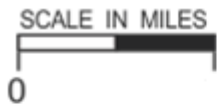
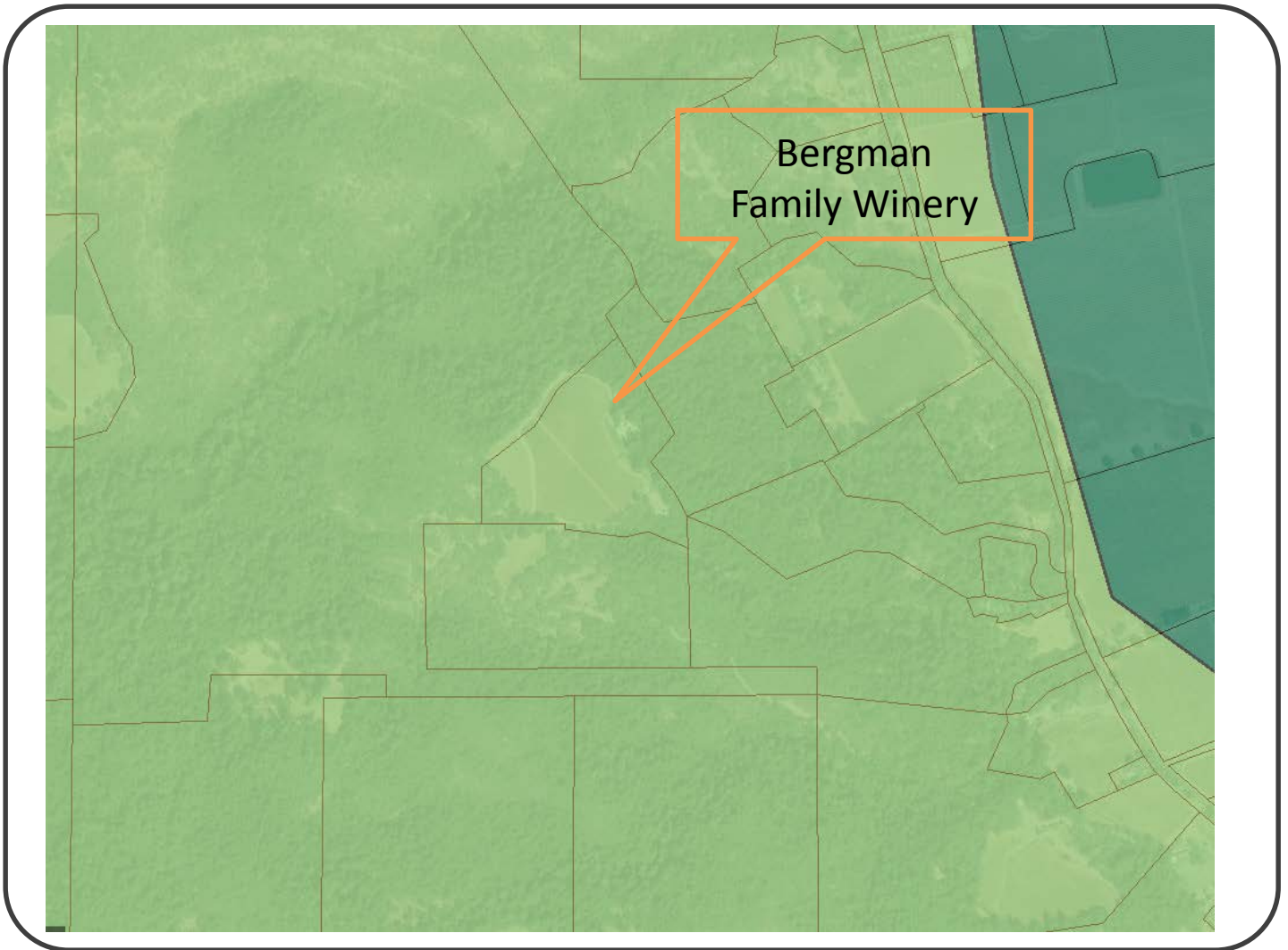


“ | ”

Graphics

NAPA COUNTY LAND USE PLAN 2008 – 2030



LEGEND



URBANIZED OR NON-AGRICULTURAL

- Study Area
- Cities
- Urban Residential*
- Rural Residential*
- Industrial
- Public-Institutional
- Napa Pipe Mixed Use

OPEN SPACE

- Agriculture, Watershed & Open Space
- Agricultural Resource

TRANSPORTATION

- Mineral Resource
- Limited Access Highway
- American Canyon ULL
- City of Napa RUL
- Landfill - General Plan
- Road
- Airport
- Railroad
- Airport Clear Zone

* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations



LEGEND

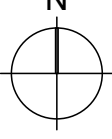
- Zoning
- Parcels



ZONING MAP

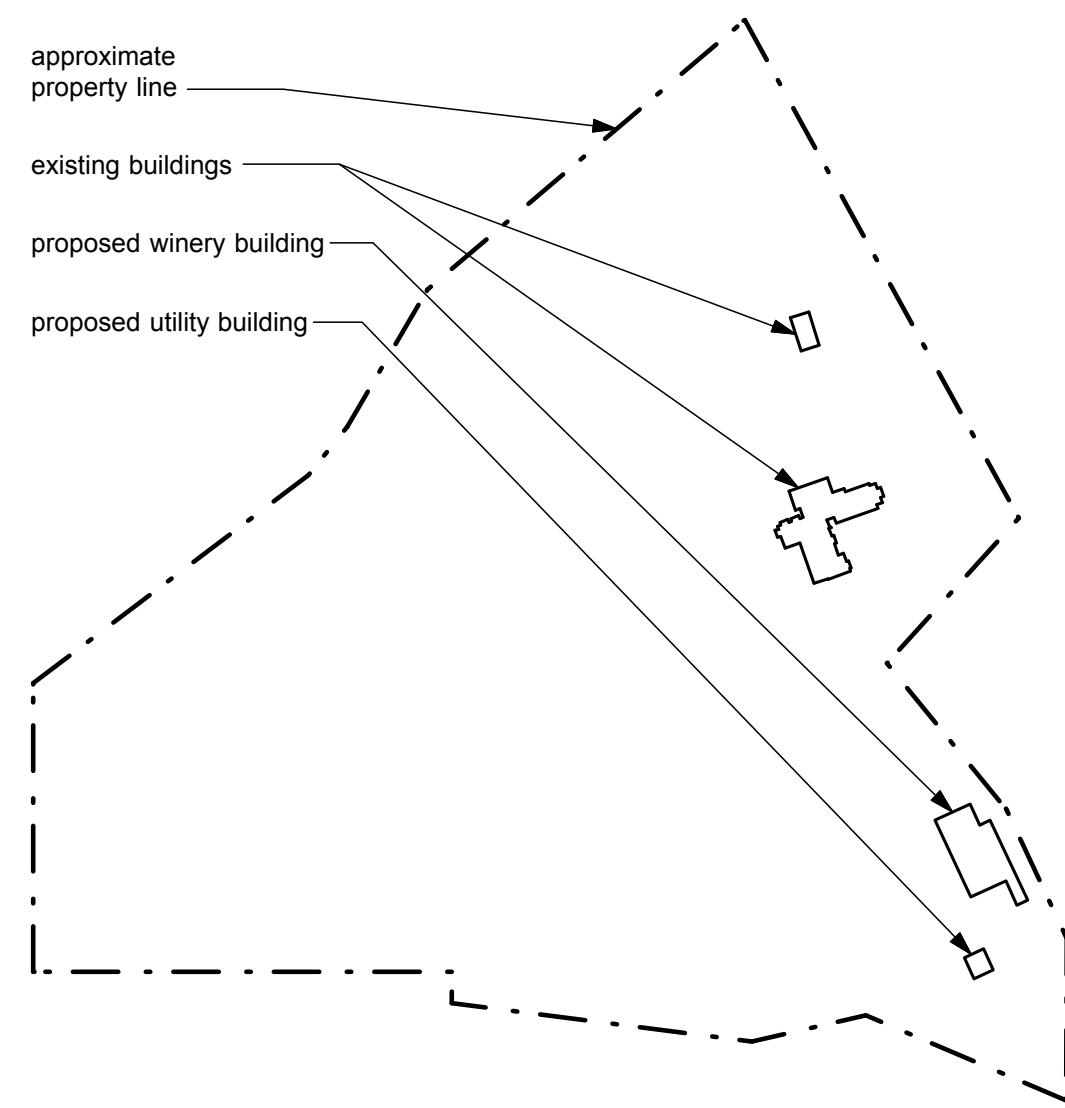


Existing Conditions

Location Map (not to scale) 



Plot Plan scale: 1"=200' 



Square Footages

Building Area Summary

Production vs Ancillary		
Total Net Usable Areas by Type	Net Production	Net Ancillary
Exterior Spaces included:	6,142	939
Total Net Usable Areas	7,081	
Ancillary Percentage of Total Net Production Area:		15.3%

Building Area Details

WINERY BUILDING			
ROOM NAME/ TYPE	AREA (SF)		
	PRODUCTION		ANCILLARY
FIRST FLOOR			
101 - Fermentation	1,932		-
102 - Barrel Aging	1,444		-
103 - Lab / Office	102		-
104 - Stair	-		95
105 - Storage	237		-
106 - Restroom	88		-
107 - Mechanical / Storage	267		-
First Floor Sub Total Net Usable Area	4,070		95
First Floor Total Net Usable Area		4,165	
SECOND FLOOR			
201 - Conference Room	-		611
202 - Office	-		90
203 - Break Room	-		143
204 - Storage	81		-
205 - Restroom	56		-
206 - Storage	98		-
207 - Storage	754		-
208 - Electrical	115		-
Second Floor Sub Total Net Usable Area	1,104		844
Second Floor Total Net Usable Area		1,948	
Winery Building Sub Total Net Usable Area	5,174		939
Winery Building Total Net Usable Area		6,113	

UTILITY BUILDING			
ROOM NAME/ TYPE	AREA (SF)		
	PRODUCTION		ANCILLARY
Storage / Fire Pump / Trash	483		-
Utility Building Sub Total Net Usable Area	483		-
Utility Building Total Net Usable Area		483	

OUTDOOR AREA			
ROOM NAME/ TYPE	AREA (SF)		
	PRODUCTION		ANCILLARY
Covered Porch	485		-
Outdoor Sub Total Net Usable Area	485		-
Outdoor Total Net Usable Area		485	

TOTAL			
TYPE	AREA (SF)		
	PRODUCTION		ANCILLARY
WINERY BUILDING	5,174		939
UTILITY BUILDING	483		-
OUTDOOR AREA	485		-
Sub Total Net Usable Area	6,142		939
Total Net Usable Area		7,081	

Project Team

CLIENT:

BERGMAN FAMILY VINEYARDS
Pam Bergman

3285 St. Helena Highway North
St. Helena, CA 94574
T: 310-701-4300
F: 310-471-9081

pjbergman@mac.com

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hiromi@taylorlombardo.com

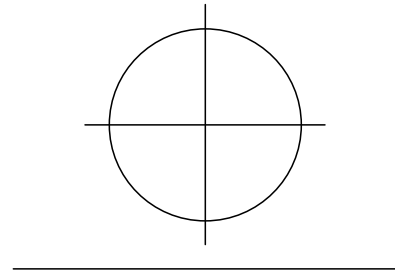
Taylor Lombardo Architects

LLP

40 Hotaling Place
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taylorlombardo.com



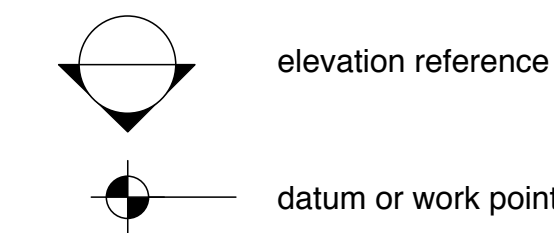
CIVIL ENGINEER:

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Mike Muelrath

2074 West Lincoln Avenue
Napa, CA 94558
T: 707-320-4968
F: 707-320-2395

mike@appliedcivil.com

Symbols Legend



Index of Drawings

A0.01	Cover Sheet
A2.01	Winery Building Floor Plans
A2.02	Winery Building Roof Plan / Util. Bldg. Floor & Roof Plan
A3.01	Winery Building Exterior Elevations
A3.02	Winery Building Exterior Elevations
A3.03	Utility Building Exterior Elevations

Project Data

Site Address:
3285 St. Helena Highway North
St. Helena, CA 94574

Assessor's Parcel Number:
022-080-010

Property Type:
Vineyard > 5 acres w/ 2 sfrs.

Use & Occupancy:
AW; F-1, B, S-2

Project Scope:
New Winery Building & New Storage Shed

Bergman Family Vineyards
3285 St. Helena Highway North
St. Helena, CA 94574
APN 022-080-010

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Cover Sheet

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revision: date:

job no: 1607

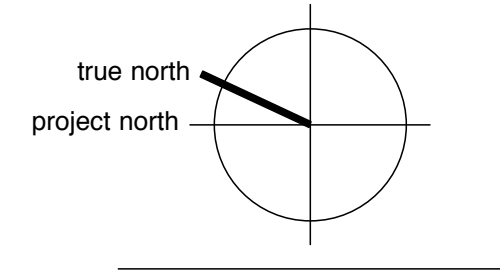
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checked: TT

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sheet no:

