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**Recommended Conditions of Approval
and Final Agency Approval Memos**

Shed Creek Winery Use Permit P16-00327 and
Use Permit Exception to the Conservation Regulations P17-00178
Planning Commission Hearing November 15, 2017

**PLANNING COMMISSION HEARING – NOVEMBER 15, 2017
RECOMMENDED CONDITIONS OF APPROVAL**

**SHED CREEK WINERY
USE PERMIT P14-00346
USE PERMIT EXCEPTION TO THE CONSERVATION REGULATIONS P17-00178
EXCEPTION TO THE NAPA COUNTY ROAD AND STREET STANDARDS
80 GRAPEVINE LANE, GORDON VALLEY
APN 033-170-002**

This permit encompasses and shall be limited to the project commonly known as Shed Creek Winery, located at 80 Grapevine Lane, Gordon Valley. Part I encompasses the Project Scope and general conditions pertaining to statutory and local code references, project monitoring, and the process for any future changes or activities. Part II encompasses the ongoing conditions relevant to the operation of the project. Part III encompasses the conditions relevant to construction and the prerequisites for a Final Certificate of Occupancy. It is the responsibility of the permittee to communicate the requirements of these conditions and mitigations (if any) to all designers, contractors, employees, and guests of the winery to ensure compliance is achieved.

Where conditions are not applicable or relevant to this project, they shall be noted as “Reserved” and therefore have been removed.

When modifying a legally established entitlement related to this project, these conditions are not intended to be retroactive or to have any effect on existing vested rights except where specifically indicated.

PART I

1.0 PROJECT SCOPE

The permit encompasses and shall be limited to:

- 1.1 Approval of an Exception to the Conservation Regulations to allow road improvements along Grapevine Lane within the creek setback of Gordon Valley Creek as shown on the drawings submitted with the request for an Exception to the Napa County Road and Street Standards (dated April 12, 2017);
- 1.2 Approval of an Exception to the Napa County Road and Street Standards for reduction in the minimum commercial driveway width (22 feet) in three locations along Grapevine Lane and an exception to the 22-foot minimum bridge width at the northern, existing bridge as set forth in the submitted request and associated drawings (dated April 12, 2017); and
- 1.3 Approval of a Use Permit for a 5,000 gallon per year winery to allow:
 - a. Conversion of an existing, approximately 700 square foot barn into the winery building, including approximately 250 square feet for a tasting room;

- b. Addition of approximately 100 square feet of new building, including restroom and cleaning room (to be built on existing gravel pad);
- c. Approximately 1,800 square foot covered crush pad (existing paved area around barn);
- d. Tours and tastings by appointment only with a maximum of 15 people per day;
- e. An annual marketing program of 10 events for a maximum of 30 people and one event for a maximum of 100 people;
- f. Two (2) full-time and two (2) part time employees;
- g. Hours of operation daily, Monday – Sunday, 9 am to 5 pm (production) and 10 am to 5 pm (visitation);
- h. Seven (7) parking spaces for visitors and employees;
- i. Septic systems for process waste and domestic waste; and
- j. Two approximately 6,000 gallon water storage tanks.

The winery shall be designed in substantial conformance with the submitted site plan, elevation drawings, and other submittal materials and shall comply with all requirements of the Napa County Code (the County Code). It is the responsibility of the permittee to communicate the requirements of these conditions and mitigations (if any) to all designers, contractors, employees, and guests of the winery to ensure compliance is achieved. Any expansion or change in winery use or alternative locations for fire suppression or other types of water tanks shall be approved in accordance with the County Code and may be subject to the permit modification process.

2.0 STATUTORY AND CODE SECTION REFERENCES

All references to statutes and code sections shall refer to their successor as those sections or statutes may be subsequently amended from time to time.

3.0 MONITORING COSTS

All staff costs associated with monitoring compliance with these conditions, previous permit conditions, and project revisions shall be borne by the permittee and/or property owner. Costs associated with conditions of approval and mitigation measures that require monitoring, including investigation of complaints, other than those costs related to investigation of complaints of non-compliance that are determined to be unfounded, shall be charged to the property owner or permittee. Costs shall be as established by resolution of the Board of Supervisors in accordance with the hourly consulting rate established at the time of the monitoring and shall include maintenance of a \$500 deposit for construction compliance monitoring that shall be retained until issuance of a Final Certificate of Occupancy. Violations of conditions of approval or mitigation measures caused by the permittee's contractors, employees, and/or guests are the responsibility of the permittee.

The Planning Commission may implement an audit program if compliance deficiencies are noted. If evidence of a compliance deficiency is found to exist by the Planning Commission at some time in the future, the Planning Commission may institute the program at the applicant's expense (including requiring a deposit of funds in an amount determined by the Commission) as needed until compliance assurance is achieved. The Planning Commission may also use the data, if so warranted, to commence revocation proceedings in accordance with the County Code.

PART II

4.0 OPERATIONAL CHARACTERISTICS OF THE PROJECT

Permittee shall comply with the following during operation of the winery:

4.1 GENERAL PROVISIONS

Consistent with the County Code, tours and tastings and marketing may occur at a winery only where such activities are accessory and “clearly incidental, related, and subordinate to the primary operation of the winery as a production facility.”

Tours and tastings (defined below) may include food and wine pairings, where all such food service is provided without charge except to the extent of cost recovery and is incidental to the tasting of wine. Food service may not involve menu options and meal service such that the winery functions as a café or restaurant.

Retail sales of wine shall be permitted as set forth in the County Code.

4.2 TOURS AND TASTINGS/VISITATION

Tours and tastings shall be by appointment only and shall be limited to the following:

- a. Frequency: 7 days per week, Monday through Sunday
- b. Maximum number of persons per day: 15
- c. Maximum number of persons per week: 105
- d. Hours of visitation: 10:00 a.m. to 5:00 p.m.

“Tours and tastings” means tours of the winery and/or tastings of wine, where such tours and tastings are limited to persons who have made unsolicited prior appointments for tours or tastings. To the maximum extent feasible, scheduling of visitors shall not occur during peak travel times (7:00 a.m. to 9:00 a.m. and 4:00 p.m. to 6:00 p.m. on weekdays and 3:00 p.m. to 6:00 p.m. for Gordon Valley Road).

A log book (or similar record) shall be maintained to document the number of visitors to the winery (for either tours and tastings or marketing events), and the dates of the visits. This record of visitors shall be made available to the Planning, Building and Environmental Services (PBES) Department upon request.

4.3 MARKETING

Marketing events shall be limited to the following:

- a. Small marketing event
 1. Frequency: 10 times per year
 2. Maximum number of persons: 30
 3. Time of Day: 11:00 am to 10:00 pm

- b. Large marketing event
 - 1. Frequency: 1 time per year
 - 2. Maximum number of persons: 100
 - 3. Time of Day: 11:00 am to 10:00 pm

"Marketing of wine" means any activity of a winery which is conducted at the winery on a prearranged basis for the education and development of customers and potential customers with respect to wine which can be sold at the winery on a retail basis pursuant to the County Code. Marketing of wine may include cultural and social events directly related to the education and development of customers and potential customers provided such events are clearly incidental, related and subordinate to the primary use of the winery. Marketing of wine may include food service, including food and wine pairings, where all such food service is provided without charge except to the extent of cost recovery.

Business events are similar to cultural and social events, in that they will only be considered as "marketing of wine" if they are directly related to the education and development of customers and potential customers of the winery and are part of a marketing plan approved as part of the winery's Use Permit. To be considered directly related to the education and development of customers or potential customers of the winery, business events must be conducted at no charge except to the extent of cost recovery, and any business content unrelated to wine must be limited.

Careful consideration shall be given to the intent of the event, the proportion of the business event's non-wine-related content, and the intensity of the overall marketing plan (County Code).

All marketing event activity, excluding quiet clean-up, shall cease by 10:00 p.m. If any event is held which will exceed the available on-site parking, the permittee shall prepare an event-specific parking plan which may include, but not be limited to, valet service or off-site parking and shuttle service to the winery.

Auction Napa Valley (ANV) events need not be included in a participating winery's marketing plan because they are covered by ANV's Category 5 Temporary Permit. The winery may utilize any ANV event authorized in this permit for another charitable event of similar size.

4.4 ON-PREMISES CONSUMPTION **[RESERVED]**

4.5 RESIDENCE OR NON-WINERY STRUCTURES

Unless specifically authorized by this permit or a previously approved permit, the existing residence, second unit, and other residential or agricultural accessory buildings shall not be used for commercial purposes or in conjunction with the operation and/or visitation/marketing program for the winery. If the residence is rented, it shall only be rented for periods of 30 days or more, pursuant to the County Code.

4.6 GRAPE SOURCE

At least 75% of the grapes used to make the winery's still wine or the still wine used by the winery to make sparkling wine shall be grown within Napa County. The permittee shall keep records of annual production documenting the source of grapes to verify that 75% of the annual production is from Napa County grapes. The report shall recognize the Agriculture Commission's format for County of origin of grapes and juice used in the Winery Production Process. The report shall be provided to the PBES Department upon request, but shall be considered proprietary information and not available to the public.

4.7 COMPLIANCE REVIEW

Permittee shall obtain and maintain all permits (use permits and modifications) and licenses from the California Department of Alcoholic Beverage Control (ABC) and United States Tax and Trade Bureau (TTB), and California Department of Food and Agriculture (CDFA) Grape Crush Inquiry data, all of which are required to produce and sell wine. In the event the required ABC and/or TTB permits and/or licenses are suspended or revoked, permittee shall cease marketing events and tours and tastings until such time as those ABC and/or TTB permits and licenses are reinstated.

Visitation log books, visitor reports, custom crush client records, and any additional documentation determined by Staff to be necessary to evaluate compliance may be requested by the County for any code compliance. The permittee (and their successors) shall be required to participate fully in the winery code compliance review process.

4.8 RENTAL/LEASING

No winery facilities, or portions thereof, including, without limitation, any kitchens, barrel storage areas, or warehousing space, shall be rented, leased, or used by entities other than persons producing and/or storing wine at the winery, such as alternating proprietors and custom producers, except as may be specifically authorized in this Permit or pursuant to the Temporary Events Ordinance (County Code Chapter 5.36).

4.9 GROUND WATER MANAGEMENT - WELLS

This condition is implemented jointly by the Public Works and PBES Departments:

The permittee shall be required (at the permittee's expense) to record well monitoring data (specifically, static water level no less than quarterly, and the volume of water no less than monthly). Such data will be provided to the County, if the PBES Director determines that substantial evidence¹ indicates that water usage at the winery is affecting, or would potentially affect, groundwater supplies or nearby wells. If data indicates the need for additional monitoring, and if the applicant is unable to secure monitoring access to neighboring wells, onsite monitoring wells may need to be established to gauge potential impacts on the groundwater resource utilized for the project. Water usage shall be minimized by use of best available control technology and best water management conservation practices.

In order to support the County's groundwater monitoring program, well monitoring data as discussed above will be provided to the County if the Director of Public Works determines that such data could be useful in supporting the County's groundwater monitoring program. The project well will be made available for inclusion in the groundwater monitoring network if the Director of Public Works determines that the well could be useful in supporting the program.

In the event that changed circumstances or significant new information provide substantial evidence¹ that the groundwater system referenced in the Use Permit would significantly affect the groundwater basin, the PBES Director shall be authorized to recommend additional reasonable conditions on the permittee, or revocation of this permit, as necessary to meet the requirements of the County Code and to protect public health, safety, and welfare.

4.10 **AMPLIFIED MUSIC**

There shall be no amplified sound system or amplified music utilized outside of approved, enclosed, winery buildings.

4.11 **TRAFFIC [RESERVED]**

4.12 **PARKING**

The location of visitor parking and truck loading zone areas shall be identified along with proposed circulation and traffic control signage (if any).

Parking shall be limited to approved parking spaces only and shall not occur along access or public roads or in other locations except during harvest activities and approved marketing events. In no case shall parking impede emergency vehicle access or public roads.

4.13 **BUILDING DIVISION – USE OR OCCUPANCY CHANGES**

Please contact the Building Division with any questions regarding the following:

In accordance with the California Building Code (CBC), no change shall be made in the use of occupancy of an existing building unless the building is made to comply with the requirements of the current CBC for a new building.

4.14 **FIRE DEPARTMENT – TEMPORARY STRUCTURES**

Please contact the Fire Department with any questions regarding the following:

The permittee and/or designee shall obtain a tent permit from the Fire Department for any temporary structures utilized for authorized marketing events allowed per COA No. 4.3 above.

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Substantial evidence is defined by case law as evidence that is of ponderable legal significance, reasonable in nature, credible and of solid value. The following constitute substantial evidence: facts, reasonable assumptions predicated on facts; and expert opinions supported by facts. Argument, speculation, unsubstantiated opinion or narrative, or clearly inaccurate or erroneous information do not constitute substantial evidence.

