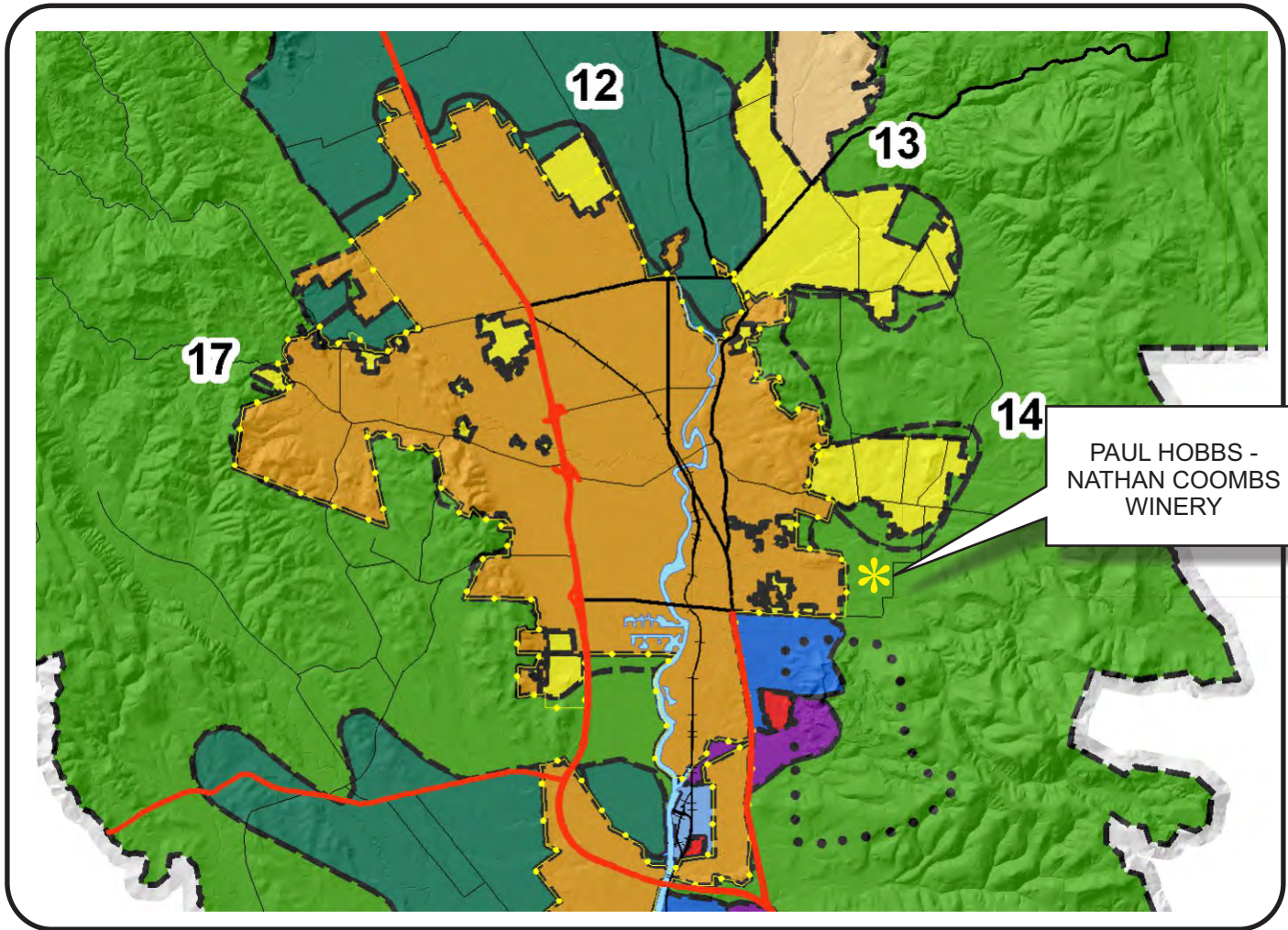


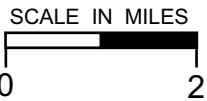
“J”

Graphics

NAPA COUNTY LAND USE PLAN 2008 - 2030



PAUL HOBBS -
NATHAN COOMBS
WINERY



LEGEND



URBANIZED OR NON-AGRICULTURAL

- Study Area
- Cities
- Urban Residential*
- Rural Residential*
- Industrial
- Public-Institutional
- Napa Pipe Mixed Use

OPEN SPACE

- Agriculture, Watershed & Open Space
- Agricultural Resource

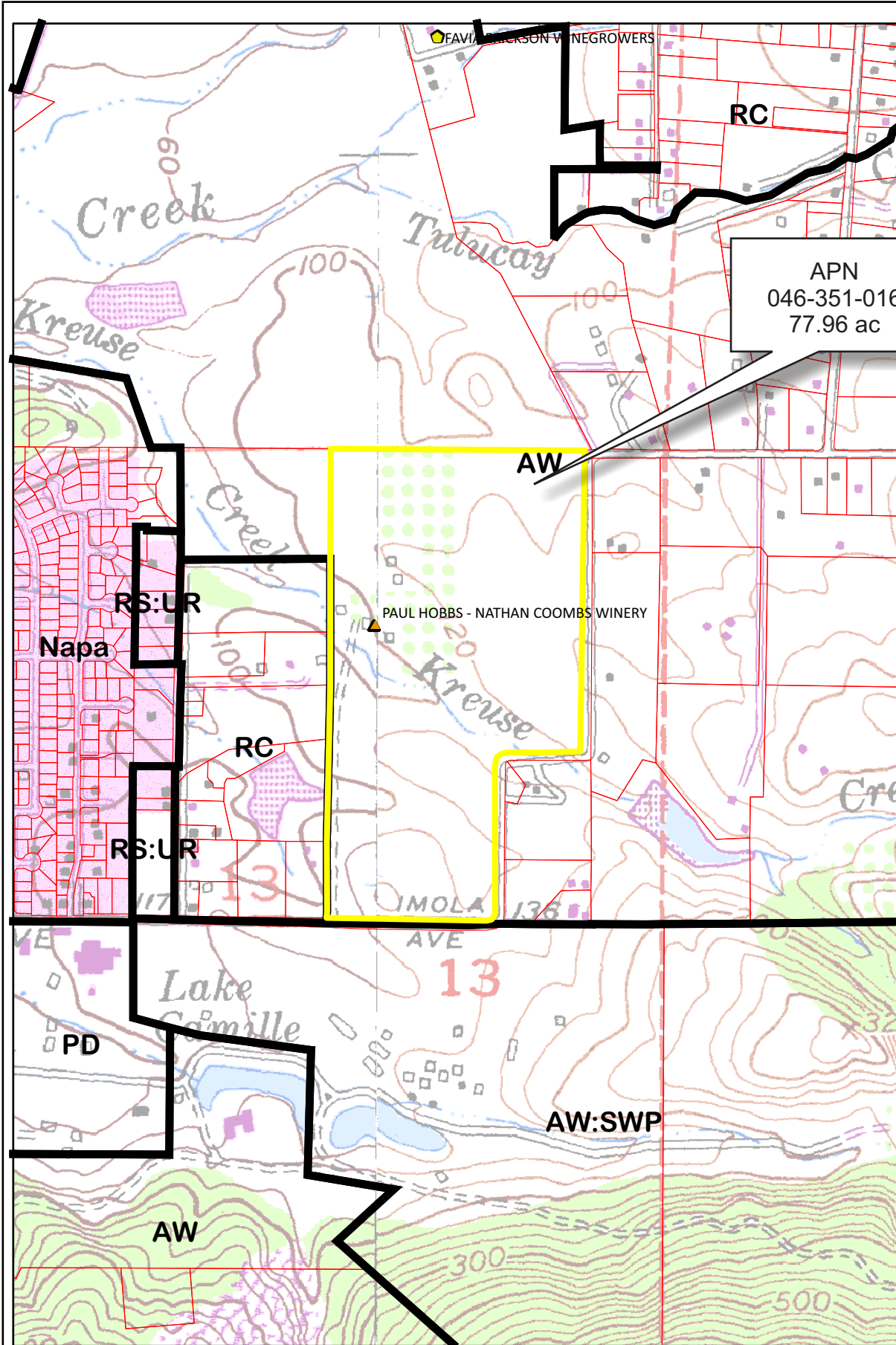
TRANSPORTATION

- Mineral Resource
- Limited Access Highway
- Major Road
- American Canyon ULL
- City of Napa RUL
- Landfill - General Plan
- Secondary Road
- Airport
- Railroad
- Airport Clear Zone

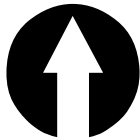
APN
046-351-016
08-25-2017
UP

* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations

PAUL HOBBS - NATHAN COOMBS WINERY

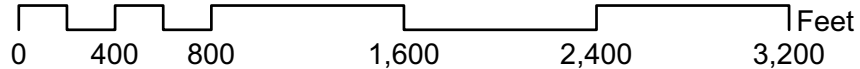


APN
046-351-016
77.96 ac



Legend

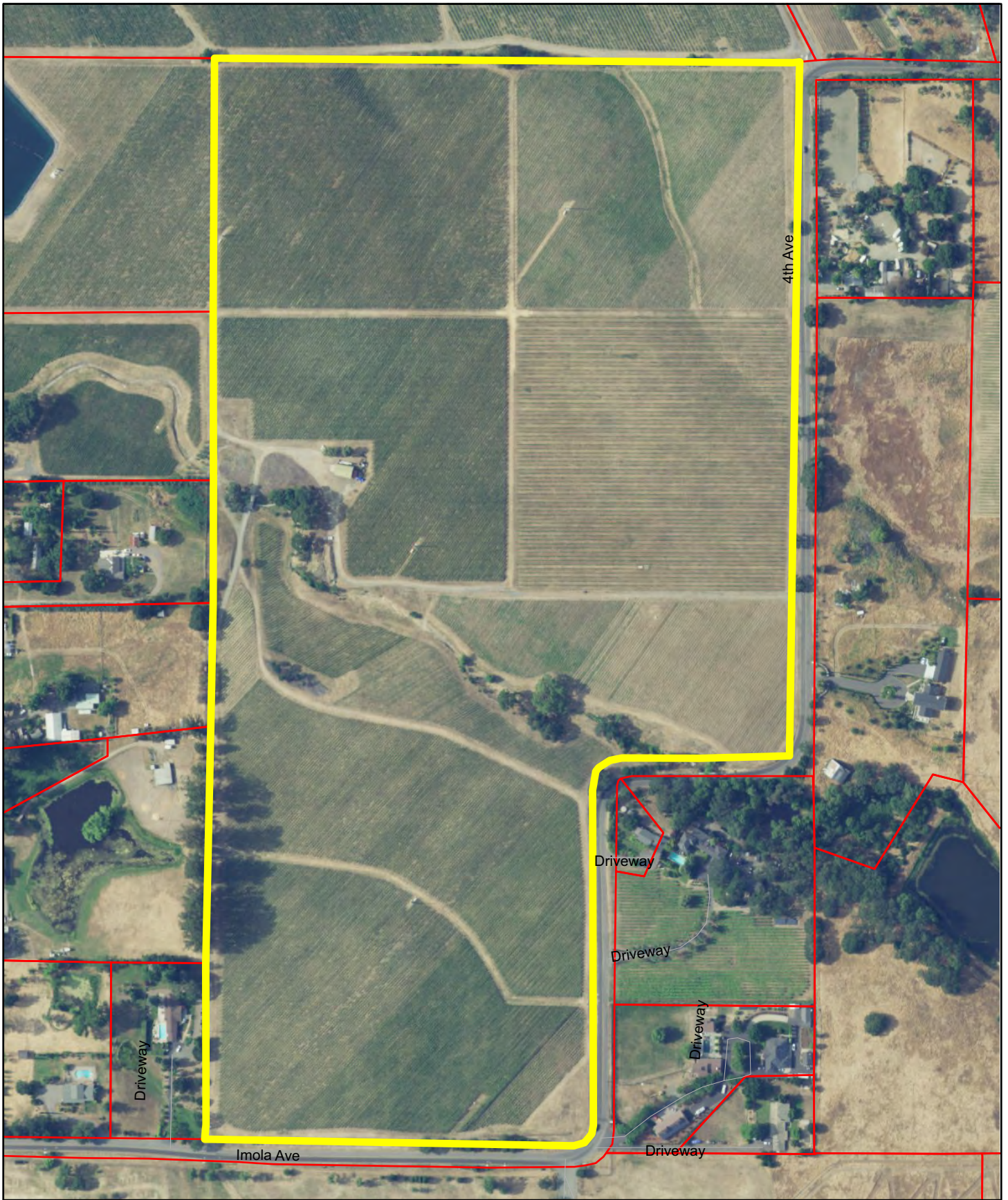
- Subject Parcel
- Wineries**
- Status**
- Producing
- Producing, w/ pending major mod
- ▲ Approved, not producing
- ▲ Pending
- Unknown
- Zoning
- Parcels



