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# Request for an Exception to the Napa County Road and Street Standards

Shed Creek Winery Use Permit P16-00327 and  
Use Permit Exception to the Conservation Regulations P17-00178  
Planning Commission Hearing November 15, 2017



**CMP Civil Engineering & Land Surveying**  
1607 Capell Valley Road  
Napa, CA 94558  
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## EXCEPTION REQUEST LETTER

**To:** Attn: Steve Lederer  
Napa County Planning, Building & Environmental Services  
1195 Third Street, Suite 210  
Napa, CA 94558

**Date:** 4/13/2017

**From:** CMP Civil Engineering & Land Surveying  
Cameron Pridmore PE, PLS  
1607 Capell Valley Road  
Napa, CA 94558  
(707) 815-0988

**Subject:** Exception Request Letter associated with the Grape Vine Lane Commercial Driveway Improvements for the proposed Shed Creek Winery located at 80 Grapevine Lane, APN: 033-170-002, Job# 00121

**Remarks:** Thank you for taking the time to review the submitted driveway improvement plans. With this letter I am officially requesting an exception to the Napa County Road and Street Standards. According to the Standards, under section 1, "objectives: b. Strive to preserve the natural landscape and desirable aesthetic features" and "c. to encourage the location of roads to minimize disturbance or impacts on wetlands, critical native plant communities or other environmentally sensitive areas. Further the exception is required to minimize grading within the Gordon Valley Creek setback as required in the Napa Stream Setback Ordinance. The specific areas of exception and the associated reasons are listed below. Included at the end of this letter are numbered photographs which show the existing conditions of subject driveway and demonstrate the environmental constraints present.

1. An exception to the 22 foot minimum commercial driveway width from STA 0+75 to STA 1+33 and STA 2+40 TO STA 9+34. The driveway will not be widened in this area and the full 22' width cannot be achieved. The reasons for this request are as follows:
  - a. Widening the driveway in these areas to meet the 20 foot width is not environmentally feasible. The existing driveway is surrounded by large heritage oak trees. Widening the driveway would require removing these oak trees.
  - b. The existing driveway in this area is immediately adjacent to Gordon Valley Creek which is a blue line stream. Widening the driveway to the full 22' in this area would require extensive grading to take place within the creek setback. It would also require the destruction of large heritage oaks. All surface improvements in this area are to be constrained to the

- edge of the existing earthen road shoulders, with the exception of the traffic signs shown on the plan.
- c. To avoid unnecessary erosion of the creek banks which would cause damage to the streams habitat and could cause a flood hazard to downstream residents.
2. An exception to the 22 foot minimum bridge width from STA 7+30 to 7+47. The existing 18.75' wide bridge cannot be widened to the full 22' without replacing the footings. It has clear line of site and a space wide enough for two vehicle sot pass on either side of the bridge. Thus we request an exception to the bridge width for the following reasons:
    - a. Replacing the footings will require the complete removal of two large heritage oaks and damage to the root zones of several others.
    - b. Replacing the footing will require extensive grading to take place within the Gordon Valley Stream bed which could damage riparian habitat.
    - c. To avoid unnecessary erosion of the creek banks which would cause damage to the streams habitat and could cause a flood hazard to downstream residents.

The Napa County Conservation Regulations support this request and granting the exception would minimize the grading near Gordon Valley Creek and would minimize the impact to the surrounding heritage oaks. The Napa County Road and Street Standards (RSS) also supports this exception given the following RSS objectives: "To preserve the natural landscape and desirable aesthetic features while balancing the needs of property owners, to encourage the location of roads to minimize disturbance or impacts on wetlands, critical native plant communities, or other environmentally sensitive areas, to minimize alteration of streams.....". We have also proposed that a traffic control plan be utilized during large winery events in order to maintain safe passage of vehicular traffic to and from the winery while always maintaining clear passage for emergency vehicles. This traffic control plan has been included with this submittal, please review it for further details. Given the above reasons, granting this exception is the best way to balance human safety while protecting the surrounding environment. We feel the proposed improvements coupled with the traffic control plan meet the same overall practical level of safety as strictly adhering to the RSS would have. Thank you again for taking the time to review this request. Please let me know if you have any further questions or comments.

