

“E”

Use Permit Application Packet



A Tradition of Stewardship
A Commitment to Service

file No P15-00394

Napa County
Planning, Building, and Environmental Services
1195 Third Street, Suite 210, Napa, California, 94559 phone (707) 253-4417
web www.countyofnapa.org email planning@countyofnapa.org

Use Permit Application

To be completed by Planning staff...

Application Type: _____

Date Submitted: _____ Resubmittal(s): _____ Date Complete: _____

Request: _____

*Application Fee Deposit: \$ _____ Receipt No. _____ Received by: _____ Date: _____

**Total Fees will be based on actual time and materials*

To be completed by applicant...

Project Name: William and Deborah Gardiner

Assessor's Parcel No: APN 016-090-021 Existing Parcel Size: 46 ac.

Site Address/Location: 2002 James Creek Road, PO Box D, Pope Valley, CA 94567
No. Street City State Zip

Primary Contact: Owner Applicant Representative (attorney, engineer, consulting planner, etc.)

Property Owner: _____

Mailing Address: _____
No. Street City State Zip

Telephone No(____) _____ - _____ E-Mail: _____

Applicant (if other than property owner): _____

Mailing Address: _____
No. Street City State Zip

Telephone No(____) _____ - _____ E-Mail: _____

Representative (if applicable): John Stitt

Mailing Address: 1822 Blossom Dr., Antioch, CA 94509
No. Street City State Zip

Telephone No(707) 235 - 8193 E-Mail: john@stittengineering.com

Use Permit Information Sheet

Use

Narrative description of the proposed use (please attach additional sheets as necessary):

SEE ATTACHED PROJECT DESCRIPTION

What, if any, additional licenses or approvals will be required to allow the use?

District NONE

Regional NONE

State NONE

Federal NONE

Improvements

Narrative description of the proposed on-site and off-site improvements (please attach additional sheets as necessary):

As the "project" states, no expansion of use of the property is proposed. Improvements are to the existing structures to bring them up to current 2013 Building Code. No new buildings are proposed, however a hydroponic fodder shipping type container is proposed as a new facility on-site to improve the horses diet and health.

Improvements, cont.

Total on-site parking spaces: 20 existing 20 proposed
Loading areas: 0 existing 0 proposed

Fire Resistivity (check one; if not checked, Fire Marshal will assume Type V – non rated):

- Type I FR Type II 1 Hr Type II N (non-rated) Type III 1 Hr Type III N
 Type IV H.T. (Heavy Timber) Type V 1 Hr. Type V (non-rated)
(for reference, please see the latest version of the California Building Code)

Is the project located in an Urban/Wildland Interface area? Yes No

Total land area to be disturbed by project (include structures, roads, septic areas, landscaping, etc): 0.09 acres

Employment and Hours of Operation

Days of operation: 7 existing 7 proposed
Hours of operation: 24 existing 24 proposed
Anticipated number of employee shifts: 1 existing 1 proposed
Anticipated shift hours: 8 existing 8 proposed

Maximum Number of on-site employees:

- 10 or fewer 11-24 25 or greater (specify number) _____

Certification and Indemnification

Applicant certifies that all the information contained in this application, including all information required in the Checklist of Required Application Materials and any supplemental submitted information including, but not limited to, the information sheet, water supply/waste disposal information sheet, site plan, floor plan, building elevations, water supply/waste disposal system site plan and toxic materials list, is complete and accurate to the best of his/her knowledge. Applicant and property owner hereby authorize such investigations including access to County Assessor's Records as are deemed necessary by the County Planning Division for preparation of reports related to this application, *including the right of access to the property involved.*

Pursuant to Chapter 1.30 of the Napa County Code, as part of the application for a discretionary land use project approval for the project identified below, Applicant agrees to defend, indemnify, release and hold harmless Napa County, its agents, officers, attorneys, employees, departments, boards and commissions (hereafter collectively "County") from any claim, action or proceeding (hereafter collectively "proceeding") brought against County, the purpose of which is to attack, set aside, void or annul the discretionary project approval of the County, or an action relating to this project required by any such proceeding to be taken to comply with the California Environmental Quality Act by County, or both. This indemnification shall include, but not be limited to damages awarded against the County, if any, and cost of suit, attorneys' fees, and other liabilities and expenses incurred in connection with such proceeding that relate to this discretionary approval or an action related to this project taken to comply with CEQA whether incurred by the Applicant, the County, and/or the parties initiating or bringing such proceeding. Applicant further agrees to indemnify the County for all of County's costs, attorneys' fees, and damages, which the County incurs in enforcing this indemnification agreement.

Applicant further agrees, as a condition of project approval, to defend, indemnify and hold harmless the County for all costs incurred in additional investigation of or study of, or for supplementing, redrafting, revising, or amending any document (such as an EIR, negative declaration, specific plan, or general plan amendment) if made necessary by said proceeding and if the Applicant desires to pursue securing approvals which are conditioned on the approval of such documents.

In the event any such proceeding is brought, County shall promptly notify the Applicant of the proceeding, and County shall cooperate fully in the defense. If County fails to promptly notify the Applicant of the proceeding, or if County fails to cooperate fully in the defense, the Applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the County. The County shall retain the right to participate in the defense of the proceeding if it bears its own attorneys' fees and costs, and defends the action in good faith. The Applicant shall not be required to pay or perform any settlement unless the settlement is approved by the Applicant.

John Stitt, Representative

Print Name of Property Owner	Print Name Signature of Applicant (if different)
Signature of Property Owner	Signature of Applicant
Date	Date

Use Permit Project – James Creek Parcel

Rockridge Ranch is currently occupied by the owner's personal horses, many of which are rescued from slaughter, euthanasia, and neglect. The owner readily agrees to own horses that persist in life-ending neglectful situations and provides them with the room to roam and the attention they need to live their lives in a humane way. The owner is looking to maximize the full potential of her property for the good of horses and equestrians alike. The owner is proposing to use the property for boarding, training, and rescue (the proposed project). It is also proposed to upgrade the septic system and existing buildings to current building codes. One fodder production facility (10x20' storage shipping type container) will be used to house the hydroponic fodder (sprouted grain) production for supplemental horse feed. This container would be located near the hay barn or other appropriate area on-site. Horse manure will be collected daily, and composted (under the threshold of 1,000 cubic yards per year), and later spread back onto pastures and irrigated hay fields. Use areas on the project site would not be expanded by the proposed project, rather uses would only be modified in already extensively used areas.

Boarding would include allowing outside horse owners to bring their own horses to Rockridge Ranch for general care. Boarding at Rockridge Ranch would be based on the owners' wants and needs including basic feeding, stall cleaning, blanketing, turning out boarded horses to paddocks and pastures, hand-walking, grooming, and organizing veterinary and farrier (shoeing) care. Boarders would be allowed access to the project site and could ride their horse(s) on or off the project site, and would have full access to provided facility amenities such as tack rooms and round pens.

Training at Rockridge Ranch would include lessons for horses and riders taught by the owner or outside trainers. Training may include instructive mounted or ground lessons for the rider and/or for boarded horses. Training may also include general horse maintenance such as blanketing, clipping, turnouts, administering medication, feeding grain, grooming, hand-walking, and organizing veterinary and farrier care.

Rescue at Rockridge Ranch would include rescuing horses from slaughter, euthanasia, and neglect. Rescued horses would be treated by veterinarians and farriers, and would be cared for by the owner and staff that would improve their quality of life. Depending on a horse's needs, rescued horses would receive care similar to a horse in boarding or training. Sometimes the owner is able to rehabilitate a horse to a point where it can be ridden and trained, while other times rescued horses will simply live out their lives in one of the many pastures without being ridden.

PROJECT DATA

APPLICANT/ PROPERTY OWNER:
 WILLIAM & DEBORAH GARDINER

PROJECT ADDRESS:
 2002 JAMES CREEK ROAD
 POPE VALLEY, CA

OCCUPANCY:
 "U" & "R3"

CONSTRUCTION TYPE:
 TYPE I & IV

ZONING:
 AW

COMMERCIAL ACCESS ROAD

- 1 PROVIDE 20 PARKING STALLS WHICH INCLUDES ONE ACCESSIBLE PARKING
- 2 INSTALL ONE GRAVEL DRIVEWAY TO ACCESSIBLE PARKING NEAR NEW BATHROOM 20' WIDE. ALL OTHER GRAVEL DRIVEWAYS INDICATED ARE 20' WIDE FIRE ACCESS AND BUILDING INTERNAL ACCESS DRIVEWAYS.

BUILDING PERMIT NO. LOG

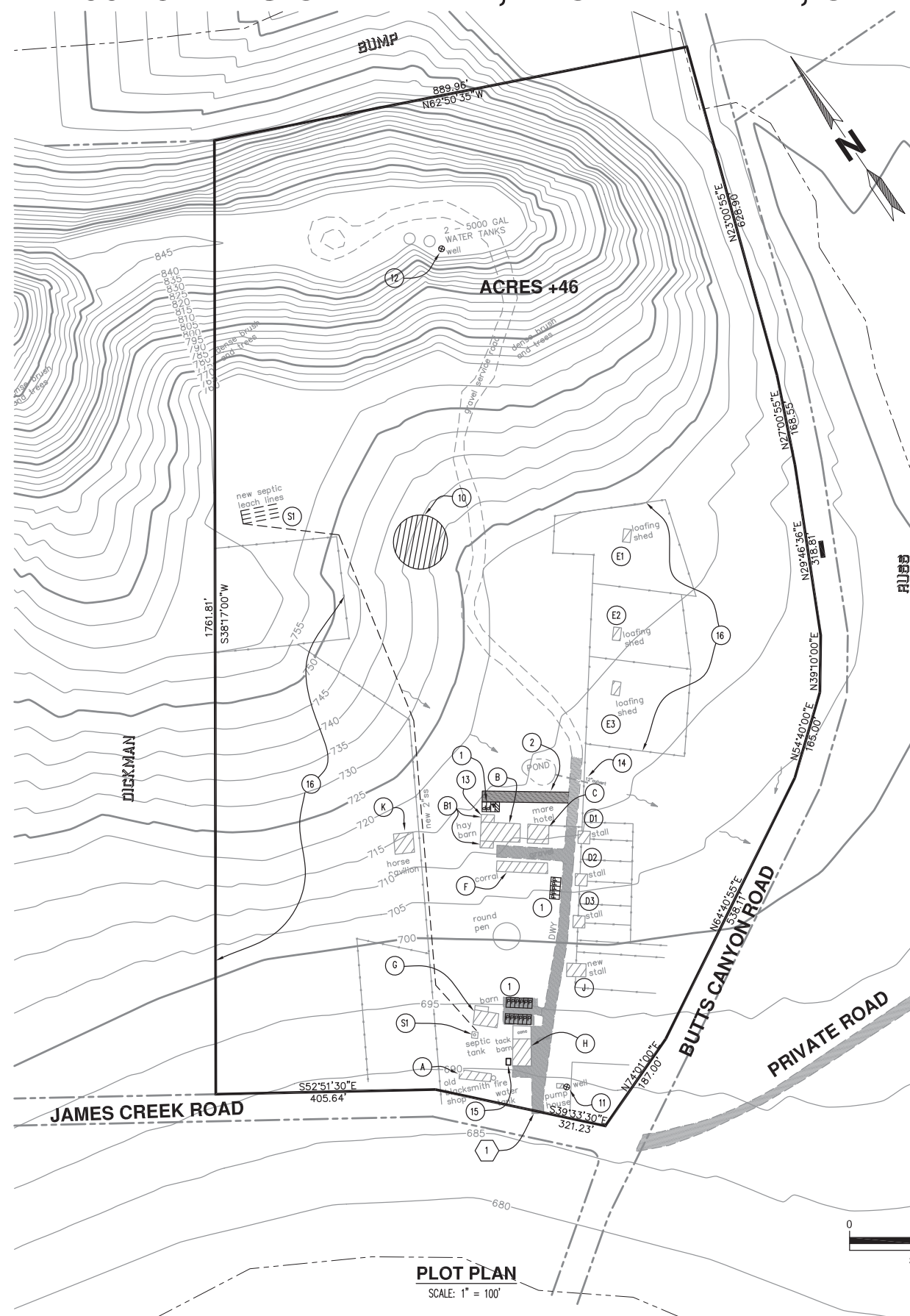
SYMBOL	BUILDING NAME	PERMIT NO.
A	OLD BLACKSMITH SHOP	B14-00059
B	HAY BARN	
B1	HAY BARN ANNEX	
C	MARE HOTEL	
D1	STALL 1	
D2	STALL 2	
D3	STALL 3	
E1	LOAFING SHED 1	
E2	LOAFING SHED 2	
E3	LOAFING SHED 3	
F	CORRAL	
G	BARN CONVERT TO RESIDENCE (AKA FARM MANAGER'S HOUSE)	
H	TACK BARN Note: Working with code enforcement one tack barn	B14-00059
J	NEW STALL	B01-01317 B99-01020 B00-54518
K	HORSE PAVILION (FINALIZED)	B13-01895
S1	SEPTIC SYSTEM	B13-01895
		E1400901

ADDITIONAL FEATURES

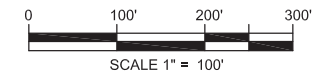
- 10 MANURE COMPOSTING MANAGEMENT AREA WITH PERIMETER BERM
- 11 MAIN WELL
- 12 BACKUP WELL
- 13 REPURPOSE BUILDING B1 FOR ADA BATHROOM
- 14 CULVERT (E) - OTHER THAN THIS DRAIN, ALL SITE DRAINAGE SHEET FLOWS INTO COUNTY ROAD SIDE DITCH AND THEN INTO POPE CREEK SYSTEM.
- 15 FODDER PRODUCTION FACILITY
- 16 COMPOSTED MANURE WILL BE SPREAD IN BOTH WESTERN AND EASTERN PASTURE AREAS SHOWN

USE PERMIT EXHIBIT

2002 JAMES CREEK RD., POPE VALLEY, CA



PLOT PLAN
 SCALE: 1" = 100'



ABBREVIATIONS

AGGR	AGGREGATE
APN	ASSESSOR PARCEL NUMBER
CLR	CLEAR
GAL	GALLON
DWG	DRAWING
EG	EXISTING GRADE
FF	FINISH FLOOR
STD	STANDARD
SS	SEWER SYSTEM
TYP	TYPICAL

SYMBOLS

	BUILDING
	TREE
	FENCE LINE
	LIGHT
	WELL
	PARKING

LOCATION / TYPE OF FENCE MAXIMUM HEIGHT OF FENCE

Within front yard setback:
 solid fence 4 Ft.
 see-thru deer fencing* 8 Ft.

Within Side and Rear yard setbacks
 Solid Fence 6 Ft.
 See-thru fencing (deer or other wire fencing, lattice or chain link) 12 Ft.

Outside the combined road and yard setbacks:
 See-thru fencing 12 Ft.

*see-thru fencing permitted in front yard to support agricultural uses.

