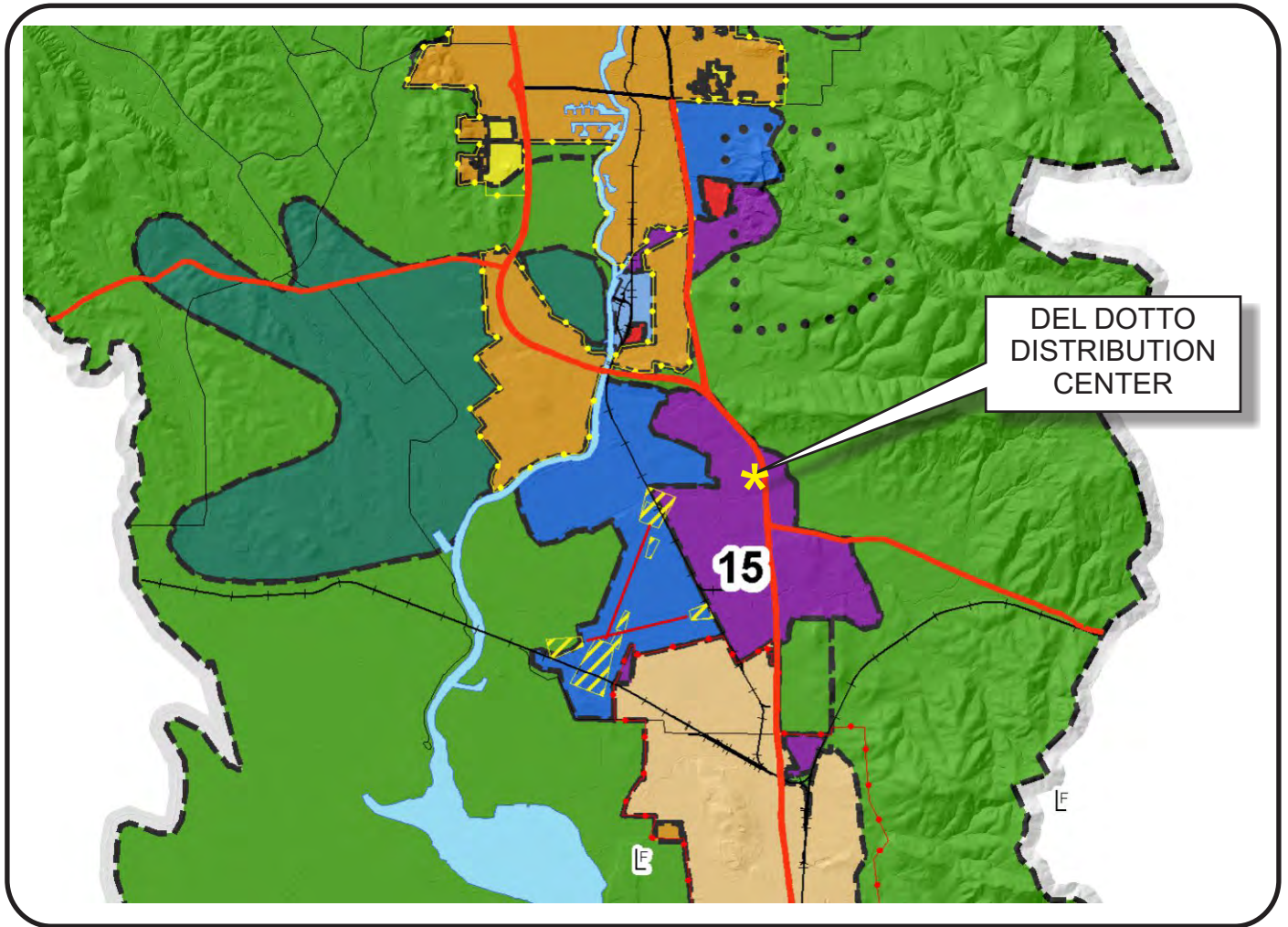


“G”

Graphics

NAPA COUNTY LAND USE PLAN 2008 - 2030



DEL DOTTO
DISTRIBUTION
CENTER

15

SCALE IN MILES



LEGEND



URBANIZED OR NON-AGRICULTURAL

- Study Area
- Cities
- Urban Residential*
- Rural Residential*
- Industrial
- Public-Institutional
- Napa Pipe Mixed Use