08-25-2017

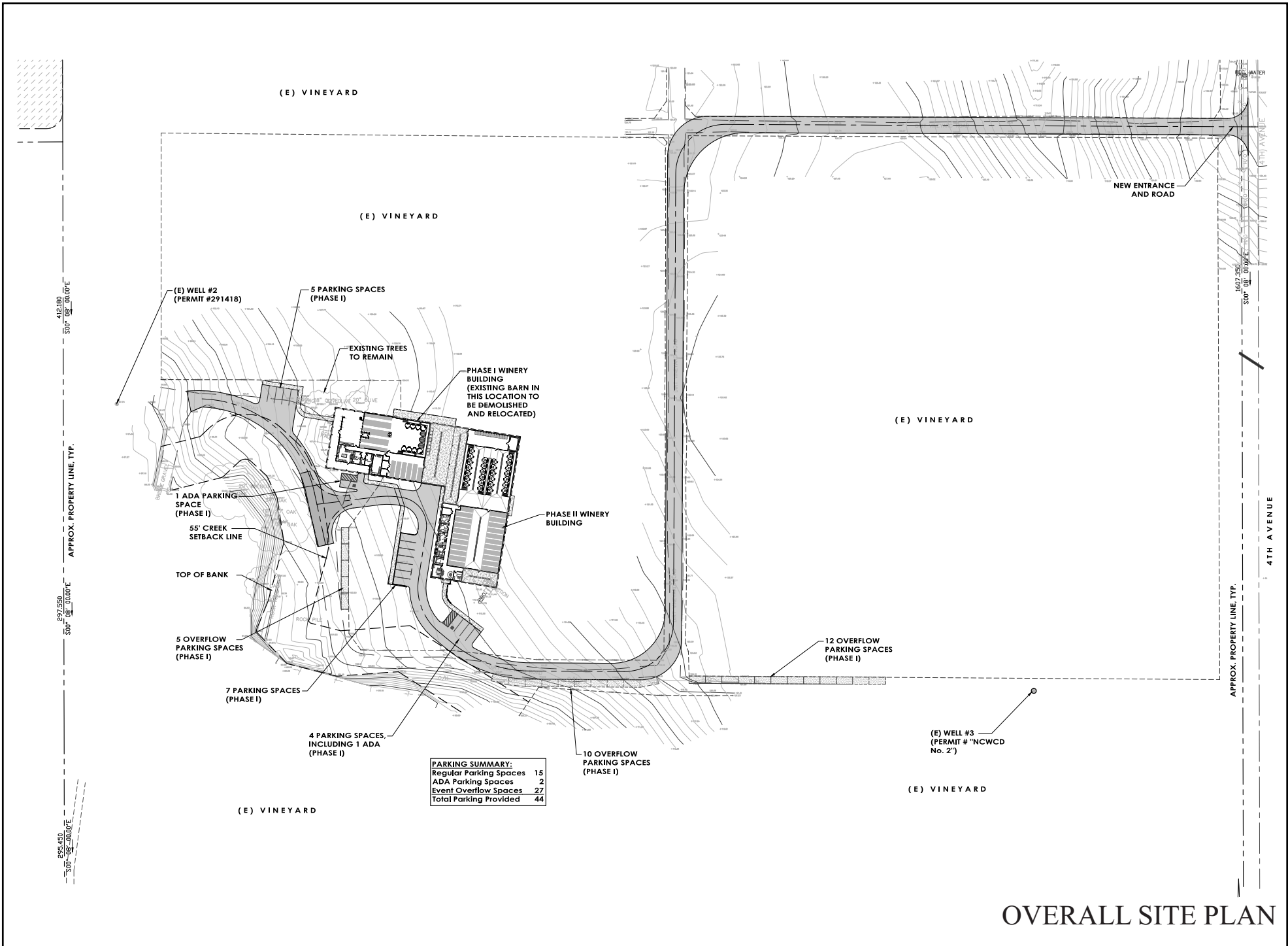
UP

PAUL HOBBS - NATHAN COOMBS WINERY



EXISTING CONDITIONS

PAUL HOBBS - NATHAN COOMBS WINERY

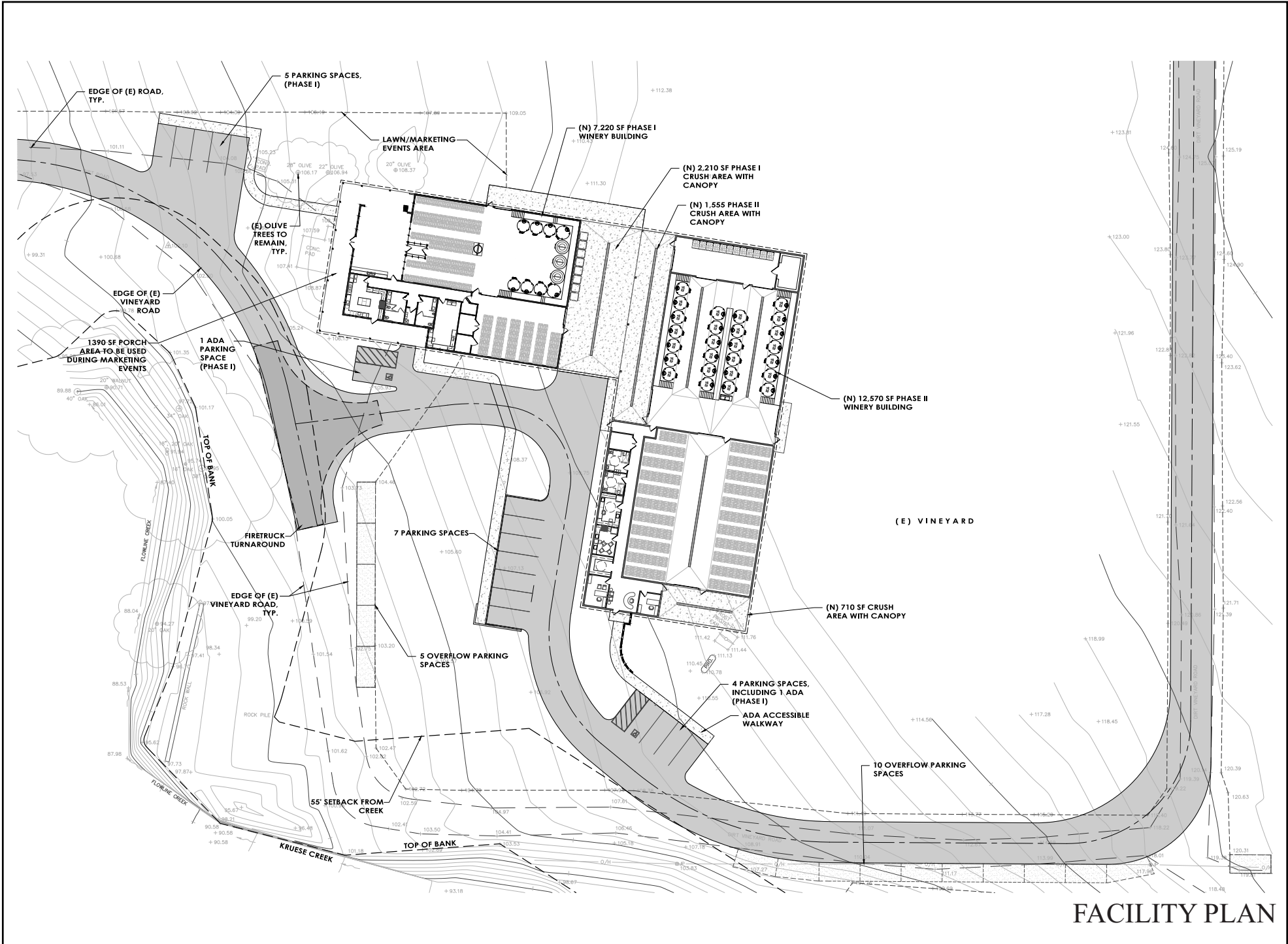


PARKING SUMMARY:

Regular Parking Spaces	15
ADA Parking Spaces	2
Event Overflow Spaces	27
Total Parking Provided	44

OVERALL SITE PLAN

PAUL HOBBS - NATHAN COOMBS WINERY



FACILITY PLAN

08-25-2017

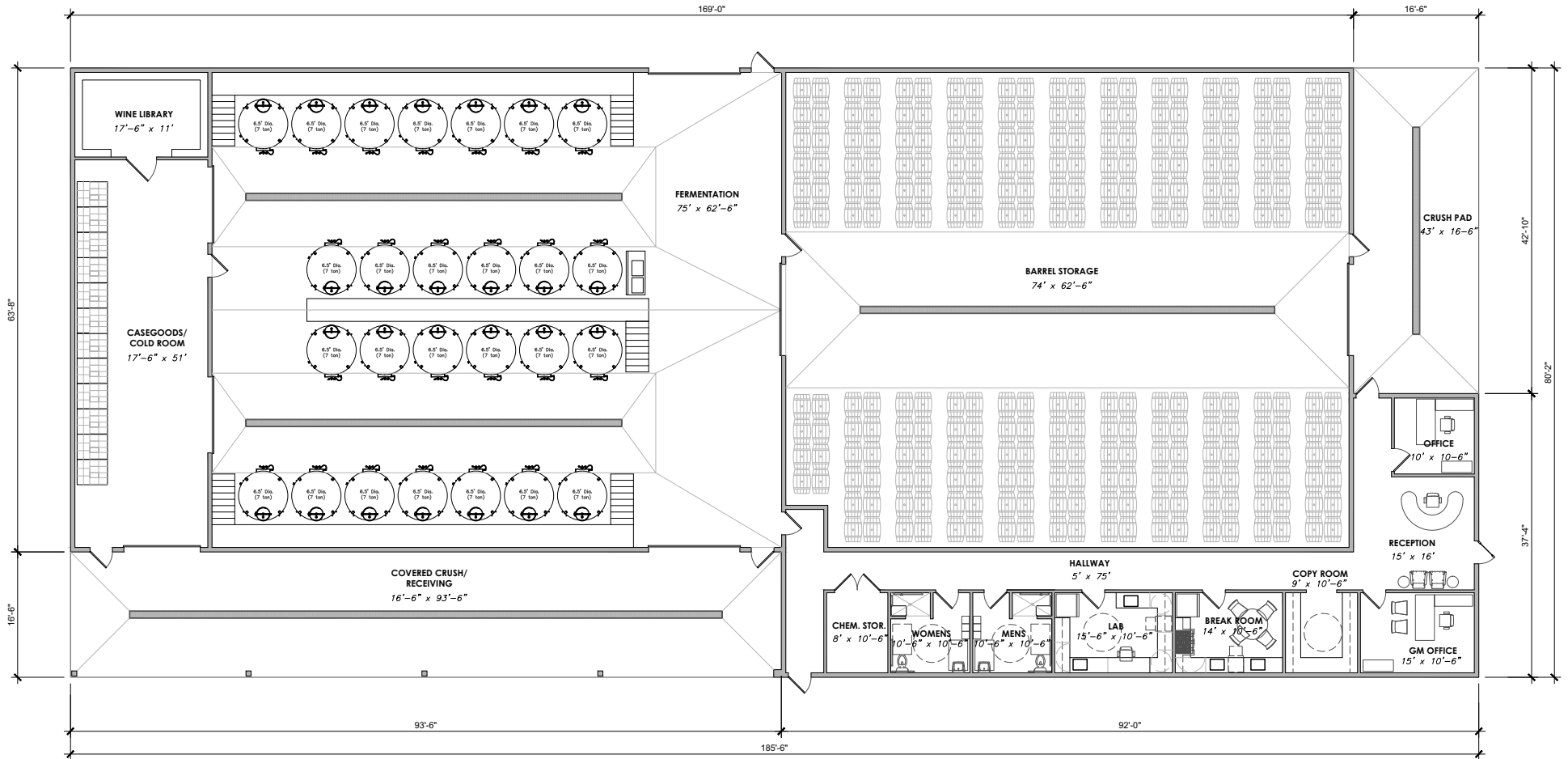
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Napa County PBES