SETBACK

- 1 THE FRONT GATE IS SETBACK 35' FROM CENTERLINE OF ROAD, MEETING THE 28' REQUIREMENT FOR "OTHER COUNTY ROADS"

REV. NO.	DATE	DESCRIPTION

OWNER: THE GARDINERS
 ADDRESS: 2002 JAMES CREEK ROAD
 POPE VALLEY, CA 94657
 TELEPHONE: [REDACTED]
 PARCEL NO. [REDACTED]

StittEngineering.com
 ENGINEER: JOHN STITT
 No. 44592
 TELEPHONE: (707) 238-9193
 www.stittheing.com

FILE	G1/DWG	DATE
		NOVEMBER 4, 2015

PLOT PLAN

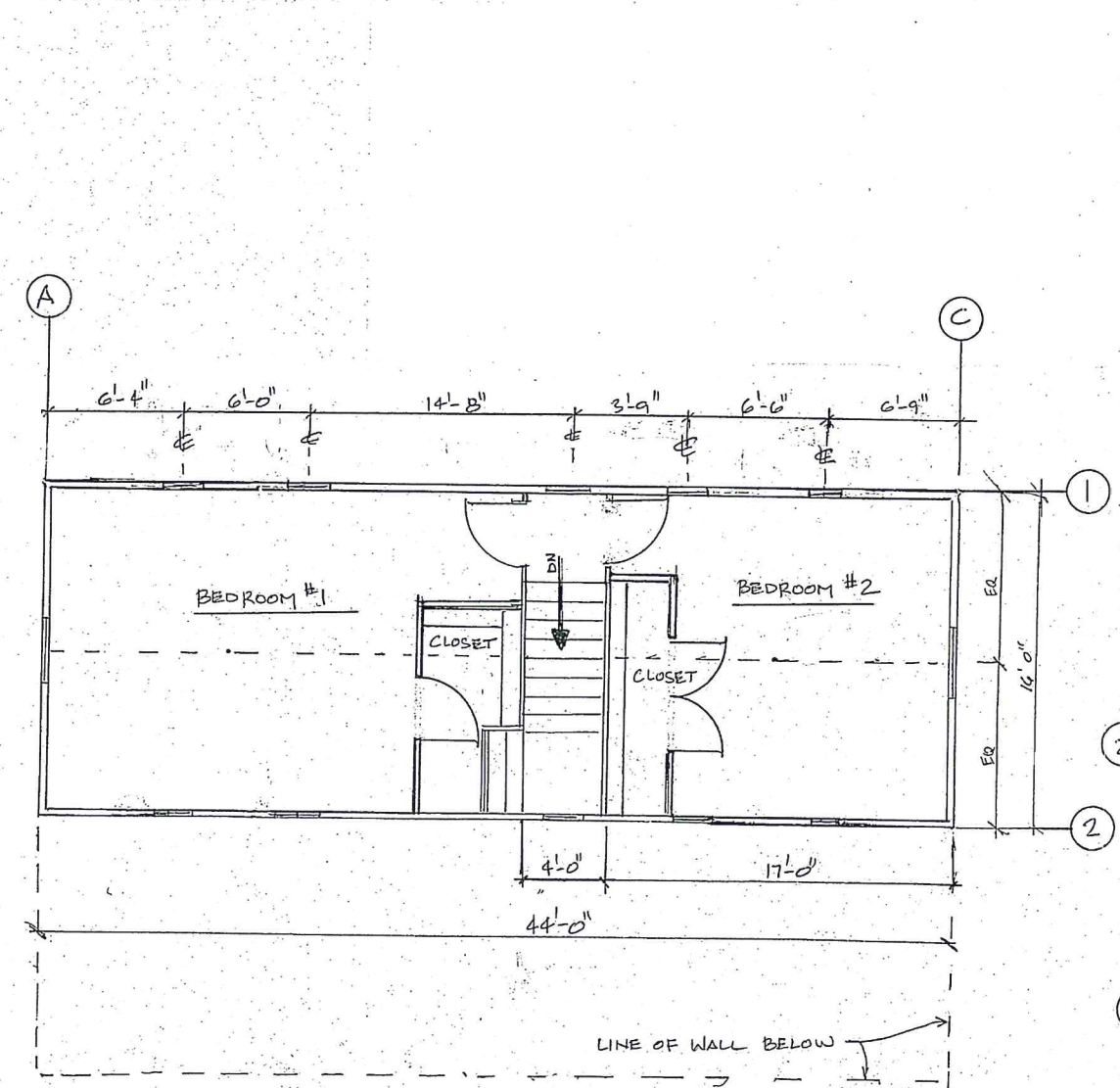
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DRAWING: **G-1**
 SHEET NO: 1 OF 1

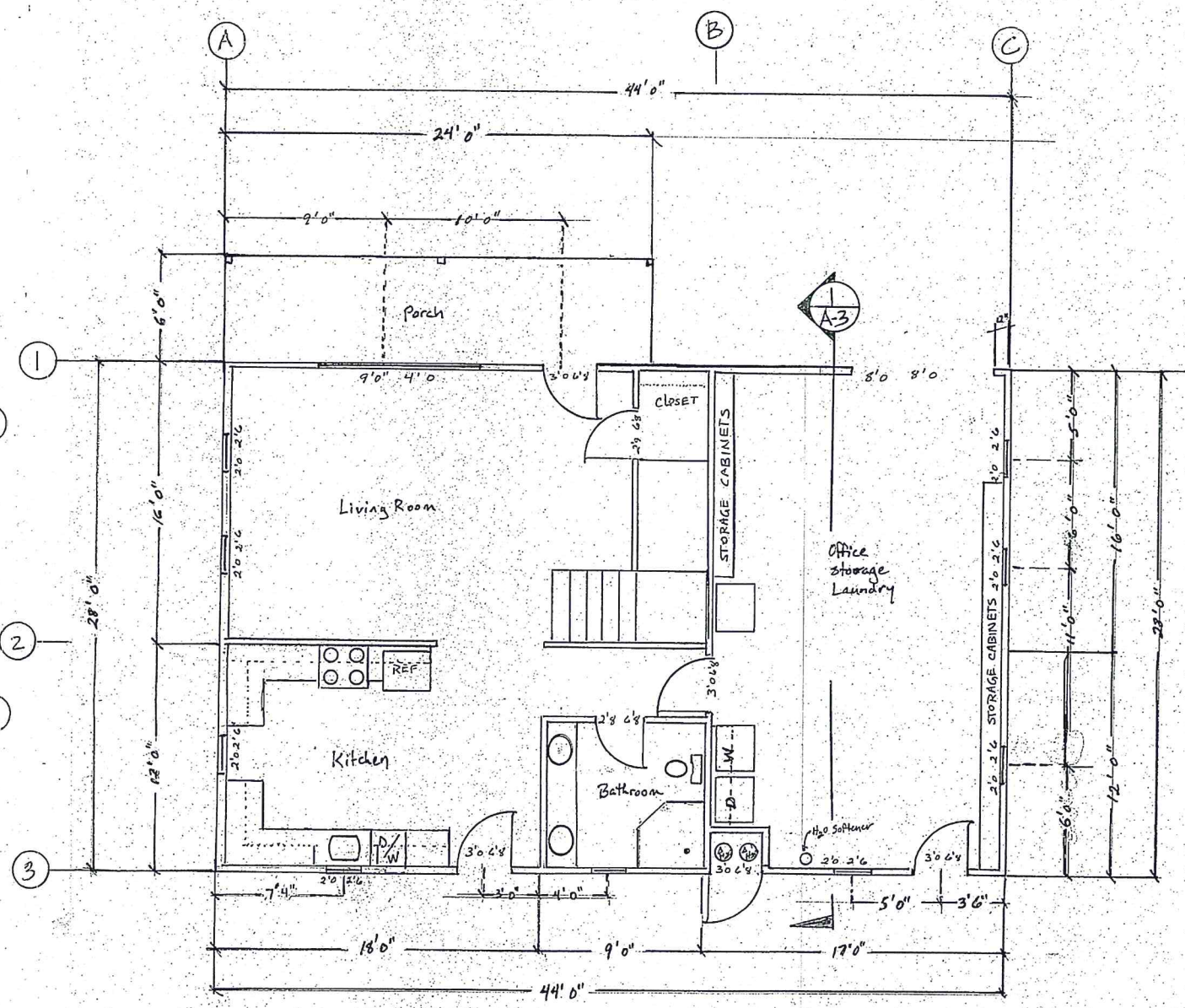
POPE VALLEY NAPA COUNTY CALIFORNIA

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RECEIVED
 NOV 20 2015
 Napa County Planning, Building
 & Environmental Services



2 EXISTING UPPER LEVEL FLOOR PLAN
 A-2 SCALE: 1/4" = 1'-0" ±



1 EXISTING LOWER LEVEL FLOOR PLAN
 A-2 SCALE: 1/4" = 1'-0" ±

EP. ENGINEERS
 2180 Jefferson Street
 Suite 213
 NAPA, CA 94559
 (707) 226-5470
 FAX (707) 226-5477
 EMAIL: epeingr@aol.com

C-P ENGINEERS WILL NOT BE RESPONSIBLE FOR OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY C-P ENGINEERS. THIS DOCUMENT AND THE IDEAS INCORPORATED HEREIN AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF C-P ENGINEERS AND IS NOT TO BE REPRODUCED OR IN ANY MANNER USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT, WITHOUT THE WRITTEN AUTHORIZATION OF C-P ENGINEERS. ALL RIGHTS RESERVED.

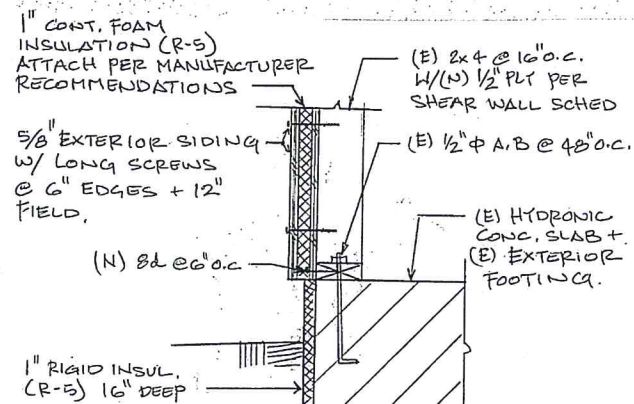
GARDINER RESIDENCE RETROFIT
 2002 JAMES CREEK ROAD
 POPE VALLEY, CALIFORNIA 94567



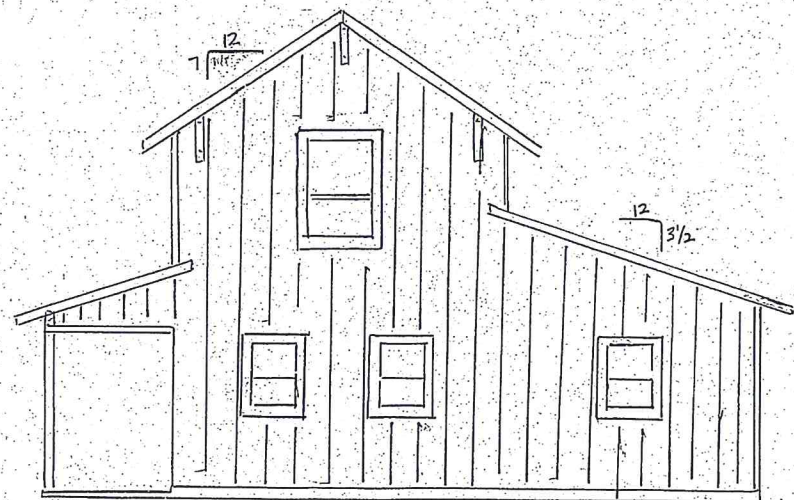
DATE 8-12-14
 SCALE AS NOTED
 DRAWN D. JOHNSON
 JOB 1412

SHEET
A-2
 OF 10 SHEETS

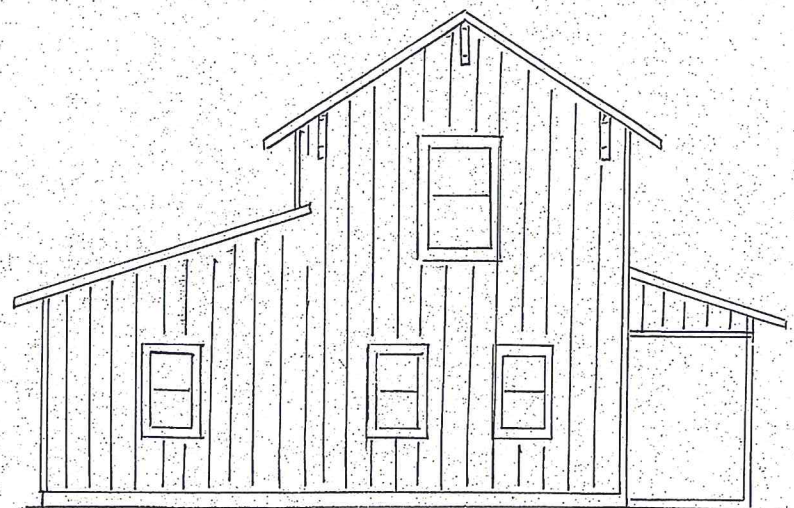
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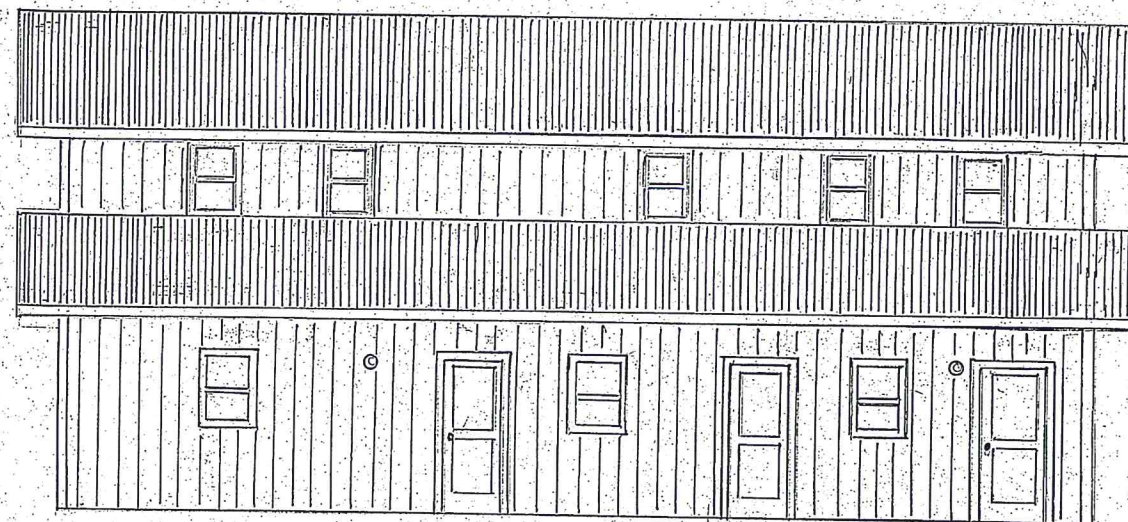
6 WALL SECTION
A-3 SCALE: 1/2" = 1'-0"



