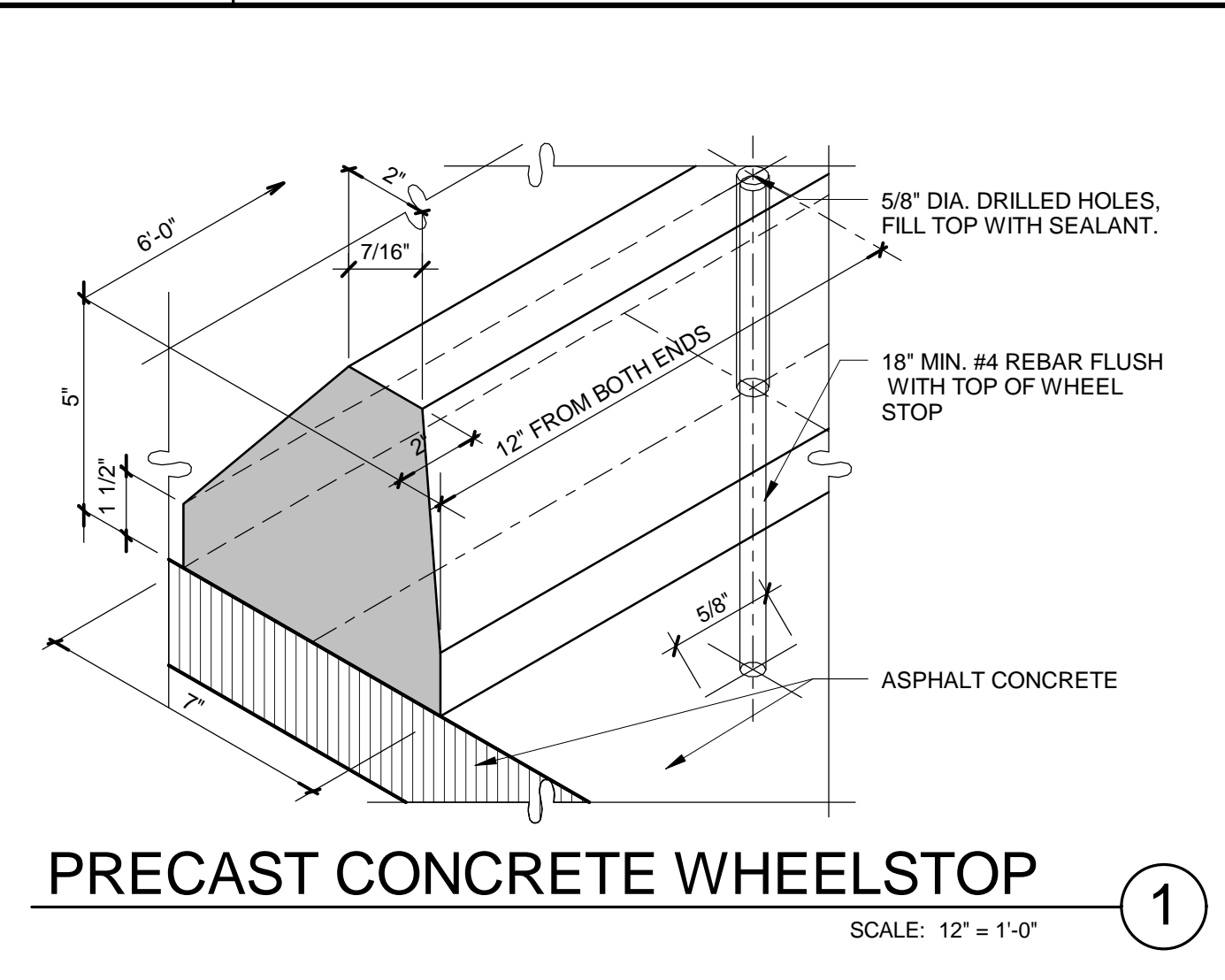
THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE KEPT ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.