- 4.15 NAPA COUNTY MOSQUITO ABATEMENT PROGRAM **[RESERVED]**
- 4.16 GENERAL PROPERTY MAINTENANCE – LIGHTING, LANDSCAPING, PAINTING, OUTDOOR EQUIPMENT STORAGE, AND TRASH ENCLOSURE AREAS
- a. All lighting shall be permanently maintained in accordance with the lighting and building plans approved by the County. Lighting utilized during harvest activities is exempt from this requirement.
 - b. All landscaping and outdoor screening, storage, and utility structures shall be permanently maintained in accordance with the landscaping and building plans approved by the County. No stored items shall exceed the height of the screening. Exterior winery equipment shall be maintained so as to not create a noise disturbance or exceed noise thresholds in the County Code.
 - c. The colors used for the roof, exterior walls and built landscaping features of the winery shall be limited to earth tones that will blend the facility into the colors of the surrounding site specific vegetation. The permittee shall obtain the written approval of the Planning Division prior to any change in paint colors that differs from the approved building permit. Highly reflective surfaces are prohibited.
 - d. Designated trash enclosure areas shall be made available and properly maintained for intended use.
- 4.17 NO TEMPORARY SIGNS
Temporary off-site signage, such as “A-Frame” signs, is prohibited.
- 4.18 COMPLIANCE WITH OTHER DEPARTMENTS AND AGENCIES – OPERATIONAL CONDITIONS
The attached project conditions of approval include all of the following County Divisions, Departments and Agencies’ requirements. Without limiting the force of those other requirements which may be applicable, the following are incorporated by reference as enumerated herein:
- a. Engineering Services Division operational conditions as stated in their approval Memorandum dated October 25, 2017, and their Evaluation of the Road and Street Standards Exception Request Memorandum dated October 25, 2017.
 - b. Environmental Health Division operational conditions as stated in their Memorandum dated November 3, 2017.
 - c. Department of Public Works operational conditions as stated in their Memorandum dated October 5, 2017.
 - d. Fire Department operational conditions as stated in their Inter-Office Memo dated October 20, 2017.

The determination as to whether or not the permittee has substantially complied with the requirements of other County Divisions, Departments and Agencies shall be determined by those County Divisions, Departments or Agencies. The inability to substantially comply with the requirements of other County Divisions, Departments and Agencies may result in the need to modify this permit.

4.19 OPERATIONAL MITIGATION MEASURES **[RESERVED]**

4.20 OTHER CONDITIONS APPLICABLE TO THE OPERATIONAL ASPECTS OF THE PROJECT

- a. To the maximum extent feasible, scheduling of reoccurring vehicle trips to and from the site for employees and deliveries shall not occur during peak travel times (7:00 a.m. to 9:00 a.m. and 4:00 p.m. to 6:00 p.m. on weekdays and 3:00 p.m. to 6:00 p.m. for Gordon Valley Road).

4.21 PREVIOUS CONDITIONS **[RESERVED]**

PART III

5.0 PREREQUISITE FOR ISSUANCE OF PERMITS

5.1 PAYMENT OF FEES

No building, grading or sewage disposal permits shall be issued or other permits authorized until all accrued planning permit processing fees have been paid in full. This includes all fees associated with plan check and building inspections, associated development impact fees established by County Ordinance or Resolution, and the Napa County Affordable Housing Mitigation Fee in accordance with County Code.

6.0 GRADING/DEMOLITION/ENVIRONMENTAL/BUILDING PERMIT/OTHER PERMIT PREREQUISITES

Permittee shall comply with the following with the submittal of a grading, demolition, environmental, building and/or other applicable permit applications.

6.1 COMPLIANCE WITH OTHER DEPARTMENTS AND AGENCIES – PLAN REVIEW, CONSTRUCTION AND PREOCCUPANCY CONDITIONS

The attached project conditions of approval include all of the following County Divisions, Departments and Agencies' requirements. The permittee shall comply with all applicable building codes, zoning standards, and requirements of County Divisions, Departments and Agencies at the time of submittal and may be subject to change. Without limiting the force of those other requirements which may be applicable, the following are incorporated by reference as enumerated herein:

- a. Engineering Services Division plan review/construction/preoccupancy conditions as stated in their approval Memorandum dated October 25,

2017, and their Evaluation of the Road and Street Standards Exception Request Memorandum dated October 25, 2017.

- b. Environmental Health Division plan review/construction/ preoccupancy conditions as stated in their Memorandum dated November 3, 2017.
- c. Department of Public Works conditions as stated in their Memorandum dated October 5, 2017.
- d. Fire Department conditions as stated in their Inter-Office Memo dated October 20, 2017.

The determination as to whether or not the permittee has substantially complied with the requirements of other County Divisions, Departments and Agencies shall be determined by those County Divisions, Departments or Agencies. The inability to substantially comply with the requirements of other County Divisions, Departments and Agencies may result in the need to modify the permit.

6.2 BUILDING DIVISION – GENERAL CONDITIONS

- a. A building permit shall be obtained for all construction occurring on the site not otherwise exempt by the California Building Code (CBC) or any State or local amendment adopted thereto.
- b. If there are any existing structures and/or buildings on the property that will need to be removed to accommodate construction activities, a separate demolition permit shall be required from the Building Division prior to removal. The permittee shall provide a “J” number from the Bay Area Air Quality Management District (BAAQMD) at the time the permittee applies for a demolition permit if applicable.
- c. All areas of newly designed and newly constructed buildings, facilities and on-site improvements must comply with the CBC accessibility requirements, as well as, American with Disability Act requirements when applicable. When alterations or additions are made to existing buildings or facilities, an accessible path of travel to the specific area of alteration or addition shall be provided as required per the CBC.

6.3 LIGHTING – PLAN SUBMITTAL

- a. Two (2) copies of a detailed lighting plan showing the location and specifications for all lighting fixtures to be installed on the property shall be submitted for Planning Division review and approval. All lighting shall comply with the CBC.
- b. All exterior lighting, including landscape lighting, shall be shielded and directed downward, shall be located as low to the ground as possible, shall be the minimum necessary for security, safety, or operations; on timers; and shall incorporate the use of motion detection sensors to the greatest extent practical. All lighting shall be shielded or placed such that it does not shine directly on adjacent properties or impact vehicles on

adjacent streets. No flood-lighting or sodium lighting of the building is permitted, including architectural highlighting and spotting. Low-level lighting shall be utilized in parking areas as opposed to elevated high-intensity light standards. Lighting utilized during harvest activities is exempt from this requirement.

6.4 LANDSCAPING – PLAN SUBMITTAL

- a. Two (2) copies of a detailed final landscaping and irrigation plan, including parking details, shall be submitted with the building permit application package for the Planning Division’s review and approval prior to the issuance of any building permit associated with this Use Permit. The plan shall be prepared pursuant to the County’s Water Efficient Landscape Ordinance (Chapter 18.118 of the County Code) requirements in effect at the time of building permit application submittal, as applicable, and shall indicate the names and locations of all plant materials to be used along with their method of maintenance.
- b. Plant materials shall be purchased locally when practical, and to the greatest extent possible, the plant materials shall be the same native plants found in Napa County. The Agricultural Commissioner’s office shall be notified of all impending deliveries of live plants with points of origin outside of Napa County.
- c. No trees greater than 6” diameter at breast height shall be removed, except for those identified on the submitted site plan. Any Oak trees removed as a result of the project shall be replaced at a 2:1 ratio and shown on the landscaping plans for the Planning Division’s review and approval. Trees to be retained shall be protected during construction by fencing securely installed at the outer most dripline of the tree or trees. Such fencing shall be maintained throughout the duration of the work undertaken in connection with the winery development/construction. In no case shall construction material, debris or vehicles be stored in the fenced tree protection area.
- d. Evergreen screening shall be installed between the industrial portions of the operation (e.g. tanks, crushing area, parking area, etc.) and any off-site residence from which these areas can be viewed.

6.5 COLORS

The colors used for the roof, exterior walls and built landscaping features of the winery shall be limited to earth tones that will blend the facility into the colors of the surrounding site specific vegetation. The permittee shall obtain the written approval of the Planning Division in conjunction with building permit review and/or prior to painting the building. Highly reflective surfaces are prohibited.

6.6 OUTDOOR STORAGE/SCREENING/UTILITIES

- a. Details of outdoor storage areas and structures shall be included on the building and landscape plans. All outdoor storage of winery equipment shall be screened from the view of residences of adjacent properties by a

visual barrier consisting of fencing or dense landscaping. No stored item shall exceed the height of the screening. Water and fuel tanks, and similar structures, shall be screened to the extent practical so as to not be visible from public roads and adjacent parcels.

- b. New utility lines required for this project that are visible from any designated scenic transportation route (see Community Character Element of the General Plan and the County Code) shall be placed underground or in an equivalent manner be made virtually invisible from the subject roadway.
- c. Exterior winery equipment shall be located, enclosed or muffled so as not to exceed noise thresholds in the County Code.

6.7 TRASH ENCLOSURES

Adequate area must be provided for collection and loading of garbage and recyclables generated by the project. The applicant must work with the franchised garbage hauler for the service area in which they are located, in order to determine the area and the pedestrian and vehicle access needed for the collection site. The garbage and recycling enclosure shall meet the minimum enclosure requirements established by staff and the franchised hauler, which shall be included in the building permit submittal.

6.8 ADDRESSING

All project site addresses shall be determined by the PBES Director, and be reviewed and approved by the United States Post Office. The PBES Director reserves the right to issue or re-issue an appropriate situs address at the time of issuance of any building permit to ensure proper identification and sequencing of numbers. For multi-tenant or multiple structure projects, this includes building permits for later building modifications or tenant improvements.

6.9 HISTORIC RESOURCES **[RESERVED]**

6.10 DEMOLITION ACTIVITIES **[RESERVED]**

6.11 VIEWSHED – EXECUTION OF USE RESTRICTION **[RESERVED]**

6.12 PERMIT PREREQUISITE MITIGATION MEASURES **[RESERVED]**

6.13 PARCEL CHANGE REQUIREMENTS **[RESERVED]**

6.14 FINAL MAPS **[RESERVED]**

6.15 OTHER CONDITIONS APPLICABLE TO THE PROJECT PERMITTING PROCESS

- a. Improvement plans for the roadway and access drive shall be included with the building permit submittal. The plans shall be designed in conformance with the approved Evaluation of the Road and Street

Standards Exception Request composed by the Engineering Services Division, dated October 25, 2017.

- b. Prior to building permit issuance plans for the sewage treatment system and sanitary wastewater treatment system shall be approved by the Environmental Health Division.

7.0 PROJECT CONSTRUCTION

Permittee shall comply with the following during project construction:

7.1 SITE IMPROVEMENTS

Please contact Engineering Services with any questions regarding the following.

- a. **GRADING AND SPOILS**
All grading and spoils generated by construction of the project facilities shall be managed per Engineering Services direction. Alternative locations for spoils are permitted, subject to review and approval by the PBES Director, when such alternative locations do not change the overall concept, and do not conflict with any environmental mitigation measures or conditions of approval.
- b. **DUST CONTROL**
Water and/or dust palliatives shall be applied in sufficient quantities during grading and other ground disturbing activities on-site to minimize the amount of dust produced. Outdoor construction activities shall not occur when average wind speeds exceed 20 mph.
- c. **AIR QUALITY**
During all construction activities the permittee shall comply with the most current version of BAAQMD Basic Construction Best Management Practices including but not limited to the following, as applicable:
 - 1. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. The BAAQMD's phone number shall also be visible.
 - 2. Water all exposed surfaces (e.g., parking areas, staging areas, soil piles, grading areas, and unpaved access roads) two times per day.
 - 3. Cover all haul trucks transporting soil, sand, or other loose material off-site.
 - 4. Remove all visible mud or dirt traced onto adjacent public roads by using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
 - 5. All vehicle speeds on unpaved roads shall be limited to 15 mph.
 - 6. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as

soon as possible after grading unless seeding or soil binders are used.

7. Idling times shall be minimized either by shutting off equipment when not in use or reducing the maximum idling time to five (5) minutes (as required by State Regulations). Clear signage shall be provided for construction workers at all access points.
8. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator. Any portable engines greater than 50 horsepower or associated equipment operated within the BAAQMD's jurisdiction shall have either a California Air Resources Board (ARB) registration Portable Equipment Registration Program (PERP) or a BAAQMD permit. For general information regarding the certified visible emissions evaluator or the registration program, visit the ARB FAQ http://www.arb.ca.gov/portable/perp/perpfact_04-16-15.pdf or the PERP website <http://www.arb.ca.gov/portable/portable.htm>.

d. **STORM WATER CONTROL**

The permittee shall comply with all construction and post-construction storm water pollution prevention protocols as required by the County Engineering Services Division, and the California Regional Water Quality Control Board.

7.2 **ARCHEOLOGICAL FINDING**

In the event that archeological artifacts or human remains are discovered during construction, work shall cease in a 50-foot radius surrounding the area of discovery. The permittee shall contact the PBES Department for further guidance, which will likely include the requirement for the permittee to hire a qualified professional to analyze the artifacts encountered and to determine if additional measures are required.

