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Use Permit Application Packet with Architectural and Civil Plans

Anthem Winery P14-00320-MOD and Exception to Road and Street Standards,
Variance P14-00321-VAR and Viewshed, and
Agricultural Erosion Control Plan P14-00322-ECPA
Planning Commission Hearing Date (Wednesday, October 3, 2018)

NAPA COUNTY

Planning, Building, and Environmental Services



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Napa County Planning, Building
& Environmental Services

A Tradition of Stewardship
A Commitment to Service

USE PERMIT APPLICATION

Before you file an application...

Before you submit your application materials, and generally as early in the process as possible, give the Planning Division a call at 707.253.4417 or send us an email at planning@countyofnapa.org to schedule a Pre-Application Review Meeting. Pre-Application Meetings (or Pre-Apps) give you an opportunity to get initial feedback from County staff, to discuss the specific items which will need to be included in your submittal, and (as necessary) to review the property's history and the County's environmental sensitivity mapping. Pre-Application Meetings are a required part of the use permit application process; they also help the County provide you with a more thorough and efficient review.

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**These sheets are informational and are for your use/records. They need not be returned to the County with your application materials*

Checklist of Required Application Materials

Please make sure that the following documents are complete and legible. Consistent with the State Permit Streamlining Act and Departmental policy, the Planning, Building and Environmental Services Department will make an application completeness determination within thirty days of application submittal and the payment of all required initial fees.

✓ **Pre-Application Review Meeting with Planning Division Staff**

Please call Supervising Planner Charlene Gallina at (707) 299-1355 or via email at charlene.gallina@countyofnapa.org to schedule.

✓ **Use Permit Application**

The attached Use Permit Application forms must be completed in full and signed by the property owner or their authorized agent. Corporations, partnerships, and the like have special signature requirements as follows:

Corporations (whether for- or non-profit)

The chairman of the board OR the president or vice president AND either the secretary, assistant secretary, chief financial officer, or treasurer. Alternately, the application may be signed by any person who is authorized to do so by a corporate resolution (a copy of the resolution should be provided).

General Partnership

Any partner of the general partnership.

Limited Partnership

A general partner of the limited partnership.

Association

The president or general manager of the association.

✓ **Application Fee**

Total Fees will be based on actual time and materials. A deposit (amount of deposit will be determined at the Pre Application meeting) in the amount of \$ 5,000, check made payable to County of Napa.

✓ **To-Scale Plans**

Submit five 24" X 36", one 11" x 17" (or half-scale), and one 8½" x 11" copies of plans indicating the following. All plans must be to an identified architect's or engineer's scale and should legibly and comprehensively include the following details:

1. Name, address, and phone number of the owner of record, applicant, engineer, architect, and other project consultants as relevant.
2. Assessor's parcel numbers for all depicted parcels, north arrow (whenever possible, north should be at the top of the sheet), and graphic map scale.
3. Date of plan preparation (**revised plans must be clearly indicated with a new date and marked "revised"**)

4. All property lines of the subject parcel(s) and the dimensions thereof.
5. Location and names of all streets and right-of-ways serving the parcel(s).
6. Topography and elevation information in sufficient detail to properly assess the relationship of the proposed project and/or use to sea level and the contour of the land. Total project cut, fill, and off-haul should be indicated.
7. Location and top-of-bank of all ponds and/or reservoirs on or directly adjacent to the parcel(s).
8. Existing and proposed drainage patterns, drainage courses, and any other drainage improvements.
9. Limits of the FEMA 100-year floodplain and/or floodway if any portion of the parcel(s) is located within a mapped flood zone.
10. Location, dimensions, property-line setbacks, and road setbacks (as applicable) of all existing and proposed improvements, including, without limitation: all existing and proposed structures, caves, waste disposal systems, septic system reserve areas, wells, access roads, parking areas, ADA parking spaces, and outdoor work areas (whether covered or uncovered).
11. If the project requests a modification to the County's Road and Street Standards- detailed information on the proposed modification and its environmental context.
12. Location and dimensions of the proposed solid waste and recycling storage area.
13. Location and dimensions of all existing and proposed easements.
14. The areas (if any) that will be landscaped, with a description of the plant varieties, size and location of the materials to be planted and a description of proposed irrigation. The total square footage of proposed landscape areas should be indicated. Note- *projects exceeding 5,000 sq.ft. (residential) or 2,500 sq. ft. (non-residential) of landscaping are subject to additional Water Efficient Landscape Ordinance requirements.*
15. All existing trees with diameters at breast height (dbh) ≥ 6", with dbh, species, and whether the tree is to be removed or preserved indicated for each.
16. Temporary and/or permanent grading spoils storage/disposal areas.

IF YOUR PROJECT IS A WINERY, please also submit a single 24" X 36" copy of plans indicating the following. All plans must be to an identified architect's or engineer's scale and should legibly and comprehensively include the following details:

17. Marked-up site plan(s) showing existing and proposed "winery development area" and "winery coverage" in square feet. Please show your work and see the *Supplemental Application for Winery Uses* for definitions.

To-Scale Floor Plans

Submit five 24" X 36", one 11" x 17" (or half-scale), and one 8½" x 11" copies of all floor plans. All plans must be to an identified scale and should clearly indicate existing and proposed conditions. Floor plans should legibly and comprehensively include the following details:

1. Dimensions and area of all rooms, hallways, and covered or partially enclosed outdoor areas.
2. Use of each area within each structure.
3. Location of emergency exits.

IF YOUR PROJECT IS A WINERY, please also submit a single 24" X 36" copy of plans indicating the following. All plans must be to an identified architect's or engineer's scale and should legibly and comprehensively include the following details:

4. Marked-up plan(s) showing existing and proposed interior and exterior "production area" and "accessory area" in square feet. Please show your work and see p. 11 for definitions.

To-Scale Building Elevations

Submit five 24" X 36", one 11" x 17" (or half-scale), and one 8½" x 11" copies of all elevations. Elevations should be to an identified architect's or engineer's scale and should clearly indicate the following existing and proposed information. If no elevation changes are proposed, photographs may be submitted in the place of scaled elevations.

1. All relevant dimensions.
2. Exterior materials.
3. Exterior colors.
4. Existing grade.
5. Finished grade.
6. Finished floor level.
7. Building height consistent with Figure 209-1 of the 1997 *UBC Handbook*.

Site photographs

Submit color photographs of the site and its vicinity adequate to depict existing conditions at the time of application submittal.

Water Supply & Waste Disposal Information

1. For projects using groundwater- Engineering Division Phase 1 water study, please refer to and complete the [Water Availability Analysis](#)
2. For projects served by a water utility- Water service will-serve letter.
3. For projects served by a sewerage utility- Sewage disposal will-serve letter.

Digital copies

Submit digital copies (Adobe PDF format) of all submitted information, including all forms, reports, plans, elevations, and/or photos. **Digital copies must also be submitted with any and all revisions or resubmittals.**

Technical Studies

The following studies are generally required unless waived by County Planning Staff at or following a Pre-Application Review Meeting. Please see County Planning Staff for a list of pre-qualified consultants.

1. Traffic Study
2. Archeological/Cultural Resources Study
3. Historic Resources Study
4. Biological Study – Includes Spring Botanical Survey
5. Special Studies (The following may be required on a project-specific basis at the discretion of the Planning Director.)
 - Noise Study
 - Aviation Compatibility Study
 - Visual Impacts Study (Generally includes photographic simulations)
 - Geological/Geotechnical Hazard Report
 - Hydrology (runoff pre- and post-project) Analysis
 - Hydraulic (flood impact) Analysis
 - Other: _____
 - Other: _____

Additional Information Required by the Environmental Health;

1. Soil Evaluation Report if an on-site septic system is proposed.
2. Engineering Feasibility Report if an on-site pond system or engineered septic system is proposed OR if peak waste flows exceed 1,500 gallons per day.
3. Water System Feasibility Report if the water supply system will serve 25 or more people inclusive of employees, visitors, and residents or if kitchen is proposed. See enclosed handout.
4. Water and/or Sewage Disposal Easement if an off-site spring, well, reservoir, storage tank, or individual sewage disposal system is proposed.
5. Completed Business Activities form, enclosed.
6. Solid Waste & Recycling Storage area location and size included on overall site plan. See guidelines at www.countyofnapa.org/DEM/.
7. Cave setback plan if a cave is proposed. See enclosed handout.

Please Note

While this checklist includes all information generally required to process a Use Permit application, it is primarily focused on winery uses. Additional information may be required at the discretion of the Planning, Building, and Environmental Services Director, and in particular in those cases where non-winery commercial uses (such as restaurants) are proposed. **The Planning Division will make every effort to identify any additional required information at or directly following the Pre-application Review Meeting.**



file No _____

Napa County
Planning, Building, and Environmental Services
1195 Third Street, Suite 210, Napa, California, 94559 phone (707) 253-4417
web www.countyofnapa.org email planning@countyofnapa.org

A Tradition of Stewardship
A Commitment to Service

Use Permit Application

To be completed by Planning staff...

Application Type: _____

Date Submitted: _____ Resubmittal(s): _____ Date Complete: _____

Request: _____

*Application Fee Deposit: \$ _____ Receipt No. _____ Received by: _____ Date: _____

*Total Fees will be based on actual time and materials

To be completed by applicant...

Project Name: Anthem Winery

Assessor's Parcel No: 035-470-046 Existing Parcel Size: 27.23 ac.

Site Address/Location: 3454 Redwood Road, Napa, CA 94558

Primary Contact: [X] Owner [] Applicant [] Representative (attorney, engineer, consulting planner, etc.)

Property Owner: Justin and Julie Arbuckle, Trustees of the Arbuckle Family Trust

Mailing Address: 3454 Redwood Road, Napa, CA 94558

Telephone No (707) 227 - 0722 E-Mail: jarbuckle@sbcglobal.net

Applicant (if other than property owner): _____

Mailing Address: _____

Telephone No () - E-Mail: _____

Representative (if applicable): Rob Anglin, Esq.

Mailing Address: 1455 First Street, Suite 217 Napa CA 94559

Telephone No (707) 927 - 4274 E-Mail: anglin@htralaw.com

Certification and Indemnification

Applicant certifies that all the information contained in this application, including all information required in the Checklist of Required Application Materials and any supplemental submitted information including, but not limited to, the information sheet, water supply/waste disposal information sheet, site plan, floor plan, building elevations, water supply/waste disposal system site plan and toxic materials list, is complete and accurate to the best of his/her knowledge. Applicant and property owner hereby authorize such investigations including access to County Assessor's Records as are deemed necessary by the County Planning Division for preparation of reports related to this application, *including the right of access to the property involved.*

Pursuant to Chapter 1.30 of the Napa County Code, as part of the application for a discretionary land use project approval for the project identified below, Applicant agrees to defend, indemnify, release and hold harmless Napa County, its agents, officers, attorneys, employees, departments, boards and commissions (hereafter collectively "County") from any claim, action or proceeding (hereafter collectively "proceeding") brought against County, the purpose of which is to attack, set aside, void or annul the discretionary project approval of the County, or an action relating to this project required by any such proceeding to be taken to comply with the California Environmental Quality Act by County, or both. This indemnification shall include, but not be limited to damages awarded against the County, if any, and cost of suit, attorneys' fees, and other liabilities and expenses incurred in connection with such proceeding that relate to this discretionary approval or an action related to this project taken to comply with CEQA whether incurred by the Applicant, the County, and/or the parties initiating or bringing such proceeding. Applicant further agrees to indemnify the County for all of County's costs, attorneys' fees, and damages, which the County incurs in enforcing this indemnification agreement.


Applicant further agrees, as a condition of project approval, to defend, indemnify and hold harmless the County for all costs incurred in additional investigation of or study of, or for supplementing, redrafting, revising, or amending any document (such as an EIR, negative declaration, specific plan, or general plan amendment) if made necessary by said proceeding and if the Applicant desires to pursue securing approvals which are conditioned on the approval of such documents.

In the event any such proceeding is brought, County shall promptly notify the Applicant of the proceeding, and County shall cooperate fully in the defense. If County fails to promptly notify the Applicant of the proceeding, or if County fails to cooperate fully in the defense, the Applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the County. The County shall retain the right to participate in the defense of the proceeding if it bears its own attorneys' fees and costs, and defends the action in good faith. The Applicant shall not be required to pay or perform any settlement unless the settlement is approved by the Applicant.

Anthem Winery and Vineyards, LLC

Print Name of Property Owner

Print Name Signature of Applicant (if different)

 6/15/18

Signature of Property Owner

Date

Signature of Applicant

Date

Supplemental Application for Winery Uses

Operations

Please indicate whether the activity or uses below are already legally **EXISTING**, whether they exist and are proposed to be **EXPANDED** as part of this application, whether they are **NEWLY PROPOSED** as part of this application, or whether they are neither existing nor proposed (**NONE**).

Retail Wine Sales	<input type="checkbox"/> Existing	<input type="checkbox"/> Expanded	<input checked="" type="checkbox"/> Newly Proposed	<input type="checkbox"/> None
Tours and Tasting- Open to the Public	<input type="checkbox"/> Existing			
Tours and Tasting- By Appointment	<input type="checkbox"/> Existing	<input type="checkbox"/> Expanded	<input checked="" type="checkbox"/> Newly Proposed	<input type="checkbox"/> None
Food at Tours and Tastings	<input type="checkbox"/> Existing	<input type="checkbox"/> Expanded	<input checked="" type="checkbox"/> Newly Proposed	<input type="checkbox"/> None
Marketing Events*	<input type="checkbox"/> Existing	<input type="checkbox"/> Expanded	<input checked="" type="checkbox"/> Newly Proposed	<input type="checkbox"/> None
Food at Marketing Events	<input type="checkbox"/> Existing	<input type="checkbox"/> Expanded	<input checked="" type="checkbox"/> Newly Proposed	<input type="checkbox"/> None
Will food be prepared...		<input checked="" type="checkbox"/> On-Site?	<input type="checkbox"/> Catered?	
Public display of art or wine-related items	<input type="checkbox"/> Existing	<input type="checkbox"/> Expanded	<input checked="" type="checkbox"/> Newly Proposed	<input type="checkbox"/> None

* For reference please see definition of "Marketing," at Napa County Code §18.08.370 - <http://library.municode.com/index.aspx?clientId=16513>

Production Capacity *

Please identify the winery's...

Existing production capacity: 30,000 gal/y Per permit No: 96006-UP Permit date: 07/08/1996

Current maximum actual production: 0 as make wine elsewhere gal/y For what year? 2014

Proposed production capacity: 50,000 gal/y

* For this section, please see "Winery Production Process," at page 11.

Visitation and Hours of Operation

Please identify the winery's...

Maximum daily tours and tastings visitation:	<u>0</u> existing	<u>48 per day</u> proposed
Average daily tours and tastings visitation ¹ :	<u>0</u> existing	<u>24 per day</u> proposed
Visitation hours (e.g. M-Sa, 10am-4pm):	<u>0</u> existing	<u>10:00am - 6:00pm</u> proposed
Non-harvest Production hours ² :	<u>non-restricted</u> existing	<u>8:00am - 8:00pm</u> proposed

¹ Average daily visitation is requested primarily for purposes of environmental review and will not, as a general rule, provide a basis for any condition of approval limiting allowed winery visitation.

² It is assumed that wineries will operate up to 24 hours per day during crush.

**Anthem Winery
Project Statement
Amended Winery Use Permit
*August 29, 2017***

Owner: Anthem Winery and Vineyards, LLC
3454 Redwood Rd.
Napa, CA 94558

Project Location: 3454 Redwood Rd.
Napa, CA 94558
APN: 035-470-046

General Plan: Agriculture, Watershed, Open Space (AWOS)
Zoning: Agricultural Watershed (AW)

Request:

This request is to modify Anthem Winery and Vineyard, LLC's ("Anthem Winery") existing Winery Use Permit (#96006-UP) to: 1) build a larger winery facility; 2) increase wine production from 30,000 to 50,000 gallons; and 3) allow tours and tastings by appointment, retail sales and marketing events on a property located at 3454 Redwood Rd., Napa, California 94558 with an Assessor Parcel Number of 035-470-046 (the "subject property").

