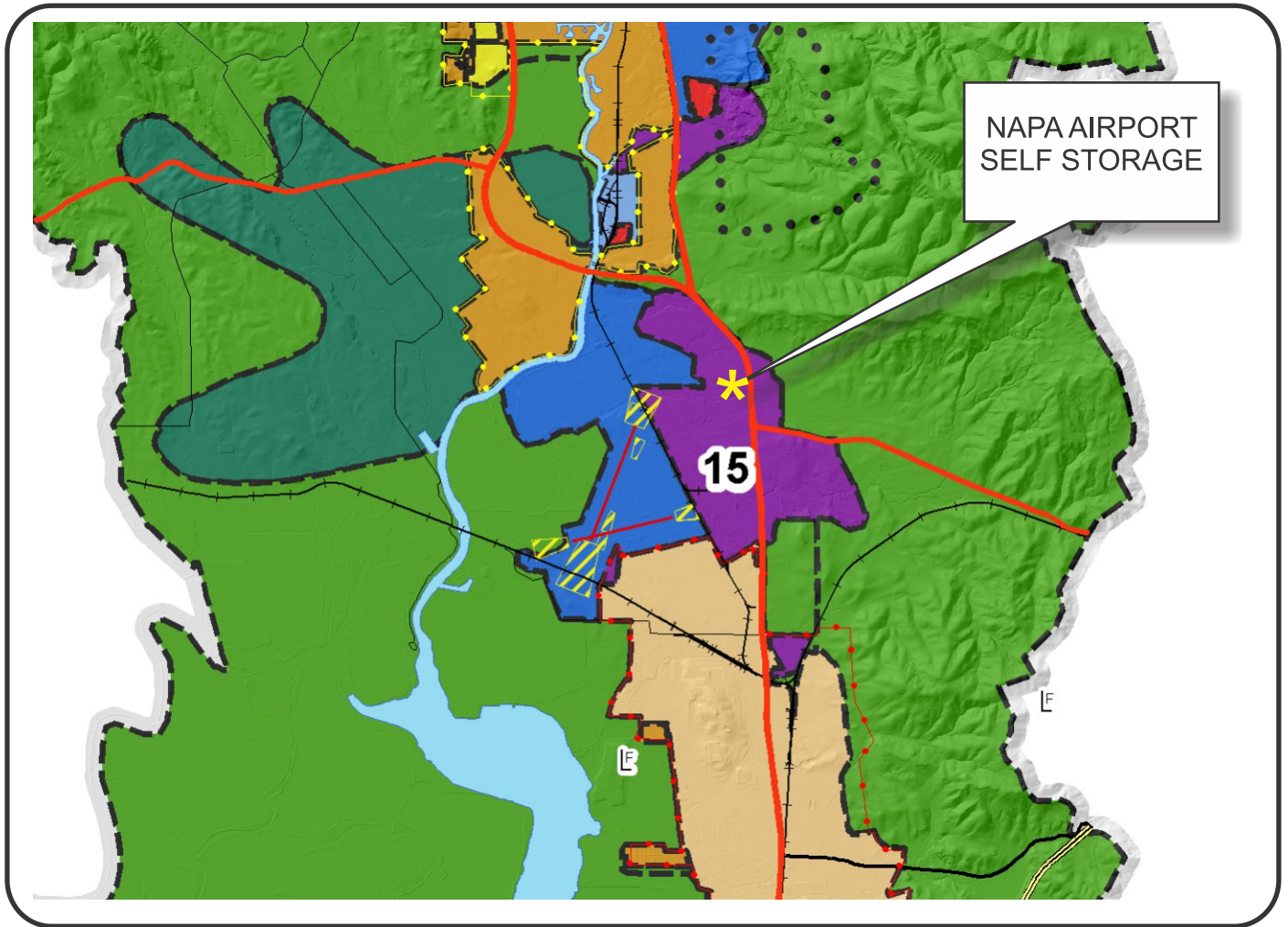


“F”

Graphics

NAPA COUNTY LAND USE PLAN 2008 - 2030



LEGEND



URBANIZED OR NON-AGRICULTURAL

- Study Area
- Cities
- Urban Residential*
- Rural Residential*
- Industrial
- Public-Institutional
- Napa Pipe Mixed Use

OPEN SPACE

- Agriculture, Watershed & Open Space
- Agricultural Resource

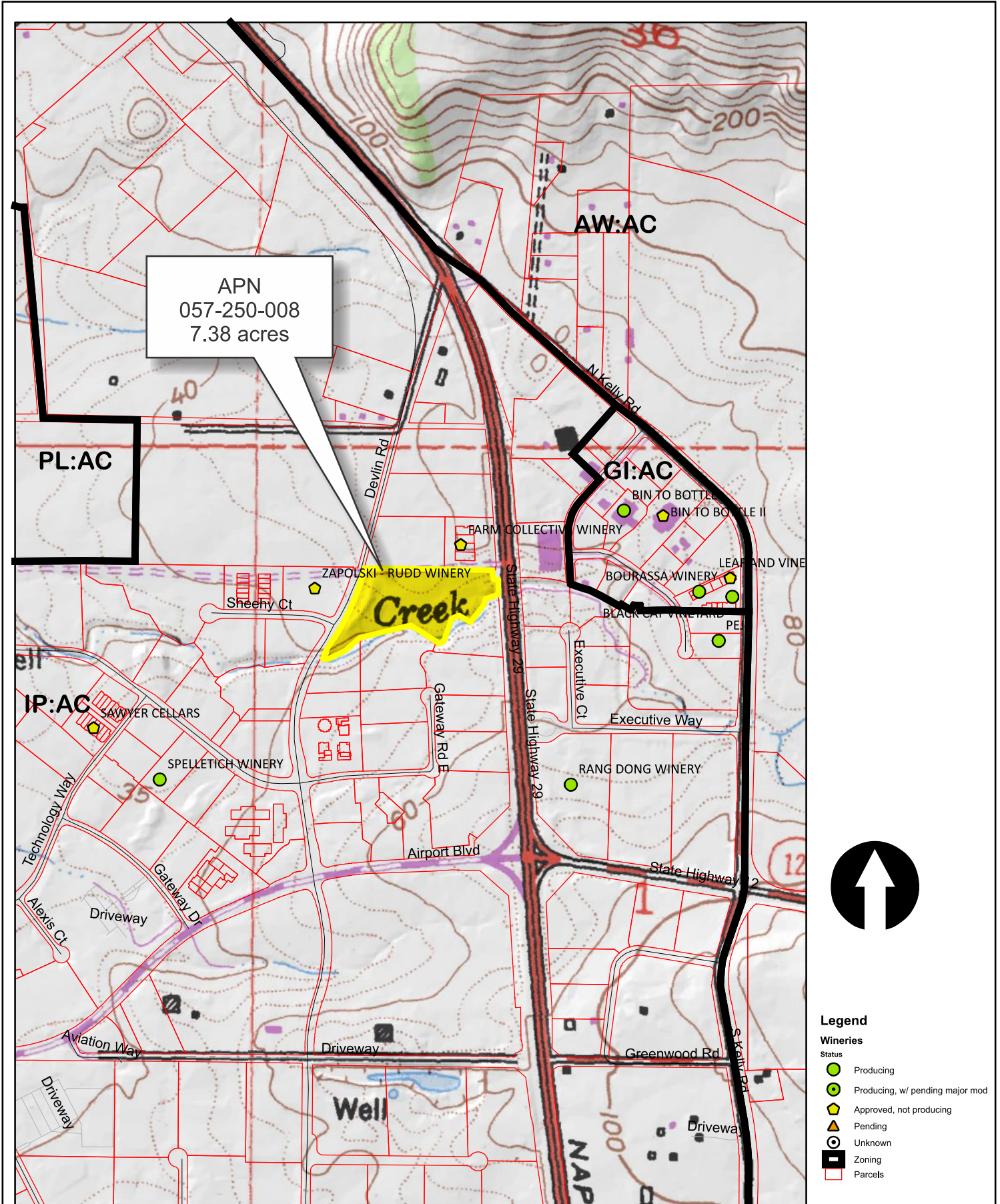
TRANSPORTATION

- Mineral Resource
- Limited Access Highway
- Major Road
- American Canyon ULL
- City of Napa RUL
- Landfill - General Plan
- Secondary Road
- Airport
- Railroad
- Airport Clear Zone

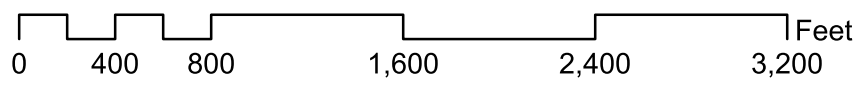
* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations

APN
057-250-008
01-19-2018
UP

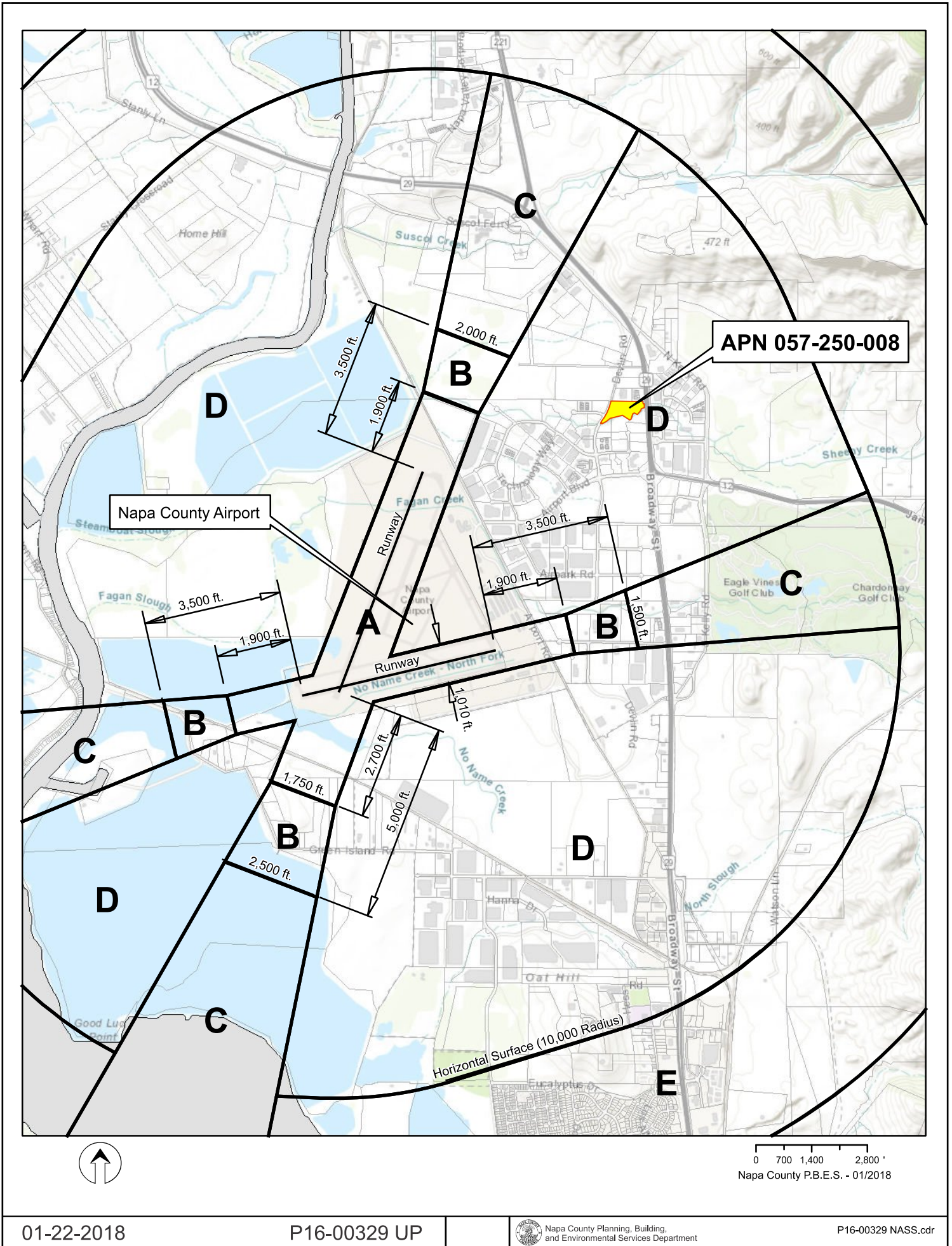
NAPA AIRPORT SELF STORAGE - ZONING



- Legend**
- Wineries**
- Status**
- Producing
 - Producing, w/ pending major mod
 - ▲ Approved, not producing
 - ▲ Pending
 - Unknown
 - Zoning
 - Parcels



NAPA AIRPORT SELF STORAGE - COMPATIBILITY PLAN



0 700 1,400 2,800'
Napa County P.B.E.S. - 01/2018

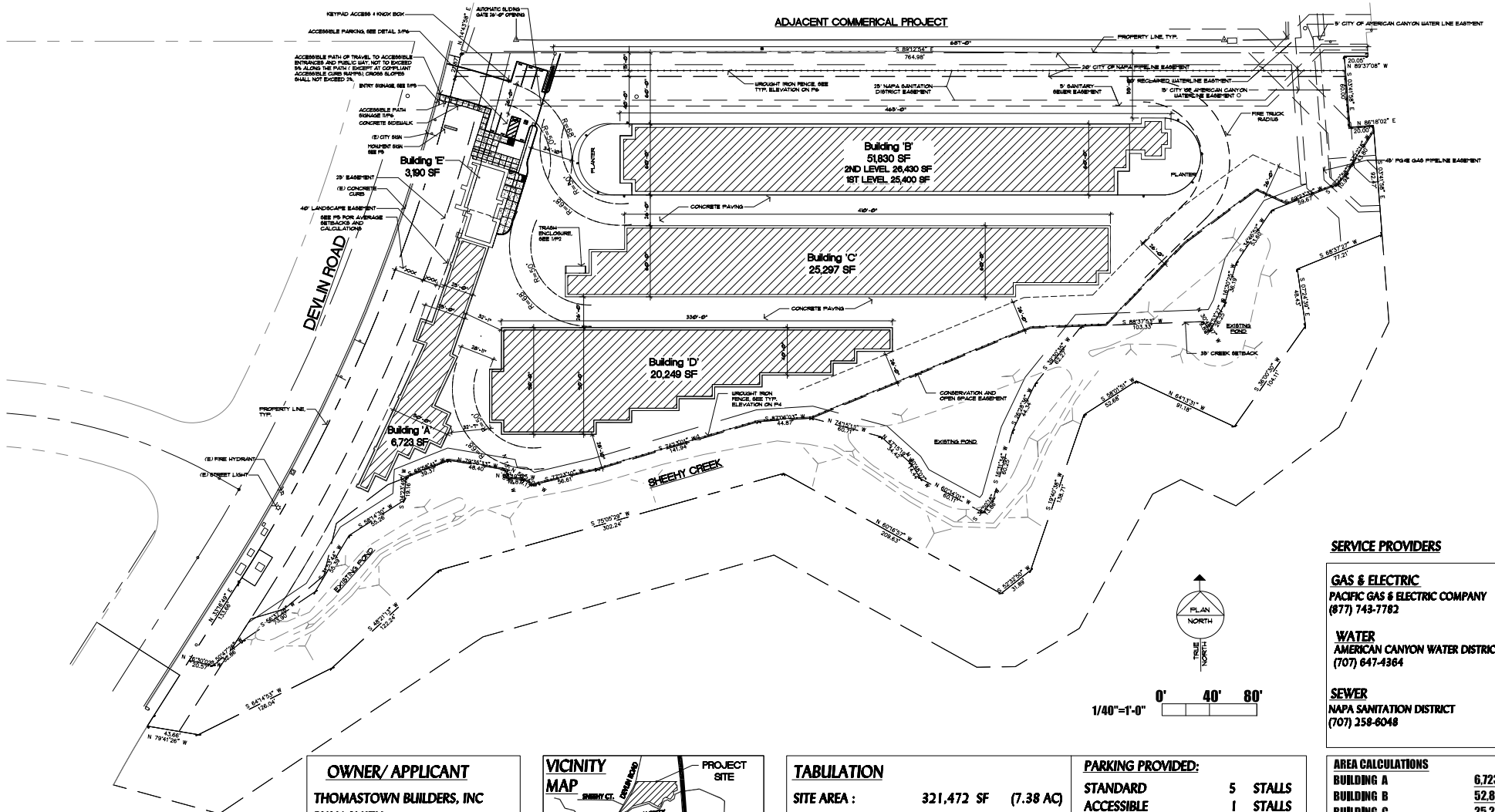
NAPA AIRPORT SELF STORAGE - EXISTING CONDITIONS



0 50 100 200 Feet

01-22-2018

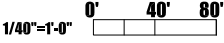
P16-00329 UP



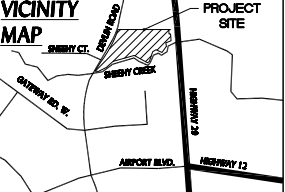
ADJACENT COMMERCIAL PROJECT

SERVICE PROVIDERS

GAS & ELECTRIC PACIFIC GAS & ELECTRIC COMPANY (877) 743-7782
WATER AMERICAN CANYON WATER DISTRICT (707) 647-4364
SEWER NAPA SANITATION DISTRICT (707) 258-6048



OWNER/ APPLICANT
THOMASTOWN BUILDERS, INC
RYAN SMITH
11711 QUARTZ DRIVE
AUBURN, CA 95602
PHONE: 916-591-1993



TABULATION

SITE AREA :	321,472 SF (7.38 AC)
F.A.R. COVERAGE	33.6%
ZONING:	BUSINESS/ INDUSTRIAL PARK
APN:	057-250-008

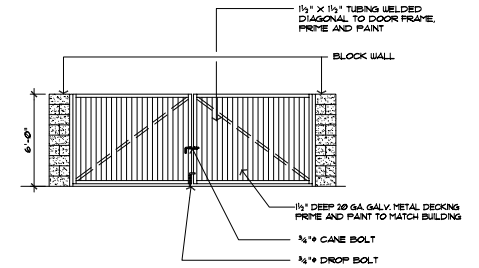
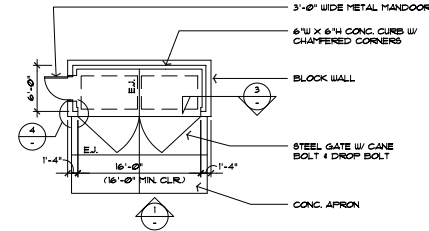
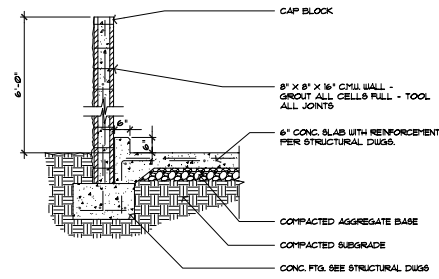
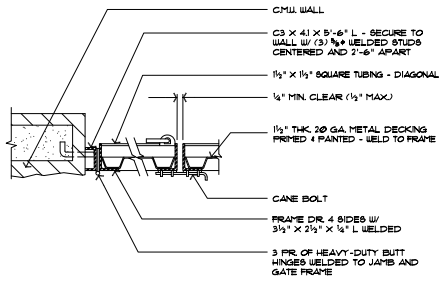
PARKING PROVIDED:

STANDARD	5 STALLS
ACCESSIBLE	1 STALLS
TOTAL PROVIDED:	6 STALLS

AREA CALCULATIONS

BUILDING A	6,723 SF
BUILDING B	52,830 SF
BUILDING C	25,297 SF
BUILDING D	20,249 SF
STORAGE AREA	105,099 SF
"WINE STORAGE"	1,524 SF
"MANAGERS OFFICE"	3,191 SF
TOTAL AREA	108,290 SF

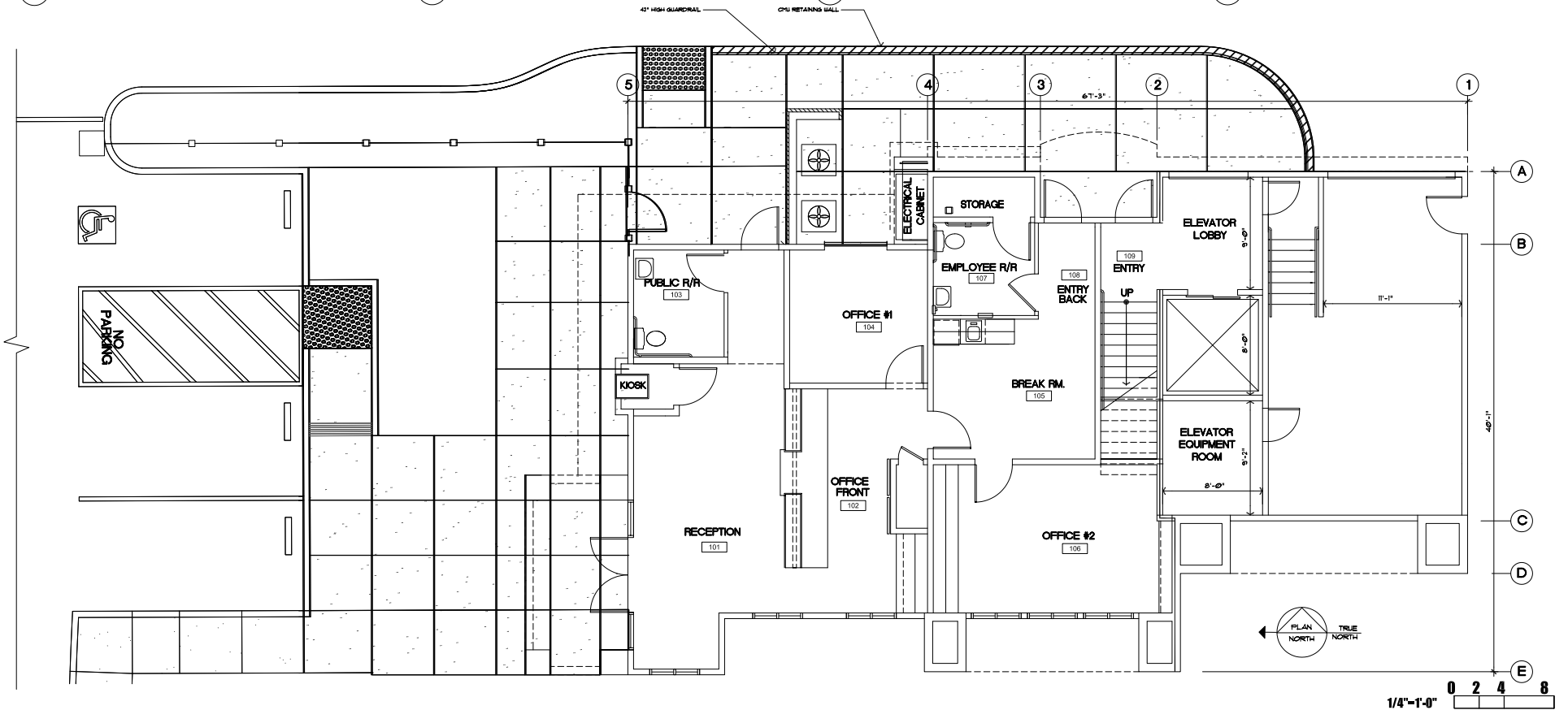
SITE PLAN



4 TRASH ENCLOSURE DOOR 1-1/2"

3 TRASH ENCLOSURE PLAN 1/8"

1 TRASH ENCLOSURE ELEVATION 1/4"

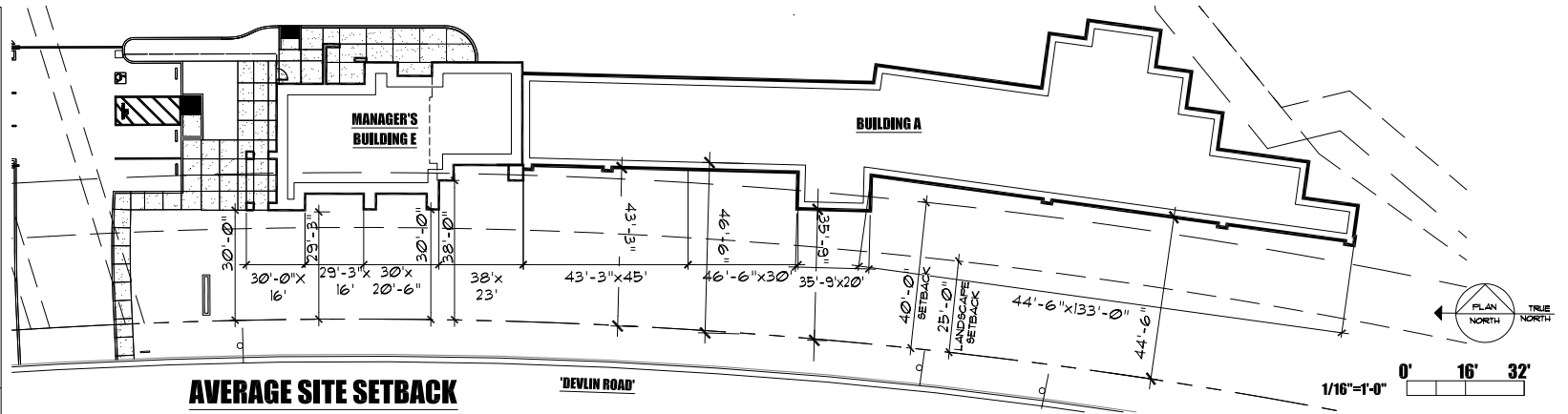


MANAGER'S OFFICE - FIRST FLOOR PLAN

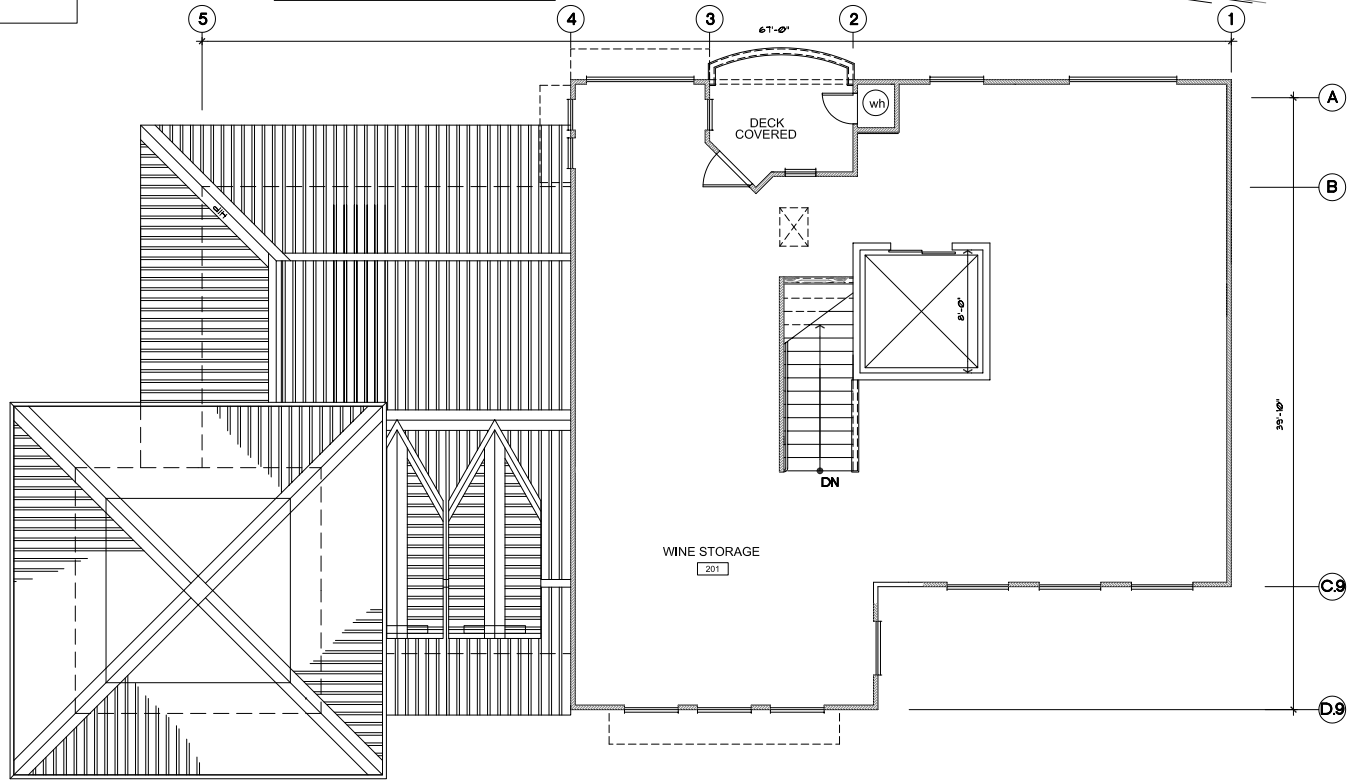
AVERAGE SETBACK CALCULATIONS

- Setback of segments: 30
- Length of segment: 16
- Setback of segments: 29.25
- Length of segment: 16
- Setback of segments: 30
- Length of segment: 20.5
- Setback of segments: 38
- Length of segment: 23
- Setback of segments: 43.25
- Length of segment: 45
- Setback of segments: 46.5
- Length of segment: 30
- Setback of segments: 35.75
- Length of segment: 20
- Setback of segments: 44.5
- Length of segment: 133