If human remains are encountered during project development, all work in the vicinity must be halted, and the Napa County Coroner informed, so that the Coroner can determine if an investigation of the cause of death is required, and if the remains are of Native American origin. If the remains are of Native American origin, the permittee shall comply with the requirements of Public Resources Code Section 5097.98.

7.3 **CONSTRUCTION NOISE**

Construction noise shall be minimized to the greatest extent practical and feasible under State and local safety laws, consistent with construction noise levels permitted by the General Plan Community Character Element and the County Noise Ordinance. Construction equipment muffling and hours of operation shall be in compliance with the County Code. Equipment shall be shut down when not in use. Construction equipment shall normally be staged, loaded, and unloaded on the project site, if at all practicable. If project terrain or access

road conditions require construction equipment to be staged, loaded, or unloaded off the project site (such as on a neighboring road or at the base of a hill), such activities shall only occur daily between the hours of 8 am to 5 pm.

7.4 CONSTRUCTION MITIGATION MEASURES

The permittee shall comply with the following construction mitigation measures identified in the adopted Initial Study/Mitigated Negative Declaration and Project Revision Statement/Mitigation Monitoring and Reporting Program prepared for the project,

- a. MM CUL-1: In order to prevent potential impacts to cultural resources, the permittee shall have an archaeological monitor on site during all earth disturbing activities. Prior to commencement of project improvements on the Shed Creek Winery parcel or road improvements to Grapevine Lane, the permittee shall coordinate with a qualified archaeological monitor. If cultural resources are identified, construction shall cease until the Native American Heritage Commission is contacted and representatives of the California Native American tribes that are traditionally and culturally affiliated with the project area (pursuant to Public Resources Code Section 21080.3.1) are offered the opportunity to participate in the monitoring.

Pre-construction coordination shall, at a minimum, include the following:

- a. Submittal of copies of grading plans to the archaeological monitor, concurrently with submittal of the grading permit application to the Napa County Planning, Building & Environmental Services (PBES) Department;
- b. Execution of a Standard Monitoring Agreement with the archaeological monitor;
- c. Training of construction field crews, by an archaeological monitor, of the potential for presence of Native American resources on the property, the potential types of resources that could be found on-site, and the procedures to follow in the event of discovery of such resources; and
- d. Presence of an archaeological monitor on-site during survey/markings and initial rough grading of improvements (road improvements, installation of water storage tanks, and septic system installation).

Method of Monitoring: Concurrently with submittal of the grading application for Shed Creek Winery parcel and road improvements to the Engineering and Building staff of PBES, the permittee shall submit confirmation of submittal of the grading plans to the archaeological monitor previously identified. If the permittee neglects to submit such confirmation to PBES, then Planning staff of PBES will convey a copy of the plans to the archaeological monitor upon receipt of the grading permit application.

Prior to issuance of the grading permit, the permittee shall submit to Planning staff of PBES confirmation of pre-construction training of construction field

crews about potential presence of archaeological or cultural resources on the project site and the correct procedures to follow in the event of discovery of such resources. Confirmation shall be in the form of a written letter or certification from the archaeological monitor conducting the training.

No fewer than 10 days prior to commencement of grading, the permittee shall concurrently contact the archaeological monitor and Planning staff of PBES in writing, receipt confirmed, to advise of the start date of project grading and to invite the archaeological monitor and staff member to be present during survey of and initial rough grading of the site improvements.

Responsible Agency(ies): Planning Division

7.5 OTHER CONSTRUCTION CONDITIONS APPLICABLE TO THE PROJECT PROPOSAL

- a. The Permittee shall implement the following measures to prevent the inadvertent encroachment onto creek banks and associated riparian features during construction:
 1. Vegetation removal and earthmoving activities occurring within required creek setbacks shall be confined to the limits of work identified on the plans April 12, 2017. The limits and extent of work and improvements occurring within the required creek shall be clearly demarcated in the field with temporary construction fencing, which shall be placed at the outermost edge of the limits of work. The temporary fencing shall be installed prior to any earthmoving and/or development activities; the precise locations of said fences shall be inspected and approved by the Planning Division. No disturbance, including grading, placement of fill material, storage of equipment, etc. shall occur outside the fenced areas for the duration of the project construction and site improvements.
- b. The Permittee has not proposed any tree removal or work on the creek banks. If during project construction, tree or vegetation removal or planting is determined to be necessary, the Permittee shall comply with the following:
 1. Any earthmoving, vegetation removal, or vegetation planting occurring within required creek setbacks, that is outside of the limits and extent of work and improvements identified on the plans dated April 12, 2017, shall be done under a restoration plan prepared by a qualified biologist, restoration ecologist, or other qualified professional: the restoration plan shall be submitted to the Planning, Building and Environmental Services Department Director for review and authorization prior to the commencement of restoration. The restoration Plan shall include the same species of native plants found on-site and shall include an implementation and monitoring schedule, planting notes and details, a

management plan, and performance standards that ensure the success of restoration efforts at a rate of least 80%, and include compliance report(s) provided as necessary to Napa County to confirm compliance with the restoration Plan.

2. In accordance with County Code Section 18.108.100 (Erosion hazard areas – Vegetation preservation and replacement) trees that are inadvertently removed that are not identified for removal shall be replaced on-site with fifteen-gallon trees at a ratio of 2:1 at locations approved by the planning director.

c. In conjunction with Condition of Approval Number 7.2, if information or evidence of archeological artifacts or human remains is found, the permittee shall contact the Middletown Rancheria Tribal Historic Preservation Department for consultation.

8.0 TEMPORARY CERTIFICATE OF OCCUPANCY - PREREQUISITES

A Temporary Certificate of Occupancy (TCO) may be granted pursuant to the County Code to allow the commencement of production activities prior to completion of all project improvements. Permittee shall comply with the following before a TCO is granted:

8.1 TEMPORARY OCCUPANCY

All life and safety conditions shall be addressed prior to issuance of a TCO by the County Building Official. TCOs shall not be used for the occupancy of hospitality buildings and shall not exceed the maximum time allowed by the County Code which is 180 days. Departments and/or agencies with jurisdiction over the project are authorized as part of the TCO process to require a security deposit or other financial instrument to guarantee completion of unfinished improvements.

9.0 FINAL CERTIFICATE OF OCCUPANCY – PREREQUISITES

Permittee shall comply with the following before a Final Certificate of Occupancy is granted by the County Building Official, which upon granting, authorizes all use permit activities to commence.

9.1 FINAL OCCUPANCY

All project improvements, including compliance with applicable codes, conditions, and requirements of all Departments and Agencies with jurisdiction over the project, shall be completed.

9.2 SIGNS

Detailed plans, including elevations, materials, color, and lighting for any winery identification or directional signs shall be submitted to the Department for administrative review and approval prior to installation. Administrative review and approval is not required if signage to be installed is consistent with signage plans submitted, reviewed and approved as part of this permit approval. All signs shall meet the design standards as set forth in the County Code. At least one legible sign shall be placed at the property entrance with the words “Tours and

Tasting by Prior Appointment Only” to inform the public of same. Any off-site signs allowed shall be in conformance with the County Code.

9.3 GATES/ENTRY STRUCTURES

Any gate installed at the winery entrance shall be reviewed by the PBES Department and the Fire Department to assure that the design allows large vehicles, such as motorhomes, to turn around if the gate is closed without backing into the public roadway, and that fire suppression access is available at all times. If the gate is part of an entry structure an additional permit shall be required pursuant to the County Code and in accordance with the Napa County Roads and Street Standards. A separate entry structure permit is not required if the entry structure is consistent with entry structure plans submitted, reviewed, and approved as part of this permit approval.

9.4 LANDSCAPING

Landscaping shall be installed in accordance with the approved landscaping plan.

9.5 ROAD OR TRAFFIC IMPROVEMENT REQUIREMENTS **[RESERVED]**

9.6 DEMOLITION ACTIVITIES **[RESERVED]**

9.7 GRADING SPOILS

All spoils shall be removed in accordance with the approved grading permit and/or building permit.

9.8 MITIGATION MEASURES APPLICABLE PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY **[RESERVED]**

9.9 OTHER CONDITIONS APPLICABLE PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY

- a. Prior to commencement of winery production or visitation operations the applicant shall submit evidence to the Planning Division that all site improvements required by County Divisions and the mitigation measure included in these conditions are complete. Site improvements including, but not limited to: road and driveway improvements; parking spaces; wastewater systems; building modification; and construction of the restroom.



A Tradition of Stewardship
A Commitment to Service

Planning, Building & Environmental Services

1195 Third Street, Suite 210
Napa, CA 94559
www.countyofnapa.org

David Morrison
Director

MEMORANDUM

To: Emily Hedge, Planning	From: Jeannette Doss, Engineering <i>JD</i>
Date: October 25, 2017	Re: Shed Creek Winery Use Permit – Engineering CoA 80 Grapevine Lane, Napa, CA P14-00346 APN: 033-170-002-000

The Engineering Division has reviewed the use permit application P14-00346 for the Shed Creek Winery located on assessor’s parcel number 033-170-002-000. In general the project proposes the following:

To establish a new winery with an annual production capacity of 5,000 gallons per year within an existing sixty to seventy year old barn. The application also proposes a visitation and marketing plan.

Based upon the information provided in the application, Engineering finds the application **complete** and recommends the following conditions of approval:

EXISTING CONDITIONS

1. Napa County parcel 033-170-002-000 is approximately 287.37 acres.
2. Existing access is taken from Gordon Valley Road via private shared road (Grapevine Lane).
3. Site is currently developed with a residence.
4. Gordon Valley Creek, a major USGS blue line stream is situated to the east of the winery and residence.
5. The barn is located within a Federal Emergency Management Agency (FEMA) regulated SFHA associated with the Gordon Valley Creek floodplain. The Base Flood Elevation (BFE), the elevation of the flood having 1-percent-chance of being equaled or exceeded in any given year, at the most upstream point of the project is approximately 301.3 feet (NAVD 88) according to the flood study provided by the project engineer. North American Vertical Datum of 1988 (NAVD88). The Design Flood Elevation (DFE) for the structure, the elevation to which FEMA-compliant structures must be floodproofed and/or have finished floor elevations raised to is 302.3 feet NAVD88.

6. The existing former barn pre-dates the adoption of the Flood Insurance Rate Map (pre-FIRM). The surveyed finished floor elevation of the structure is 306.4 feet NAVD88.

RECOMMENDED APPROVAL CONDITIONS:

OPERATIONAL CHARACTERISTICS

1. No person shall deposit or remove any material, excavate, construct, install, alter or remove any structure within, upon or across a Special Flood Hazard Area, nor otherwise alter the hydraulic characteristics of a Special Flood Hazard Area **without first obtaining a floodplain permit** pursuant to Chapter 16.04 of the Napa County Code and in conformance with county Code and 44 CFR Section 60.3.
2. All roadway, access drive, and parking area improvements shall be completed **prior to execution** of any new entitlements approved under this Use Permit Modification.

PREREQUISITES FOR ISSUANCE OF PERMITS

3. All on site civil improvements including but not limited to the excavation, fill, general grading, drainage, curb, gutter, surface drainage, storm drainage, parking and drive isles, shall be constructed according to plans prepared by a registered civil engineer, which will be reviewed and approved by the Engineering Division of the Napa County Planning, Building, and Environmental Services Department (PBES) **prior to the commencement** of any on site land preparation or construction. Plans shall be wet signed and submitted with the building and/or grading permit documents at the time of permit application. A plan check fee will apply.
 4. Applicant shall submit a grading permit application and associated plans for any work proposed that disturbs greater than one acre.
 5. Grading and drainage improvements shall be constructed according to the current Napa County Road and Street Standards, Chapter 16.28 of the Napa County Code, and Appendix J of the California Building Code.
 6. The applicant must obtain an encroachment permit from the Napa County Department of Public Works prior to any work performed within the Napa County Right-of-Way.
 7. If excess material is generated that cannot be used onsite, the Owner shall furnish to the Napa County Planning, Building and Environmental Services Department evidence that the Owner has entered into agreements with the property owners of the site involved and has obtained the permits, licenses and clearances **prior to commencing any off-hauling operations**.
-

8. **Prior to issuance of a development permit** (i.e. building permit and/or grading permit) the owner shall submit the necessary documents for Erosion Control as determined by the area of disturbance of the proposed development in accordance with the Napa Countywide Stormwater Pollution Prevention program Erosion and Sediment Control Plan Guidance for Applicant and Review Staff dated December 2014.
9. **Prior to issuance of a development permit** (i.e. building permit and/or grading permit) the owner shall prepare a Regulated Project Stormwater Control Plan (SCP) in accordance with the latest edition of the BASMAA Post-Construction Manual for review and approval by the Engineering Division in PBES.
10. **Prior to issuance of a development permit** (i.e. building permit and/or grading permit) the owner shall demonstrate on the plans that all roadway construction associated with this application shall conform to the Road Exception Evaluation composed by this Division, dated October 25, 2017, enclosed herein, and per the accepted construction and inspection practices defined in Federal, State and Local codes.
11. All roadways, access driveways, and parking areas proposed new or reconstructed, and not included in the above mentioned Road Exception Evaluation shall be shown on the improvement plans and shall be improved to meet the requirements as outlined in the latest edition of the Napa County Road & Street Standards for Commercial development at the time of approval of this application (P14-00346).
12. **Prior to the issuance of any grading or building permit, or the signing of improvement plans**, the permittee and County shall survey and document the condition of the nearest County roads before construction begins, and then reevaluate conditions at the end of construction. Prior to occupancy of any buildings or commencement of any use, the permittee shall be responsible for repair of any pavement degraded due to its construction vehicles.
13. Any necessary storm drainage improvements shall conform to the latest “Napa County Road and Street Standards” at the time of use permit approval.
14. **Prior to issuance of a building, grading permit, or floodplain management permit** the owner shall submit a complete application for a floodplain management permit for work within a Special Flood Hazard Area (SFHA).