Background:

Anthem Winery is a woman-run winery in Napa, and is owned by Justin and Julie Arbuckle, Trustees of the Arbuckle Family Trust. They acquired the subject property in July of 2006 along with its existing winery facility and Winery Use Permit. The current use permit allows wine production of 30,000 gallons utilizing a large outdoor uncovered crush pad with outdoor fermentation tanks and an indoor wine production area of 1600 square feet. The 1996 application requested and received five tastings per week for wine trade. The subject property is 27.23 acres, 6 acres of which is planted to vineyards that Anthem Winery has been harvesting to produce its own wines since 2009. Additionally, Anthem Winery has an approved erosion control plan to plant an additional 2.29 acres of vineyards on the subject property, and adjoining parcel (3123 Dry Creek Rd.). Anthem Winery's adjoining parcels total 44.8 acres. Concurrent with this project, Anthem Winery is applying for an erosion control plan (ECP) to plant another 0.95 acres of vineyards on its two parcels.

In addition to the existing winery facility, there is an existing residence, two barns, and two accessory buildings on the subject property. There is also a 0.6 mile access road from Redwood Rd., across Redwood Creek, and to the residence and winery facility. The existing access road is 10 feet wide and has four turnouts.

The subject property is in an area with very few visible neighbors and is very difficult to see from the floor of the Napa Valley although parts of it are located near a minor ridgeline

overlooking Dry Creek Road. By building the production facility and caves into the hillside, the project's design minimizes the visibility and size of buildings to be located on the hilltop and the above-grade square footage required for wine production. The design also avoids removal of productive vineyards, requiring removal of just 0.2 acres of vines already in need of replanting, which will be replaced by planting 2.29 acres of vineyard already approved and the 0.95 acres of vineyards Anthem Winery now proposes in its ECP application.

At the County's request, Anthem Winery has had experts conduct traffic, noise, groundwater, and biological assessments. Each of these assessments have respectively concluded that the proposed use permit modification will have no significant impact on traffic, noise, groundwater, or the biological environment.

Project Description:

Winery: Anthem Winery proposes to build a new 10,833 square foot environmentally friendly winemaking facility (including two fermentation rooms, and a bottle room with a tasting area, a lab, and service rooms) into the hillside that it intends to be certified Napa Green. The winery, which has been designed by renowned Napa Valley architects Howard Backen and John Taft, will be divided into two buildings with a round bottle room in the center connecting the two buildings.

Instead of crushing and fermenting grapes outdoors on its existing large uncovered crush pad close the site's East property boundary line as it currently is permitted to do, Anthem Winery proposes to crush and ferment grapes in an indoor winemaking facility that is built back into the hillside, which will reduce noise and be less visible from the few neighboring parcels. This proposed winemaking facility will be over 200 feet away from the site's East boundary, whereas the existing permitted outdoor fermentation tanks and crush pad are located about 20 feet from the East boundary. The Arbuckles' residence is located about 300 feet from the proposed facility. When the existing winery was permitted in 1996, there were no residences on adjacent parcels within 1000 feet. (See page 2 of the Staff Report for 96006-UP dated October 16, 1996.) Now, the two nearest other residences are located approximately 900 feet (3 football fields) away from the proposed facility with ample existing evergreen screening between the proposed winery and those residences. Other residences in the vicinity are well over 1000 feet away.

This application requests to increase the winery's permitted production limit from 30,000 gallons to 50,000 gallons of wine per year. All of the grapes grown on the property will be crushed at the winery, as well the grapes from Anthem Winery's other Napa growers. Anthem Winery has no relationships with growers outside of Napa. Additionally, Anthem Winery intends to crush grapes of its winemaker's three other brands (currently Tor Kenward, RADIUS, and Mayacama Farms), all of which are located in Napa and produce Napa wines. Activities related to all wines produced at the winery (regardless of brand) will comply with the proposed production levels, visitation, employees, and all use permit conditions.

Hospitality / Marketing Plan: Anthem Winery's tasting room and guest relations building is separate from the winery building. This smaller 1508 square foot structure will offer guests

the opportunity to taste Anthem Winery's wines in a natural setting that will be one of the most beautiful places to learn about wine in Napa Valley. Allowing visitation to Anthem Winery is crucial to its survival and ability to preserve the agricultural use of its parcels. It is the only realistic means by which Anthem Winery can increase its direct to consumer sales enough to remain a viable agricultural business. In addition, Anthem Winery's visiting customers will help support Napa Valley's local economy, and the viability and success of all the other small businesses that depend on visitors and direct to consumer sales. During construction of the winemaking facility, Anthem Winery requests to have a temporary tasting room at its existing winery while wine production is occurring at this existing facility. The temporary tasting room will be located in the existing 1600 square foot winery and 200 square foot adjacent outdoor event area, and will utilize the existing winery restroom and the parking spots next to the existing outdoor crush pad. No temporary office is proposed.

On premise consumption of wine is requested pursuant to the Evans Bill (AB2004). Hours of operation will be from 8:00 a.m. to 8:00 p.m. (10:00 a.m. to 6:00 p.m. tasting, and 8:00 a.m. to 8:00 p.m. non-harvest production) 7 days a week.

After discussions with neighbors, Anthem Winery already has made the substantial concession of agreeing to reduce its visitation numbers by 20% and special event numbers by 50%. Anthem Winery has therefore reduced its marketing plan directly in response to its neighbors' concerns and now proposes the following reduced visitation and event numbers:

- (1) Tours and tastings by prior appointment of 48 people per day on weekends, and 32 people per day on weekdays, for a maximum of 256 guests per week.
- (2) Marketing plan comprised of 2 food and wine events per month with a maximum of 30 people with no more than one of these events in the evening; ten events per year with a maximum of 100 people; one 200 person event per year; one 300 person event per year; and participation in the Wine Auction.

This substantially reduced visitation and event plan is reasonable and falls well within the visitation and event numbers granted to similar wineries in the past few years. The marketing events will occur inside and outside the winery and hospitality buildings and may include food service. Tours and tastings may occur on days that marketing events also occur. Evening marketing events (including clean-up) are proposed to cease by 10:00 p.m. on weekdays and by midnight on weekends. In addition, the three larger events will move indoors by 10 p.m. All marketing events will be by appointment or invitation. Parking will be in front of the winery, on site next to the vineyard blocks, and off site utilizing shuttle service.

Administration/Office Building: The administrative offices for the winery will be adjacent to the tasting room. This 1,724 square foot structure will include an office area for winery staff and owners, a conference room, and a commercial kitchen for events.

Caves: Anthem Winery will store the wine produced at the winery in barrels located in underground caves that connect to the back of the winery's bottle room. The caves for barrels will total 26,408 square feet, including two cave extensions, two 641 square foot cave tasting

rooms for guests, and two mechanical room spaces. Harvested rainwater will be stored in two large underground storage tanks that total an additional 2,645 square feet.

Parking: Employees and guests will park in front of and behind the winery. There will be 22 new parking spaces, including 1 new ADA parking space, 1 new parking space for electric vehicles with an electric vehicle charging station, and 1 new parking space for clean-air vehicles.

Construction Phases: Anthem Winery will complete construction in three phases. The first phase includes construction of the driveway, parking, septic system, winery production structures, bottle room, outdoor tasting area, and cave storage tanks for harvested rainwater. The second phase includes construction of the caves, and the third includes building the tasting room and office structures.

Employees: Anthem Winery will employ 7 full time and 5 part time employees.

Site Improvements: Anthem Winery proposes to use less water than it is currently permitted to use through substantial rainwater harvesting, recycling of winery process water, and installation of a water-efficient underground irrigation system. The proposed rainwater harvesting and reuse of process water will more than offset the proposed winery's total water use in an average year. Anthem Winery will also utilize three of its existing wells as project wells, but proposes to substantially reduce its already permitted groundwater use.

The entry road for the winery, tasting room and offices will be re-routed to the existing driveway at 3123 Dry Creek Rd., which has better visibility and access for emergency vehicles. The existing driveway at 3123 Dry Creek Rd. will be widened to two lanes and improved. The proposed driveway will provide a paved connection between Redwood Rd. and Dry Creek Rd. that will enable access to these roads and to neighboring parcels in emergencies such as fires, mudslides, and earthquakes - a valuable benefit to the community. Dry Creek Rd. is Level of Service D or below, which the project will not change.

Greenhouse Gas Reduction: Anthem Winery is committed to sustainable operations in its winery and vineyard, and recently achieved Napa Green certification of its vineyards. The proposed winery will install solar panels on the rooftops of the new winery buildings to supply electricity, and has incorporated numerous Best Management Practices and greenhouse gas reduction measures into its project plans, including plans for winery certification under Napa Green, processing wastewater onsite (i.e. no hold-and-haul), substantial rainwater harvesting and reuse of treated process wastewater to decrease groundwater use below what is already permitted, energy and water saving winery equipment, and installation of a water-efficient underground irrigation system. Additionally, employees and visitors will be encouraged to carpool or ride their bikes. A bike rack will be installed and bicycle maps will be available online to customers.

Variance Requested: Anthem Winery requests a variance from the setback of 300 feet from a private driveway serving another parcel on the grounds that: (1) Anthem Winery owns both parcels that will share the 3123 Dry Creek Rd. driveway, thus the driveway is not actually

shared with any neighbor and the setback's purpose of protecting neighbors who share a driveway serving a winery would not be served; (2) compliance with the setback would require removal of mature, productive vineyards without a corresponding public benefit; (3) the proposed structures within the 300 foot setback will be far less visible from the subject driveway than these structures would be if they were forced to move South to be outside the setback because any feasible location outside of it would require a large wine production warehouse to be built on top of the hillside and ridgeline where productive vineyards are located; and (4) the proposed structures and caves will use far less energy and produce significantly less greenhouse gas than an above grade wine production warehouse. For these reasons and those set forth in the Variance Application, Anthem Winery requests it be allowed to build the buildings located less than 300 feet from its 3123 Dry Creek Rd. driveway as shown on the plans submitted herewith.

Road and Street Standards: Anthem Winery requests an exception to the Road and Street Standards for winery driveway width on the grounds that: (1) The topography, property boundary lines, and/or existing mature native trees prohibit widening the Dry Creek Rd. driveway to 20 feet its entire length, but wherever physically possible, Anthem Winery will widen the driveway to 20 feet; and (2) Compared to the proposed Dry Creek Rd. driveway, Anthem Winery's existing, already approved 10 foot wide Redwood Rd. driveway has inferior lines of site, provides inferior access for emergency vehicles to the winery, and no emergency access between Redwood Rd. and Dry Creek Rd. Additionally, the proposed exception includes measures to provide the same level of access and safety that would be achieved by the Road and Street Standards.

Definitions

The below are paraphrased from County Code, please see referenced code sections for full text.

- a. **Winery Development Area** – All aggregate paved or impervious or semi-permeable ground surface areas of the production facility which includes all storage areas (except caves), offices, laboratories, kitchens, tasting rooms and paved parking areas for the exclusive use of winery employees. *See Napa County Code §18.104.210*
- b. **Winery Coverage** – The total square foot area of all winery building footprints, all aggregate paved or impervious ground surface areas of the production facility which includes all outside work, tank and storage areas (except caves); all paved areas including parking and loading areas, walkways, and access driveways to public or private roads or rights-of-way; and all above-ground wastewater and run-off treatment systems. *See Napa County Code §18.104.220*
- c. **Production Facility** – (For the purpose to calculate the maximum allowable accessory use) The total square footage of all winery crushing, fermenting, bottling, bulk and bottle storage, shipping, receiving, laboratory, equipment storage and maintenance facilities, and employee-designated restrooms but does not include wastewater treatment or disposal areas which cannot be used for agricultural purposes. *See Napa County Code §18.104.200*
- d. **Accessory Use** - The total square footage of area within winery structures used for accessory uses related to a winery that are not defined as “production facility” which would include offices, lobbies/waiting rooms, conference/meeting rooms, non-production access hallways, kitchens, tasting rooms (private and public areas), retail space areas, libraries, non-employee designated restrooms, art display areas, or any area within winery structures not directly related to wine production. *See Napa County Code §18.104.200*

Conservation Development and Planning

Winery Production Process



The Napa County Code contains various references to winery production and refers to production capacity as “the wine bottled or received” at a winery and refers to “bottling and storage of bottled wine and shipping and receiving of bulk and bottled wine” (Code Section 18.16.030(G)(4)).¹

This handout was developed by the County planning staff with the assistance of a number of local industry representatives to assist property owners and other interested parties in interpreting Napa County Code references to winery production. It does not create a new definition or regulation.

A winery’s total annual production equals either (1) the sum of all wine created through fermentation in a given year, plus the net total of all fermented bulk wine received and shipped in the same year, including all bottled wine received on the premises during the same year, or (2) the amount of wine bottled on the premises in the same given year, *whichever is greater*.

Using the diagram on the right, this means the greater of $A+(B-C)$, or D. If $B-C$ is a negative number, total production is equal to either A or D, whichever is greater.

This interpretation holds true for all physical winery facilities regardless of the number of business entities (e.g. Alternating Proprietors/Custom Crush) they accommodate or the date that their production capacity was established or recognized. However, wineries occupying multiple facilities are governed by the specific terms of their use permit or Certificate of Legal Non-conformity (CLN), which may vary.

Quantities represented by items A through D on the diagram can be determined by reviewing a winery’s annual submittals to the federal Bureau of Alcohol, Tobacco and Firearms (ATF). The County may periodically request a copy of these submittal(s) as a way to monitor compliance with previously adopted conditions/requirements. The County recognizes that annual variations can occur due to the grape harvest and the timing of finishing/bottling, and will generally review and average three to five consecutive years of data.

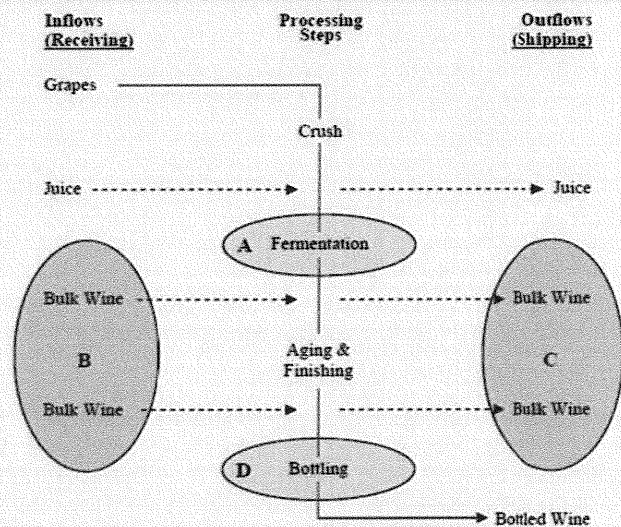


Figure 1. Winery Production Process

¹ The complexity of these statements can be attributed to the authors’ desire to avoid “double counting” bulk wine that is both received and bottled at a winery, and the fact that multiple vintages are present within a winery at any given time.

Winery Coverage and Accessory/Production Ratio

Winery Development Area. Consistent with the definition at "a.," at page 11 and with the marked-up site plans included in your submittal, please indicate your proposed winery development area. If the facility already exists, please differentiate between existing and proposed.

Existing	_____ <u>2,500</u> _____ sq. ft.	_____ <u>0.06</u> _____ acres
Proposed	_____ <u>16,090</u> _____ sq. ft.	_____ <u>0.34</u> _____ acres

Winery Coverage. Consistent with the definition at "b.," at page 11 and with the marked-up site plans included in your submittal, please indicate your proposed winery coverage (maximum 25% of parcel or 15 acres, whichever is less).

_____ 94,712 _____ sq. ft. _____ 2.17 _____ acres _____ 8.0 _____ % of parcel

Production Facility. Consistent with the definition at "c.," at page 11 and the marked-up floor plans included in your submittal, please indicate your proposed *production* square footage. If the facility already exists, please differentiate between existing and proposed.