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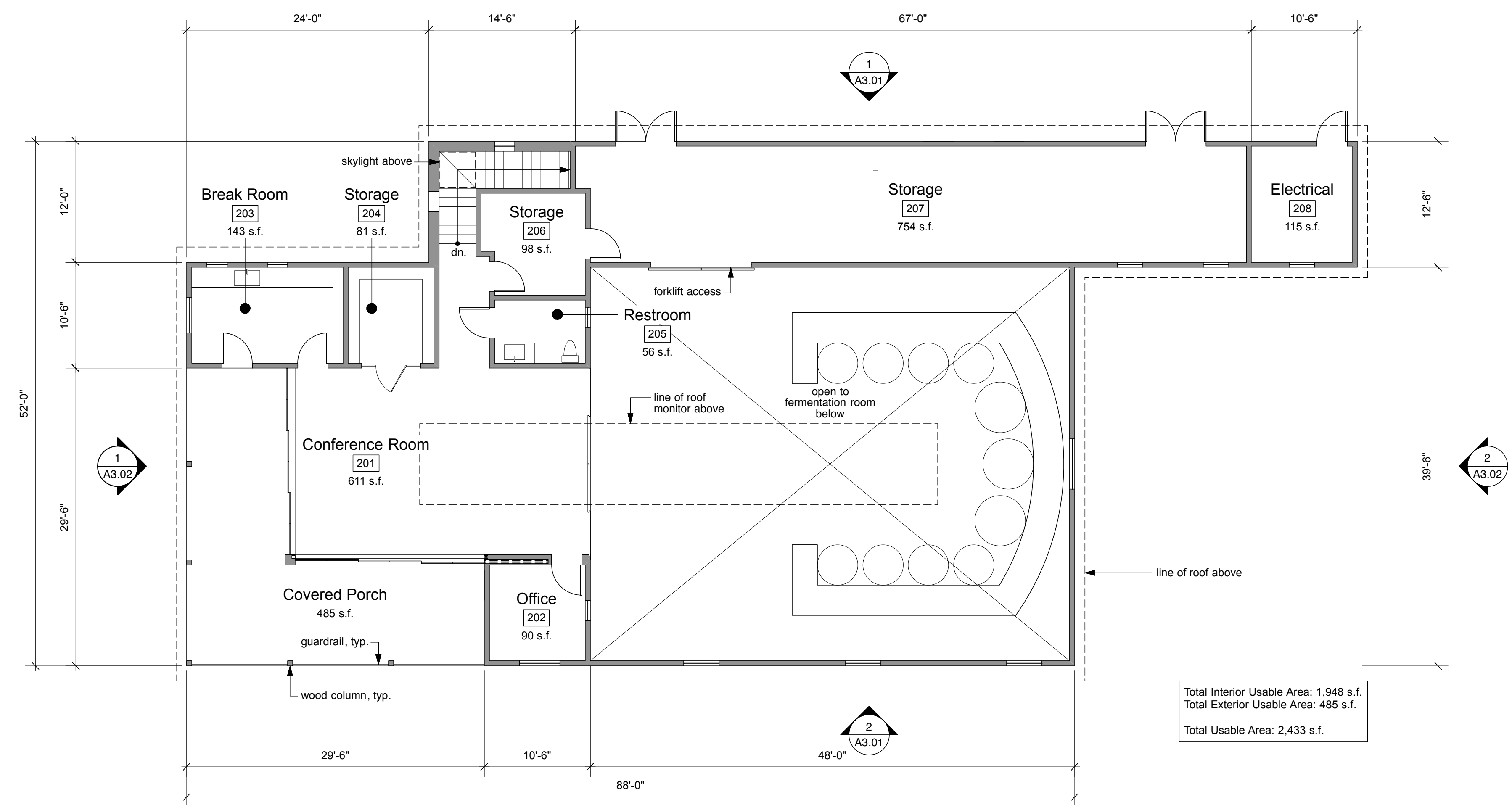
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Winery Building Floor Plans

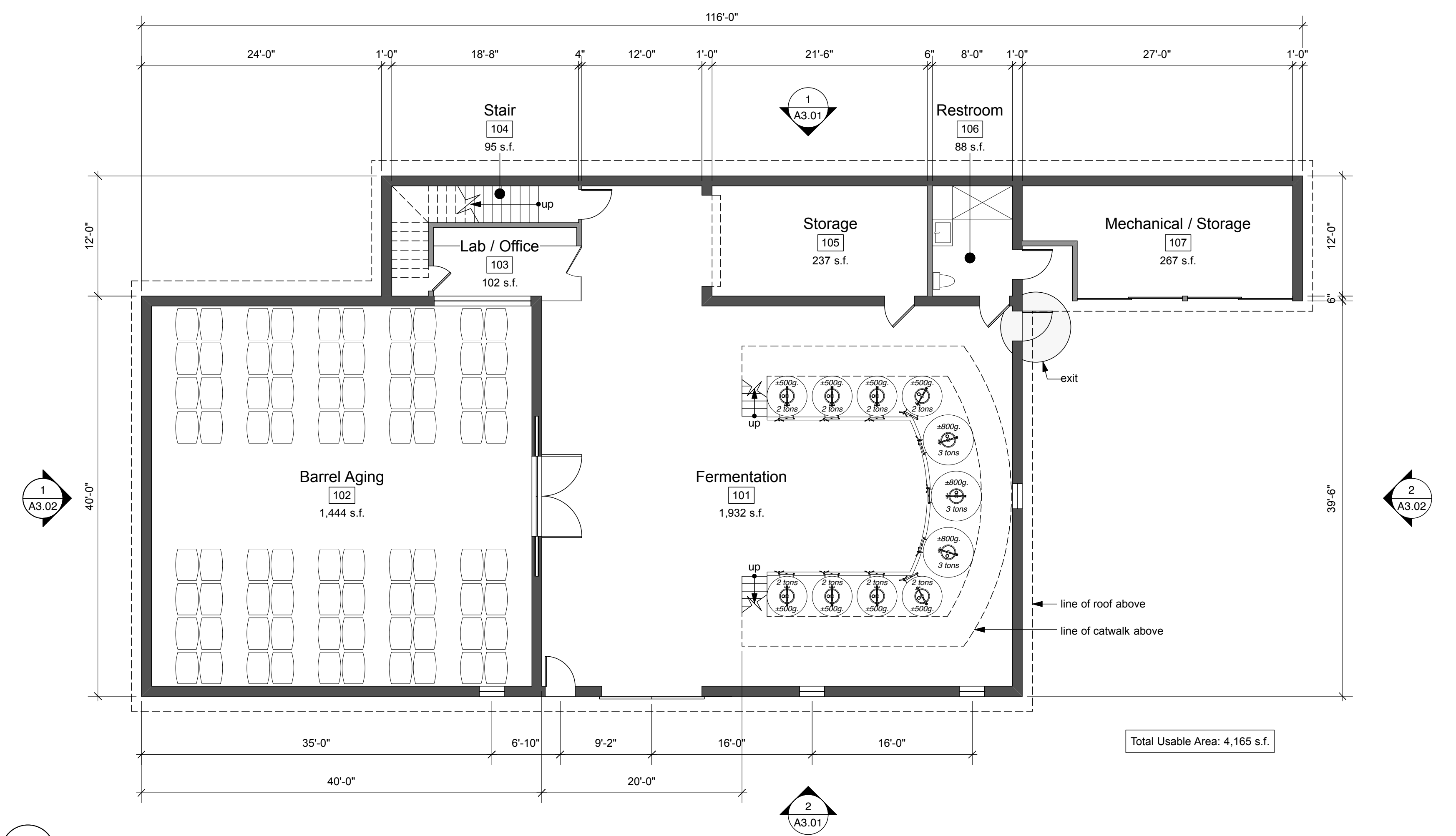
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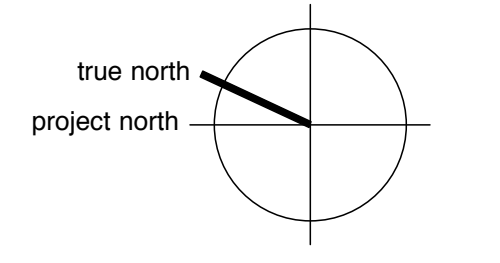
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2 Upper Level Floor Plan
scale: 1/8" = 1'-0"



1 Lower Level Floor Plan
scale: 1/8" = 1'-0"



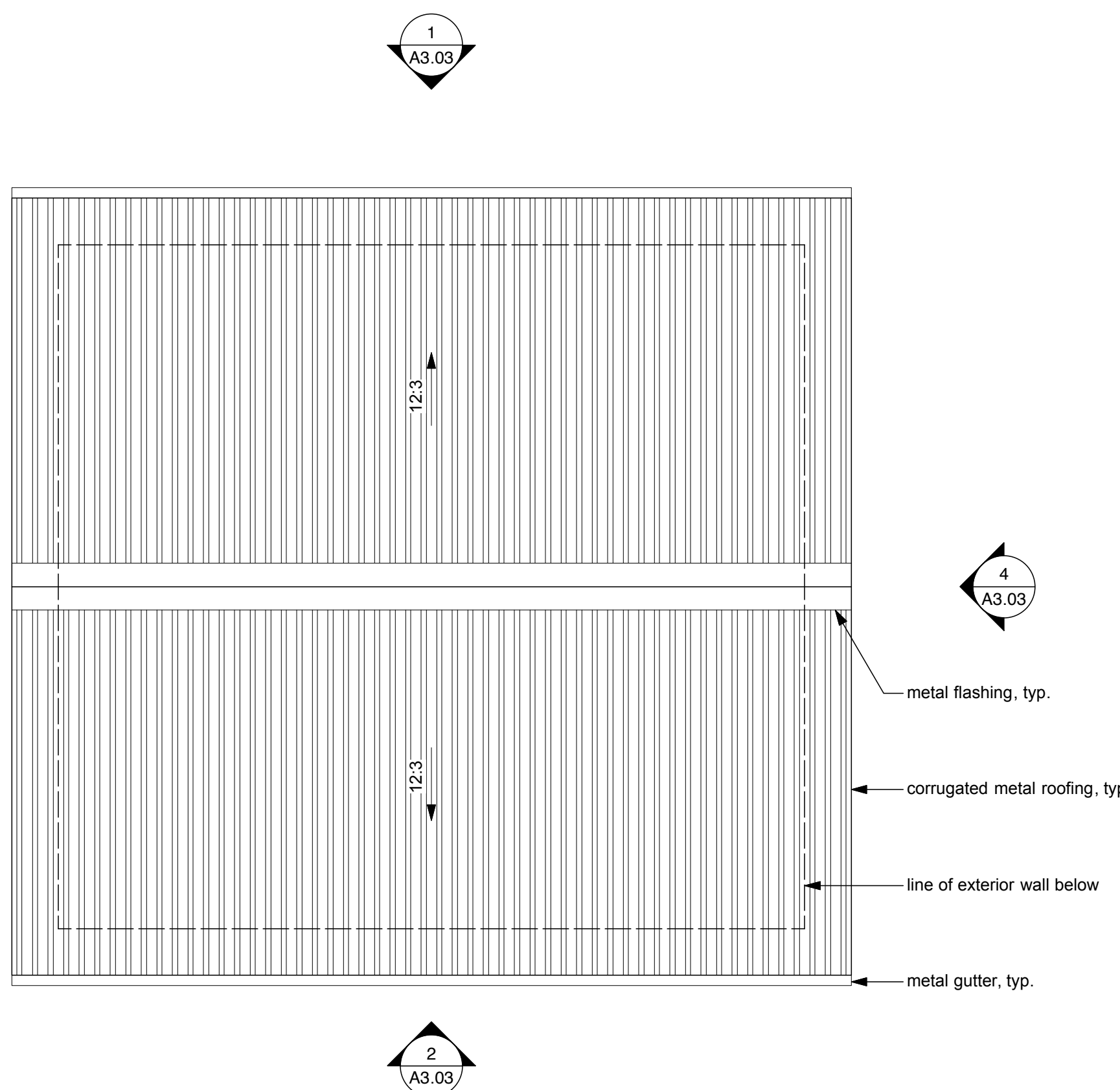
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Winery Building
Roof Plan
Util. Bldg. Floor &
Roof Plans
scale: as noted

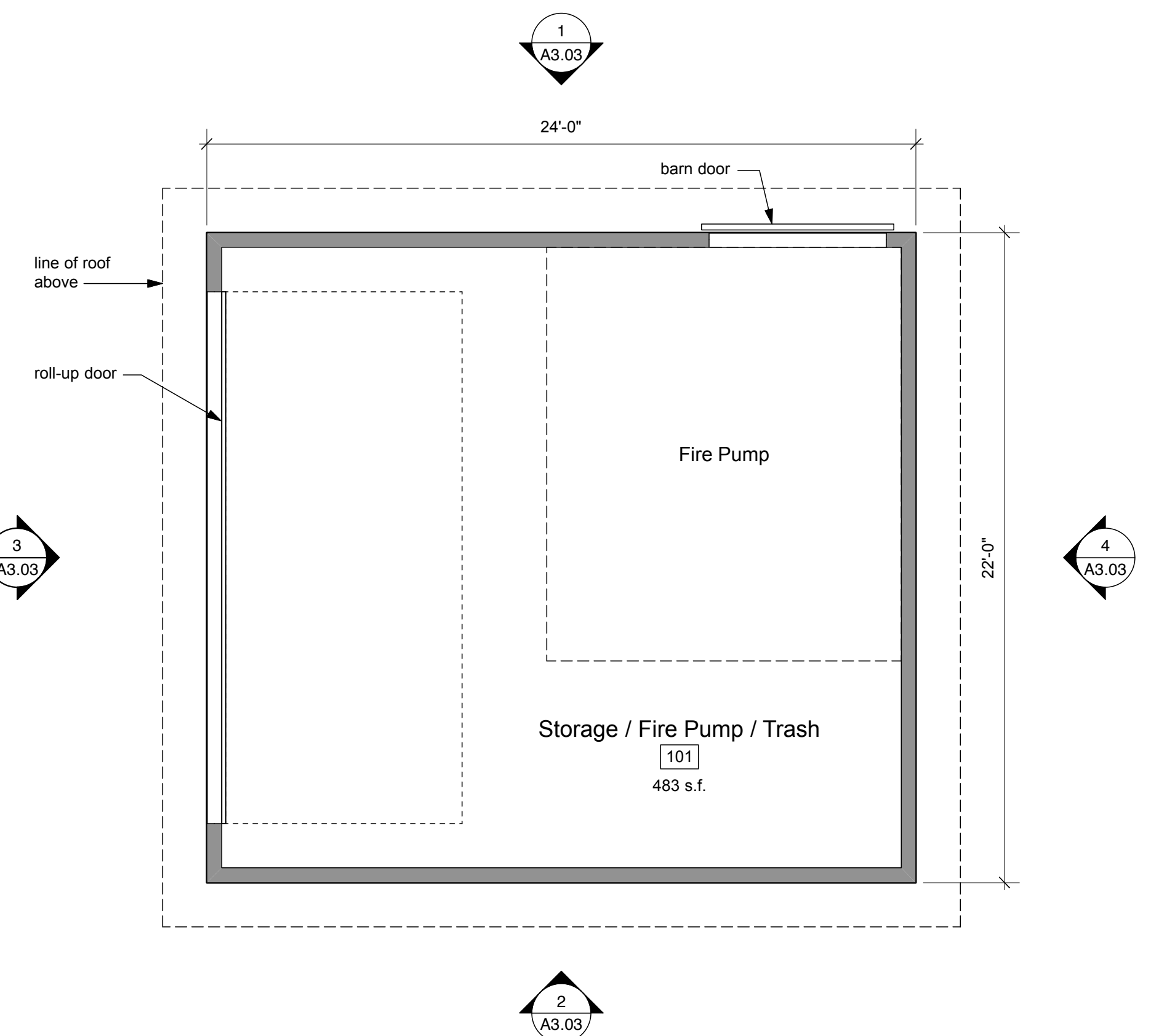
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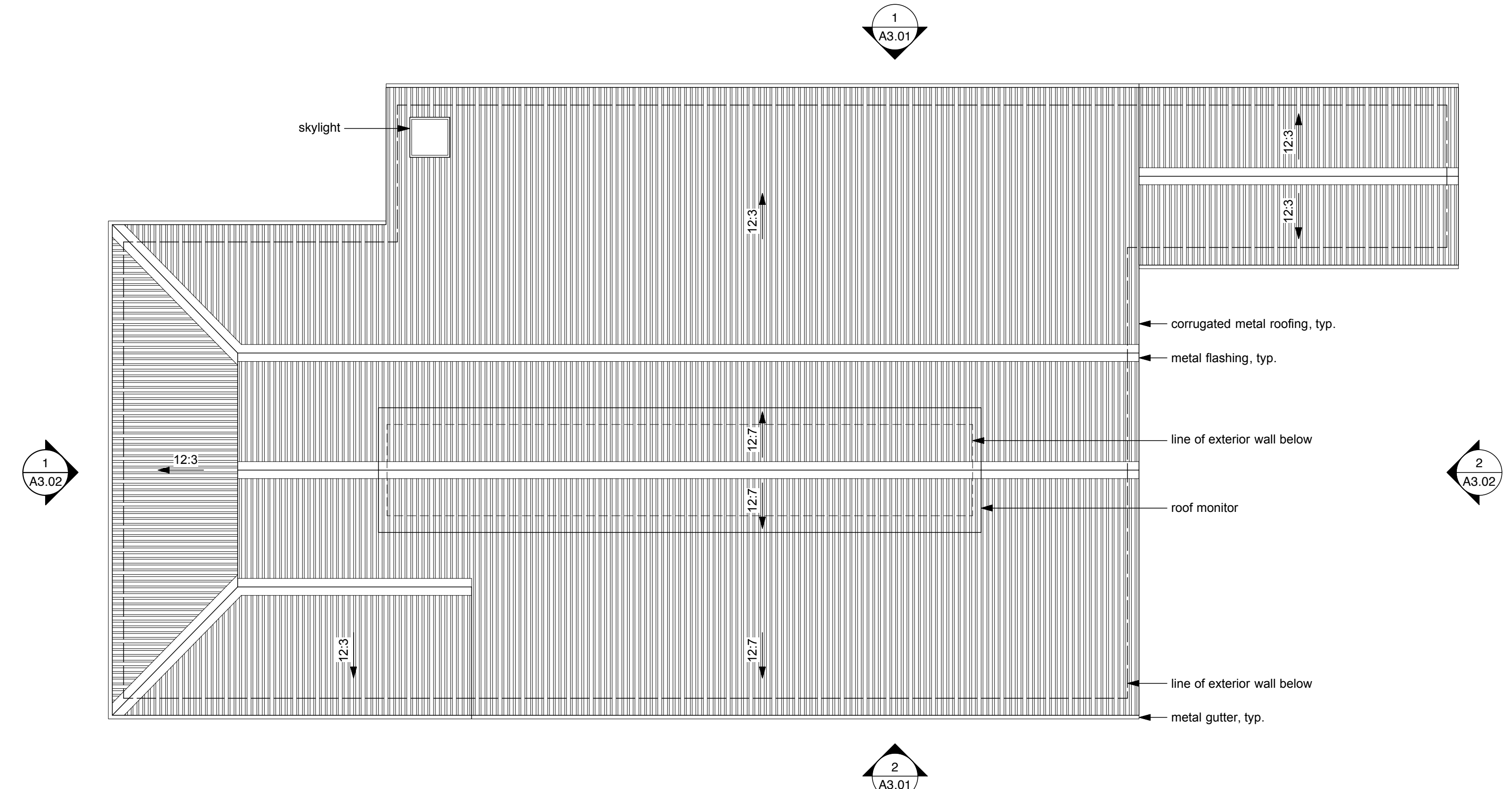
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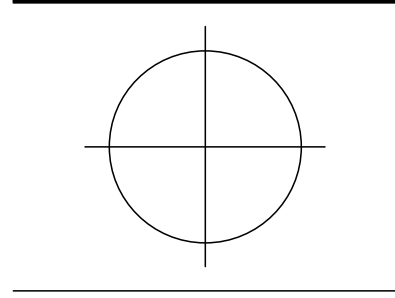
3 Utility Building Roof Plan
scale: 1/4" = 1'-0"