PREREQUISITES FOR TEMPORARY CERTIFICATE OF OCCUPANCY

15. All roadway, access drive, and parking area improvements shall be completed **prior to** issuance of temporary occupancy of any new and/or remodeled structures.

-
16. A Completed Elevation certificate (FEMA Form 086-0-33) shall be submitted and approved by the Engineering Division **prior to** issuance of temporary occupancy of any new and/or remodeled structures.

**** If no temporary occupancy is requested, then the above become requirements prior to final occupancy.**

PREREQUISITES FOR FINAL CERTIFICATION OF OCCUPANCY

17. A registered Civil Engineer shall submit to PBES, Engineering Division written certification of completion of all on site civil improvements in accordance with the approved building and/or grading plans prior to requesting final inspection of the building and/or grading permit. Certification shall include line grade, surface drainage, elevation, and location of permitted grading on the lot.
18. Operations and Maintenance Agreement for post construction Stormwater facilities must be legally recorded.
19. Site shall be completely stabilized to the satisfaction of the County Engineer prior to Final Occupancy.

Any changes in use may necessitate additional conditions for approval.

If you have any questions regarding the above items, please contact Jeannette Doss from Napa County Planning, Building, and Environmental Services Department, Engineering and Conservation Division, at (707) 259-8179 or by email at Jeannette.Doss@countyofnapa.org



A Tradition of Stewardship
A Commitment to Service

David Morrison
Director

MEMORANDUM

To: Emily Hedge, Planning Division	From: Jeannette Doss, Engineering and Conservation Division <i>JD</i>
Date: October 25, 2017	Re: Shed Creek Winery Evaluation of Napa County Road and Street Standards Exception Request 80 Grapevine Lane, Napa, CA P14-00346 APN 033-170-002

Road Modification Request

The Engineering and Conservation Division received a request (the request) dated April 13, 2017 for an exception to the commercial driveway design criteria as outlined in the Napa County Road and Street Standards (RSS) as part of a Use Permit application for the establishment of a new winery. The new winery will be located at 80 Grapevine Lane. Access to the subject property is off of Gordon Valley Road via a private shared common road (Grapevine Lane). Grapevine Lane currently serves 3 residences and several vineyard properties and is approximately 4,100 feet in length with road widths that vary from 11 feet to 16 feet and centerline grades that vary from 1% to 9.3% from the connection with Gordon Valley Road to the project site. The nature and constraints for the road exception are to minimize environmental impacts by reducing earth disturbances on steep slopes, proximity to natural water courses, and preserving heritage trees. The details of the request are as follows:

EXCEPTION #1 ROADWAY WIDTH EXCEPTION:

To allow a decrease in the overall road width of the shared access road at the following road sections along Grapevine Lane when the RSS requirement is 22 feet minimum:

- Station 0+75 to 1+33 – A 58 linear foot section of road with width = 15.33 feet
- Station 2+40 to 9+34 – A 694 linear foot section of road with width varying from 15.2 feet to 25 feet.

At the above noted stations the road is flanked by several mature native trees and by a blue line stream (Gordon Valley Creek). To increase the road width for these sections would require grading within the creek setback, grading on steep slopes, and the removal of anywhere from 30 to 100 native oak trees that vary in diameter from 6 inches to 42 inches diameter breast height. The request is to minimize the grading within the creek setback area and on steep slopes, and to minimize tree removal. The applicant is proposing

to widen the driveway to the maximum extent feasible over portions of these areas and in some cases the widened areas will act as turnouts with varying widths of 21 feet to 25 feet. The applicant is also proposing to trim the vegetation along the curved areas of the roadway to help improve site distance, install signage warning drivers of roadway narrowing, and to implement a traffic control plan during large winery events.

EXCEPTION #2 ROADWAY STRUCTURE “BRIDGE” WIDTH EXCEPTION:

A reduction to the width of an existing bridge serving Grapevine Lane when the required width on a commercial driveway is 22 feet minimum:

- Station 7+30 to 7+47 –A 17 linear foot section of road with width = 16 feet.

At the above noted stations along Grapevine Lane the road crosses over a blue line stream and is flanked by several mature native trees of varying diameter breast height. Widening the road in this area would require extensive grading within the creek channel and the removal of several native trees. In addition to signage warning traffic of the one lane bridge in both directions, the applicant is proposing to widen the road on either side of the existing bridge to provide a minimum width of 20 feet that will provide adequate space for a passenger vehicle to utilize as turnout areas with clear line of sight.

Engineering Division Evaluation and Recommendation:

Engineering and Conservation Division staff have discussed the request noted above with Cal Fire/Napa County Fire Department and the applicant. With respect to Section (3) of the RSS as adopted by Resolution No. 2016-167 by the Board of Supervisors on November 22, 2016, this division has determined the following:

- The exception request has provided the necessary documentation as required by RSS Section 3(A). The request is in connection with a Use Permit application for a new winery, and has received the appropriate environmental review from the Planning Division, therefore the approving body shall be the Planning Commission.
 - The reduction in width at the above identified road stations will minimize earthwork on steep slopes and slopes within close proximity to a blue line stream in order to preserve the existing environmental features and are justified based upon existing topographic conditions of the site.
 - With respect to the findings for compliance with current RSS, the trees defined above of at least 6 inch diameter breast height, slopes in proximity to a natural water course, and steep slopes are consistent with the definition of unique features of the natural environment as described in RSS Section 3(D)(1). The Engineering Division along with Planning Division staff have discussed the constraints presented in the road exception request and find they meet the intent of RSS Section 3(D)(1) – preserving unique features of the natural environment.
-
- The applicant is proposing to widen the travel lane to maximum extent practical over the entire length of the shared roadway.

- With respect to the findings for compliance with current RSS Section 3(E), the Engineering and Conservation Division and Cal Fire/Napa County Fire Department have discussed the improvements proposed and determined that their implementation would serve as an alternate method by which adherence to the RSS may be achieved and would provide the same overall practical effect as the RSS towards providing defensible space, preserving the natural environment and protecting the life, safety and welfare of the public.

The Engineering Division supports the approval of the exception request as proposed with the following conditions that are in addition to any and all conditions previously placed on the project as part of the discretionary application:

1. The roadway shall be constructed and maintained to the approved condition prior to commercial use and occupancy and throughout the life of the parcel or until such time the County deems that future road design changes or changes in use of this roadway beyond the use proposed shall require re-evaluation of the roadway to comply with the requirements of adopted codes, standards and regulations and may require additional conditions.
2. Applicant shall improve the existing roadway to the maximum road width achievable to preserve the existing natural features (minimum of 15 foot travel lane and varying shoulder width).
3. Access road shall meet the road surfacing requirements as described in the RSS for the entire length of the roadway.
4. To ensure the upkeep of the paved surfaces, the private road surface shall be periodically maintained by the property owner to assure sufficient structural section for loading conditions to the imposed loads of fire apparatus weighing at least 75,000 pounds and the design Traffic Index.
5. The property owner shall also install clear address signage along the shared access road. The address signage shall be consistent with California Department of Forestry and Fire Protection requirements and shall be a minimum 4 inch letter height, .5 inch stroke, reflectorized, contrasting with the background color of the sign. The location of proposed address signs shall be shown on the building permit submittal which will be reviewed and approved by the Napa County Fire Marshal.
6. The property owner will implement a horizontal and vertical vegetation management plan consistent with California Department of Forestry and Fire Protection requirements along the entire length of the driveway to provide defensive space and improve sight distance. The vegetation management plan shall be reviewed and approved by the Napa County Fire Marshal.
7. The property owner will implement a traffic management plan for large winery events consistent with above noted request. The traffic management plan shall be reviewed and approved by the Napa County Fire Marshal prior to execution of any new entitlements approved under this Use Permit.

-
8. Any/all future road design changes or changes in use of this roadway beyond the existing use shown on the above noted request dated April 13, 2017 shall require re-evaluation of the roadway to comply with the requirements of adopted codes, standards and regulations and may require additional conditions.
-

EXHIBIT A

SHED CREEK WINERY
SUMMARY OF PROPOSED ROAD IMPROVEMENTS

EXHIBIT A

The following is a list of the proposed improvements along the entire length of the shared Grapevine Lane:

- Station 0+30 to 0+75 – widen both shoulders and resurface entire driveway with gravel to provide a 22 foot wide driveway.
- Station 0+75 to 1+33 – widen both shoulders and resurface entire driveway with gravel to provide a 15.33 foot wide driveway.
- Station 1+33 to 2+40 – widen both shoulders and resurface entire driveway with gravel to provide a 25 foot wide driveway with localized narrowing to 22 feet to preserve an existing 22" oak tree at approximate road station 2+00.
- Station 2+40 to 4+13.77 – widen both shoulders and resurface entire driveway with gravel to provide a minimum driveway width of 15.2 feet.
- Station 2+40 to 4+13.77 – install signage in this area to warn vehicles heading towards Gordon Valley road of the narrowing and to yield to oncoming traffic.
- Station 4+13.77 to 5+30 – widen both shoulders and resurface entire driveway with gravel to provide a minimum driveway width of 21.5 feet.
- Station 5+30 to 6+30 – widen both shoulders and resurface entire driveway with gravel to provide a minimum driveway width of 17.9 feet.
- Station 6+00 to 6+30 – install signage in this area to warn vehicles heading towards the winery of the one lane bridge ahead.
- Station 6+30 to 7+30 – widen both shoulders and resurface entire driveway with gravel to provide a minimum driveway width of 21.4 feet.
- Station 7+30 to 7+47 – existing 16 foot wide bridge.
- Station 7+47 to 8+40 – widen both shoulders and resurface entire driveway with AC pavement to provide a minimum driveway width of 17.4 feet.
- Station 8+40 – install signage in this area to warn vehicles heading towards Gordon Valley Road of the one lane bridge ahead.

- Station 8+40 to 9+34 – widen both shoulders and resurface entire driveway with gravel to provide a minimum driveway width of 16 feet.
 - Station 9+34 to 25+47 – widen both shoulders and resurface entire driveway with gravel to provide a minimum driveway width of 22 feet.
 - Station 25+47 to 26+73 – existing area is 22 feet wide and paved where Grapevine Lane intersects with neighbors driveway.
 - Station 26+73 to 30+40 – widen both shoulders and resurface entire driveway with gravel to provide a minimum driveway width of 22 feet.
 - Station 30+40 to 31+44 – existing area is 22 feet wide and paved where Grapevine Lane intersects with neighbors driveway.
 - Station 31+44 to 41+05 – widen both shoulders and resurface entire driveway with gravel to provide a minimum driveway width of 22 feet.
-

EXHIBIT B

SHED CREEK WINERY
PHOTOS OF GRAPEVINE LANE

EXHIBIT B



View of existing private common drive (Grapevine Lane) at approximate station 0+75 to 1+33 where the left side of the driveway is flanked by several mature trees and the right side is essentially along the top bank of Gordon Valley Creek. The entire driveway is within the creek setback. The driveway will be approximately 15.33 feet wide and the applicant will provide vegetation trimming to improve site distance around curve.



View of existing private common drive (Grapevine Lane) at approximate station 3+00 where the left side of the driveway is flanked by steep slopes and the right side is essentially along the top bank of Gordon Valley Creek. The entire driveway is within the creek setback. The driveway will be approximately 15.2 feet wide and the applicant will provide vegetation trimming to improve site distance around curve.



View of existing private common drive (Grapevine Lane) at approximate station 34+00 where the driveway will be fully improved to 22 feet wide.