Existing	_____ <u>2,500</u> _____ sq. ft.	Proposed	_____ <u>38,296</u> _____ sq. ft.
----------	----------------------------------	----------	-----------------------------------

Accessory Use. Consistent with the definition at "d.," at page 11 and the marked-up floor plans included in your submittal, please indicate your proposed *accessory* square footage. If the facility already exists, please differentiate between existing and proposed. (maximum = 40% of the production facility)

Existing	_____ <u>0</u> _____ sq. ft.	_____ <u>0</u> _____ % of production facility
Proposed	_____ <u>5,502</u> _____ sq. ft.	_____ <u>12.5</u> _____ % of production facility

Caves and Crushpads

If new or expanded caves are proposed please indicate which of the following best describes the public accessibility of the cave space:

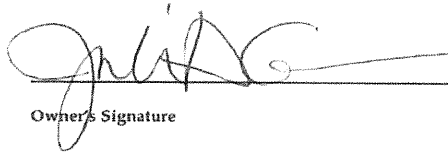
- None – no visitors/tours/events (Class I)
 Guided Tours Only (Class II)
 Public Access (Class III)
- Marketing Events and/or Temporary Events (Class III)

Please identify the winery's...

Cave area	Existing: _____ <u>1,600</u> _____ sq. ft.	Proposed: _____ <u>27,453</u> _____ sq. ft.
Covered crush pad area	Existing: _____ <u>0</u> _____ sq. ft.	Proposed: _____ <u>0</u> _____ sq. ft.
Uncovered crush pad area	Existing: _____ <u>0</u> _____ sq. ft.	Proposed: _____ <u>0</u> _____ sq. ft.

Initial Statement of Grape Source

Pursuant to Napa County Zoning Ordinance Sections 12419(b) and (c),
I hereby certify that the current application for establishment or expansion of a winery
pursuant to the Napa County Winery Definition Ordinance will employ sources of
grapes in accordance with the requirements of Section 12419(b) and/or (c) of that
Ordinance.



Owner's Signature

6/15/18

Date

Letters of commitment from grape suppliers and supporting documents may be required prior to issuance of any building permits for the project. Recertification of compliance will be required on a periodic basis. Recertification after initiation of the requested wine production may require the submittal of additional information regarding individual grape sources. Proprietary information will not be disclosed to the public.

Water Supply/ Waste Disposal Information Sheet

Water Supply

Please attach completed Phase I Analysis sheet.

	Domestic	Emergency
Proposed source of water (e.g., spring, well, mutual water company, city, district, etc.):	<u>Well/Collection</u>	<u>Well/Tanks</u>
Name of proposed water supplier (if water company, city, district):	<u>n/a</u>	<u>n/a</u>
Is annexation needed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Current water use:	<u>3,900</u> gallons per day (gal/d)	
Current water source:	<u>Well</u>	<u>Well</u>
Anticipated future water demand:	<u>4,900</u> gal/d	<u>0</u> gal/d
Water availability (in gallons/minute):	<u>14</u> gal/m	<u> </u> gal/m
Capacity of water storage system:	<u>20,000</u> gal	<u>400,000</u> gal
Type of emergency water storage facility if applicable (e.g., tank, reservoir, swimming pool, etc.):	<u>Tanks/Caves</u>	

Liquid Waste

Please attach Septic Feasibility Report

	Domestic	Other
Type of waste:	<u>sewage</u>	<u>Process WW</u>
Disposal method (e.g., on-site septic system, on-site ponds, community system, district, etc.):	<u>on-site septic</u>	<u>Vineyard Irrigation</u>
Name of disposal agency (if sewage district, city, community system):	<u>n/a</u>	<u>n/a</u>
Is annexation needed?	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
Current waste flows (peak flow):	<u>0</u> gal/d	<u>1,000</u> gal/d
Anticipated future waste flows (peak flow):	<u>1,399</u> gal/d	<u>1,250</u> gal/d
Future waste disposal design capacity:	<u>1,399</u> gal/d	<u>1,250</u> gal/d

Solid Waste and Recycling Storage and Disposal

Please include location and size of solid waste and recycling storage area on site plans in accordance with the guidelines available at www.countyofnapa.org/dem.

Hazardous and/or Toxic Materials

If your facility generates hazardous waste or stores hazardous materials above threshold planning quantities (55 gallons liquid, 500 pounds solid or 200 cubic feet of compressed gas) then a hazardous materials business plan and/or a hazardous waste generator permit will be required.

Grading Spoils Disposal

Where will grading spoils be disposed of?
(e.g. on-site, landfill, etc. If off-site, please indicate where off-site): on-site and/or approved permitted facility

Winery Traffic Information / Trip Generation Sheet

Traffic during a Typical Weekday

Number of FT employees: _____ x 3.05 one-way trips per employee = see traffic analysis daily trips.

Number of PT employees: _____ x 1.90 one-way trips per employee = _____ daily trips.

Average number of weekday visitors: _____ / 2.6 visitors per vehicle x 2 one-way trips = _____ daily trips.

Gallons of production: _____ / 1,000 x .009 truck trips daily³ x 2 one-way trips = _____ daily trips.

Total = _____ **daily trips.**

Number of total weekday trips x .38 = _____ **PM peak trips.**

Traffic during a Typical Saturday

Number of FT employees (on Saturdays): _____ x 3.05 one-way trips per employee = _____ daily trips.

Number of PT employees (on Saturdays): _____ x 1.90 one-way trips per employee = _____ daily trips.

Average number of weekend visitors: _____ / 2.8 visitors per vehicle x 2 one-way trips = _____ daily trips.

Total = _____ **daily trips.**

Number of total Saturday trips x .57 = _____ **PM peak trips.**

Traffic during a Crush Saturday

Number of FT employees (during crush): _____ x 3.05 one-way trips per employee = _____ daily trips.

Number of PT employees (during crush): _____ x 1.90 one-way trips per employee = _____ daily trips.

Average number of weekend visitors: _____ / 2.8 visitors per vehicle x 2 one-way trips = _____ daily trips.

Gallons of production: _____ / 1,000 x .009 truck trips daily x 2 one-way trips = _____ daily trips.

Avg. annual tons of grape on-haul: _____ x .11 truck trips daily⁴ x 2 one-way trips = _____ daily trips.

Total = _____ **daily trips.**

Number of total Saturday trips x .57 = _____ **PM peak trips.**

Largest Marketing Event- Additional Traffic

Number of event staff (largest event): _____ x 2 one-way trips per staff person = _____ trips.

Number of visitors (largest event): _____ / 2.8 visitors per vehicle x 2 one-way trips = _____ trips.

Number of special event truck trips (largest event): _____ x 2 one-way trips = _____ trips.

³ Assumes 1.47 materials & supplies trips + 0.8 case goods trips per 1,000 gallons of production / 250 days per year (see *Traffic Information Sheet Addendum* for reference).

⁴ Assumes 4 tons per trip / 36 crush days per year (see *Traffic Information Sheet Addendum* for reference).

Traffic Information Sheet Addendum

Information for Caltrans Review

Application should include:

Project Location

- Site Plan showing all driveway location(s)
- Show detail of Caltrans right-of-way
- Aerial photo at a readable scale

Trip Generation Estimate

- Please provide separate **Winery Traffic Information / Trip Generation Sheets** for existing and proposed operations.

Napa County Winery Traffic Generation Characteristics

Employees

Half-hour lunch: All - 2 trips/day (1 during weekday PM peak)
Hour lunch: Permanent Full-Time – 3.2 trips/day (1 during weekday PM peak)
Permanent Part-Time – 2 trips/day (1 during weekday PM peak)
Seasonal: 2 trips/day (0 during weekday PM peak)—crush
see full time above—bottling
Auto Occupancy: 1.05 employees/auto

Visitors

Auto occupancy:
Weekday = 2.6 visitors/auto
Weekend = 2.8 visitors/auto

Peaking Factors:

Peak Month: 1.65 x average month
Average Weekend: 0.22 x average month
Average Saturday: 0.53 x average weekend
Peak Saturday: 1.65 x average Saturday
Average Sunday: 0.8 x average Saturday
Peak Sunday: 2.0 x average Sunday

Peak Weekend Hour: Winery (3-4 PM) - 0.57 x total for weekend day involved

Average 5-Day Week (Monday-Friday) - 1.3 x average weekend

Average Weekday: 0.2 x average 5-day week

Peak Weekday Hour: Winery (3-4 PM) - 0.57 x total for weekday involved

Roadway PM Peak(4-5 PM?) - 0.38 x total for weekday involved

Service Vehicles

Grapes (36 days (6weeks)/season): 1.52 trips/1000 gals/season (4 ton loads assumed)

Materials/Supplies (250 days/yr): 1.47 trips/1000 gals/yr

Case Goods (250 days/yr): 0.8 trips/1000 gal/yr



A Tradition of Stewardship
A Commitment to Service

Project name & APN: 035-460-038, 035-470-046
Project number if known:
Contact person: Julie Arbuckle
Contact email & phone number: jarbuckle@sbcglobal.net; (707) 227-0722
Today's date: August 4, 2017

Voluntary Best Management Practices Checklist for Development Projects

Napa County General Plan Policy CON-65 (e) and Policy CON-67 (d) requires the consideration of Greenhouse Gas (GHG) emissions in the review of discretionary projects and to promote and encourage "green building" design. The below Best Management Practices (BMPs) reduce GHG emissions through energy and water conservation, waste reduction, efficient transportation, and land conservation. The voluntary checklist included here should be consulted early in the project and be considered for inclusion in new development. It is not intended, and likely not possible for all projects to adhere to all of the BMPs. Rather, these BMPs provide a portfolio of options from which a project could choose, taking into consideration cost, co-benefits, schedule, and project specific requirements. Please check the box for all BMPs that your project proposes to include and include a separate narrative if your project has special circumstances.

Practices with Measurable GHG Reduction Potential

The following measures reduce GHG emissions and if needed can be calculated. They are placed in descending order based on the amount of emission reduction potential.

Already Plan
Doing To Do

ID # BMP Name

BMP-1 Generation of on-site renewable energy
If a project team designs with alternative energy in mind at the conceptual stage it can be integrated into the design. For instance, the roof can be oriented, sized, and engineered to accommodate photovoltaic (PV) panels. If you intend to do this BMP, please indicate the location of the proposed PV panels on the building elevations or the location of the ground mounted PV array on the site plan. Please indicate the total annual energy demand and the total annual kilowatt hours produced or purchased and the potential percentage reduction of electrical consumption. Please contact staff or refer to the handout to calculate how much electrical energy your project may need.
Solar photovoltaic will be located on the roof of the fermentation buildings. Energy demand and production are unknown.

BMP-2 Preservation of developable open space in a conservation easement
Please indicate the amount and location of developable land (i.e.: under 30% slope and not in creek setbacks or environmentally sensitive areas for vineyards) conserved in a permanent easement to prohibit future development.

Already Doing Plan To Do

BMP-3 Habitat restoration or new vegetation (e.g. planting of additional trees over 1/2 acre)

Napa County is famous for its land stewardship and preservation. Restoring areas within the creek setback reduces erosion potential while planting areas that are currently hardscape (such as doing a bio-retention swale rather than underground storm drains) reduces storm water and helps the groundwater recharge. Planting trees can also increase the annual uptake of CO2e and add the County's carbon stock.

BMP-4 Alternative fuel and electrical vehicles in fleet

The magnitude of GHG reductions achieved through implementation of this measure varies depending on the analysis year, equipment, and fuel type replaced.

Number of total vehicles

Typical annual fuel consumption or VMT

Number of alternative fuel vehicles

Type of fuel/vehicle(s)

Potential annual fuel or VMT savings

BMP-5 Exceed Title 24 energy efficiency standards: Build to CALGREEN Tier 2

The California Building Code update effective January 1, 2011 has new mandatory green building measures for all new construction and has been labeled CALGREEN. CALGREEN provides two voluntary higher levels labeled CALGREEN Tier I and CALGREEN Tier II. Each tier adds a further set of green building measures that go above and beyond the mandatory measures of the Code. In both tiers, buildings will use less energy than the current Title 24 California Energy Code. Tier I buildings achieve at least a 15% improvement and Tier 2 buildings are to achieve a 30% improvement. Both tiers require additional non-energy prerequisites, as well as a certain number of elective measures in each green building category (energy efficiency, water efficiency, resource conservation, indoor air quality and community).

BMP-6 Vehicle Miles Traveled (VMT) reduction plan

Selecting this BMP states that the business operations intend to implement a VMT reduction plan reducing annual VMTs by at least 15%.

Tick box(es) for what your Transportation Demand Management Plan will/does include:

- employee incentives
- employee carpool or vanpool
- priority parking for efficient transportation (hybrid vehicles, carpools, etc.)
- bike riding incentives
- bus transportation for large marketing events
- Other:

Electric vehicle parking space with charger will be installed along with a bike rack.

Estimated annual VMT

Potential annual VMT saved

% Change

Already Doing Plan To Do

- BMP-7 Exceed Title 24 energy efficiency standards: Build to CALGREEN Tier 1**

See description below under BMP-5.

- BMP-8 Solar hot water heating**

Solar water heating systems include storage tanks and solar collectors. There are two types of solar water heating systems: active, which have circulating pumps and controls, and passive, which don't. Both of them would still require additional heating to bring them to the temperature necessary for domestic purposes. They are commonly used to heat swimming pools.

- BMP-9 Energy conserving lighting**

Lighting is approximately 25% of typical electrical consumption. This BMP recommends installing or replacing existing light bulbs with energy-efficient compact fluorescent (CF) bulbs or Light Emitting Diode (LED) for your most-used lights. Although they cost more initially, they save money in the long run by using only 1/4 the energy of an ordinary incandescent bulb and lasting 8-12 times longer. Typical payback from the initial purchase is about 18 months.

Project production areas are designed with significant north facing windows for natural daylight. CFD LED lighting will be used where practical.

- BMP-10 Energy Star Roof/Living Roof/Cool Roof**

Most roofs are dark-colored. In the heat of the full sun, the surface of a black roof can reach temperatures of 158 to 194 °F. Cool roofs, on the other hand, offer both immediate and long-term benefits including reduced building heat-gain and savings of up to 15% the annual air-conditioning energy use of a single-story building. A cool roof and a green roof are different in that the green roof provides living material to act as a both heat sink and thermal mass on the roof which provides both winter warming and summer cooling. A green (living) roof also reduces storm water runoff.

Cool roof on fermentation and caves

- BMP-11 Bicycle Incentives**

Napa County Zoning Ordinance requires 1 bicycle rack per 20 parking spaces (§18.110.040). Incentives that go beyond this requirement can include on-site lockers for employees, showers, and for visitor's items such as directional signs and information on biking in Napa. Be creative!

Winery will have a bike rack, employee shower and lockers.

- BMP-12 Bicycle route improvements**

Refer to the Napa County Bicycle Plan (NCPTA, December 2011) and note on the site plan the nearest bike routes. Please note proximity, access, and connection to existing and proposed bike lanes (Class I: Completely separated right-of-way; Class II: Striped bike lane; Class III: Signed Bike Routes). Indicate bike accessibility to project and any proposed improvements as part of the project on the site plan or describe below.

Winery's website will provide link to online bike maps to local bike accessible locations and transit.

Already Plan
Doing To Do

BMP-13 Connection to recycled water

Recycled water has been further treated and disinfected to provide a non-potable (non-drinking water) water supply. Using recycled water for irrigation in place of potable or groundwater helps conserve water resources.

Harvested rainwater will be used for vineyard and landscape irrigation, plus for winery process water.

Recycled winery process water will then be used for vineyard and landscape irrigation.

BMP-14 Install Water Efficient fixtures

WaterSense, a partnership program by the U.S. Environmental Protection Agency administers the review of products and services that have earned the WaterSense label. Products have been certified to be at least 20 percent more efficient without sacrificing performance. By checking this box you intend to install water efficient fixtures or fixtures that conserve water by 20%.