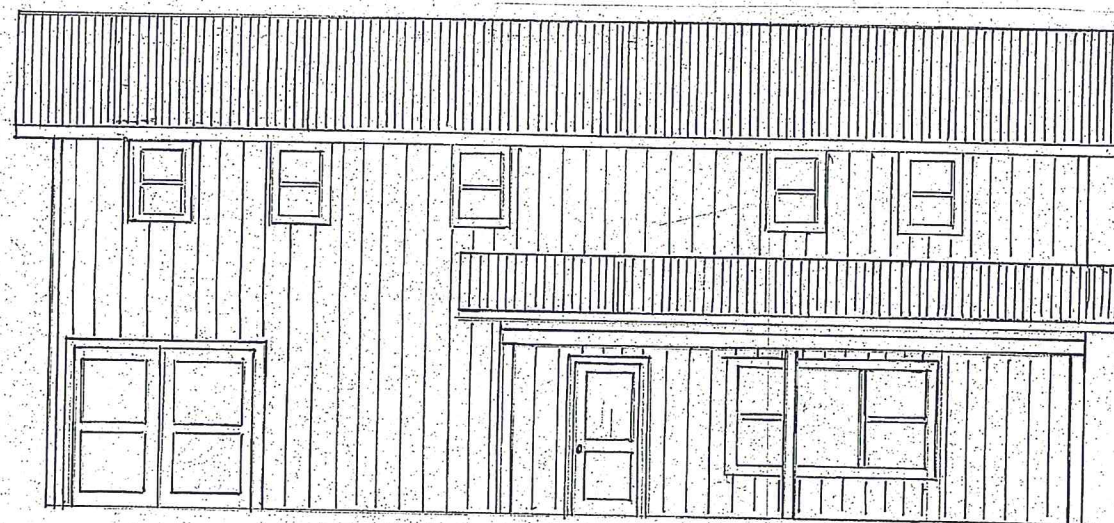
5 EAST ELEVATION
A-3 SCALE: 1/4" = 1'-0"



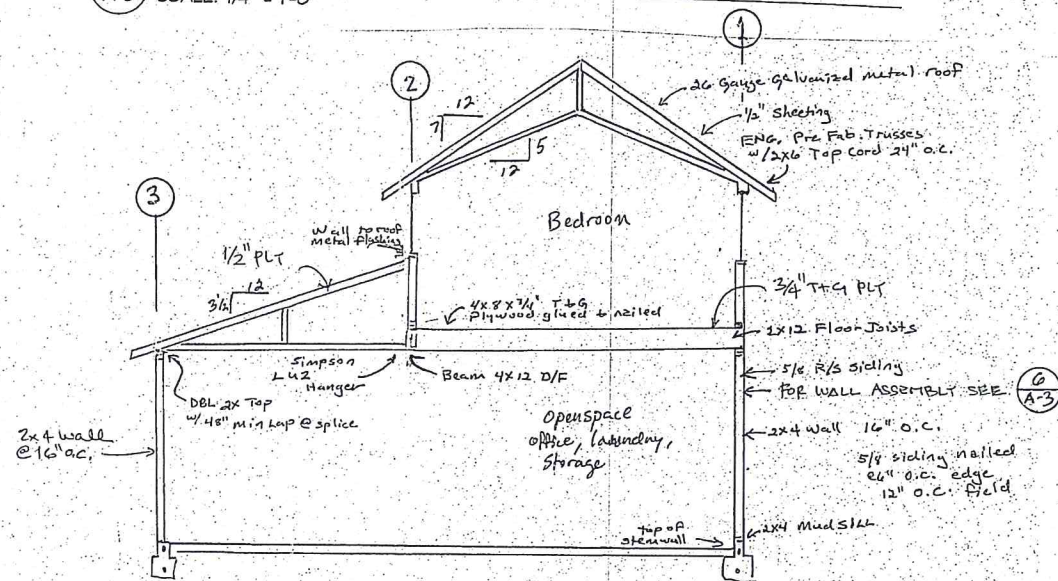
4 WEST ELEVATION
A-3 SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
A-3 SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
A-3 SCALE: 1/4" = 1'-0"



1 TYP. SECTION
A-3 SCALE: 1/4" = 1'-0"

REVISIONS BY

E.P. ENGINEERS
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Suite 213
NAPA, CA 94559
(707) 226-5470
FAX (707) 226-5477
EMAIL epen@epeng.com

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GARDINER RESIDENCE RETROFIT
2002 JAMES CREEK ROAD
POPE VALLEY, CALIFORNIA 94567



DATE 8-12-14
SCALE AS NOTED
DRAWN D. JOHNSON
JOB 1412

SHEET

A-3

OF 10 SHEETS

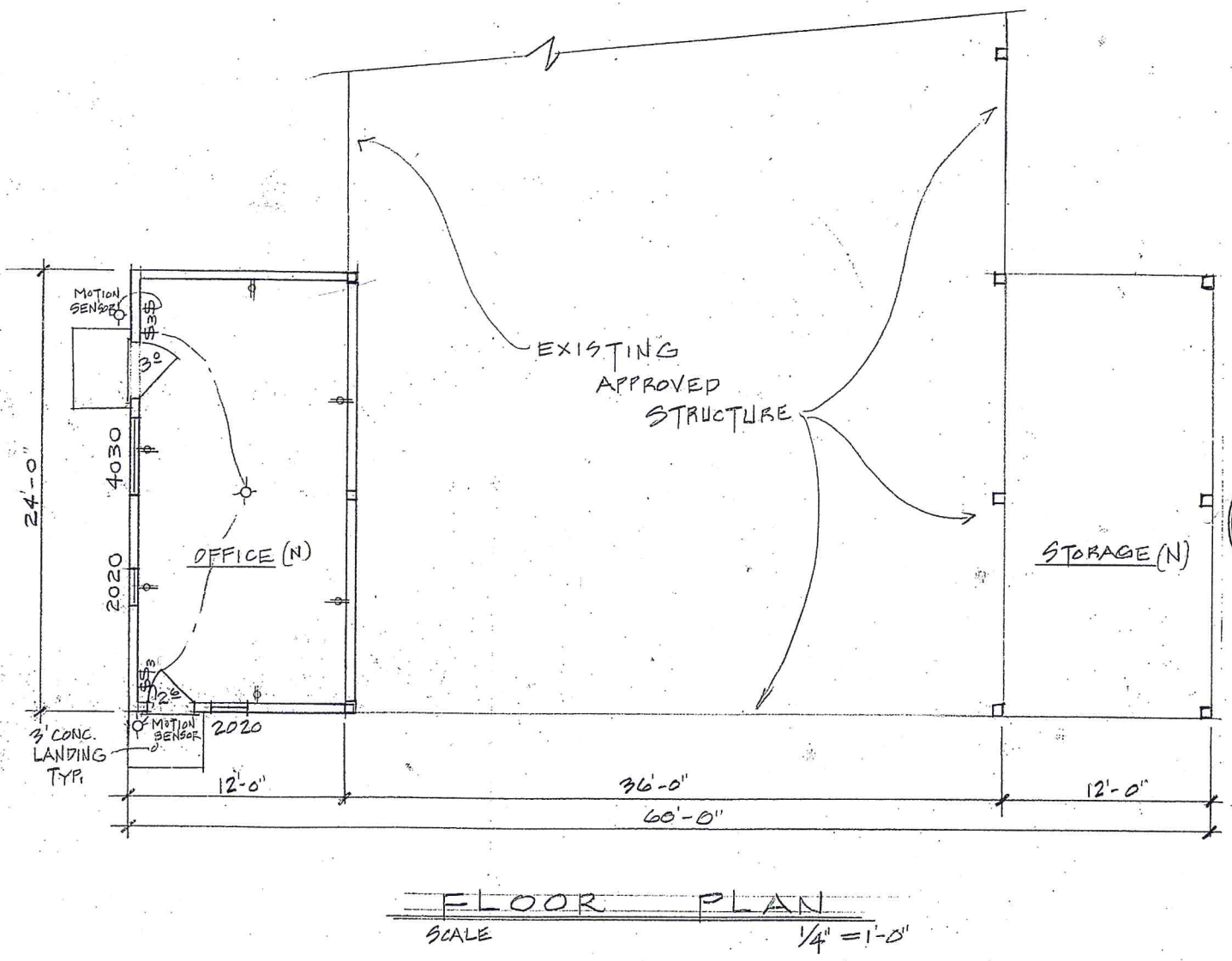
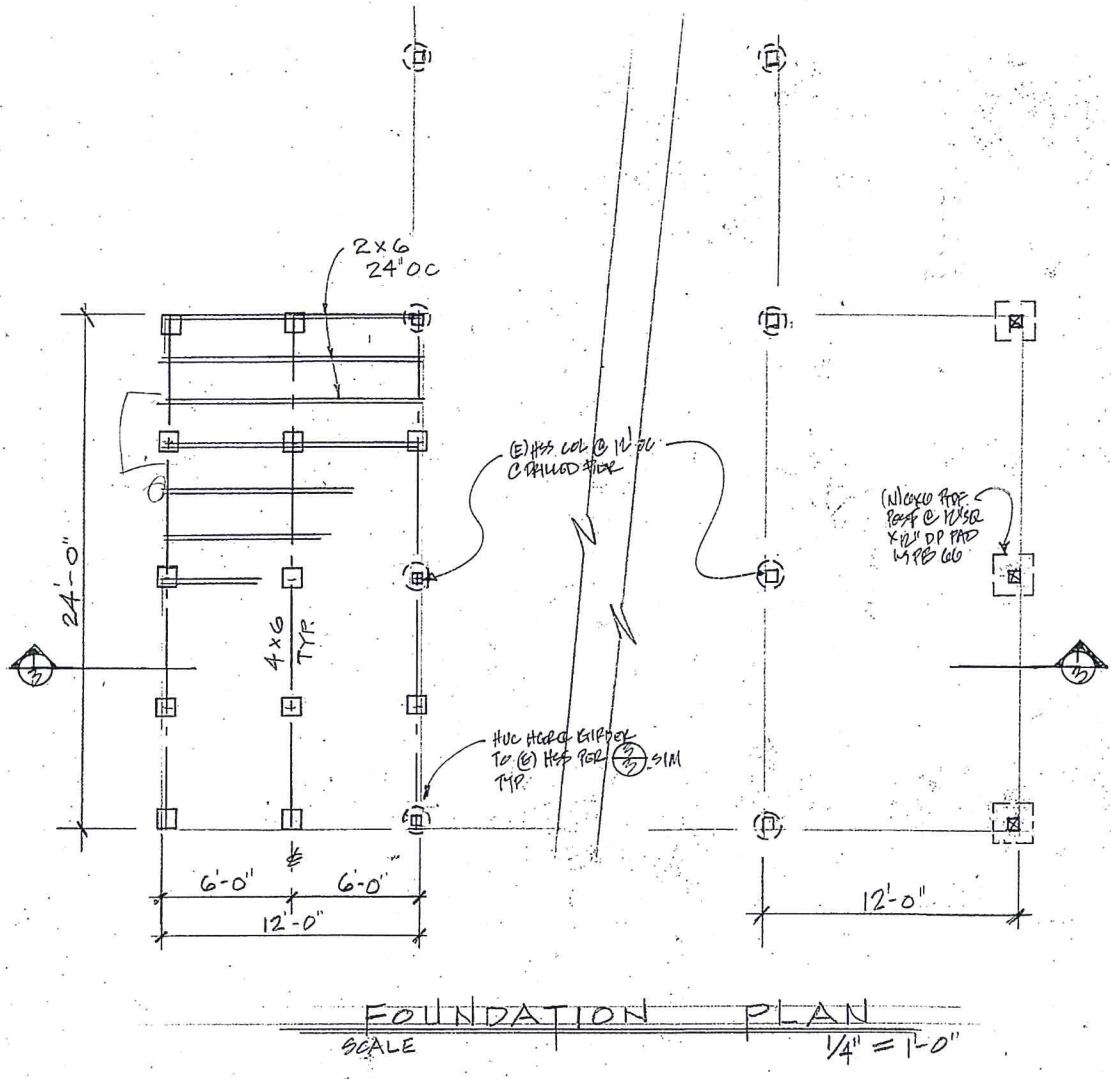
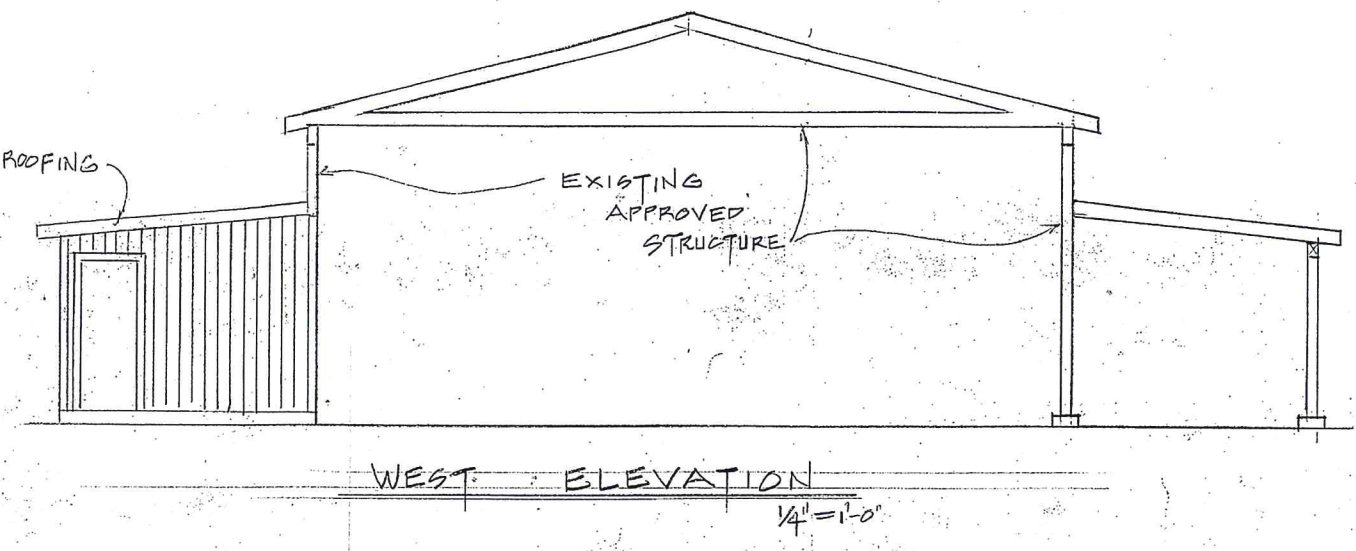
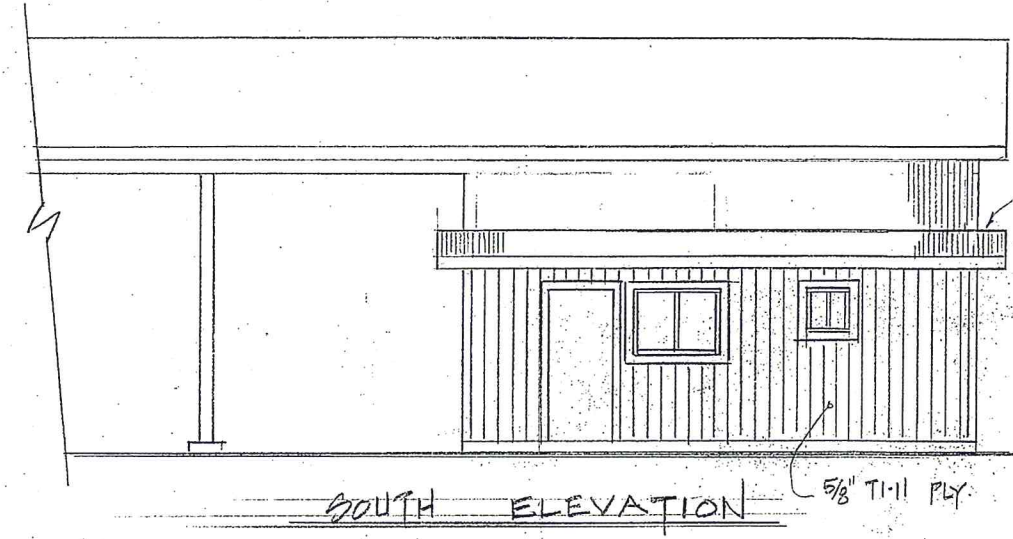
Date: 11-12

Revisions:

no.	date	by

Job No.