EXHIBIT C

SHED CREEK WINERY
ROAD EXCEPTION REQUEST AND IMPROVEMENT PLANS



CMP Civil Engineering & Land Surveying
1607 Capell Valley Road
Napa, CA 94558
(707) 815-0988
Cameron@CMPengineering.com
CMPengineering.com



EXCEPTION REQUEST LETTER

To: Attn: Steve Lederer
Napa County Planning, Building & Environmental Services
1195 Third Street, Suite 210
Napa, CA 94558

Date: 4/13/2017

From: CMP Civil Engineering & Land Surveying
Cameron Pridmore PE, PLS
1607 Capell Valley Road
Napa, CA 94558
(707) 815-0988

Subject: Exception Request Letter associated with the Grape Vine Lane Commercial Driveway Improvements for the proposed Shed Creek Winery located at 80 Grapevine Lane, APN: 033-170-002, Job# 00121

Remarks: Thank you for taking the time to review the submitted driveway improvement plans. With this letter I am officially requesting an exception to the Napa County Road and Street Standards. According to the Standards, under section 1, "objectives: b. Strive to preserve the natural landscape and desirable aesthetic features" and "c. to encourage the location of roads to minimize disturbance or impacts on wetlands, critical native plant communities or other environmentally sensitive areas. Further the exception is required to minimize grading within the Gordon Valley Creek setback as required in the Napa Stream Setback Ordinance. The specific areas of exception and the associated reasons are listed below. Included at the end of this letter are numbered photographs which show the existing conditions of subject driveway and demonstrate the environmental constraints present.

1. An exception to the 22 foot minimum commercial driveway width from STA 0+75 to STA 1+33 and STA 2+40 TO STA 9+34. The driveway will not be widened in this area and the full 22' width cannot be achieved. The reasons for this request are as follows:
 - a. Widening the driveway in these areas to meet the 20 foot width is not environmentally feasible. The existing driveway is surrounded by large heritage oak trees. Widening the driveway would require removing these oak trees.
 - b. The existing driveway in this area is immediately adjacent to Gordon Valley Creek which is a blue line stream. Widening the driveway to the full 22' in this area would require extensive grading to take place within the creek setback. It would also require the destruction of large heritage oaks. All surface improvements in this area are to be constrained to the

- edge of the existing earthen road shoulders, with the exception of the traffic signs shown on the plan.
- c. To avoid unnecessary erosion of the creek banks which would cause damage to the streams habitat and could cause a flood hazard to downstream residents.
2. An exception to the 22 foot minimum bridge width from STA 7+30 to 7+47. The existing 18.75' wide bridge cannot be widened to the full 22' without replacing the footings. It has clear line of site and a space wide enough for two vehicle sot pass on either side of the bridge. Thus we request an exception to the bridge width for the following reasons:
 - a. Replacing the footings will require the complete removal of two large heritage oaks and damage to the root zones of several others.
 - b. Replacing the footing will require extensive grading to take place within the Gordon Valley Stream bed which could damage riparian habitat.
 - c. To avoid unnecessary erosion of the creek banks which would cause damage to the streams habitat and could cause a flood hazard to downstream residents.

The Napa County Conservation Regulations support this request and granting the exception would minimize the grading near Gordon Valley Creek and would minimize the impact to the surrounding heritage oaks. The Napa County Road and Street Standards (RSS) also supports this exception given the following RSS objectives: "To preserve the natural landscape and desirable aesthetic features while balancing the needs of property owners, to encourage the location of roads to minimize disturbance or impacts on wetlands, critical native plant communities, or other environmentally sensitive areas, to minimize alteration of streams.....". We have also proposed that a traffic control plan be utilized during large winery events in order to maintain safe passage of vehicular traffic to and from the winery while always maintaining clear passage for emergency vehicles. This traffic control plan has been included with this submittal, please review it for further details. Given the above reasons, granting this exception is the best way to balance human safety while protecting the surrounding environment. We feel the proposed improvements coupled with the traffic control plan meet the same overall practical level of safety as strictly adhering to the RSS would have. Thank you again for taking the time to review this request. Please let me know if you have any further questions or comments.

Regards,



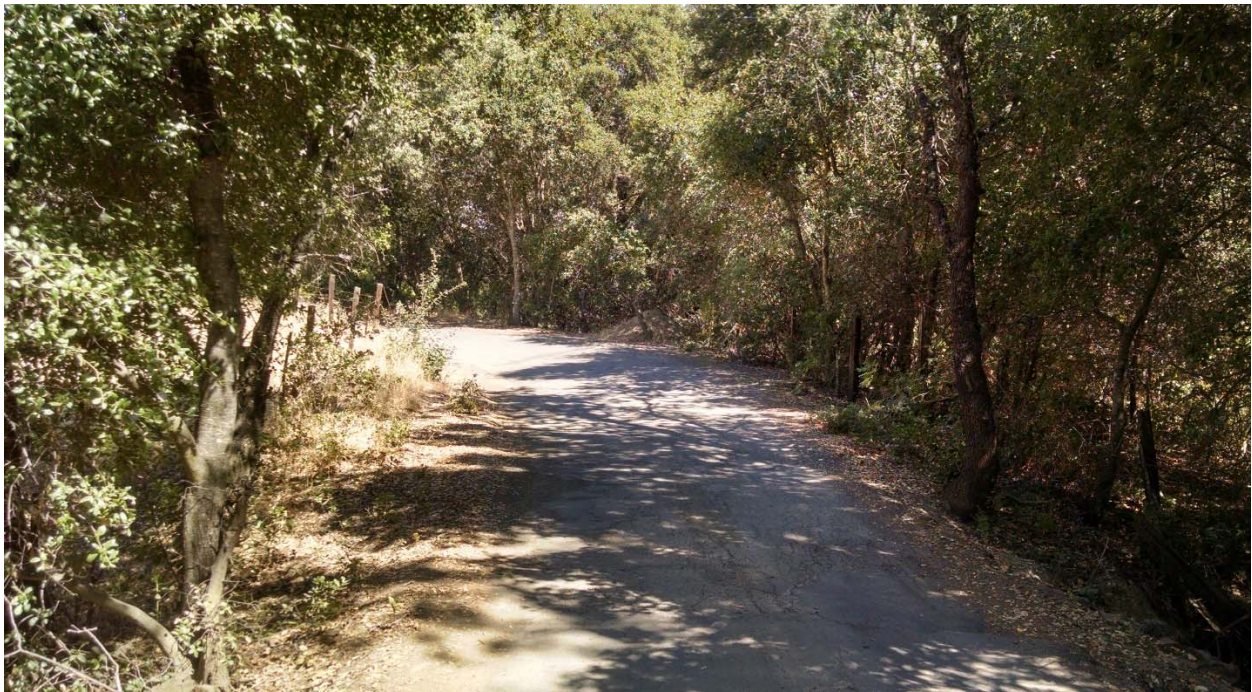
Cameron Pridmore PE, PLS

Attachment A

Driveway Photos
Taken August 15, 2016



P-1



P-2



P-3



P-4



P-5



P-6



P-7



P-8



P-9



P-10



P-11



P-12

ABBREVIATIONS

AB	AGGREGATE BASE	ETW	EDGE OF TRAVELED WAY	R	RADIUS
AC	ASPHALT CONCRETE	EVC	END VERTICAL CURVE	RCP	REINFORCED CONCRETE PIPE
ACR	ACRES	FC	FACE OF CURB	REQ	REQUIRED
AP	ANGLE POINT	FF	FINISHED FLOOR	RM	RM ELEVATION
ARV	AIR RELIEF VALVE	FG	FINISHED GRADE	RT	RIGHT
BC	BEGIN CURVE	FH	FIRE HYDRANT	ROW	RIGHT OF WAY
BGR	BEGIN CURB RETURN	FI	FLOW INLET	S	SLOPE
BM	BENCHMARK	FL	FLOW LINE	SD	STORM DRAIN
BO	BLOW-OFF VALVE	GB	GRADE BREAK	SDE	STORM DRAIN EASEMENT
BP	BEGINNING POINT	GR	GRADE ELEVATION	SDMH	STORM DRAIN MANHOLE
BVC	BEGIN VERTICAL CURVE	HP	HIGH POINT	SE	SEWAGE EASEMENT
BW	BOTTOM OF WALL	INV	INVERT ELEVATION	SF	SQUARE FEET
BOW	BACK OF WALL	IRR	IRRIGATION	SPEC	SPECIFICATIONS
CL	CENTERLINE	JT	JOINT TRENCH	SS	SANITARY SEWER
CLR	CLEAR	LAT	LATERAL	SSE	SANITARY SEWER EASEMENT
CB	CATCH BASIN	LF	LINEAL FEET	SSLAT	SANITARY SEWER LATERAL
CMP	CORRUGATED METAL PIPE	LGP	LIP OF GUTTER	SSMH	SANITARY SEWER MANHOLE
CO	CLEAN OUT	LNP	LOW POINT	STA	STATION
CONC	CONCRETE	LT	LEFT	STD	STANDARD
CP	CONTROL POINT	MAX	MAXIMUM	STLT	STREET LIGHT
CR	CURB RETURN	MH	MANHOLE	T	TANGENT
DI	DRAIN INLET	MIN	MINIMUM	(T)	TOTAL
DIP	DUCTILE IRON PIPE	NCS	NAPA COUNTY STANDARDS	TB	TREE BOX
DWY	DRIVEWAY	ORN	ORNAMENTAL TREE	TC	TOP OF CURB
(E)	EXISTING	OHW	OVERHEAD UTILITY WIRE	TEMP	TEMPORARY
EA	EACH	(P)	PROPOSED	TG	TOP OF GRATE
EC	END CURVE	PI	POINT OF INTERSECTION	TW	TOP OF WALL
EGR	EDGE OF GRAVEL	PL	PROPERTY LINE	TYP	TYPICAL
EL	ELEVATION	PSDE	PRIVATE STORM DRAIN ESMIT	UE	UNDER GROUND ELECTRICAL
EP	EDGE OF PAVEMENT	PUE	PUBLIC UTILITY EASEMENT	VC	VERTICAL CURVE
EQ	EQUAL	PVC	POLYVINYL CHLORIDE	W	WATER
ESMT	EASEMENT	PVI	VERTICAL CURVE INTERSECTION	WLAT	WATER SERVICE LATERAL
		PAV	PAVEMENT	WM	WATER METER

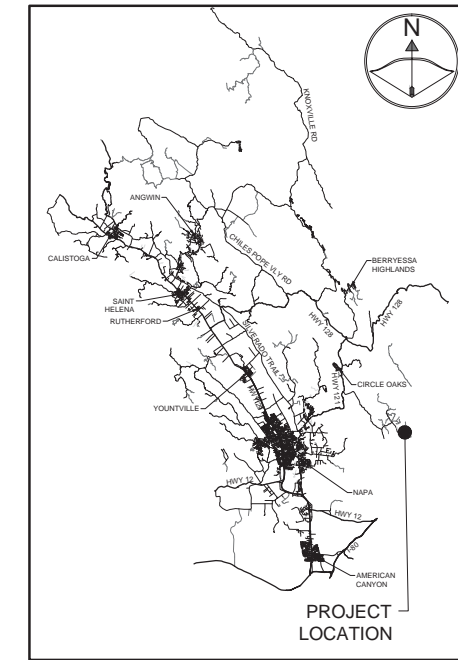
LINE LEGEND

	PROPOSED GRAVEL ROAD IMPROVEMENT
	PROPOSED AC ROAD IMPROVEMENT

GRAPE VINE LANE COMMERCIAL DRIVEWAY IMPROVEMENT PLAN

FOR THE SHED CREEK WINERY

LOCATED AT
80 GRAPEVINE LANE
NAPA, CA 94558
APN: 033-170-002



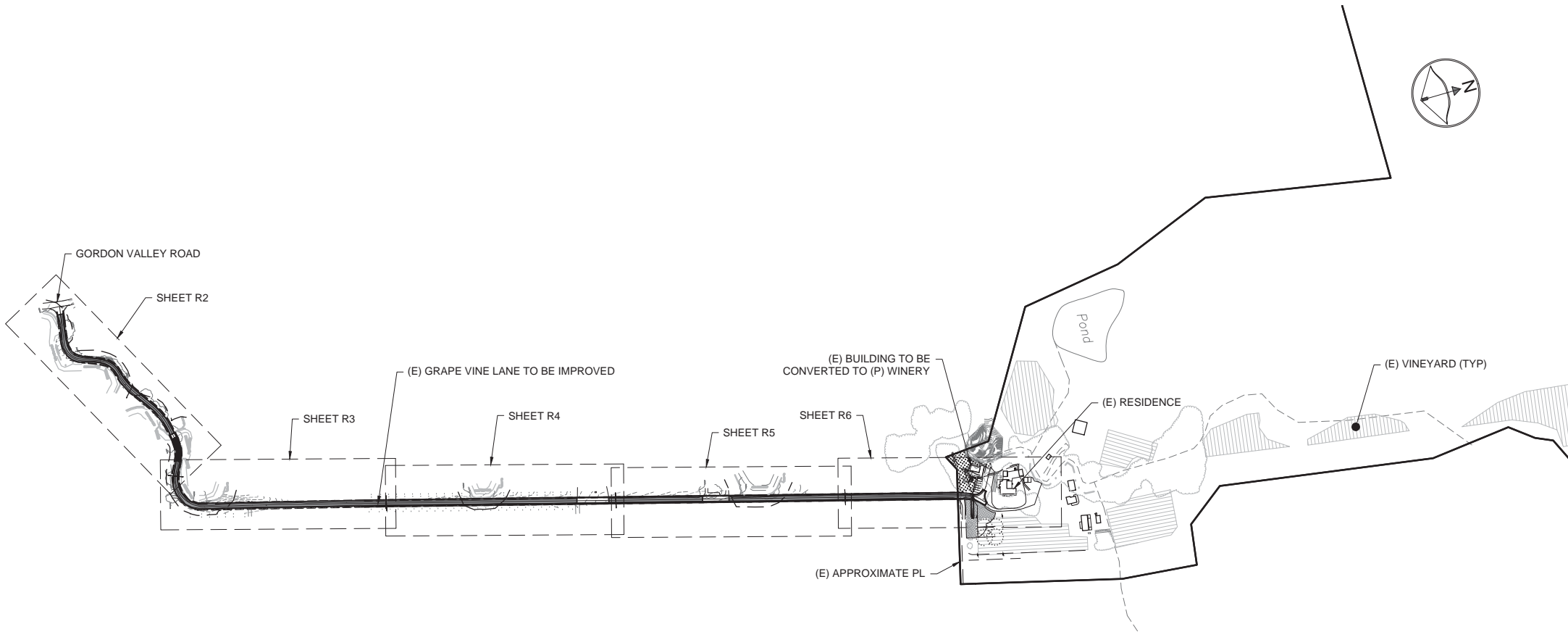
VICINITY MAP
NTS

OWNER
BOB MORGAN
3046 B ROCKVILLE ROAD
FAIRFIELD, CA 94534

CIVIL ENGINEER
CMP CIVIL ENGINEERING & LAND SURVEYING
CAMERON PRIDMORE PE, PLS
1607 CAPELL VALLEY ROAD
NAPA, CA 94558
(707) 815-0988
CAMERON@CMPENGINEERING.COM