Regards,



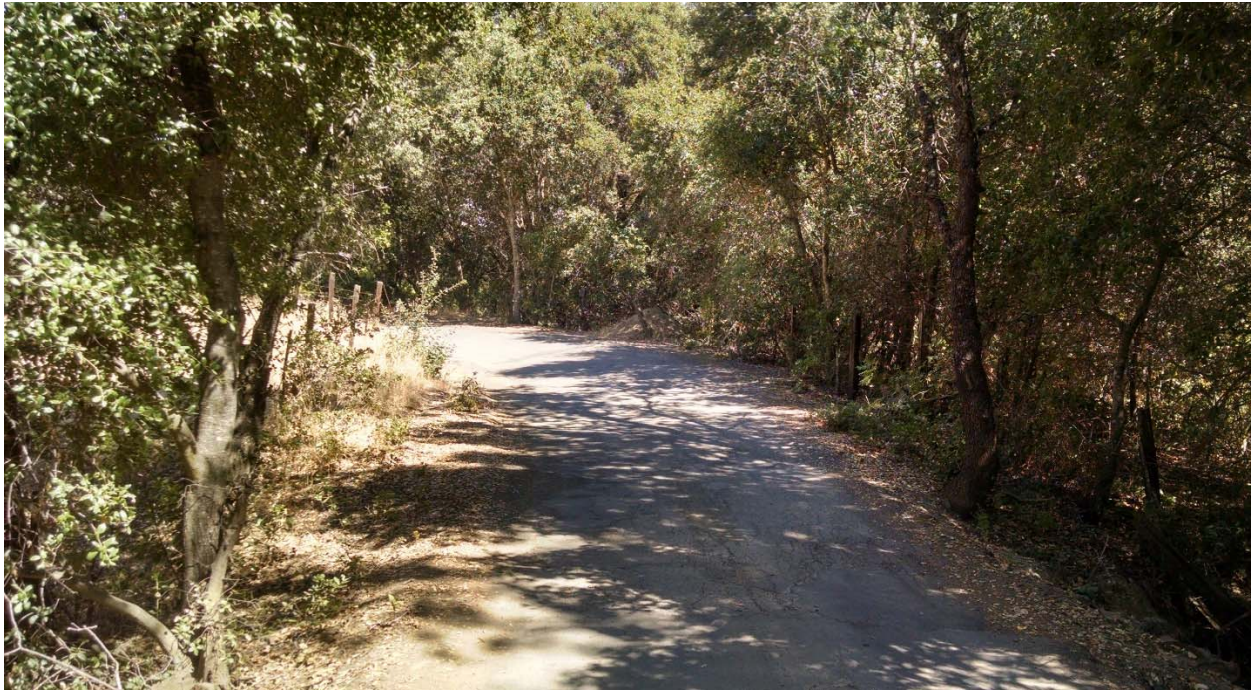
Cameron Pridmore PE, PLS

# Attachment A

Driveway Photos  
Taken August 15, 2016



P-1



P-2



P-3



P-4



P-5



P-6



P-7



P-8





P-9



P-10



P-11



P-12

**ABBREVIATIONS**

AB	AGGREGATE BASE	ETW	EDGE OF TRAVELED WAY	R	RADIUS
AC	ASPHALT CONCRETE	EVC	END VERTICAL CURVE	RCP	REINFORCED CONCRETE PIPE
ACR	ACRES	FC	FACE OF CURB	REQ	REQUIRED
AP	ANGLE POINT	FF	FINISHED FLOOR	RM	RM ELEVATION
ARV	AIR RELIEF VALVE	FG	FINISHED GRADE	RT	RIGHT
BC	BEGIN CURVE	FH	FIRE HYDRANT	ROW	RIGHT OF WAY
BCR	BEGIN CURB RETURN	FI	FLOW INLET	S	SLOPE
BM	BENCHMARK	FL	FLOW LINE	SD	STORM DRAIN
BO	BLOW-OFF VALVE	GB	GRADE BREAK	SDE	STORM DRAIN EASEMENT
BP	BEGINNING POINT	GR	GRADE ELEVATION	SDMH	STORM DRAIN MANHOLE
BVC	BEGIN VERTICAL CURVE	HP	HIGH POINT	SE	SEWAGE EASEMENT
BW	BOTTOM OF WALL	INV	INVERT ELEVATION	SF	SQUARE FEET
BOW	BACK OF WALL	IRR	IRRIGATION	SPEC	SPECIFICATIONS
CL	CENTERLINE	JT	JOINT TRENCH	SS	SANITARY SEWER
CLR	CLEAR	LAT	LATERAL	SSE	SANITARY SEWER EASEMENT
CB	CATCH BASIN	LF	LINEAL FEET	SSLAT	SANITARY SEWER LATERAL
CMP	CORRUGATED METAL PIPE	LGP	LIP OF GUTTER	SSMH	SANITARY SEWER MANHOLE
CO	CLEAN OUT	LNP	LOW POINT	STA	STATION
CONC	CONCRETE	LT	LEFT	STD	STANDARD
CP	CONTROL POINT	MAX	MAXIMUM	STLT	STREET LIGHT
CR	CURB RETURN	MH	MANHOLE	T	TANGENT
DI	DRAIN INLET	MIN	MINIMUM	T	TOTAL
DIP	DUCTILE IRON PIPE	NCS	NAPA COUNTY STANDARDS	TB	TREE BOX
DWY	DRIVEWAY	ORN	ORNAMENTAL TREE	TC	TOP OF CURB
(E)	EXISTING	OHW	OVER HEAD UTILITY WIRE	TEMP	TEMPORARY
EA	EACH	(P)	PROPOSED	TG	TOP OF GRATE
EC	END CURVE	PI	POINT OF INTERSECTION	TW	TOP OF WALL
EGR	EDGE OF GRAVEL	PL	PROPERTY LINE	TYP	TYPICAL
EL	ELEVATION	PSDE	PRIVATE STORM DRAIN ESMIT	UE	UNDER GROUND ELECTRICAL
EP	EDGE OF PAVEMENT	PUE	PUBLIC UTILITY EASEMENT	VC	VERTICAL CURVE
EQ	EQUAL	PVC	POLYVINYL CHLORIDE	W	WATER
ESMT	EASEMENT	PVI	VERTICAL CURVE INTERSECTION	WLAT	WATER SERVICE LATERAL
		PAV	PAVEMENT	WM	WATER METER