Drawn By:
RPR



BUILDING FOR @
DEBRA GARDINES
2002 JAMES CREEK RD.
POPE VALLEY, CA.

Richard A. Rocklewitz
960 Stone Castle Lane, Santa Rosa, CA 95405
Phone (707) 539-1336

Sheet:
2

Building B-1

Date: 11-13
 Revisions:

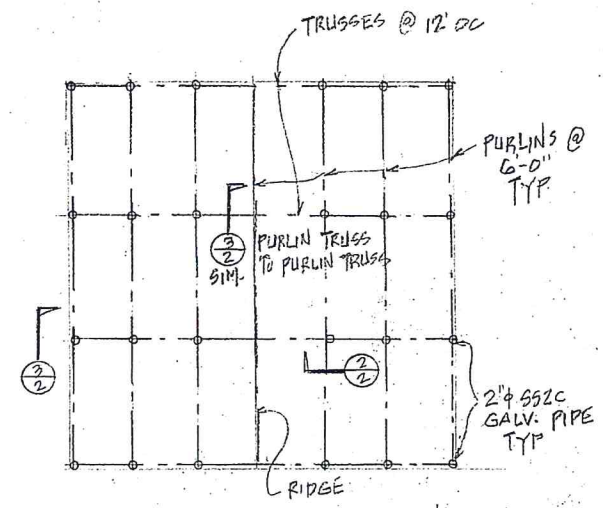
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Job No. _____
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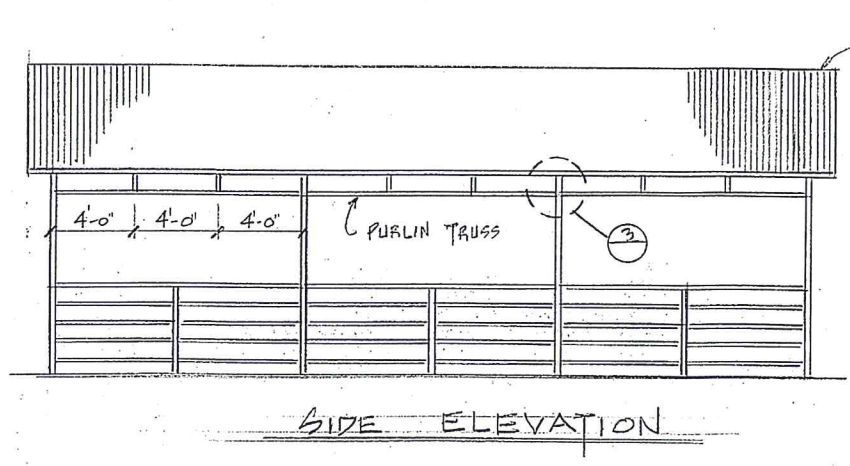
MAKE HOTEL FOR ©
 DEBRA GARDNER
 2002 JAMES CREEK RD.
 POPE VALLEY, CA.

Richard A. Rocklewitz
 960 Stone Castle Lane, Santa Rosa, CA 95405
 Phone (707) 539-1336

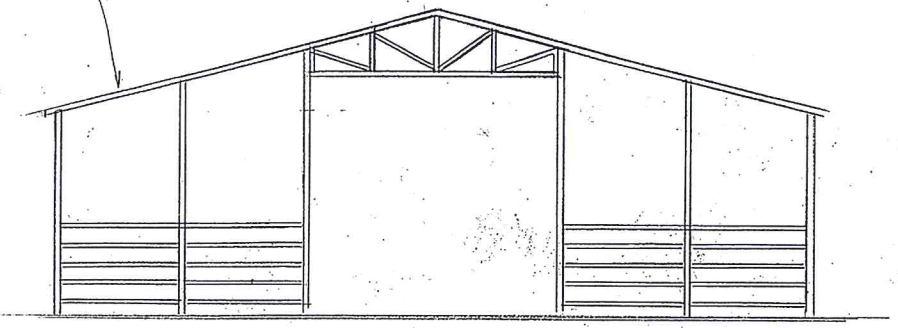
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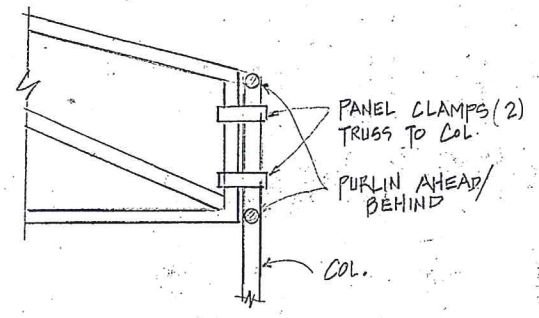
ROOF FRAMING PLAN
 SCALE 1/8" = 1'-0"



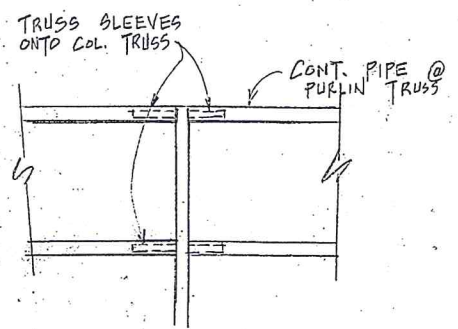
SIDE ELEVATION



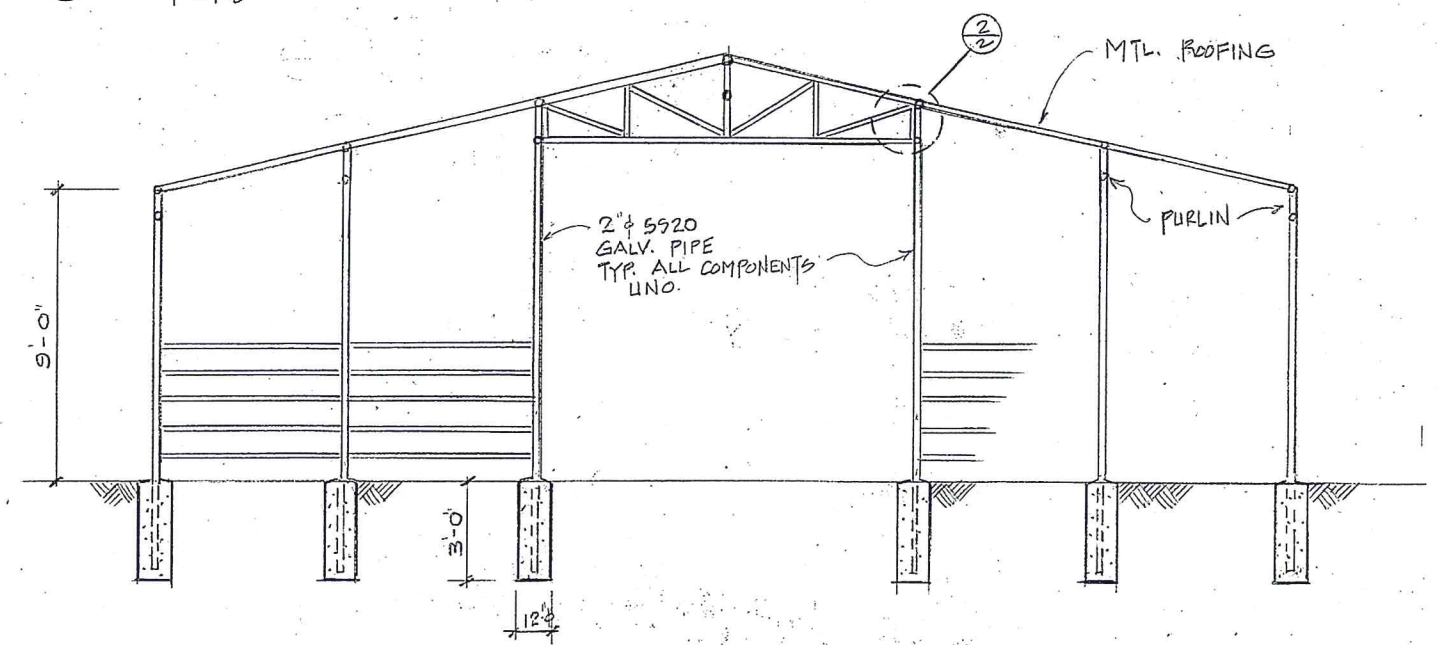
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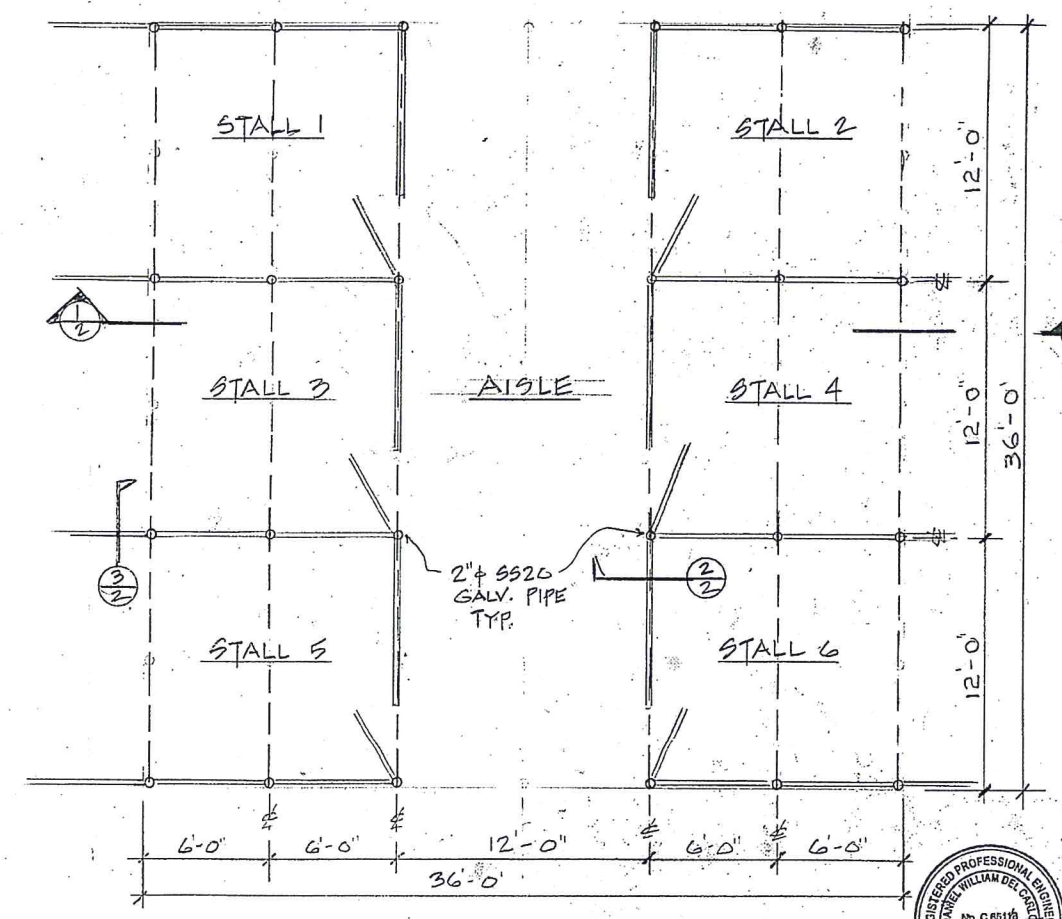
SCALE 1" = 1'-0"



SCALE 1" = 1'-0"



SECTION
 SCALE 3/8" = 1'-0"



FLOOR PLAN

SCALE 1/4" = 1'-0"



Building

Date: 10-15

Revisions:

no.	date	by

Job No.

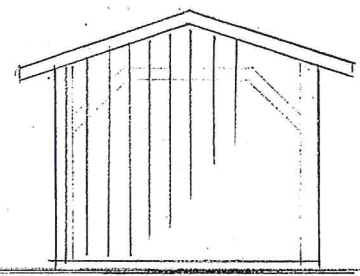
Drawn By:
RAR

DOUG ZIMMERLY

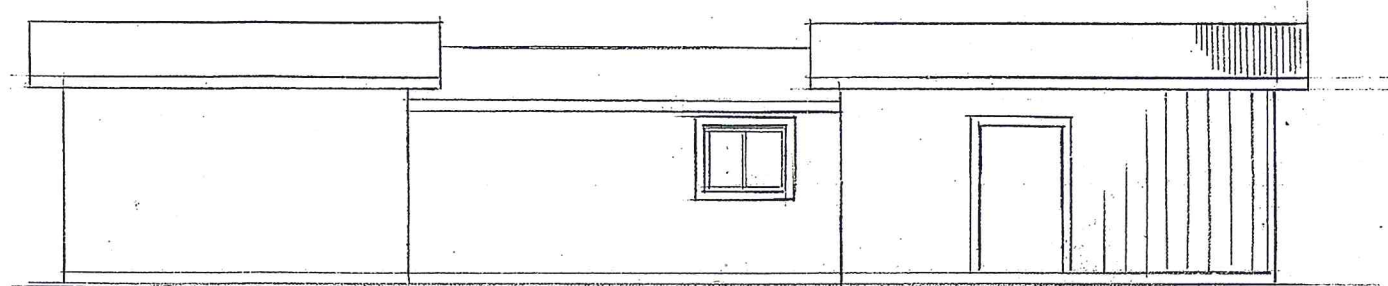
BUILDING FOR (A)
DEBRA GARDINER
2002 JAMES CREEK RD
FOOTE VALLEY, CA

Richard A. Rocklewitz
960 Stone Castle Lane, Santa Rosa, CA 95405
Phone (707) 539-1336

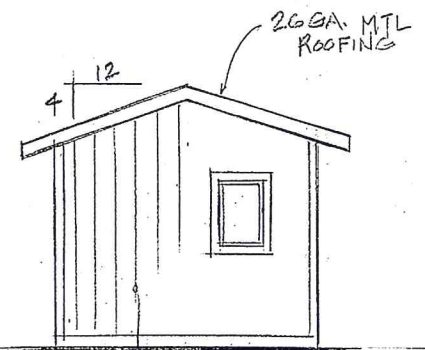
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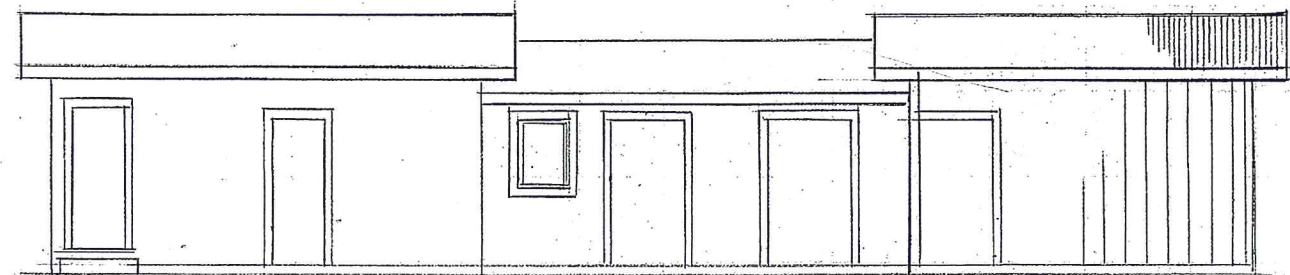
NORTH ELEVATION