2 Utility Building Floor Plan
scale: 1/4" = 1'-0"



1 Winery Building Roof Plan
scale: 1/8" = 1'-0"



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Winery Building
Exterior Elevations

scale: 1/8" = 1'-0"

revision: date:

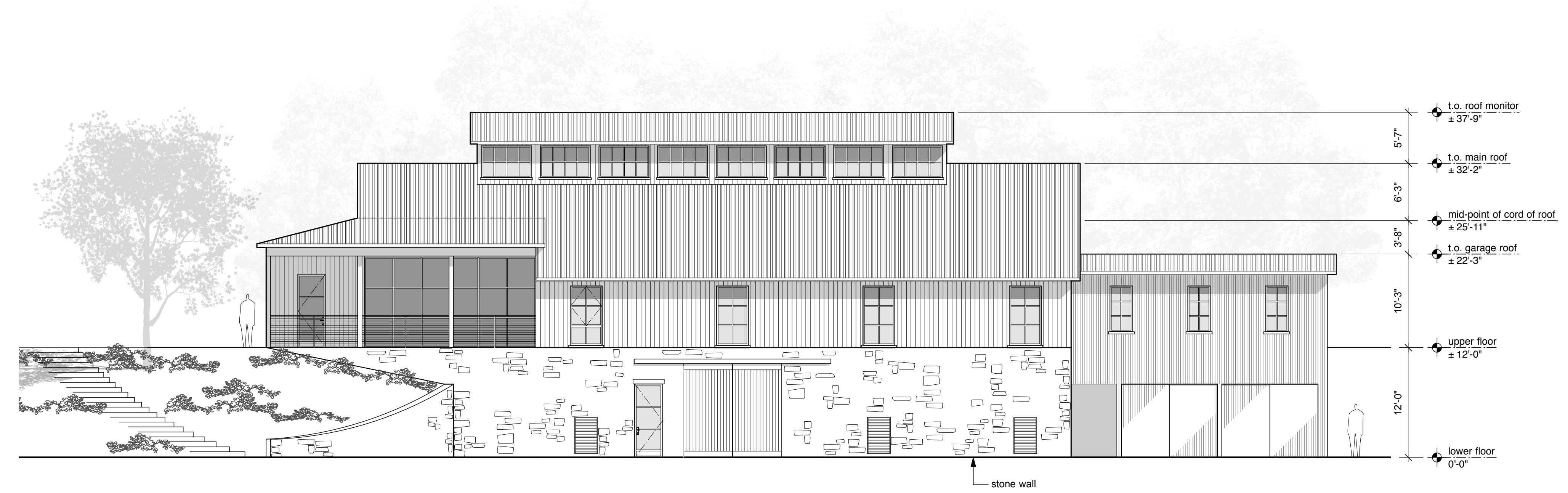
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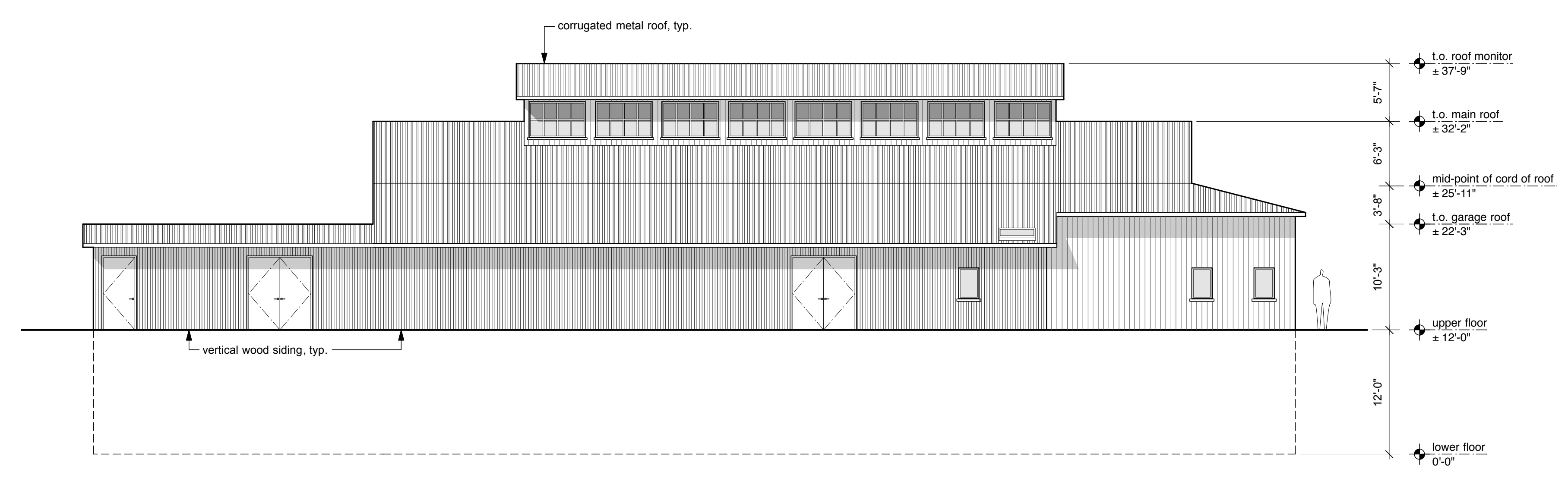
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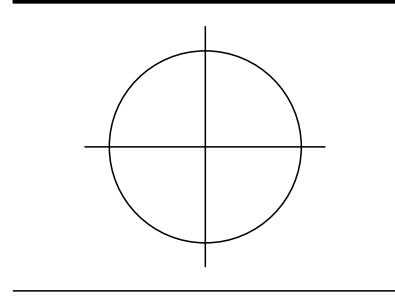
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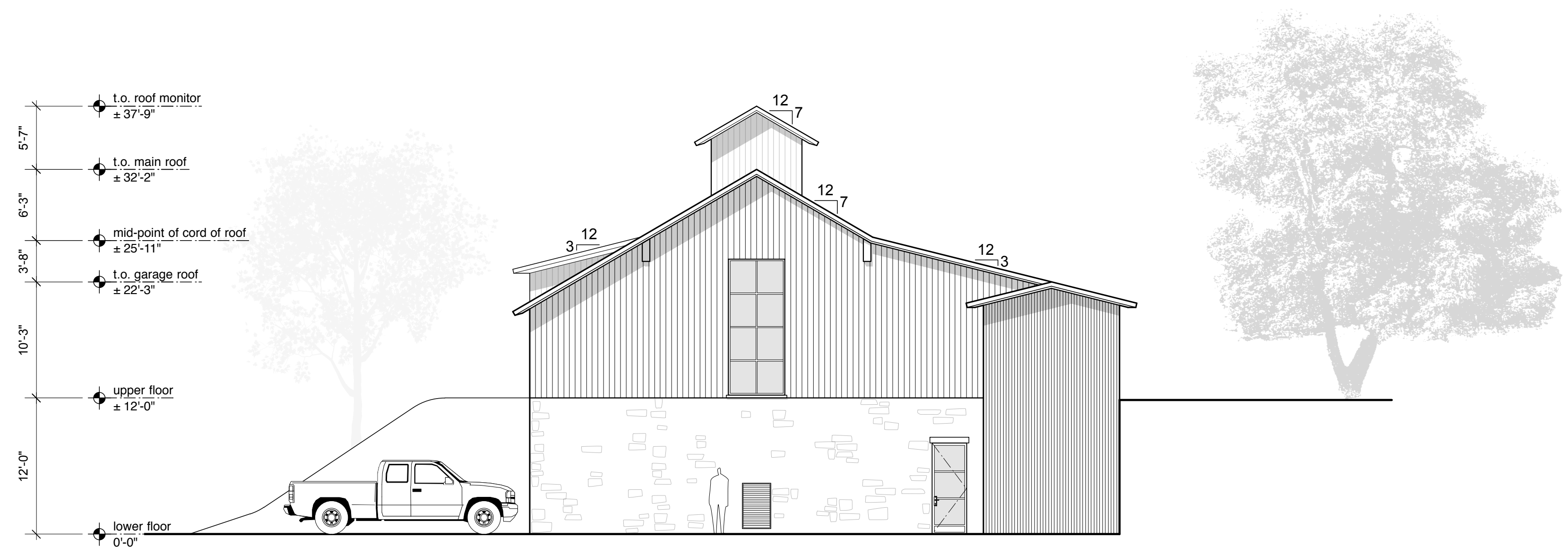
2 West Elevation



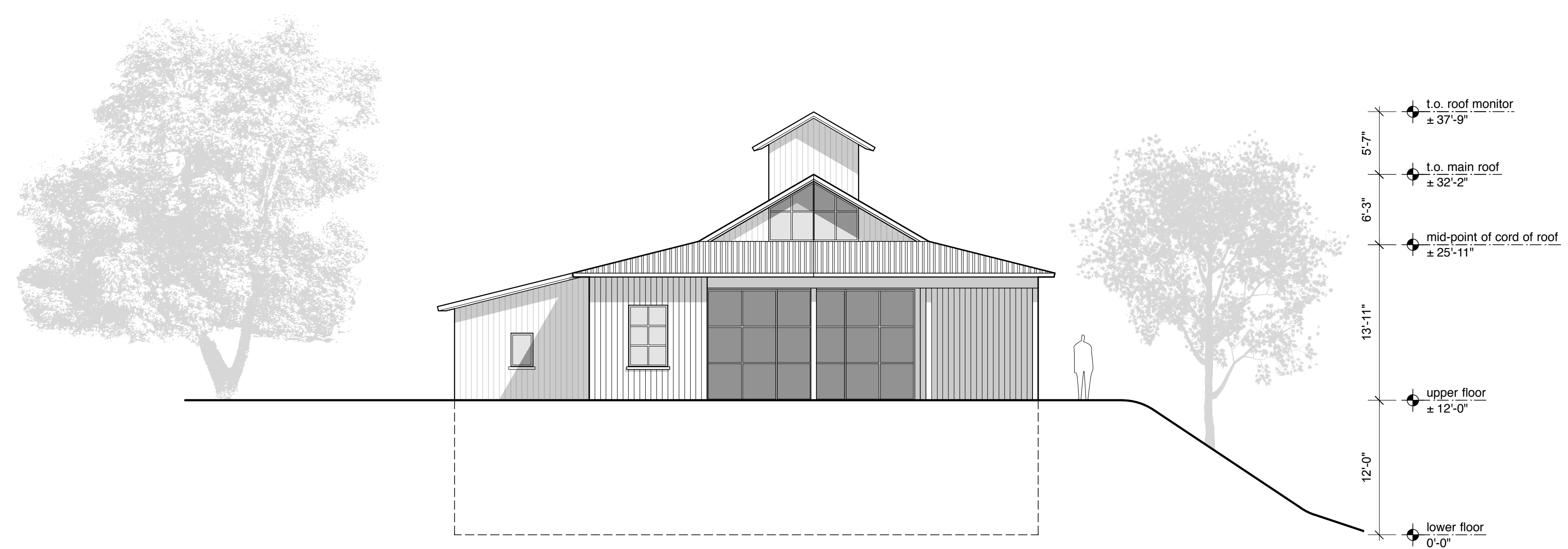
1 East Elevation



Bergman Family Vineyards
3285 St. Helena Highway North
St. Helena, CA 94574
APN 022-080-010



2 South Elevation



1 North Elevation

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Winery Building Exterior Elevations

scale: 1/8" = 1'-0"