OPEN SPACE

- Agriculture, Watershed & Open Space
- Agricultural Resource

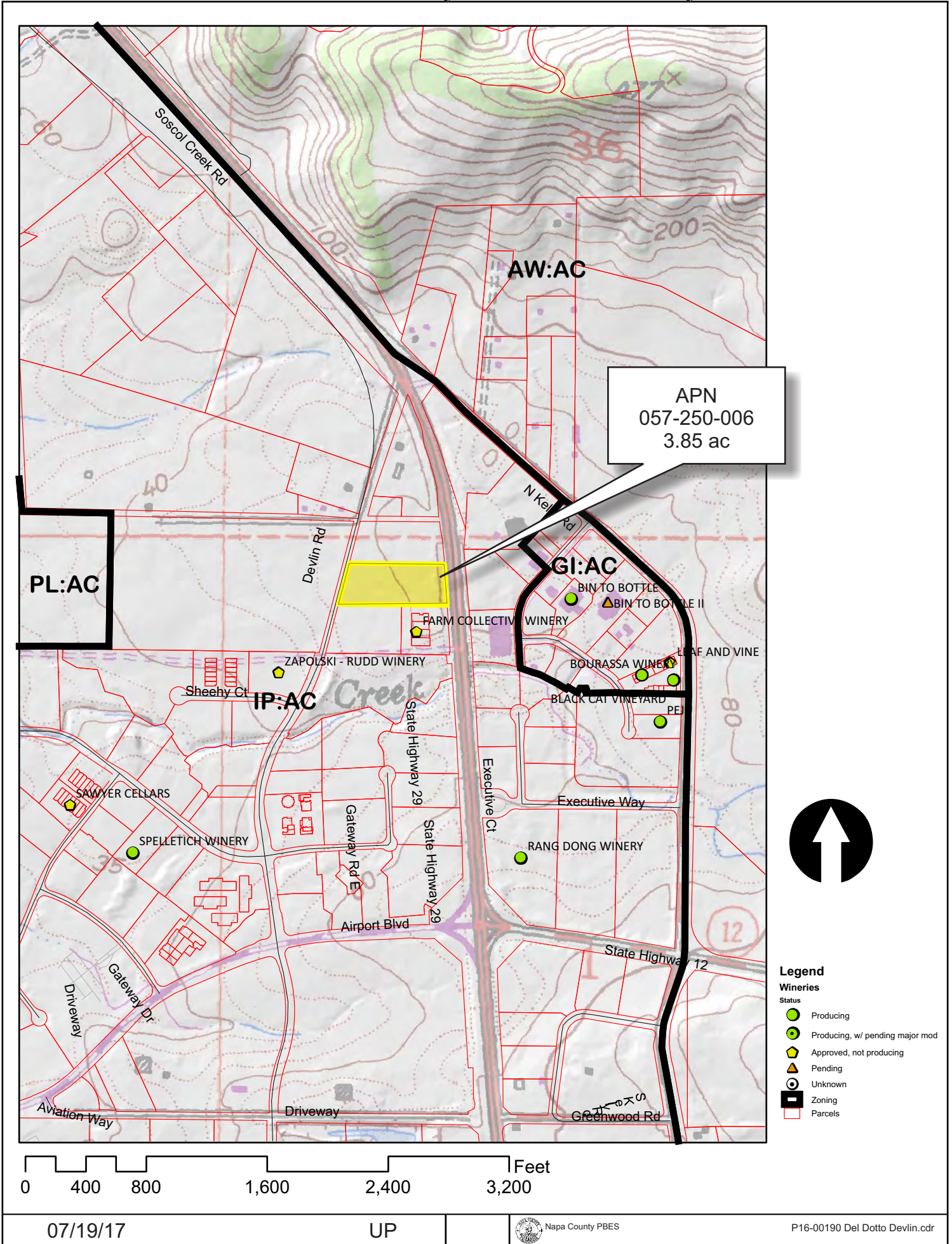
TRANSPORTATION

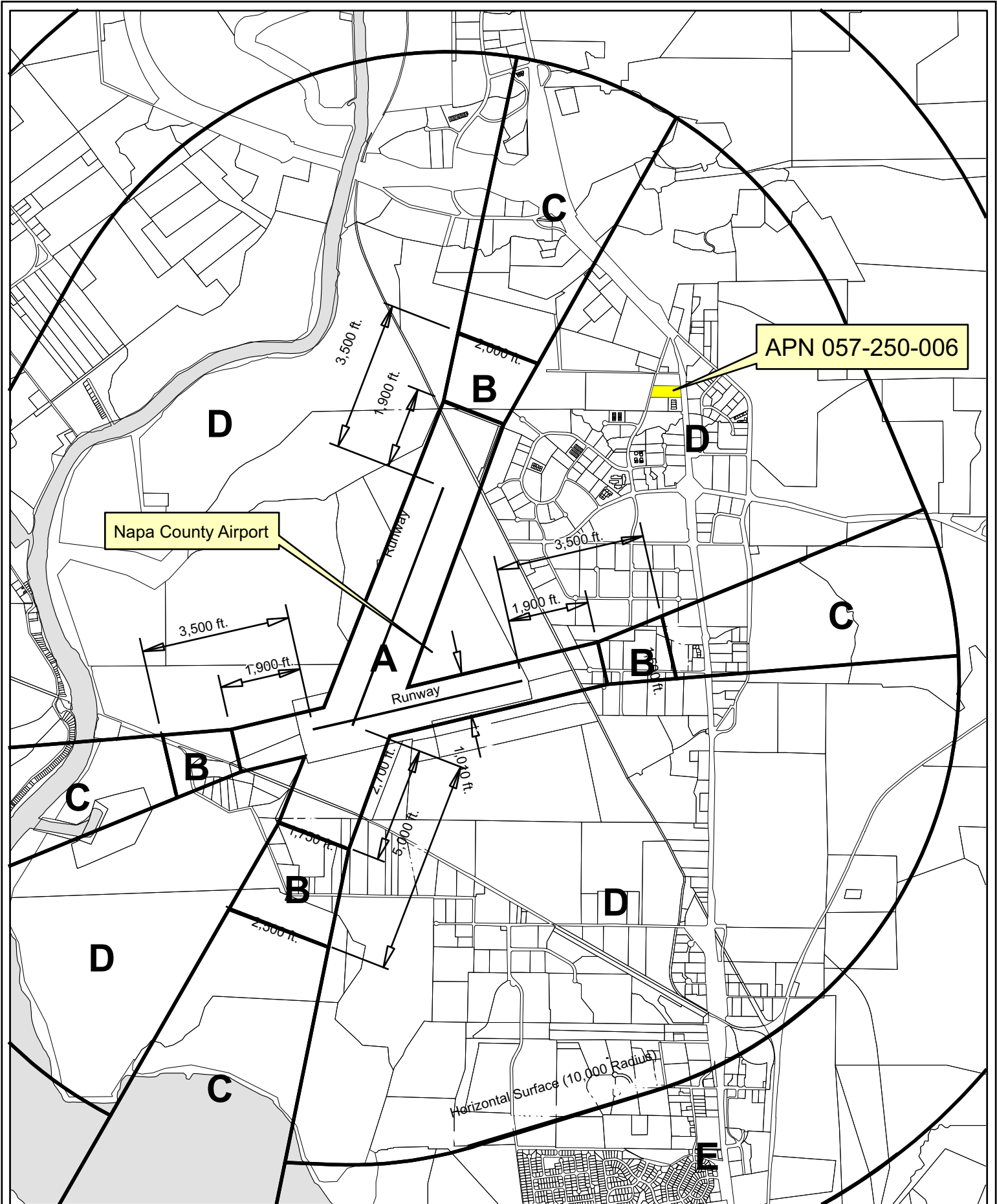
- Mineral Resource
- Limited Access Highway
- Major Road
- American Canyon ULL
- City of Napa RUL
- Landfill - General Plan
- Secondary Road
- Airport
- Railroad
- Airport Clear Zone

* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations

APN
057-250-006
07-19-2016
UP

Del Dotto Winery Distribution Facility





Napa County Airport

APN 057-250-006

Compatibility Plan

Napa County Airport

Horizontal Datum: NAD 83,
CA State Plane Coordinates,
Zone II, feet



Disclaimer: This map was prepared for informational purposes only. No liability is assumed for the accuracy of the data delineated herein.