SHEET INDEX

SHT. #	DESCRIPTION
R1	TITLE
R2	DRIVEWAY IMPROVEMENT PLAN 1
R3	DRIVEWAY IMPROVEMENT PLAN 2
R4	DRIVEWAY IMPROVEMENT PLAN 3
R5	DRIVEWAY IMPROVEMENT PLAN 4
R6	DRIVEWAY IMPROVEMENT PLAN 5
R7	NOTES & DETAILS



SITE PLAN

SCALE 1" = 250'
0 125 250 500
SCALE: 1"=250'

UNAUTHORIZED CHANGES & USES:

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE DESIGNER OF THESE PLANS.

HORIZONTAL & VERTICAL DATUM:

THIS MAP IS BASED ON FIELD SURVEY INFORMATION PERFORMED BY TY HAWKINS LS IN MARCH OF 2015. FIELD SURVEY CONTOURS ARE AS FOLLOWS: MAJORS = 5'; MINORS = 1'.

PROPERTY LINES:

THE PROPERTY LINES SHOWN HEREON ARE BASED ON PRELIMINARY SURVEY DATA, AND ARE FOR REFERENCE ONLY. THIS IS NOT A BOUNDARY SURVEY MAP AND SHOULD NOT BE USED AS SUCH.



PREPARED BY:
CAMERON PRIDMORE PE, PLS
1607 CAPELL VALLEY ROAD
NAPA, CA 94558
(707) 815-0988
CAMERON@CMPENGINEERING.COM
PROJECT #: 00066 DATE: 05/28/15

REV. #	DATE	DESCRIPTION
1	11/22/15	7-15 COUNTY COMMENTS
2	5/26/16	1-1-16 COUNTY COMMENTS
3	9/22/16	7-1-16 COUNTY COMMENTS
4	04/12/17	10-27-16 COUNTY COMMENTS

PROJECT INFO:
SHED CREEK WINERY
80 GRAPEVINE LANE
NAPA, CA 94558
APN: 033-170-002

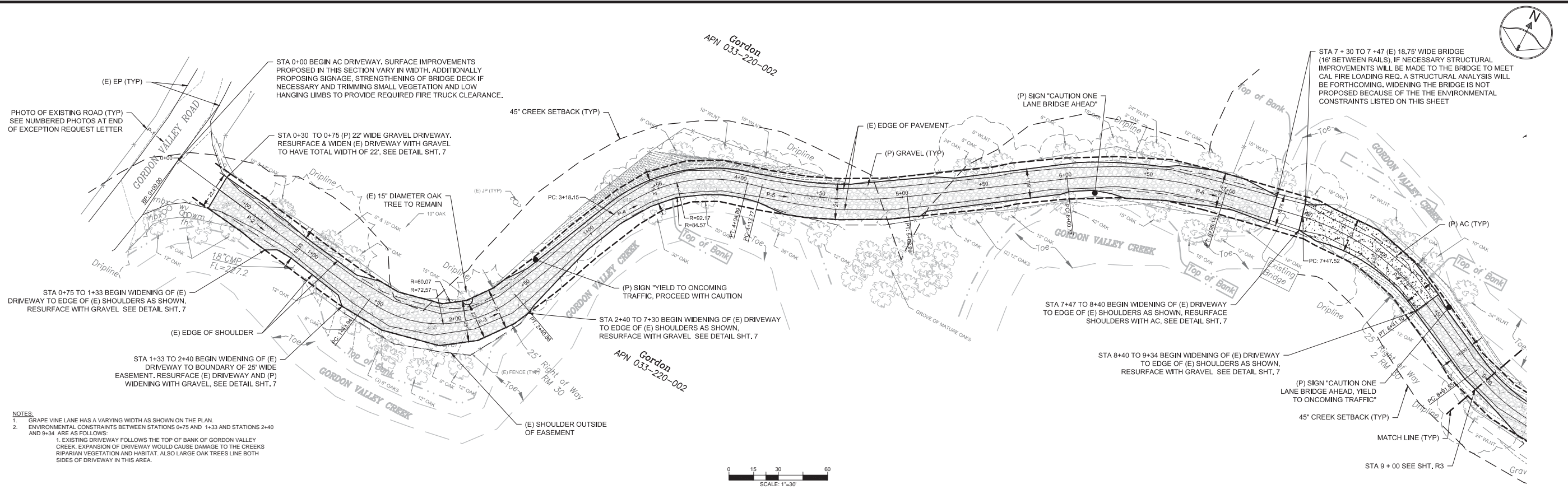
SHEET NAME:
TITLE SHEET

SHEET:
R1

OF 7

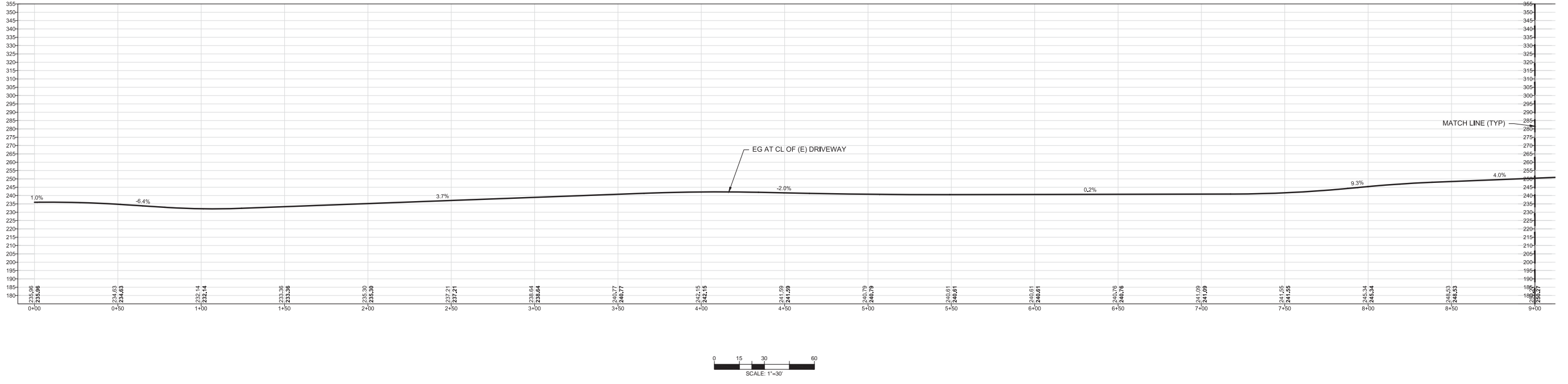


Cameron Pridmore
Nov 07, 2017



DRIVEWAY IMPROVEMENT PLAN 1

SCALE 1" = 30'



DRIVEWAY IMPROVEMENT PROFILE 1

SCALE 1" = 30'



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CAMERON PRIDMORE PE, PLS
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 NAPA, CA 94558
 (707) 815-0888
 CAMERON@CAMPENGINEERING.COM
 PROJECT #: 00066 DATE: 05/28/15

REV #	DESCRIPTION	DATE
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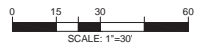
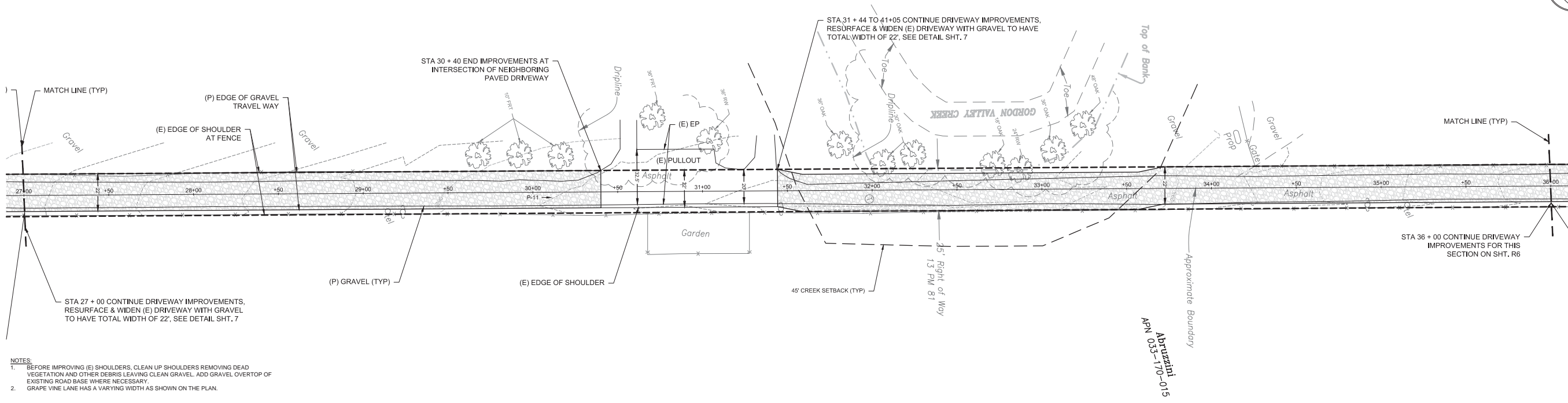
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DRIVEWAY IMPROVEMENT PLAN 1

SHEET:
R2

OF 7

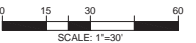
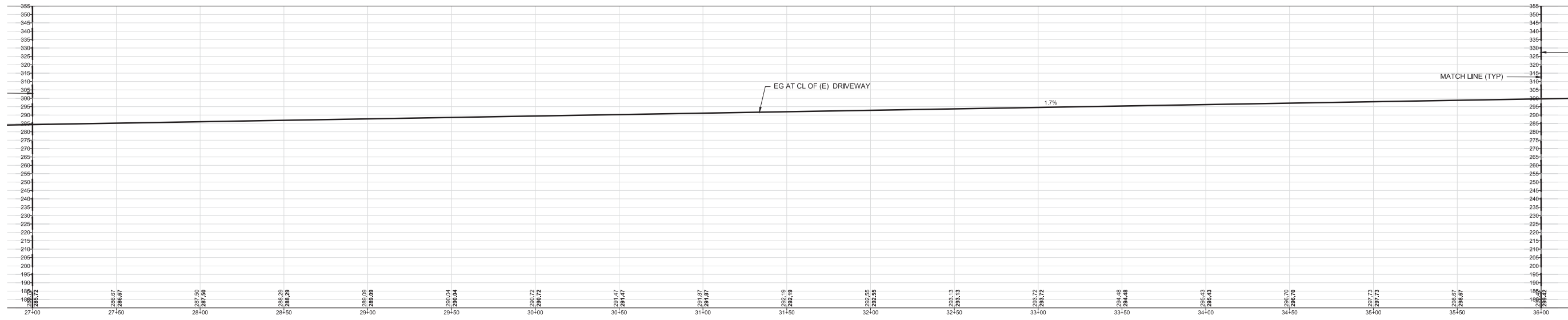


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 1607 CAPELL VALLEY ROAD
 NAPA, CA 94558
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DRIVEWAY IMPROVEMENT PLAN 4

SCALE 1" = 30'



