

“E”

Use Permit Application Packet



A Tradition of Stewardship
A Commitment to Service

file № P15-00393

Napa County
Planning, Building, and Environmental Services
1195 Third Street, Suite 210, Napa, California, 94559 phone (707) 253-4417
web www.countyofnapa.org email planning@countyofnapa.org

Use Permit Application

To be completed by Planning staff...

Application Type: _____

Date Submitted: _____ Resubmittal(s): _____ Date Complete: _____

Request: _____

*Application Fee Deposit: \$ _____ Receipt No. _____ Received by: _____ Date: _____

**Total Fees will be based on actual time and materials*

To be completed by applicant...

Project Name: William and Deborah Gardiner

Assessor's Parcel №: APN 016-090-015 Existing Parcel Size: 26 ac.

Site Address/Location: 7630 Butts Canyon Road, PO Box D, Pope Valley, CA 94567
No. Street City State Zip

Primary Contact: Owner Applicant Representative (attorney, engineer, consulting planner, etc.)

Property Owner: _____

Mailing Address: _____
No. Street City State Zip

Telephone №(____) _____ - _____ E-Mail: _____

Applicant (if other than property owner): _____

Mailing Address: _____
No. Street City State Zip

Telephone №(____) _____ - _____ E-Mail: _____

Representative (if applicable): John Stitt

Mailing Address: 1822 Blossom Dr., Antioch, CA 94509
No. Street City State Zip

Telephone №(707) 235 - 8193 E-Mail: john@stittengineering.com

Improvements, cont.

Total on-site parking spaces: 16 existing 16 proposed
Loading areas: 0 existing 0 proposed

Fire Resistivity (check one; if not checked, Fire Marshal will assume Type V – non rated):

Type I FR Type II 1 Hr Type II N (non-rated) Type III 1 Hr Type III N
 Type IV H.T. (Heavy Timber) Type V 1 Hr. Type V (non-rated)
(for reference, please see the latest version of the California Building Code)

Is the project located in an Urban/Wildland Interface area? Yes No

Total land area to be disturbed by project (include structures, roads, septic areas, landscaping, etc): 0.13 acres

Employment and Hours of Operation

Days of operation: 7 existing 7 proposed
Hours of operation: 24 existing 24 proposed
Anticipated number of employee shifts: 1 existing 1 proposed
Anticipated shift hours: 8 existing 8 proposed

Maximum Number of on-site employees:

10 or fewer 11-24 25 or greater (specify number) _____

Certification and Indemnification

Applicant certifies that all the information contained in this application, including all information required in the Checklist of Required Application Materials and any supplemental submitted information including, but not limited to, the information sheet, water supply/waste disposal information sheet, site plan, floor plan, building elevations, water supply/waste disposal system site plan and toxic materials list, is complete and accurate to the best of his/her knowledge. Applicant and property owner hereby authorize such investigations including access to County Assessor's Records as are deemed necessary by the County Planning Division for preparation of reports related to this application, *including the right of access to the property involved.*

Pursuant to Chapter 1.30 of the Napa County Code, as part of the application for a discretionary land use project approval for the project identified below, Applicant agrees to defend, indemnify, release and hold harmless Napa County, its agents, officers, attorneys, employees, departments, boards and commissions (hereafter collectively "County") from any claim, action or proceeding (hereafter collectively "proceeding") brought against County, the purpose of which is to attack, set aside, void or annul the discretionary project approval of the County, or an action relating to this project required by any such proceeding to be taken to comply with the California Environmental Quality Act by County, or both. This indemnification shall include, but not be limited to damages awarded against the County, if any, and cost of suit, attorneys' fees, and other liabilities and expenses incurred in connection with such proceeding that relate to this discretionary approval or an action related to this project taken to comply with CEQA whether incurred by the Applicant, the County, and/or the parties initiating or bringing such proceeding. Applicant further agrees to indemnify the County for all of County's costs, attorneys' fees, and damages, which the County incurs in enforcing this indemnification agreement.

Applicant further agrees, as a condition of project approval, to defend, indemnify and hold harmless the County for all costs incurred in additional investigation of or study of, or for supplementing, redrafting, revising, or amending any document (such as an EIR, negative declaration, specific plan, or general plan amendment) if made necessary by said proceeding and if the Applicant desires to pursue securing approvals which are conditioned on the approval of such documents.

In the event any such proceeding is brought, County shall promptly notify the Applicant of the proceeding, and County shall cooperate fully in the defense. If County fails to promptly notify the Applicant of the proceeding, or if County fails to cooperate fully in the defense, the Applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the County. The County shall retain the right to participate in the defense of the proceeding if it bears its own attorneys' fees and costs, and defends the action in good faith. The Applicant shall not be required to pay or perform any settlement unless the settlement is approved by the Applicant.