BMP-15 Low-impact development (LID)

LID is an approach to land development (or re-development) that works with nature to manage storm water as close to its source as possible. LID employs principles such as preserving and recreating natural landscape features, minimizing effective imperviousness to create functional and appealing site drainage that treat storm water as a resource rather than a waste product. There are many practices that have been used to adhere to these principles such as bioretention facilities, rain gardens, vegetated rooftops, rain barrels, and permeable pavements. By implementing LID principles and practices, water can be managed in a way that reduces the impact of built areas and promotes the natural movement of water within an ecosystem or watershed. Please indicate on the site or landscape plan how your project is designed in this way.

Structures are nestled into the hillside with roughly 2/3 of the square footage in caves.

BMP-16 Water efficient landscape

If your project is a residential development proposing in excess of 5,000 sq. ft. or a commercial development proposing in excess of 2,500 sq. ft. The project will be required to comply with the Water Efficient Landscape Ordinance (WELO).

Please check the box if you will be complying with WELO or if your project is smaller than the minimum requirement and you are still proposing drought tolerant, zeroscape, native plantings, zoned irrigation or other water efficient landscape.

BMP-17 Recycle 75% of all waste

Did you know that the County of Napa will provide recycling collectors for the interior of your business at no additional charge? With single stream recycling it is really easy and convenient to meet this goal. To qualify for this BMP, your business will have to be aggressive, proactive and purchase with this goal in mind.

Already Plan
Doing To Do

BMP-18 Compost 75% food and garden material

The Napa County food composting program is for any business large or small that generates food scraps and compostable, including restaurants, hotels, wineries, assisted living facilities, grocery stores, schools, manufacturers, cafeterias, coffee shops, etc. All food scraps (including meat & dairy) as well as soiled paper and other compostable - see <http://www.naparecycling.com/foodcomposting> for more details.

BMP-19 Implement a sustainable purchasing and shipping programs

Environmentally Preferable Purchasing (EPP) or Sustainable Purchasing refers to the procurement of products and services that have a reduced effect on human health and the environment when compared with competing products or services that serve the same purpose. By selecting this BMP, you agree to have an EPP on file for your employees to abide by.

BMP-20 Planting of shade trees within 40 feet of the south side of the building elevation

Well-placed trees can help keep your building cool in summer. If you choose a deciduous tree after the leaves drop in autumn, sunlight will warm your building through south and west-facing windows during the colder months. Well-designed landscaping can reduce cooling costs by 20%. Trees deliver more than energy and cost savings; they are important carbon sinks. Select varieties that require minimal care and water, and can withstand local weather extremes. Fruit or nut trees that produce in your area are great choices, providing you with local food as well as shade. Please use the site or landscape plan to indicate where trees are proposed and which species you are using.

BMP-21 Electrical Vehicle Charging Station(s)

As plug-in hybrid electric vehicles (EV) and battery electric vehicle ownership is expanding, there is a growing need for widely distributed accessible charging stations. Please indicate on the site plan where the station will be.

1 parking spot adjacent to covered trash enclosure.

BMP-22 Public Transit Accessibility

Refer to <http://www.ridethevine.com/vine> and indicate on the site plan the closest bus stop/route. Please indicate if the site is accessed by transit or by a local shuttle. Provide an explanation of any incentives for visitors and employees to use public transit. Incentives can include bus passes, informational hand outs, construction of a bus shelter, transportation from bus stop, etc.

Already Plan
Doing To Do

BMP-23

Site Design that is oriented and designed to optimize conditions for natural heating, cooling, and day lighting of interior spaces, and to maximize winter sun exposure; such as a cave.

The amount of energy a cave saves is dependent on the type of soil, the microclimate, and the user's request for temperature control. Inherently a cave or a building burned into the ground saves energy because the ground is a consistent temperature and it reduces the amount of heating and cooling required. On the same concept, a building that is oriented to have southern exposure for winter warmth and shading for summer cooling with an east-west cross breeze will naturally heat, cool, and ventilate the structure without using energy. Please check this box if your design includes a cave or exceptional site design that takes into consideration the natural topography and sitting. Be prepared to explain your approach and estimated energy savings.

Winery is designed to maximize passive energy savings based upon site/building orientation, natural daylighting and caves for natural cooling.

BMP-24 Limit the amount of grading and tree removal

Limiting the amount of earth disturbance reduces the amount of CO2 released from the soil and mechanical equipment. This BMP is for a project design that either proposes a project within an already disturbed area proposing development that follows the natural contours of the land, and that doesn't require substantial grading or tree removal.

BMP-25 Will this project be designed and built so that it could qualify for LEED?

BMP-25 (a)	<input type="checkbox"/>	LEED™ Silver (check box BMP-25 and this one)
BMP-25 (b)	<input type="checkbox"/>	LEED™ Gold (check box BMP-25, BMP-25 (a), and this box)
BMP-25 (c)	<input type="checkbox"/>	LEED™ Platinum (check all 4 boxes)

Practices with Un-Measured GHG Reduction Potential

BMP-26 Are you, or do you intend to become a Certified Green Business or certified as a "Napa Green Winery"?

As part of the Bay Area Green Business Program, the Napa County Green Business Program is a free, voluntary program that allows businesses to demonstrate the care for the environment by going above and beyond business as usual and implementing environmentally friendly business practices. For more information check out the Napa County Green Business and Winery Program at www.countyofnapa.org.

BMP-27 Are you, or do you intend to become a Certified "Napa Green Land"?

Napa Green Land, fish friendly farming, is a voluntary, comprehensive, "best practices" program for vineyards. Napa Valley vintners and growers develop farm-specific plans tailored to protect and enhance the ecological quality of the region, or create production facility programs that reduce energy and water use, waste and pollution. By selecting this measure either you are certified or you are in the process of certification.

Already Doing Plan To Do

BMP-28 Use of recycled materials

There are a lot of materials in the market that are made from recycled content. By ticking this box, you are committing to use post-consumer products in your construction and your ongoing operations.

BMP-29 Local food production

There are many intrinsic benefits of locally grown food, for instance reducing the transportation emissions, employing full time farm workers, and improving local access to fresh fruits and vegetables.

BMP-30 Education to staff and visitors on sustainable practices

This BMP can be performed in many ways. One way is to simply put up signs reminding employees to do simple things such as keeping the thermostat at a consistent temperature or turning the lights off after you leave a room. If the project proposes alternative energy or sustainable winegrowing, this BMP could include explaining those business practices to staff and visitors.

Alternative energy systems and sustainable wine growing will be directly marketed to visitors and staff.

BMP-31 Use 70-80% cover crop

Cover crops reduce erosion and the amount of tilling which is required, which releases carbon into the environment.

BMP-32 Retain biomass removed via pruning and thinning by chipping the material and reusing it rather than burning on-site

By selecting this BMP, you agree not to burn the material pruned on site.

BMP-33 Are you participating in any of the above BMPS at a 'Parent' or outside location?

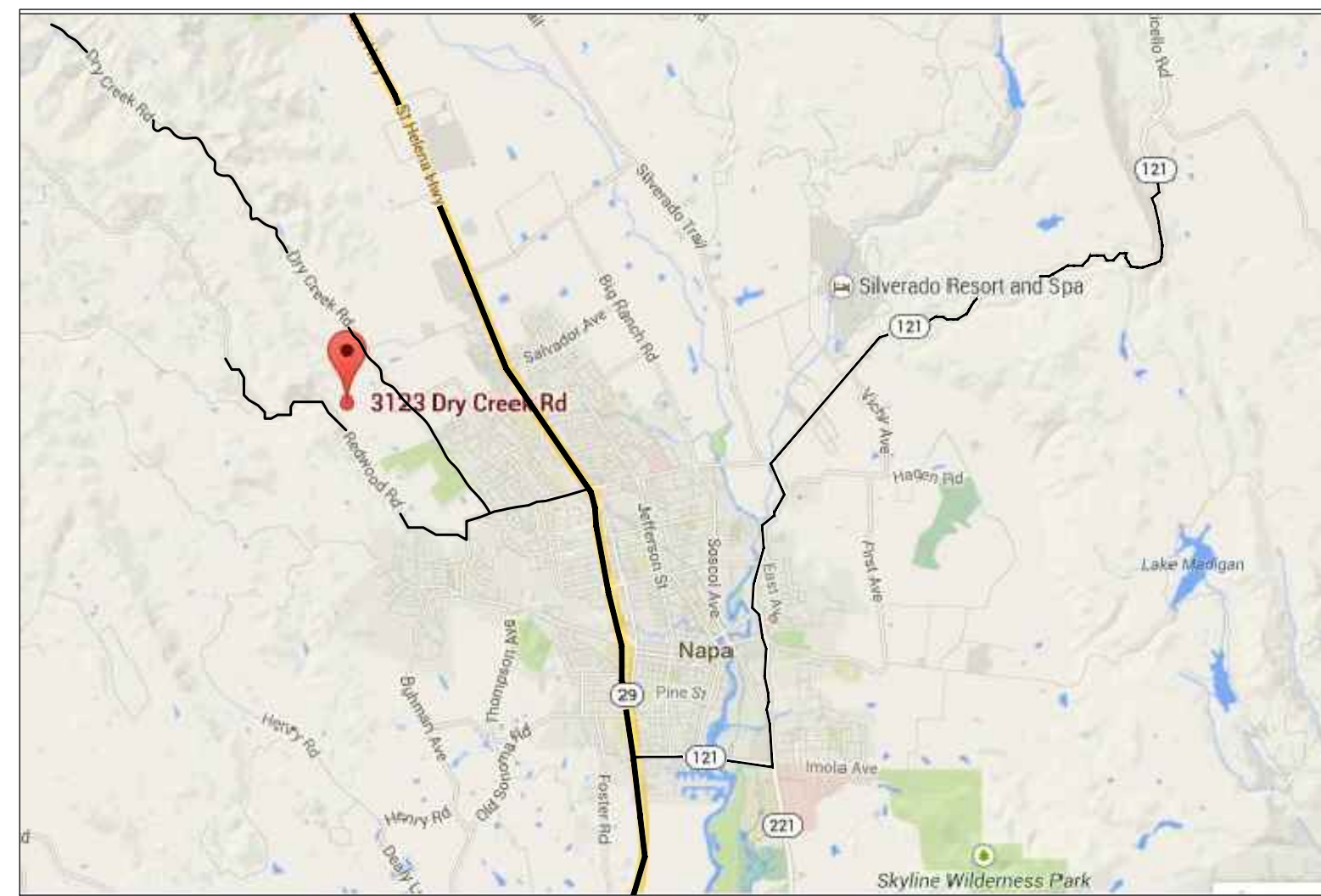
BMP-34 Are you doing anything that deserves acknowledgement that isn't listed above?

Project is designed to have no net water increase due to rainwater harvesting, recycling of process water and drought tolerant landscaping. Applicant proposes to use less groundwater than it is currently permitted to use through rainwater harvesting, reuse of winery process water, and installation of a water-efficient underground irrigation system

Comments and Suggestions on this form?

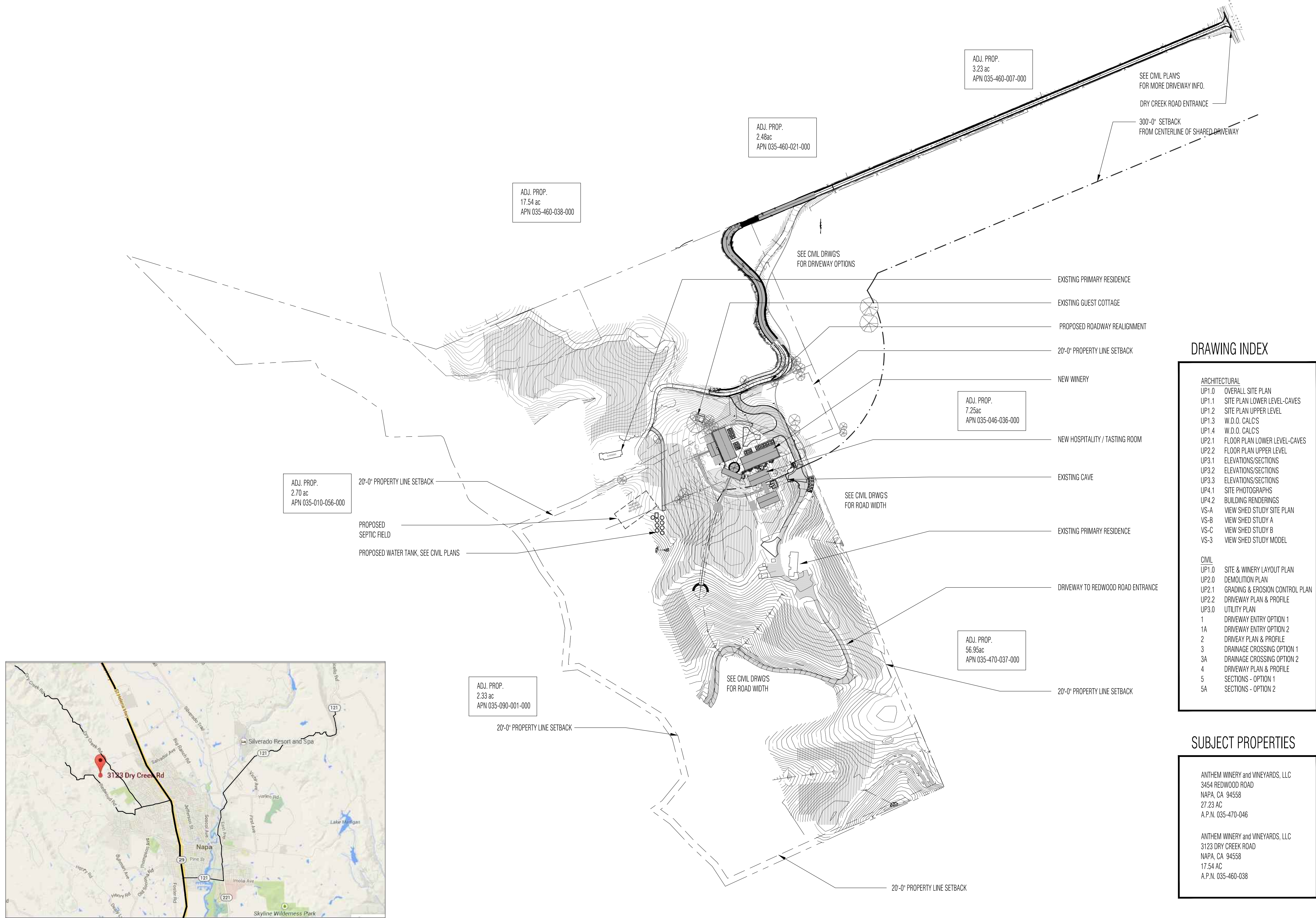
Sources:

1. *Napa County Bicycle Plan, NCTPA, December 2011*
2. *California Air Pollution Control Officers Associate (CAPCOA). January 2008. CEQA and Climate Change*
3. *Napa County General Plan, June 2008.*
4. *California Office of the Attorney General. 2010. Addressing Climate Change at the Project Level available at http://ag.ca.gov/global_warming/pdf/GW_mitigation_measures.pdf*
5. *U.S. Green Building Council (2009). LEED 2009 for New Construction and Major Renovations Rating System. Washington, DC: United States Green Building Council, Inc.*
6. *California Energy Commission (2008). Title 24, Part 6, of the California Code of Regulations: California's Energy Efficiency Standards for Residential and Nonresidential Buildings. Sacramento, CA: California Energy Commission.*
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9. *Compact Fluorescent Light Bulbs". Energy Star. Retrieved 2013-05-01.*
10. <http://energy.gov/energysaver/articles/solar-water-heaters>. Retrieved 2013-05-02.
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15. <http://www.napasan.com/Pages/ContentMenu.aspx?id=109>
16. <http://water.epa.gov/polwaste/green/index.cfm>



2 VICINITY MAP
 A1.0

N.T.S.