0 700 1,400 2,800'

Napa County P.B.E.S. - 06/2017

P16-00190 Del Dotto Devlin.cdr

Del Dotto Winery Distribution Facility



Del Dotto Winery Distribution Facility

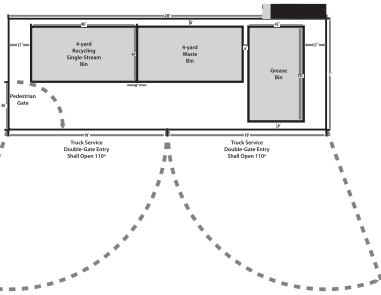
RGA

Office of Architectural Design

15231 Alton Parkway, Suite 100
Irvine, CA 92618
T 949-341-0920
FX 949-341-0922

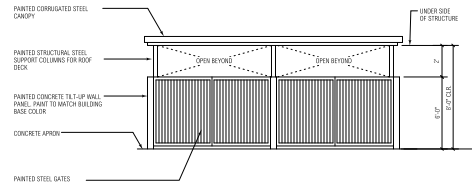
Exhibit E

Standards for medium size recycling enclosures for food preparation facilities
Interior enclosure dimensions shown



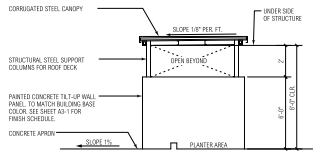
TRASH ENCLOSURE PLAN

SCALE: 1/4" = 1'-0"



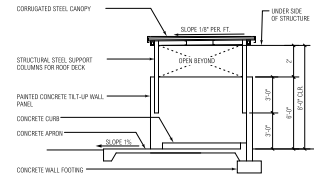
TRASH ENCLOSURE FRONT ELEVATIONS

SCALE: 1/4" = 1'-0"



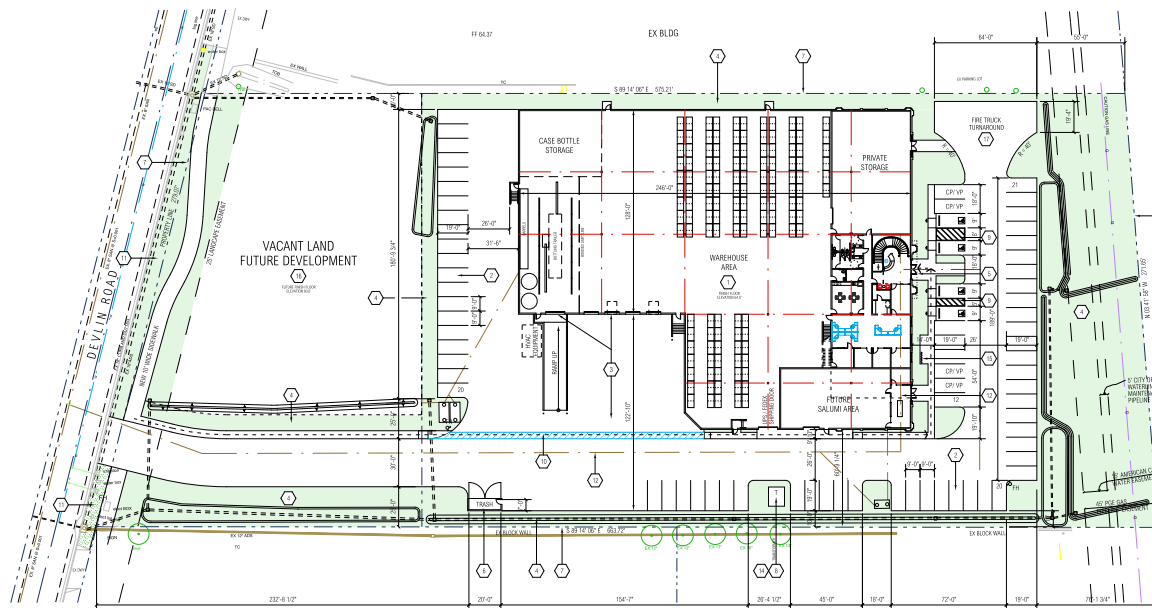
TRASH ENCLOSURE SIDE ELEVATIONS

SCALE: 1/4" = 1'-0"



TYPICAL TRASH ENCLOSURE SECTION

SCALE: 1/4" = 1'-0"



SITE PLAN

SCALE: 1" = 30'-0"

PROJECT DATA

NET PROJECT SITE	16,700 SF / 3.86 AC
OVERALL BUILDING AREA	4,307 SF
FIRST FLOOR OFFICE AREA	1,032 SF
FIRST FLOOR SALUM ROOM AREA (FUTURE PHASE)	2,388 SF
FIRST FLOOR WAREHOUSE AREA	363.19 SF
SECOND FLOOR OFFICE AREA (FUTURE PHASE)	5,177 SF
SECOND FLOOR STORAGE AREA (FUTURE PHASE)	2,388 SF
TOTAL BUILDING AREA	6,546 SF
OVERALL NET LOT COVERAGE	26.84%
OVERALL F.A.R.	20.29%
PARKING REQUIRED	37 STALLS
OFFICE (0.50 SF / 3.24 SF)	2 STALLS
SALUM ROOM (1.00 SF / 6.89 SF)	5 STALLS
WAREHOUSE (0.25 SF / 1.62 SF)	20 STALLS
1.00 SF / 3.00 SF	10 STALLS
1.00 SF / 3.00 SF	10 STALLS
TOTAL STALLS REQUIRED	73 STALLS
PARKING PROVIDED	65 STALLS
STANDARD STALLS	4 STALLS
CARPOOL / VAN POOL	4 STALLS
BIKE / BICYCLE STALLS	2 STALLS
TOTAL STALLS PROVIDED	70 STALLS
BIKE / BICYCLE STALLS ONLY OF MOTORCYCLES (CAL. URBAN)	4 STALLS
BIKE / BICYCLE STALLS ONLY OF DESIGNATED (LONG TERM PARKING)	1 STALL
TOTAL BIKE / BICYCLE STALLS PROVIDED	5 STALLS
REQUIRED SITE LANDSCAPE AREA	33,552 SF / 2,010.7%
PROVIDED SITE LANDSCAPE AREA	32,913 SF / 2,015.9%

PROJECT SUMMARY:

GENERAL PLAN DESIGNATION: BUSINESS INDUSTRIAL
ZONE DESIGNATION: NAPA VALLEY BUSINESS PARK
CONSTRUCTION TYPE: II-B
OCCUPANCY: B-5-1

ASSESSOR'S PARCEL NO.'S:

0570-26-008

OWNER

DEL DOTTO WINERY
1251 W. ZIMMENDL LANE
ST. HELENA, CA 94574
PH: (707) 328-1222
FAX: (707) 707-963-0822
CONTACT: DAVE DEL DOTTO

APPLICANT

RG&A, OFFICE OF ARCHITECTURAL DESIGN, INC.
15231 ALTON PARKWAY SUITE 100
IRVINE, CA 92618
PH: (949) 341-0920
FAX: (949) 341-0922
CONTACT: MIKE GILL

KEYNOTES:

- PROPOSED PAINTED CONCRETE TILT-UP BY CLEAR INDUSTRIAL BUILDING.
- TYPICAL PARKING STALL - 12' X 10' STRIPING PER COUNTY STANDARDS.
- TRUCK YARD W/ DOCK HIGH AND GRADE LEVEL TRUCK DOCKS.
- FULLY BRANDED LANDSCAPE AREA BOUNDED BY 6" CONCRETE CURB - SEE CONCEPT LANDSCAPE PLAN.
- PRIMARY BUILDING ENTRANCE W/ DECORATIVE CONCRETE ENTRY WALK.
- 6'0" x 7' x 4' HIGH PAINTED CONCRETE TILT-UP TRASH / BICYCLE BIN ENCLOSURES FOR (2) FOUR CURB YARD BIN WALL & (2) SOLID-COVERED ROOF WITH A GRADE INTERLOCK.
- PRIORITY LINES.
- PROPOSED TRANSFORMER LOCATION.
- NEW ADA ACCESSIBLE PARKING STALLS, 9' X 18'-0".
- DIAGHED LINE INDICATES NEW 6" WIDE SURFACE WALK, ACCESSIBLE PATH OF TRAVEL FROM PUBLIC SIDEWALK & PARKING STALLS TO PRIMARY BUILDING ENTRANCE - CONCRETE WITH CONCRETE SIDEWALK. MAX SLOPE OF SURFACE WALK IN THE DIRECTION OF TRAVEL 4%, MAX CROSS SLOPE 2%.
- NEW PUBLIC PARKWAY TO BE LANDSCAPE.
- PROPOSED SEWER LATERAL FROM PUBLIC RIGHT OF WAY INTO NEW BUILDING.
- NEW DRIVE WAY APRON PER COUNTY STANDARD.
- ALL UTILITY STRUCTURES SUCH AS TRANSFORMERS AND BACK FLOW DEVICES SHALL BE SCREENED BY LANDSCAPE. SEE LANDSCAPE PLAN.
- CONCRETE LANDING AND BICYCLE RACK.
- VACANT LAND FOR FUTURE DEVELOPMENT GRADED TO DRAIN, SEE CIVIL DRAWINGS.
- FIRE TRUCK HAMMER HEAD TURN-AROUND.

GENERAL NOTES:

- EXISTING CONSTRUCTION SITE DEBARS TO BE REMOVED.
- THE SITE CURRENTLY CARRIES 11-2.
- NO DEBARS ARE PROPOSED WITH THIS APPLICATION PACKAGE.
- ALL PROPOSED WORK ON SITE CARRY DEBARS SHALL BE UNDERPROHIBITED.
- DRIVEWAYS SHALL BE CONSTRUCTED PER COUNTY STANDARD PLAN.
- DAMAGED ELECTRIC OR CURB & GUTTER ALONG DRIVEWAY ROAD SHALL BE REPAIRED.
- SITE PLAN SHALL MEET ALL ENGINEERING AND WIPES REQUIREMENTS.

BUILDING DEPARTMENT NOTES:

- ALL REQUIRED CPMS WILL BE ACCESSIBLE PER THE 2016 CALIFORNIA BUILDING CODE.
- APPROVALS THAT REQUIRE ACCESSIBLE PARKING SHALL MEET THE REQUIRED ACCESSIBLE PARKING STALLS FOR THE 2016 CALIFORNIA BUILDING CODE.
- ALL REQUIRED COVERING AREAS WILL BE PER COMMERCIAL STANDARDS INCLUDING SPRINKLERS, MOORS, DOCTS AND ALL ALL KITCHEN REQUIREMENTS WILL BE PER THE 2016 CALIFORNIA BUILDING AND MECHANICAL CODE.
- RESUBMIT FUTURE COUNTS WILL BE PROVIDED FOR THE 2016 CALIFORNIA BUILDING AND PLUMBING CODE.
- PROVIDE AN AET ANALYSIS DURING THE PLAN CHECK PROCESS.

VICINITY MAP



PROFESSIONAL SEALS

DEL DOTTO WINERY DISTRIBUTION FACILITY
000 DEVILIN ROAD
NAPA VALLEY, CA



DEL DOTTO WINERY
1055 ATLAS PEAK ROAD
NAPA, CA 94558

ID	DATE	DESCRIPTION
SD	3/20/17	SCHEMATIC DESIGN
SD	3/16/16	SCHEMATIC DESIGN
SD	3/16/16	SCHEMATIC DESIGN
SD	3/16/16	SCHEMATIC DESIGN
SD	3/16/16	SCHEMATIC DESIGN
SD	3/16/16	SCHEMATIC DESIGN
SD	3/16/16	SCHEMATIC DESIGN
MARK	DATE	DESCRIPTION
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OWNER PROJECT NO:	000010	
CAD FILE NAME:	15171-00-A-1.rvt	
CREATED BY:	ME	
CHECKED BY:	DR	
COPYRIGHT:	RG&A, OFFICE OF ARCHITECTURAL DESIGN	
SHEET TITLE:	SITE PLAN	



Del Dotto Winery Distribution Facility

RGA

Office of Architectural Design
 15231 Alton Parkway, Suite 100
 Irvine, CA 92618
 T 949-341-0920
 FX 949-341-0922

CONSULTANT

PROFESSIONAL SEALS

DEL DOTTO WINERY
 DISTRIBUTION FACILITY

000 DEVLIN ROAD
 NAPA VALLEY, CA



DEL DOTTO WINERY
 1055 ATLAS PEAK ROAD
 NAPA, CA 94558

NO.	DATE	DESCRIPTION
SD	3/24/17	SCHEMATIC DESIGN
SD	04/16/17	SCHEMATIC DESIGN
SD	07/19/16	SCHEMATIC DESIGN
SD	07/19/17	SCHEMATIC DESIGN
SD	02/07/16	SCHEMATIC DESIGN
SD	02/07/16	SCHEMATIC DESIGN
MARK	DATE	DESCRIPTION

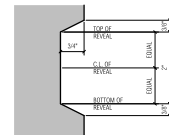
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DRAWN BY	MS
CHECKED BY	DR
COPYRIGHT	RG&A, OFFICE OF ARCHITECTURAL DESIGN
SHEET TITLE	FLOOR PLAN

KEYNOTES

1. PRIMARY ENTRANCE.
2. PAINTED 12" WIDE X 10" HIGH LEVEL VERTICAL LIFT TRUCK DOOR.
3. PAINTED 6" WIDE X 10" HIGH VERTICAL LIFT TRUCK DOOR.
4. 3" X 7" PAINTED METAL MAIN DOOR PAINTED TO MATCH BUILDING.
5. 48" HIGH PAINTED CONCRETE SUMP WALL.
6. 2" WIDE X 3 1/2" DEEP HORIZONTAL / VERTICAL RETAIL. SEE DET 3 THIS SHEET.
7. APPROXIMATE FINISH GRADE.
8. PANEL JOINT.
9. REFLECTIVE GLASS IN STOREFRONT FRAME SYSTEM.
10. SPANDREL GLASS IN STOREFRONT FRAME SYSTEM.
11. PAINTED CONCRETE FILL-UP EXTERIOR WALL CONSTRUCTION.
12. MARBLE STONE WANDSOT AND CORNICE MATERIAL.
13. MARBLE COLUMN TO MATCH BASE AND CORNICE MATERIAL.
14. WOOD BARN DOOR DESIGN FEATURE WITH MARBLE TRIM.
15. CLAY MESSIAN TILE ROOFING OVER ENTRY WITH EXPOSED ROUGH SAW-CUT BEAMS.
16. BUILDING SIGNAGE AND LOGO, UNDER SEPARATE PERMIT.
17. TWO STORY MARBLE ENTRY TABLETUE OVER THE ENTRY DOORS.