John Stitt, Representative

Print Name of Property Owner

Print Name Signature of Applicant (if different)

Signature of Property Owner

Date

Signature of Applicant

Date

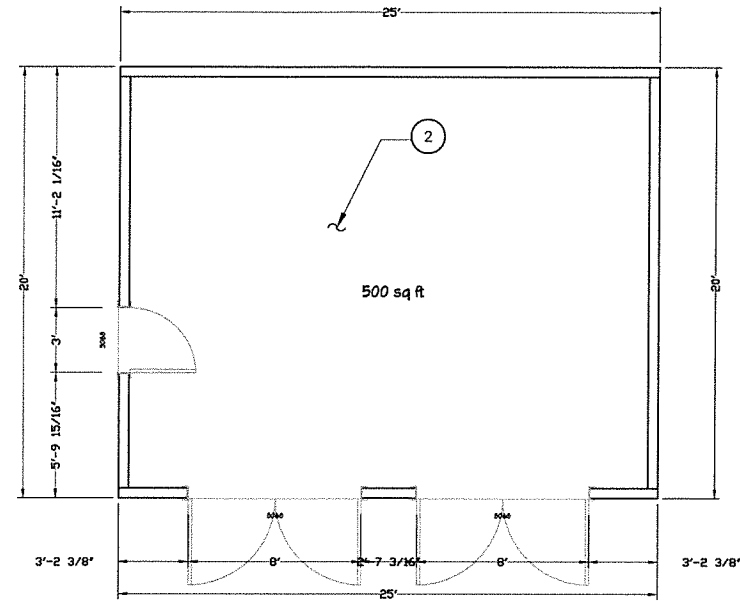
Use Permit Project – Butts Canyon Parcel

Rockridge Ranch is currently occupied by the owner's personal horses, many of which are rescued from slaughter, euthanasia, and neglect. The owner readily agrees to own horses that persist in life-ending neglectful situations and provides them with the room to roam and the attention they need to live their lives in a humane way. The owner is looking to maximize the full potential of her property for the good of horses and equestrians alike. The owner is proposing to use the property for boarding, training, and rescue (the proposed project). It is also proposed to upgrade the septic system and existing buildings to current building codes. One fodder production facility (10x20' storage shipping type container) will be used to house the hydroponic fodder (sprouted grain) production for supplemental horse feed. This container would be located near the tractor barn or other appropriate area on-site. Horse manure will be collected daily, and composted (under the threshold of 1,000 cubic yards per year), and later spread back onto pastures and irrigated hay fields. Use areas on the project site would not be expanded by the proposed project, rather uses would only be modified in already extensively used areas.

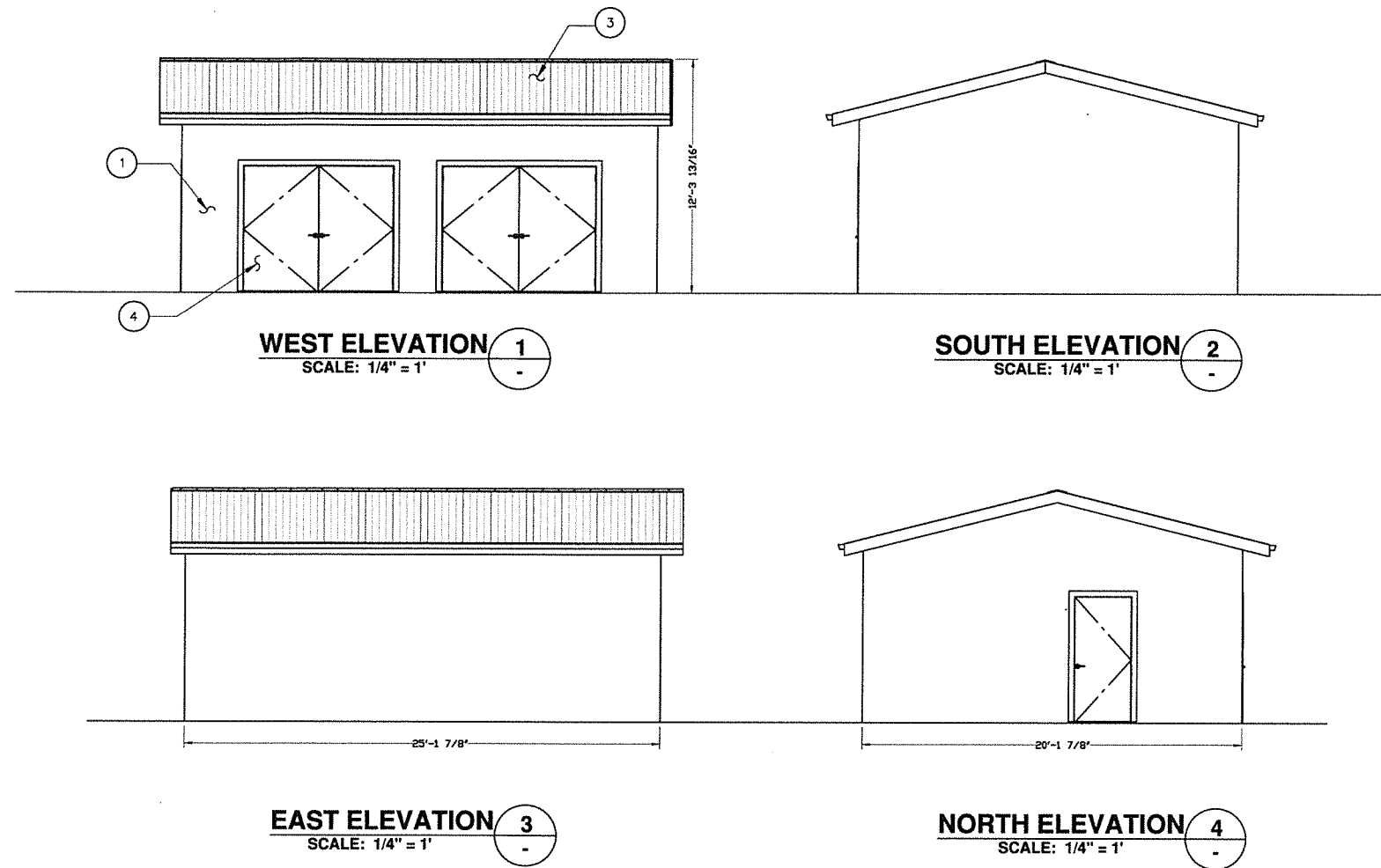
Boarding would include allowing outside horse owners to bring their own horses to Rockridge Ranch for general care. Boarding at Rockridge Ranch would be based on the owners' wants and needs including basic feeding, stall cleaning, blanketing, turning out boarded horses to paddocks and pastures, hand-walking, grooming, and organizing veterinary and farrier (shoeing) care. Boarders would be allowed access to the project site and could ride their horse(s) on or off the project site, and would have full access to provided facility amenities such as tack rooms and round pens.