1 OVERALL SITE PLAN
 A1.0

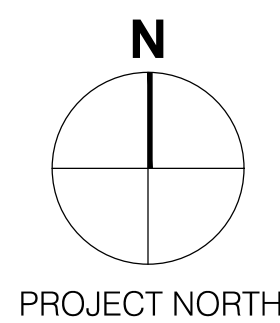
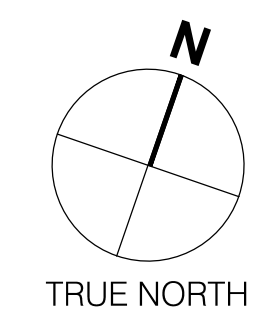
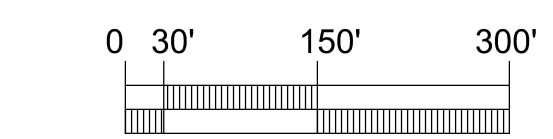
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DRAWING INDEX

ARCHITECTURAL	
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SUBJECT PROPERTIES

ANTHEM WINERY and VINEYARDS, LLC 3454 REDWOOD ROAD NAPA, CA 94558 27.23 AC A.P.N. 035-470-046
ANTHEM WINERY and VINEYARDS, LLC 3123 DRY CREEK ROAD NAPA, CA 94558 17.54 AC A.P.N. 035-460-038



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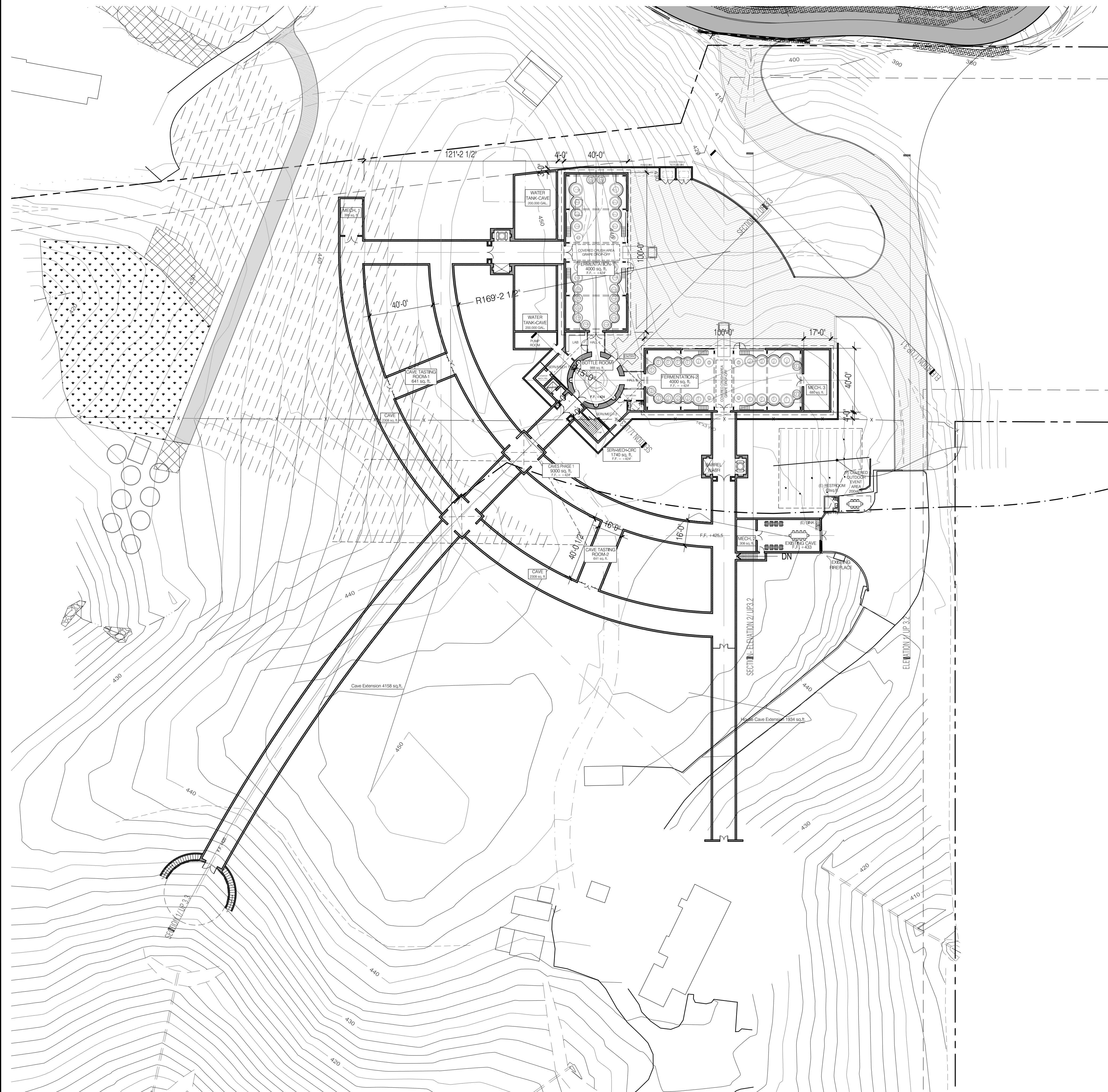
ANTHEM WINERY AND VINEYARDS, LLC
 3123 Dry Creek Road
 Napa, California 94558

Plot Date	6/18/18
Drawn By	ME
Checked By	JT
Project No.	201210
Date	11/25/15
Issue	USE PERMIT
	3/18/16
	PROGRESS PRINT
	10/19/16
	VIEWSHED
	3/3/17
	USE PERMIT
	6/5/18
	USE PERMIT RESUB.T.

OVERALL SITE PLAN

SCALE :

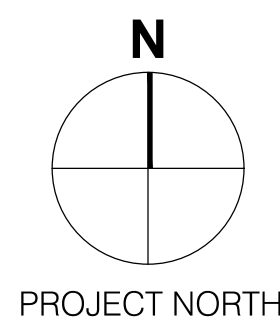
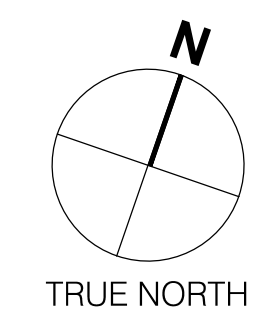
UP1.0



1
A1.1

SITE PLAN - LOWER LEVEL / CAVES

1/32" = 1'-0"



SQUARE FOOTAGE

FERMENTATION 1	4,000 SF
FERMENTATION 2	4,000 SF
BOTTLE ROOM TOTAL	2,833 SF
<i>Bottle Room</i>	988 SF
<i>Lab / Office</i>	222 SF
<i>Serv./Circul</i>	1,623 SF
CAVES	20,976 SF *
<i>Barrel Storage Caves</i>	18,331 SF
<i>Water Tank Cave</i>	2,645 SF
HOPITALITY TOTAL	3,328 SF
<i>Tasting Room</i>	1,508 SF
<i>Conf. Room</i>	538 SF
<i>Cave Tasting</i>	1,282 SF *
OFFICE/CATERING	1,186 SF
MECHANICAL TOTAL	1,383 SF
<i>Mech. 1 (in cave)</i>	395 SF *
<i>Mech. 2 (in cave)</i>	308 SF *
<i>Mech. 3</i>	680 SF
TOTAL	37,706 SF
Cave Extension	4,158 SF *
House Cave Extension	1,934 SF *
Total	43,798 SF

* Notes area within the caves,
the Total area of the caves = 29,053SF

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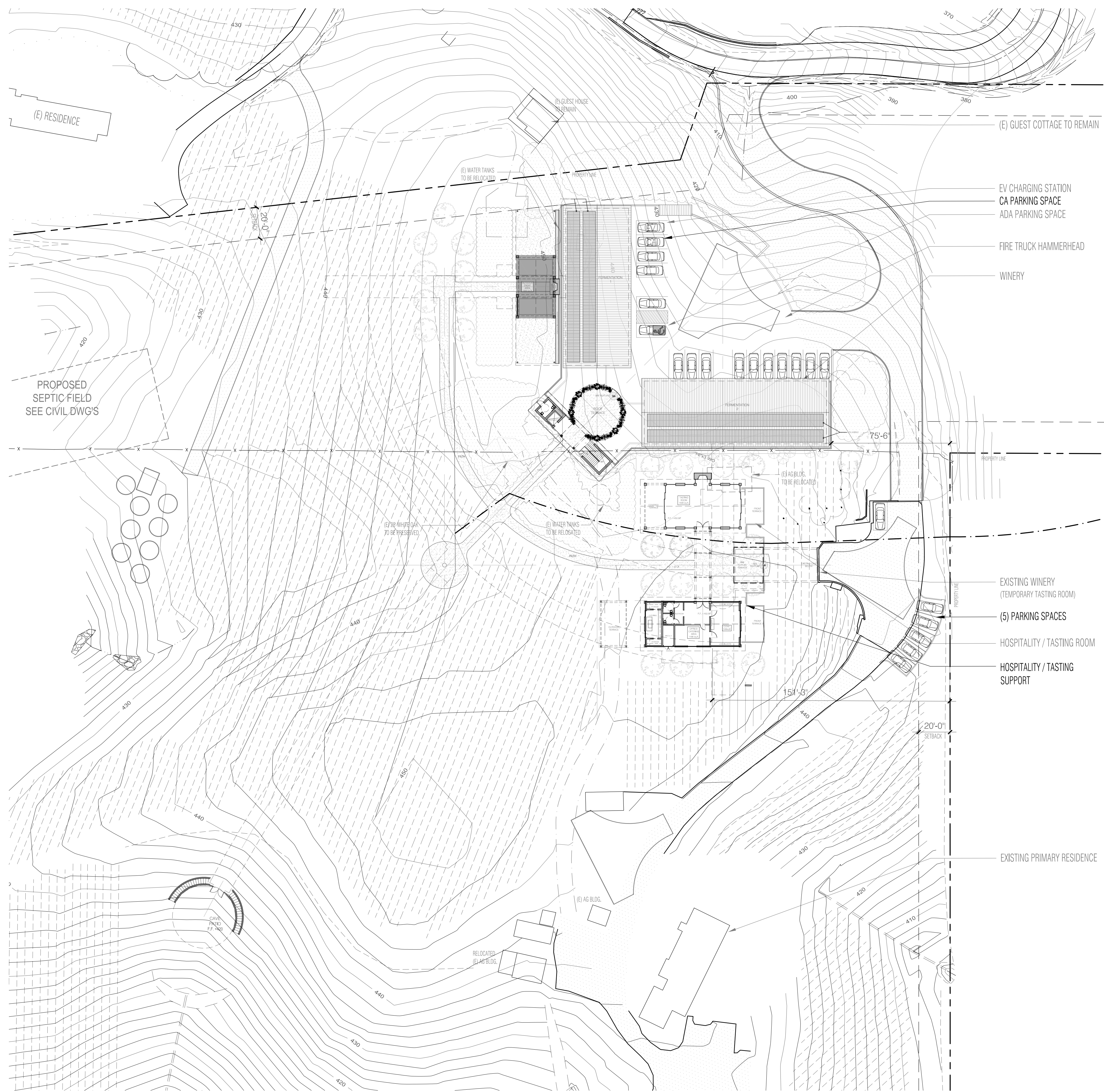
**ANTHEM WINERY AND
VINEYARDS, LLC**
3123 Dry Creek Road
Napa, California 94558

Plot Date	7/31/18
Drawn By	ME
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10/19/16	VIEWSHED
3/3/17	USE PERMIT
6/5/18	USE PERMIT RESUB.T.

SITE PLAN
LOWER LEVEL/
CAVES

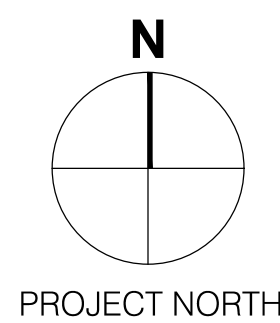
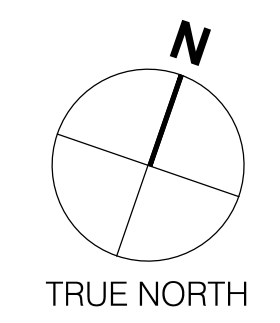
SCALE :

UP1.1



1 SITE PLAN - UPPER LEVEL
UP1.2

1/32" = 1'-0"



SQUARE FOOTAGE

FERMENTATION 1	4,000 SF
FERMENTATION 2	4,000 SF
BOTTLE ROOM TOTAL	2,833 SF
<i>Bottle Room</i>	988 SF
<i>Lab / Office</i>	222 SF
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* Notes area within the caves,
the Total area of the caves = 29,053SF

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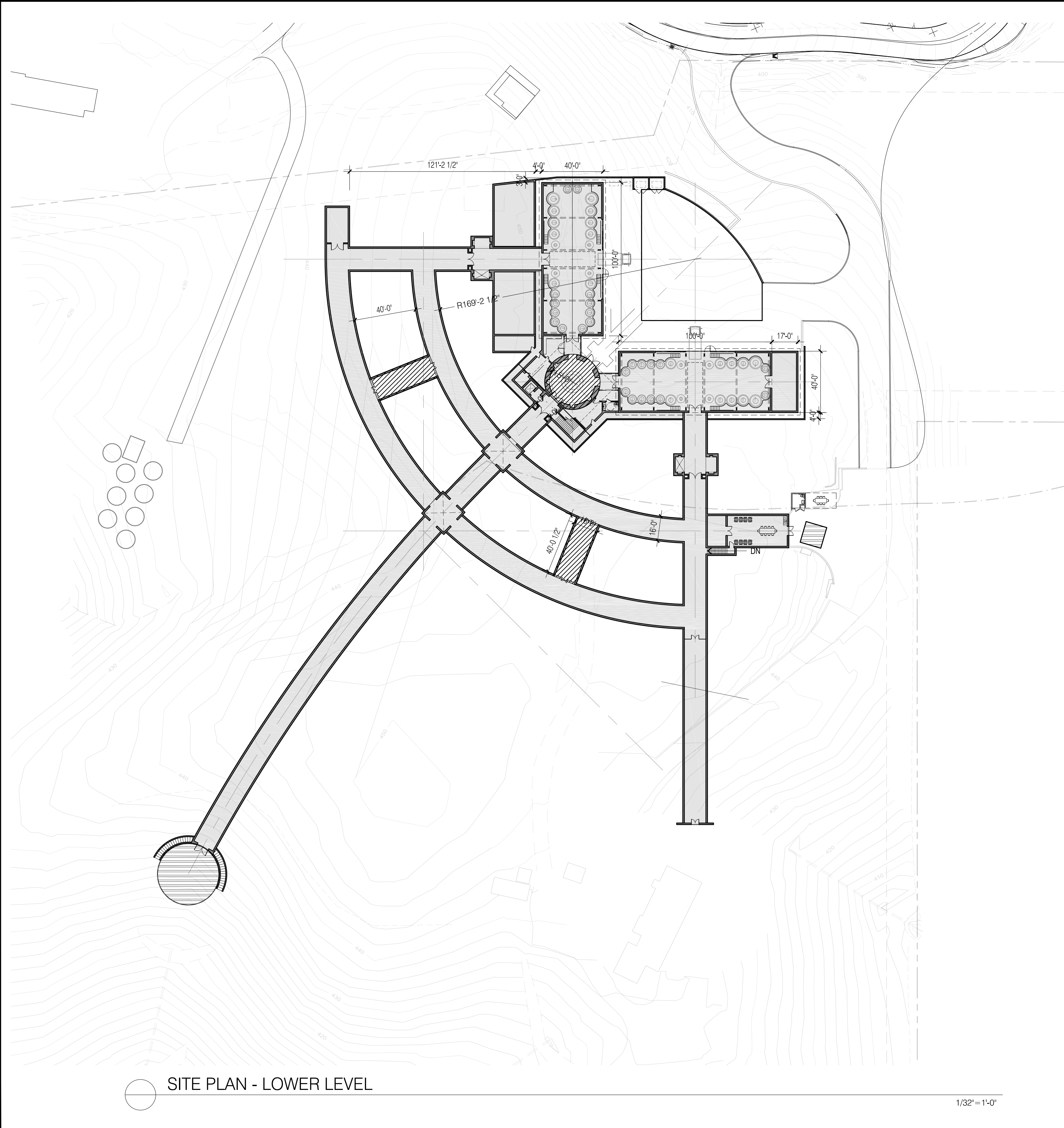
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3/3/17	USE PERMIT
6/5/18	USE PERMIT RESUB.T.