EAST ELEVATION



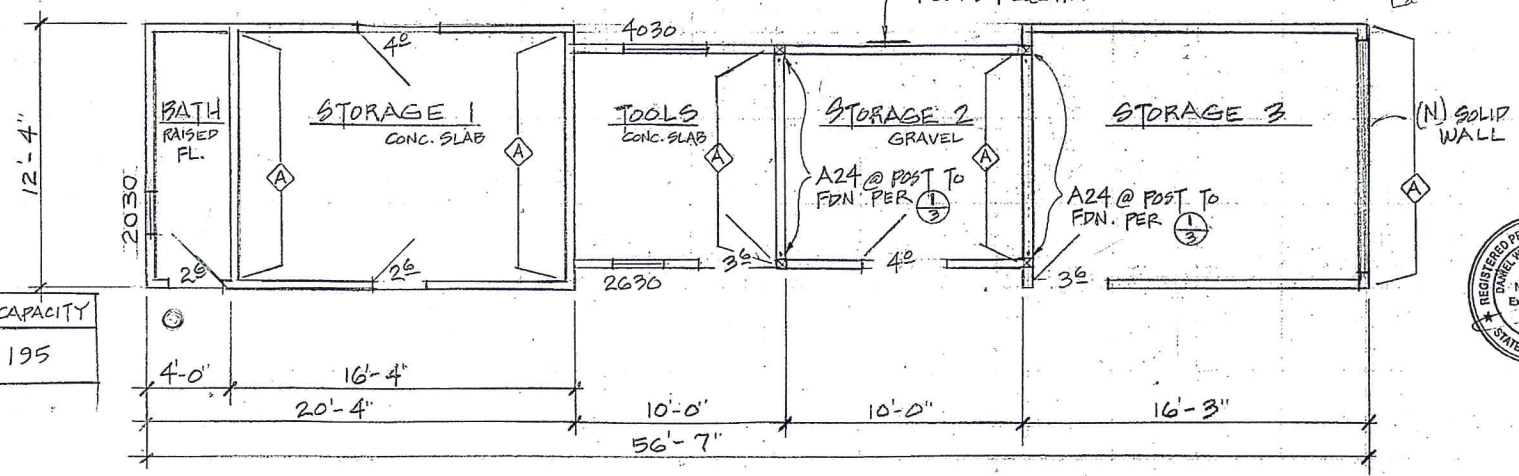
SOUTH ELEVATION



WEST ELEVATION
SCALE 1/4" = 1'-0"

1000 misc.
1000 1/2" silver plywood w/ white
32 studs 4x8x12
72 studs 2x4
5 2x4x12
10 1x6
Labor 7000
DBL Post storage

50 D.I. 1/4" 2500
Cone 1620
Stair 108
12. 300-20 80



FLOOR PLAN (A)
SCALE 1/4" = 1'-0"

SHEARWALL					
SYMBOL	PLYWOOD	PANEL EDGE NAILING	ANCHORAGE @ FDN	ANCHORAGE @ FRAME	CAPACITY
(A)	1/2 CDX 32/16 EXP. OR 5/8 T-11	Bd COMMON @ 6" OR Bd GALV. FOX	5/8" @ AB @ 6 OC	16d @ 8" A35 @ 32"	195



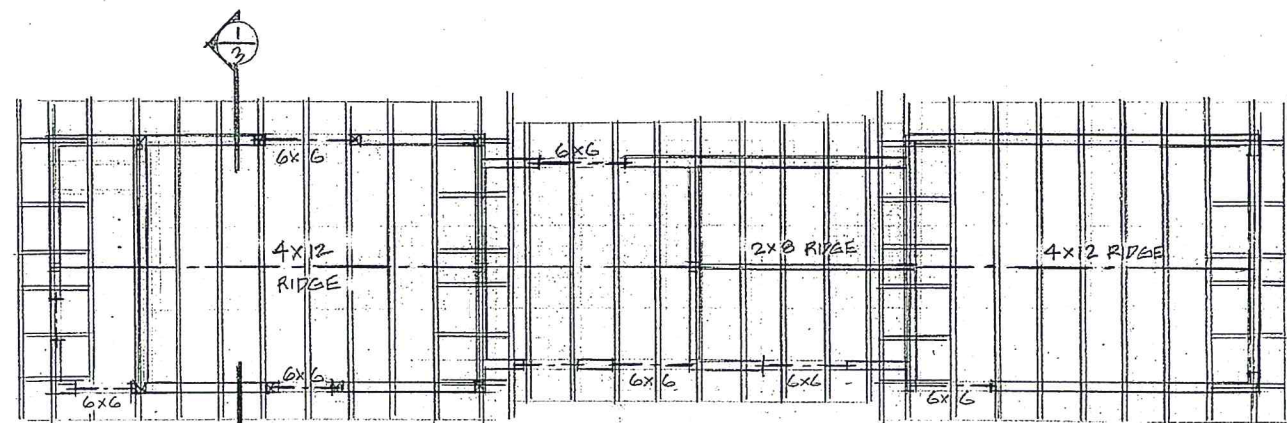
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Date:		
Revisions:		
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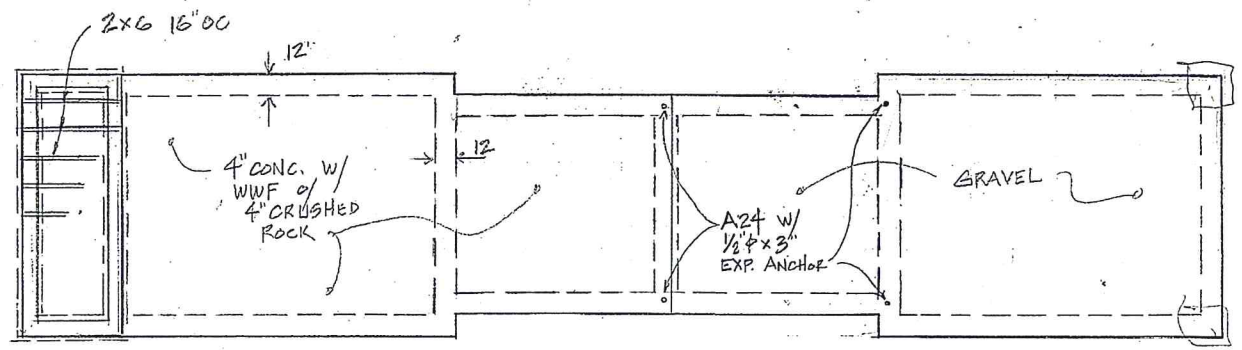
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Drawn By:

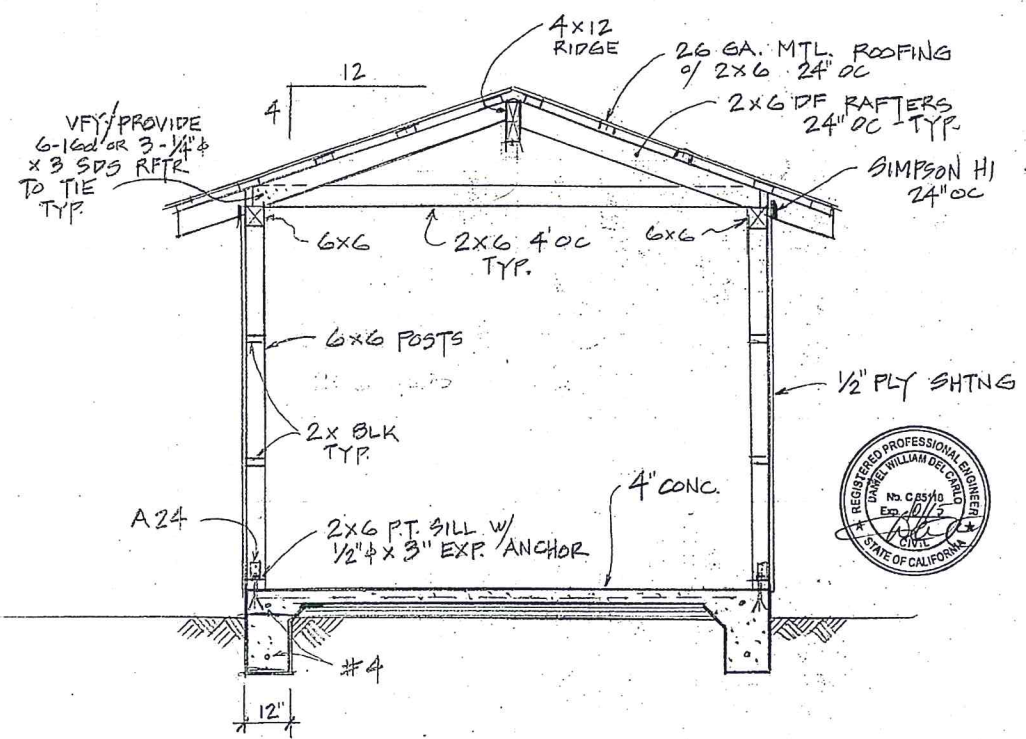
RAF



ROOF FRAMING PLAN
SCALE 1/4" = 1'-0"



FOUNDATION PLAN
SCALE 1/4" = 1'-0"



SECTION 1-3
SCALE 1/2" = 1'-0"

BUILDING FOR (A)

DEBRA GARDNER
2002 JAMES CREEK RD.
POPE VALLEY, CA



Richard A. Rocklewitz
960 Stone Castle Lane, Santa Rosa, CA 95405
Phone (707) 539-1336

Sheet:

3 of 3

BuildingA

Date: 11-12
 Revisions:

no.	date	by

Job No.

Drawn By:

FAR

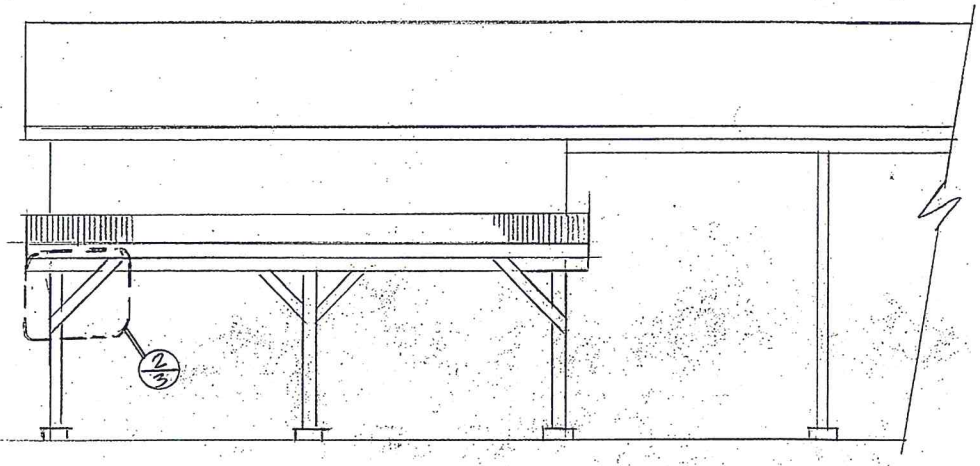
BUILDING FOR (B)
 DEBRA GARDNER
 2002 JAMES CREEK RD.
 POPE VALLEY, CA.



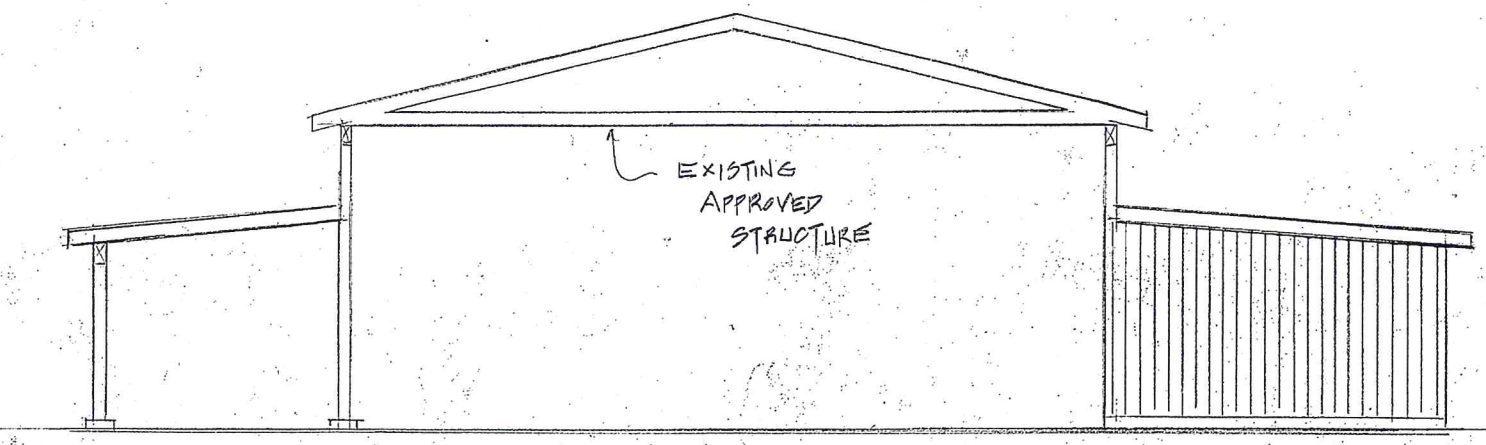
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 Phone (707) 539-1336