FINISH SCHEDULE

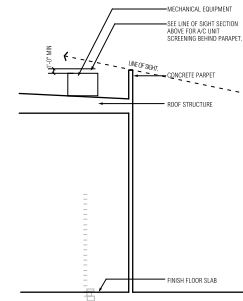
1. FELD COLOR - LIGHT CREAM COLOR
2. LIGHT MARBLE STONE - MATERIAL COMING FROM ITALY
3. DARK MARBLE STONE - MATERIAL COMING FROM ITALY
4. GLAZING (SPANDREL GLAZING - DUAL PANE BLUE AND 1/4" BLUE 1 BY BLACK FIT (PANTHON))



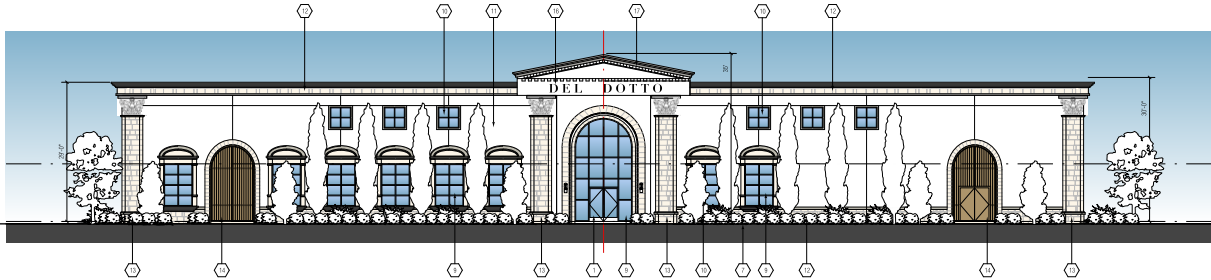
CONCRETE REVEAL
 SCALE: 1/4" = 1'-0"



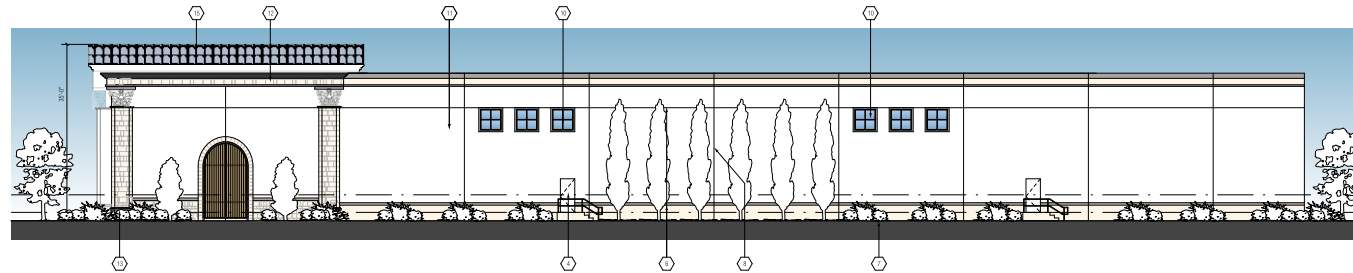
TYPICAL EQUIPMENT SCREEN LINE OF SIGHT
 SCALE: 1/4" = 1'-0"
 NOTE: LINE OF SIGHT TAKEN FROM 6'-0" ABOVE FINISH GRADE



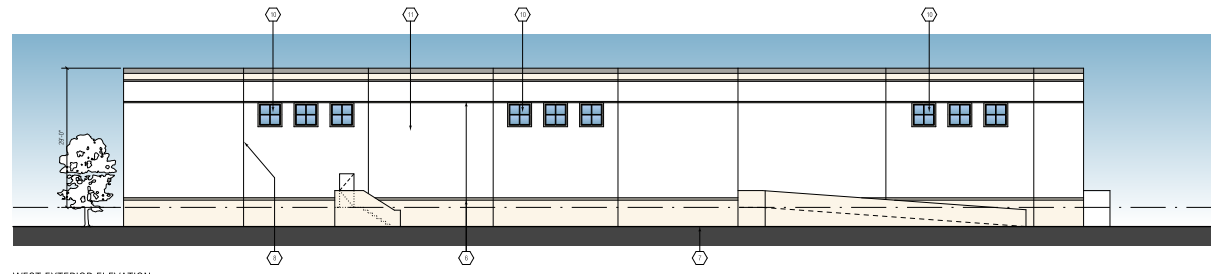
TYPICAL EQUIPMENT SCREENING
 SCALE: 1/4" = 1'-0"



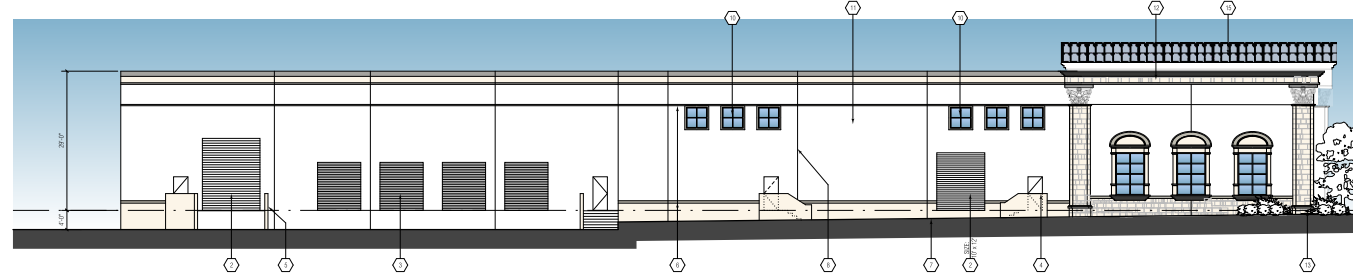
EAST EXTERIOR ELEVATION
 SCALE: 1" = 10'-0"



NORTH EXTERIOR ELEVATION
 SCALE: 1" = 10'-0"