PAUL HOBBS - NATHAN COOMBS WINERY.cdr

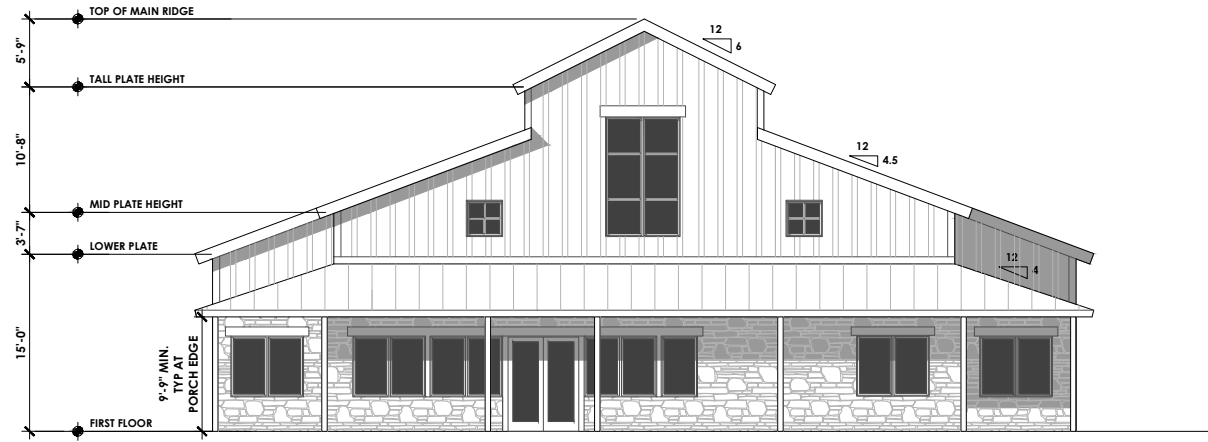
PAUL HOBBS - NATHAN COOMBS WINERY



BUILDING AREA	12570 SF
CRUSH AREA	2245 SF
TOTAL AREA	14835 SF

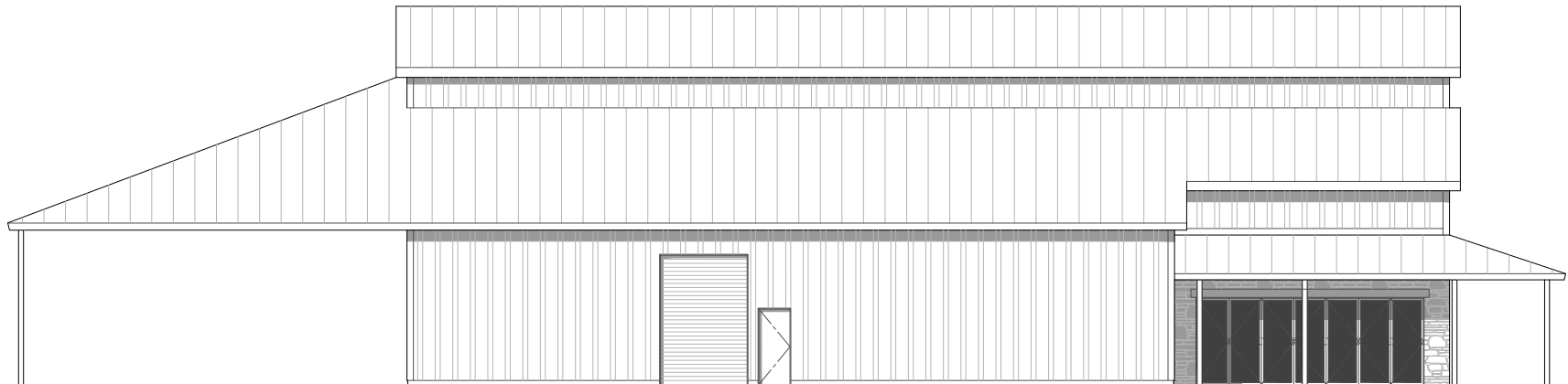
PHASE II FLOOR PLAN

PAUL HOBBS - NATHAN COOMBS WINERY



A EAST ELEVATION

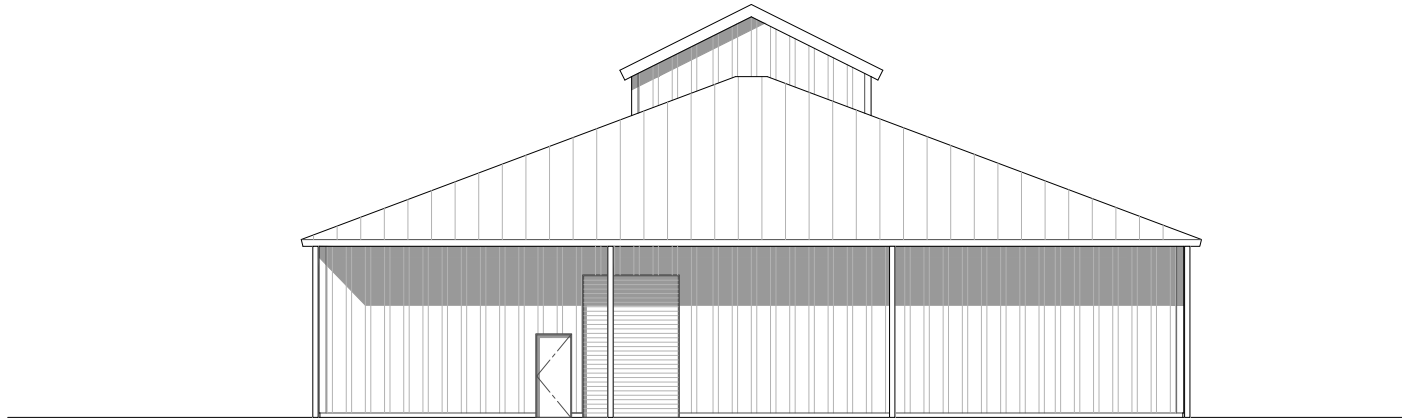
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B NORTH ELEVATION

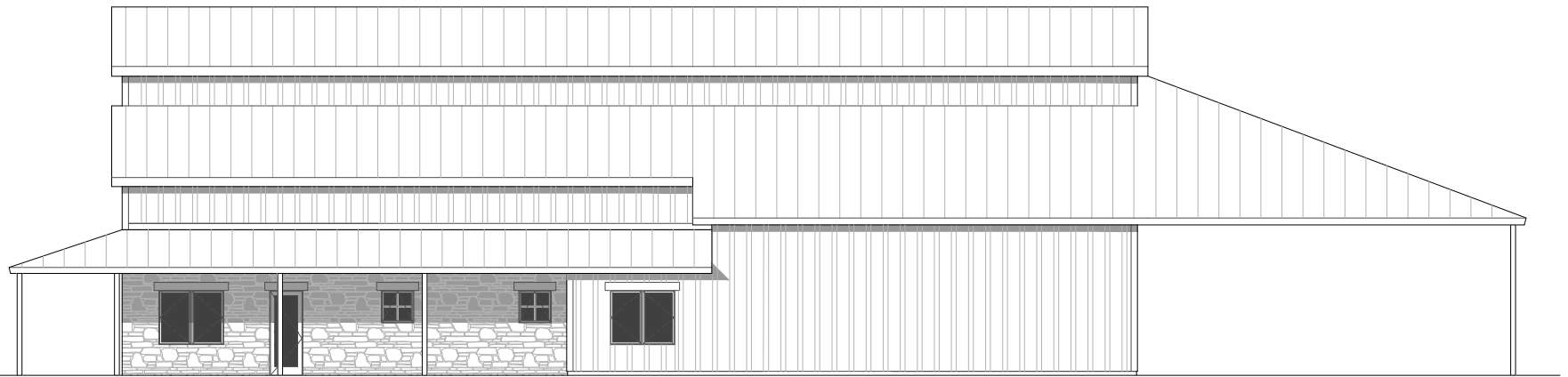
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PAUL HOBBS - NATHAN COOMBS WINERY



A WEST ELEVATION

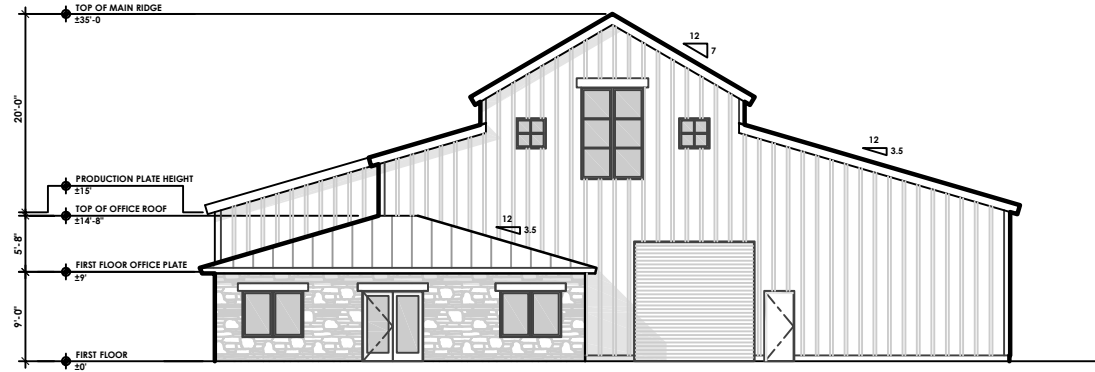
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B SOUTH ELEVATION