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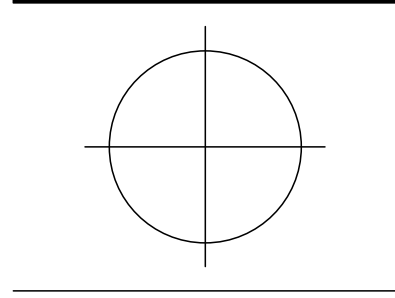
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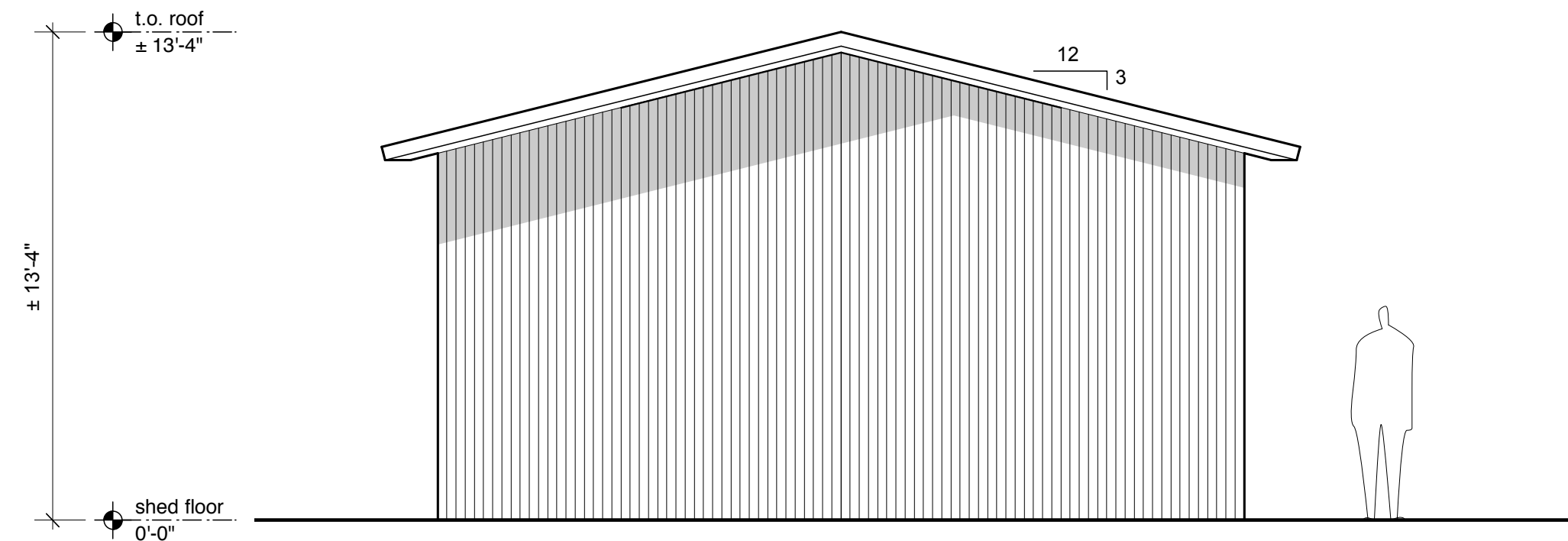
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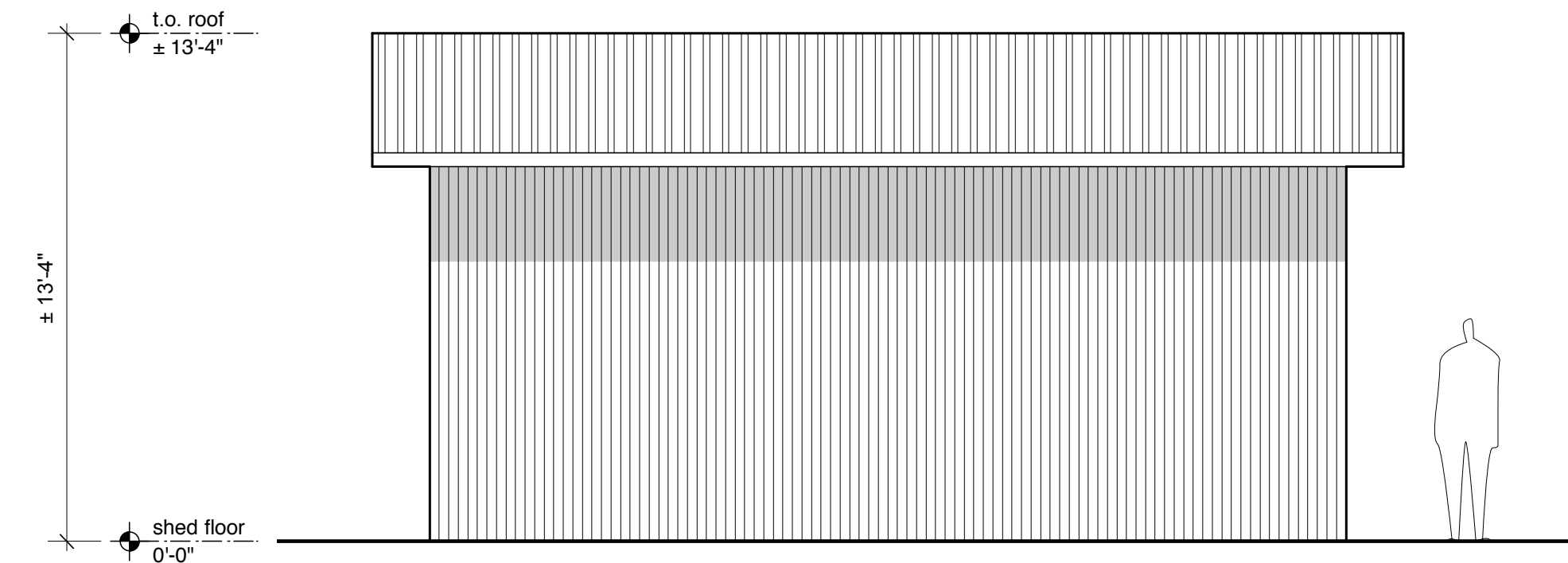
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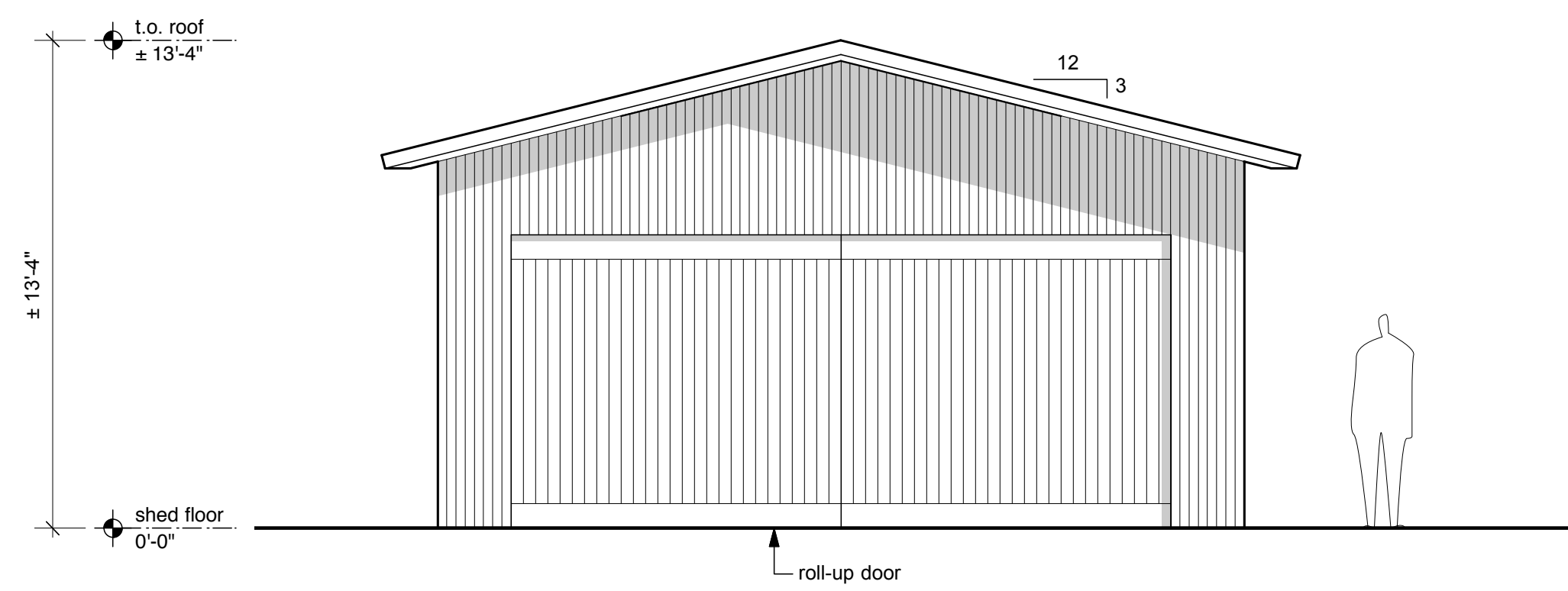
Bergman Family Vineyards
3285 St. Helena Highway North
St. Helena, CA 94574
APN 022-080-010



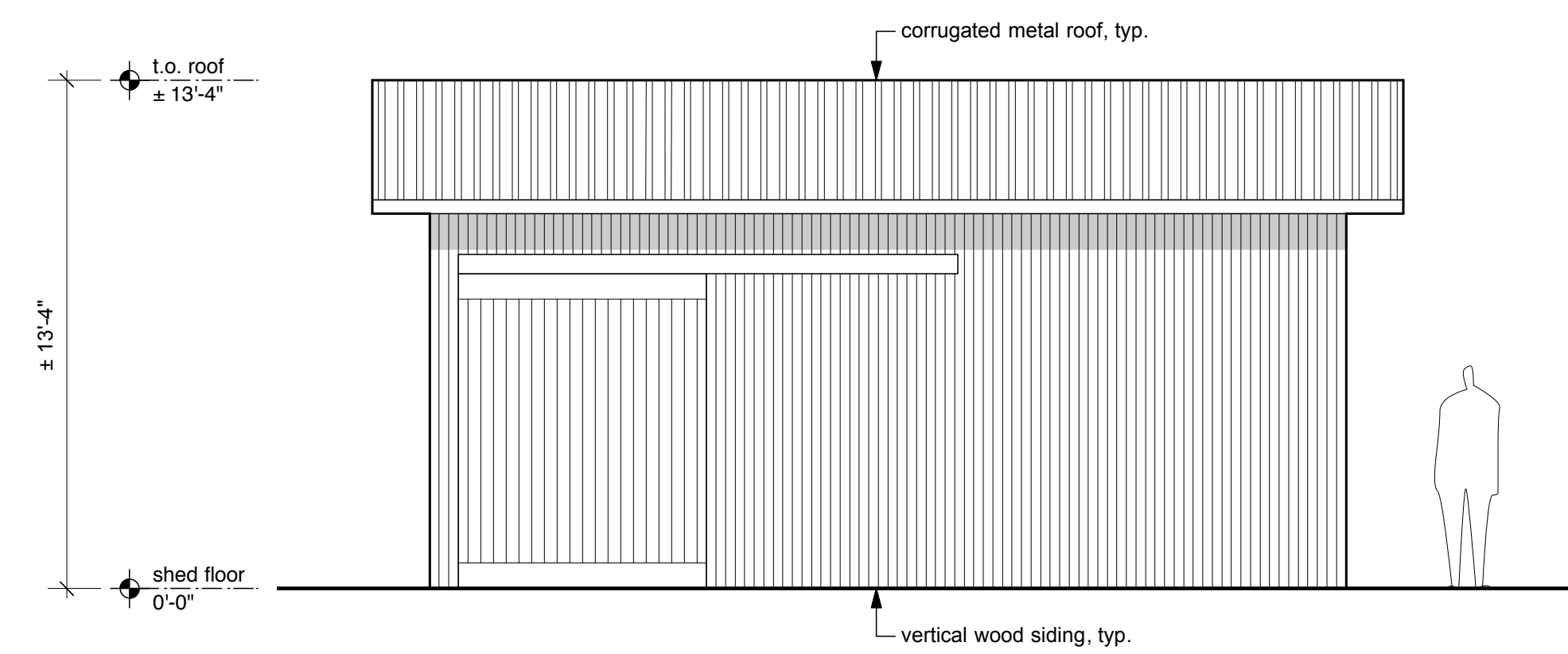
4 South Elevation



2 West Elevation



3 North Elevation



1 East Elevation

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Utility Building
Exterior Elevations

scale: 1/4" = 1'-0"