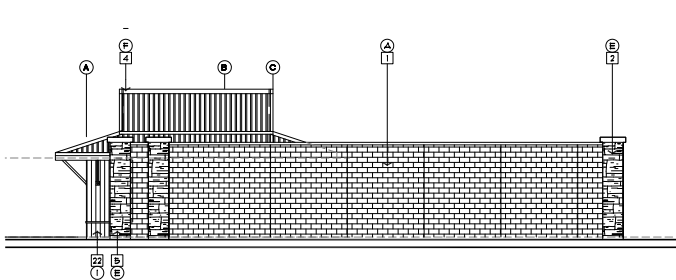
Average Setback:
40.90 FEET



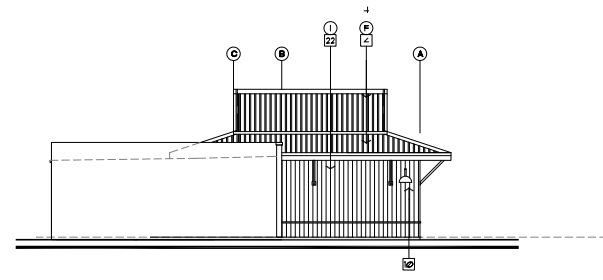
AVERAGE SITE SETBACK



WINE STORAGE- SECOND FLOOR PLAN



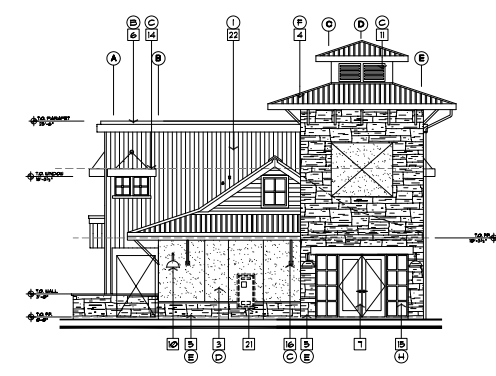
BUILDING A- SOUTH ELEVATION



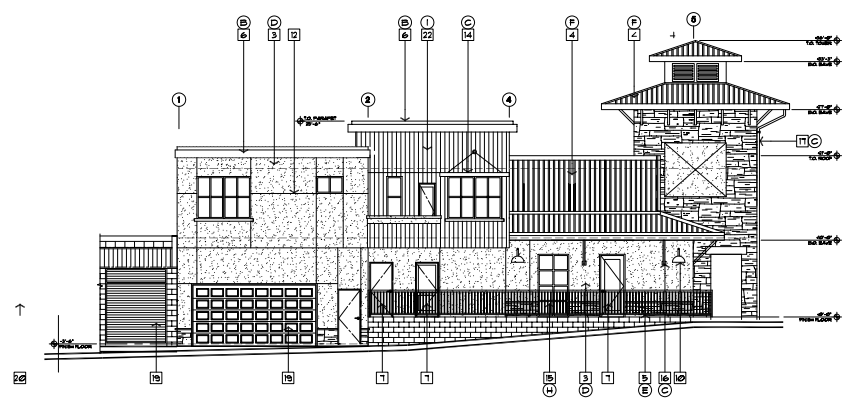
BUILDING A- NORTH ELEVATION

FINISH SCHEDULE

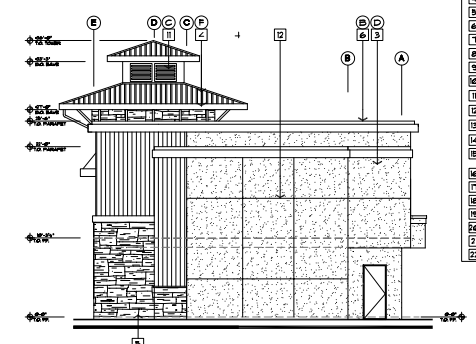
- Ⓐ CMU BLOCK WALL - BASALITE 346, SPLIT FACE
- Ⓑ 'GOLDEN' SILVER SWORDPLAY 302B 45/45 # TRIM AND PARAPET CAPS
- Ⓒ 'GOLDEN' BUCALYPTUS TREE 103Y 30/104 # METAL WORK AND WINDOW FRAMES
- Ⓓ 'GOLDEN' TAUNY GREY 497Y 5/00 # PLASTER
- Ⓔ STONE VENEER, THIN VENEER
- Ⓚ METAL ROOF, 'AEP' 8PAIN' COOL PARAPENT
- Ⓛ WROUGHT IRON
- Ⓜ CLEAR ANODIZED ALUMINUM W/ LIGHT TINT GLAZING
- Ⓝ WOOD SIDING - HARD-LAP



BUILDING E- NORTH ELEVATION



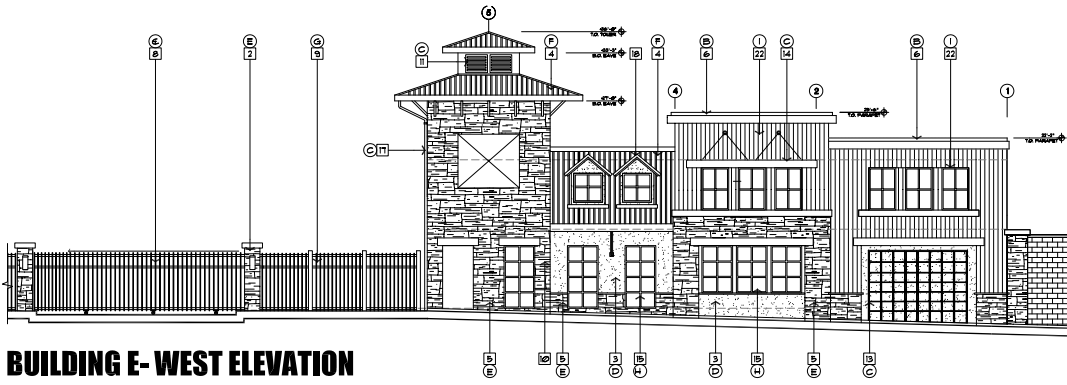
BUILDING E- EAST ELEVATION



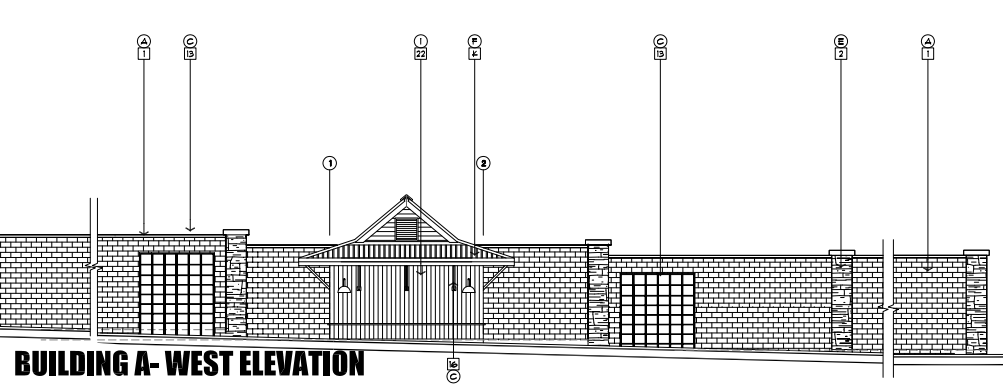
BUILDING E- SOUTH ELEVATION

KEYNOTES

- 1 BLOCK WALL
- 2 BLOCK WALL PILASTER WITH STONE VENEER
- 3 PLASTER WALL
- 4 METAL ROOFING
- 5 STONE VENEER
- 6 ROOF PARAPET CAP
- 7 ALUMINUM STOREFRONT DOOR
- 8 WROUGHT IRON SLIDING GATE
- 9 WROUGHT IRON FENCE
- 10 CORNLIGHT
- 11 METAL LOUVERS
- 12 HORIZONTAL/ VERTICAL REVEAL
- 13 METAL LATTICE WORK
- 14 METAL LINING
- 15 TINTED GLAZING SET IN ALUMINUM STOREFRONT WINDOW SYSTEM
- 16 ROOF BRACING
- 17 IS GA. PREFINISHED SHEET METAL DOWNSPOUT
- 18 FALSE DORNER WITH VENTED LOUVERS
- 19 GARAGE DOOR
- 20 ROLLUP OVERHEAD DOOR
- 21 FUTURE ACCESSIBLE KIOSK LOCATION
- 22 WOOD SIDING