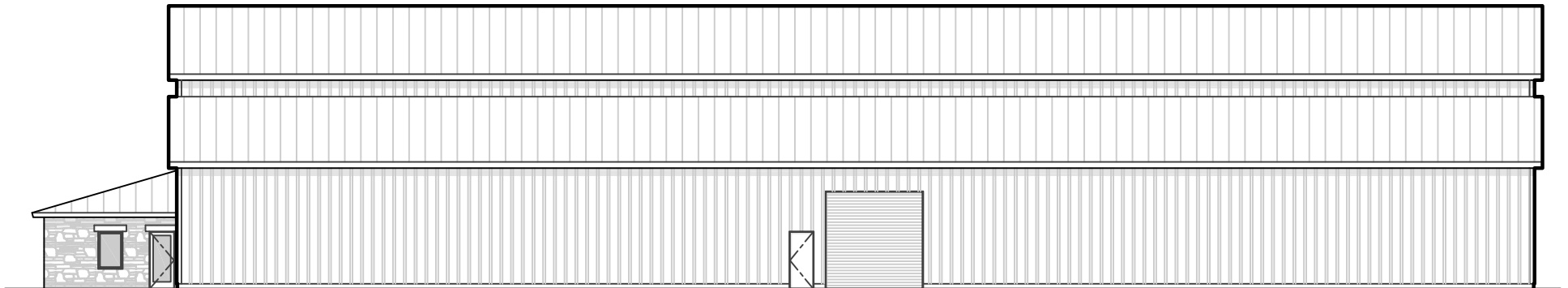
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PAUL HOBBS - NATHAN COOMBS WINERY



A SOUTH ELEVATION

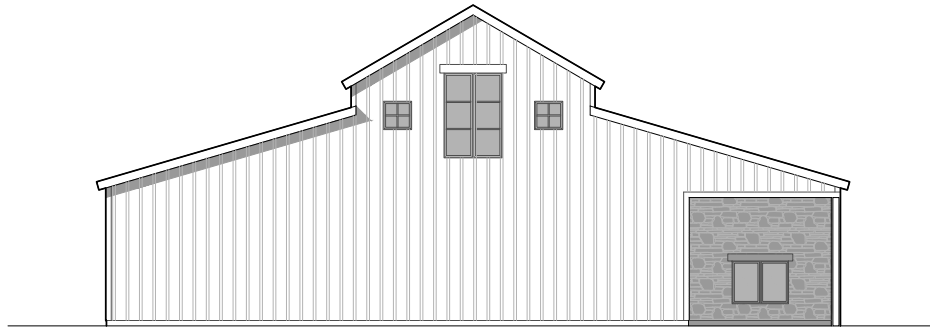
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B EAST ELEVATION

SCALE: 1/8" = 1'-0"

PAUL HOBBS - NATHAN COOMBS WINERY



A NORTH ELEVATION

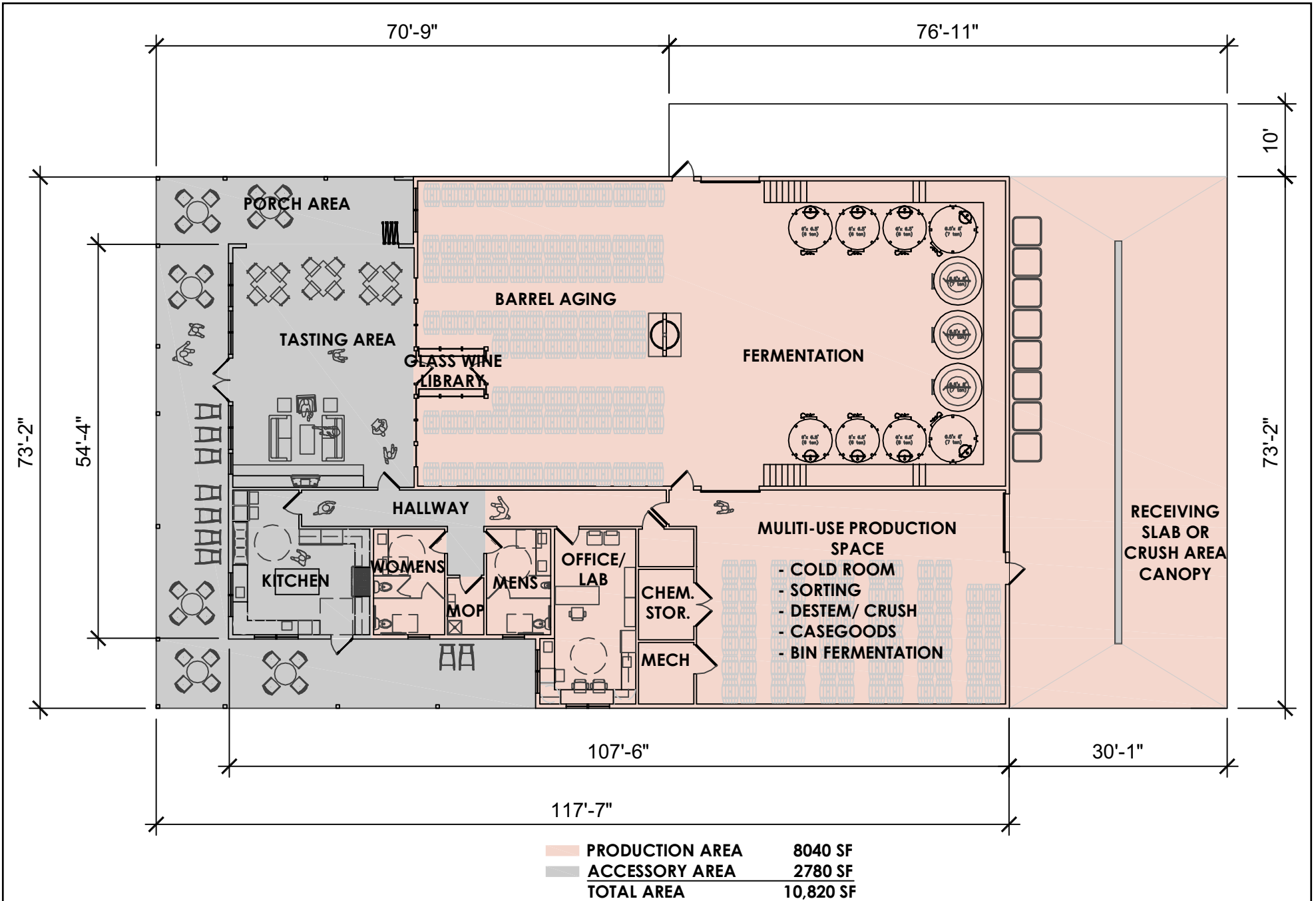
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B WEST ELEVATION

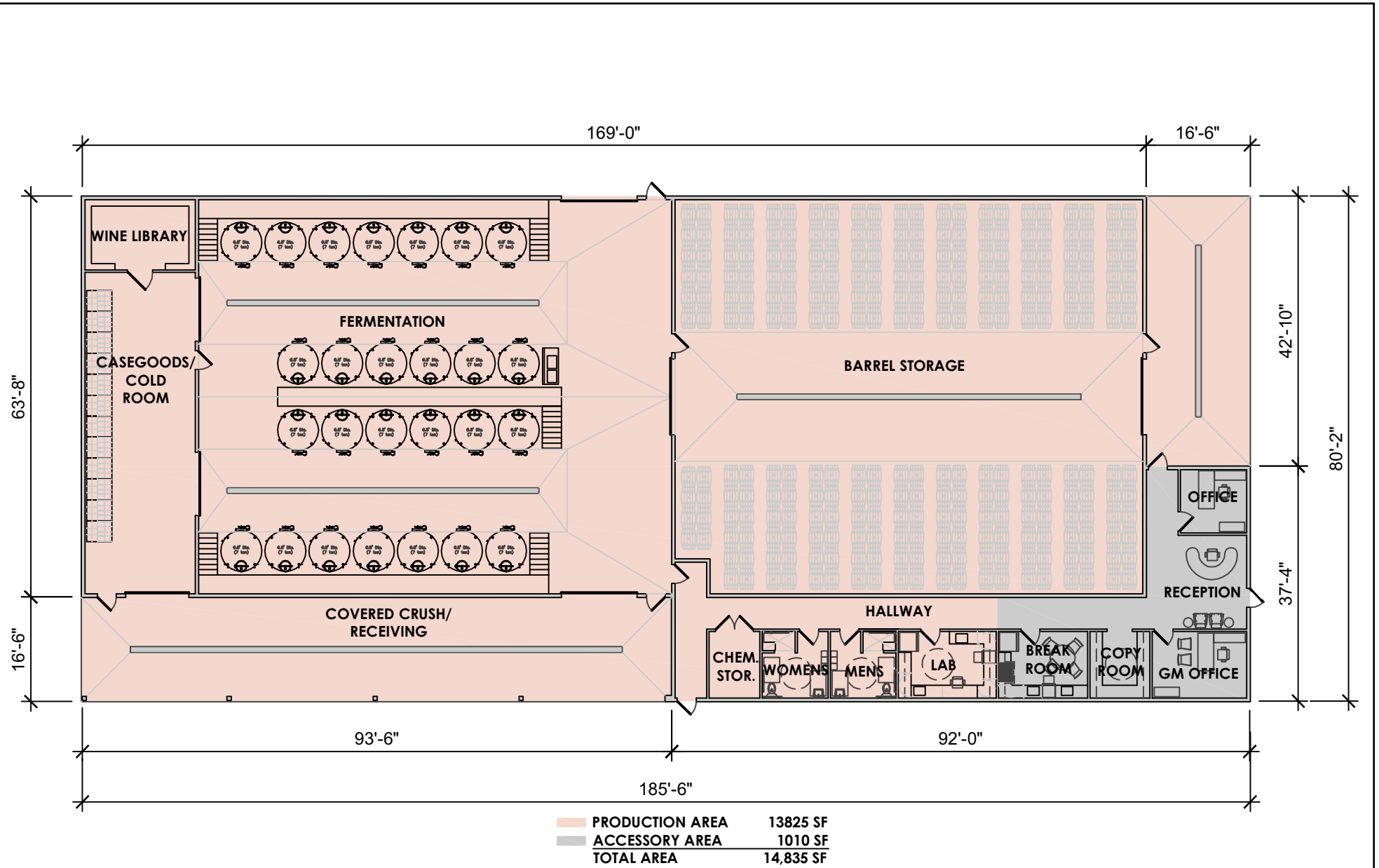
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PAUL HOBBS - NATHAN COOMBS WINERY



PROPOSED PHASE I WINERY FLOOR PLAN

PAUL HOBBS - NATHAN COOMBS WINERY

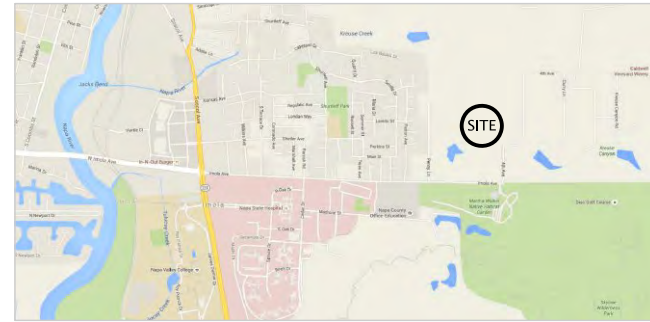


PROPOSED PHASE II WINERY FLOOR PLAN

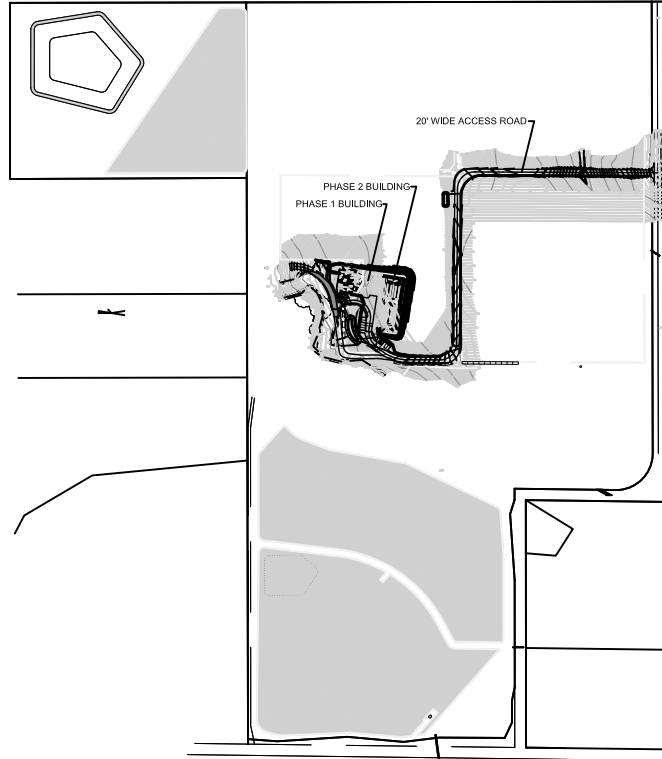
PAUL HOBBS - NATHAN COOMBS WINERY

PRELIMINARY GRADING PLAN PAUL HOBBS WINERY

2181 IMOLA AVENUE
NAPA, CA 94559
APN 046-351-016



VICINITY MAP
SCALE: 1" = 2000'