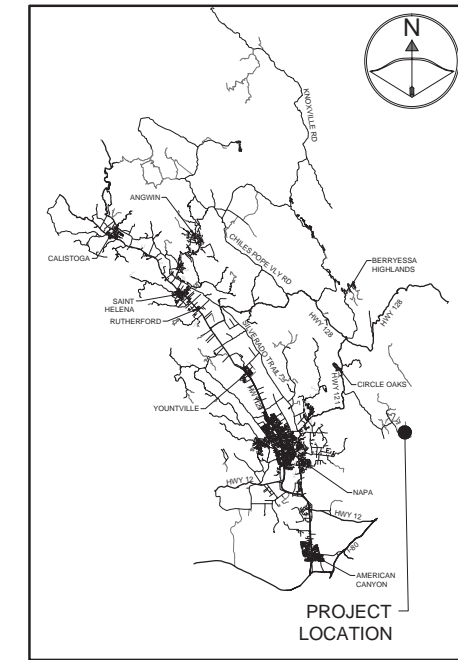
**LINE LEGEND**

	PROPOSED GRAVEL ROAD IMPROVEMENT
	PROPOSED AC ROAD IMPROVEMENT

# GRAPE VINE LANE COMMERCIAL DRIVEWAY IMPROVEMENT PLAN

## FOR THE SHED CREEK WINERY

LOCATED AT  
80 GRAPEVINE LANE  
NAPA, CA 94558  
APN: 033-170-002



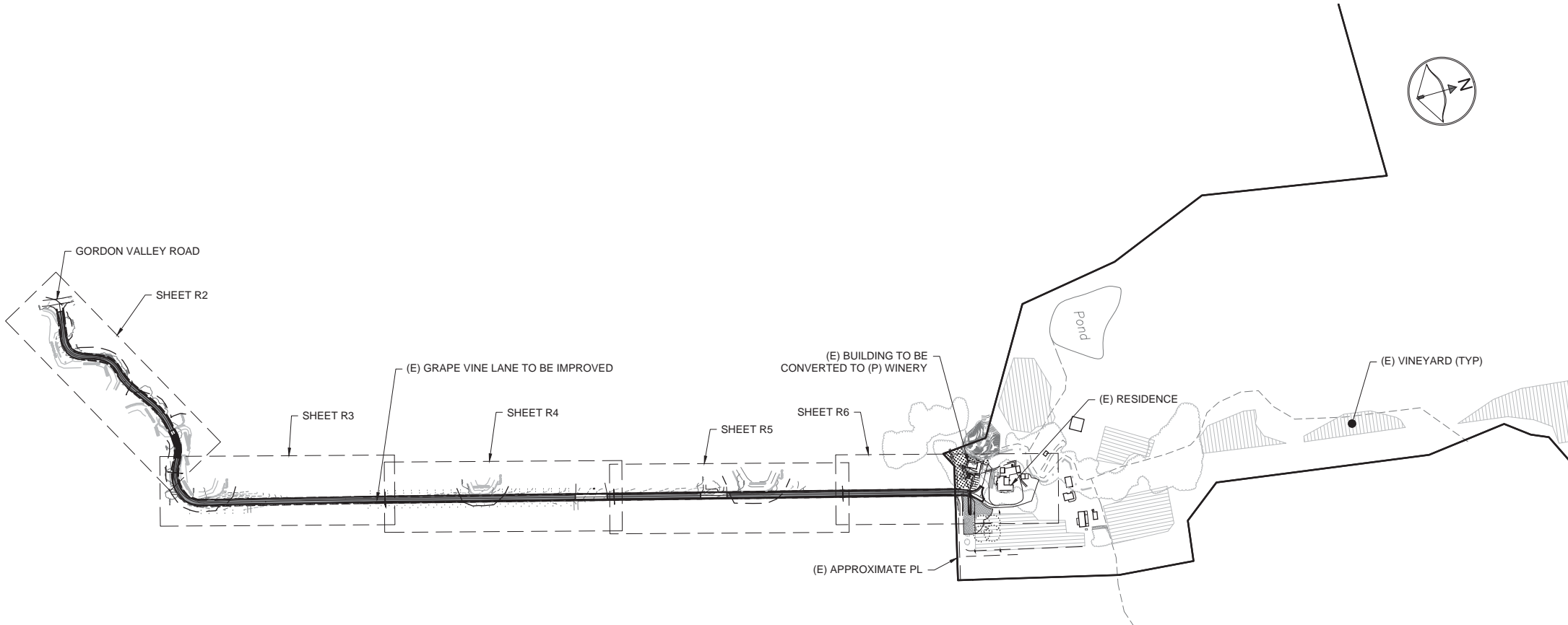
**VICINITY MAP**  
NTS

**OWNER**  
BOB MORGAN  
3046 B ROCKVILLE ROAD  
FAIRFIELD, CA 94534

**CIVIL ENGINEER**  
CMP CIVIL ENGINEERING & LAND SURVEYING  
CAMERON PRIDMORE PE, PLS  
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**SHEET INDEX**

SHT. #	DESCRIPTION
R1	TITLE
R2	DRIVEWAY IMPROVEMENT PLAN 1
R3	DRIVEWAY IMPROVEMENT PLAN 2
R4	DRIVEWAY IMPROVEMENT PLAN 3
R5	DRIVEWAY IMPROVEMENT PLAN 4
R6	DRIVEWAY IMPROVEMENT PLAN 5
R7	NOTES & DETAILS



**SITE PLAN**

SCALE 1" = 250'  
0 125 250 500  
SCALE: 1"=250'

**UNAUTHORIZED CHANGES & USES:**  
THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE DESIGNER OF THESE PLANS.

**HORIZONTAL & VERTICAL DATUM:**  
THIS MAP IS BASED ON FIELD SURVEY INFORMATION PERFORMED BY TY HAWKINS LS IN MARCH OF 2015. FIELD SURVEY CONTOURS ARE AS FOLLOWS: MAJORS = 5'; MINORS = 1'.

**PROPERTY LINES:**  
THE PROPERTY LINES SHOWN HEREON ARE BASED ON PRELIMINARY SURVEY DATA, AND ARE FOR REFERENCE ONLY. THIS IS NOT A BOUNDARY SURVEY MAP AND SHOULD NOT BE USED AS SUCH.



*Cameron Pridmore*  
Nov 07, 2017



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PROJECT #: 00066 DATE: 05/28/15

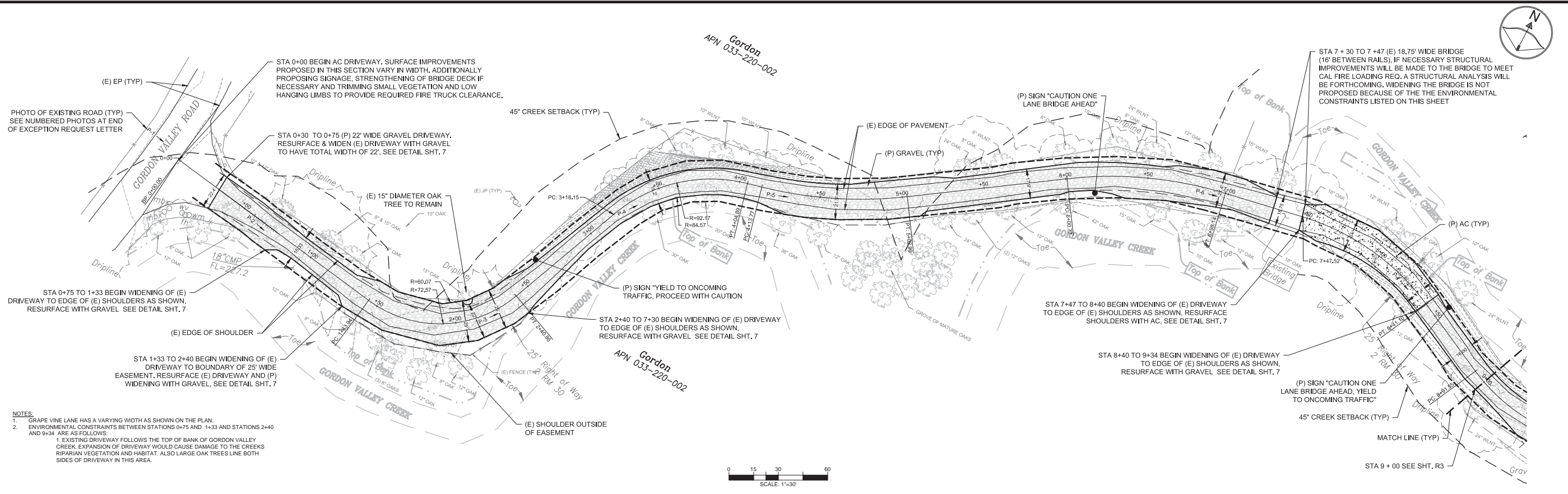
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1	11/22/15	7-7-16 COUNTY COMMENTS
2	5/26/16	1-7-16 COUNTY COMMENTS
3	9/22/16	7-11-16 COUNTY COMMENTS
4	04/12/17	10-27-16 COUNTY COMMENTS