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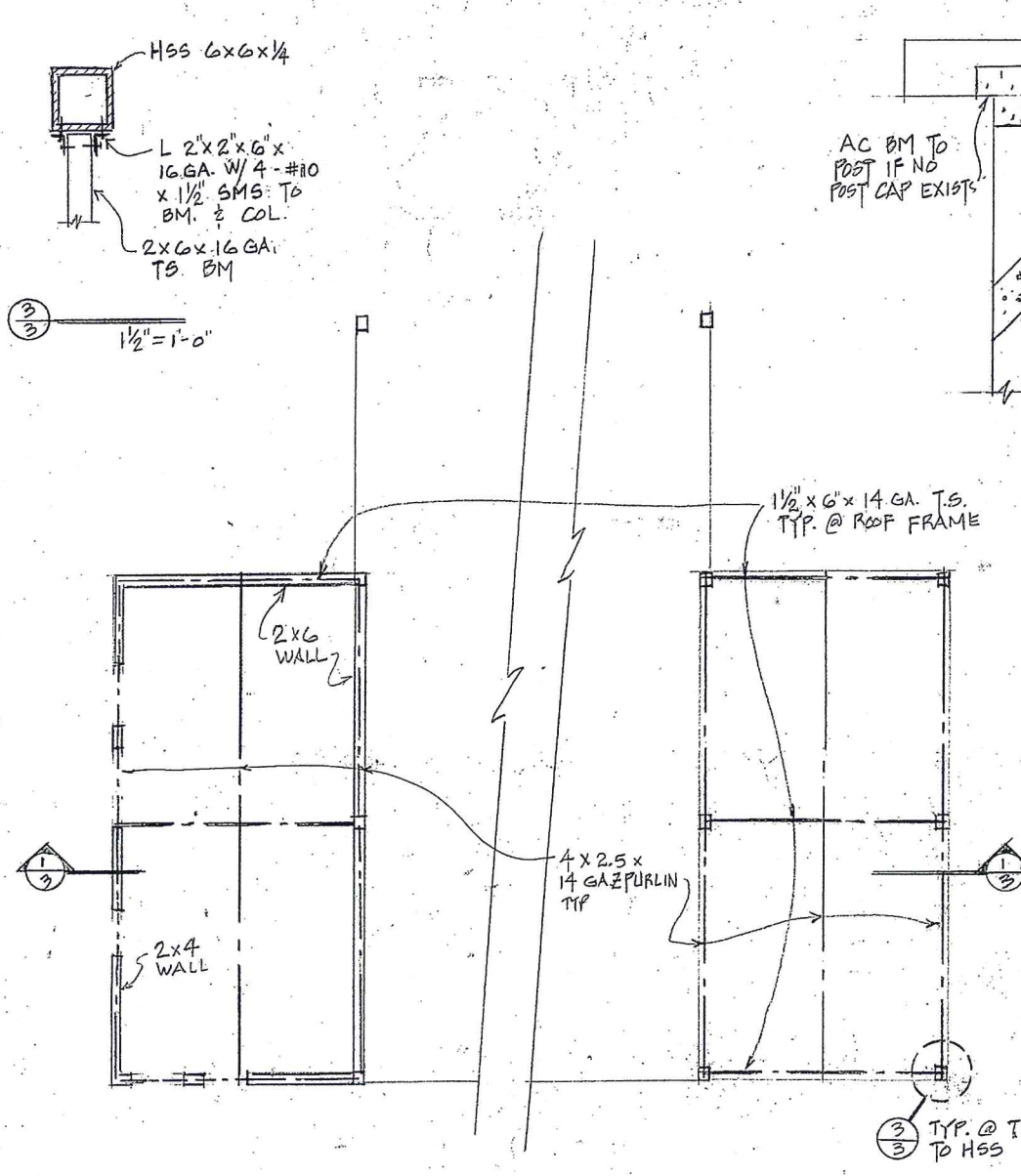
3 of



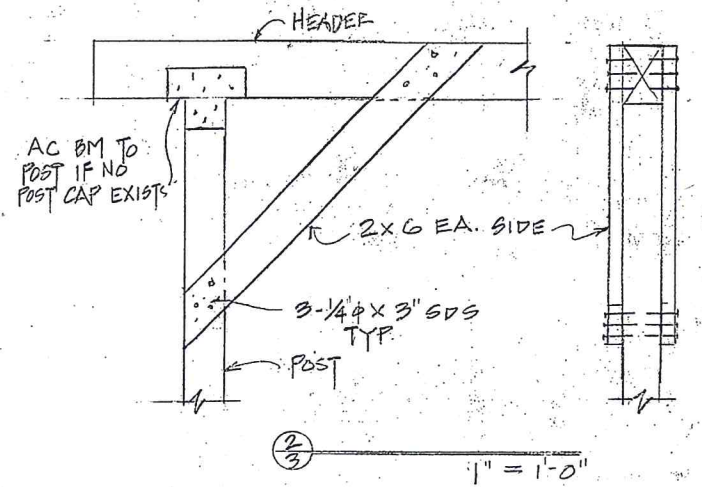
NORTH ELEVATION



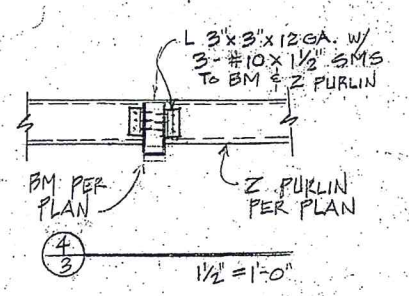
EAST ELEVATION



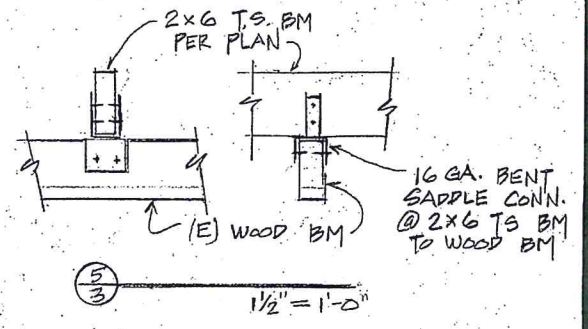
ROOF FRAMING PLAN
 SCALE 1/4" = 1'-0"



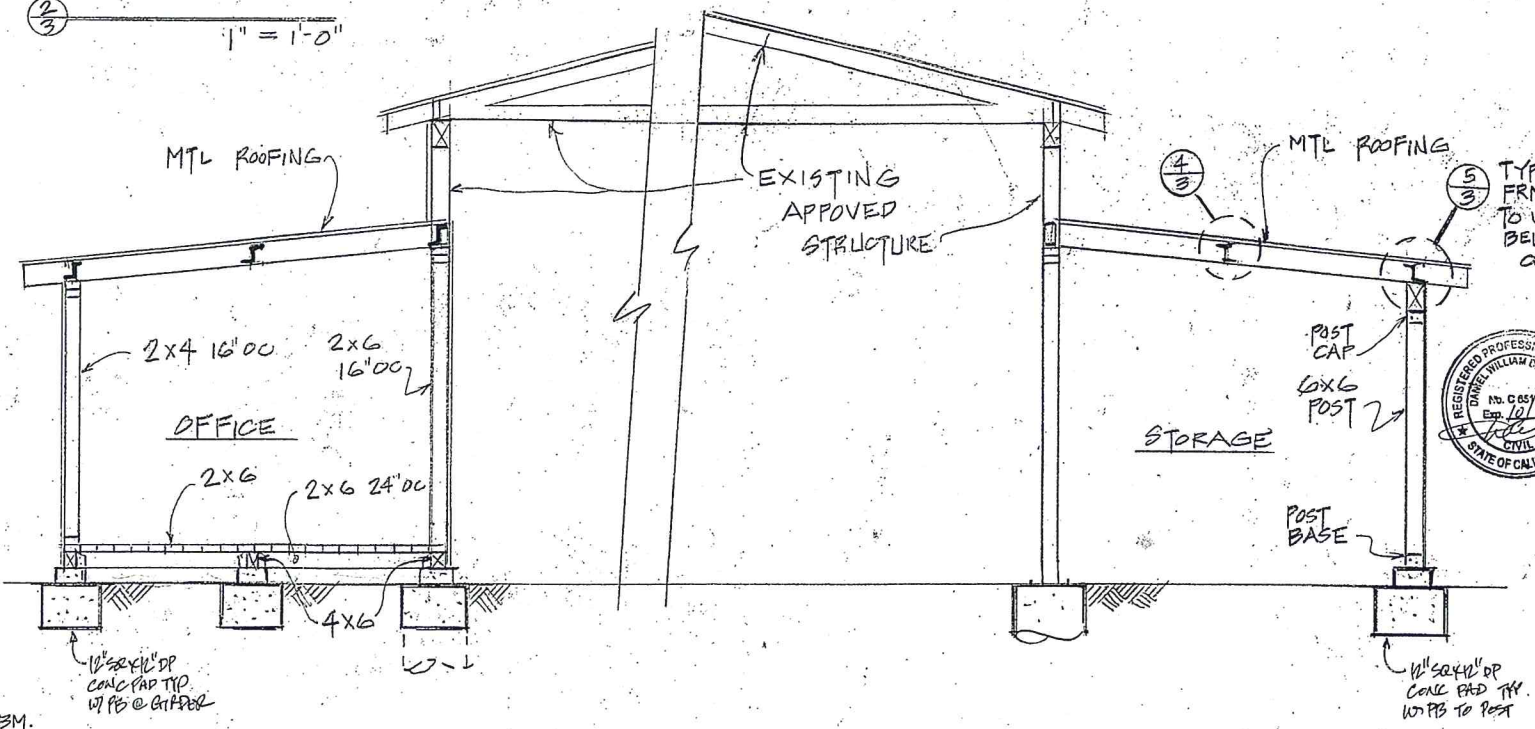
1" = 1'-0"



1/2" = 1'-0"



1/2" = 1'-0"

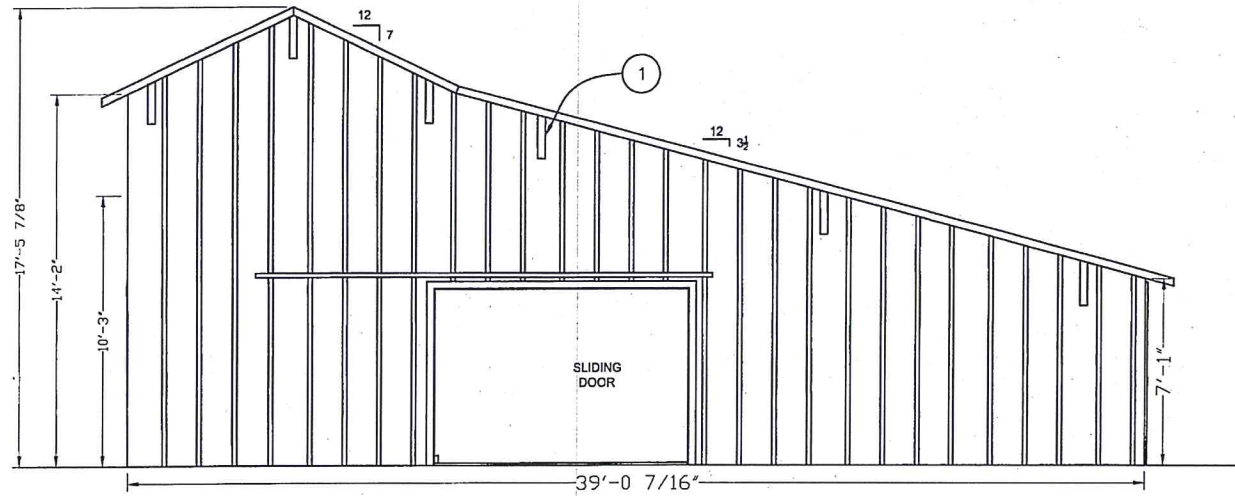


SECTION
 SCALE 3/8" = 1'-0"

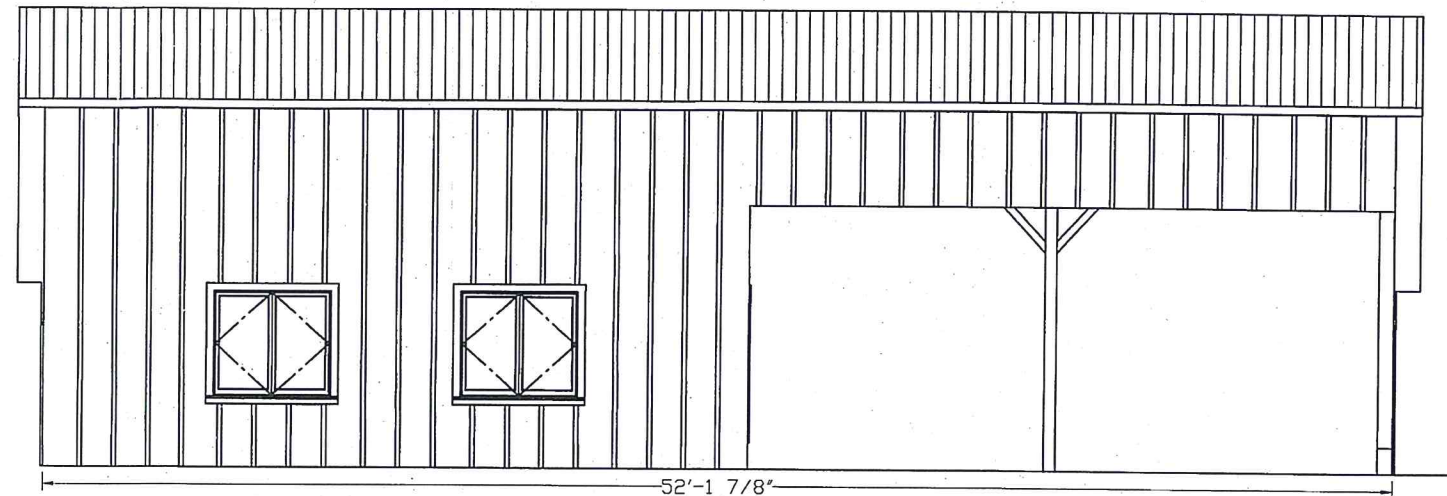


SCOPE OF WORK FOR TACK BARN

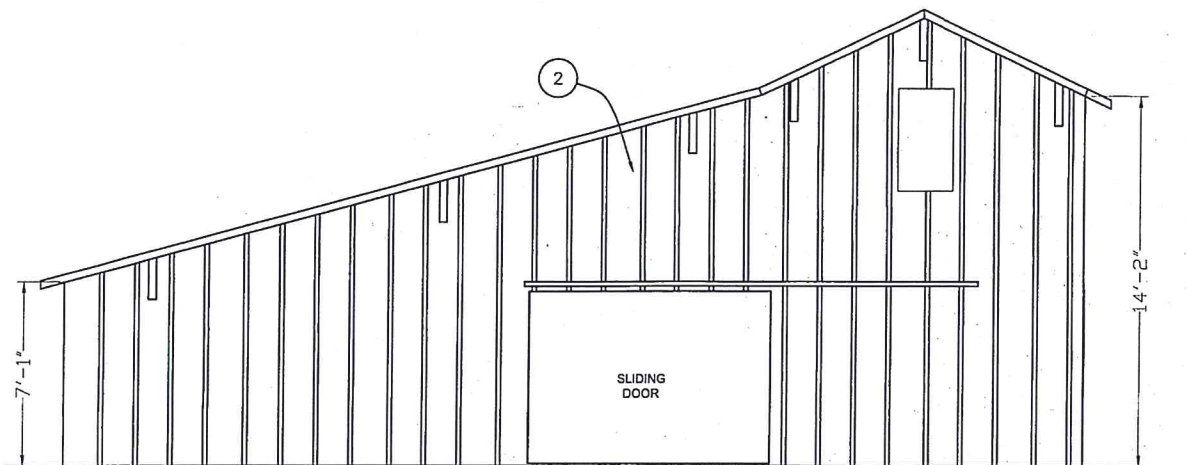
- EXISTING SIDING IS A BRECKENRIDGE PLYWOOD WITH 2" BATTENS.
- ROOF IS CORRUGATED GALVANIZED STEEL.