SITE MAP

SHEET INDEX (preliminary)	
SHEET #	SHEET TITLE
C1	TITLE SHEET
C2	GRADING NOTES
C3	PRELIMINARY GRADING PLAN
C4	SITE GRADING SECTIONS
C5	SITE GRADING SECTIONS
C6	ROAD PLAN AND PROFILE
C7	ROAD PLAN AND PROFILE
C8	ROAD SECTIONS
C9	ROAD SECTIONS
H1	DRAINAGE MAP (STUDY)

SMA

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Solvang, CA 93463
(805) 541-0730
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PRELIMINARY GRADING AND DRAINAGE PLAN
TITLE SHEET

PAUL HOBBS - NATHAN COOMBS
WINERY
2184 Imola Avenue
Napa, CA 94559
AP# 046-351-016

REVISIONS

DATE	DESCRIPTION

JOB NO. SMA 2013-016
DATE FEBRUARY 14, 2017
DRAWN
FILE NO.
SHEET

C1
TITLE SHEET

PAUL HOBBS - NATHAN COOMBS WINERY

USE OF PLANS

THIS DRAWING IS PROVIDED IN AN ELECTRONIC FORMAT AS A COURTESY IF REQUESTED BY THE USER. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. THE SIGNED HARD COPY PREPARED FOR THE PROJECT CONSTITUTES OUR PROFESSIONAL WORK PRODUCT AND THE HARD COPY MUST BE REFERRED TO FOR THE CORRECT DESIGN INFORMATION. THESE PLANS HAVE BEEN PREPARED SOLELY FOR USE FOR THE PROJECT SCOPE AND SITE SPECIFICALLY IDENTIFIED HEREON AT THE TIME THESE PLANS ARE SIGNED. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR OR LIABLE FOR, USE OF ANY PART OF THESE PLANS, INCLUDING ANY NOTE OR DETAIL, FOR ANY UNAPPROVED OR REISED PROJECT SCOPE, OR FOR ANY OTHER PROJECT AT THIS OR ANY OTHER SITE. USER AGREES TO INDEMNIFY AND HOLD HARMLESS ASHLEY & VANCE FOR ALL COSTS AND DAMAGES IF USED.

USE OF ELECTRONIC INFORMATION

ELECTRONIC INFORMATION MAY BE PROVIDED BY THE ENGINEER FOR CONVENIENCE UNDER NO CIRCUMSTANCES SHALL DELIVERY OF ELECTRONIC FILES FOR USE BY OTHERS BE DEEMED A SALE BY THE ENGINEER AND THE ENGINEER MAKES NO WARRANTIES, EITHER EXPRESS OR IMPLIED, OF MERCHANTABILITY AND FITNESS FOR ANY PARTICULAR PURPOSE. IN NO EVENT SHALL THE ENGINEER BE LIABLE FOR INDIRECT OR CONSEQUENTIAL DAMAGES AS A RESULT OF THE USE OR REUSE OF THE ELECTRONIC FILES BY OTHERS.

ELECTRONIC INFORMATION IS INTENDED TO PROVIDE INFORMATION SUPPLEMENTAL AND SUBORDINATE TO THE CONSTRUCTION CONTRACT DOCUMENTS. LAYOUT AND CONSTRUCTION OF PROJECT ELEMENTS SHALL BE BASED ON DIMENSIONS AND INFORMATION INCLUDED ON THE SIGNED AND SEALED CONSTRUCTION CONTRACT DOCUMENTS WHICH SHALL CONTROL OVER ELECTRONIC INFORMATION. USER IS RESPONSIBLE FOR CONFIRMING LOCATION OF PROPOSED IMPROVEMENTS BASED ON DIMENSIONS AND INFORMATION INCLUDED ON THE CONSTRUCTION CONTRACT DOCUMENTS. INCONSISTENCIES BETWEEN THE ELECTRONIC INFORMATION AND THE CONSTRUCTION CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION PRIOR TO CONSTRUCTION.

PROJECT ELEMENTS SUCH AS MANHOLES, CATCH BASINS, UTILITY VAULTS, VALVE ASSEMBLIES, STAIRS, RAMPS, WALLS, ETC. ARE SHOWN SCHEMATICALLY IN THE ELECTRONIC INFORMATION AND CONSTRUCTION OF THESE ELEMENTS SHALL BE IN ACCORDANCE WITH THE CONSTRUCTION NOTES AND DETAILS PRESENTED OR REFERENCED IN THE SIGNED AND SEALED CONSTRUCTION CONTRACT DOCUMENTS. IMPROVEMENTS CONSTRUCTED BASED ON ELECTRONIC INFORMATION AND IN CONFLICT WITH THE DRAWING DIMENSIONS, DETAILS, AND THE CONSTRUCTION CONTRACT DOCUMENTS SHALL BE REMOVED AND CONSTRUCTED IN THE PROPER LOCATION AND DIMENSIONS AT CONTRACTOR'S SOLE EXPENSE.

DIGITAL DRAWINGS ARE TYPICALLY A COMPILATION OF DRAWINGS FROM A NUMBER OF SOURCES AND, AS SUCH, THERE IS INFORMATION IN THE ELECTRONIC FILE ISSUED BY THE ENGINEER THAT WAS NOT DEVELOPED BY THE ENGINEER AND IS NOT AUTHORIZED BY THE ENGINEER FOR USE BY OTHERS. ELECTRONIC INFORMATION PROVIDED BY THE ENGINEER SHALL ONLY BE APPLICABLE FOR IMPROVEMENTS DESIGNED BY THE ENGINEER AND WHICH ARE SPECIFICALLY DESIGNATED BY CONSTRUCTION NOTES AND/OR DETAILS ON THE SIGNED AND SEALED CONTRACT DOCUMENTS.

IF DIGITAL FILES ARE OBTAINED WITH THE INTENT TO USE THEM FOR PROJECT STAKING, THE FILE SHALL ONLY BE USED BY A QUALIFIED ENGINEER OR LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA. DIGITAL INFORMATION SHALL ONLY BE USED FOR STAKING HORIZONTAL LOCATION OF PROPOSED IMPROVEMENTS AFTER IT HAS BEEN CORRELATED WITH THE SIGNED AND SEALED CONSTRUCTION CONTRACT DOCUMENTS.

THE DIGITAL DRAWINGS ARE NOT INTENDED TO BE USED DIRECTLY FOR CONTROL OF CONTRACTOR'S GRADING OPERATIONS WITHOUT STAKING BY ENGINEER OR LAND SURVEYOR. THE INTERSECTION OF PROPOSED CUT AND FILL SLOPES WITH EXISTING GRADE IS APPROXIMATE WHERE SHOWN ON THE DRAWINGS AND SHALL BE CONFIRMED BY FIELD STAKING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT SLOPES IN CONFORMANCE WITH THE SPECIFIED AND DETAILED REQUIREMENTS CONTAINED IN THE CONTRACT DOCUMENTS.

SURVEY NOTES:

EXISTING SURVEY INFORMATION FROM PLAN PREPARED BY _____
 DATED _____ UPDATED _____
 BOUNDARY DATA PER: _____
 HORIZONTAL DATUM: _____
 BASIS OF BEARINGS: _____
 VERTICAL DATUM: _____
 PARCEL SIZE: _____

CAUTION: CONFIRM BENCHMARK DATA AND CONDITION WITH PROJECT SURVEYOR PRIOR TO USE.

PROTECT AND PRESERVE: IN PLACE ALL SURVEY MONUMENTS AND BENCHMARKS. DO NOT DISTURB, MOVE, OR RELocate MONUMENTS OR BENCHMARKS WITHOUT THE PRIOR REVIEW AND APPROVAL BY THE AGENCY HAVING JURISDICTION OVER THE MONUMENT OR BENCHMARK. THE CONTRACTOR SHALL CONTRACT WITH A LICENSED SURVEYOR FOR MONUMENTS REQUIRING DISTURBANCE OR REMOVAL, AND THE SURVEYOR SHALL RESET THE MONUMENTS OR PROVIDE PERMANENT WITNESS MONUMENTS AND FILE THE REQUIRED DOCUMENTATION WITH THE COUNTY OR CITY SURVEYOR PURSUANT TO ALL APPLICABLE BUSINESS AND PROFESSIONAL CODES.

OWNER'S RESPONSIBILITIES:

- A. PRIOR TO COMMENCING CONSTRUCTION CALLED FOR BY THESE PLANS, SPECIFICATIONS AND DETAILS, THE OWNER SHALL ENGAGE A GEOTECHNICAL ENGINEER TO PROVIDE CONSTRUCTION PHASE OBSERVATION AND TESTING SERVICES AND SHALL ALSO ENGAGE THE PROJECT ENGINEER OR ANOTHER QUALIFIED PARTY TO PROVIDE PROJECT CONSTRUCTION OBSERVATION AND ASSURANCES ON CONFORMANCE WITH THE APPROVED PLANS, SPECIFICATIONS AND AGENCY REQUIREMENTS. THE OWNER SHALL ALSO ASSURE THAT CONTRACTORS ENGAGED TO PROPERLY IMPLEMENT THE CONSTRUCTION CALLED FOR ON THESE PLANS, SPECIFICATIONS AND DETAILS INCLUDING THOSE TASKS CALLED FOR ON THE PROJECT STORM WATER POLLUTION PREVENTION PLAN DOCUMENT OR EROSION CONTROL PLAN SHEETS ATTACHED AS PART OF THESE PLANS.
- B. GEOTECHNICAL ENGINEER'S RESPONSIBILITIES:
- A GEOTECHNICAL ENGINEER SHALL REVIEW THESE PLANS WITH RESPECT TO GENERAL CONFORMANCE WITH THE INTENT OF THE RECOMMENDATIONS PRESENTED IN THE PROJECT SOILS ENGINEERING REPORT. THE PLAN REVIEW SHALL BE PERFORMED SPECIFICALLY WITH RESPECT TO GEOTECHNICAL FACTORS DISCUSSED IN THE REFERENCED REPORT. IN PERFORMING THE REVIEW, A GEOTECHNICAL ENGINEER SHALL ATTEMPT TO VERIFY THAT THE CONCEPTS AND RECOMMENDATIONS PRESENTED IN THE REPORT ARE GENERALLY INCORPORATED INTO THE PLANS. IN ACCORDANCE WITH THE LEVEL OF REVIEW, THE PLANS ARE TO BE FOUND IN SUBSTANTIAL CONFORMANCE WITH THE CONCEPTS AND RECOMMENDATIONS PRESENTED IN THE NOTED REPORT.
 - UPON BEING RETAINED BY THE OWNER, PRIOR TO CONSTRUCTION THE GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE OWNER AND THE CONTRACTOR THE LEVEL OF OBSERVATION AND TESTING THAT WILL BE PROVIDED DURING CONSTRUCTION. PROVIDED THAT THE CONTRACTOR FULFILLS HIS OR HER RESPONSIBILITY FOR TIMELY REQUESTS FOR THOSE SERVICES DURING CONSTRUCTION, THE GEOTECHNICAL ENGINEER SHALL PROVIDE OBSERVATION AND TESTING AT THE PROJECT WORK AREA OF EARTHWORK OPERATIONS, INCLUDING TRENCHING AND PAVEMENT SUBGRADE PREPARATION, AS NECESSARY TO HAVE REASONABLE CERTAINTY THAT THE EARTHWORK IS PERFORMED IN GENERAL COMPLIANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS, AND WITH THE REQUIREMENTS OF SANTA BARBARA COUNTY CODE CHAPTER 14 (GRADING ORDINANCE No.4766).
 - UPON COMPLETION OF EARTHWORK, THE GEOTECHNICAL ENGINEER SHALL, UPON REQUEST, PROVIDE A FINAL REPORT WITH RESULTS OF THEIR OBSERVATION AND TESTING DURING EARTHWORK OPERATIONS. PROVIDED THAT THE WORK IS PERFORMED IN CONFORMANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS, THE REPORT WILL STATE THEIR OPINION THAT THE GRADING WAS COMPLETED IN SUBSTANTIAL COMPLIANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- C. CONTRACTOR'S STORM WATER POLLUTION CONTROL RESPONSIBILITIES:

- THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT AND MAINTAIN POLLUTION PREVENTION MEASURES, INCLUDING THOSE FOR EROSION AND SEDIMENT CONTROL, AS NECESSARY TO PREVENT ANY POLLUTANT AT ANY LEVEL FROM BEING CONVEYED OFF THE CONSTRUCTION SITE AND THAT THESE MEASURES MUST CONTINUE TO BE MAINTAINED UNTIL THE REQUIRED POST-CONSTRUCTION POLLUTION PREVENTION MEASURES ARE IN PLACE AND COMPLETELY FUNCTIONAL, INCLUDING PERMANENT LANDSCAPING.
- THE SPECIFIC MEASURES WHICH MAY BE CALLED FOR ON THE PROJECT STORM WATER POLLUTION PREVENTION PLAN CANNOT ADDRESS ALL SITE DEVELOPMENT AND STORM CHARACTERISTICS WHICH WILL EVOLVE OVER THE COURSE OF CONSTRUCTION AND THAT IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOT ONLY IMPLEMENT THE PLAN, BUT TO MAKE ADJUSTMENTS AND EXPANSIONS IN THE IMPLEMENTATION AS NECESSARY TO ADAPT TO THE CONTRACTOR'S CONSTRUCTION OPERATIONS AND SCHEDULE AND TO ADDRESS EVOLVING SITE CONDITIONS AND ACTUAL WEATHER CONDITIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE EMPLOYEES AND SUBCONTRACTORS ARE TRAINED REGARDING THESE REQUIREMENTS AND TO MAINTAIN RECORDS OF THE INSTALLATION, MODIFICATION, INSPECTION, AND MAINTENANCE OF STORM WATER POLLUTION PREVENTION MEASURES INCLUDING, BUT NOT LIMITED TO, TRAINING, INSPECTION, MAINTENANCE LOGS; RECORD DRAWINGS SHOWING LOCATIONS, LIMITS, AND DATES OF INSTALLATION FOR VARIOUS MEASURES; DATED PHOTOGRAPHS AND FIELD NOTES.
- THE CONTRACTOR SHALL BE FAMILIAR WITH AND AGREE TO IMPLEMENT THE MEASURES AND INSTALLATIONS DEPICTED ON THE PROJECT STORM WATER POLLUTION PREVENTION PLAN INCLUDING INSTALLATION, ROUTINE INSPECTION AND MAINTENANCE, ADJUSTMENTS AND EXPANSION DUE TO EVOLVING SITE CONDITIONS, EMERGENCY MAINTENANCE AND ADJUSTMENTS DUE TO ACTUAL STORM AND SITE CONDITIONS, AND DOCUMENTATION.



DIAL TOLL FREE
 811 OR
 (1-800-227-2600)
 AT LEAST TWO DAYS
 BEFORE YOU DIG

- APPLICABLE CODES:**
- CALIFORNIA BUILDING CODE, VOLS 1 & 2 (2019)1
 - CALIFORNIA MECHANICAL CODE (2019)1
 - CALIFORNIA PLUMBING CODE (2019)1PC
 - CALIFORNIA MECHANICAL CODE (2019)1MC
 - CALIFORNIA ELECTRICAL CODE (2019)1EC
 - CALIFORNIA FIRE CODE (2019)1
 - CALIFORNIA GREEN BUILDING CODE (2013)1
 - CALIFORNIA TREE CODE (2015)
 - CALIFORNIA REFERENCE STANDARDS CODE (2015)

PROJECT INFORMATION AND PRELIMINARY EARTHWORK ESTIMATE.

ZONING:	402
APN:	4PM 04620-016
SITE AREA:	16.7 ACRES
AREA DISTURBED:	12 ACRES
AVERAGE % (C/F) GROUND:	5.5%
GRADING INFORMATION:	
CUT QUANTITY:	5,700 CUBIC YARDS
FILL QUANTITY:	1,800 CUBIC YARDS
NET QUANTITY:	3,900 CUBIC YARDS EXPORT

*THE EARTHWORK QUANTITIES ABOVE ARE FOR BUILDING PURPOSES ONLY. THEY HAVE NOT BEEN FACTORED TO ACCOUNT FOR CHANGES IN VOLUME DUE TO CLEARING AND GRUBBING, SHRINKAGE, OVEREXCAVATION, AND RECOMPACTION.

NAPA COUNTY GRADING NOTES

- PERFORM GRADING IN ACCORDANCE WITH THE LATEST EDITION OF APPROPRIATE CHAPTER 15 OF THE CALIFORNIA BUILDING CODE, APPLICABLE NAPA COUNTY REGULATIONS AND THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY _____ DATE: _____
- EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THE SITE AND LOCATED THROUGHOUT THE SITE SHALL REMAIN OPEN AND CLEAR OF DEBRIS TO PROPERLY CONVEY WATER. IF EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THE SITE ARE LOCATED IN THE COUNTY RIGHT-OF-WAY AND NEED MAINTENANCE, CONTACT THE DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS FOR FURTHER ASSISTANCE. IN ANY EVENT, THE OWNER AND/OR CONTRACTOR SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
- RETAINING WALLS ARE NOT APPROVED UNDER THIS GRADING PERMIT. RETAINING WALLS REQUIRE A SEPARATE BUILDING PERMIT, UNLESS EXEMPTED.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER UPON DISCOVERING NEARBY UTILITY ENCOUNTERS, BURIED OR DIMINISHED IN THE PLANS, PRIOR TO PROCEEDING. THE OWNER SHALL HAVE THE PLANS REVISED TO CLARIFY ANY ENCOUNTERS, BURIED OR DIMINISHED. THE REVISED PLANS SHALL BE SUBJECT TO REVIEW BY THE CHIEF BUILDING OFFICIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UNDERGROUND SERVICE ALERT (UGAL). UGAL TOLL FREE AT 800-HOW2CALL AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION. THE CONTRACTOR SHALL UNCOVER RELEVANT UTILITIES TO VERIFY THEIR LOCATION AND BEHAVIOR. IF UNEXPECTED OR CONFLICTING UTILITIES ARE ENCOUNTERED DURING EXCAVATION, NOTIFY U.S.A. THE UTILITY OWNER AND/OR THE PROJECT ENGINEER IMMEDIATELY. UTILITIES INCLUDE BUT ARE NOT LIMITED TO WATER, SEWER, ELECTRICAL, GAS, TELEPHONE AND CABLE.
- IN THE EVENT CULTURAL RESOURCES (I.E. HISTORICAL, ARCHAEOLOGICAL AND PALEONTOLOGICAL RESOURCES), AND HUMAN REMAINS ARE DISCOVERED DURING GRADING OR OTHER CONSTRUCTION ACTIVITIES, WORK SHALL BE HALTED WITHIN A 100 FOOT BUFFER OF THE FIND. THE NORTHWEST INFORMATION CENTER SHALL BE NOTIFIED AT (707) 664-4884. A QUALIFIED ARCHITECT SHALL BE CONSULTED FOR AN ON-SITE EVALUATION. ADDITIONAL NOTIFICATION MAY BE REQUIRED BY THE COUNTY PER THE AERIOLOGIST'S RECOMMENDATIONS. IF HUMAN REMAINS OR HUMAN REMAINS ARE ENCOUNTERED, THE CONTRACTOR SHALL ALSO NOTIFY THE COUNTY CORONER AT (707) 945-5575.
- SHOULD GRADING OPERATIONS ENCOUNTER HAZARDOUS MATERIALS OR WHAT APPEAR TO BE HAZARDOUS MATERIALS, STOP WORK IN THE AFFECTED AREA IMMEDIATELY AND CONTACT 911 OR THE APPROPRIATE AGENCY FOR FURTHER INSTRUCTION.
- THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLANS SHALL BE MAINTAINED ON THE PROJECT SITE THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
- DRAINAGE FACILITIES AND GRADING SHALL BE INSPECTED BEFORE RECEIVING FINAL APPROVAL. THE CONTRACTOR SHALL CONSULT THE PROJECT JOB CARD FOR COORDINATION OF INSPECTION MEASURES.

SMA

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 Fax (707) 824-0707

CENTRAL COAST
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 Suite 3-221
 Solvang, CA 93463
 (805) 541-6730

www.SMAssociates.net

PRELIMINARY GRADING AND DRAINAGE PLAN GRADING NOTES

PAUL HOBBS - NATHAN COOMBS WINERY
 2184 Imola Avenue
 Napa, CA 94559
 AP# 046-251-016