PROJECT INFO:  
SHED CREEK WINERY  
80 GRAPEVINE LANE  
NAPA, CA 94558  
APN: 033-170-002

SHEET NAME:  
**TITLE SHEET**

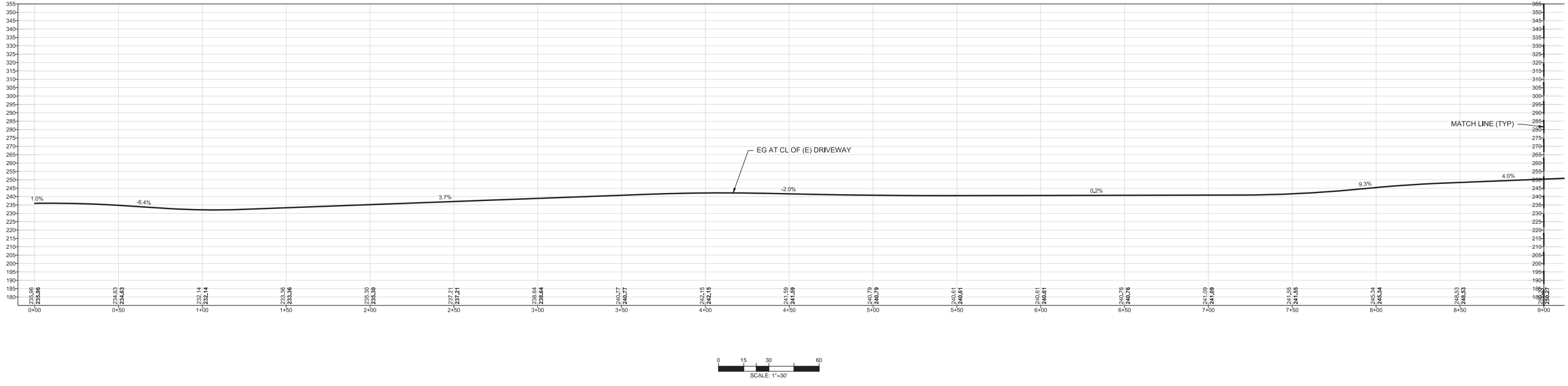
SHEET:  
**R1**

OF 7



# DRIVEWAY IMPROVEMENT PLAN 1

SCALE 1" = 30'



# DRIVEWAY IMPROVEMENT PROFILE 1

SCALE 1" = 30'



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REV #	DESCRIPTION	DATE
1	7-15 COUNTY COMMENTS	11/2/15
2	1-15 COUNTY COMMENTS	5/26/16
3	7-15 COUNTY COMMENTS	9/22/16
4	10-27-16 COUNTY COMMENTS	04/12/17

PROJECT INFO:  
**SHED CREEK WINERY**  
 80 GRAPEVINE LANE  
 NAPA, CA 94558  
 APN: 033-170-002

SHEET NAME:  
**DRIVEWAY IMPROVEMENT PLAN 1**

SHEET:  
**R2**



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 PROJECT #: 00066 DATE: 05/28/15

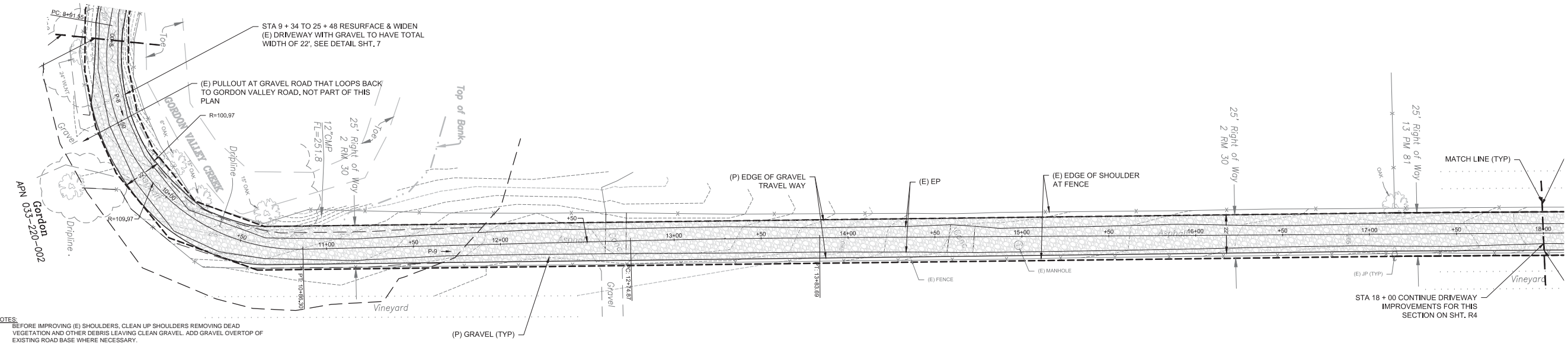
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2	1-7-16 COUNTY COMMENTS	5/26/16
3	7-11-16 COUNTY COMMENTS	9/22/16
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**SHED CREEK WINERY**  
 80 GRAPEVINE LANE  
 NAPA, CA 94558  
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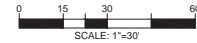
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**DRIVEWAY IMPROVEMENT PLAN 2**

SHEET:  
**R3**

Gordon  
 033-220-002

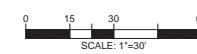
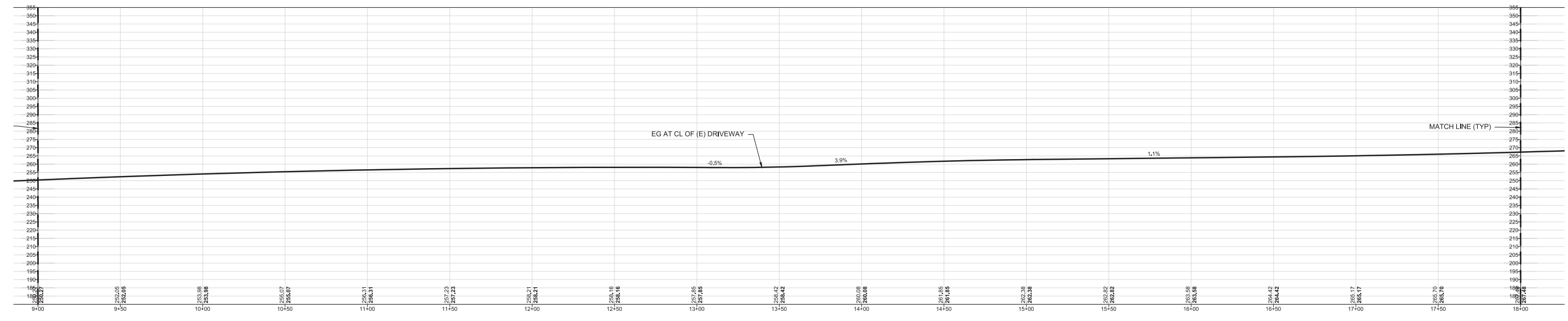


- NOTES:
- BEFORE IMPROVING (E) SHOULDERS, CLEAN UP SHOULDERS REMOVING DEAD VEGETATION AND OTHER DEBRIS LEAVING CLEAN GRAVEL. ADD GRAVEL OVERTOP OF EXISTING ROAD BASE WHERE NECESSARY.
  - GRAPE VINE LANE HAS A VARYING WIDTH AS SHOWN ON THE PLAN.