DRIVEWAY IMPROVEMENT PROFILE 4

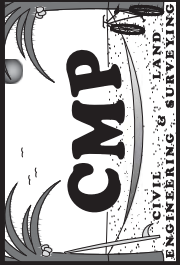
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REV #	DESCRIPTION	DATE
1	7-7-16 COUNTY COMMENTS	11/2/15
2	1-7-16 COUNTY COMMENTS	5/26/16
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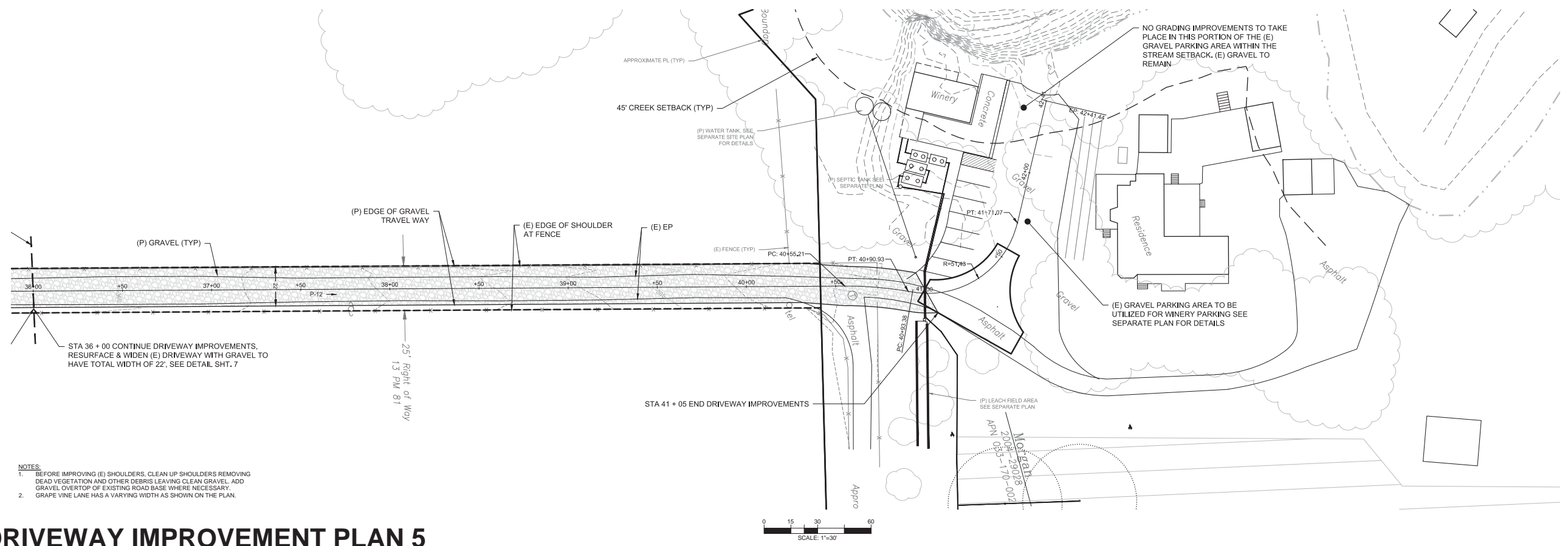
PROJECT INFO:
SHED CREEK WINERY
 80 GRAPEVINE LANE
 NAPA, CA 94558
 APN: 033-170-002

SHEET NAME:
DRIVEWAY IMPROVEMENT PLAN 4

SHEET:
R5



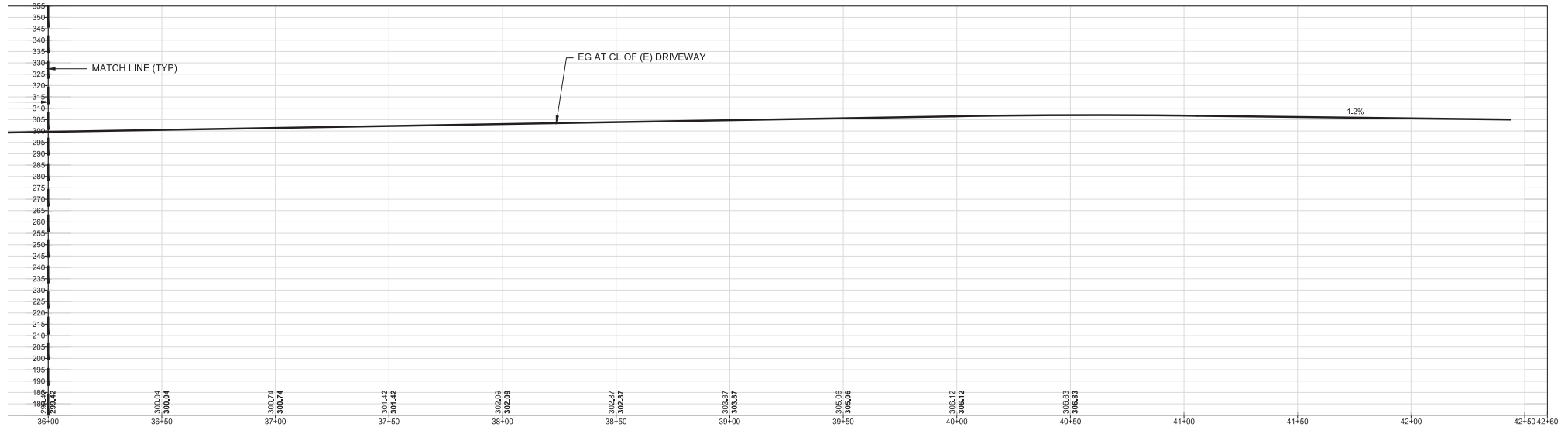
PREPARED BY:
CAMERON PRIDMORE PE, PLS
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- NOTES:
- BEFORE IMPROVING (E) SHOULDERS, CLEAN UP SHOULDERS REMOVING DEAD VEGETATION AND OTHER DEBRIS LEAVING CLEAN GRAVEL. ADD GRAVEL OVERTOP OF EXISTING ROAD BASE WHERE NECESSARY.
 - GRAPE VINE LANE HAS A VARYING WIDTH AS SHOWN ON THE PLAN.

DRIVEWAY IMPROVEMENT PLAN 5

SCALE 1" = 30'



DRIVEWAY IMPROVEMENT PROFILE 5

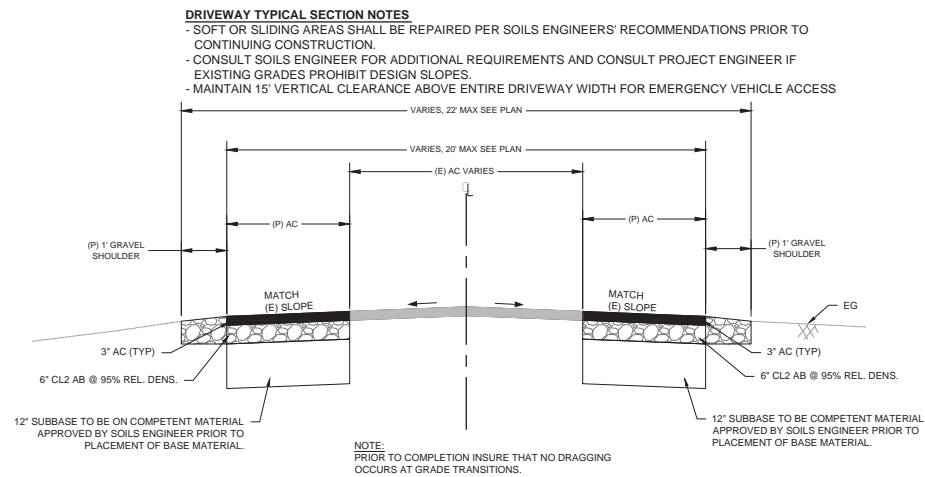
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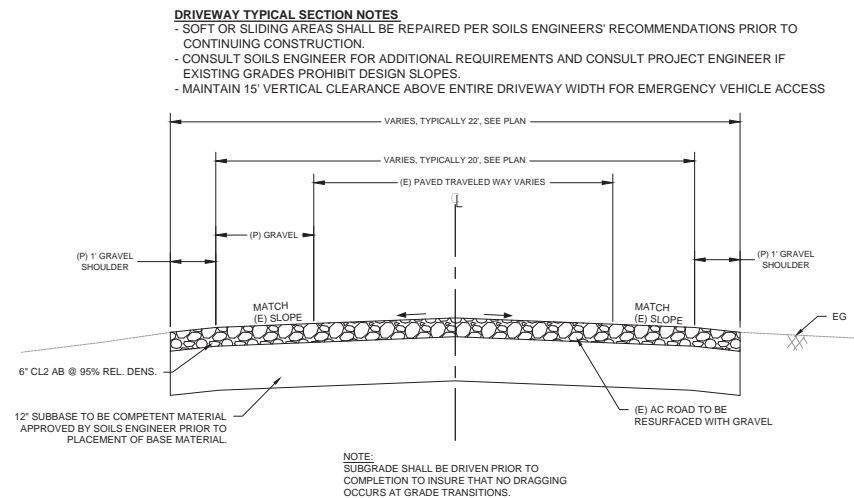
SHEET NAME:
DRIVEWAY IMPROVEMENT PLAN 5

SHEET:
R6



TYPICAL AC DRIVEWAY IMPROVEMENTS SECTION

N.T.S.



TYPICAL GRAVEL DRIVEWAY IMPROVEMENTS SECTION

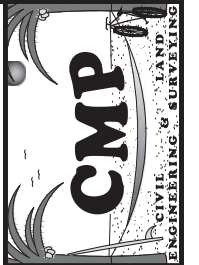
N.T.S.

GENERAL NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES, PRIOR TO STARTING CONSTRUCTION. THESE PLANS ARE BASED UPON THE BEST INFORMATION AVAILABLE, BUT CAN ONLY BE TAKEN AS APPROXIMATE.
- ANY UTILITIES THAT MAY HAVE TO BE RELOCATED SHALL BE DONE AT THE OWNERS EXPENSE.
- PRIOR TO EXCAVATING NEAR ANY P.G. & E., PAC BELL, CITY, COUNTY, OR PRIVATE FACILITIES IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT U.S.A. AT LEAST 2 WORKING DAYS IN ADVANCE AT (800) 642-2444.
- DAMAGE TO ANY AND ALL UTILITIES BY CONTRACTOR WILL BE REPLACED IN KIND AT OWNERS EXPENSE, AS WELL AS ANY EXISTING PRIVATE OR PUBLIC IMPROVEMENTS OR NATURAL LANDSCAPES SPECIFICALLY DESIGNATED BY OWNER.
- CONTRACTOR WILL MAINTAIN SAFE CONDITIONS IN THE CONSTRUCTION AREA FOR WORKMEN AND TRAVELING PUBLIC.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL SECURE CONSTRUCTION PERMITS FROM THE NAPA COUNTY PUBLIC WORKS DEPARTMENT, THE NAPA COUNTY CONSERVATION, DEVELOPMENT AND PLANNING DEPARTMENT, AND ANY OTHER JURISDICTIONAL AGENCY AS REQUIRED. OWNER SHALL PAY FOR ALL FEES INCLUDING INSPECTION FEES THEREFORE.
- ALL STATIONS (ON PLAN) ARE TAKEN ALONG CENTERLINE UNLESS OTHERWISE NOTED ON PLAN AND SHOW MEASUREMENTS IN A HORIZONTAL PLANE.
- ALL GRADING, SITE PREPARATION, PLACING AND COMPACTING OF FILL SHALL BE DONE ACCORDING TO THESE PLANS, AND NAPA COUNTY REQUIREMENTS.
- SLOPE PLANTING SHALL BE SPECIFIED BY THE BY OTHER AND IS NOT A PART OF THESE PLANS.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR MORE GENTLE, UNLESS OTHERWISE NOTED
- ALL ABANDONED UNDERGROUND PIPELINES EXPOSED DURING GRADING SHALL BE REMOVED OR ADEQUATELY PLUGGED.
- ROUND CUT AND FILL SLOPES TO BLEND IN WITH THE NATURAL GROUND CONTOURS.
- EROSION CONTROL MEASURES SHALL BE EMPLOYED DURING THE RAINY SEASON AS REQUIRED AND AS SHOWN ON THE APPROVED STORMWATER QUALITY MANAGEMENT PLANS. A PRE-GRADING MEETING MAY BE SCHEDULED AT THE CONTRACTORS REQUEST AT THE SITE 48 (FORTY-EIGHT) HOURS PRIOR TO THE START OF GRADING. THE FOLLOWING PEOPLE SHOULD BE PRESENT: OWNER, GRADING CONTRACTORS, ENGINEER, AND THE COUNTY REPRESENTATIVE.
- CHANGES TO THIS PLAN DUE TO FIELD CONDITIONS WILL BE MADE ONLY WITH THE APPROVAL OF THE ENGINEER AND THE NAPA COUNTY CONSERVATION, DEVELOPMENT AND PLANNING DEPARTMENT.
- ADJACENT PROPERTIES SHALL BE PROTECTED FROM STORM WATERS, MUD, SILT, ETC.
- THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THE PLAN IN THE FIELD SUBJECT TO THE APPROVAL OF THE ENGINEER AND THE GOVERNING COUNTY AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLACEMENT OF ALL FILLS ACCORDING TO THE PLAN, AND THE PREPARATION OF GROUND TO RECEIVE FILLS, TESTING FOR REQUIRED COMPACTION, STABILITY OF ALL FINISH SLOPES, SOIL EROSION, AND REQUIRED CUT SLOPE SURFACES.