Training at Rockridge Ranch would include lessons for horses and riders taught by the owner or outside trainers. Training may include instructive mounted or ground lessons for the rider and/or for boarded horses. Training may also include general horse maintenance such as blanketing, clipping, turnouts, administering medication, feeding grain, grooming, hand-walking, and organizing veterinary and farrier care.

Rescue at Rockridge Ranch would include rescuing horses from slaughter, euthanasia, and neglect. Rescued horses would be treated by veterinarians and farriers, and would be cared for by the owner and staff that would improve their quality of life. Depending on a horse's needs, rescued horses would receive care similar to a horse in boarding or training. Sometimes the owner is able to rehabilitate a horse to a point where it can be ridden and trained, while other times rescued horses will simply live out their lives in one of the many pastures without being ridden.



FLOOR PLAN
SCALE 1/4" = 1'



WEST ELEVATION 1
SCALE: 1/4" = 1'

SOUTH ELEVATION 2
SCALE: 1/4" = 1'

EAST ELEVATION 3
SCALE: 1/4" = 1'

NORTH ELEVATION 4
SCALE: 1/4" = 1'

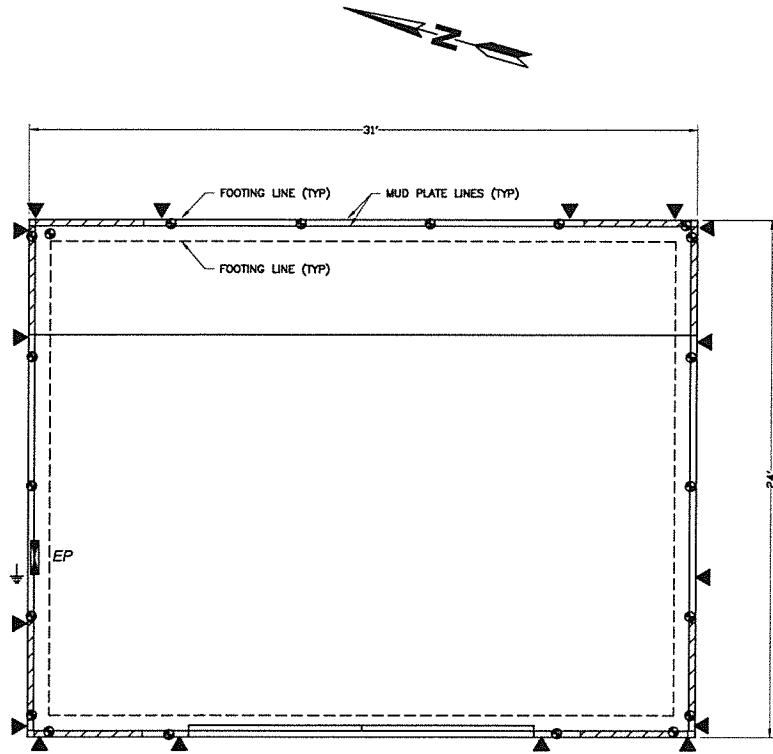
KEY NOTES

- 1 PAINTED T1-11 FRONT SIDING AND STRUCTURAL PANELS ON OTHER THREE SIDES (TYP)
- 2 REINFORCED CONCRETE SLAB WITH ANCHOR BOLTS.
- 3 PAINTED STEEL CORRUGATED METAL ROOF (TYP)
- 4 8' BARN DOORS (TYP)

P:\Projects\2015\Napa\Drawings\TackBarn\TackBarn.dwg, Date: 11/14/2015, 10:25:00 AM
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 Plot Device: HP DesignJet T5000, Plot Style: TackBarn.ctb, Plot Range: All, Plot Scale: 1/4" = 1'

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FILE	FND.DWG	DATE	NOVEMBER 14, 2015	DESCRIPTION	
TACK BARN "B" FLOOR AND ELEVATION PLAN			ENGINEER: JOHN STITT TELEPHONE: (707) 235-8183 www.stitengineering.com	OWNER: THE GARDINERS ADDRESS: 7630 BUTTS CANYON RD POPE VALLEY, CA 94567 TELEPHONE: PARCEL NO.	
DRAWING FLR-1			SHEET NO 2 OF 2	POPE VALLEY NAPA COUNTY CALIFORNIA	



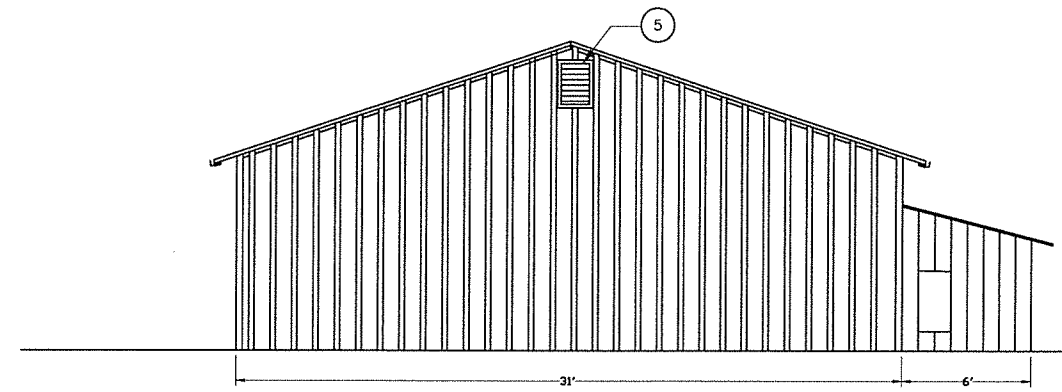
FLOOR PLAN
SCALE: 1/4" = 1'