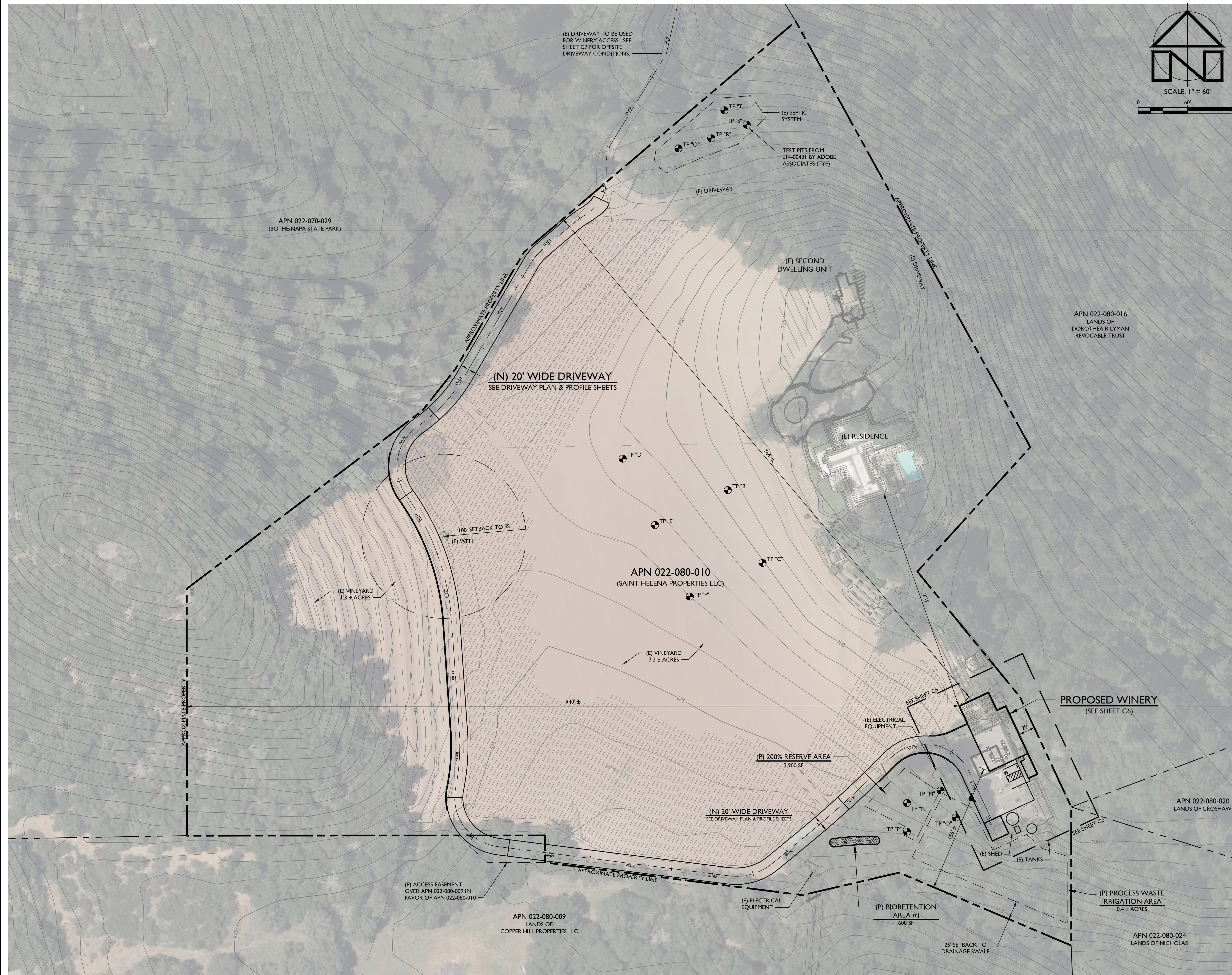
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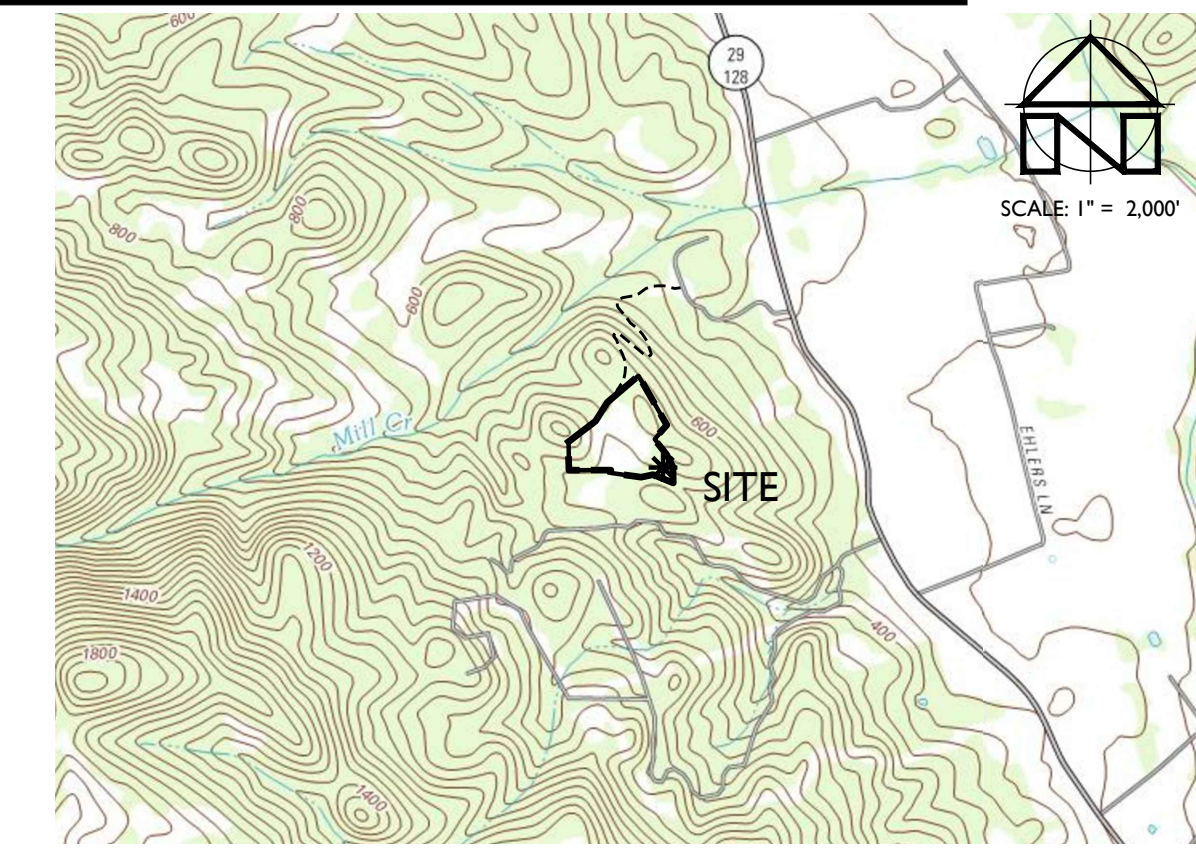
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BERGMAN FAMILY VINEYARDS

WINERY USE PERMIT CONCEPTUAL SITE IMPROVEMENT PLANS



OVERALL SITE PLAN
SCALE: 1" = 60'



LOCATION MAP
SCALE: 1" = 2,000'

PROJECT INFORMATION:

PROPERTY OWNER:
SAINT HELENA PROPERTIES LLC
3285 SAINT HELENA HIGHWAY
SAINT HELENA, CA 94574

APPLICANT:
BERGMAN FAMILY VINEYARDS LLC
3285 SAINT HELENA HIGHWAY
SAINT HELENA, CA 94574

SITE ADDRESS:
3285 SAINT HELENA HIGHWAY
SAINT HELENA, CA 94574

ASSESSOR'S PARCEL NUMBER:
022-080-010

PARCEL SIZE:
16.24 ± ACRES

PROJECT SIZE:
1.5 ± ACRES

ZONING:
AGRICULTURAL WATERSHED (AW)

DOMESTIC WATER SOURCE:
PRIVATE WELLS & WATER TANKS

FIRE PROTECTION WATER SOURCE:
STORAGE TANK

WASTEWATER DISPOSAL:
ONSITE TREATMENT AND DISPERSAL



SHEET INDEX:

- C1 OVERALL SITE PLAN
- C2 DRIVEWAY PLAN & PROFILE STA 35+50 TO STA 41+50
- C3 DRIVEWAY PLAN & PROFILE STA 41+50 TO STA 46+50
- C4 DRIVEWAY PLAN & PROFILE STA 46+50 TO STA 52+50±
- C5 DRIVEWAY CROSS SECTIONS
- C6 SITE GRADING PLAN
- C7 OFFSITE DRIVEWAY PLAN
- C8 OFFSITE DRIVEWAY PROFILE STA 10+00 TO STA 36+00
- C9 IMPERVIOUS SURFACE EXHIBIT
- C10 STORMWATER CONTROL PLAN EXHIBIT

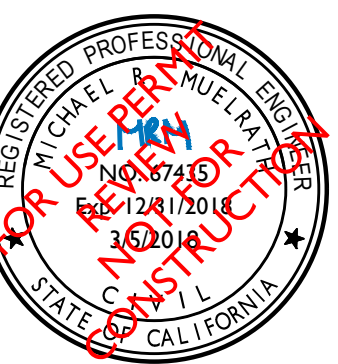
FLOOD HAZARD NOTE:

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 06055C0245E, EFFECTIVE SEPTEMBER 26, 2008, THE PROJECT SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA.

ABBREVIATIONS:

AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	LP	LOW POINT
AD	AREA DRAIN	OC	ON CENTER
AP	ANGLE POINT	OD	OUTSIDE DIAMETER
BTM	BOTTOM	OG	ORIGINAL GRADE
CONF	CONFORM	(P)	PROPOSED
CP	CONTROL POINT	PC	POINT OF CURVATURE
DCV	DOUBLE CHECK VALVE	PCC	PORTLAND CEMENT CONCRETE
DI	DROP INLET	PL	PROPERTY LINE
DS	DOWN SPOUT	PT	POINT OF TANGENCY
(E)	EXISTING	PVC	POLYVINYL CHLORIDE
EC	END CURVE	PW	PROCESS WASTE
ELEV	ELEVATION	PWCO	PROCESS WASTE CLEANOUT
EP	EDGE OF PAVEMENT	RSV	RECIRCULATING SPLITTER VALVE
EOC	EDGE OF CONCRETE	SD	STORM DRAIN
(F)	FUTURE	SDCO	STORM DRAIN CLEANOUT
FDC	FIRE DEPARTMENT CONNECTION	SDMH	STORM DRAIN MANHOLE
FF	FINISH FLOOR	SF	SQUARE FEET
FG	FINISH GRADE	SHLDR	SHOULDER
FH	FIRE HYDRANT	SS	SANITARY SEWER
FL	FLOW LINE	SSCO	SANITARY SEWER CLEANOUT
FS	FINISH SURFACE	SSMH	SANITARY SEWER MANHOLE
FSR	FIRE SPRINKLER RISER	TC	TOP FACE OF CURB
GB	GRADE BREAK	TW	TOP OF WALL
GM	GAS METER	TYP	TYPICAL
HP	HIGH POINT	WM	WATER METER
INV	INVERT	WV	WATER VALVE
IPS	IRON PIPE SIZE	XFMR	TRANSFORMER
IRR	IRRIGATION		

PREPARED UNDER THE DIRECTION OF:



DRAWN BY: SMI

CHECKED BY: MRM

DATE: DECEMBER 11, 2017

REVISIONS: BY: 3/5/2018 SMI

PLAN CHECK REVISIONS

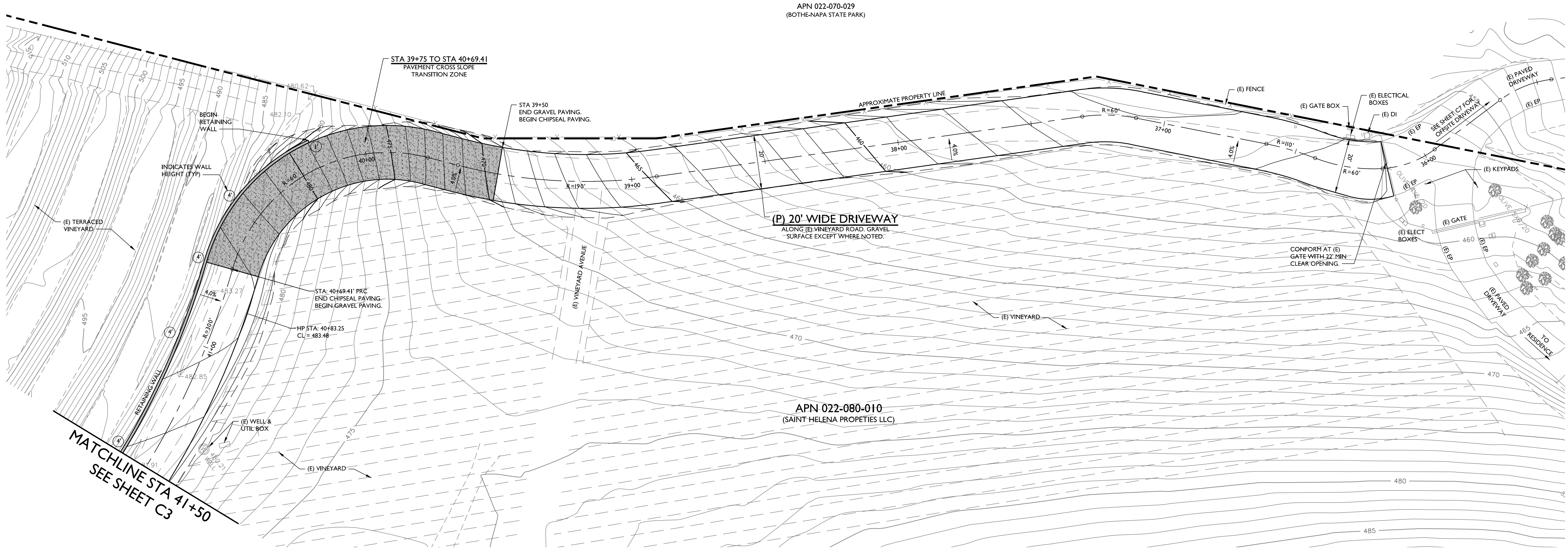
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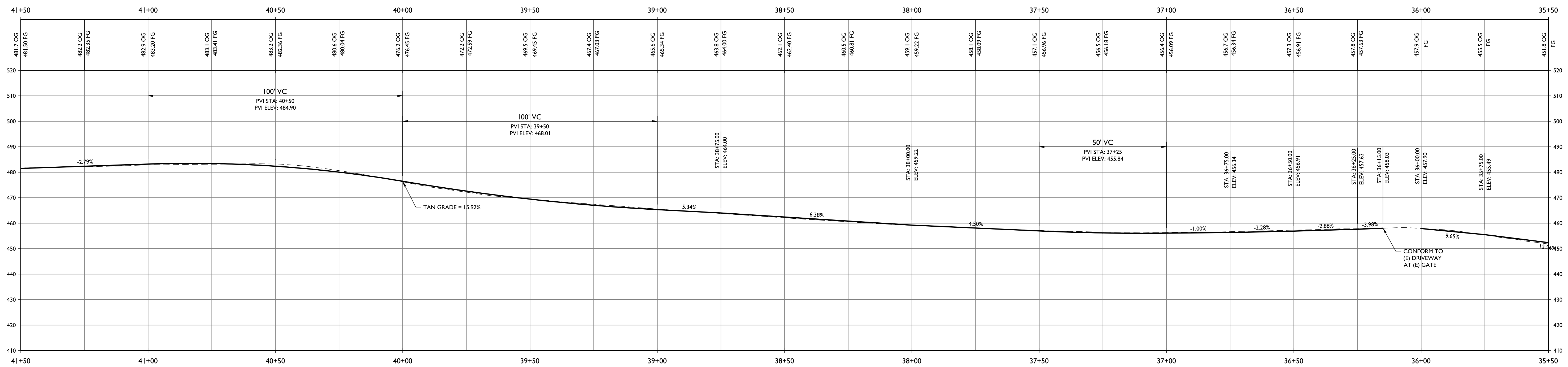
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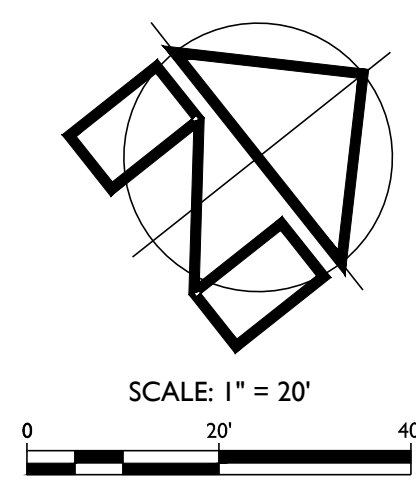
OF 10



DRIVEWAY PLAN VIEW STA 35+50 TO STA 41+50
SCALE: 1" = 20'



DRIVEWAY PROFILE STA 35+50 TO STA 41+50
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 20'



BERGMAN FAMILY VINEYARDS
WINERY USE PERMIT CONCEPTUAL SITE IMPROVEMENT PLANS
DRIVEWAY PLAN & PROFILE STA 35+50 TO STA 41+50