SITE PLAN
UPPER LEVEL

SCALE :

UP1.2

Copyright © 2014 by BACKEN GILLAM KROEGER ARCHITECTS
 6/18/18 S:\2012\201210 - Arbuscke Winery\1-Drawings\01-Current\Plottiles\UP1.3 SITE PLAN LOWER LEVEL (WDO).dwg



SITE PLAN - LOWER LEVEL

1/32" = 1'-0"

WINERY DEFINITION ORDINANCE CALCULATIONS

Lower Level Area

AREA FOR ACCESSORY	=	2,270 SQ. FT.
AREA FOR PRODUCTION	=	38,200 SQ. FT.
AREA PER USE PERMIT	=	40,470 SQ. FT.

AREA FOR OUTDOOR ACCESSORY	=	1,457 SQ. FT.
----------------------------	---	---------------

Upper Level Area

AREA FOR ACCESSORY	=	3,232 SQ. FT.
AREA FOR PRODUCTION	=	96 SQ. FT.
AREA PER USE PERMIT	=	3,328 SQ. FT.

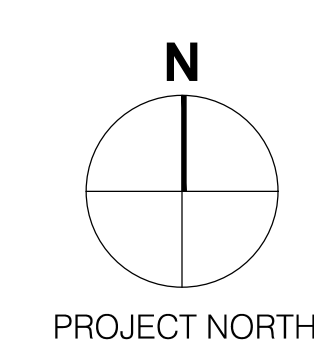
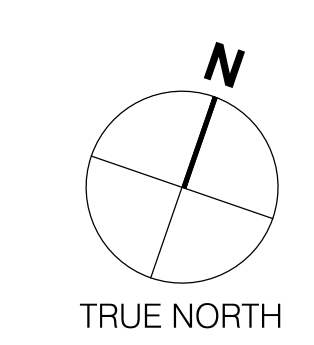
AREA FOR OUTDOOR ACCESSORY	=	5,485 SQ. FT.
----------------------------	---	---------------

Total Area Per Use Permit

AREA FOR ACCESSORY	=	5,502 SQ. FT.
AREA FOR PRODUCTION	=	38,296 SQ. FT.
AREA PER USE PERMIT	=	43,798 SQ. FT.

$5,502 \text{ SQ. FT.} / 43,798 \text{ SQ. FT.} = .125 \text{ or } 12.5\% < 40\%$

- Outdoor Accessory Area
- Accessory Area (Tasting/Hospitality/Office)Area
- Production Area



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SANTA LITA, CALIF. 94524
3123 DRY CREEK ROAD
NAPA, CALIF. 94558
FACSIMILE 707 251 1954

**ANTHEM WINERY AND
VINEYARDS, LLC**

3123 Dry Creek Road
Napa, California 94558

Plot Date	6/18/18
Drawn By	ME
Checked By	JT
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3/18/16	PROGRESS PRINT
10/19/16	VIEWSHED
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WINERY
DEFINITION
ORDINANCES
CALCULATIONS

SCALE :

UP1.3

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 6/18/18 S:\2012\201210 - Arbuscke Winery\1-Drawings\01-Current\Plottings\UP1.4 SITE PLAN UPPER LEVEL (WDD).dwg



SITE PLAN - UPPER LEVEL

1/32" = 1'-0"

WINERY DEFINITION ORDINANCE CALCULATIONS

Lower Level Area

AREA FOR ACCESSORY	=	2,270 SQ. FT.
AREA FOR PRODUCTION	=	38,200 SQ. FT.
AREA PER USE PERMIT	=	40,470 SQ. FT.

AREA FOR OUTDOOR ACCESSORY	=	1,457 SQ. FT.
----------------------------	---	---------------

Upper Level Area

AREA FOR ACCESSORY	=	3,232 SQ. FT.
AREA FOR PRODUCTION	=	96 SQ. FT.
AREA PER USE PERMIT	=	3,328 SQ. FT.

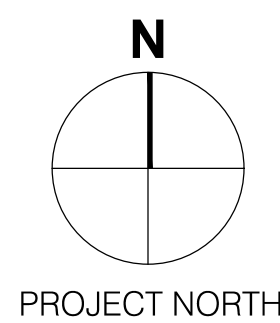
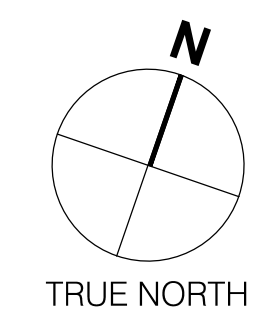
AREA FOR OUTDOOR ACCESSORY	=	5,485 SQ. FT.
----------------------------	---	---------------

Total Area Per Use Permit

AREA FOR ACCESSORY	=	5,502 SQ. FT.
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- Outdoor Accessory Area
- Accessory Area (Tasting/Hospitality/Office)Area
- Production Area



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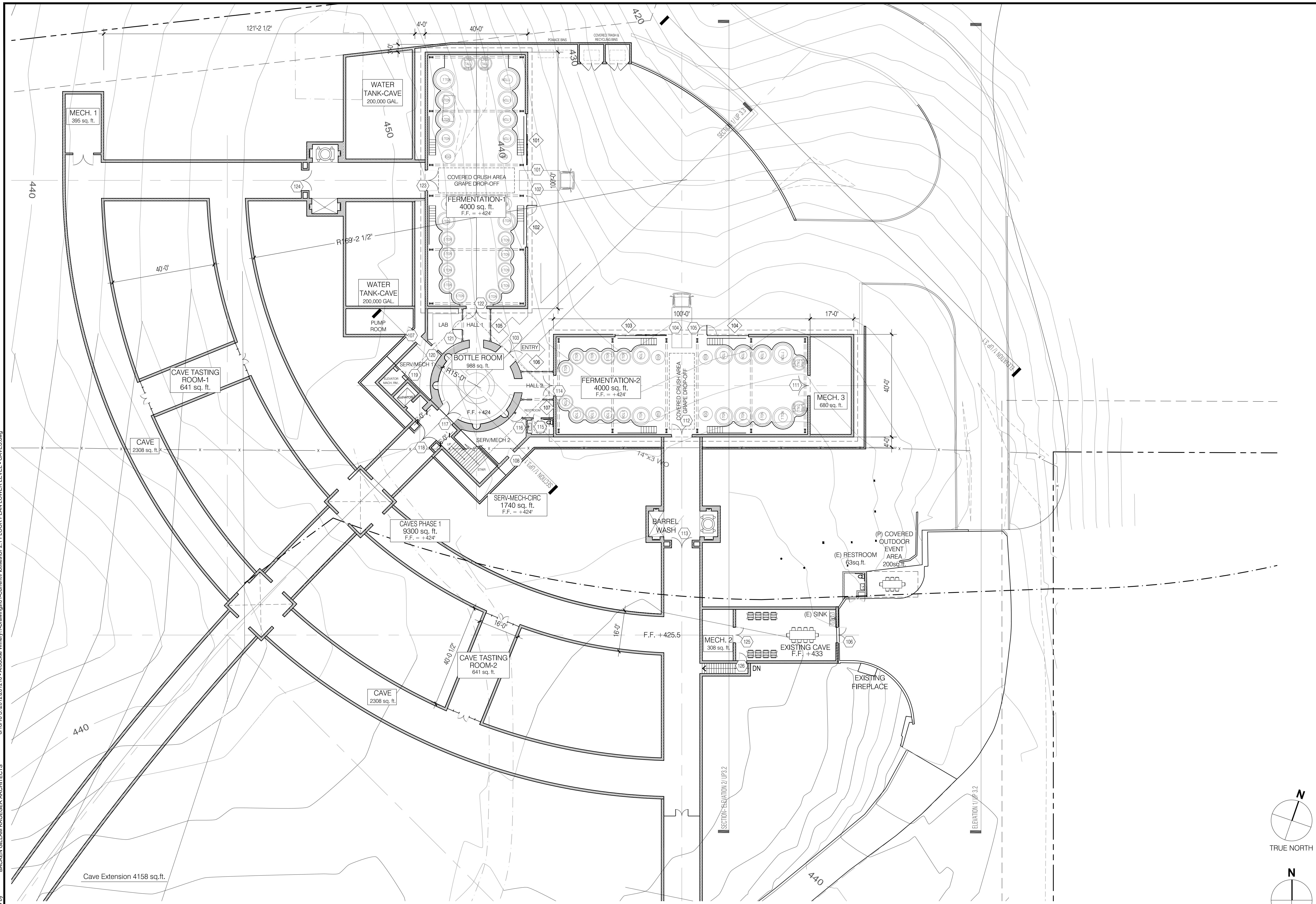
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10/19/16	VIEWSHED
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6/5/18	USE PERMIT RESUB.T.

WINERY
DEFINITION
ORDINANCES
CALCULATIONS

SCALE :

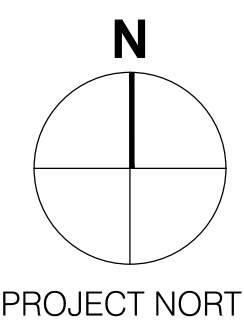
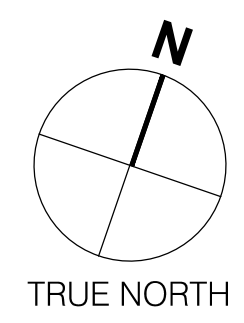
UP1.4

Copyright © 2014 by BACKEN GILLAM KROEGER ARCHITECTS
 6/18/18 5:00:12 201210 - Anthem Winery V1 - Drawings 01 - Current / Profiles / UP2.1 FLOOR PLAN LOWER LEVEL - CAVES.dwg



1 FLOOR PLAN - LOWER LEVEL / CAVES
 A2.1

1/16" = 1'-0"



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 architects

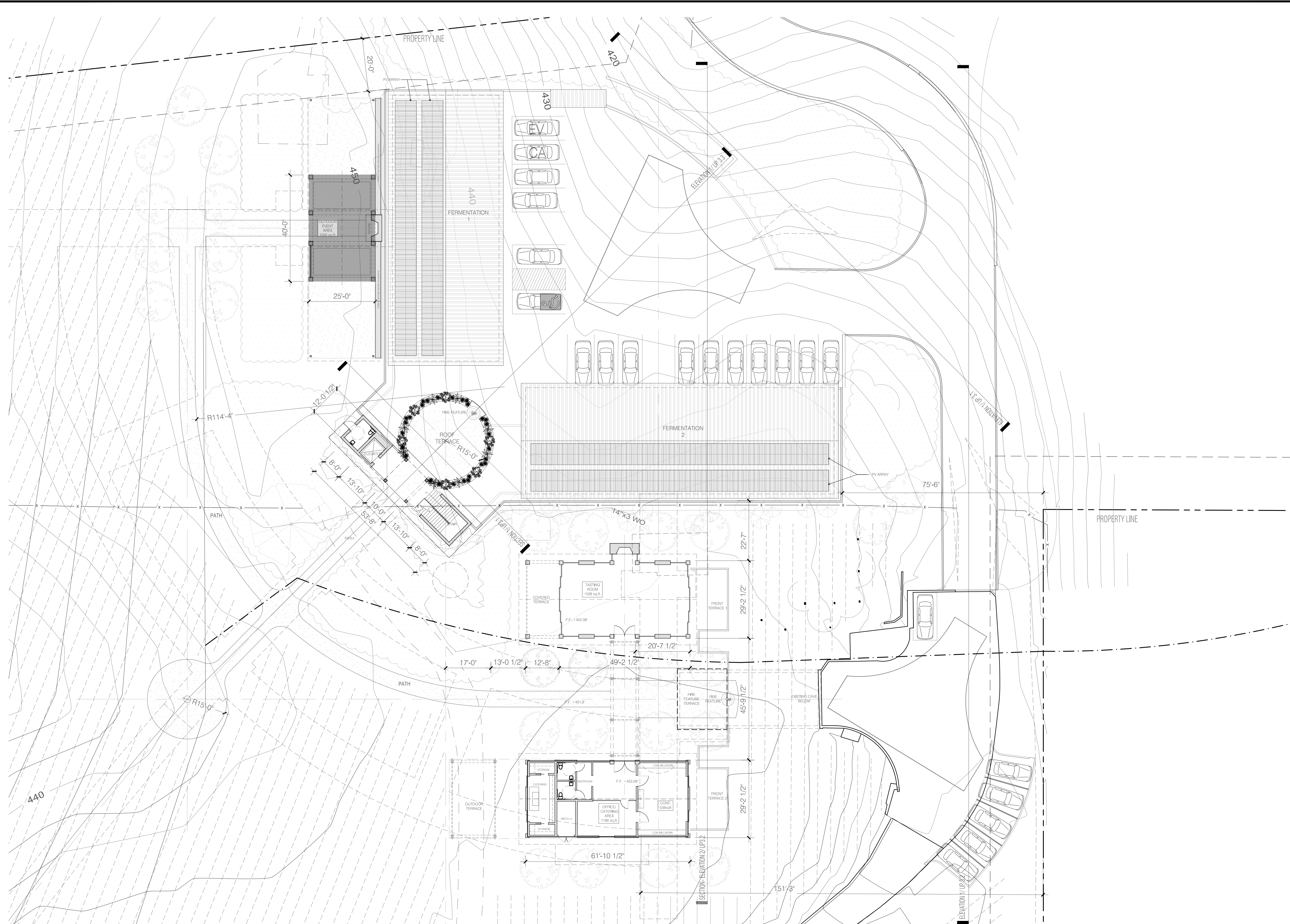
**ANTHEM WINERY AND
 VINEYARDS, LLC**
 3123 Dry Creek Road
 Napa, California 94558

Plot Date	6/18/18
Drawn By	ME
Checked By	JT
Project No.	201210
Date	11/25/15
Issue	USE PERMIT
3/18/16	PROGRESS PRINT
10/19/16	VIEWSHED
3/3/17	USE PERMIT
6/5/18	USE PERMIT RESUB.T.