SYMBOLS

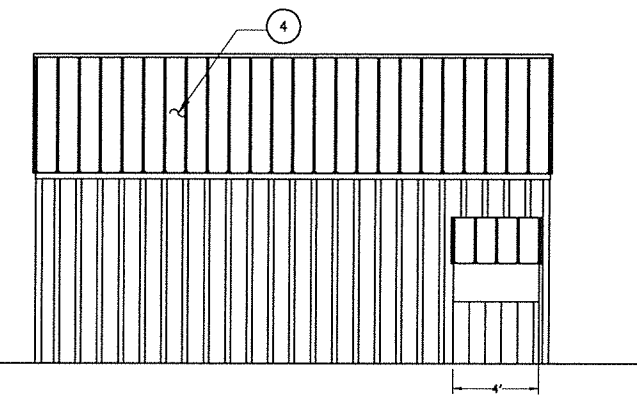
- ◀ HOLD-DOWN 5/8" DIA EPDM BOLT W/ 5/8" X 24" ROD
- ⊕ ANCHOR BOLT (1/2" X 7" W/ 3/8" EMBEDMENT) MULTI-WEDGE ANCHOR
- ⬇️ GROUNDING ROD
- ▨ 1/2" X 5' STRUCT PANEL SHEARWALL
- EP ELECTRICAL SUBPANEL

KEY NOTES

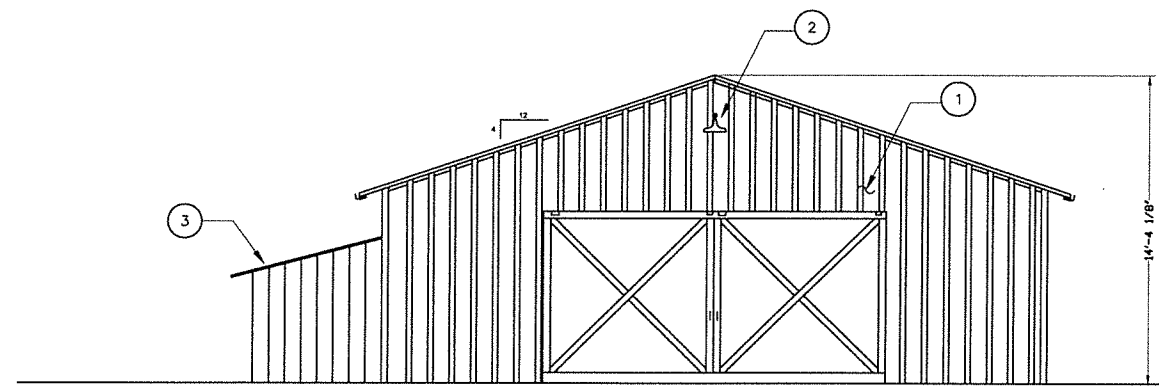
- 1 STAINED BOARD AND BATTEN SIDING (TYP)
- 2 EXTERIOR LIGHT
- 3 CHICKEN COOP WITH SHED ROOF
- 4 PAINTED STEEL CORRUGATED ROOF (TYP)
- 5 INSTALL WUI COMPLAINT VENT



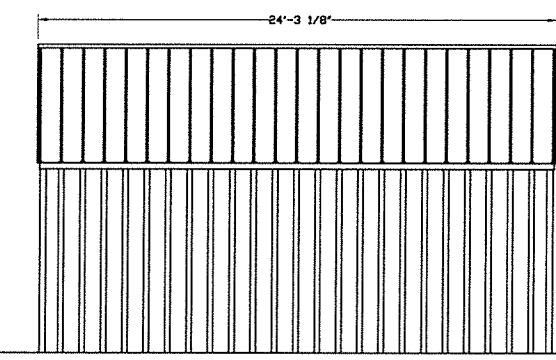
NORTH ELEVATION 1
SCALE: 1/4" = 1'



WEST ELEVATION 2
SCALE: 1/4" = 1'



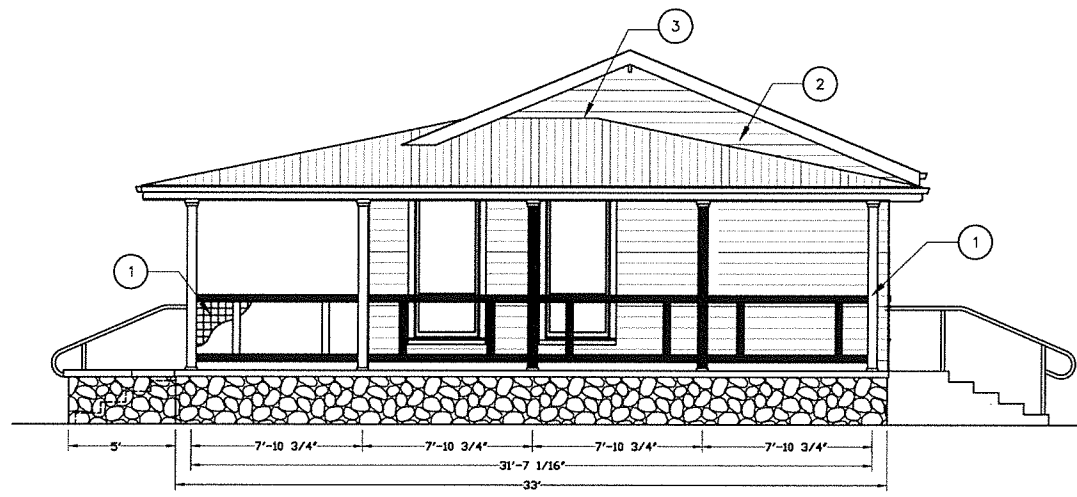
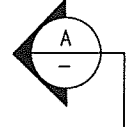
SOUTH ELEVATION 3
SCALE: 1/4" = 1'