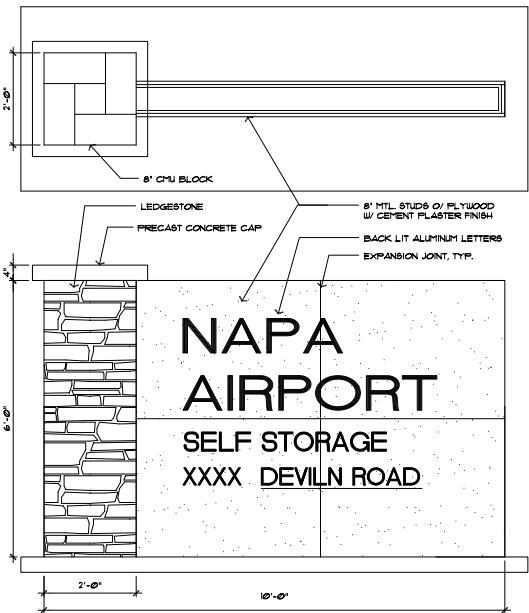


BUILDING E- WEST ELEVATION

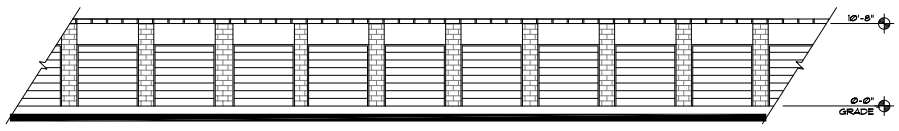


BUILDING A- WEST ELEVATION

ELEVATIONS

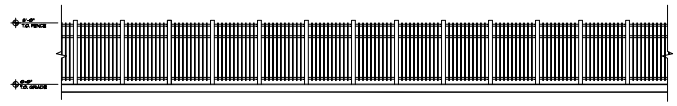


11 MONUMENT SIGN DETAILS

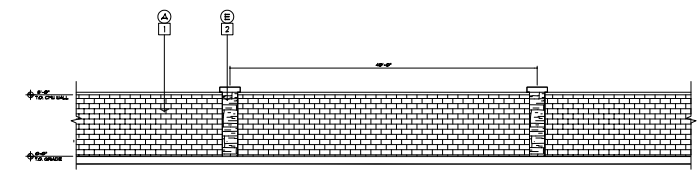


TYPICAL INTERIOR STORAGE UNITS

1/8"



SOUTH PROPERTY LINE W.I. FENCE ELEVATION



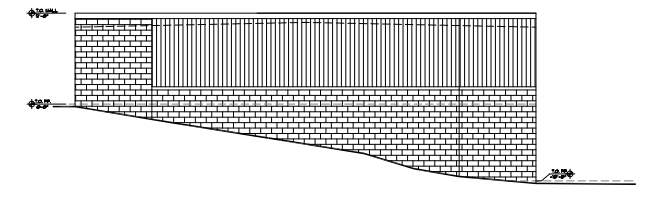
3/4" TYPICAL CMU WALL ELEVATION

FINISH SCHEDULE

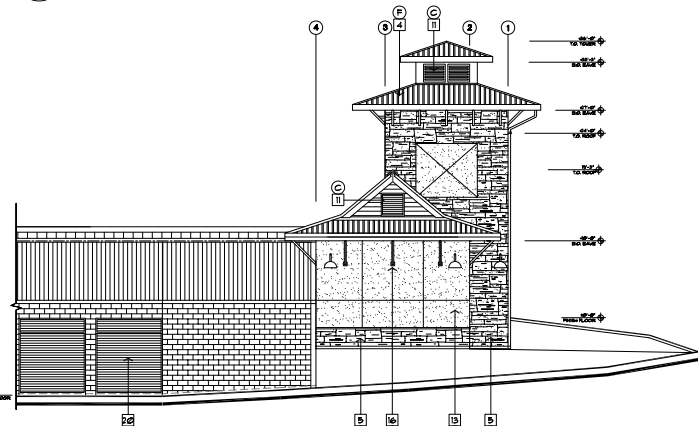
- (A) CMU BLOCK WALL - BASALITE 346, SPLIT FACE
- (B) 'GLIDDEN' SILVER SWORDPLAY 302B 45/1049
 - TRIM AND PARAPET CAPS
- (C) 'GLIDDEN' EUCALYPTUS TREE 1001 30/104
 - METAL WORK AND WINDOW FRAMES
- (D) 'GLIDDEN' TAUNY GREY 48TY 51/65
 - PLASTER
- (E) STONE VENEER, THIN VENEER
- (F) METAL ROOF, 'AEP SPAN' COOL PARACHUTE
- (G) WROUGHT IRON
- (H) CLEAR ANODIZED ALUMINUM W/ LIGHT TINT GLAZING
- (I) WOOD SIDING - 'HARDI-LAP'

KEYNOTES

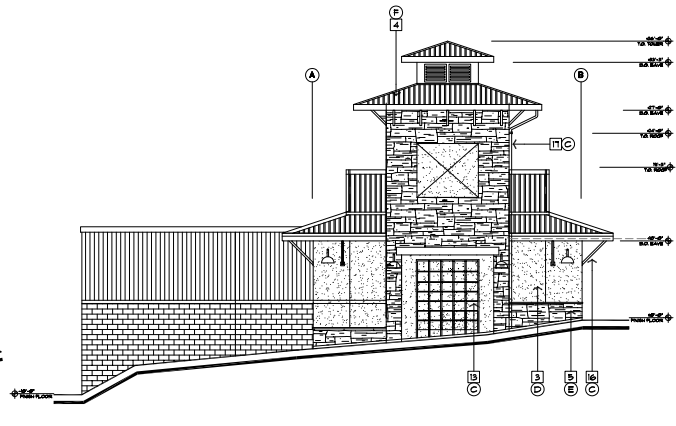
- 1 BLOCK WALL
- 2 BLOCK WALL PILASTER WITH STONE VENEER
- 3 PLASTER WALL
- 4 METAL ROOFING
- 5 STONE VENEER
- 6 FOAM PARAPET CAP
- 7 ALUMINUM STOREFRONT DOOR
- 8 WROUGHT IRON SLIDING GATE
- 9 WROUGHT IRON FENCE
- 10 WOODLIGHT
- 11 METAL LOUVERS
- 12 HORIZONTAL/ VERTICAL REVEAL
- 13 METAL LATTICE WORK
- 14 METAL AWNING
- 15 TINTED GLAZING SET IN ALUMINUM STOREFRONT WINDOW SYSTEM
- 16 18 GA. PREFINISHED SHEET METAL DOWNSPOUT ROOF BRACING
- 17 18 GA. PREFINISHED SHEET METAL DOWNSPOUT
- 18 FALSE DORMER WITH VENTED LOUVERS
- 19 GARAGE DOOR
- 20 ROLLUP OVERHEAD DOOR
- 21 FUTURE ACCESSIBLE KIOSK LOCATION
- 22 WOOD SIDING



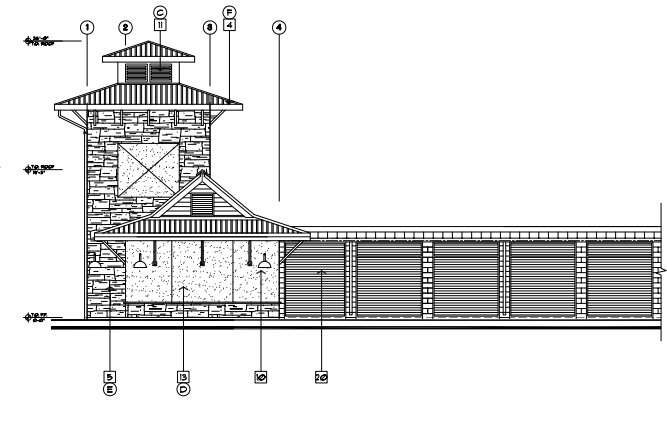
BUILDING B - WEST ELEVATION



BUILDING B - PARTIAL SOUTH ELEVATION



BUILDING B - EAST ELEVATION



BUILDING B - PARTIAL NORTH ELEVATION

ELEVATIONS

ABBREVIATIONS

AC	Asphalt Concrete
BC	Beginning of Curve
C&G	Curb and Gutter
CP	Center Line
C	Concrete
CY	Cubic Yards
Δ	Delta
DI	Drop Inlet
DW	Driveway
Each	Each
EC	End of Curve
EL	Elevation
EP	Edge of Pavement
Emnt	Easement
Fd	Found
FF	Finish Floor
FG	Finish Grade
PH	Fire Hydrant
FL	Flowline
FR	Fire Riser
FS	Finish Surface
Inv	Invert
IP	Iron Pipe
L	Length
LE	Landscaping Easement
LF	Lead Feet
MH	Manhole
NTB	Not to Scale
PL	Property Line
PLS	Public Land Surveyor
R	Radius, Radius
Ret	Retaining Wall
ROW	Right of Way
RWL	Reclaimed Water Line
SD	Storm Drain
SOB	Square Foot
SOB	Sand / Oil Separator
SS	Sanitary Sewer
SW	Sidewalk
TC	Top of Curb
TW	Top of Wall
W, Wtr	Water
Wd	Wood
WV	Water Valve