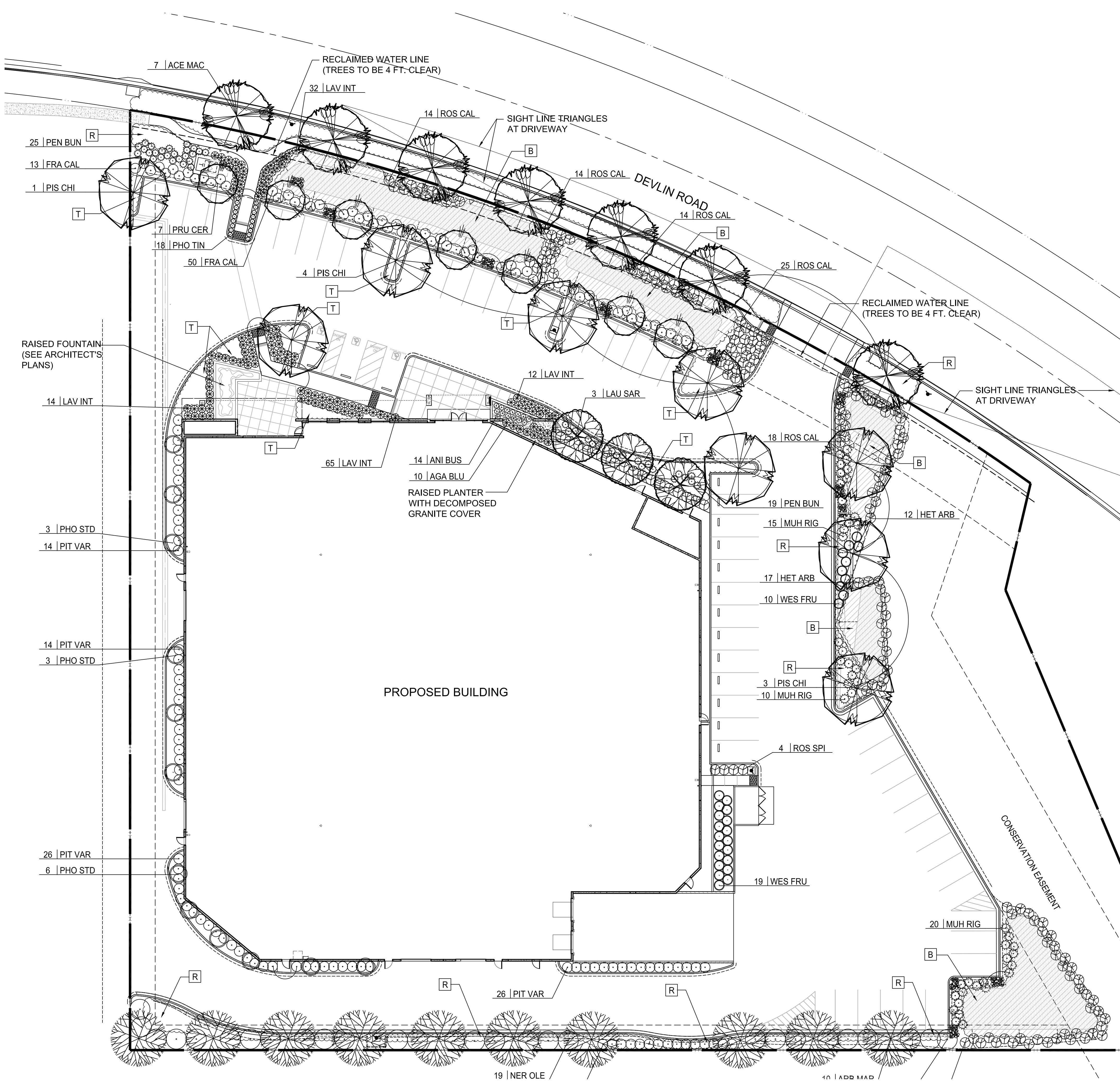
**DETAILS**

DATE	REMARKS
07.19.2017	USE PERMIT SUBMITTAL
12.21.2017	USE PERMIT COMMENT RESPONSE
02.13.2018	USE PERMIT COMMENT
05.21.2018	ROOF DESIGN REVISION

PA/PM:	N. DETORRES
DRAWN BY:	E.S.
JOB NO.:	SNR17-0004-00

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE KEPT ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.



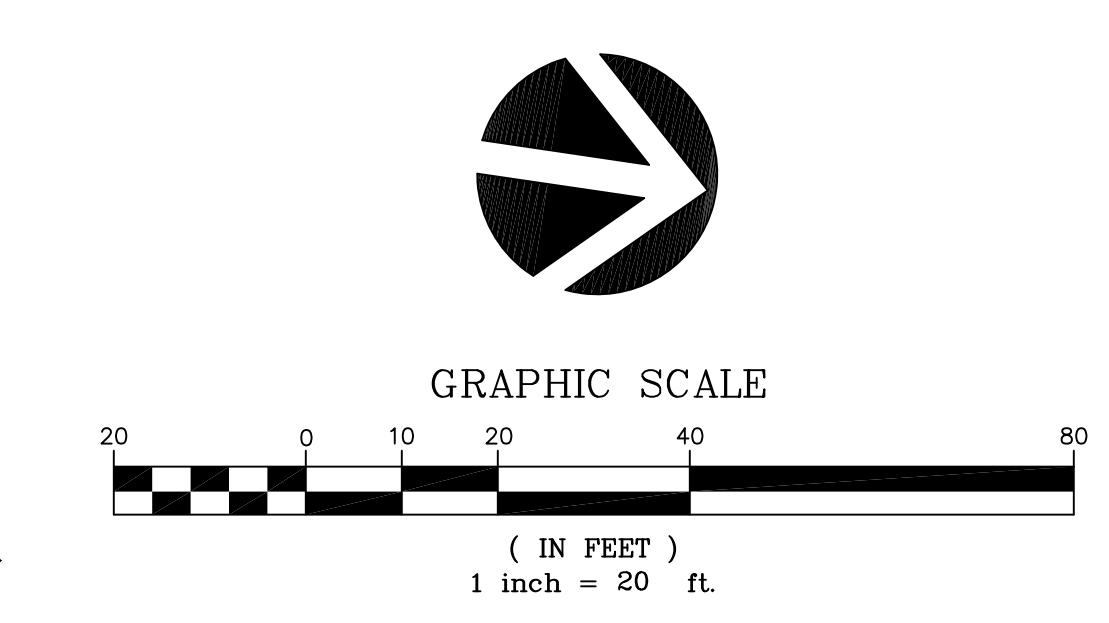


**PLANT MATERIALS LIST**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS WATER USE
<b>TREES:</b>				
ACE MAC	ACER MACROPHYLLUM	BIG LEAF MAPLE	15 GA	MED
ARB MAR	ARBUTUS 'MARINA' (STANDARD)	MADRONE	15 GA	LOW
LAU SAR	LAURUS N. 'SARATOGA' (STANDARD)	SARATOGA LAUREL	15 GA	LOW
PHO FRA	PHOTINIA FRASERI (STANDARD)	RED-LEAF PHOTINIA	15 GA	MED
PIS CHI	PISTACIA CHINENSIS	CHINESE PISTACHE	15 GA	LOW
PRU CER	PRUNUS CER. 'KRAUTER VESUVIUS'	FLOWERING PLUM	15 GA	MED
<b>SHRUBS:</b>				
AGA BLU	AGAVE 'BLUE GLOW'	AGAVE	5 GA	LOW
FRA CAL	FRANGULA CALIFORNICA 'EVE CASE'	COFFEEBERRY	5 GA	LOW
HET ARB	HETEROMELES ARBUTIFOLIA	TOYON	5 GA	LOW
NER OLE	NERIUM OLEANDER 'CASABLANCA'	WHITE OLEANDER	5 GA	LOW
PHO TIN	PHORMIUM 'TINY TIGER'	DWARF FLAX	5 GA	LOW
PIT VAR	PITTOSPORUM TOBIRA 'VARIEGATA'	VARIEGATED TOBIRA	5 GA	LOW
ROS CAL	ROSA CALIFORNICA	CALIFORNIA ROSE	5 GA	LOW
ROS SPI	ROSEMARINUS 'BLUE SPIRES'	ROSEMARY	5 GA	LOW
WES FUR	WESTRINGIA FRUTICOSA	COAST ROSEMARY	5 GA	LOW
<b>PERENNIALS &amp; GRASSES:</b>				
ANI BUS	ANIGOZANTHOS 'BASH BABY'	KANGAROO PAW	5 GA	LOW
LAV INT	LAVANDULA INT. 'PROVENCE'	LAVENDER	1 GA	LOW
MUH RIG	MUHLENBERGIA RIGENS	DEER GRASS	5 GA	LOW
PEN BUN	PENNISETUM 'RED BUNNY TAILS'	DWARF FOUNTAIN GRASS	5 GA	LOW
<b>GROUND COVERS:</b>				
R	ROSMARINUS PROSTRATE	PROSTRATE ROSEMARY	1 GA@36" O.C.	LOW
T	TEUCRIUM LUCIDRYS	GERMANDER	1 GA@36" O.C.	LOW
B	STORMWATER BASIN PLANTERS; NON-IRRIGATED PACIFIC COAST SEED 'NATIVE ORNAMENTAL MIX'; 80 LBS./ACRE			VERY LOW
	FESTUCA RUBRA (MOLATE RED FESCUE)			
	FESTUCA OVINA INGRATA (WESTERN FESCUE)			
	FESTUCA IDAHOENSIS (IDAHO FESCUE)			
	DESCHAMPSIA CAESPITOSA (TUFTED HAIRGRASS)			
	CAREX PRAEGRACILIS (CLUSTERED FIELD SEDGE)			