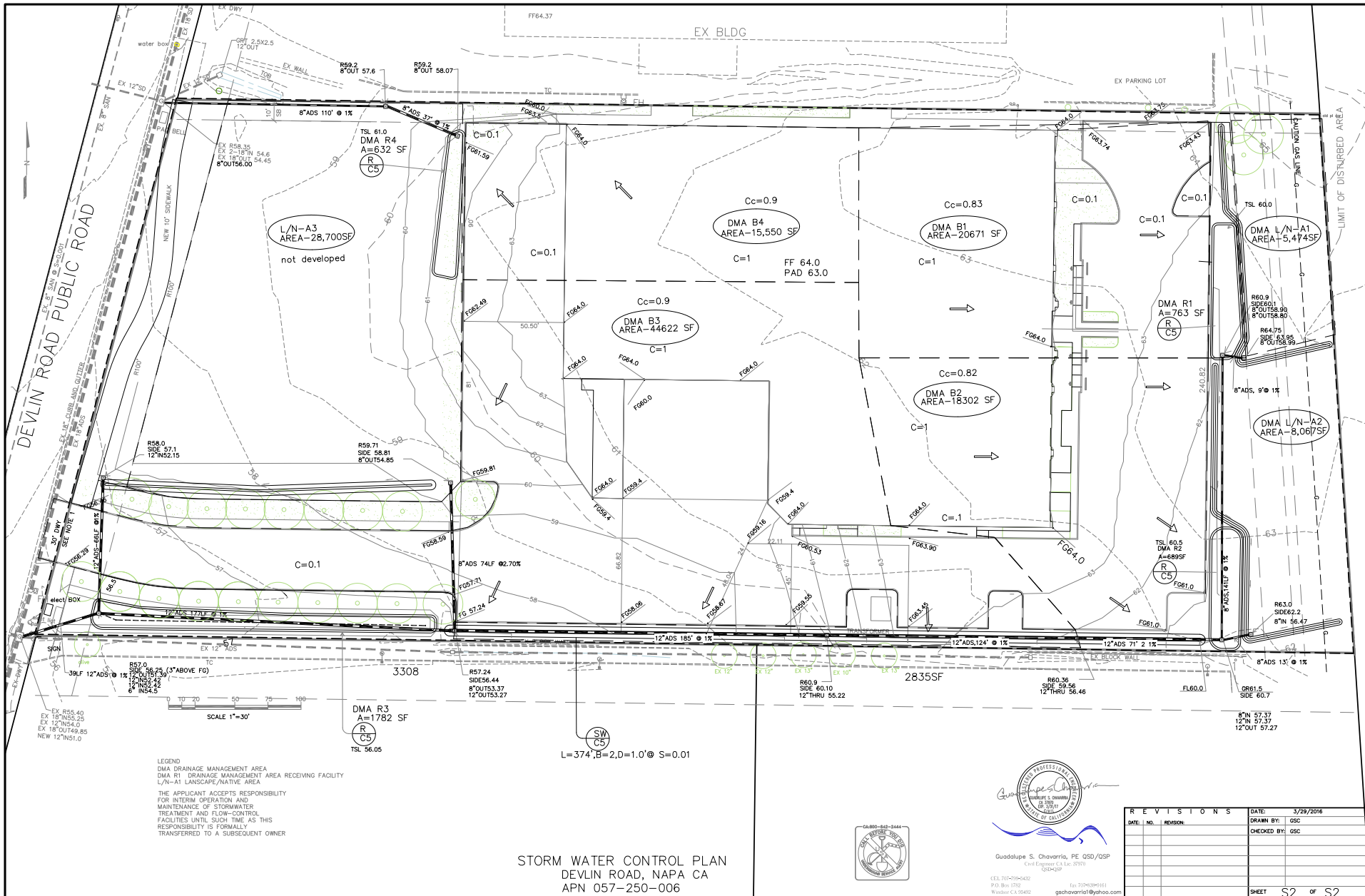


WEST EXTERIOR ELEVATION
 SCALE: 1" = 10'-0"

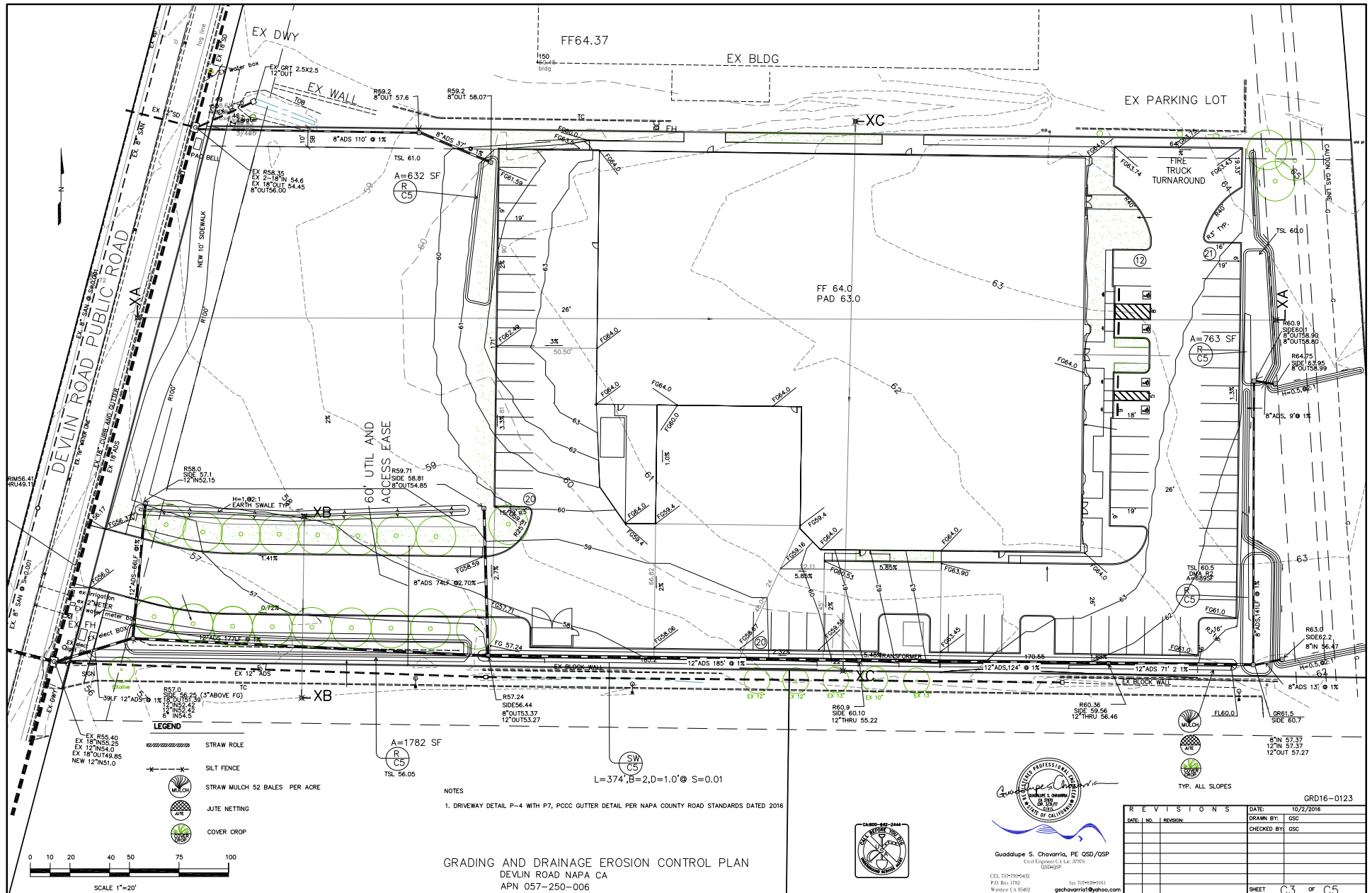


SOUTH EXTERIOR ELEVATION
 SCALE: 1" = 10'-0"