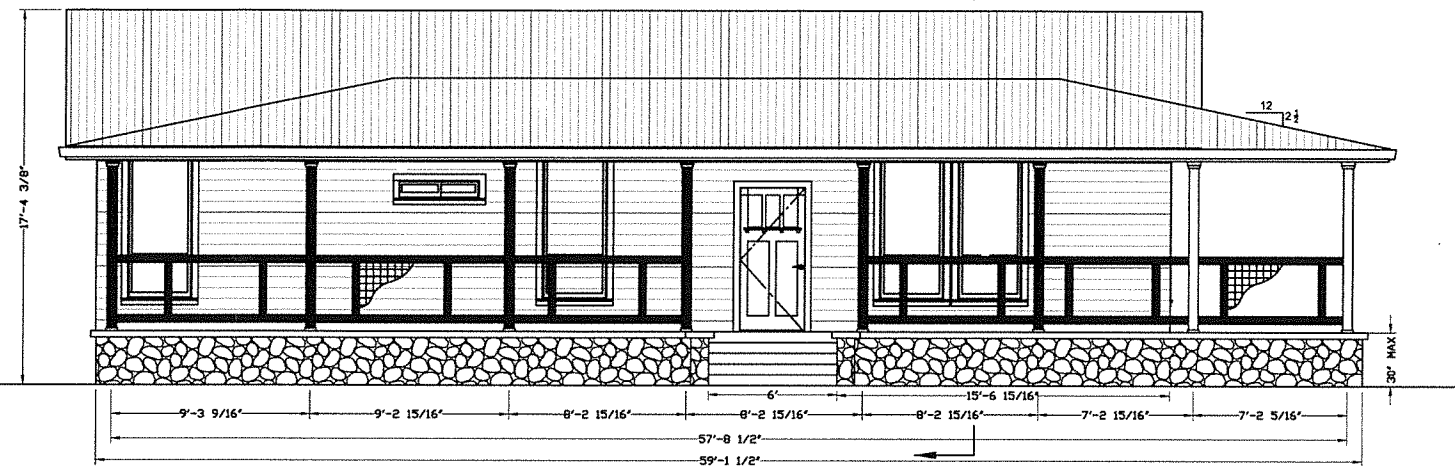
EAST ELEVATION 4
SCALE: 1/4" = 1'

REV. No.	DATE	DESCRIPTION					
OWNER	THE GARDINERS 7830 BUTTS CANYON RD POPE VALLEY, CA 94567						
ADDRESS							
TELEPHONE							
PARCEL No.							
ENGINEER	JOHN STITT StittEngineering.com TELEPHONE: (707) 235-8183 www.stittengineering.com						
FILE	FND.DWG	DATE	NOVEMBER 3, 2015				
DRAWING		CALIFORNIA		NAPA COUNTY			
FLOOR AND ELEVATION PLAN							
DRAWING							
FLR-1							
SHEET NO							
2							
OF							
2							

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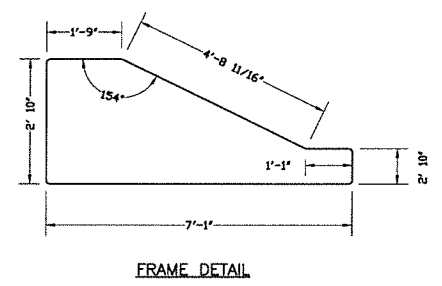
SOUTH ELEVATION 1
SCALE: 1/4" = 1'



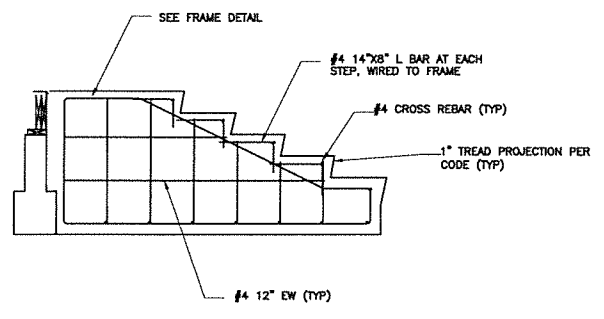
WEST ELEVATION 2
SCALE: 1/4" = 1'