FLOOR PLAN
 LOWER LEVEL/
 CAVES
 SCALE :

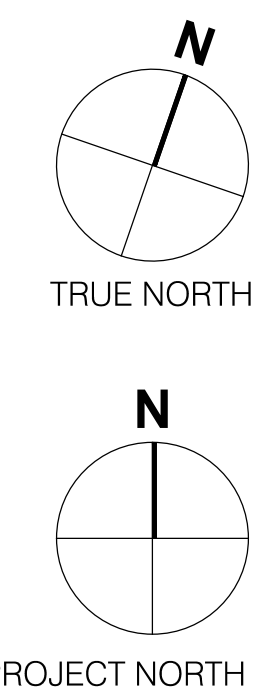
UP2.1

6/18/18 5:00:12 201210 - Anthem Winery 1 - Drawings 01 - Current 1 - Plotfiles UP2.2 FLOOR PLAN UPPER LEVEL.dwg
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1 FLOOR PLAN UPPER LEVEL
 UP2.2

1/16" = 1'-0"



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 FACSIMILE: 415 290 1954

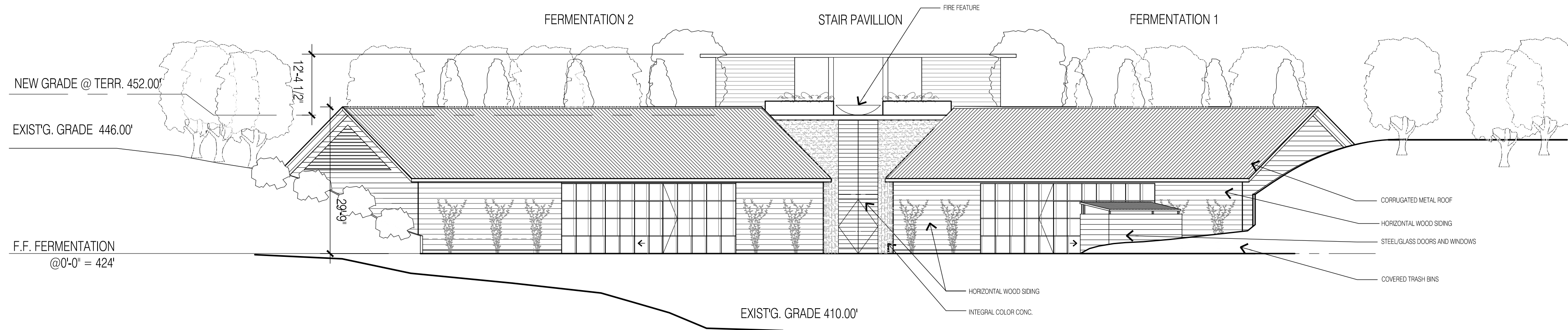
**ANTHEM WINERY AND
 VINEYARDS, LLC**
 3123 Dry Creek Road
 Napa, California 94558

Plot Date	6/18/18
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Issue	USE PERMIT
3/18/16	PROGRESS PRINT
10/19/16	VIEWSHED
3/3/17	USE PERMIT
6/5/18	USE PERMIT RESUB.T.

FLOOR PLAN
 UPPER LEVEL

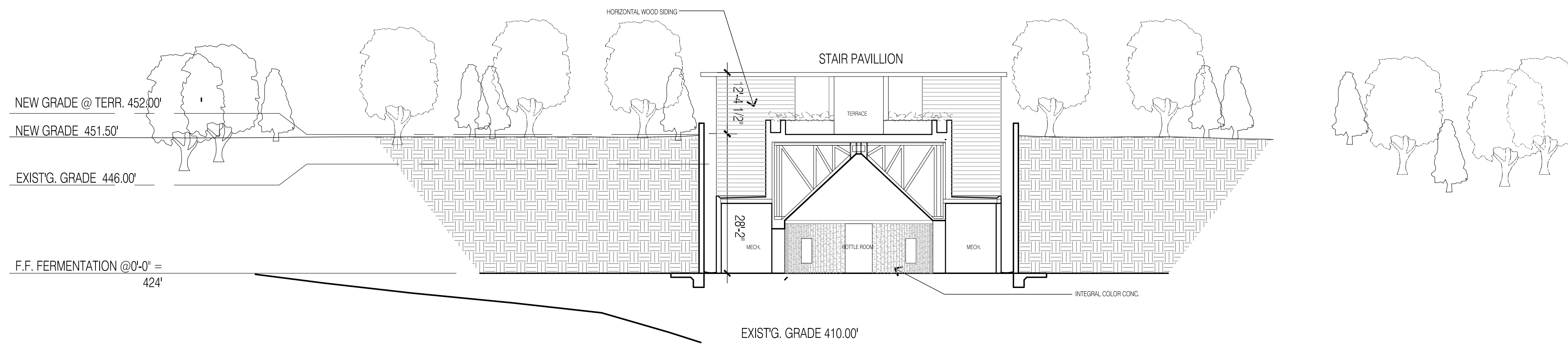
SCALE :

UP2.2



1 ELEVATIONS

1/16" = 1'-0"



2 ELEVATION / SECTION

1/16" = 1'-0"

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707.951.1954

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VINEYARDS, LLC**

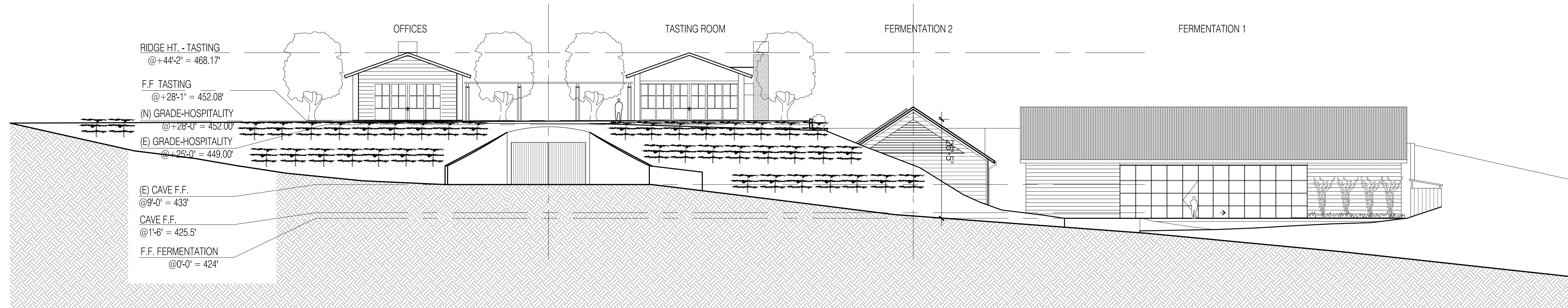
3123 Dry Creek Road
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10/19/16	VIEWSHED
3/3/17	USE PERMIT
6/5/18	USE PERMIT RESUB.T.

ELEVATIONS/
SECTIONS

SCALE :

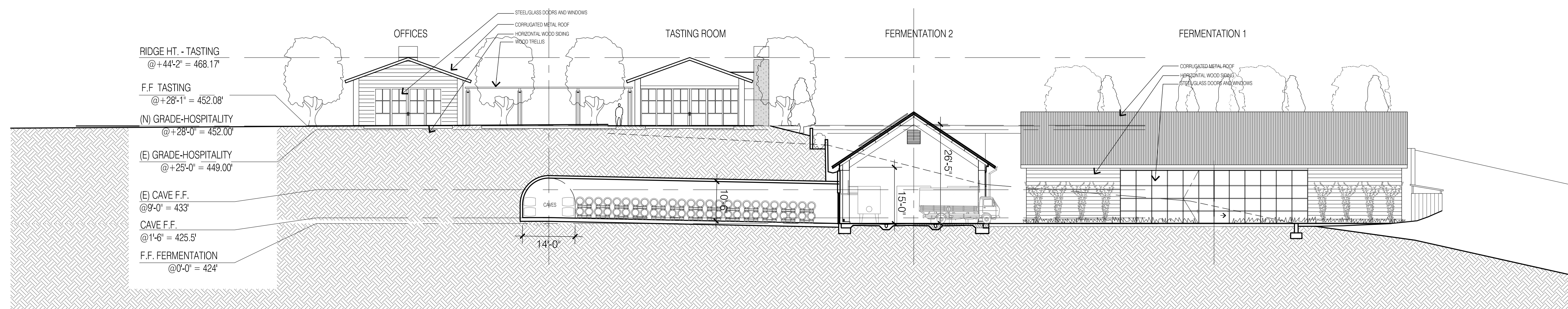
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1
A3.2

ELEVATION / SECTION

1/16" = 1'-0"



2
A3.2

ELEVATION / SECTION

1/16" = 1'-0"

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SAUSALITO, CALIF. 94068
FACSIMILE 415 290 8866
PHONE 415 290 1954

**ANTHEM WINERY AND
VINEYARDS, LLC**

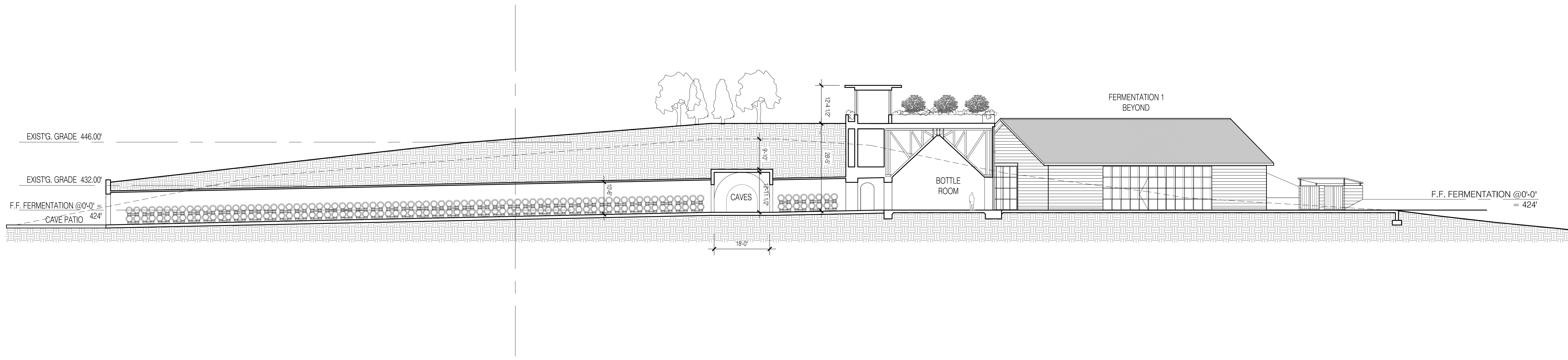
3123 Dry Creek Road
Napa, California 94558

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3/3/17	USE PERMIT
6/5/18	USE PERMIT RESUB.T.

ELEVATIONS/
SECTIONS

SCALE :

UP3.2



1
A3.3

ELEVATION / SECTION

1/16" = 1'-0"

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3/3/17	USE PERMIT
6/5/18	USE PERMIT RESUB'L

ELEVATIONS/
SECTIONS

SCALE :

UP3.3



VIEW LOOKING THROUGH TASTING ROOM TRELLIS



VIEW LOOKING THROUGH ROTUNDA PAVILLION



VIEW FROM ENTRY COURT FACING FERMENTATION BUILDINGS

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707.961.1954

**ANTHEM WINERY AND
VINEYARDS, LLC**

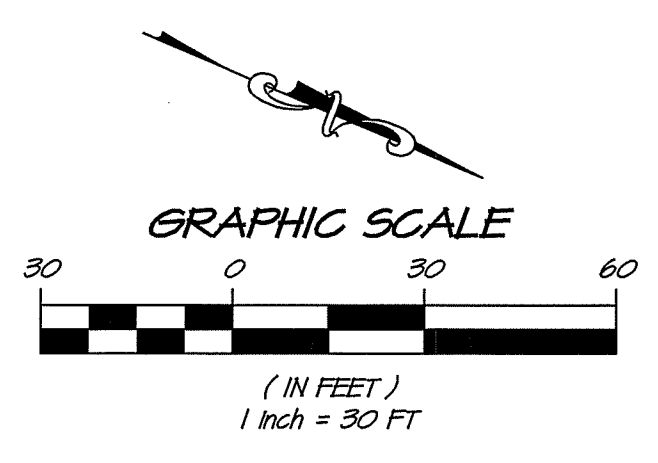
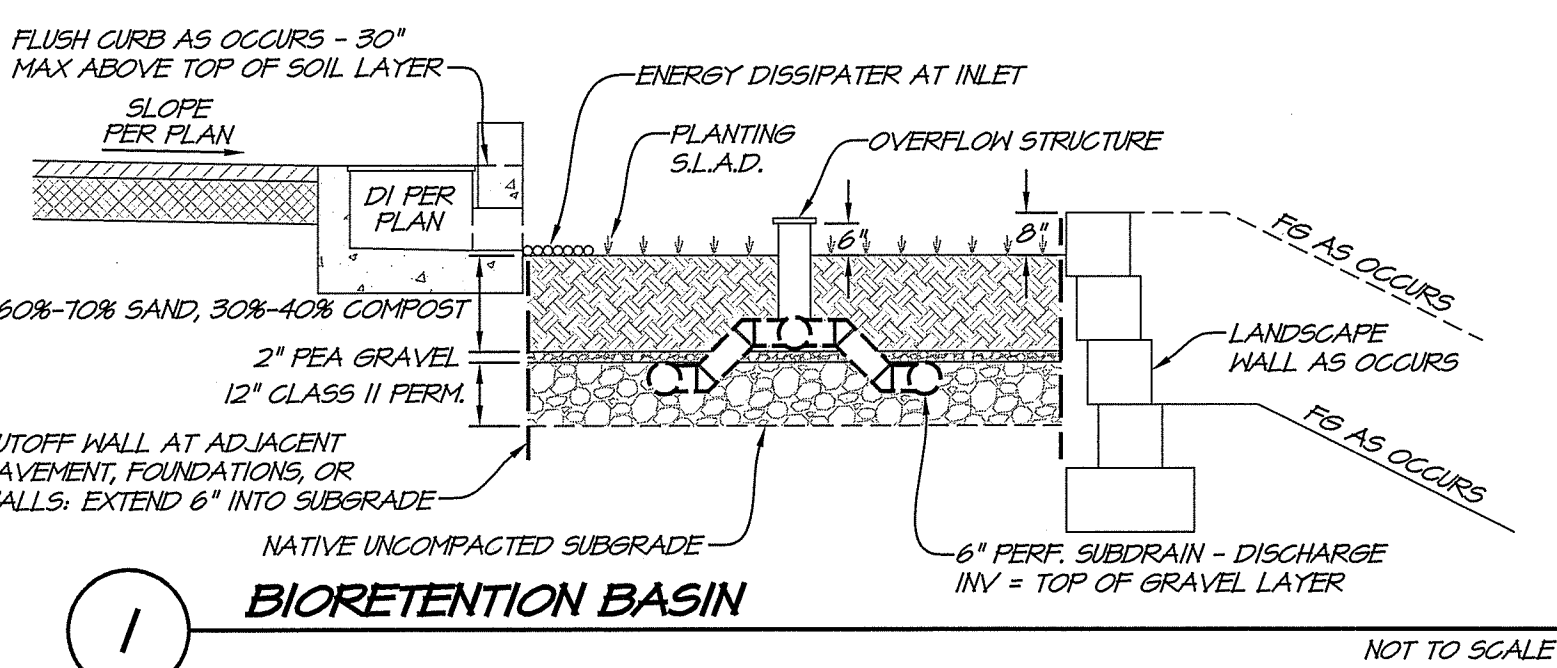
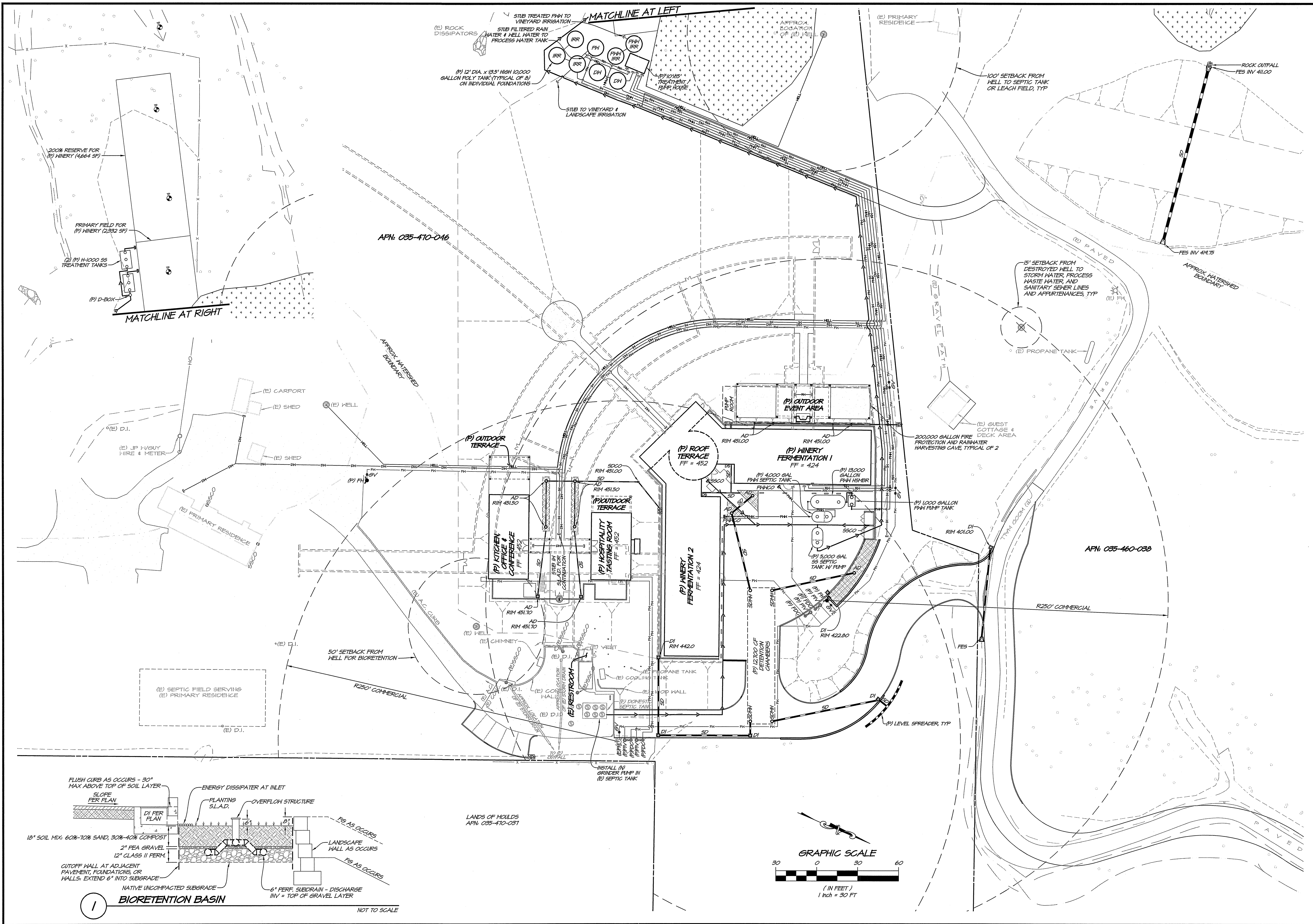
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6/5/18	USE PERMIT RESUB.T.