SYMBOL & LINE LEGEND

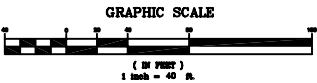
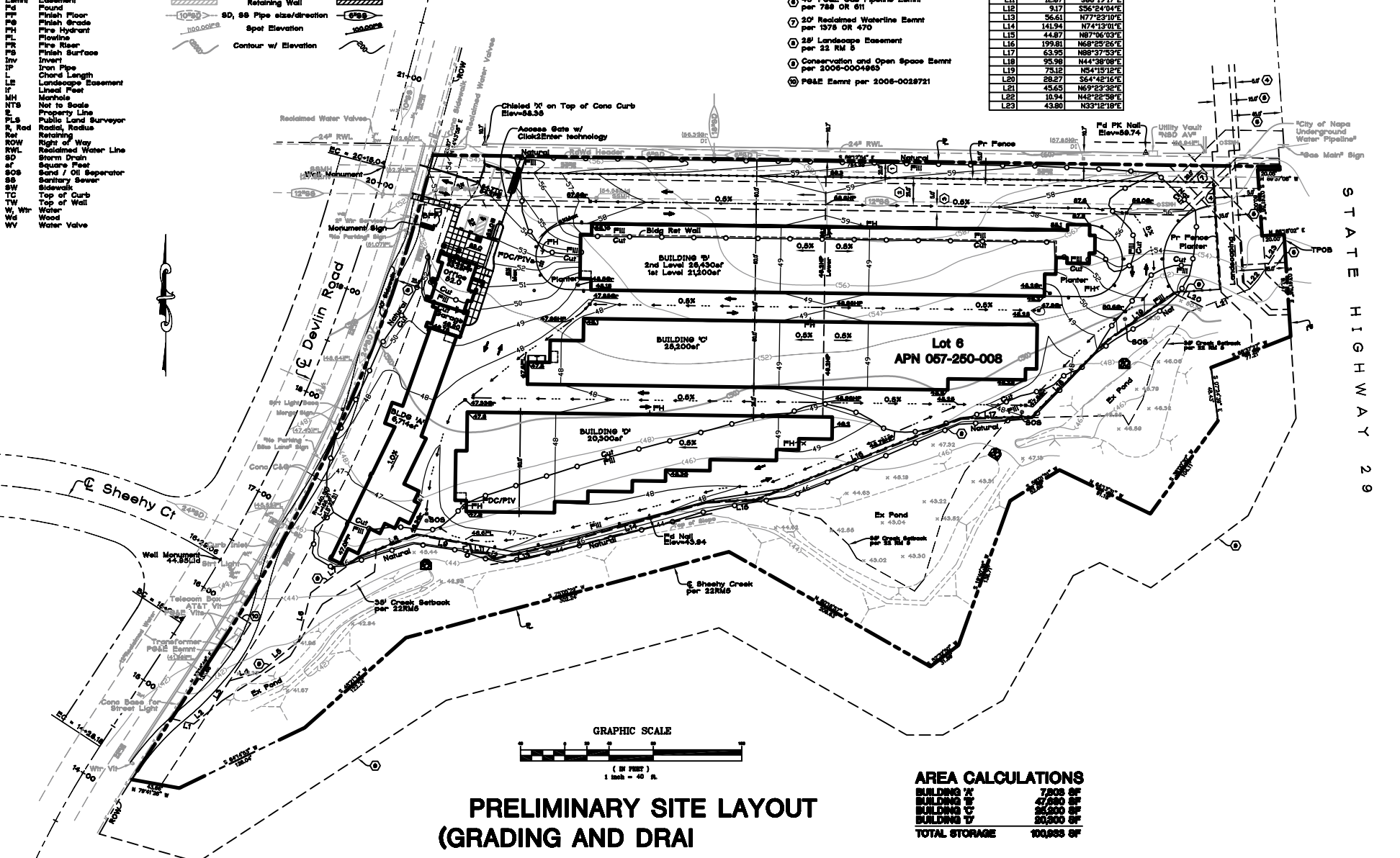
Existing	Proposed

EASEMENTS:

- ① 20' City of Napa Pipeline Emnt Per 820 OR 46
- ② 20' Napa Sanitation District Emnt Per 820 OR 724
- ③ 5' Sanitary Sewer Emnt Per 22 RM 5
- ④ 5' City of American Canyon Waterline Emnt per 22 RM 5
- ⑤ 10' City of American Canyon Waterline Emnt per 22 RM 5
- ⑥ 40' PO&E Gas Pipeline Emnt per 738 OR 691
- ⑦ 20' Reclaimed Waterline Emnt per 1376 OR 470
- ⑧ 20' Landscape Easement per 22 RM 5
- ⑨ Conservation and Open Space Emnt per 2006-0004865
- ⑩ PO&E Emnt per 2006-0028721

LINE TABLE

LINE	LENGTH	BEARING
L1	20.99	S76°30'02"E
L2	18.76	N50°47'26"E
L3	36.98	N33°16'49"E
L4	29.60	N74°22'09"E
L5	43.78	N50°28'41"E
L6	45.20	N41°18'30"E
L7	54.29	N53°49'29"E
L8	55.67	N63°55'41"E
L9	48.40	S79°35'33"E
L10	7.46	S13°42'16"E
L11	12.87	S86°19'17"E
L12	9.17	S56°24'04"E
L13	56.61	N77°23'10"E
L14	141.94	N74°13'01"E
L15	44.87	N87°06'03"E
L16	199.81	N68°29'26"E
L17	63.95	N89°37'33"E
L18	95.90	N44°38'08"E
L19	75.12	N54°15'12"E
L20	29.27	S64°42'16"E
L21	43.65	N69°23'22"E
L22	10.94	N42°22'58"E
L23	43.80	N33°12'19"E



PRELIMINARY SITE LAYOUT (GRADING AND DRAINAGE)

AREA CALCULATIONS

BUILDING X	7,900 SF
BUILDING Y	47,690 SF
BUILDING Z	26,900 SF
BUILDING V	20,900 SF
TOTAL STORAGE	100,988 SF

STATE HIGHWAY 29

Sheet No.	County	Volume	Date
No. Description			

ENGINEER
GREGORY J. COOK INC.
P.O. BOX 18448
SOUTH LAKE TAHOE, CA 96151
530-644-7774

Preliminary Site Layout

Storage Facility for
ThomasTown Builders
ThomasTown Builders
Devlin Road
Napa, CA
APN: 057-250-008

Project no.
SMIT-45
drawn
S.A.M.
date
April 13, 2017
scale
7=1/4"

sheet
C1
of
sheets

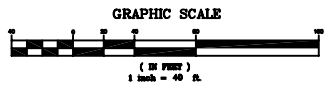
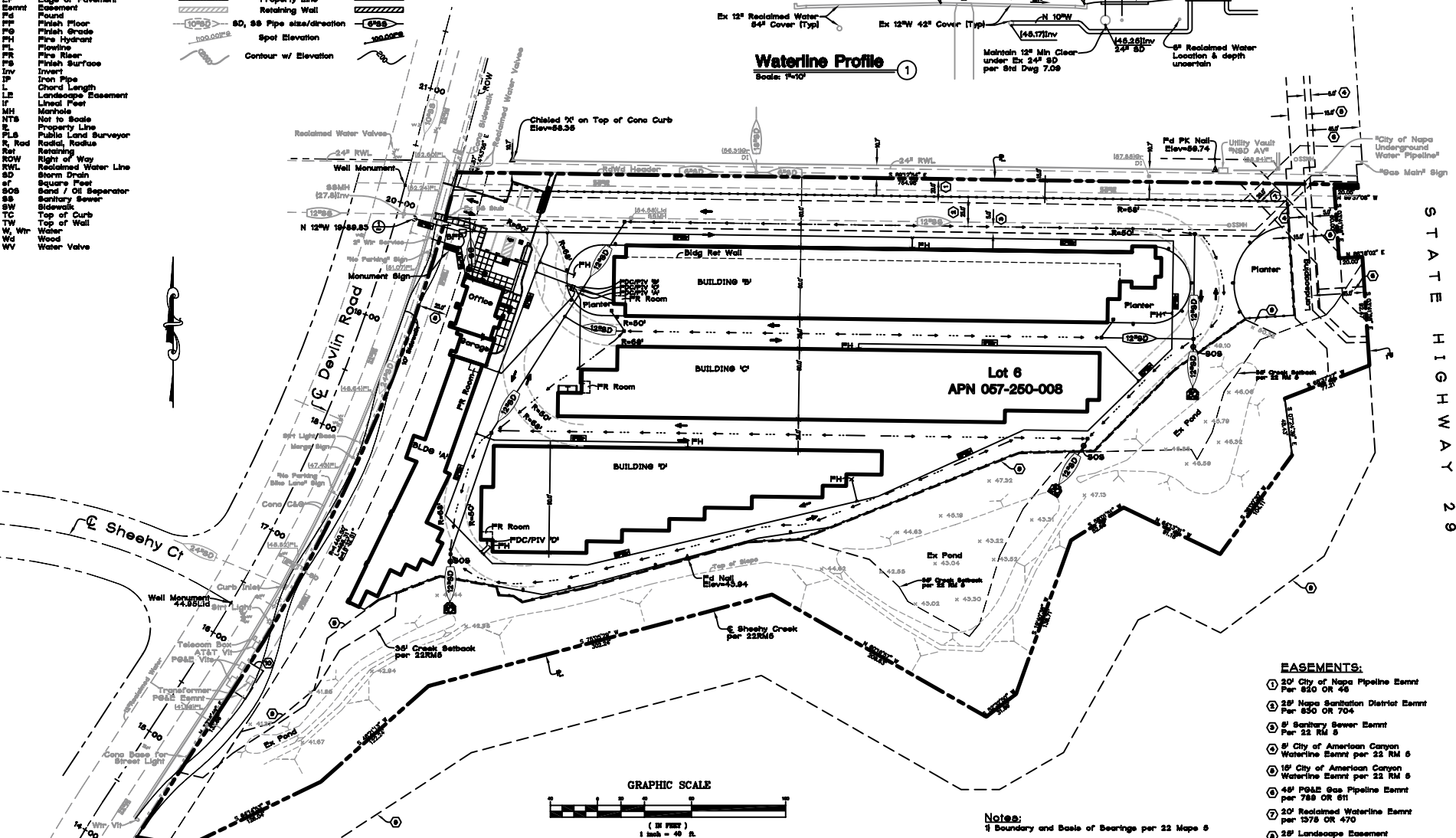
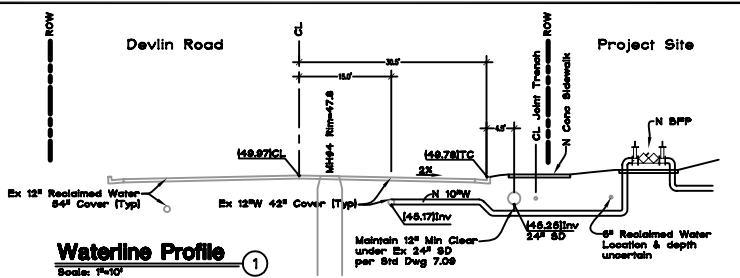
Revised 4-13-17