KEY NOTES

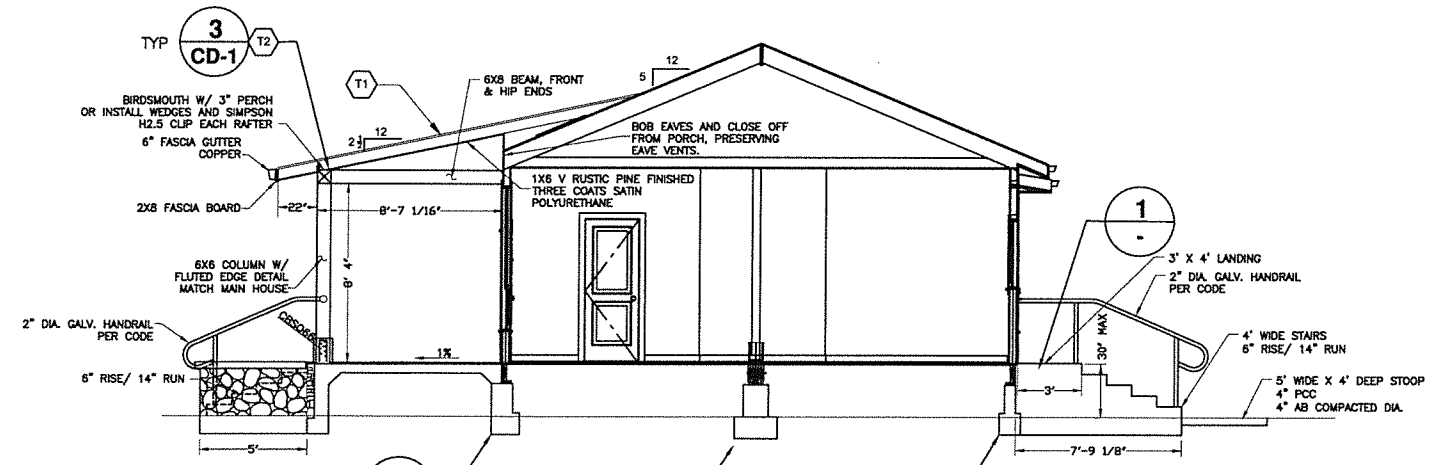
- 1 4" LODGE POLE RAILING ALL AROUND PORCH AS SHOWN W/ 4X4 MESH GALV. FINISH WITH EXTERIOR SATIN POLYURETHANE (TYP)
- 2 INSTALL STANDING SEAM COPPER ROOF, 6" COPPER FASCIA GUTTERS AND 3" DIA COPPER DOWN SPOUTS. (TYP)
- 3 INSTALL 2X8 LEDGER ON SIDE OF EXISTING WALL. HANG 2X6 PORCH RAFTERS WITH HU26.



FRAME DETAIL



CONCRETE STOOP REBAR 1
1/2" = 1'



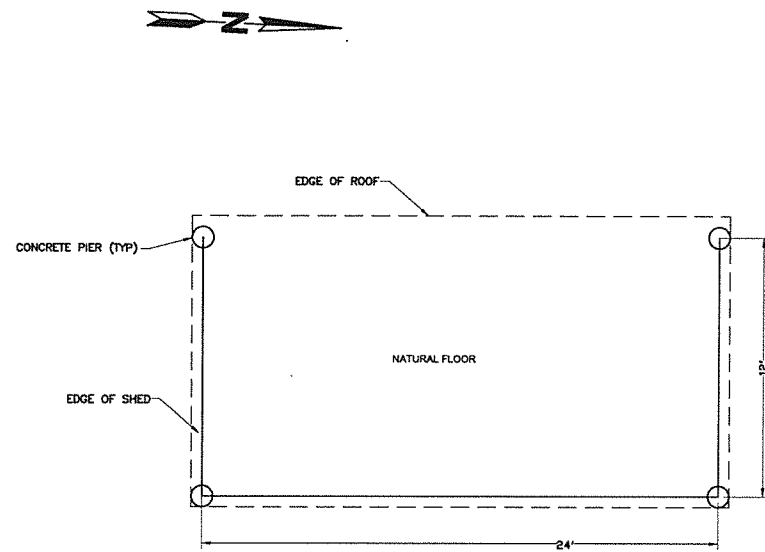
PORCH SECTION A
SCALE: 1/4" = 1'

MEMBER SCHEDULE

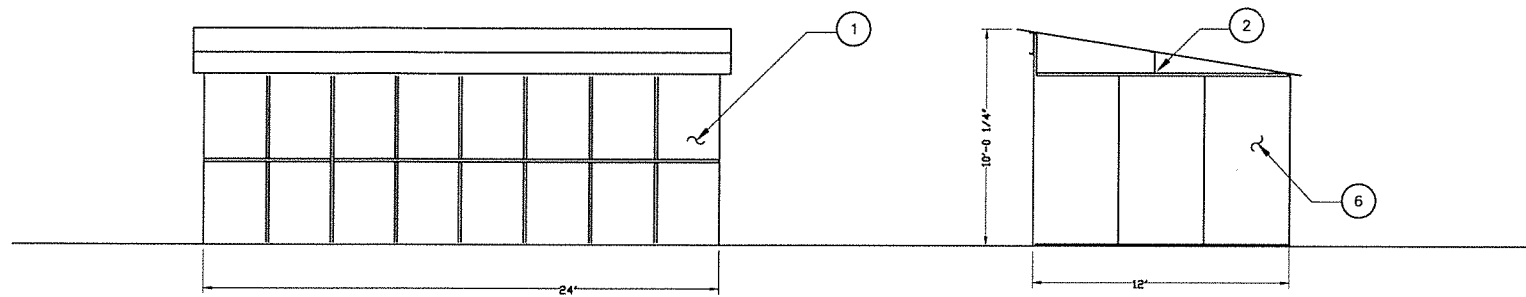
NUMBER	MEMBER DESCRIPTION	CONNECTIONS
T1	2X6 RAFTER, SIDEWALL	CALIFORNIA TIE IN TO ROOF. USE 1X10 SHOE AT HEAL AND TOE. FASTEN SHOE WITH TWO 8d COMMON TO EXISTING RAFTER, AND NEW RAFTER WITH FOUR 16d TOE NAIL INTO SHOE. INSTALL SIMPSON H2.5 AT CROSS BEAM AND TWO 16D PER OR THREE 8D COMMON PER CODE.
T2	6X8 BEAM PAINTED DF	CONNECT WITH SIMPSON COLUMN BASE AND TOP CONNECTION WITH STEEL KNIFE PLATE AND BOLTS.