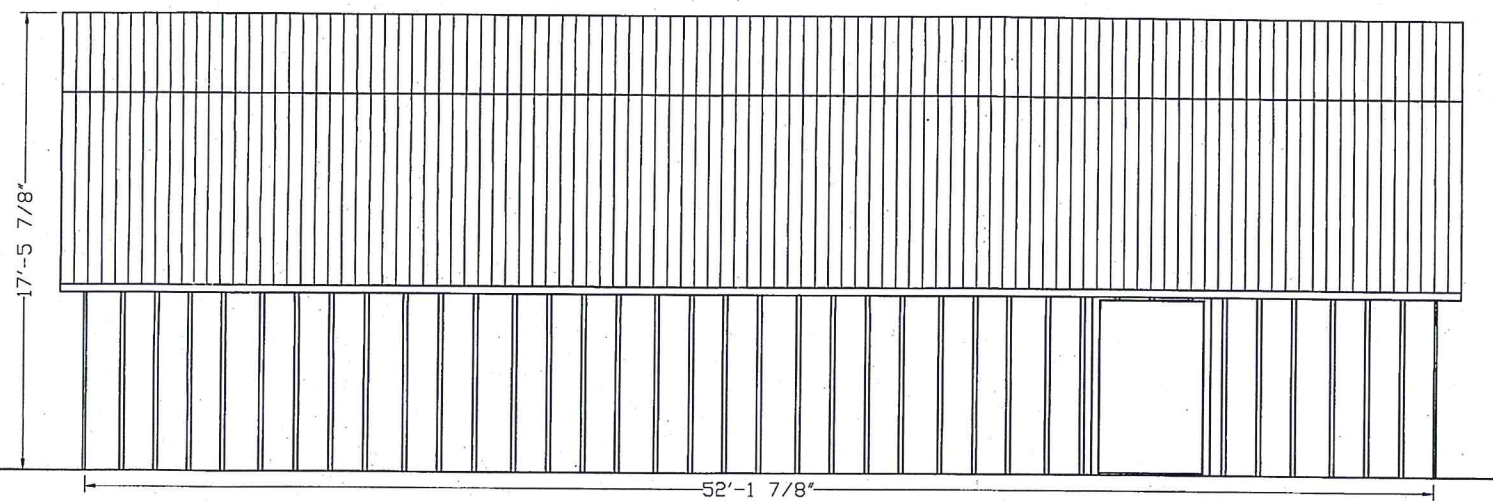
EAST ELEVATION 2
SCALE: 3/16" = 1'



SOUTH ELEVATION 4
SCALE: 3/16" = 1'



WEST ELEVATION 1
SCALE: 3/16" = 1'



NORTH ELEVATION 3
SCALE: 3/16" = 1'

- KEY NOTES**
- INSTALL 4X4 EAVE BRACE (TYP)
 - BRECKENRIDGE AND BATTEN SIDING (TYP)

REVIEWED FOR CODE COMPLIANCE
Approval of these plans does not authorize or approve any omission or deviation from the requirements of state laws or local ordinances. One set of approved plans shall be available on the project site at all times.

By: _____ Date: 15-00055
No.: _____
Napa County Planning, Building & Environmental Services
Blg. Div.

FILE: TACKBARN.DWG	DATE: DECEMBER 15, 2014
OWNER: THE GARDINERS ADDRESS: 2002 JAMES CREEK ROAD POPE VALLEY, CA 94957	PARCEL No.:
ENGINEER: JOHN STITT TELEPHONE: (707) 235-9183 www.stittengineering.com	STITT ENGINEERING GROUP
ELEVATION TACK BARN	
TACK BARN NAPA COUNTY CALIFORNIA	
DRAWING ELV-2 SHEET NO 2 OF 6	

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SCOPE OF WORK FOR TACK BARN

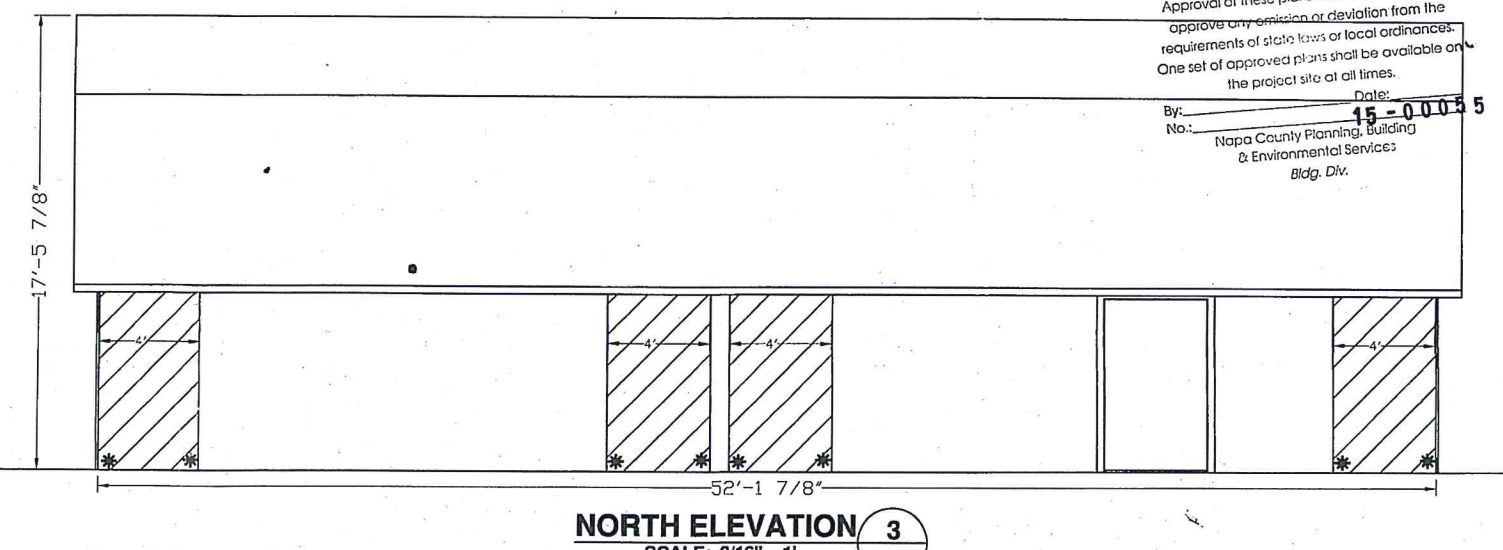
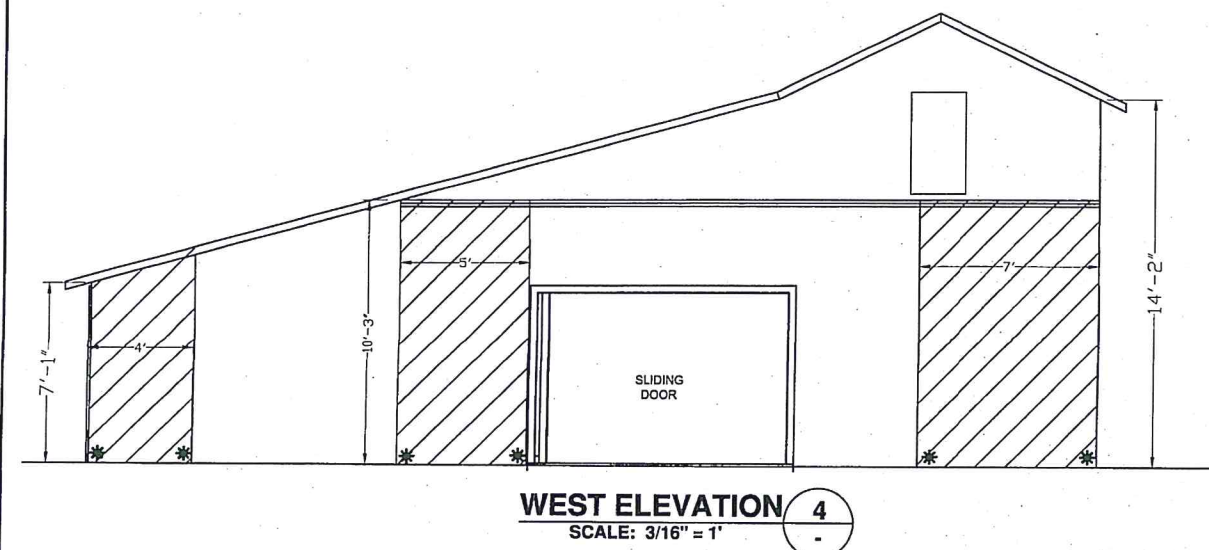
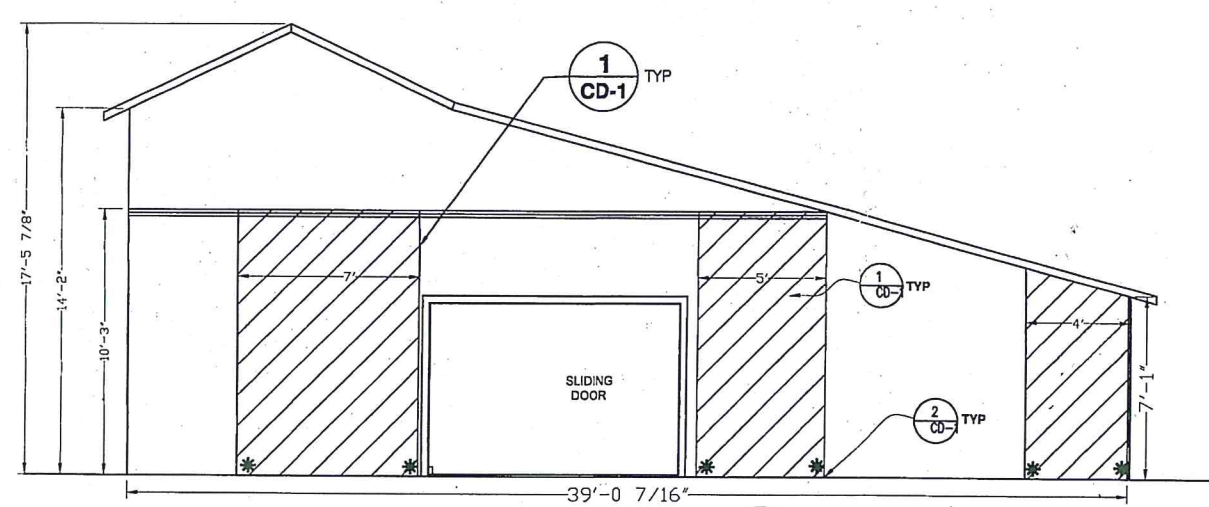
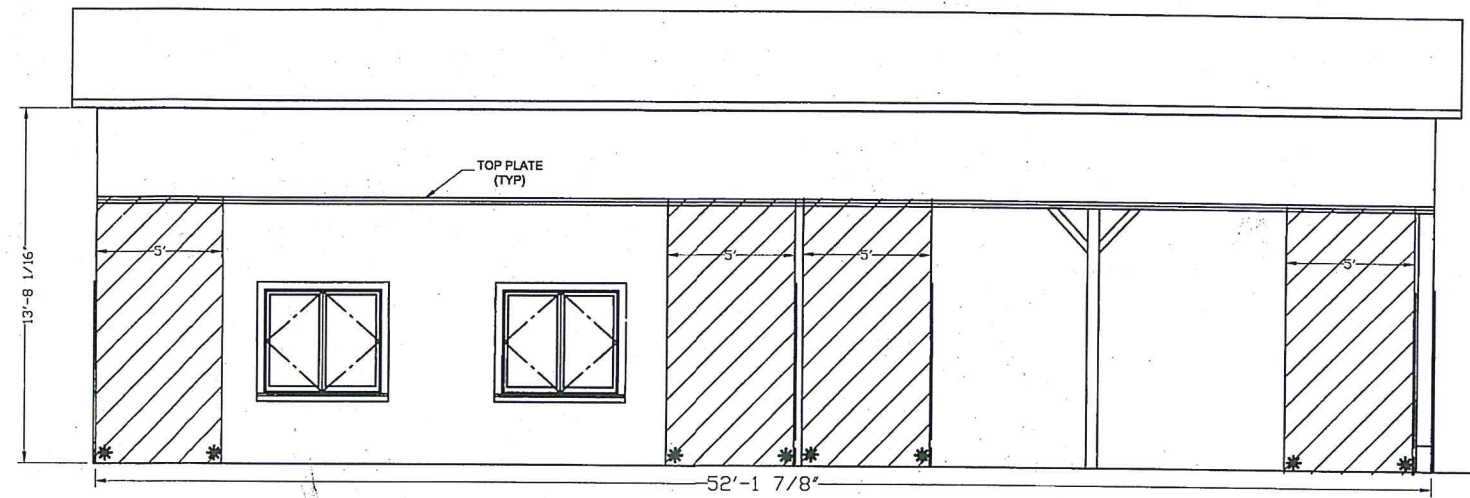
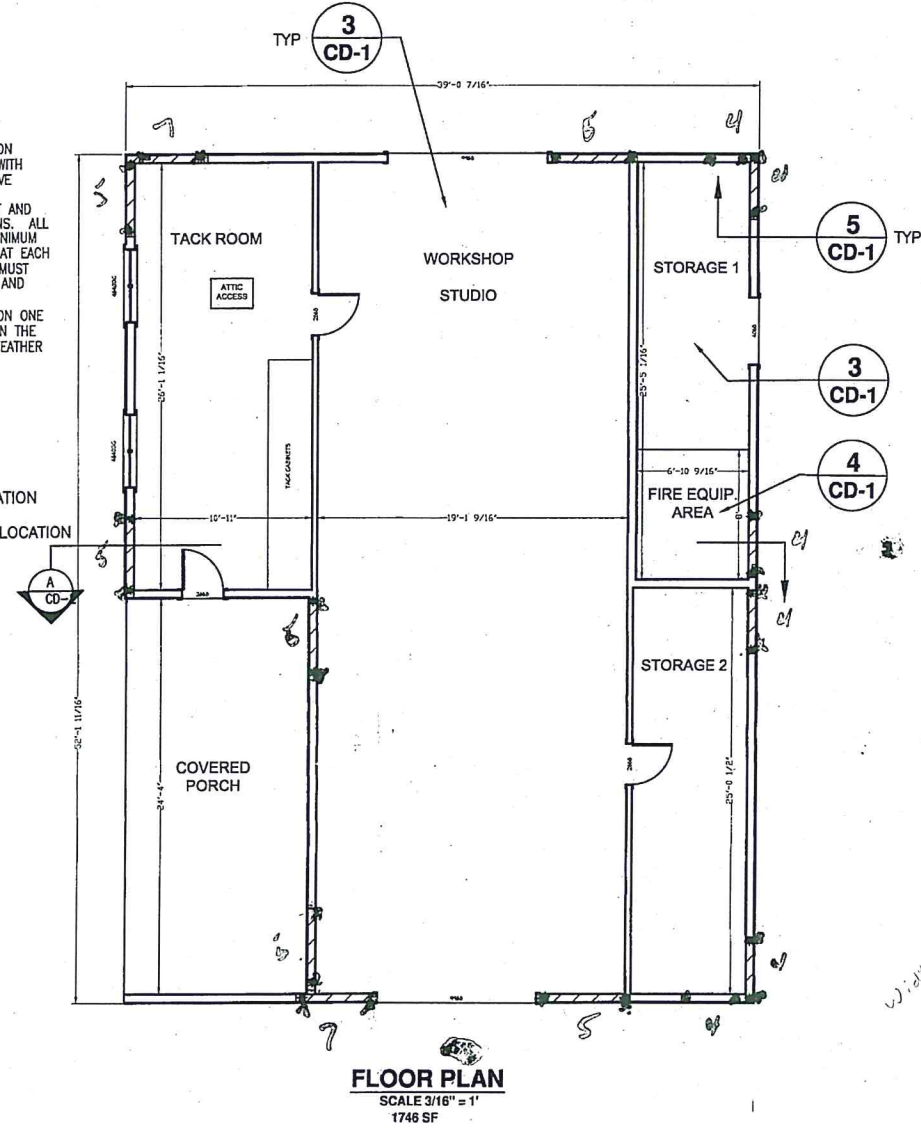
1. ADD SHEARWALL CAPACITY AS SHOWN ON PLANS BY USING EXISTING 5/8" PLYWOOD ON EXTERIOR WALLS, ADDING HOLDOWNS IN EACH CORNER OF NEW SHEARWALL PANELS.
2. VERIFY THAT SIMPSON ROOF CLIPS H2.5 MIN. ARE INSTALLED ONTO EXISTING TOP PLATE OF ALL EXTERIOR WALL LINES.
3. INSTALL CONCRETE SLAB IN STORAGE 1 AREA WITH EXTERIOR STEM WALL AS SHOWN ON PLANS.
4. ALL WALL CONSTRUCTION 2X4 AT 16" OC.