REVISIONS

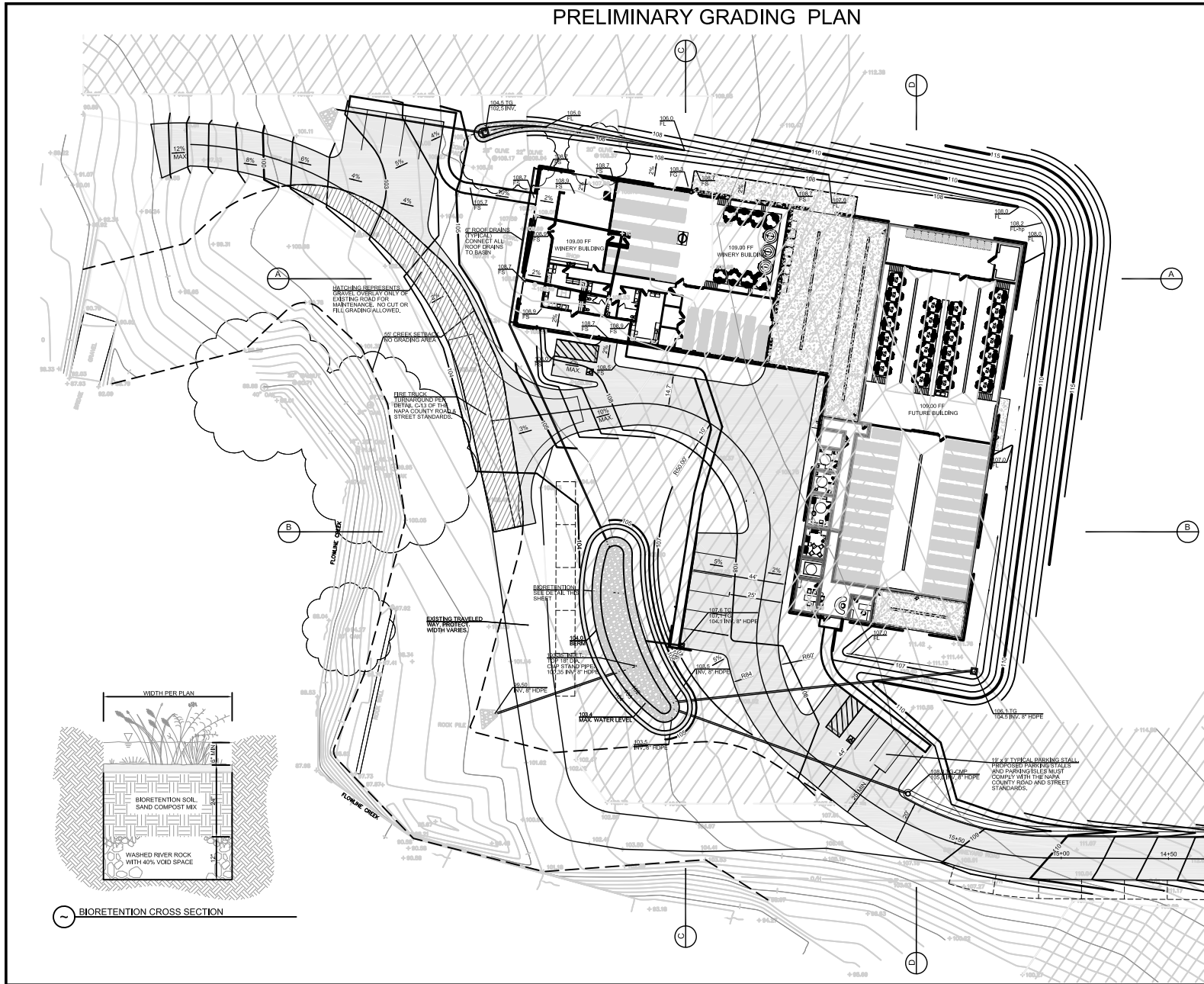
DATE	DESCRIPTION

JOB NO. SMA 2013-016
 DATE FEBRUARY 14, 2017
 DRAWN
 FILE NO.
 SHEET

C2
 GRADING NOTES

PAUL HOBBS - NATHAN COOMBS WINERY

PRELIMINARY GRADING PLAN



SMA

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PRELIMINARY GRADING AND DRAINAGE PLAN

PAUL HOBBS - NATHAN COOMBS
 WINERY
 2184 Imola Avenue
 Napa, CA 94559
 AP# 046-351-016

REVISIONS

DATE	DESCRIPTION

JOB NO. SMA 2013-016
 DATE FEBRUARY 14, 2017
 DRAWN
 FILE NO.
 SHEET

C3
 PRELIMINARY
 GRADING PLAN

PAUL HOBBS - NATHAN COOMBS WINERY

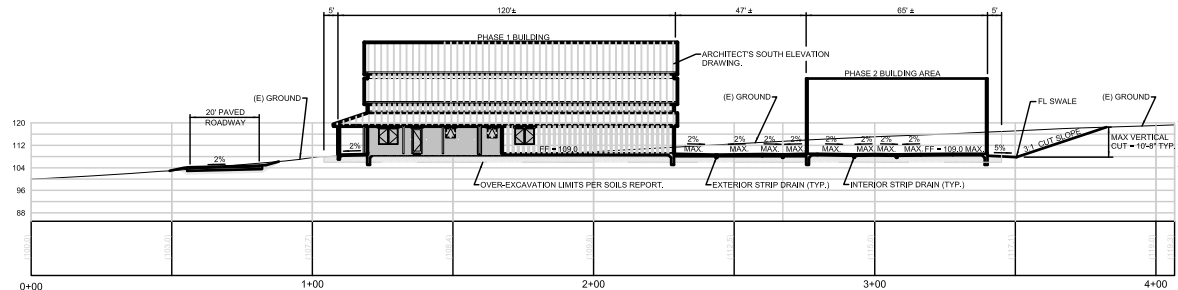
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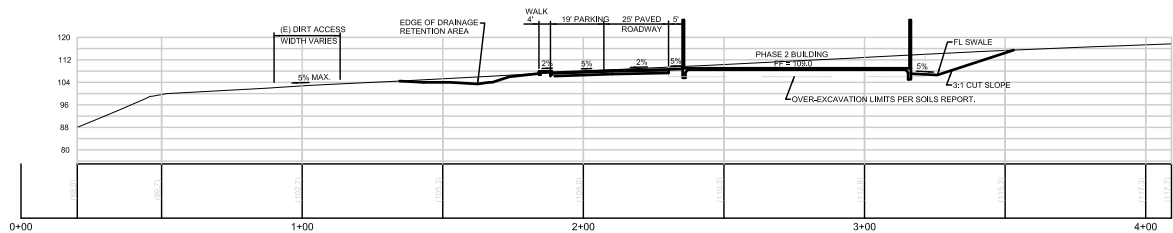
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Solvang, CA 93483
(805) 541-8730

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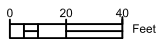
GRADING SECTION A

SCALE: 1" = 20'
HORIZ. & VERT.



GRADING SECTION B

SCALE: 1" = 20'
HORIZ. & VERT.



PRELIMINARY GRADING AND DRAINAGE PLAN
SITE GRADING SECTIONS

PAUL HOBBS - NATHAN COOMBS

WINERY
2184 Imola Avenue
Napa, CA 94559
AP# 046-351-016

REVISIONS

DATE	DESCRIPTION

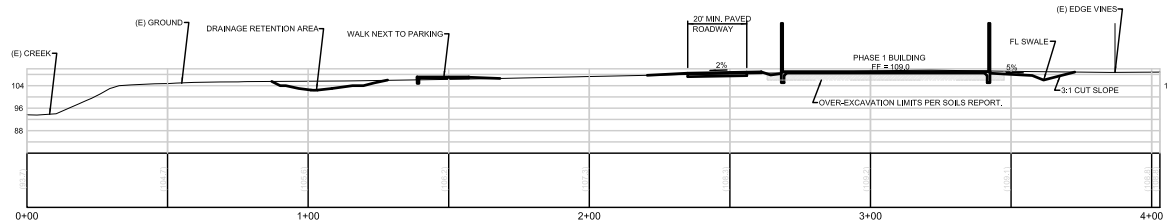
JOB NO. SMA 2013-016
DATE FEBRUARY 14, 2017
DRAWN
FILE NO.
SHEET

C4

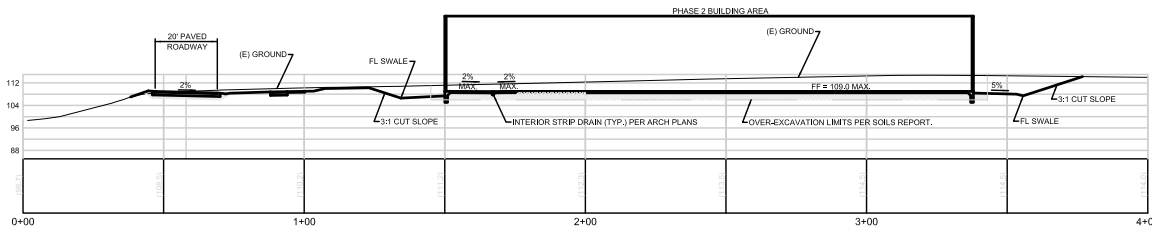
SITE GRADING SECTIONS



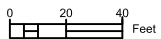
PAUL HOBBS - NATHAN COOMBS WINERY



GRADING SECTION C
SCALE: 1" = 20'
HORIZ. & VERT.



GRADING SECTION D
SCALE: 1" = 20'
HORIZ. & VERT.



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Solvang, CA 93483
(805) 541-9730
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PRELIMINARY GRADING AND DRAINAGE PLAN
SITE GRADING SECTIONS

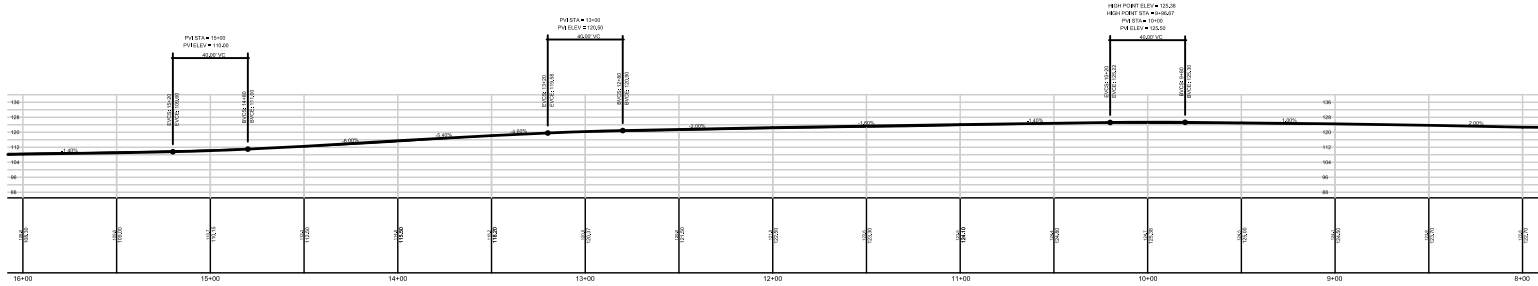
PAUL HOBBS - NATHAN COOMBS
WINERY
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Napa, CA 94559
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DATE	DESCRIPTION

JOB NO. SMA 2013-016
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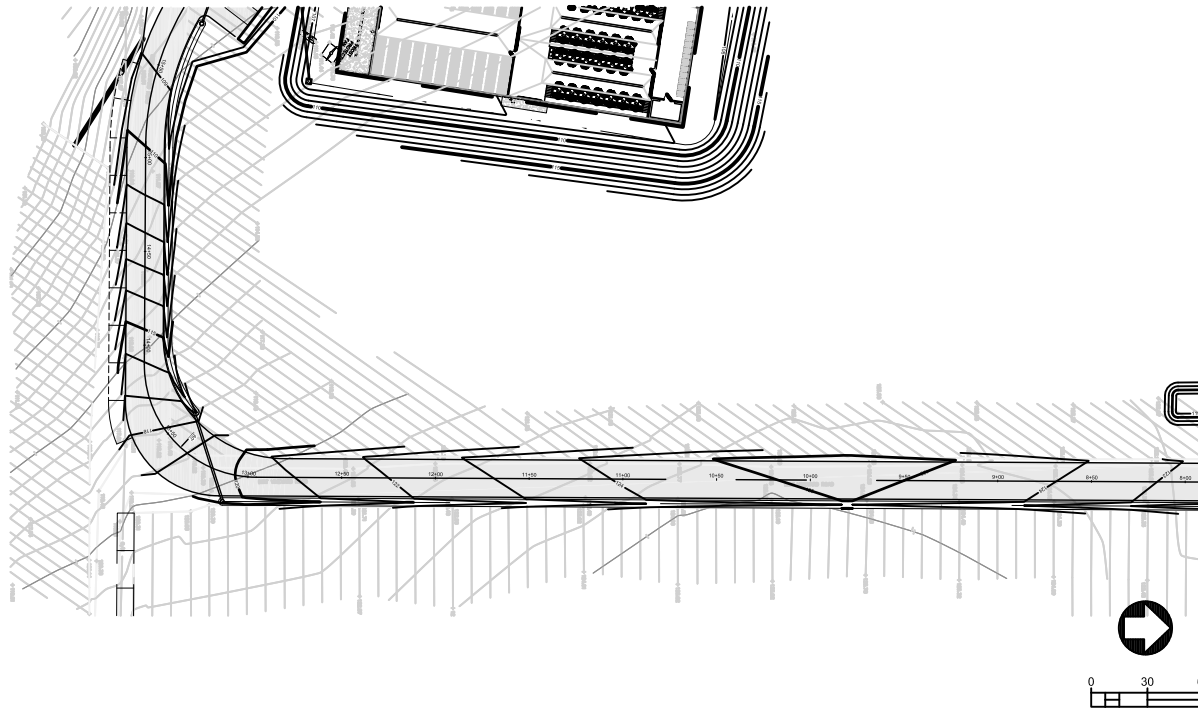
C5
SITE GRADING SECTIONS

PAUL HOBBS - NATHAN COOMBS WINERY



20' WIDE ROAD, PROFILE

SCALE: 1" = 30'
HORIZ. & VERT.