BUILDING
RENDERINGS

SCALE :

UP4.2



APPROVED BY	DATE	NO.	REVISIONS

1515 FOURTH STREET
NAPA, CALIF. 94559
OFFICE 707/252.3301
+ www.RSAcivil.com +

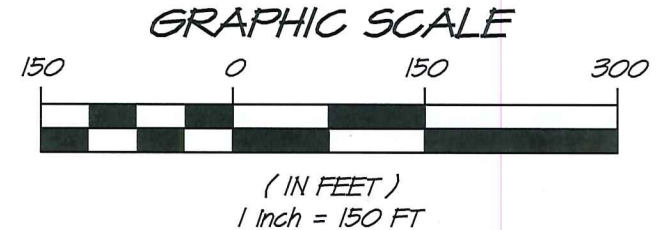
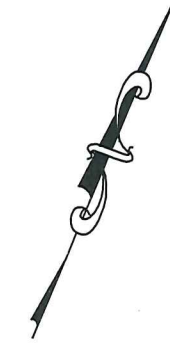
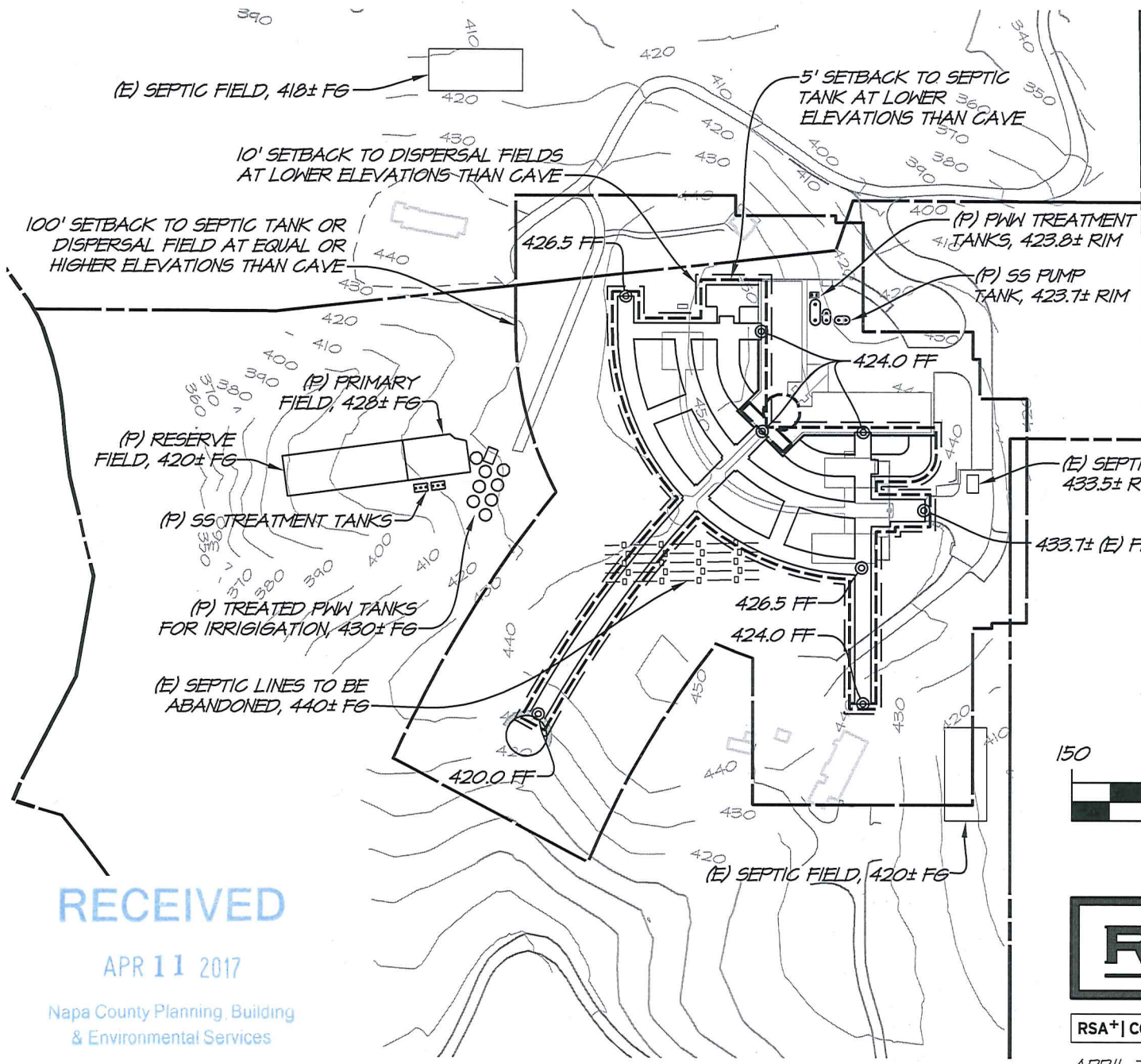
RSA+
RSA+ CONSULTING CIVIL ENGINEERS + SURVEYORS + 1980

ANTHEM WINERY
UTILITY PLAN
CALIFORNIA
NAPA COUNTY

DATE: JUNE 5, 2010
DRAWN: JFW
DESIGNED: PSN
CHECKED: BNF
JOB NO.: 411010.0
SHEET NO.: **UP3.0**
5 OF 5 SHEETS

REG. PROFESSIONAL ENGINEER
FRANCIS ALEXANDER LYN
No. 52509
Exp. 12-31-16
CIVIL ENGINEER
STATE OF CALIFORNIA

ANTHEM WINERY CAVE EXHIBIT



RECEIVED

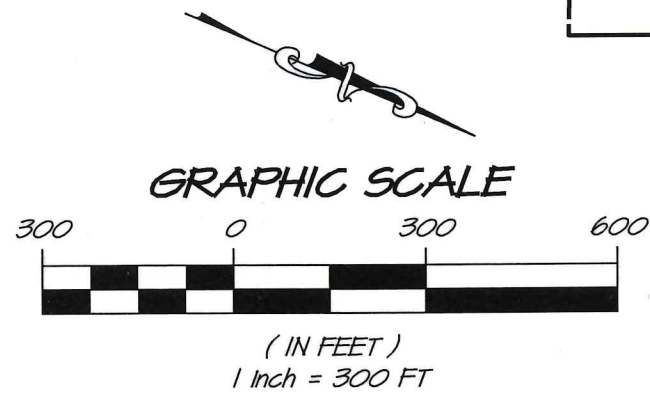
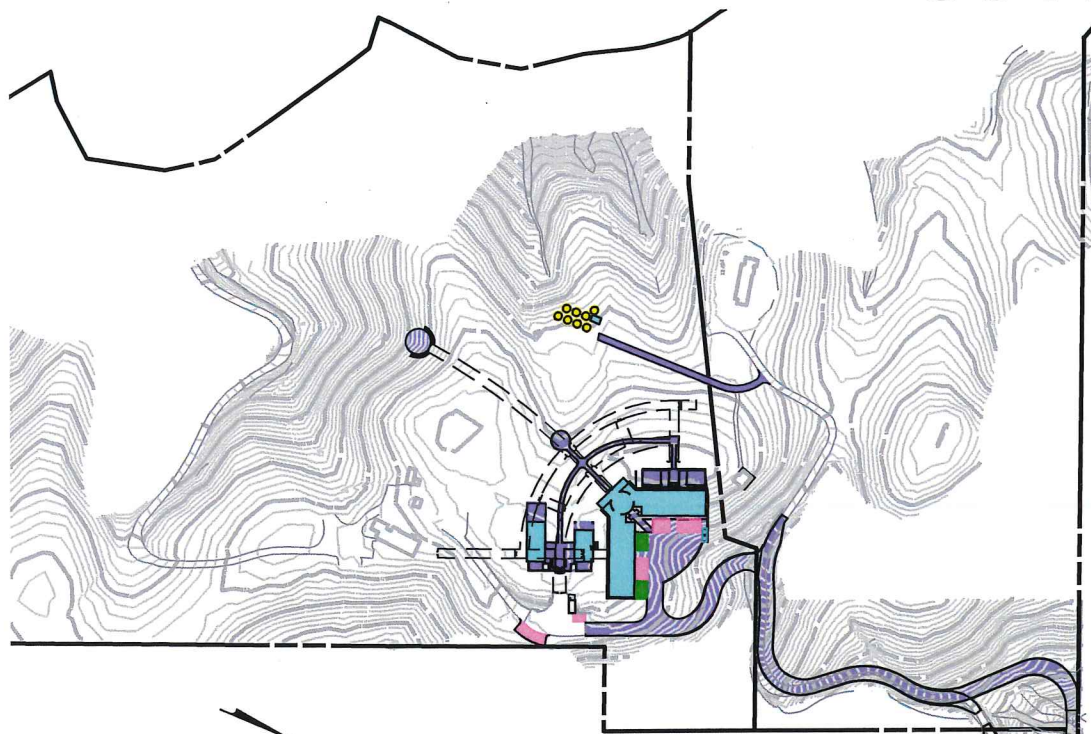
APR 11 2017

Napa County Planning, Building & Environmental Services

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ANTHEM WINERY COVERAGES AND DEVELOPMENT



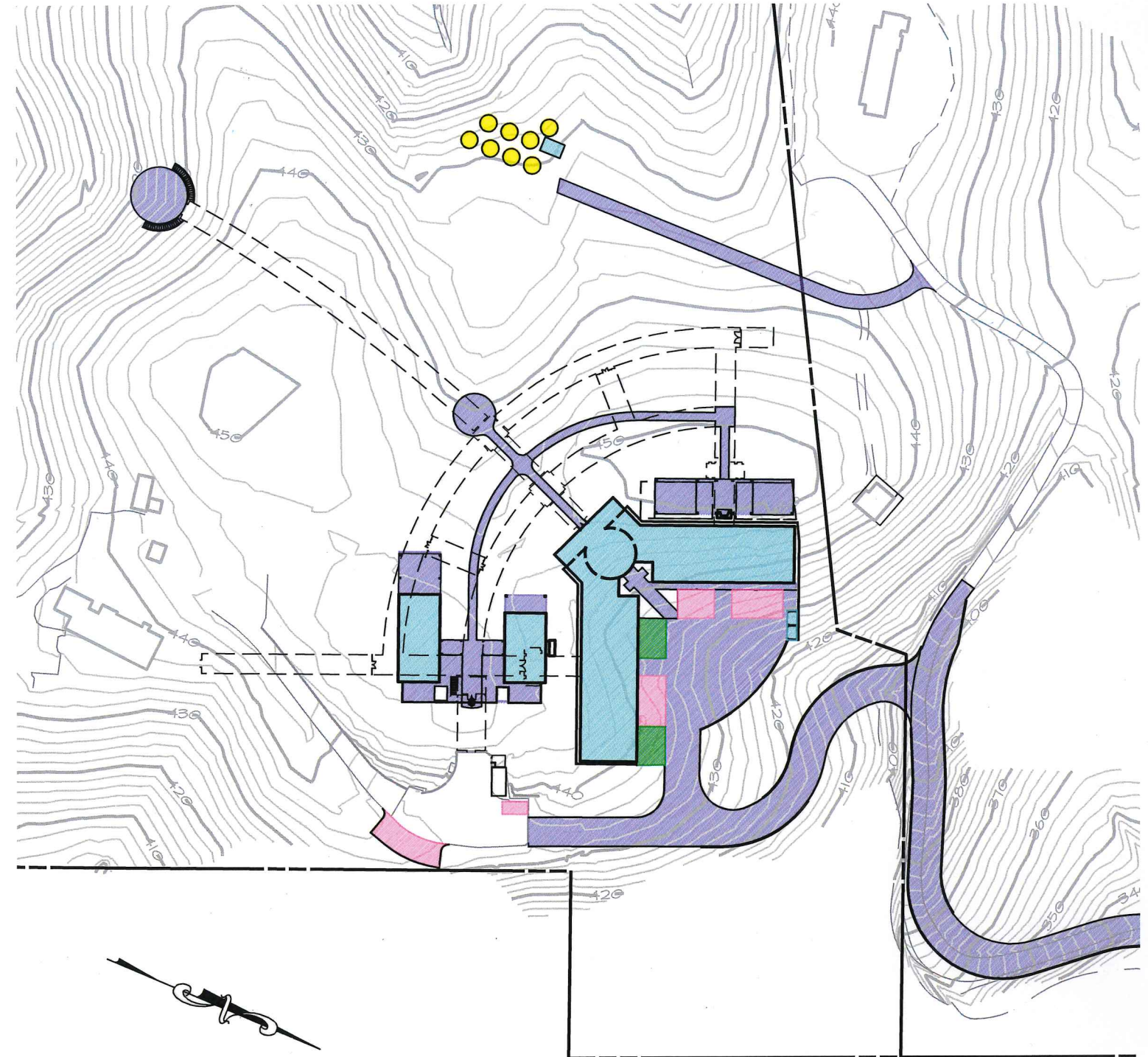
LEGEND

- VISITOR PARKING = 2,995 SF
- EMPLOYEE PARKING = 1,110 SF
- PAVED AREAS = 74,721 SF
- STRUCTURE = 14,980 SF
- ABOVE GROUND TANKS = 905 SF

WINERY COVERAGE

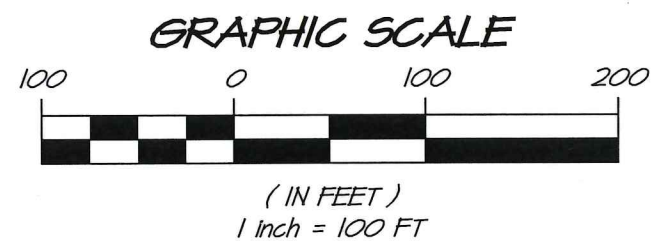
- + WINERY DEVELOPMENT AREA = 16,090 SF
- + + + + WINERY COVERAGE AREA = 94,712 SF

DRY CREEK



WINERY COVERAGE AND DEVELOPMENT AREA

SCALE: 1" = 100'



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