ABBREVIATIONS

AC	Asphalt Concrete
BC	Beginning of Curve
C&G	Curb and Gutter
CP	Curb Face
Conc	Concrete
CV	Cubic Yards
D	Delta
DI	Drop Inlet
DW	Driveway
EA	Each
EC	End of Curve
Elect	Electric
EP	Edge of Pavement
Emnt	Easement
Fd	Found
FL	Finish Floor
FG	Finish Grade
PH	Fire Hydrant
PL	Flow Line
PL	Flowline
FR	Fire Riser
FS	Finish Surface
Inv	Invert
IP	Iron Pipe
L	Chord Length
LE	Landscape Easement
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sf	Square Feet
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SS	Sanitary Sewer
SW	Sidewalk
TC	Top of Curb
TW	Top of Wall
W	Water
Wd	Wood
WV	Water Valve

SYMBOL & LINE LEGEND

Existing	Proposed



PRELIMINARY UTILITY PLAN

Notes:
1 Boundary and Base of Bearings per 22 Maps 8

- EASEMENTS:**
- 1 20' City of Napa Pipeline Emnt Per 820 OR 46
 - 2 25' Napa Sanitation District Emnt Per 850 OR 704
 - 3 5' Sanitary Sewer Emnt Per 22 RM 8
 - 4 5' City of American Canyon Waterline Emnt per 22 RM 8
 - 5 15' City of American Canyon Waterline Emnt per 22 RM 8
 - 6 48' PG&E Gas Pipeline Emnt per 788 OR 611
 - 7 20' Reclaimed Waterline Emnt per 1378 OR 470
 - 8 25' Landscape Easement per 22 RM 8
 - 9 Conservation and Open Space Emnt per 2006-004865
 - 10 PG&E Emnt per 2006-0028721

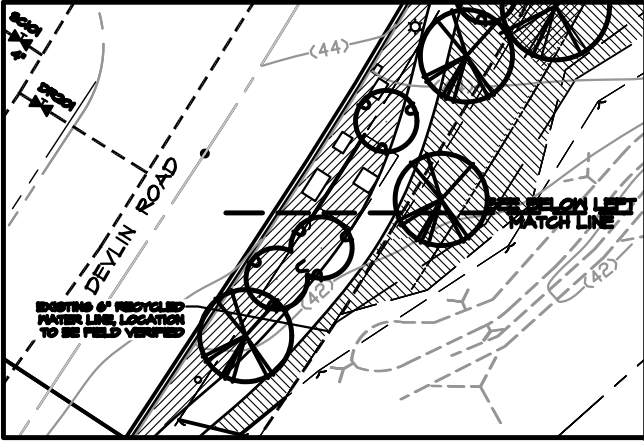
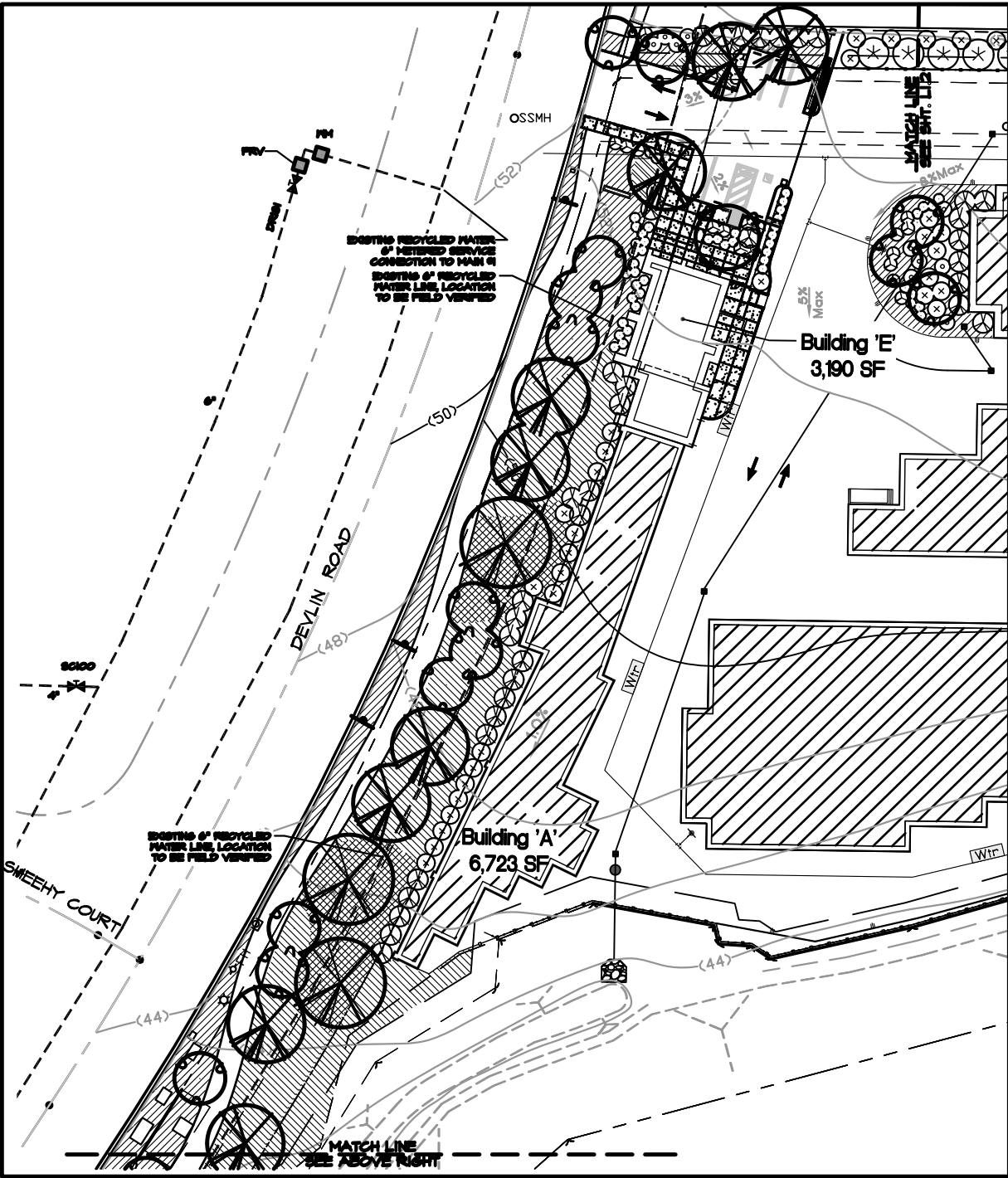
<p>ENGINEER GREGORY J. COOK ^{MS} P.O. BOX 18448 SOUTH LAKE TAHOE, CA 96151 830-544-7774</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td style="width: 20%;">Date</td><td></td></tr> <tr><td>By</td><td></td></tr> <tr><td>Checked</td><td></td></tr> <tr><td>Reviewed</td><td></td></tr> <tr><td>Approved</td><td></td></tr> <tr><td>Project</td><td></td></tr> <tr><td>No. Description</td><td></td></tr> <tr><td>No.</td><td></td></tr> </table>	Date		By		Checked		Reviewed		Approved		Project		No. Description		No.	
Date																	
By																	
Checked																	
Reviewed																	
Approved																	
Project																	
No. Description																	
No.																	
<p>STATE HIGHWAY 29</p>	<p>Preliminary Utility Plan</p>																
<p>Storage Facility for: Thomas Town Builders Devlin Road Napa, CA APN: 057-250-008</p>	<p>Project no. SMT-43 Drawn S.A.M. Date April 13, 2017 Scale 1"=40'</p>																
<p>sheet C2 of sheets</p>	<p>Revised 4-13-17</p>																



YAMASAKI
LANDSCAPE ARCHITECTURE

JEFF AMBROSIA, ASLA C4057
1223 HIGH STREET
AUBURN, CALIFORNIA 95603
(530) 885-0840
FAX (530) 885-0842
www.yamasaki-la.com

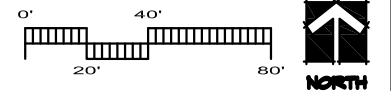
STORAGE FACILITY FOR: THOMASTOWN BUILDERS
LANDSCAPE DEVELOPMENT PLANS
DEVILIN ROAD
NAPA, CALIFORNIA



PLANT SCHEDULE ALL PLANT MATERIAL IS 'LOW' WATER USE

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	
	CED DEO	3	Cedrus deodara / Deodar Cedar	24"box	
	LAS IND	14	Lagerstroemia indica / Crape Myrtle	15 gal	
	PIS CHI	10	Pistacia chinensis / Chinese Pistache	15 gal	
	QUE LOB	3	Quercus lobata / Valley Oak	24"box	
	RHU SUM	1	Rhus lancea / African Sumac	15 gal	
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	
	ARC SEN	67	Arctostaphylos densiflora 'Sentinel' / Manzanita	5 gal	
	CAL DWA	46	Callistemon viminalis 'Little John' / Dwarf Weeping Bottlebrush	1 gal	
	CIS PUR	55	Cistus x purpureus / Orchid Rockrose	5 gal	
	HET ARB	61	Heteromeles arbutifolia / Toyon	5 gal	
	NAN DOM	21	Nandina domestica / Heavenly Bamboo	5 gal	
	XYL COM	74	Xylostea congestum 'Compacta' / Compact Xylostea	5 gal	
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	SPACING
	COT LOW	476	Cotoneaster dammeri 'Lowfast' / Lowfast Bearberry Cotoneaster	1 gal	72" o.c.
	MAH REP	347	Mahonia repens / Creeping Mahonia	1 gal	42" o.c.
	ROS PRO	475	Rosmarinus officinalis 'Prostratus' / Dwarf Rosemary	1 gal	48" o.c.
	ZAU CAL	23	Zauschneria californica / California Fuchsia	1 gal	48" o.c.