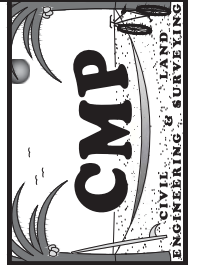
## DRIVEWAY IMPROVEMENT PLAN 2

SCALE 1" = 30'



## DRIVEWAY IMPROVEMENT PROFILE 2

SCALE 1" = 30'



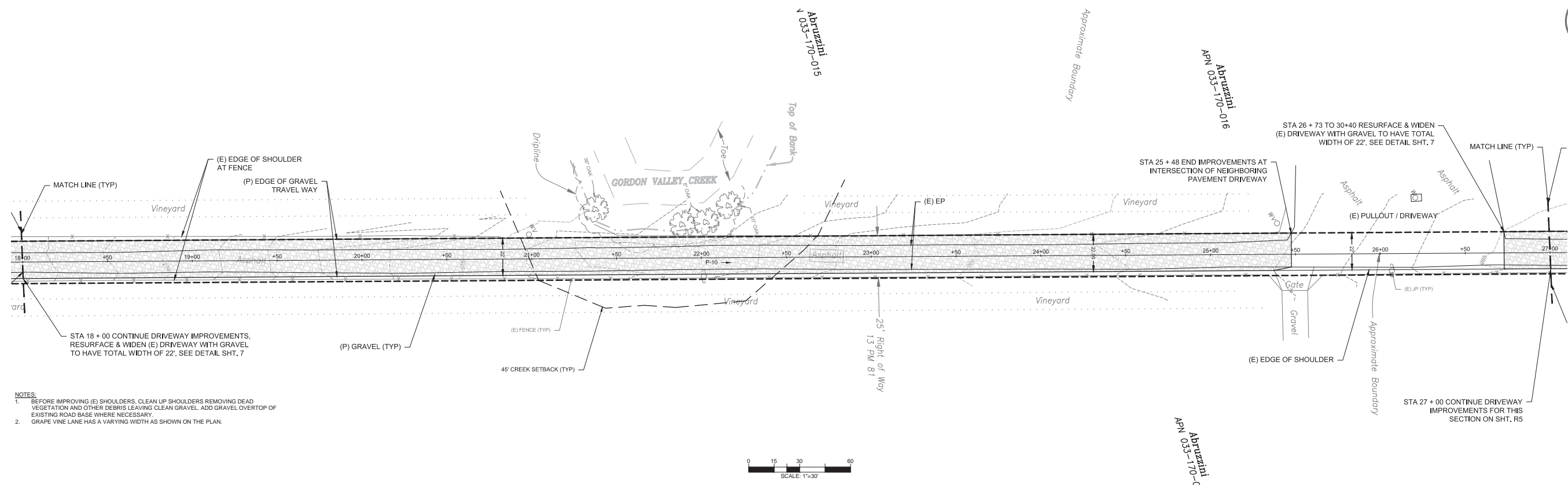
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REV #	DESCRIPTION	DATE
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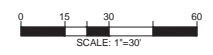
**PROJECT INFO:**  
 SHED CREEK WINERY  
 80 GRAPEVINE LANE  
 NAPA, CA 94558  
 APN: 033-170-002

**SHEET NAME:**  
 DRIVEWAY  
 IMPROVEMENT  
 PLAN 3

**SHEET:**  
 R4

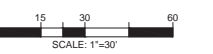
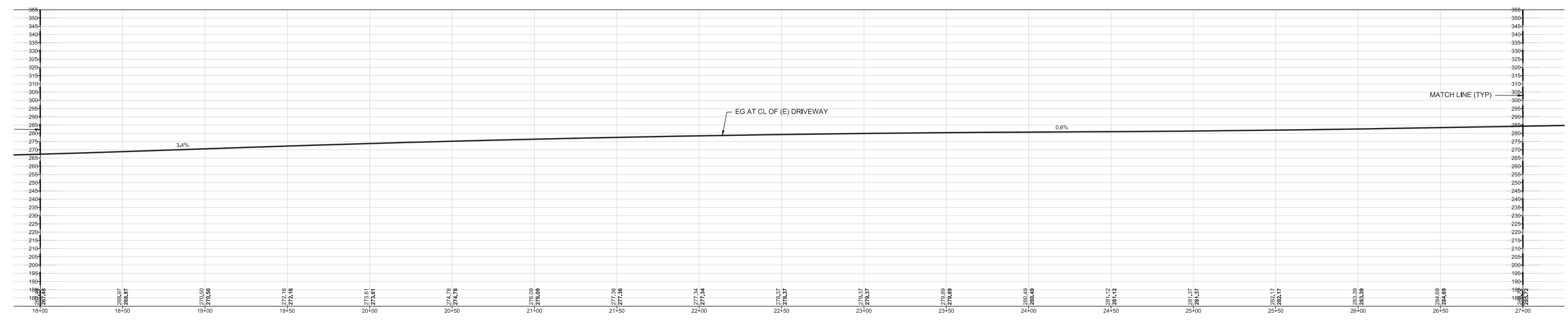


- NOTES:**
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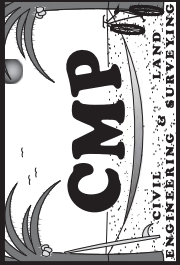
# DRIVEWAY IMPROVEMENT PLAN 3

SCALE 1" = 30'

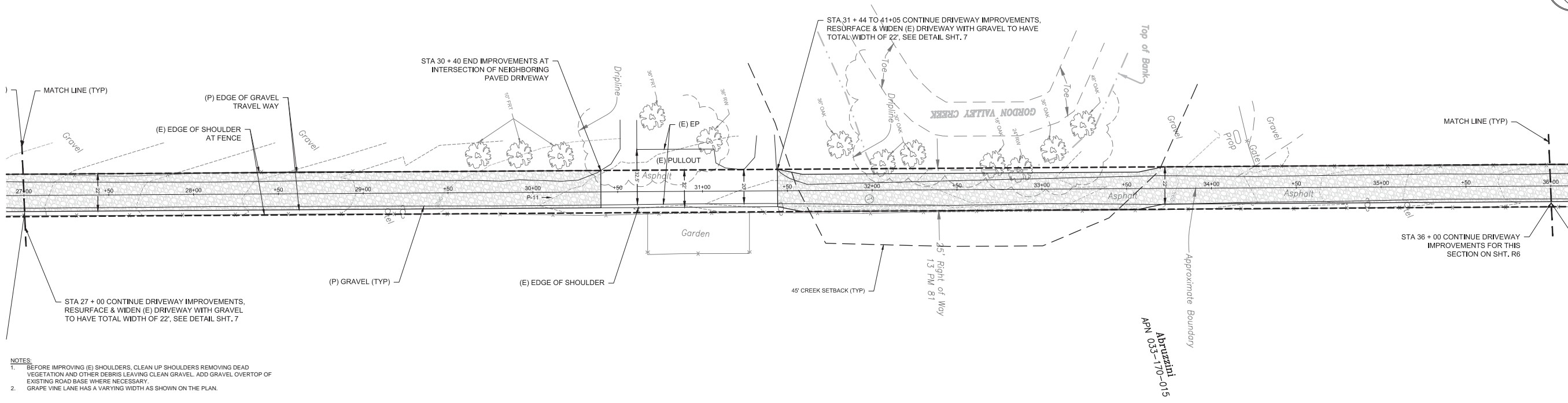


# DRIVEWAY IMPROVEMENT PROFILE 3

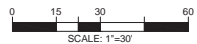
SCALE 1" = 30'