**GENERAL NOTES:**

- TOTAL SITE PLANTED LANDSCAPE AREA IS 18,293 SQUARE FEET; 13,885 SQ. FT. IRRIGATED.
- ALL IRRIGATED PLANTING SHALL BE WATERED BY FULLY AUTOMATIC, WATER-CONSERVING IRRIGATION SYSTEM WITH A WEATHER-BASED IRRIGATION CONTROLLER.
- ALL PLANTING AREAS (EXCEPT STORMWATER BASINS) SHALL RECEIVE A 3" LAYER OF FIRBARK MULCH DRESSING.
- ALL STORMWATER BASIN BOTTOMS SHALL RECEIVE A 2" LAYER OF 1/2" Ø RIVER-WASHED PEBBLES (CONTINUOUS COVERAGE).
- SITE LINE TRIANGLES AT DRIVEWAY PER CIVIL ENGINEER PLANS; LANDSCAPING AT THE PROJECT DRIVEWAY SHALL BE MAINTAINED TO NOT INTERFERE WITH SIGHT LINES REQUIRED FOR SAFE STOPPING DISTANCE ON DEVLIN ROAD. NO ITEMS THAT AREA WIDER THAN 18 INCHES CAN BE TALLER THAN 30 INCHES OTHER THAN STREET TREES AND TRAFFIC DEVICES. STREET TREES SHOULD BE DECIDUOUS AND HAVE BRANCHES LOWER THAN 4 FEET IN HEIGHT REMOVED ONCE THE TREE IS ESTABLISHED.



REFER TO SHEET L2 FOR HYDROZONE PLAN AND WELO CALCULATIONS

REVISIONS

1	28-18	STORMWATER AREAS
2	27-18	Acq. - Roof Change
3	27-18	
4		
5		
6		

Thomas Baak & Associates, LLP  
Landscape Architects  
1620 North Main Street, Suite 4  
Walnut Creek, CA 94596  
Ph: 925.933.2583

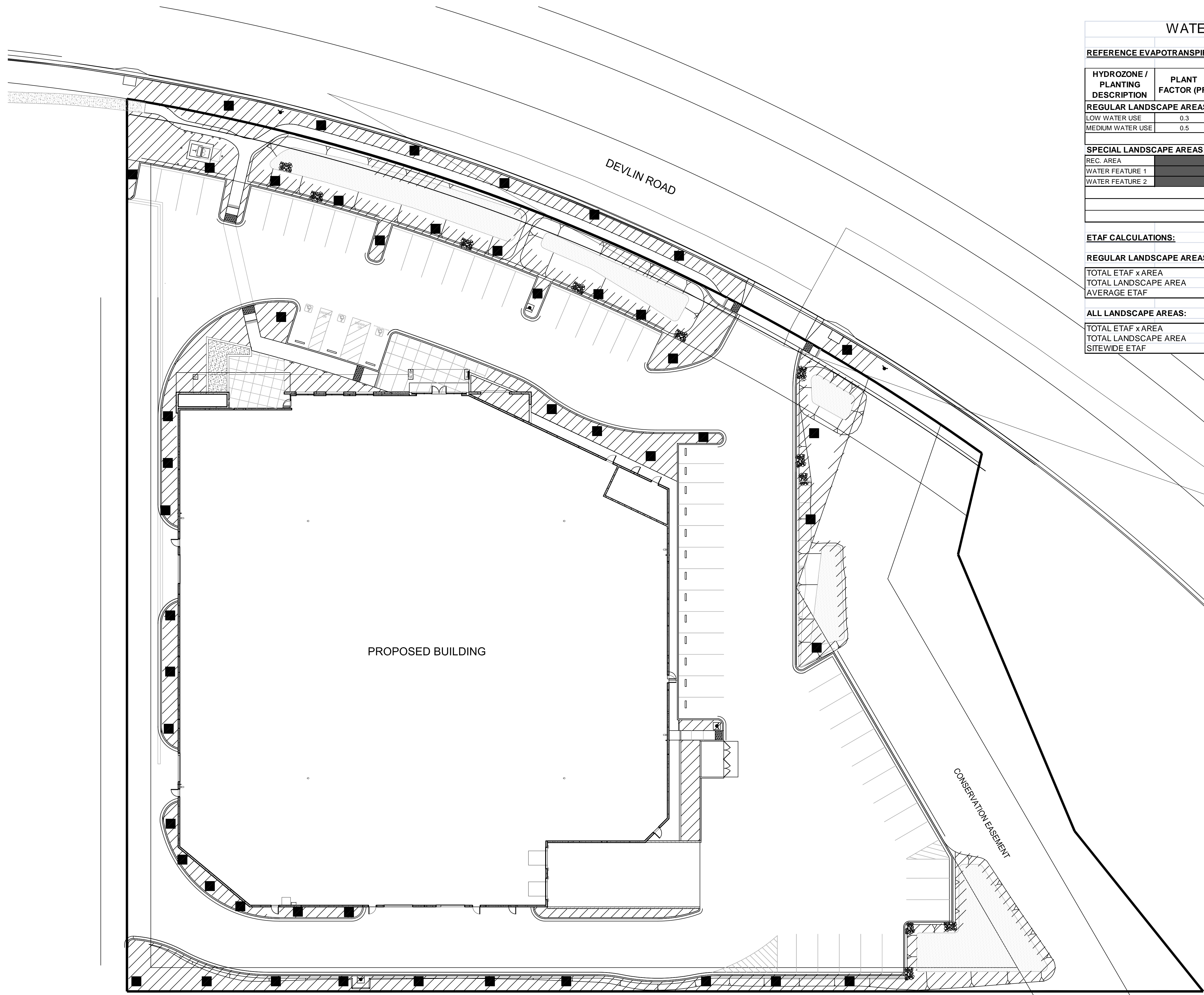
**SHEEHY BUILDING  
DEVLIN ROAD SOUTH NAPA  
NAPA, CALIFORNIA**

**PRELIMINARY  
LANDSCAPE  
PLAN**

DESIGNED:	RS	DRAWN:	KD
CHECKED:		JOB NO.:	
DATE		05-21-2018	
SCALE		NOTED	

SHEET  
**L1**  
OF SHEETS





### WATER EFFICIENT LANDSCAPE WORKSHEET

REFERENCE EVAPOTRANSPIRATION (Eto):		45.8					
HYDROZONE / PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF / IE)	LANDSCAPE AREA (sq. ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
<b>REGULAR LANDSCAPE AREAS:</b>							
LOW WATER USE	0.3	DRIP	0.81	0.3703703	15,870	5877.776661	166905.3
MEDIUM WATER USE	0.5	BUBBLER	0.81	0.6172839	432	266.666448	7572.3
<b>TOTALS:</b>					16302	6144	
<b>SPECIAL LANDSCAPE AREAS:</b>							
REC. AREA				0	0	0	0
WATER FEATURE 1				1	203	203	5764.388
WATER FEATURE 2				0	0	0	0
<b>TOTALS:</b>					203	203	
<b>ETWU TOTAL:</b>						180,242	
<b>MAXIMUM ALLOWED WATER ALLOWANCE (MAWA):</b>						211,481	
<b>ETAF CALCULATIONS:</b>							
<b>REGULAR LANDSCAPE AREAS:</b>							
TOTAL ETAF x AREA				6,144			
TOTAL LANDSCAPE AREA				16,302			
AVERAGE ETAF				0.38			
<b>ALL LANDSCAPE AREAS:</b>							
TOTAL ETAF x AREA				6,347			
TOTAL LANDSCAPE AREA				16,505			
SITEWIDE ETAF				0.38			