ALL PLANT MATERIAL WILL BE IRRIGATED WITH RECYCLED WATER. THE IRRIGATION POINT OF CONNECTION WILL TAP AN EXISTING RECYCLED WATER SOURCE ACROSS THE PROPERTY'S DEVILIN ROAD FRONTAGE.

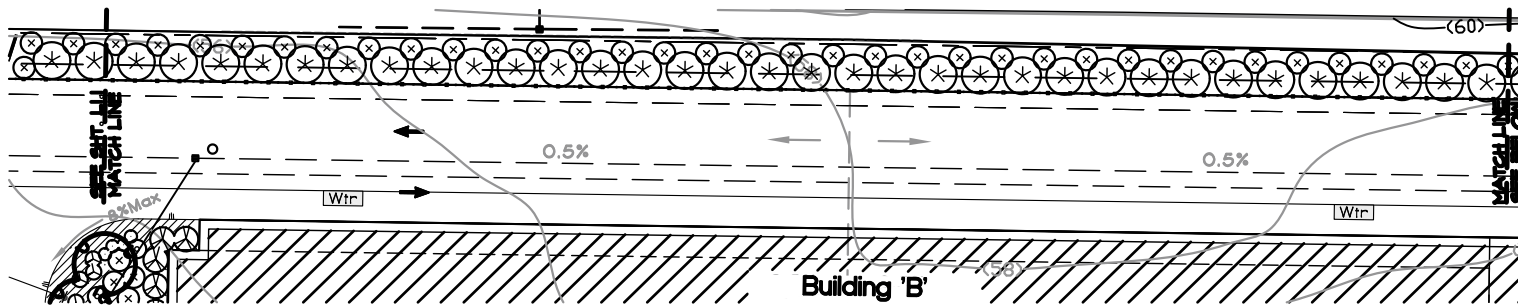


This drawing is a preliminary plan and is not intended to be used for construction. It is subject to change without notice. The client agrees that they will be liable for any errors or omissions on this drawing. The client also agrees to hold the designer harmless from any claims or damages resulting from the use of this drawing.

PRELIMINARY PLANTING PLAN A



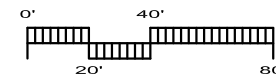
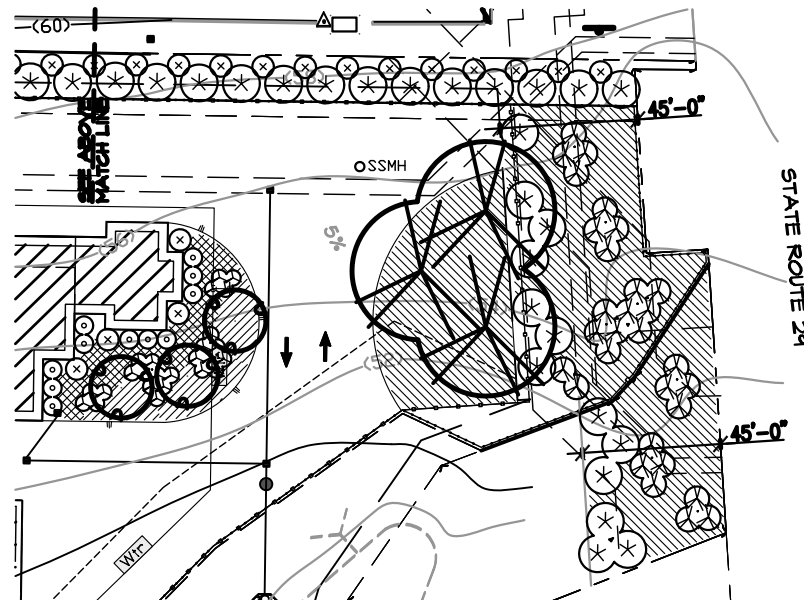
No. **A** Date **5/2018** Revision
Project Mgr: **JMA** Sheet No: **L-1.1**
Drawn By: **SPG**
Scale: **1"=20'**
Date: **MAY 2018**
File Name: **NAPSPLENT.dwg**



PLANT SCHEDULE ALL PLANT MATERIAL IS LOW WATER USE

TREES	CODE	BOTANICAL NAME / COMMON NAME	SIZE	
	CEJ DEO	<i>Cedrus deodara</i> / Deodar Cedar	24" box	
	LAS IND	<i>Lagerstroemia indica</i> / Crape Myrtle	15 gal	
	PIS CHI	<i>Pistacia chinensis</i> / Chinese Pistache	15 gal	
	QUE LOB	<i>Quercus lobata</i> / Valley Oak	24" box	
	RHU SIM	<i>Rhus lancea</i> / African Simar	15 gal	
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	SIZE	
	ARC SEN	<i>Arctostaphylos densiflora</i> 'Sentinel' / Manzanita	5 gal	
	CAL DWA	<i>Callistemon viminalis</i> 'Little John' / Dwarf Weeping Bottlebrush	1 gal	
	CIS PUR	<i>Cistus x purpureus</i> / Orchid Rockrose	5 gal	
	HET ARB	<i>Heteromeles arbutifolia</i> / Toyon	5 gal	
	MAH DOM	<i>Nandina domestica</i> / Heavenly Bamboo	5 gal	
	XYL COM	<i>Xyloma congestum</i> 'Compacta' / Compact Xyloma	5 gal	
GROUND COVERS	CODE	BOTANICAL NAME / COMMON NAME	SIZE	SPACING
	COT LOH	<i>Cotoneaster dammeri</i> 'Lowfast' / Lowfast Bearberry Cotoneaster	1 gal	12" o.c.
	MAH REP	<i>Mahonia repens</i> / Creeping Mahonia	1 gal	42" o.c.
	ROS PRO	<i>Rosmarinus officinalis</i> 'Prostratus' / Dwarf Rosemary	1 gal	48" o.c.
	ZAU CAL	<i>Zauschneria californica</i> / California Fuchsia	1 gal	48" o.c.

ALL PLANT MATERIAL WILL BE IRRIGATED WITH RECYCLED WATER. THE IRRIGATION POINT OF CONNECTION WILL TAP AN EXISTING RECYCLED WATER SOURCE ACROSS THE PROPERTY'S DEVLINE ROAD FRONTAGE.



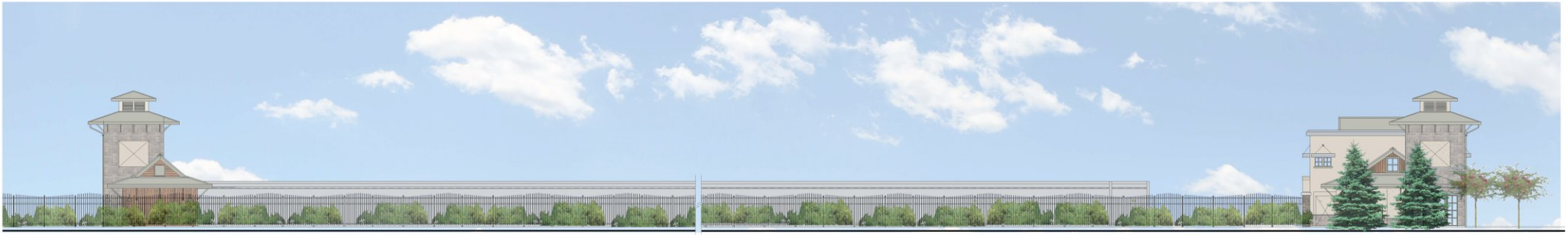
These drawings are preliminary and subject to change without notice. The user of these drawings is advised that they are not to be used for any other purpose than that for which they were prepared. The user of these drawings is advised that they are not to be used for any other purpose than that for which they were prepared.

Sheet Title
PRELIMINARY PLANTING PLAN B

No.	Date	Revised
1		
Project Mgr:	JMA	Sheet No.:
Drawn By:	SPG	L-1.2
Scale:	1"=20'	Date:
Date:	MAY 2016	File Name:
File Name:	NAPSSPLNT	of 2 sheets



DEVLIN ROAD ELEVATION



NORTH PROPERTY ELEVATION

NAPA AIRPORT SELF STORAGE

Napa, CA
 THOMASTOWN BUILDERS INC.
 11711 Quartz Drive, Auburn CA 95602

DATE: 8-5-16 **Stark Designs**
ARCHITECTURE

COLORED ELEVATIONS

P4C

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