Del Dotto Winery Distribution Facility



Del Dotto Winery Distribution Facility

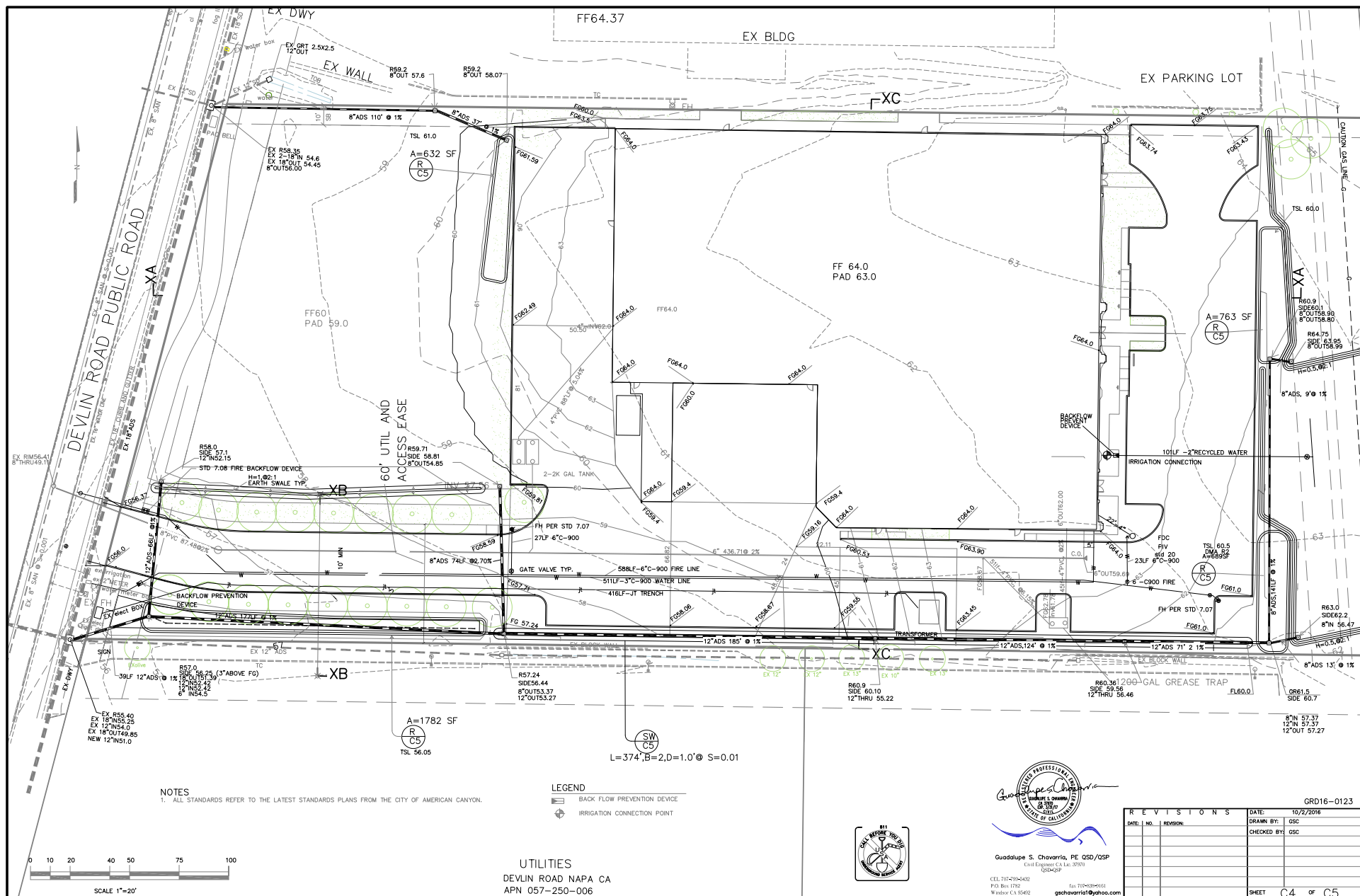


GRADING AND DRAINAGE EROSION CONTROL PLAN
DEVILIN ROAD NAPA CA
APN 057-250-006

Guadalupe S. Chavarria, PE QSD/QSP
 Civil Engineer (C.S. No. 51974)
 CEL 01/17/1994/2
 P.O. Box 4392
 Windsor, CA 95692
 Fax 707/838-9161
 gschavarria@yahoo.com

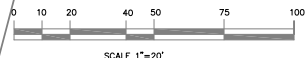
REVISIONS			DATE:
DATE:	NO.	REVISION	10/2/2016
			DRAWN BY: GSC
			CHECKED BY: GSC
			GRD16-0123
			SHEET C3 OF C5

Del Dotto Winery Distribution Facility



NOTES
1. ALL STANDARDS REFER TO THE LATEST STANDARDS PLANS FROM THE CITY OF AMERICAN CANYON.