MAINTENANCE & LIMITATIONS

- THE IMPROVEMENTS SHOWN ON THIS PLAN MUST BE MAINTAINED PROPERLY IN ORDER FOR THEM TO FUNCTION PROPERLY. SUCH MAINTENANCE INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING: MAINTAIN ALL BMP'S TO AVOID EXCESS EROSION, MAINTAIN VEGETATIVE COVERAGE ON ALL DISTURBED AREAS, KEEP ALL STORM DRAIN STRUCTURES FREE OF DEBRIS & SEDIMENT.
- THE EFFECTS OF NORMAL EROSION SUCH AS THOSE DUE TO ENVIRONMENTAL, WEATHER, AND GEOLOGIC CONDITIONS, WILL CONTINUE TO EXIST THROUGHOUT THE PROJECT SITE. THE STABILITY OF EARTH SLOPES AND METHODS OF CONTROLLING THE EFFECTS OF NORMAL EROSION ARE NOT A PART OF THIS PLAN. CONSULT A SOILS ENGINEER FOR THE STABILITY OF EARTH SLOPES AND THE EFFECTS OF NORMAL EROSION.
- UPON COMPLETION OF ALL PROPOSED IMPROVEMENTS AND EROSION CONTROL MEASURES THE OWNER SHOULD PROVIDE FOR A DETAILED INSPECTION BY THE ENGINEER. THE INSPECTION SHOULD BE PERFORMED BOTH PRIOR TO AND DURING THE FIRST RAIN, TO CHECK THE FUNCTIONALITY OF ALL THE PROPOSED MEASURES & IMPROVEMENTS. IT MAY BE NECESSARY TO MAKE SOME MODIFICATIONS AND/OR REPAIRS TO THESE IMPROVEMENTS IN ORDER TO MAINTAIN A PROPER AND EFFICIENT WORKING SYSTEM.
- THE PROPERTY OWNER, AND ANY SUBSEQUENT OWNER MUST CLEARLY UNDERSTAND THAT THEY HAVE CHOSEN TO BUILD ON A PROPERTY WITH A REMOTE AND LENGTHY DRIVEWAY FOR ACCESS. THE OWNER NEEDS TO VIGILANTLY REPAIR THE EROSION AND ADVERSE EFFECTS OF HEAVY RAINFALL TO THE PROJECT SITE AND THE IMPROVEMENTS SHOWN ON THESE PROJECT PLANS.
- SIGNIFICANT MAINTENANCE AND UPKEEP COSTS MAY BE ASSOCIATED WITH THIS PROJECT AND SHOULD BE PLANED FOR BY THE OWNER. SEVERE STORMS CAN MOBILIZE SEDIMENTS WHICH CAN IMPAIR THE FUNCTIONALITY OF STORM DRAINAGE DEVICES. IF DRAINAGE DITCHES AND CULVERTS ARE NOT KEPT CLEAR OF SEDIMENTS, EROSION & FLOOD DAMAGE TO STRUCTURES AND DRIVEWAY IMPROVEMENTS MAY RESULT.
- THE DESIGN OF FACILITIES ON THESE PLANS ARE BASED UPON STANDARD ENGINEERING PRACTICES, AND NAPA COUNTY REQUIREMENTS. CHANGES IN TRADITIONAL WEATHER PATTERNS AND RAINFALL INTENSITIES HAVE NOT BEEN PLANNED FOR AND COULD IMPACT THE INTEGRITY OF THE DRIVEWAY AND APPURTENANCES. IT IS SUGGESTED THAT EMERGENCY MEASURES BE PLANNED FOR, AS WELL AS THE COSTS FOR GENERAL MAINTENANCE OF ALL OF THE IMPROVEMENTS SHOWN ON THESE PLANS.



PREPARED BY:
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PROJECT INFO:
SHEET NAME:
SHEET:
SHED CREEK WINERY
80 GRAPEVINE LANE
NAPA, CA 94558
APN: 033-170-002

NOTES & DETAILS

R7



A Tradition of Stewardship
A Commitment to Service

Planning, Building & Environmental Services

1195 Third Street, Suite 210
Napa, CA 94559
www.countyofnapa.org

David Morrison
Director

MEMORANDUM

To: Emily Hedge, Project Planner	From: Kim Withrow, Environmental Health Supervisor <i>KW</i>
Date: November 3, 2017	Re: Use Permit Application for Shed Creek Winery, 80 Grapevine Lane Assessor Parcel # 033-170-002 Application # P14-00346

The application requesting approval to convert an existing barn to a new 5,000 gallon per year winery has been reviewed and this Division has no objection to approval of the application with the following conditions of approval:

Prior to building permit issuance:

1. The applicant shall secure a discharge requirement or waiver of same, from the Central Valley Regional Water Quality Control Board for the proposed process waste water system.
2. Plans for a conventional sewage treatment system and plan check fee must be submitted to this Division for review and approval. The plans must show the location of the proposed septic system relative to the proposed project and other structures and the required expansion area. The plans must be drawn to scale. The plans must be approved prior to approval of the building permit application.
3. A permit to construct the proposed conventional sanitary wastewater treatment system must be secured from this Division prior to approval of a building clearance (or issuance of a building permit) for any structure that generates wastewater to be disposed of by this system.
4. Adequate area must be provided for collection of recyclables. The applicant must work with the franchised garbage hauler for the service area in which they are located, in order to determine the area and the access needed for the collection site. The garbage and recycling enclosure must meet the enclosure requirements provided during use permit process and be included on the building permit submittal. The designated area shall remain available and be properly maintained for its intended use.
5. Due to the low well yield, domestic water storage at least 9,000 gallons in capacity (3,000 gallons per dwelling and winery) must be provided for the storage of domestic water for use

in the residences and the winery. A storage tank permit must be issued prior to approval of the winery building permit.

During construction and/or prior to final occupancy being granted:

6. During the construction, demolition, or renovation period of the project the applicant must use the franchised garbage hauler for the service area in which they are located for all wastes generated during project development, unless applicant transports their own waste. If the applicant transports their own waste, they must use the appropriate landfill or solid waste transfer station for the service area in which the project is located.

Upon final occupancy and thereafter:

7. The applicant shall provide portable toilet facilities for guest use during events of 30 persons or more as indicated in the septic feasibility report/use permit application. The portable toilet facilities must be pumped by a Napa County permitted pumping company.
8. Proposed food service will be catered; therefore, all food must be prepared and served by a Napa County permitted caterer. If the caterer selected does not possess a valid Napa County Permit to operate, refer the business to this Division for assistance in obtaining the required permit prior to providing any food service.
9. Pursuant to Chapter 6.95 of the California Health and Safety Code, businesses that store hazardous materials above threshold planning quantities (55 gallons liquid, 200 cubic feet compressed gas, or 500 pounds of solids) shall obtain a permit, file an approved Hazardous Materials Business Plan to <http://cers.calepa.ca.gov/>, and be approved by this Division within 30 days of said activities.
10. The use of the absorption field/drain field area shall be restricted to activities which will not contribute to compaction of the soil with consequent reduction in soil aeration. Activities which must be avoided in the area of the septic system include equipment storage, traffic, parking, pavement, livestock, etc.
11. All solid waste shall be stored and disposed of in a manner to prevent nuisances or health threats from insects, vectors and odors.
12. All diatomaceous earth/bentonite must be disposed of in an approved manner. If the proposed septic system is an alternative sewage treatment system the plan submitted for review and approval must address bentonite disposal.
13. The proposed water system to serve this project is not currently required to be regulated as a small public water system by this Division under California Code of Regulations, Title 22, or Napa County Code. Therefore, we have no comment as to its adequacy at this time. The applicant will be required to provide minimal information on the water system prior to approval of a building permit, and may wish to retain the services of a consultant in this matter.



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A Commitment to Service

Department of Public Works

1195 Third Street, Suite 101
Napa, CA 94559-3092
www.countyofnapa.org/publicworks

Main: (707) 253-4351
Fax: (707) 253-4627

Steven Lederer
Director

MEMORANDUM

To: PBES Staff	From: Mike Hawkins Interim Transportation Engineer
Date: October 05, 2017	Re: Shed Creek Winery P14-00346

Thank you for the opportunity to review the permit application for the above mentioned project. I offer the following comments from the Department of Public Works:

Traffic Study. A traffic study is not needed. Due to the expected trip generation, trip distribution, and the location of the project, a traffic study is not needed at this time. Based on the project description provided, the project is only expected to generate up to eight (8) weekday daily vehicle trips and up to 11 weekend daily trips.

Sight Distance. Available sight distance is shown for the project driveway. Based on roadway design speed and expected average daily traffic (ADT) the sight distance available is expected to be adequate.

Upon review of the project description, typical trip generation, expected trip distribution, available sight distance, and ADT for nearby roadways, I can conclude that the project is not expected to create any significant impacts related to transportation.

Please contact me at Michael.Hawkins@countyofnapa.org or call (707) 259-8279 if you have questions or need additional information.



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Napa County Fire Department
Fire Marshal's Office
Hall of Justice, 2nd Floor
1125 3rd Street
Napa, CA 94559

Office: (707) 299-1461

Garrett Veyna
Fire Marshal

MEMORANDUM

TO: Planning Division	DATE: October 20, 2017
FROM: Garrett Veyna Fire Department	
PERMIT: P14-00346	APN: 033-170-002

The Napa County Fire Marshal's Office has reviewed the submittal package for the above proposed project. The Fire Marshal approves as submitted and requires the following conditions to be incorporated as part of permit issuance.

1. All construction and use of the facility shall comply with all applicable standards, regulations, codes and ordinances at time of Building Permit issuance.
2. Beneficial occupancy will not be granted until all fire department fire and life safety items have been installed, tested and finalized.
3. Separate submittals required for Underground Fire Lines, Fire Pump, Automatic Fire Sprinklers, Fire Alarm Systems, Kitchen Hood Extinguishing Systems, High Piled Storage (any combustible stored over 12 feet in height).
4. All buildings, facilities, and developments shall be accessible to fire department apparatus by way of approved access roadways and/or driveways. The fire access road shall comply with the requirements of the Napa County Road & Street Standards, except as outlined in the applicant's request for an exception, dated April 13, 2017.
5. Turnarounds are required on driveways and dead end roadways.
6. Commercial - Water storage (for buildings not served by a public water system) and fire flow calculations shall be provided by a Certified State Licensed Civil Engineer, C-16 licensed contractor, or registered engineer indicating compliance with Table B105.2 through Table 105.4 of the Napa County Code Amendments.
7. Commercial - Approved steamer hydrants shall be installed within 250 feet of any exterior portion of the building as measured along vehicular access roads. Private fire service mains shall be installed, tested and maintained per NFPA 24 2013 edition.



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Office: (707) 299-1461

Garrett Veyna
Fire Marshal

MEMORANDUM

8. Commercial - Fire Department Connections (FDC) for automatic sprinkler systems shall be located fully visible and recognizable from the street or fire apparatus access roads. FDC shall be located within 50 feet of an approved fire hydrant.
9. Commercial - The minimum main size of all fire hydrants shall be 6 inches in diameter. Piping shall be installed with C-900 class 200 piping or ductile iron or equivalent per NFPA 24, 2013 edition for the installation of Underground Fire Protection Mains
10. Commercial - Developments in excess of 10,000 square feet require looped fire mains of a minimum of ten (10) inch diameter to supply fire hydrants spaced at a maximum of 300-foot intervals.
11. An automatic fire sprinkler system shall be installed in accordance with provisions set forth in the California Fire Code as amended by the County of Napa and the applicable National Fire Protection Association Standard. Automatic fire sprinkler systems shall be designed by a fire protection engineer or C-16 licensed contractor.
12. All buildings shall comply with California Fire Code, Chapter 10 Means of Egress requirements. Including but not limited to; exit signs, exit doors, exit hardware and exit illumination.
13. Provide 100 feet of defensible space around all structures.
14. Provide 10 feet of defensible space fire hazard reduction on both sides of all roadways of the facility.
15. All cave development shall comply with CBC Section 436 as well as the Napa County Fire Marshal's Office Cave Development Guidelines.

Please note that the comments noted above are based on a Fire Marshal review only. There may be additional comments or information requested from other County Departments or Divisions reviewing this application submittal package. Napa County Fire Marshal's Office Development Guidelines can be found @ www.countyofnapa.org/firemarshal. Should you have any questions of me, contact me at (707)299-1461 or email at garrett.veyna@fire.ca.gov