REV. NO.	DATE	DESCRIPTION
<p style="text-align: center;">OWNER: THE GARDINERS ADDRESS: 7630 BUTTS CANYON RD POPE VALLEY, CA 94567 TELEPHONE: PARCEL NO. </p>		
<p>StittEngineering.com ENGINEER: JOHN STITT TELEPHONE: (707) 235-8193 www.stittengineering.com</p>		
FILE: FND.DWG	DATE: OCTOBER 22, 2015	CALIFORNIA
<p>2ND RESIDENCE PORCH ELEVATIONS AND SECTION</p>		
<p>NAPA COUNTY POPE VALLEY</p>		
<p>DRAWING ELV-1 SHEET NO 4 OF 20</p>		

C:\Projects\2015\Garden\06-4492-1.dwg Time: 10/22/2015 07:32am
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 Plotter: HP DesignJet T1100e
 Plot Style: HP-Plotter.ctb
 Plot Range: Full
 Plot Scale: 1/4" = 1'
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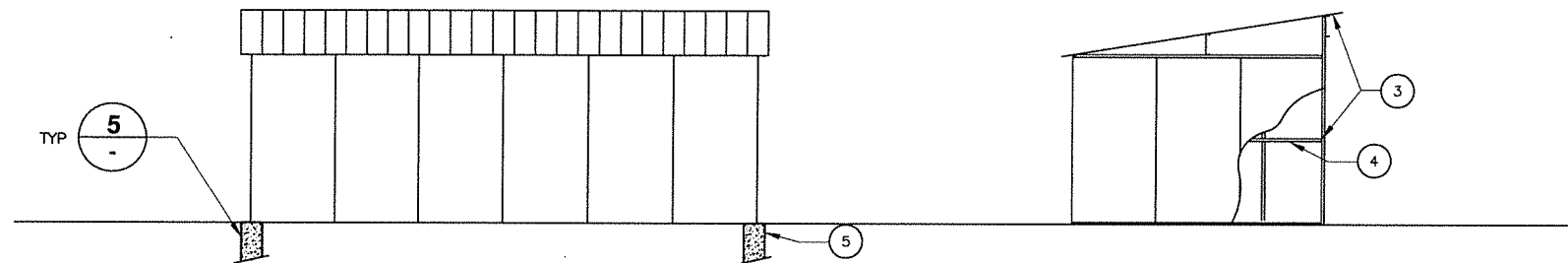


FLOOR PLAN
SCALE 1/4" = 1'



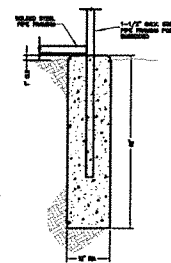
WEST ELEVATION 1
SCALE: 1/4" = 1'

SOUTH ELEVATION 2
SCALE: 1/4" = 1'



EAST ELEVATION 3
SCALE: 1/4" = 1'

NORTH ELEVATION 4
SCALE: 1/4" = 1'



PIER FOUNDATION 5
SCALE: 1/2" = 1'

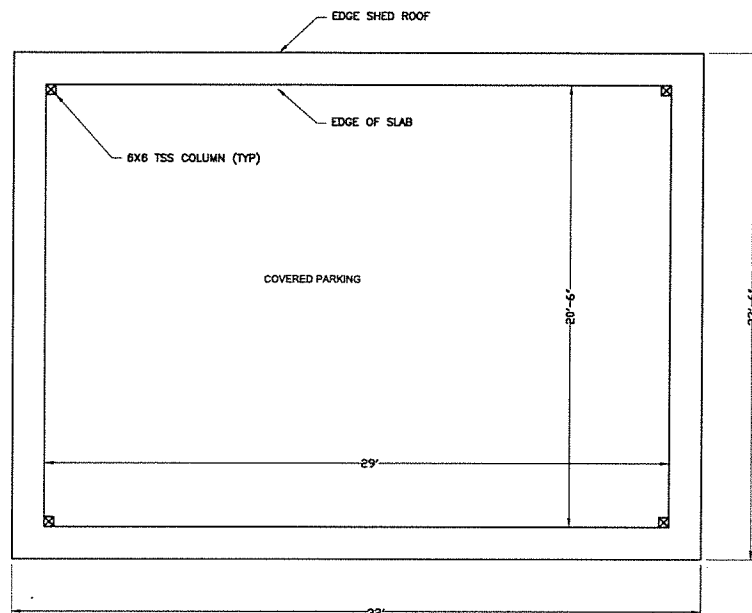
KEY NOTES

- 1 FRONT SIDE OPEN
- 2 FASTENED C-CHANNEL TO WALL FRAME (TYP)
- 3 GALV. STEEL ROOF AND FRAME (TYP)
- 4 1-1/2" TUBE STEEL FRAME (TYP)
- 5 CONCRETE PIER FOUNDATION (TYP)
- 6 1/2" EXTERIOR SIDING PLYWOOD