**HYDROZONE LEGEND:**

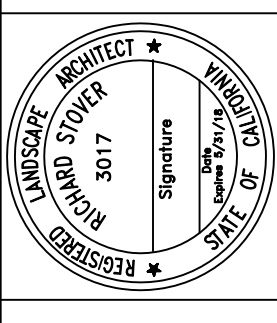
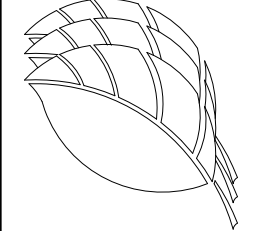
- LOW WATER USE PLANTING
- MEDIUM WATER USE - TREES
- SPECIAL AREA - FOUNTAIN

**GRAPHIC SCALE**

( IN FEET )  
1 inch = 20 ft.

REVISIONS	
▲	STORMWATER AREAS
▲	1-28-18
▲	Arch. Roof Change
▲	3-27-18

Thomas Baak & Associates, LLP  
 Landscape Architects  
 1620 North Main Street, Suite 4  
 Walnut Creek, CA 94596  
 Ph: 925.933.2583



**SHEEHY BUILDING**  
**DEVLIN ROAD SOUTH NAPA**  
 NAPA, CALIFORNIA

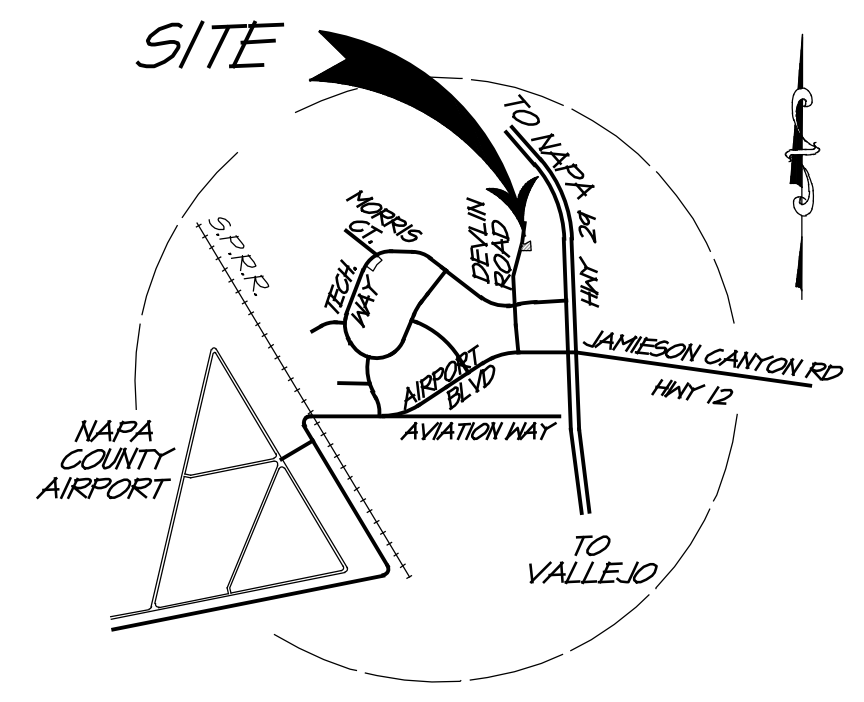
**HYDROZONE PLAN**

DESIGNED: RS	DRAWN: KD
CHECKED:	JOB NO:
DATE 05-21-2018	
SCALE NOTED	

SHEET  
**L2**  
 OF SHEETS

# SHEEHY BUILDING USE PERMIT PLANS

NAPA COUNTY CALIFORNIA



**LOCATION MAP**  
NOT TO SCALE

### PROJECT INFORMATION

**DEVELOPER:** RUDD PROPERTIES, LLC  
2416 E 37TH STREET NORTH  
WICHITA, KS 67214

**CONTACT:** GUY BYRNE  
GUY.BYRNE@RICO.COM

**SITE ADDRESS:** DEVLIN ROAD  
NAPA, CA 94558

**CIVIL ENGINEER:** RSA  
1515 FOURTH STREET  
NAPA, CA 94554

**CONTACT:** ALAN SPENCE  
TEL: (707) 252-3301

**ARCHITECT:** WARE MALCOMB  
4683 CHABOT DRIVE, SUITE 300  
PLEASANTON, CA 94588

**(E) PARCEL NO & AREA:** 05T-210-038 & 05T-210-031 (2.14 ACRES)

**EXISTING USE:** VACANT

**PROPOSED USE:** COMMERCIAL / INDUSTRIAL

**NAPA COUNTY ZONING:** IP-AC  
INDUSTRIAL PARK WITH  
AIRPORT COMPATIBILITY OVERLAY

**AIRPORT AREA SPECIFIC  
PLAN LAND USE:** BUSINESS/INDUSTRIAL PARK

**WATER:** CITY OF AMERICAN CANYON

**RECLAIMED WATER:** NAPA SANITATION DISTRICT

**SEWER:** NAPA SANITATION DISTRICT

**GAS & ELECTRIC:** PG&E

**TELEPHONE:** AT&T

### SUBMITTAL NOTE

SEPARATE SUBMITTALS REQUIRED FOR UNDERGROUND FIRE LINES, FIRE PUMP, AUTOMATIC FIRE SPRINKLERS, FIRE ALARM SYSTEMS, KITCHEN HOOD EXTINGUISHING SYSTEMS, AND HIGH PILED STORAGE (ANY COMBUSTIBLE STORED OVER 12 FEET IN HEIGHT).