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PRELIMINARY GRADING AND DRAINAGE PLAN
ROADWAY PLAN AND PROFILE

PAUL HOBBS - NATHAN COOMBS
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Napa, CA 94559
AP# 046-351-016

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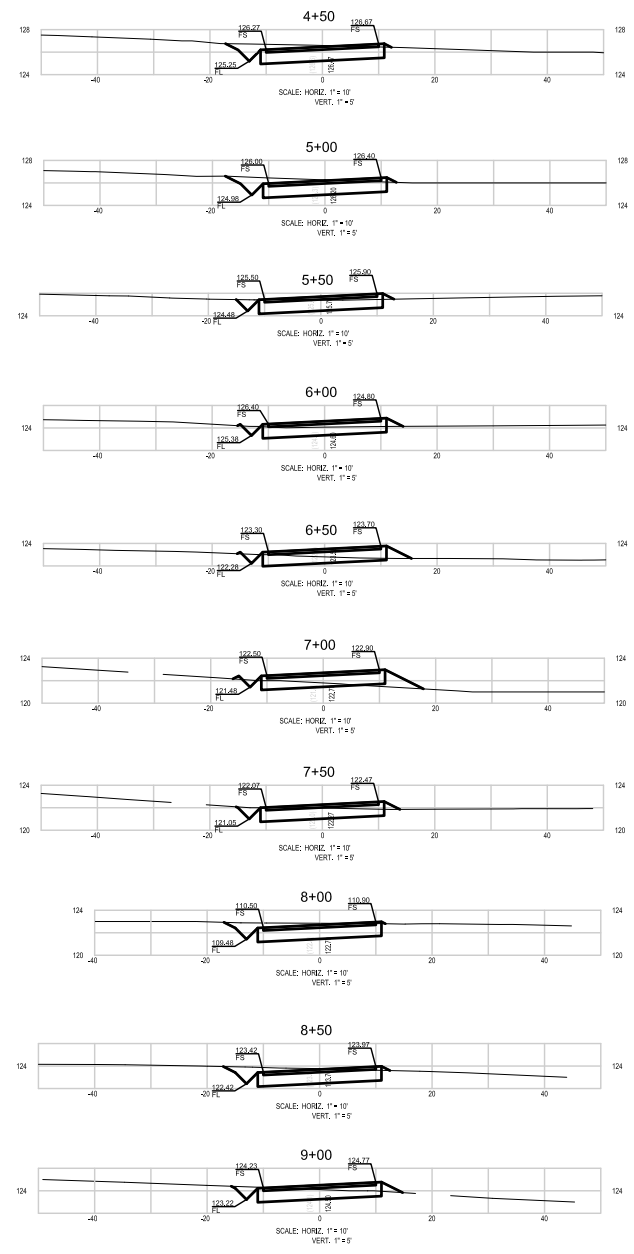
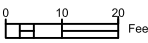
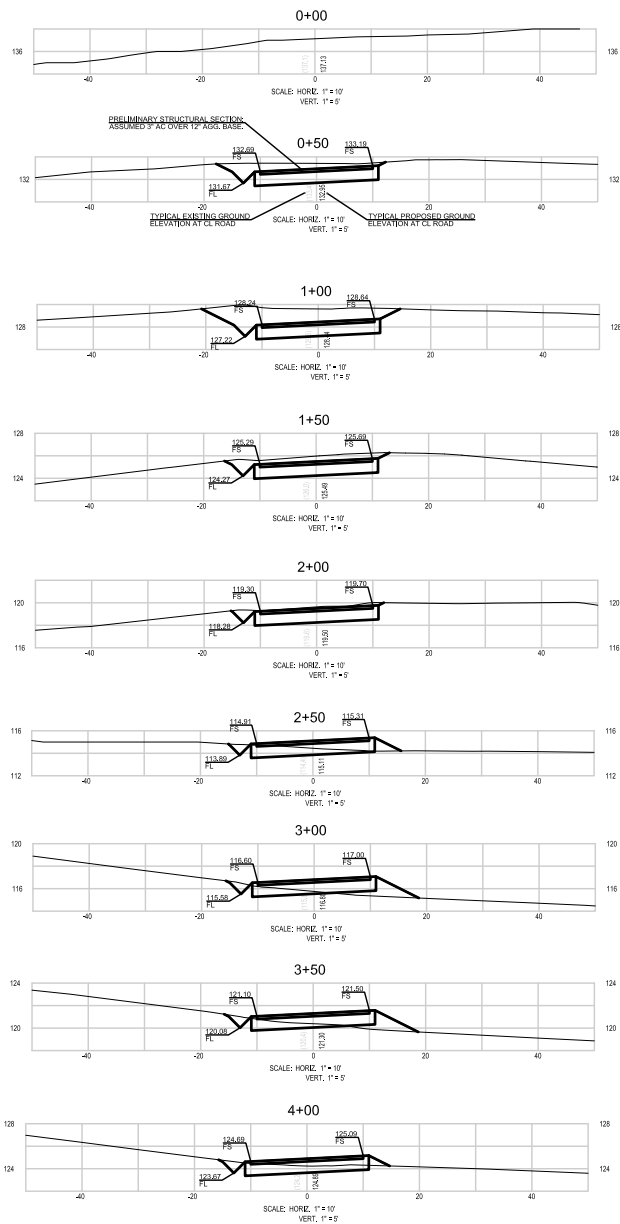
DATE	DESCRIPTION

JOB NO. SMA 2013-016
DATE FEBRUARY 14, 2017
DRAWN
FILE NO.
SHEET

C7

ROADWAY PLAN AND PROFILE

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PRELIMINARY GRADING AND DRAINAGE PLAN
ROAD CROSS SECTIONS

PAUL HOBBS - NATHAN COOMBS
WINERY
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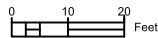
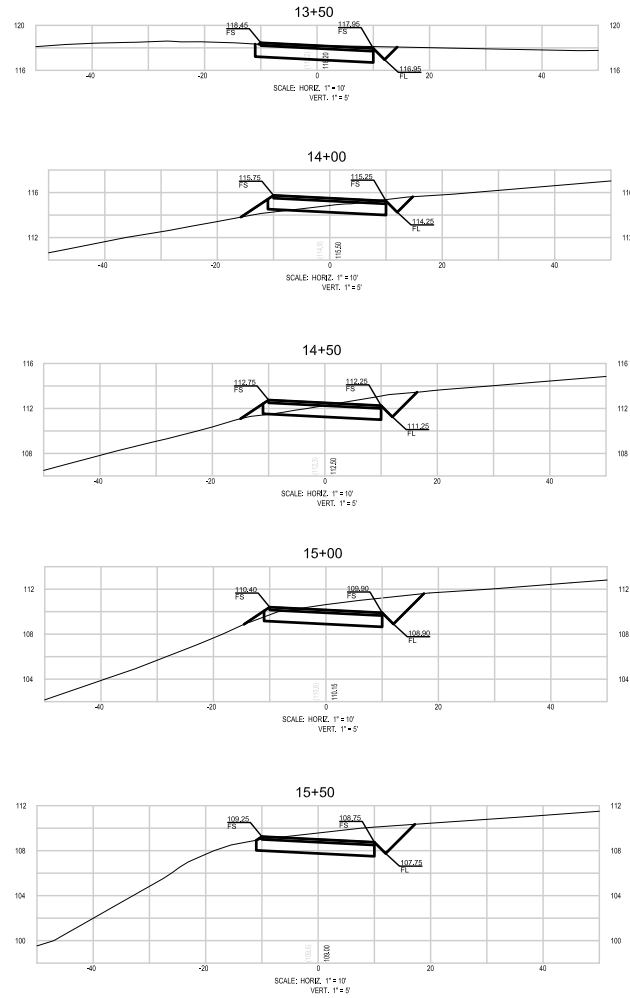
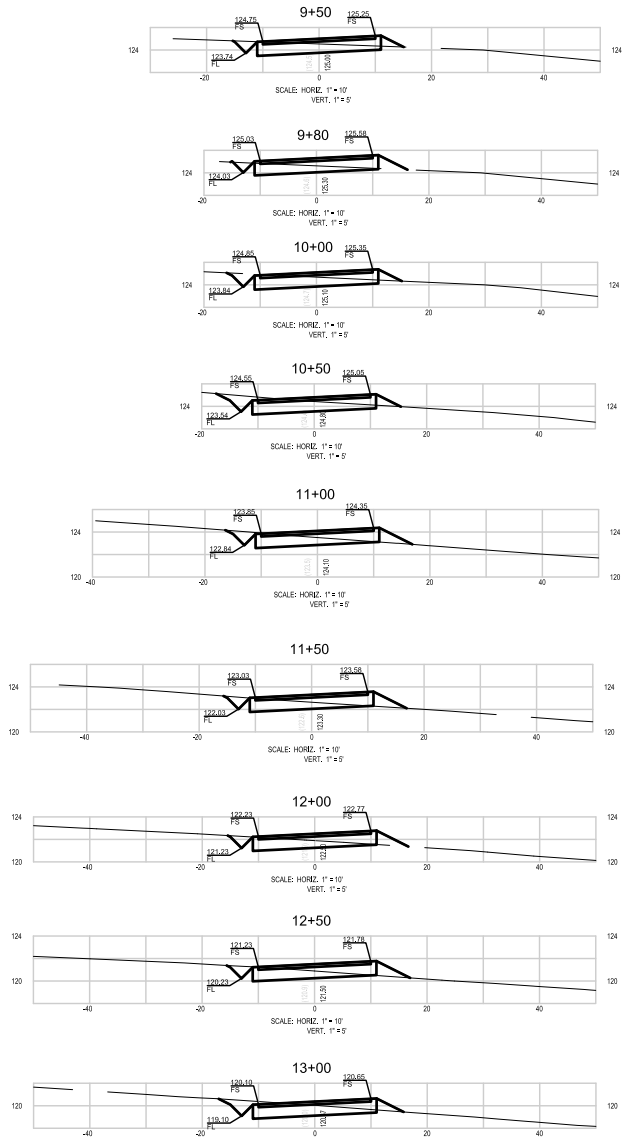
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DATE FEBRUARY 14, 2017
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FILE NO.
SHEET

C8
ROAD CROSS SECTIONS

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PRELIMINARY GRADING AND DRAINAGE PLAN
ROAD CROSS SECTIONS

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C9
ROAD CROSS
SECTIONS