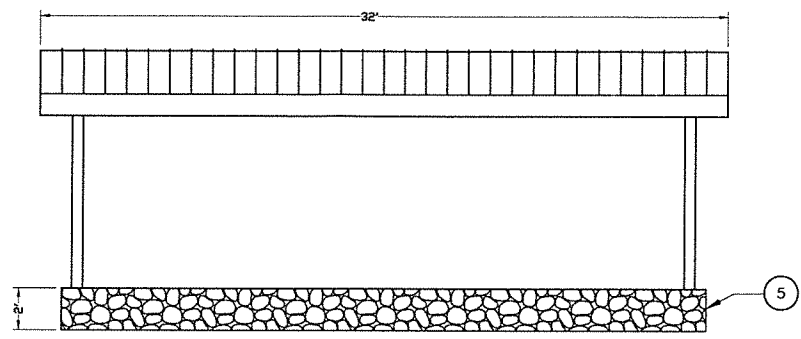
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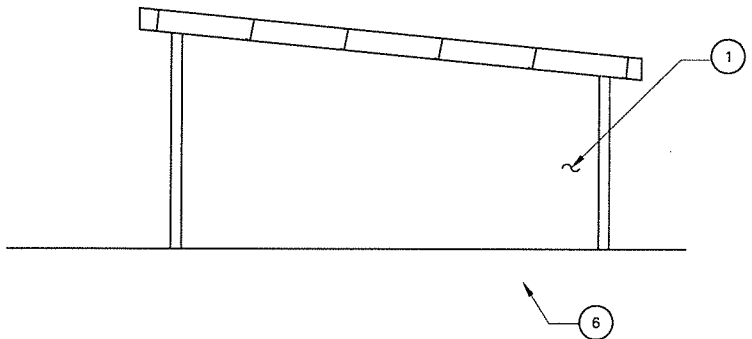
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OWNER: THE GARDINERS ADDRESS: 7630 BUTTS CANYON RD TELEPHONE: POPE VALLEY, CA 94567 PARCEL No.			StittEngineering.com ENGINEER: JOHN STITT TELEPHONE: (707) 235-8193 www.stittengineering.com		
			DATE: NOVEMBER 9, 2015 CALIFORNIA		
LOADING SHED "Mx" ELEVATIONS			POPE VALLEY NAPA COUNTY		
DRAWING ELV-1			SHEET NO 2 OF 2		



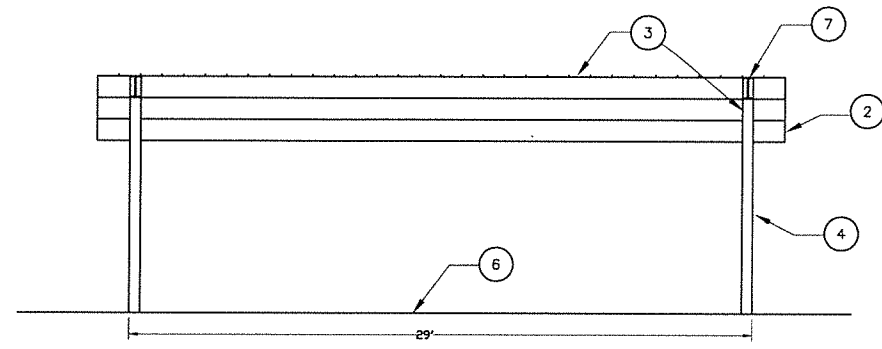
FLOOR PLAN
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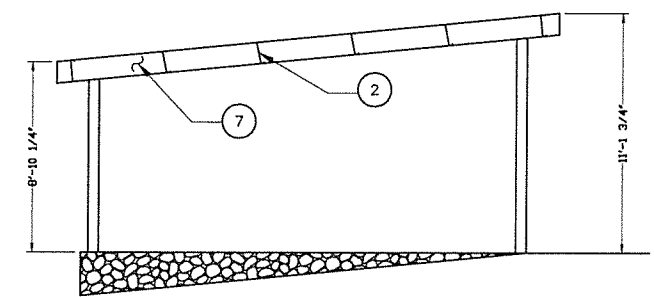
SOUTH ELEVATION 1
SCALE: 1/4" = 1'



WEST ELEVATION 2
SCALE: 1/4" = 1'



NORTH ELEVATION 3
SCALE: 1/4" = 1'



EAST ELEVATION 4
SCALE: 1/4" = 1'

KEY NOTES

- 1 ALL FOUR SIDES OPEN
- 2 WELDED C-CHANNEL OUTRIGGERS & RAFTERS (TYP)
- 3 STEEL ROOF AND FRAME (TYP)
- 4 6X6 TSS COLUMNS (4 TOT)
- 5 RIVER ROCK MASONRY FOUNDATION (TYP)
- 6 REINFORCED PARKING SLAB
- 7 1" BEAM RAFTER SUPPORT WELDED TO COLUMNS TO CREATE A MOMENT FRAME (2 TOT)

F:\Projects\2015\Garden\042-PARKING\042-PARKING.dwg Date: 11/09/2015 07:44am
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 Application: AutoCAD LT
 Plotter: HP DesignJet 5000 Series
 Plot Scale: 1/4" = 1'
 Plot Date: 11/09/2015 07:44am

REV. No.	DATE	DESCRIPTION

OWNER	THE GARDINERS
ADDRESS	7530 BUTTS CANYON RD
TELEPHONE	POPE VALLEY, CA 94567
PARCEL No.	

FILE	FIND.DWG
DATE	NOVEMBER 9, 2015

PARKING SHED "Q" ELEVATIONS	StittEngineering.com ENGINEER: JOHN STITT TELEPHONE: (707) 235-8193 www.stittengineering.com
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DRAWING ELV-1 SHEET NO 2 OF 2	POPE VALLEY NAPA COUNTY CALIFORNIA
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