### BOUNDARY NOTE

THE BOUNDARIES SHOWN HEREIN ARE BASED UPON TOPOGRAPHIC MAP PREPARED BY RSA, DATE: APRIL, 2017

### TOPOGRAPHIC MAP

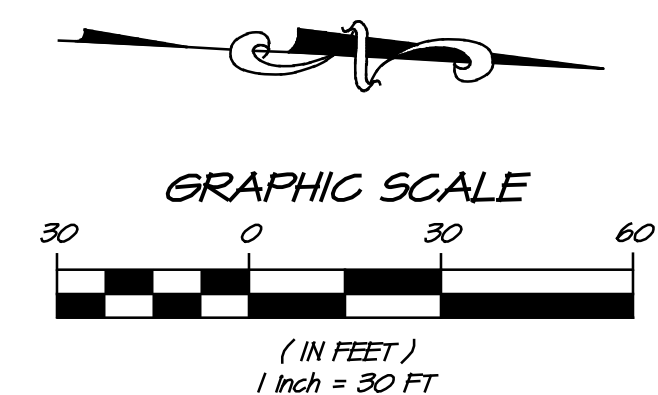
TOPOGRAPHIC MAP PREPARED BY RSA,  
DATE: APRIL, 2017

### SHEET INDEX

UP1.0	COVER SHEET
UP2.0	GRADING PLAN
UP3.0	UTILITY PLAN
UP4.0	FIRE CIRCULATION PLAN

### PARKING SUMMARY

ACCESSIBLE	3
STANDARD	44
COMPACT	11
<b>TOTAL</b>	<b>58</b>



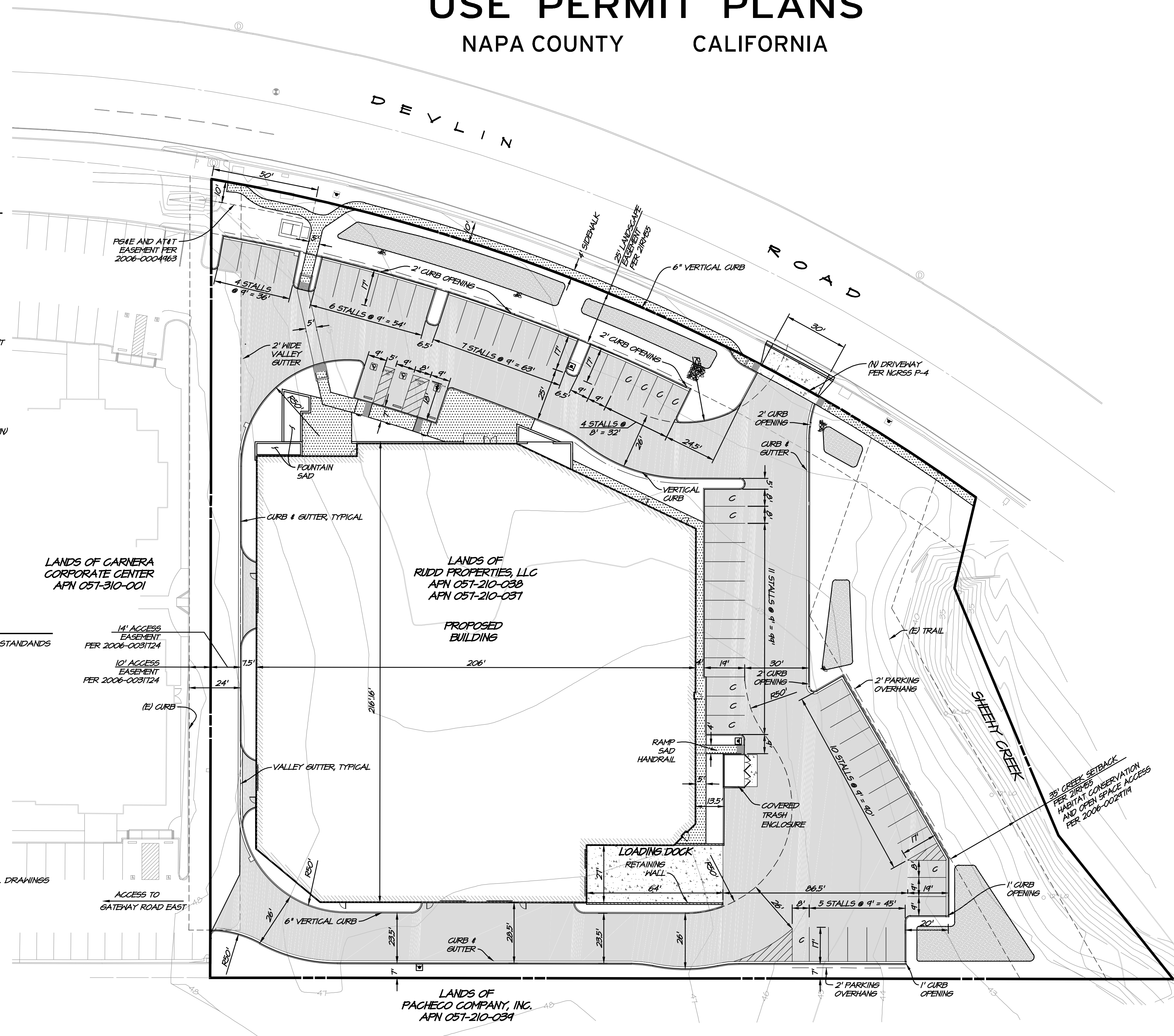
EXISTING		PROPOSED	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	CATCH BASIN		DRAIN INLET
	CURB AND GUTTER		CURB & GUTTER
	DROP INLET		6" VERTICAL CURB
	EXISTING CONTOUR		FIRE HYDRANT ASSEMBLY
	WIRE FENCE		GRADE BREAK
	HOOD FENCE		SANITARY SEWER CLEAN OUT
	POWER POLE W/ GUY WIRE		STORM DRAIN CLEANOUT
	ROADSIDE SIGN		SANITARY SEWER LINE
	SANITARY SEWER LINE		PROPERTY LINE EASEMENT
	SANITARY SEWER MANHOLE		SLOPE (2% UNLESS OTHERWISE SHOWN)
	SPOT ELEVATION		STORM DRAIN LINE
	STORM DRAIN LINE		STREET CENTERLINE
	STREET CENTERLINE		FIRE WATER LINE
	WATER LINE		DOMESTIC WATER LINE
	WATER METER		WATER METER
	OVERHEAD ELECTRIC		WATER TEE
	STREET LIGHT		WATER VALVE
	TREE TO BE REMOVED		VALLEY GUTTER