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 PROJECT #: 00066 DATE: 05/28/15

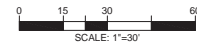
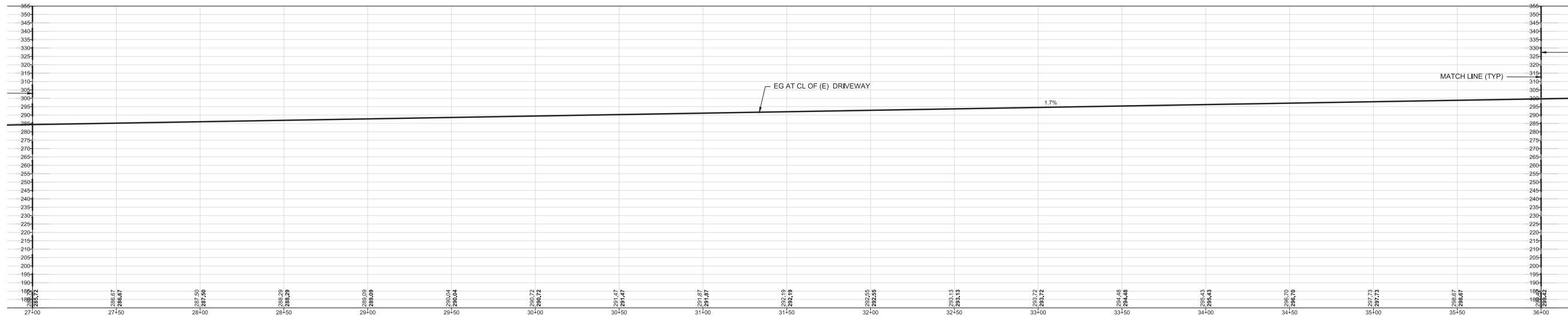


- NOTES:
- BEFORE IMPROVING (E) SHOULDERS, CLEAN UP SHOULDERS REMOVING DEAD VEGETATION AND OTHER DEBRIS LEAVING CLEAN GRAVEL. ADD GRAVEL OVERTOP OF EXISTING ROAD BASE WHERE NECESSARY.
  - GRAPE VINE LANE HAS A VARYING WIDTH AS SHOWN ON THE PLAN.



## DRIVEWAY IMPROVEMENT PLAN 4

SCALE 1" = 30'



## DRIVEWAY IMPROVEMENT PROFILE 4

SCALE 1" = 30'

REV #	DESCRIPTION	DATE
1	7-7-16 COUNTY COMMENTS	11/2/15
2	1-7-16 COUNTY COMMENTS	5/26/16
3	7-1-16 COUNTY COMMENTS	9/22/16
4	10-27-16 COUNTY COMMENTS	04/12/17

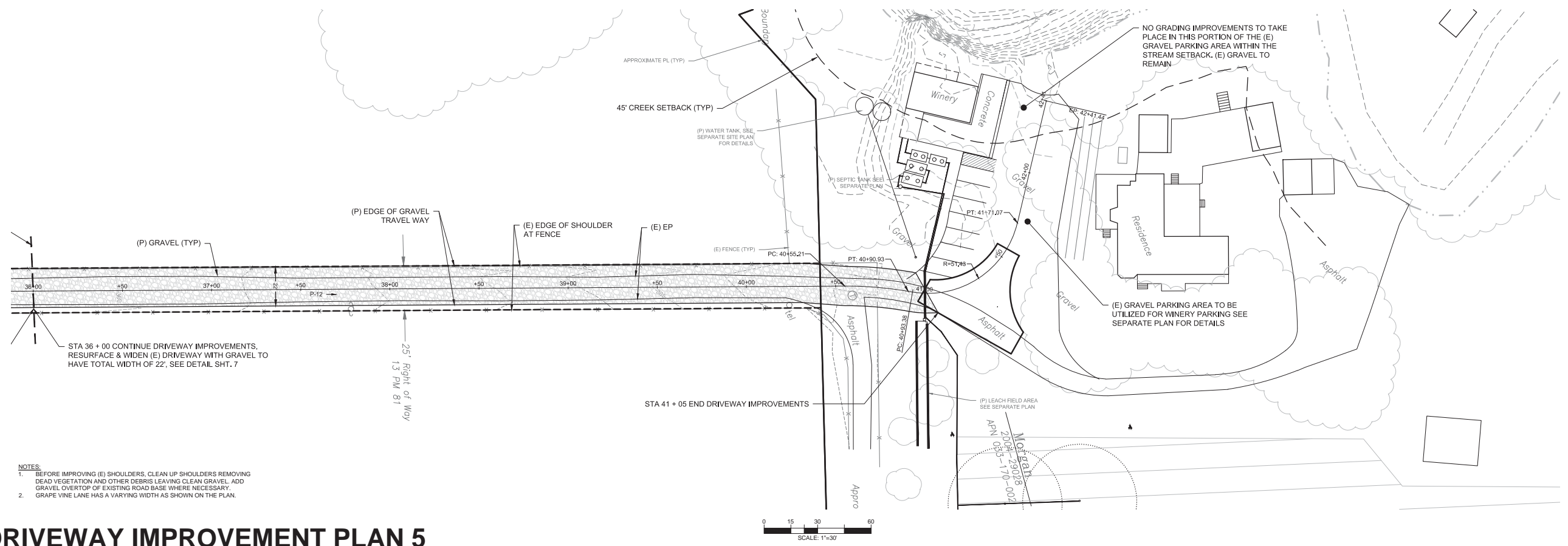
PROJECT INFO:  
**SHED CREEK WINERY**  
 80 GRAPEVINE LANE  
 NAPA, CA 94558  
 APN: 033-170-002