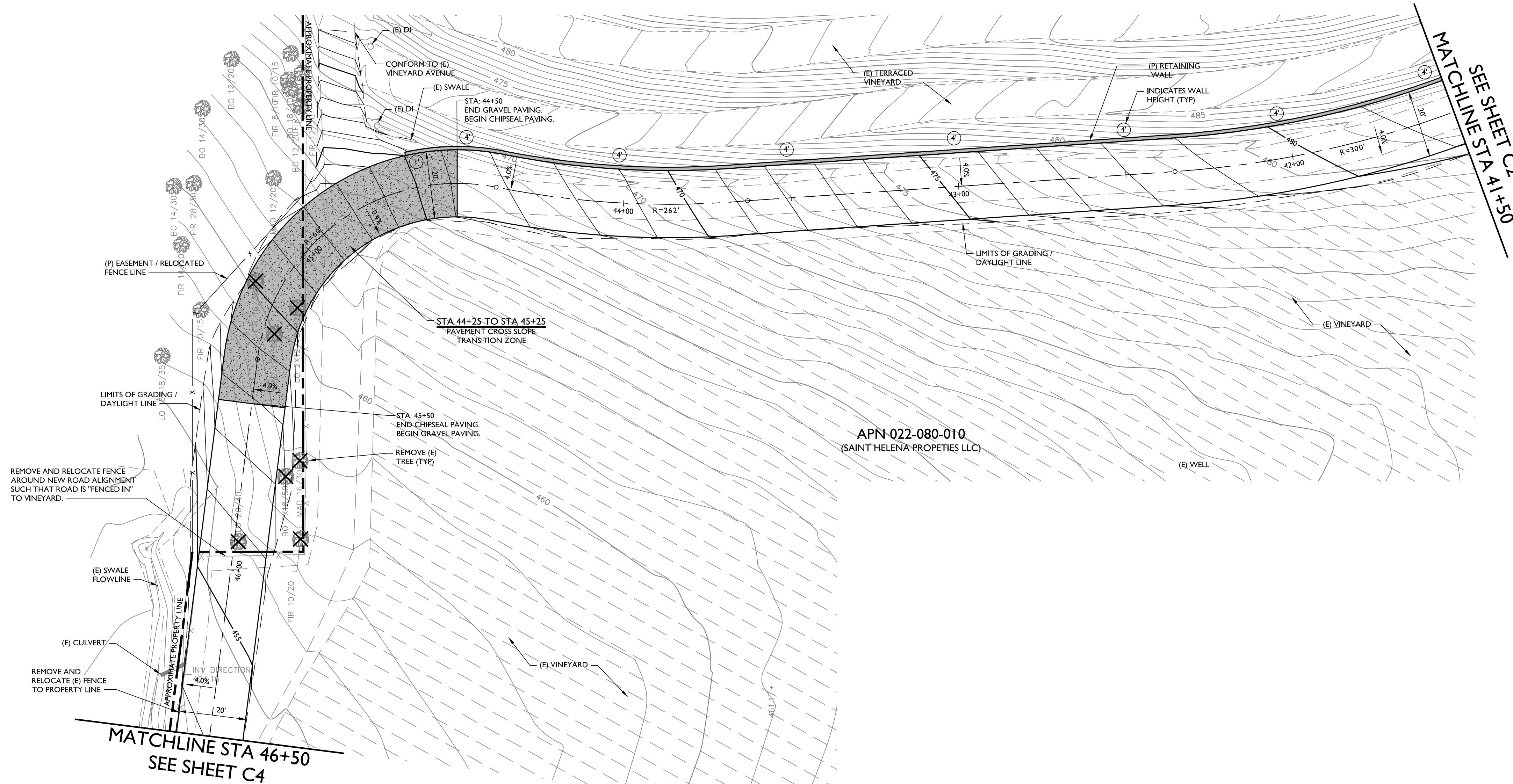
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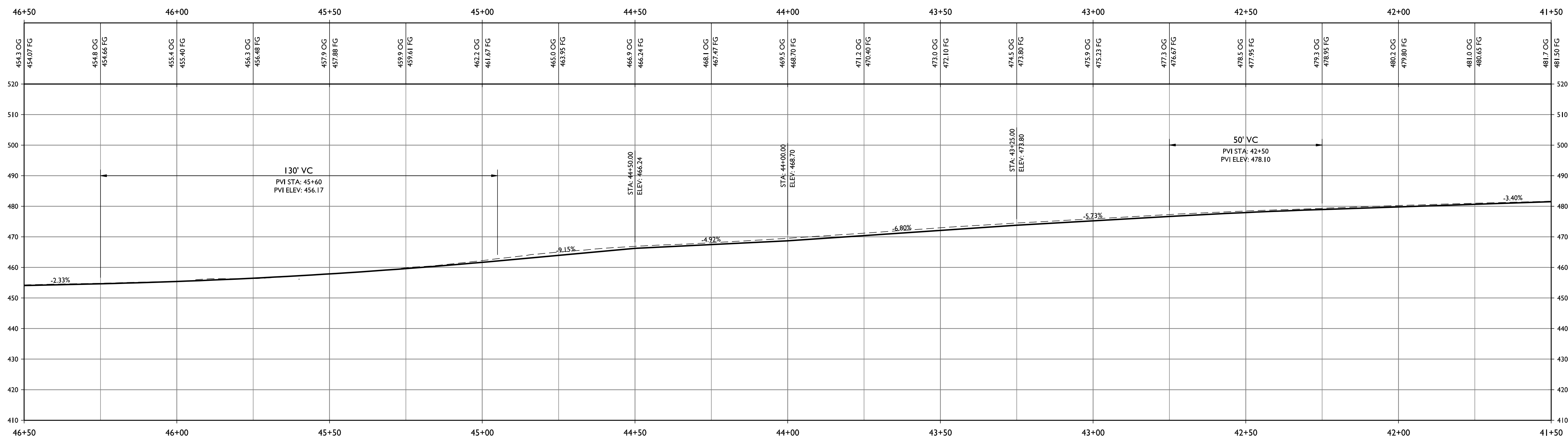
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DATE: DECEMBER 11, 2017
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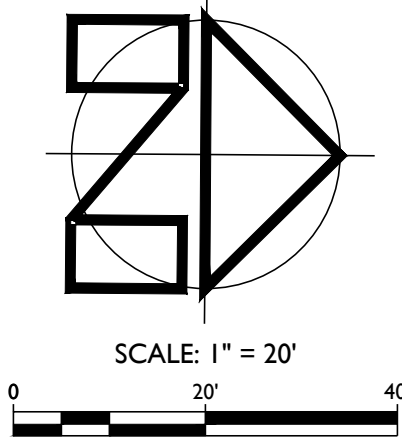
APN 022-080-009
LANDS OF COPPER HILL
PROPERTIES LLC



DRIVEWAY PLAN VIEW STA 41+50 TO STA 46+50
SCALE: 1" = 20'

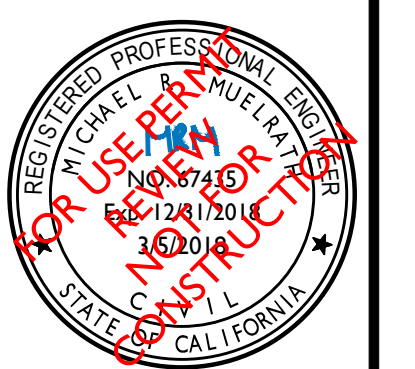


DRIVEWAY PROFILE STA 41+50 TO STA 46+50
SCALE: 1" = 20'



BERGMAN FAMILY VINEYARDS
WINERY USE PERMIT CONCEPTUAL SITE IMPROVEMENT PLANS
DRIVEWAY PLAN & PROFILE STA 41+50 TO STA 46+25

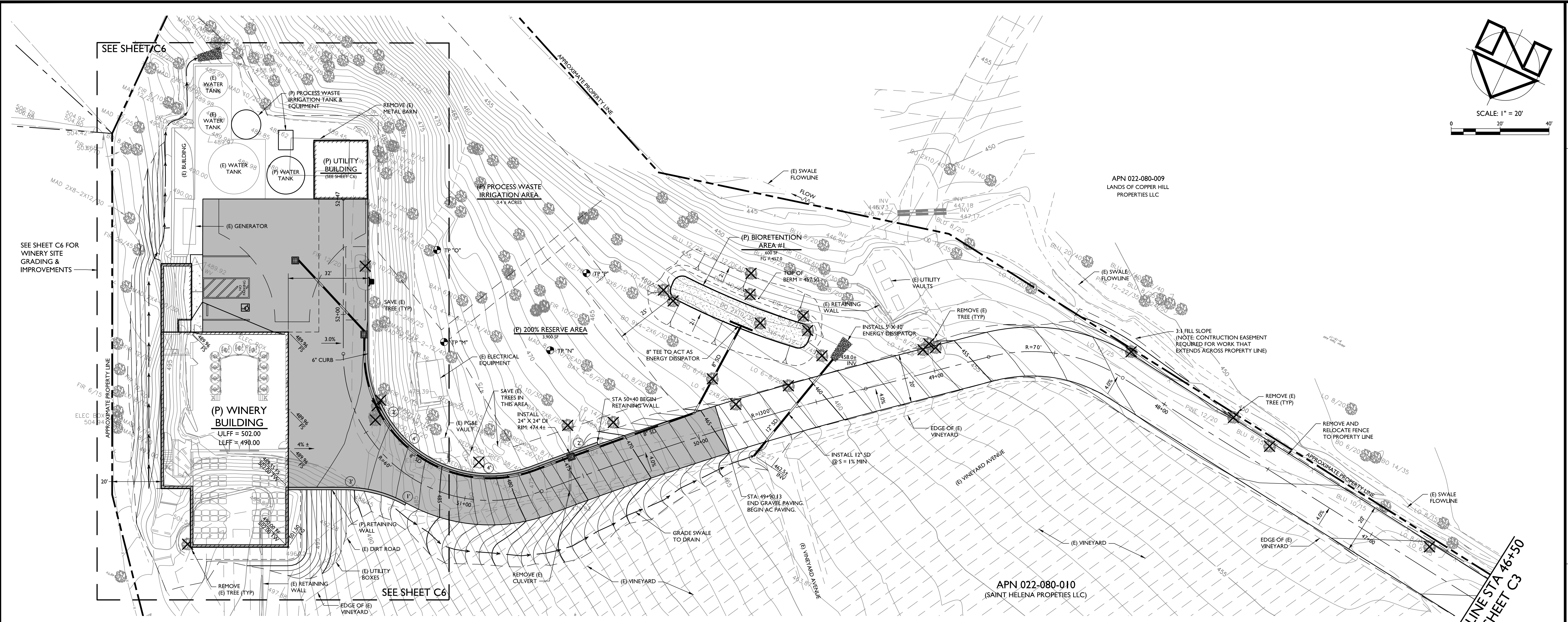
PREPARED UNDER THE DIRECTION OF:



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DATE:	DECEMBER 11, 2017
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3/5/2018	SMI
PLAN CHECK	
REVISIONS	

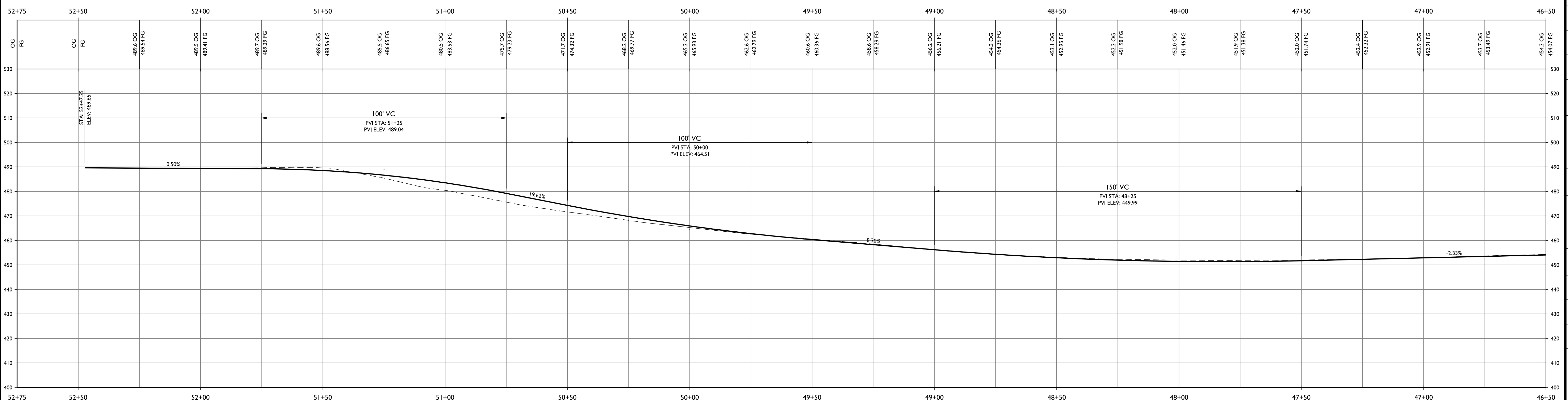
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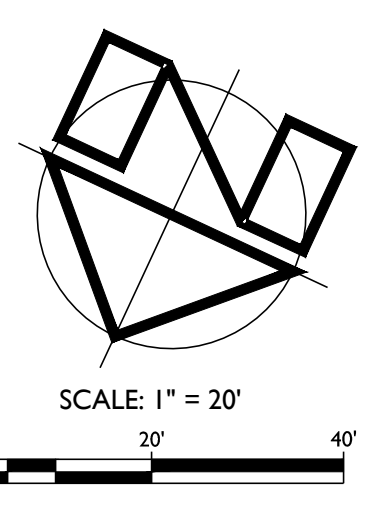
DRIVEWAY PLAN VIEW STA 46+50 TO STA 52+50±

SCALE: 1" = 20'



DRIVEWAY PROFILE STA 46+50 TO STA 52+50±

HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 20'

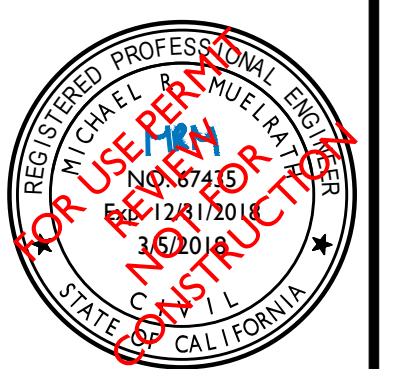


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BERGMAN FAMILY VINEYARDS

WINERY USE PERMIT CONCEPTUAL SITE IMPROVEMENT PLANS
DRIVEWAY PLAN & PROFILE STA 46+25 TO STA 52+50 ±

PREPARED UNDER THE DIRECTION OF:



DRAWN BY: SMI

CHECKED BY: MRM

DATE: DECEMBER 11, 2017

REVISIONS: BY: SMI

3/5/2018 PLAN CHECK REVISIONS

JOB NUMBER: 14-129

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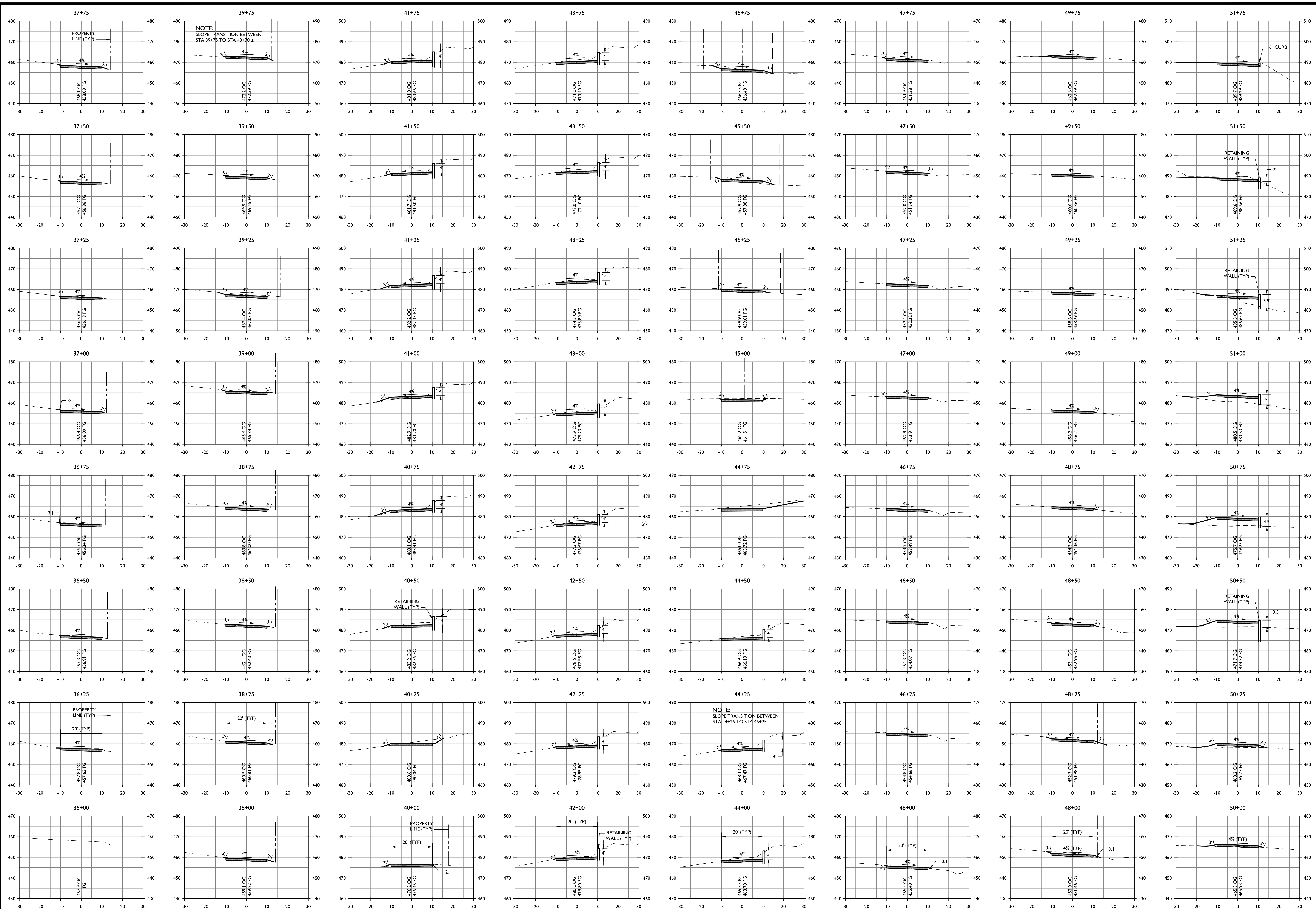
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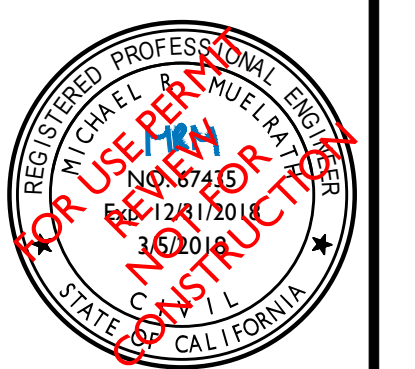


DRIVEWAY CROSS SECTIONS STA 36+00 TO STA 51+75

SCALE: 1" = 20'

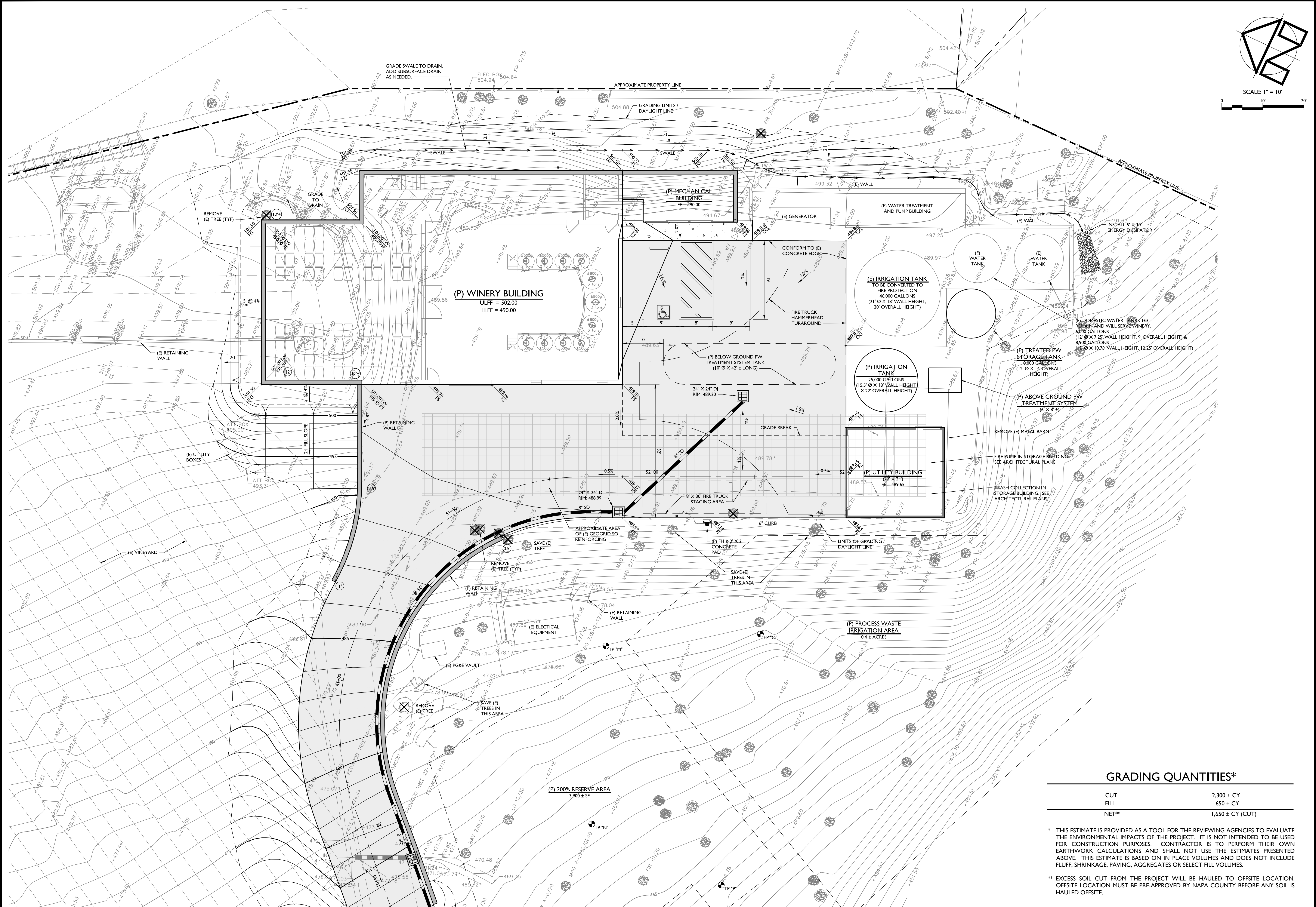
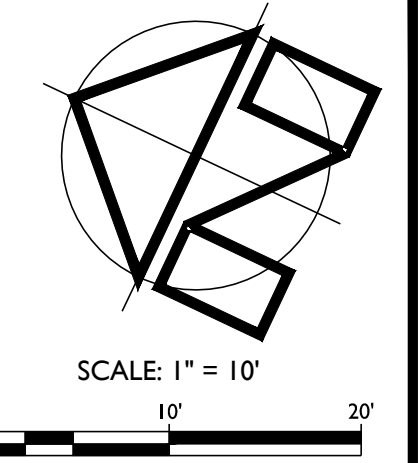
BERGMAN FAMILY VINEYARDS
WINERY USE PERMIT CONCEPTUAL SITE IMPROVEMENT PLANS
DRIVEWAY CROSS SECTIONS STA 36+00 TO STA 51+75

PREPARED UNDER THE DIRECTION OF:



DRAWN BY: SMJ
CHECKED BY: MRM
DATE: DECEMBER 11, 2017
REVISIONS: 3/5/2018 BY: SMJ
PLAN CHECK REVISIONS

JOB NUMBER: 14-129
FILE: 14-129IMP_P&P.DWG
ORIGINAL SIZE: 24" X 36"
SHEET NUMBER:



BERGMAN FAMILY VINEYARDS
WINERY USE PERMIT CONCEPTUAL SITE IMPROVEMENT PLANS
SITE GRADING PLAN

PREPARED UNDER THE DIRECTION OF:



DRAWN BY: SMI
CHECKED BY: MRM
DATE: DECEMBER 11, 2017
REVISIONS: BY: SMI
1 PLAN CHECK REVISIONS

JOB NUMBER: 14-129
FILE: 14-129IMP_GRA.DWG
ORIGINAL SIZE: 24" X 36"

SHEET NUMBER: C6

OF 10

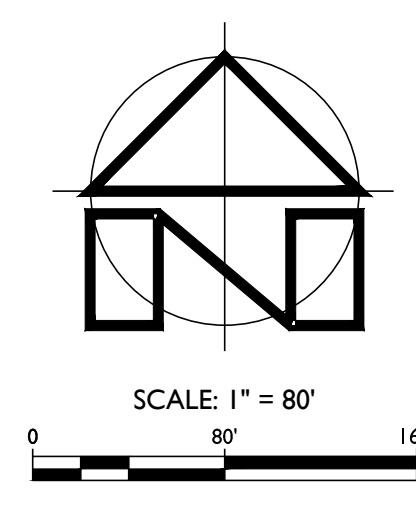
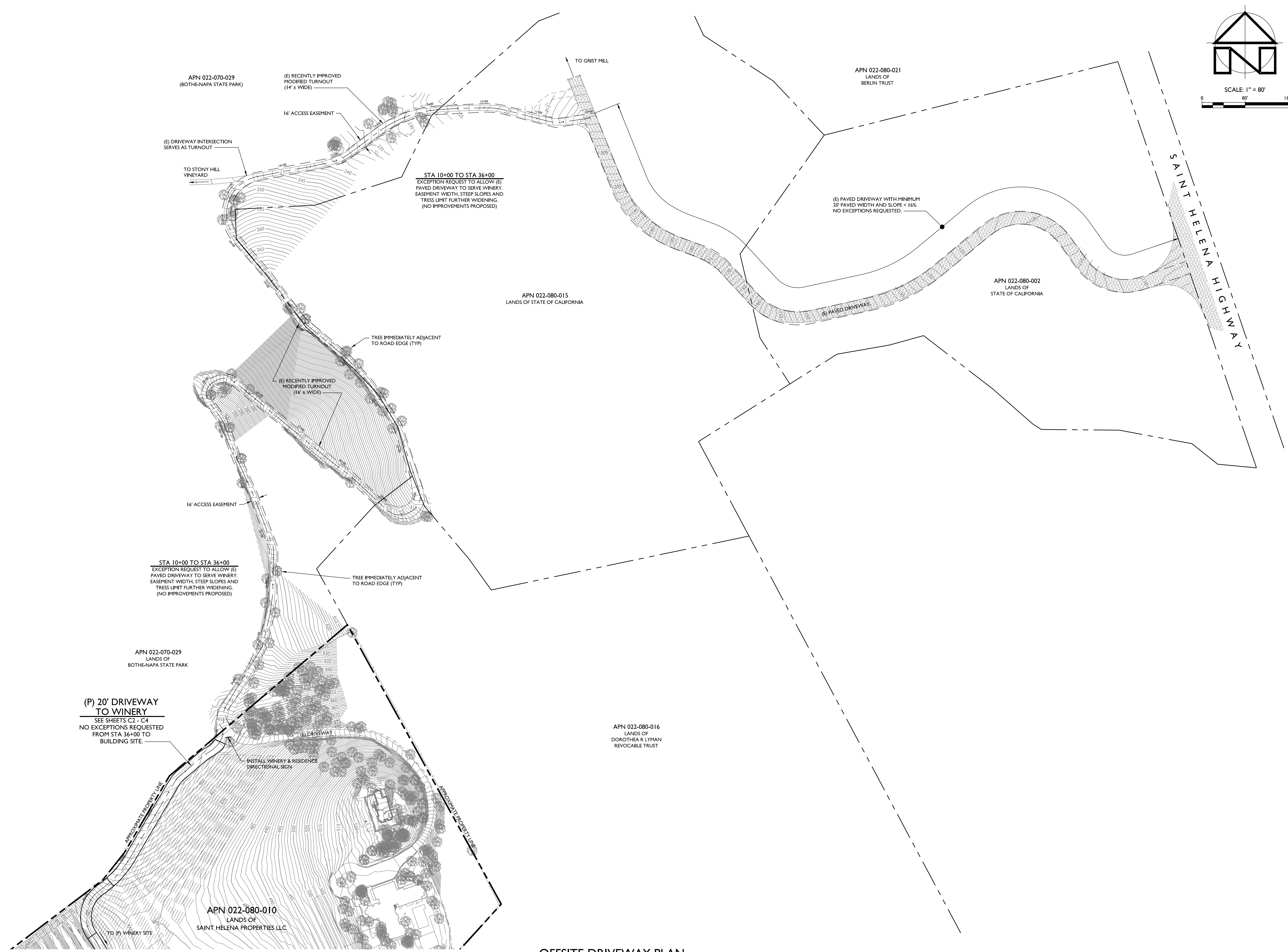
GRADING QUANTITIES*

CUT	2,300 ± CY
FILL	650 ± CY
NET**	1,650 ± CY (CUT)

* THIS ESTIMATE IS PROVIDED AS A TOOL FOR THE REVIEWING AGENCIES TO EVALUATE THE ENVIRONMENTAL IMPACTS OF THE PROJECT. IT IS NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES. CONTRACTOR IS TO PERFORM THEIR OWN EARTHWORK CALCULATIONS AND SHALL NOT USE THE ESTIMATES PRESENTED ABOVE. THIS ESTIMATE IS BASED ON IN PLACE VOLUMES AND DOES NOT INCLUDE FLUFF, SHRINKAGE, PAVING, AGGREGATES OR SELECT FILL VOLUMES.