### ABBREVIATIONS

AB	AGGREGATE BASE	NSD	NAPA SANITATION DISTRICT
AC	ASPHALT CONCRETE	PA	PLANTING AREA
APN	ASSESSORS PARCEL NUMBER	POC	POINT OF CONNECTION
BR	BIO-RETENTION	PRKS	PARKING
BH	BACK OF WALK	PL	PROPERTY LINE
CB	CATCH BASIN	ROH	RIGHT OF WAY
CH	CHANNEL	RPD	REDUCED PRESSURE DEVICE
CO	CLEANOUT	RWL	RAIN WATER LEADER
C	COMPACT PARKING	RW	RETAINING WALL
CL	CENTER LINE	S	SOUTH
CONC	CONCRETE	SAD	SEE ARCHITECTURAL DRAWINGS
CV	CHECK VALVE	SD	STORM DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE	S=	SLOPE EQUALS
DI	DROP INLET	SDE	STORM DRAIN EASEMENT
DH	DOMESTIC WATER	SSMH	STORM DRAIN MANHOLE
E	EAST	SF	SQUARE FOOT
EX(IST)	EXISTING	SPR	SPRINKLER
EP	EDGE OF PAVEMENT	SLAD	SEE LANDSCAPE ARCHITECTURAL DRAWINGS
FDC	FIRE DEPT CONNECTION	SL	SEWER LATERAL
FF	FINISH FLOOR ELEVATION	SS	SANITARY SEWER
FG	FINISH GRADE	SSD	SEE STRUCTURAL DRAWINGS
FH	FIRE HYDRANT	SSCO	SANITARY SEWER CLEANOUT
FL	FLOW LINE	SSE	SANITARY SEWER EASEMENT
FS	FIRE SERVICE LATERAL	SSMH	SANITARY SEWER MANHOLE
FH	FIRE WATER	STD	STANDARD
GB	GRADE BREAK	SNK	SIDEWALK
HP	HIGH POINT	TC	TOP OF CURB
INV	INVERT	TH	TOP OF HALL
IRR	IRRIGATION	TYP	TYPICAL
JB	JUNCTION BOX	U.O.N.	UNLESS OTHERWISE NOTED
JP	JOINT POLE	V.I.F.	VERIFY IN FIELD
LG	LIP OF GUTTER	W	WEST
MH	MANHOLE	WM	WATER METER
N	NORTH	WV	WATER VALVE

### HATCH LEGEND

- (P) BUILDING
- ASPHALT CONCRETE SURFACED ROAD DESIGNED AND MAINTAINED TO SUPPORT LOAD EQUIVALENT TO H20-44
- 12" THICK CONCRETE WITH #4 @ 12" O.C. EACH WAY OVER CLASS 2 AB COMPACTED TO 95% RELATIVE COMPACTION
- 6" THICK CONCRETE WITH #4 @ 12" O.C. EACH WAY OVER CLASS 2 AB COMPACTED TO 95% RELATIVE COMPACTION
- BIORETENTION AREA



REVISIONS

DATE

NO.