SHEET NAME:  
**DRIVEWAY IMPROVEMENT PLAN 4**

SHEET:  
**R5**



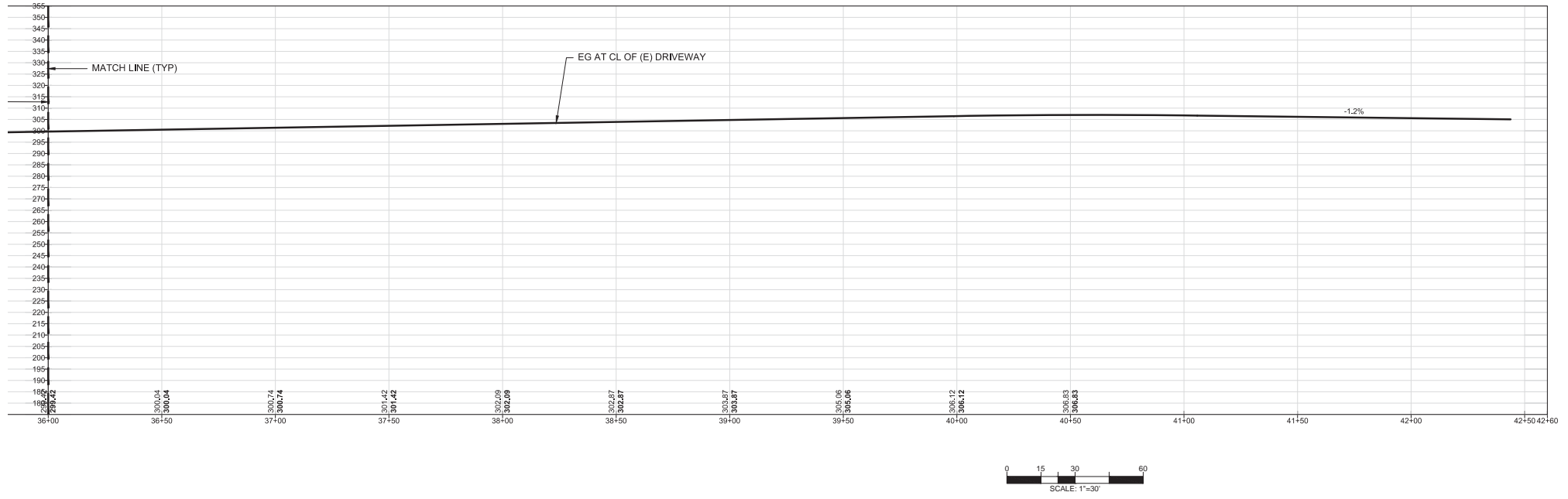
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 PROJECT #: 00066 DATE: 05/28/15



- NOTES:
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  - GRAPE VINE LANE HAS A VARYING WIDTH AS SHOWN ON THE PLAN.

## DRIVEWAY IMPROVEMENT PLAN 5

SCALE 1" = 30'



## DRIVEWAY IMPROVEMENT PROFILE 5

SCALE 1" = 30'

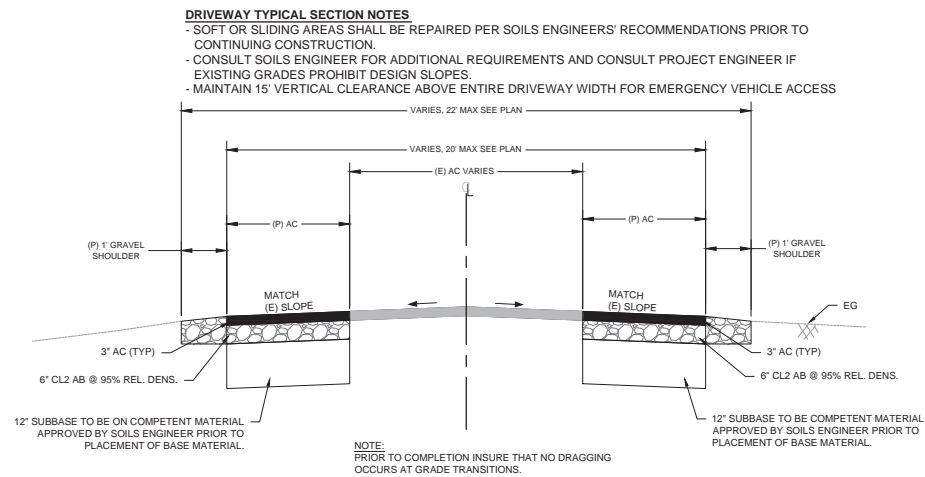
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2	1-7-16 COUNTY COMMENTS	5/26/16
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**SHED CREEK WINERY**  
 80 GRAPEVINE LANE  
 NAPA, CA 94558  
 APN: 033-170-002

SHEET NAME:  
**DRIVEWAY IMPROVEMENT PLAN 5**

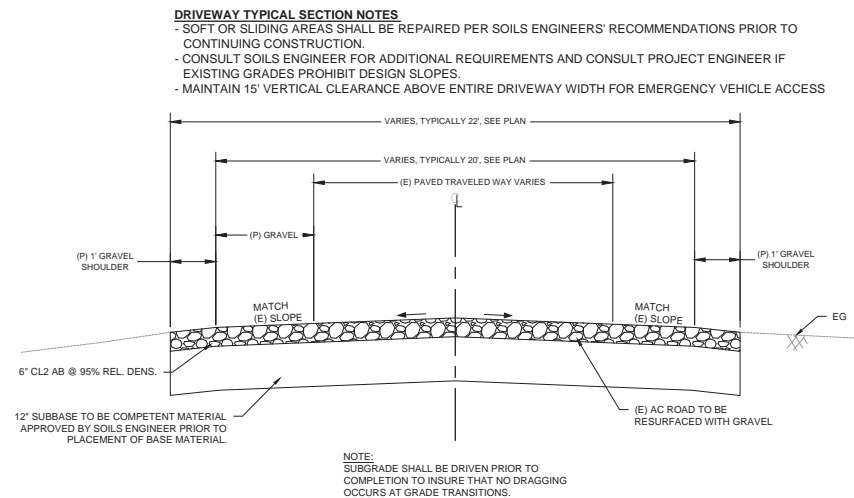
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**R6**





## TYPICAL AC DRIVEWAY IMPROVEMENTS SECTION

N.T.S.



## TYPICAL GRAVEL DRIVEWAY IMPROVEMENTS SECTION

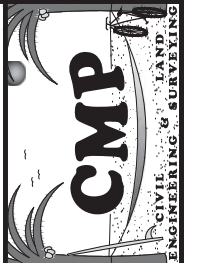
N.T.S.