LEGEND
 BACK FLOW PREVENTION DEVICE
 IRRIGATION CONNECTION POINT



UTILITIES
 DEVLIN ROAD NAPA CA
 APN 057-250-006

$$L=374', B=2.0'=1.0' \circ S=0.01$$



Guadalupe S. Chavarria, PE QSD/GSP
 Civil Engineer, CA Lic. 3970
 0284948

CEL 201-745-442
 P.O. Box 1762
 Napa, CA 94562

TEL: 707-250-9333
 gschavarria@yahoo.com

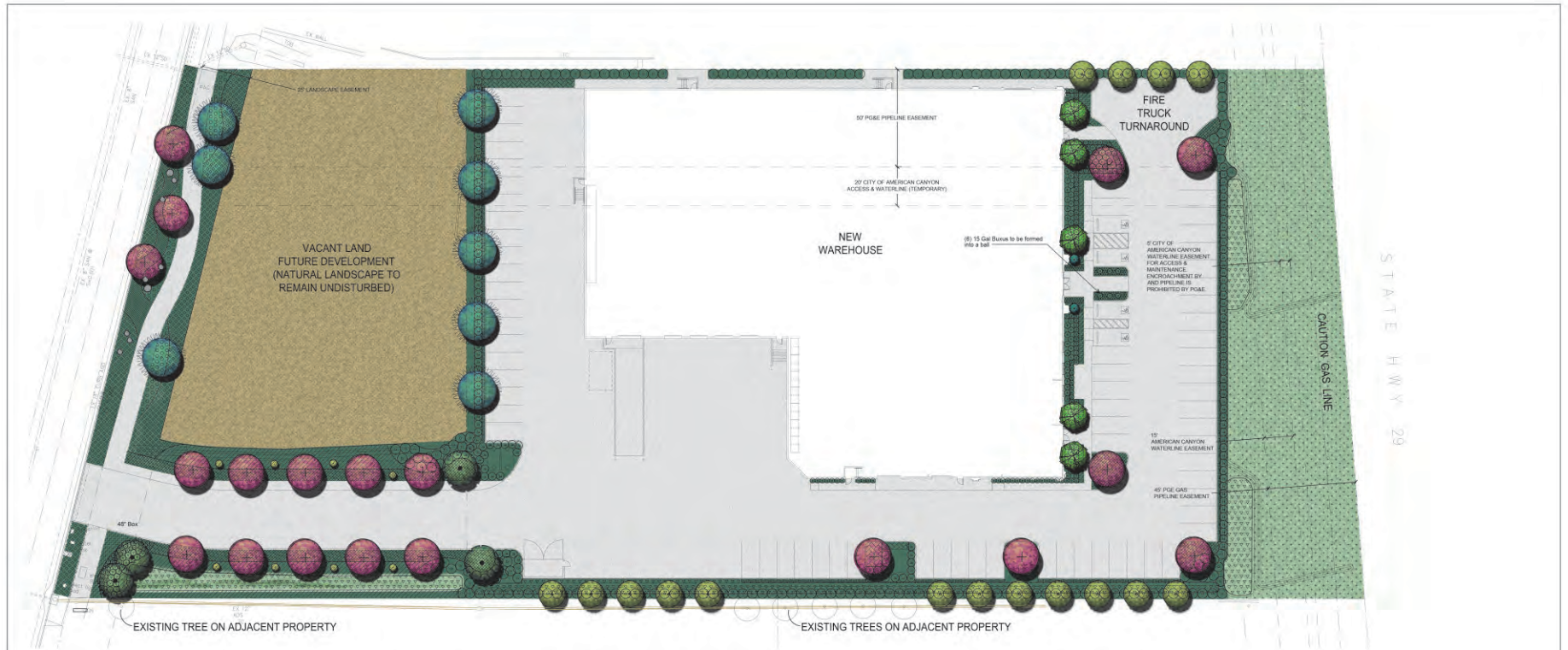
GRD16-0123

REVISIONS		DATE:
NO.	REVISION	10/2/2016

DRAWN BY: CSC
 CHECKED BY: CSC

SHEET C4 OF C5

Del Dotto Winery Distribution Facility



PLANTING LEGEND

TREES				
SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	WUCOLS REMARKS
	<i>Cupressus sempervirens</i> Italian Cypress	24" Box	8	M Standard
	<i>Juniperus s. 'Sprengeri'</i> Sprenger Juniper	24" Box	2	M Standard
	<i>Olea europaea</i> Olive	48" Box	4	L Multi
	<i>Paeonia s. 'Matisse'</i> Lombardy Poplar	24" Box	16	M Standard
	<i>Phytolacca sp.</i> Purple Leaf Plum	24" Box	19	L Standard
	<i>Platanus acerifolia</i> London Plane	24" Box	6	M Standard
	<i>Pirus s. 'Cappat'</i> Ornamental Pear	24" Box	5	M Standard

SHRUBS				
SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	WUCOLS REMARKS
	<i>Buxus s. 'Green Beauty'</i>	15 Gal	8	M Hedge
	Japanese Broomrape	5 Gal	125	M
	<i>Dodonaea viscosa 'Purpurea'</i>	5 Gal	51	M
	<i>Hesperis 'Purple Party'</i>	5 Gal	45	L
	Hesperis	5 Gal	140	L
	<i>Juniperus s. 'Arctostaphylos'</i>	5 Gal	81	L
	<i>Rosa 'Iceberg'</i>	5 Gal	21	L
	<i>Viburnum s. 'Spring Bouquet'</i>	5 Gal	21	L
	Viburnum			

3" layer shredded organic mulch in shrub areas, 1" layer in groundcover areas.

● 3' boulders, Bury 1/2 of boulder in ground - 17 total

● 4' boulders, Bury 1/2 of boulder in ground - 7 total

GROUNDCOVER				
SYMBOL	BOTANICAL/COMMON NAME	SIZE	SPACING	WATER REMARKS
	<i>Austrocyathus 'Emerald Carpet'</i>	1 Gal	48" O.C.	L
	<i>Carex Menziesii</i>	1 Gal	5' O.C.	L
	<i>Festuca s. 'Tillie Blue'</i>	1 Gal	18" O.C.	L
	<i>Festuca s. 'Blue Fescue'</i>	1 Gal	36" O.C.	L
	<i>Juncus s. 'Blue Chip'</i>	1 Gal	36" O.C.	L
	<i>Nymphaea s. 'Fasciata'</i>	1 Gal	24" O.C.	L
	<i>Pennisetum s. 'Hawaii'</i>	1 Gal	36" O.C.	L
	<i>Hymenocallis s. 'Hawaii'</i>	1 Gal	36" O.C.	L

NOTE
SOME PLANT MATERIAL ON THIS PLAN IS NOT FOUND ON THE VERY LIMITED LIST OF SUGGESTED PLANT MATERIALS SPECIFIC PLAN APPENDIX B, LAST UPDATED IN 1985, WHICH DOES NOT REFLECT THE LATEST STATE STANDARDS. IT IS, HOWEVER, CONSISTENT WITH THE NEIGHBORING ADJACENT PROPERTIES, WHICH HAVE BEEN APPROVED. ALL OF THE PLANT MATERIAL PROPOSED FOR THIS PROJECT IS CONSISTENT WITH THE SURROUNDING PROPERTIES FOUND WITHIN THE SPECIFIC PLAN BOUNDARIES. ACCORDING TO APPENDIX B, LAST UPDATED IN 1985, THE LIST OF PLANTS IS ONLY SUGGESTED, NOT REQUIRED.



Del Dotto Winery

16-028
03.23.07

Distribution Facility

Devlan Road, Napa, California



HUNTER LANDSCAPE
711 FEE ANA STREET PLACENTA, CA 94770
714.986.2400 FAX 714.986.3408