BY

APPRO

1515 FOURTH STREET  
NAPA, CALIF. 94559  
OFFICE (707) 252-3301  
WWW.RSACIVIL.COM

1950  
RSA+ CONSULTING CIVIL ENGINEERS + SURVEYORS

CALIFORNIA

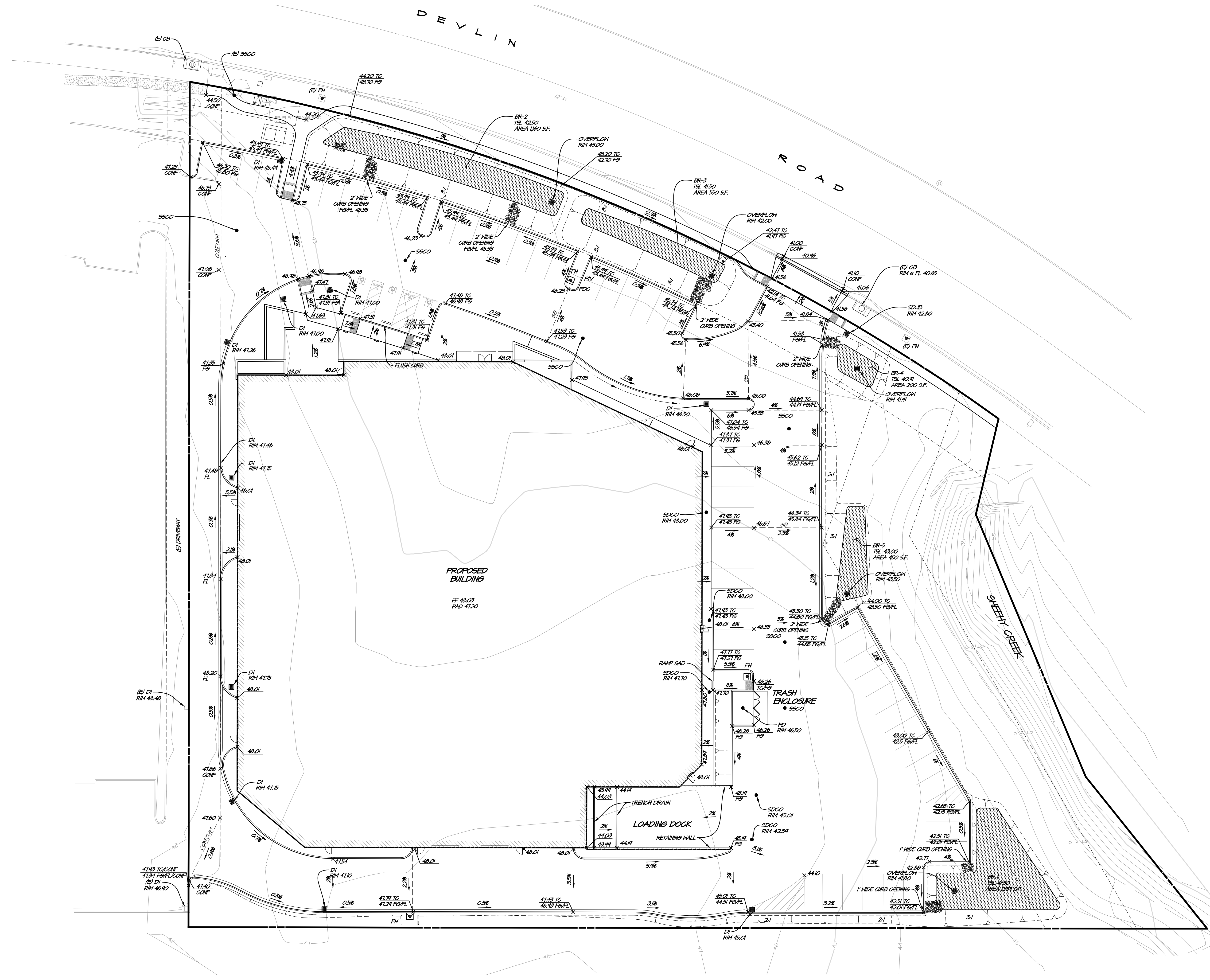
NAPA COUNTY

SHEEHY BUILDING

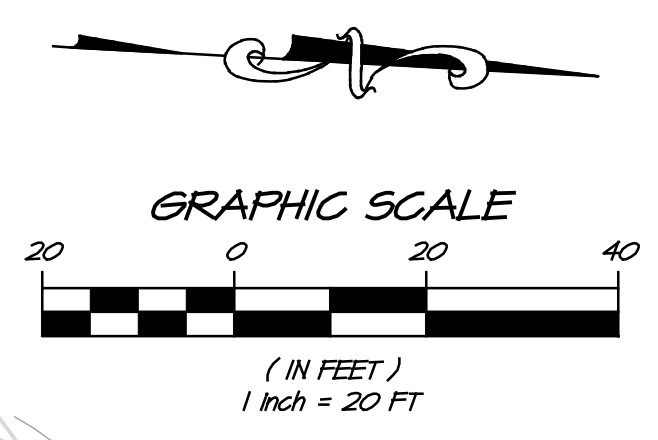
COVER SHEET

REGISTERED PROFESSIONAL ENGINEER  
RICHARD SPENCE  
No. 41132  
Exp. 3-31-19  
CIVIL ENGINEER  
STATE OF CALIFORNIA

DATE: 01/24/2018  
DRAWN: DDB  
DESIGNED: EGB  
CHECKED: ARS  
JOB NO.: 411704.0  
SHEET NO.: UP1.0  
1 OF 4 SHEETS



**GRADING NOTE**  
 ALL GRADES ARE FINISH GRADES (FG)  
 UNLESS NOTED OTHERWISE.



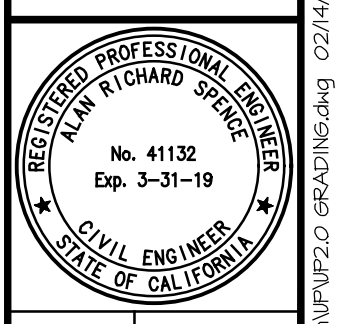
NO.	DATE	REVISIONS	BY	APPD

**RSA+**  
 CONSULTING CIVIL ENGINEERS & SURVEYORS • (1986)

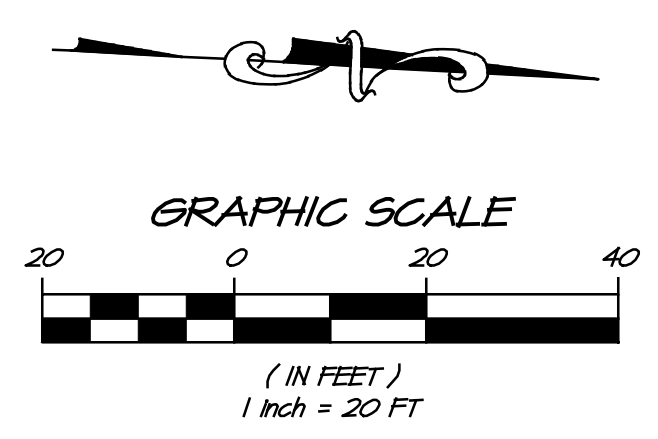
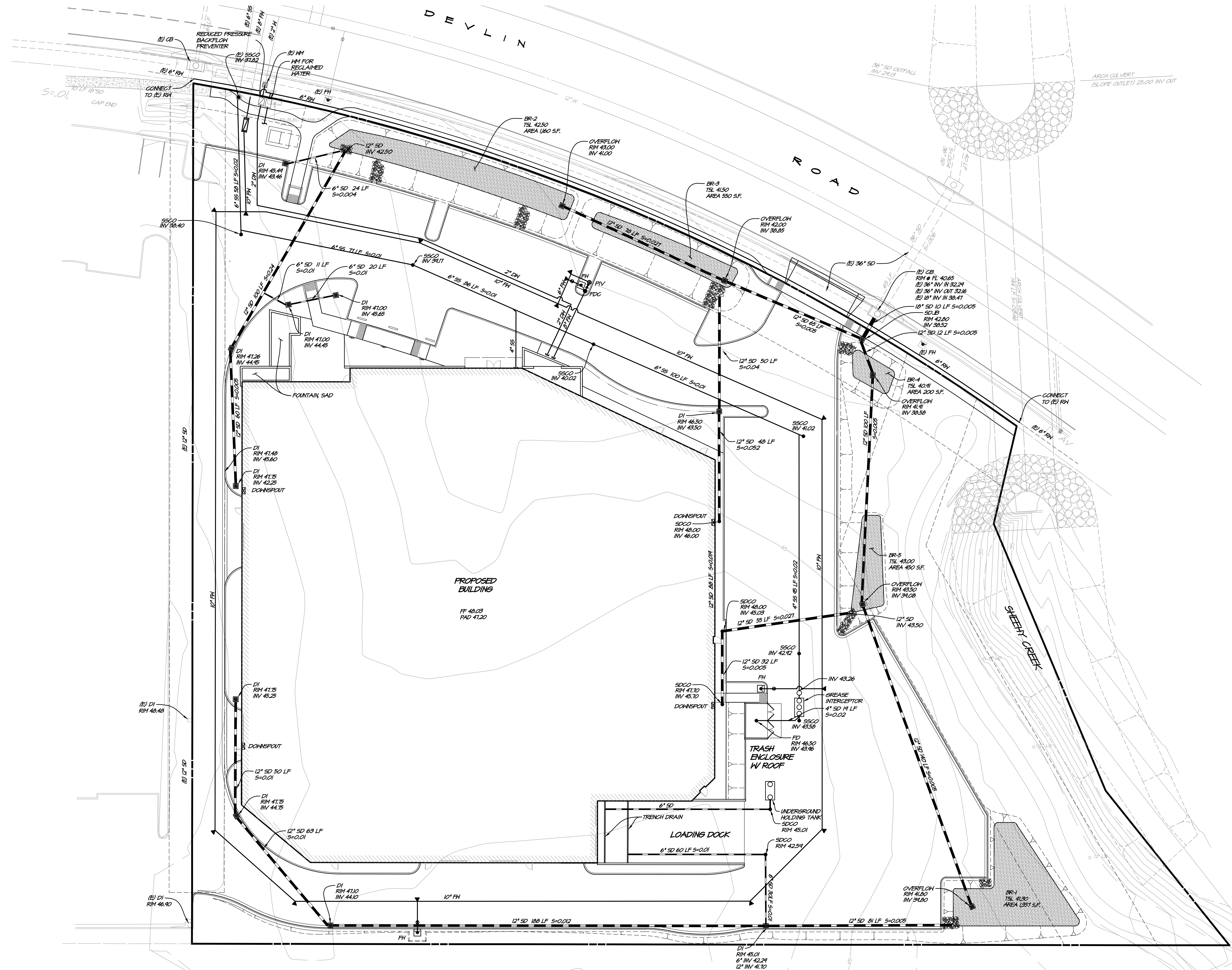
1515 FOURTH STREET  
 NAPA, CALIF. 94559  
 OFFICE (707) 252-3301  
 • WWW.RSACALIF.COM •