### GENERAL NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES, PRIOR TO STARTING CONSTRUCTION. THESE PLANS ARE BASED UPON THE BEST INFORMATION AVAILABLE, BUT CAN ONLY BE TAKEN AS APPROXIMATE.
- ANY UTILITIES THAT MAY HAVE TO BE RELOCATED SHALL BE DONE AT THE OWNERS EXPENSE.
- PRIOR TO EXCAVATING NEAR ANY P.G. & E., PAC BELL, CITY, COUNTY, OR PRIVATE FACILITIES IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT U.S.A. AT LEAST 2 WORKING DAYS IN ADVANCE AT (800) 642-2444.
- DAMAGE TO ANY AND ALL UTILITIES BY CONTRACTOR WILL BE REPLACED IN KIND AT OWNERS EXPENSE, AS WELL AS ANY EXISTING PRIVATE OR PUBLIC IMPROVEMENTS OR NATURAL LANDSCAPES SPECIFICALLY DESIGNATED BY OWNER.
- CONTRACTOR WILL MAINTAIN SAFE CONDITIONS IN THE CONSTRUCTION AREA FOR WORKMEN AND TRAVELING PUBLIC.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL SECURE CONSTRUCTION PERMITS FROM THE NAPA COUNTY PUBLIC WORKS DEPARTMENT, THE NAPA COUNTY CONSERVATION, DEVELOPMENT AND PLANNING DEPARTMENT, AND ANY OTHER JURISDICTIONAL AGENCY AS REQUIRED. OWNER SHALL PAY FOR ALL FEES INCLUDING INSPECTION FEES THEREFORE.
- ALL STATIONS (ON PLAN) ARE TAKEN ALONG CENTERLINE UNLESS OTHERWISE NOTED ON PLAN AND SHOW MEASUREMENTS IN A HORIZONTAL PLANE.
- ALL GRADING, SITE PREPARATION, PLACING AND COMPACTING OF FILL SHALL BE DONE ACCORDING TO THESE PLANS, AND NAPA COUNTY REQUIREMENTS.
- SLOPE PLANTING SHALL BE SPECIFIED BY THE BY OTHER AND IS NOT A PART OF THESE PLANS.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR MORE GENTLE, UNLESS OTHERWISE NOTED
- ALL ABANDONED UNDERGROUND PIPELINES EXPOSED DURING GRADING SHALL BE REMOVED OR ADEQUATELY PLUGGED.
- ROUND CUT AND FILL SLOPES TO BLEND IN WITH THE NATURAL GROUND CONTOURS.
- EROSION CONTROL MEASURES SHALL BE EMPLOYED DURING THE RAINY SEASON AS REQUIRED AND AS SHOWN ON THE APPROVED STORMWATER QUALITY MANAGEMENT PLANS. A PRE-GRADING MEETING MAY BE SCHEDULED AT THE CONTRACTORS REQUEST AT THE SITE 48 (FORTY-EIGHT) HOURS PRIOR TO THE START OF GRADING. THE FOLLOWING PEOPLE SHOULD BE PRESENT: OWNER, GRADING CONTRACTORS, ENGINEER, AND THE COUNTY REPRESENTATIVE.
- CHANGES TO THIS PLAN DUE TO FIELD CONDITIONS WILL BE MADE ONLY WITH THE APPROVAL OF THE ENGINEER AND THE NAPA COUNTY CONSERVATION, DEVELOPMENT AND PLANNING DEPARTMENT.
- ADJACENT PROPERTIES SHALL BE PROTECTED FROM STORM WATERS, MUD, SILT, ETC.
- THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THE PLAN IN THE FIELD SUBJECT TO THE APPROVAL OF THE ENGINEER AND THE GOVERNING COUNTY AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLACEMENT OF ALL FILLS ACCORDING TO THE PLAN, AND THE PREPARATION OF GROUND TO RECEIVE FILLS, TESTING FOR REQUIRED COMPACTION, STABILITY OF ALL FINISH SLOPES, SOIL EROSION, AND REQUIRED CUT SLOPE SURFACES.

### MAINTENANCE & LIMITATIONS

- THE IMPROVEMENTS SHOWN ON THIS PLAN MUST BE MAINTAINED PROPERLY IN ORDER FOR THEM TO FUNCTION PROPERLY. SUCH MAINTENANCE INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING: MAINTAIN ALL BMP'S TO AVOID EXCESS EROSION, MAINTAIN VEGETATIVE COVERAGE ON ALL DISTURBED AREAS, KEEP ALL STORM DRAIN STRUCTURES FREE OF DEBRIS & SEDIMENT.
- THE EFFECTS OF NORMAL EROSION SUCH AS THOSE DUE TO ENVIRONMENTAL, WEATHER, AND GEOLOGIC CONDITIONS, WILL CONTINUE TO EXIST THROUGHOUT THE PROJECT SITE. THE STABILITY OF EARTH SLOPES AND METHODS OF CONTROLLING THE EFFECTS OF NORMAL EROSION ARE NOT A PART OF THIS PLAN. CONSULT A SOILS ENGINEER FOR THE STABILITY OF EARTH SLOPES AND THE EFFECTS OF NORMAL EROSION.
- UPON COMPLETION OF ALL PROPOSED IMPROVEMENTS AND EROSION CONTROL MEASURES THE OWNER SHOULD PROVIDE FOR A DETAILED INSPECTION BY THE ENGINEER. THE INSPECTION SHOULD BE PERFORMED BOTH PRIOR TO AND DURING THE FIRST RAIN, TO CHECK THE FUNCTIONALITY OF ALL THE PROPOSED MEASURES & IMPROVEMENTS. IT MAY BE NECESSARY TO MAKE SOME MODIFICATIONS AND/OR REPAIRS TO THESE IMPROVEMENTS IN ORDER TO MAINTAIN A PROPER AND EFFICIENT WORKING SYSTEM.
- THE PROPERTY OWNER, AND ANY SUBSEQUENT OWNER MUST CLEARLY UNDERSTAND THAT THEY HAVE CHOSEN TO BUILD ON A PROPERTY WITH A REMOTE AND LENGTHY DRIVEWAY FOR ACCESS. THE OWNER NEEDS TO VIGILANTLY REPAIR THE EROSION AND ADVERSE EFFECTS OF HEAVY RAINFALL TO THE PROJECT SITE AND THE IMPROVEMENTS SHOWN ON THESE PROJECT PLANS.
- SIGNIFICANT MAINTENANCE AND UPKEEP COSTS MAY BE ASSOCIATED WITH THIS PROJECT AND SHOULD BE PLANED FOR BY THE OWNER. SEVERE STORMS CAN MOBILIZE SEDIMENTS WHICH CAN IMPAIR THE FUNCTIONALITY OF STORM DRAINAGE DEVICES. IF DRAINAGE DITCHES AND CULVERTS ARE NOT KEPT CLEAR OF SEDIMENTS, EROSION & FLOOD DAMAGE TO STRUCTURES AND DRIVEWAY IMPROVEMENTS MAY RESULT.
- THE DESIGN OF FACILITIES ON THESE PLANS ARE BASED UPON STANDARD ENGINEERING PRACTICES, AND NAPA COUNTY REQUIREMENTS. CHANGES IN TRADITIONAL WEATHER PATTERNS AND RAINFALL INTENSITIES HAVE NOT BEEN PLANNED FOR AND COULD IMPACT THE INTEGRITY OF THE DRIVEWAY AND APPURTENANCES. IT IS SUGGESTED THAT EMERGENCY MEASURES BE PLANNED FOR, AS WELL AS THE COSTS FOR GENERAL MAINTENANCE OF ALL OF THE IMPROVEMENTS SHOWN ON THESE PLANS.



PREPARED BY:  
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PROJECT #: 00066 DATE: 05/28/15

REV. #	DESCRIPTION	DATE
1	7-7-16 COUNTY COMMENTS	11/2/15
2	1-7-16 COUNTY COMMENTS	5/26/16
3	7-1-16 COUNTY COMMENTS	9/22/16
4	10-27-16 COUNTY COMMENTS	04/12/17

PROJECT INFO:  
SHED CREEK WINERY  
80 GRAPEVINE LANE  
NAPA, CA 94558  
APN: 033-170-002

SHEET NAME:  
**NOTES & DETAILS**

SHEET:

**R7**