** EXCESS SOIL CUT FROM THE PROJECT WILL BE HAULED TO OFFSITE LOCATION. OFFSITE LOCATION MUST BE PRE-APPROVED BY NAPA COUNTY BEFORE ANY SOIL IS HAULED OFFSITE.

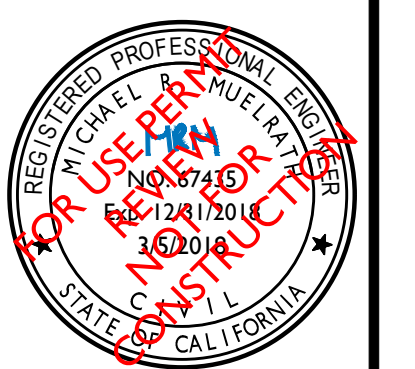
SITE GRADING PLAN
SCALE: 1" = 10'



OFFSITE DRIVEWAY PLAN
SCALE: 1" = 80'

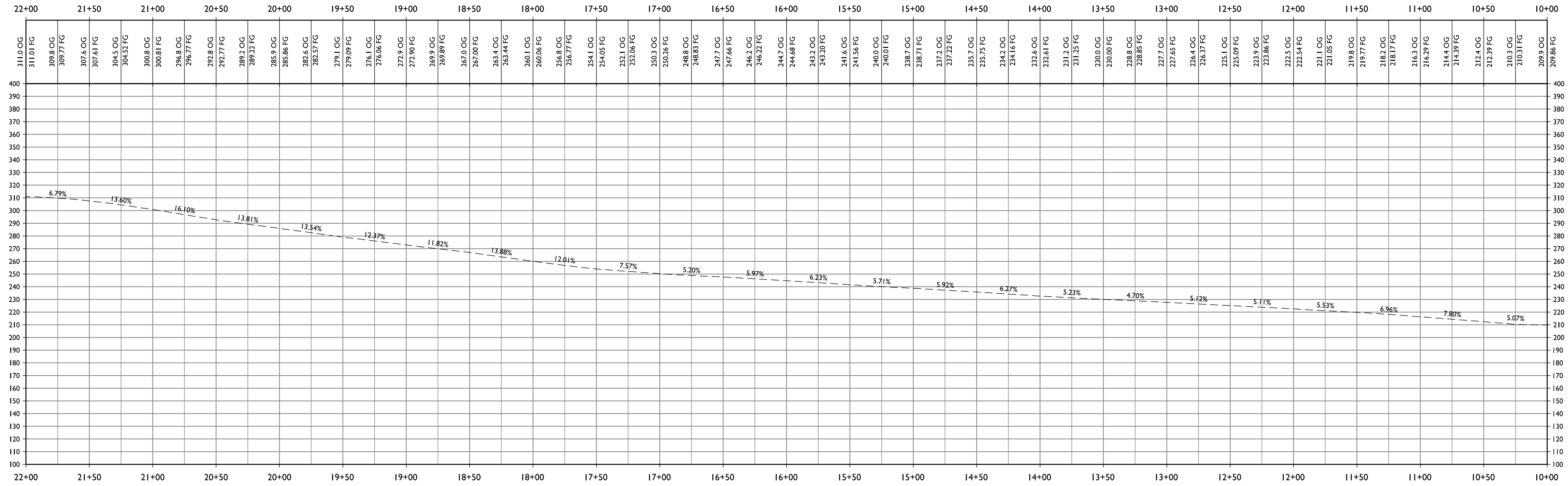
BERGMAN FAMILY VINEYARDS
WINERY USE PERMIT CONCEPTUAL SITE IMPROVEMENT PLANS
OFFSITE DRIVEWAY PLAN

PREPARED UNDER THE DIRECTION OF:



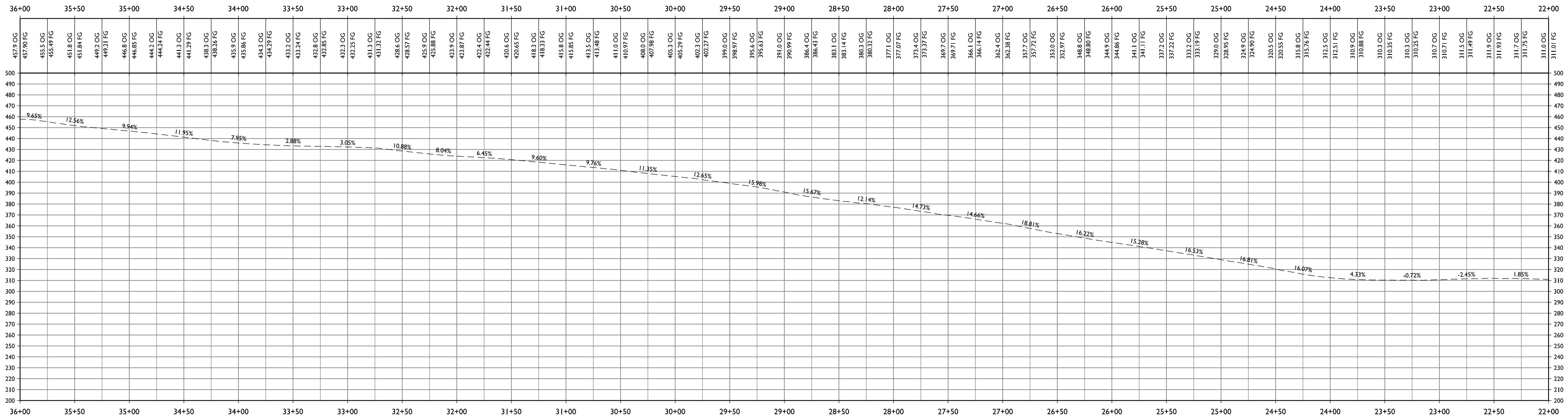
DRAWN BY:	SMI
CHECKED BY:	MRM
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REVISIONS:	BY:
△ 3/5/2018	SMI
PLAN CHECK	
REVISIONS	

JOB NUMBER:	14-129
FILE:	14-129IMP_OSD.DWG
ORIGINAL SIZE:	24" X 36"
SHEET NUMBER:	



OFFSITE DRIVEWAY PROFILE
STA 10+00 TO STA 22+00

HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 50'

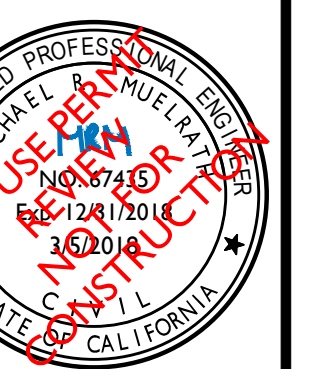


OFFSITE DRIVEWAY PROFILE
STA 22+00 TO STA 36+00

HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 50'

BERGMAN FAMILY VINEYARDS
WINERY USE PERMIT CONCEPTUAL SITE IMPROVEMENT PLANS
OFFSITE DRIVEWAY PROFILE STA 10+00 TO STA 36+00

PREPARED UNDER THE
DIRECTION OF:



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CHECKED BY:
MRM

DATE:
DECEMBER 11, 2017

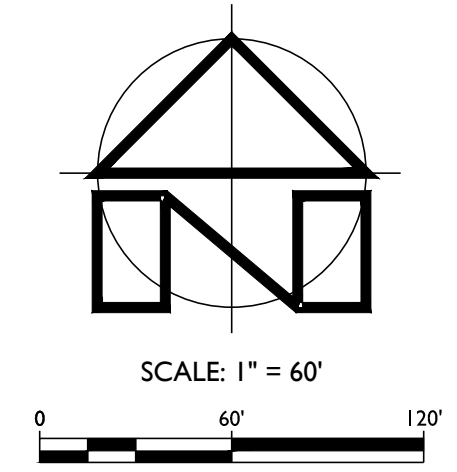
REVISIONS: BY:
3/5/2018 SMI
PLAN CHECK
REVISIONS

JOB NUMBER:
14-129

FILE:
14-129IMP_OSDP.DWG

ORIGINAL SIZE:
24" X 36"

SHEET NUMBER:



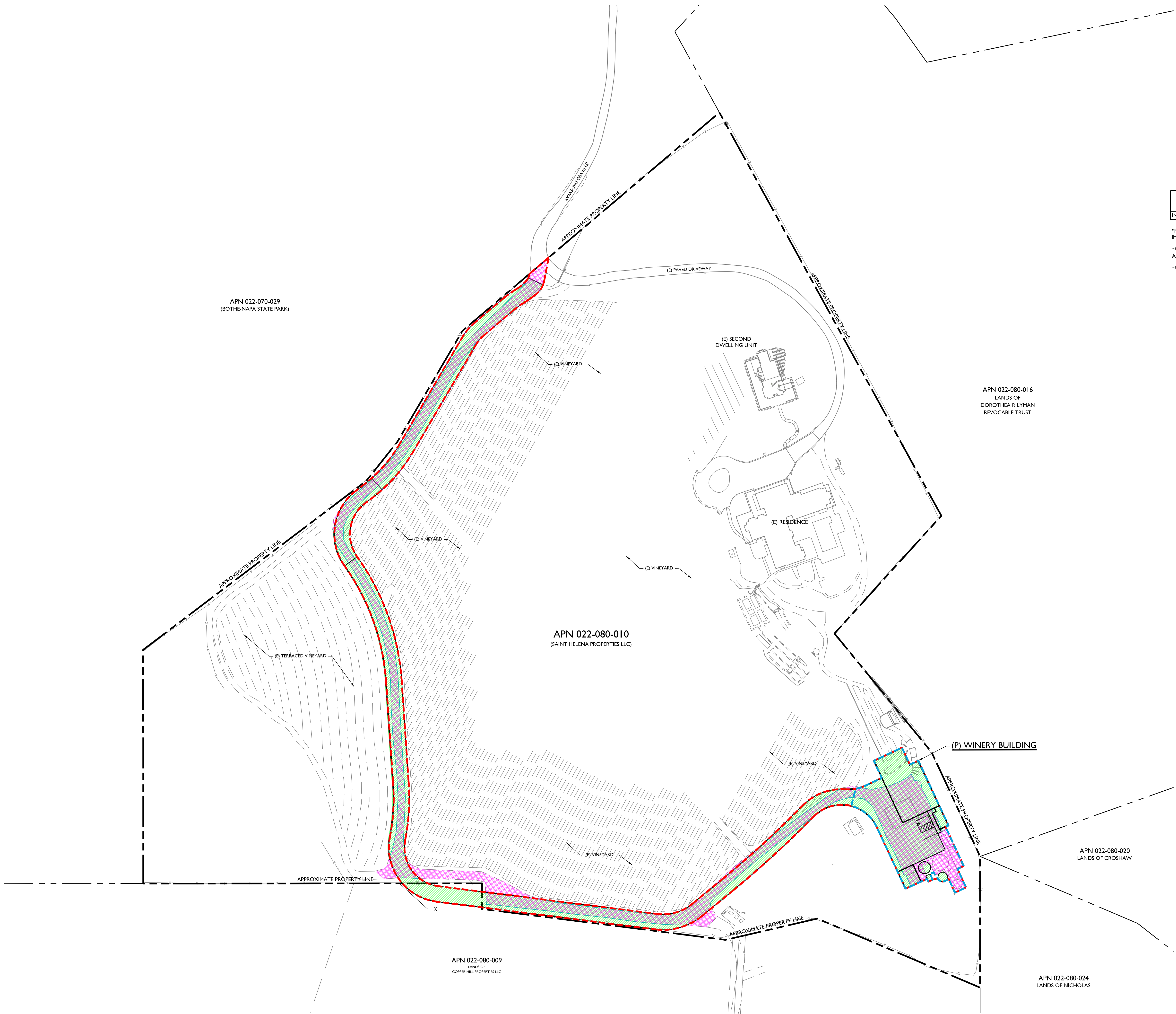
BERGMAN FAMILY VINEYARDS
WINERY USE PERMIT CONCEPTUAL SITE IMPROVEMENT PLANS
IMPERVIOUS SURFACE EXHIBIT

IMPERVIOUS SURFACE SUMMARY ***

IMPERVIOUS AREAS	PRE-PROJECT AREA (SF)	NEW AREA (SF)	RECONSTRUCTED AREA (SF)		TOTAL NEW AND RECONSTRUCTED AREA (SF)
			A*	B**	
	30,180	17,795	24,780	0	42,545

*RECONSTRUCTED AREAS (A) ARE EXISTING IMPERVIOUS SURFACES THAT ARE BEING REPLACED WITH NEW IMPERVIOUS SURFACES.
 **RECONSTRUCTED AREAS (B) ARE EXISTING IMPERVIOUS SURFACES THAT ARE BEING COMPLETELY REMOVED AND ARE NOT BEING REPLACED WITH NEW IMPERVIOUS SURFACES.
 *** DOES NOT INCLUDE RESIDENTIAL DRIVEWAY OR BUILDING AREAS.

- 44,680 ± SF WINERY COVERAGE AREA
- 13,850 ± SF WINERY DEVELOPMENT AREA



IMPERVIOUS SURFACE EXHIBIT
SCALE: 1" = 60'

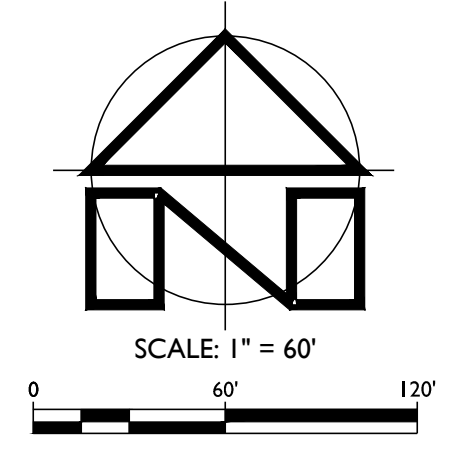
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DRAWN BY: SMI
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 DATE: DECEMBER 11, 2017
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 3/5/2018 PLAN CHECK REVISIONS

JOB NUMBER: 14-129
 FILE: 14-129CONC-ISE.DWG
 ORIGINAL SIZE: 24" X 36"

SHEET NUMBER:
C9
 OF
10



LEGEND:

- FLOW
- EXISTING SHEET FLOW
- PROPOSED SHEET FLOW
- IMPERVIOUS AREA (COLOR VARIES BY DMA)
- VEGETATED RECEIVING AREA (COLOR VARIES BY DMA)
- BIORETENTION AREA (COLOR VARIES BY DMA)

STORMWATER CONTROL PLAN EXHIBIT
SCALE: 1" = 60'

BERGMAN FAMILY VINEYARDS
WINERY USE PERMIT CONCEPTUAL SITE IMPROVEMENT PLANS
STORMWATER CONTROL PLAN EXHIBIT

PREPARED UNDER THE DIRECTION OF:



DRAWN BY:	SMI
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DATE:	DECEMBER 11, 2017
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1	3/5/2018 SMI
	PLAN CHECK REVISIONS

JOB NUMBER:	14-129
FILE:	14-129IMP_SCP.DWG
ORIGINAL SIZE:	24" X 36"
SHEET NUMBER:	