**SHEEHY BUILDING  
 SHEEHY GRADING PLAN**

NAPA COUNTY CALIFORNIA



DATE	01/24/2018
DRAWN	DPB
DESIGNED	ECB
CHECKED	ARS
JOB NO.	41704.0
SHEET NO.	UP2.0
2 OF 4 SHEETS	



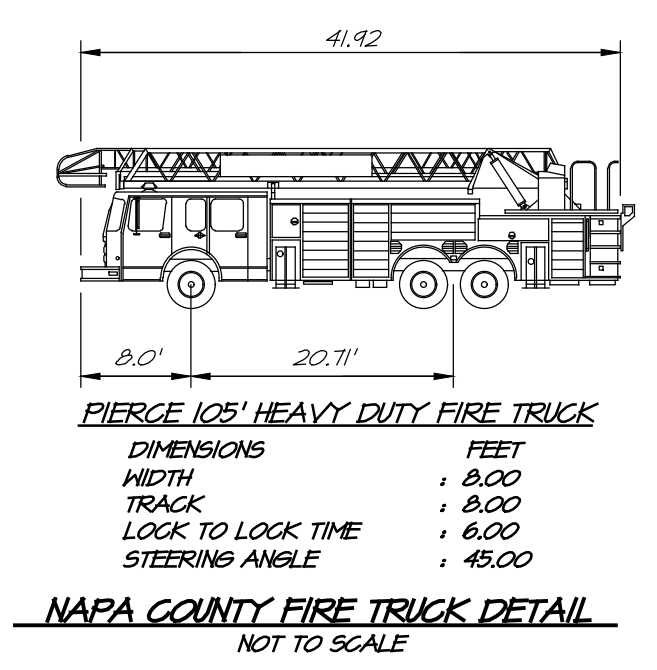
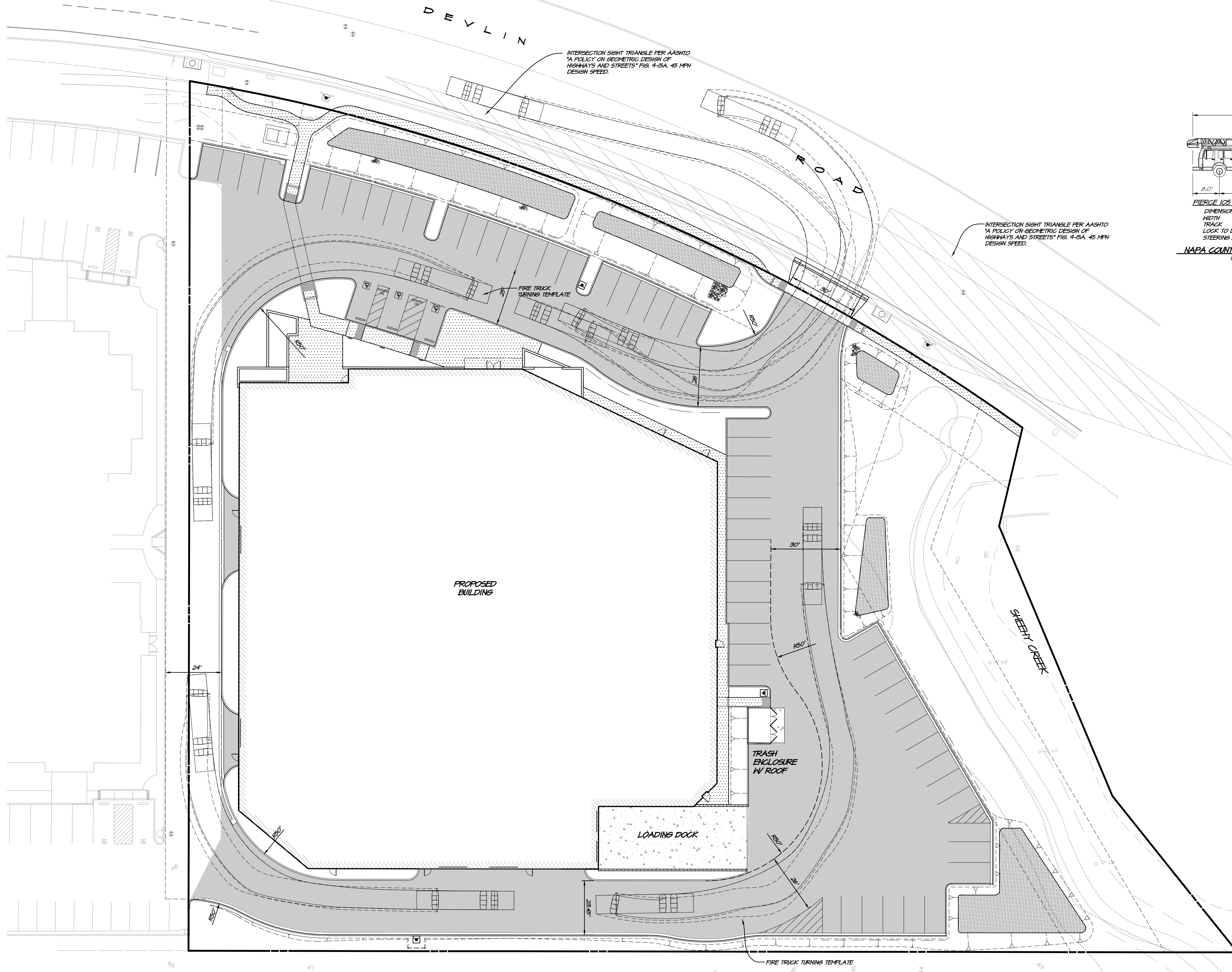
NO.	DATE	REVISIONS	BY	APPD

**RSA+**  
 RSA+ CONSULTING CIVIL ENGINEERS + SURVEYORS • 1980  
 1515 FOURTH STREET  
 NAPA, CALIF. 94559  
 OFFICE [707] 252.3301  
 WWW.RSACALIF.COM

**SHEEHY BUILDING**  
**UTILITY PLAN**  
 NAPA COUNTY CALIFORNIA

**PROFESSIONAL ENGINEER**  
 RICHARD SPENCE  
 No. 41132  
 Exp. 3-31-19  
 CIVIL ENGINEER  
 STATE OF CALIFORNIA

DATE	01/24/2018
DRAWN	DPB
DESIGNED	ECB
CHECKED	ARS
JOB NO.	41704.0
SHEET NO.	UP3.0
3 OF 4 SHEETS	

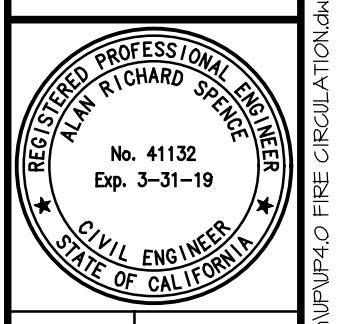


NO.	DATE	REVISIONS	BY	APPD

1515 FOURTH STREET  
NAPA, CALIF. 94559  
OFFICE (707) 252.3301  
WWW.RSACAL.COM

**RSA+**  
REGISTERED PROFESSIONAL ENGINEERS & SURVEYORS • 1980

**SHEEHY BUILDING  
FIRE CIRCULATION PLAN**  
NAPA COUNTY  
CALIFORNIA



DATE	01/24/2018
DRAWN	DPB
DESIGNED	ECB
CHECKED	ARS
JOB NO.	411704.0

SHEET NO.  
**UP4.0**  
4 OF 4 SHEETS