SHEARWALL NOTES

1. INSTALL HOLDOWNS: INSTALL 7/8" SIMPSON THREADED ROD INTO EXISTING CONCRETE WITH EPOXY - 6" EMBEDMENT. ALLOW 4" ABOVE CONCRETE TO PENETRATE SILL PLATE AND CONNECT TO HDU5 CONNECTOR WITH BOLT AND WASHER AS PER MANUFACTURER DIRECTIONS. ALL HOLDOWNS SHALL BE CONNECTED TO A MINIMUM 3" NOMINAL THICKNESS FRAMING MEMBER AT EACH CORNER OF SHEAR PANEL. SHEAR PANEL MUST CONNECT THE TOP PLATE TO FOUNDATION AND BLOCK ALL JOINTS AS PER CODE.
2. FASTEN PLYWOOD TO FRAMING MEMBERS, ON ONE SIDE OF WALL, AT 6" ON EDGE AND 12" IN THE FIELD WITH BRIGHT COMMON 8d NAILS. WEATHER PROTECT AND PAINT AS PER CODE.

SYMBOLS

- * HOLDOWN LOCATION
- /// SHEAR PANEL LOCATION



width along 1/2 height

REVIEWED FOR CODE COMPLIANCE
Approval of these plans does not authorize or approve any emission or deviation from the requirements of state laws or local ordinances. One set of approved plans shall be available on the project site at all times.
By: _____ Date: 15-0005
Napa County Planning, Building & Environmental Services Bldg. Div.

DESCRIPTION	
DATE	
REV. No.	
OWNER	THE GARDINERS 2002 JAMES CREEK ROAD POPE VALLEY, CA 94567
ADDRESS	
TELEPHONE	
PARCEL No.	
FILE	TACKBARN.DWG
DATE	DECEMBER 15, 2014
ENGINEER	JOHN STITT STITT ENGINEERING GROUP 707 235-8193 www.stittdesign.com
REGISTERED CIVIL ENGINEER	No. 4432
CALIFORNIA	
NAPA COUNTY	
POPE VALLEY	
DRAWING	S-1
SHEET No	3 OF 6

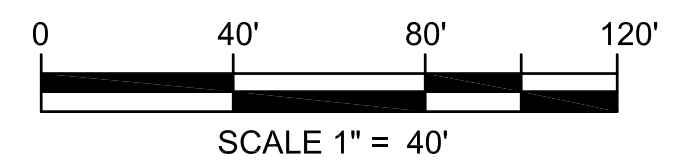
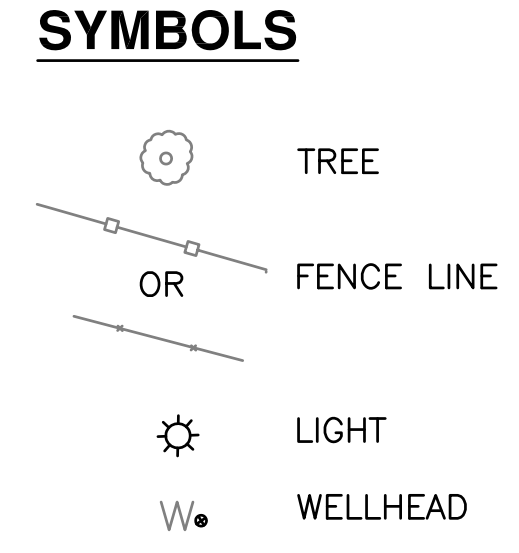
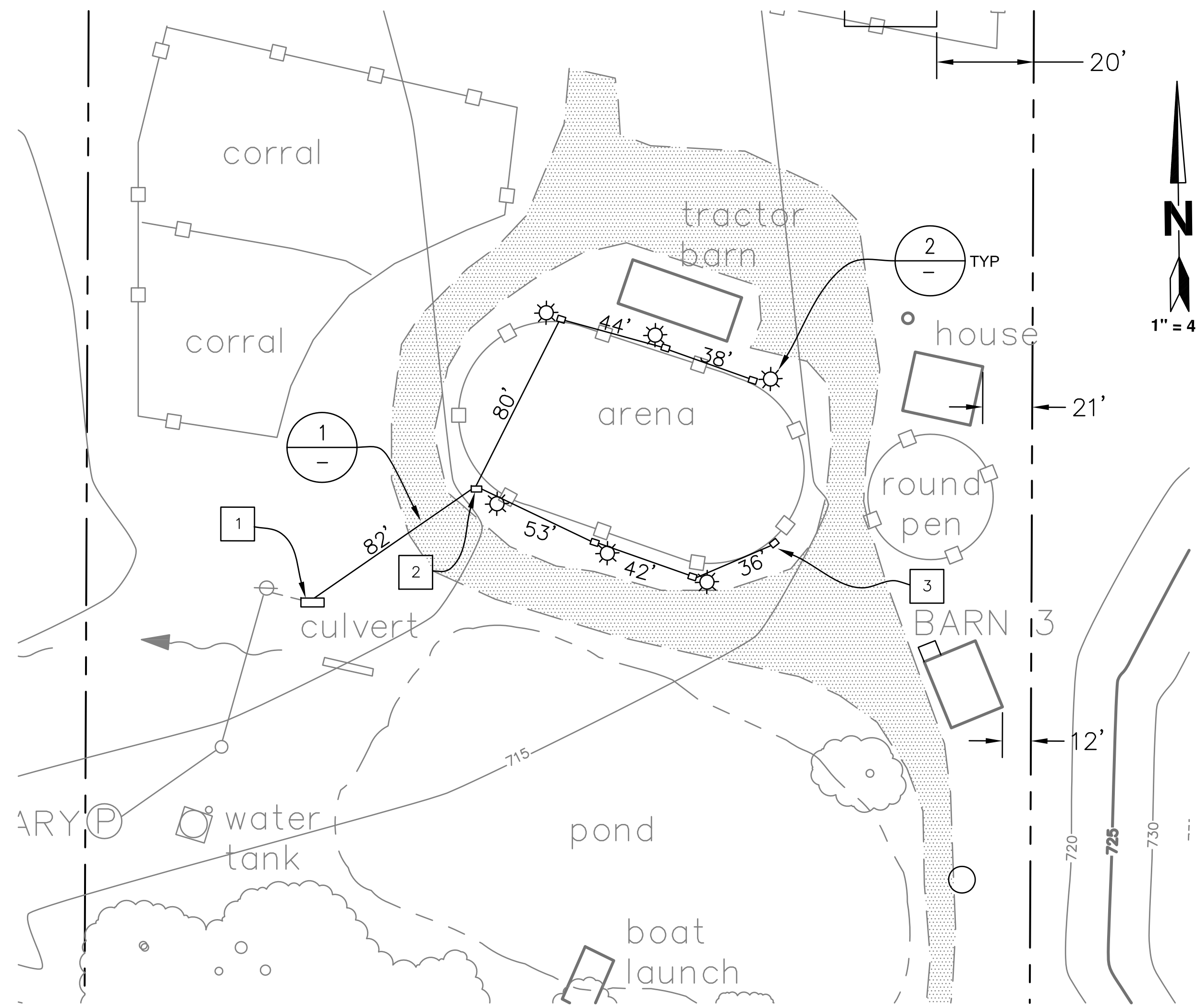
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ELECTRICAL SCOPE FOR ENGINEERED SEPTIC SYSTEM

1. INSTALL 6 ARENA FLOOD LIGHTS AND CONTROL SWITCH.
2. INSTALL 20 AMP BREAKER IN 200 AMP EXISTING SERVICE PANEL.

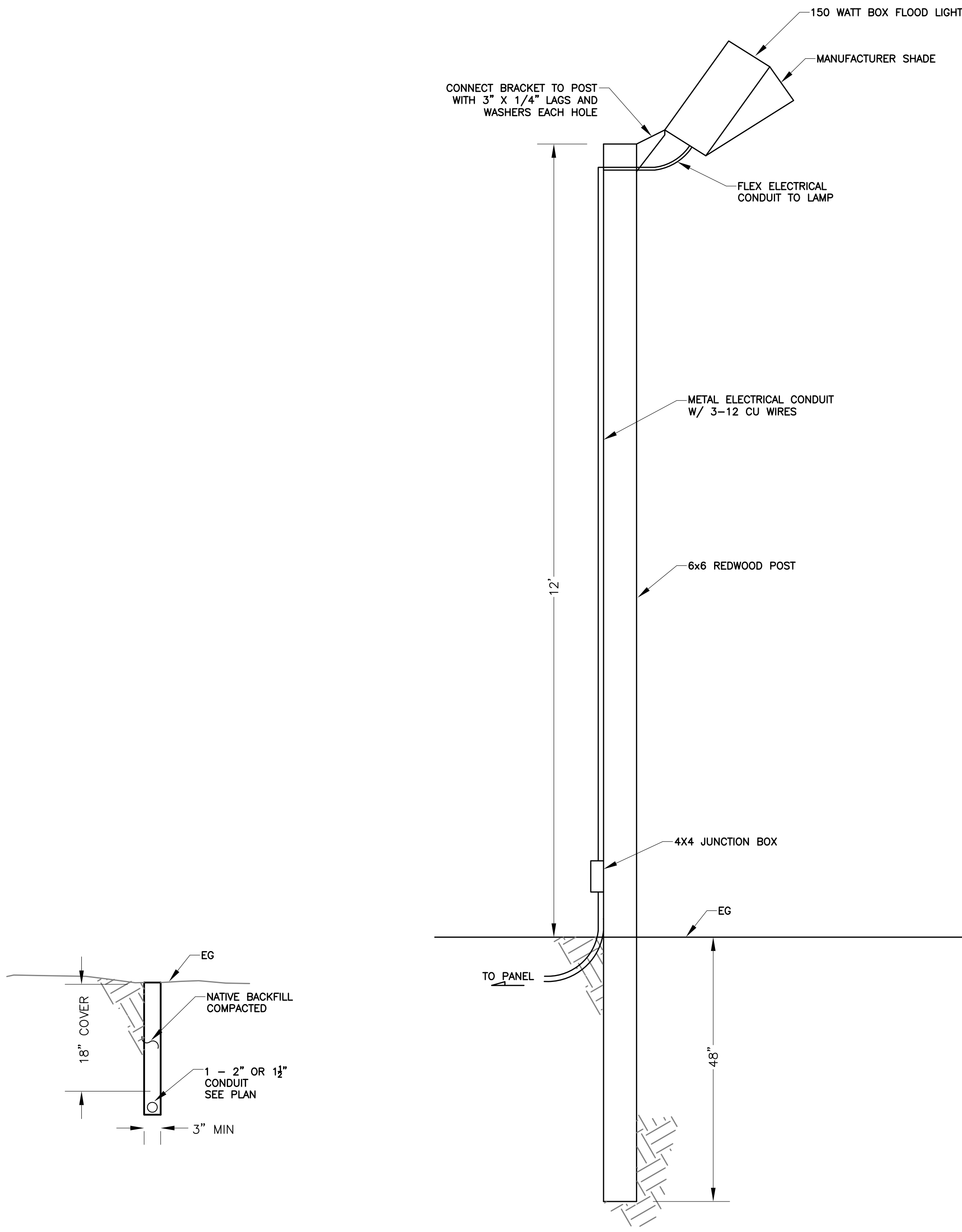
GENERAL ELECTRICAL NOTES

1. ALL ELECTRICAL WORK TO BE PERFORMED BY A BONDED AND STATE LICENSED CONTRACTOR USING CALIFORNIA ELECTRICAL 2016 CODE AND COUNTY OF NAPA LOCAL CODE REQUIREMENTS.
2. ALL NEW CIRCUITS SHALL BE LABELED IN EXISTING MAIN PANEL AS PER CALIFORNIA ELECTRICAL CODE (CEC).
3. FOLLOW ALL MANUFACTURER INSTALLATION INSTRUCTIONS.

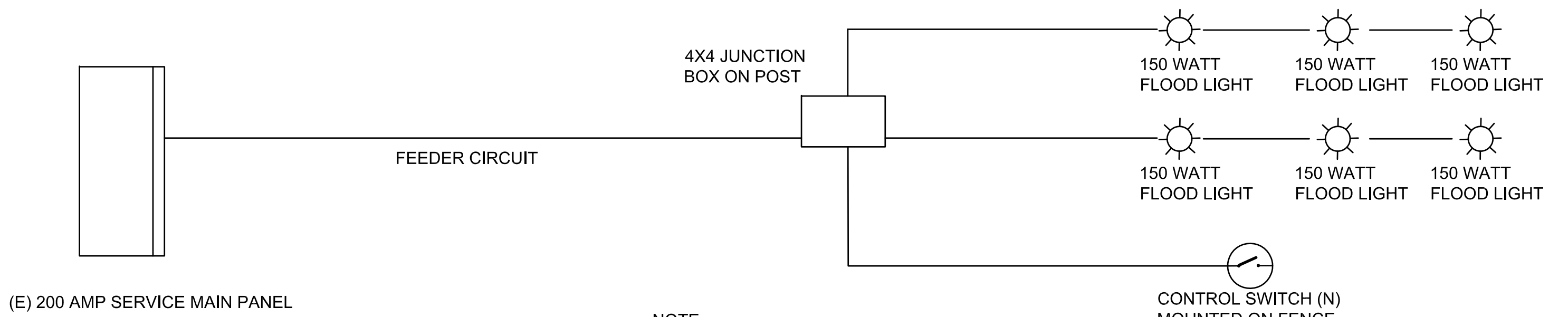


ELECTRICAL FEATURES

- 1 (E) 200 AMP MAIN CIRCUIT PANEL AND PG&E SERVICE DISCONNECT POINT. INSTALL NEW 1 (N) CIRCUIT BREAKERS 20 AMP
- 2 (N) 4X4 JUNCTION BOX WITH COVER ON EACH LIGHT POST (TYP)
- 3 (N) POST WATER PROOF SWITCH MOUNTED TO FENCE POST



PLAN VIEW



NOTE:
USE 3-12 GA UNDERGROUND RATE COPPER CONDUCTORS

TYPICAL ELECTRICAL TRENCH 1
NTS

TYPICAL LIGHT POST 2

CIRCUIT DIAGRAM 3

DESCRIPTION	
DATE	
REV. NO.	
OWNER	THE GARDINERS 7630 BUTTS CANYON RD POPE VALLEY, CA 94567
ADDRESS	
TELEPHONE	
PARCEL NO.	
StittEngineering.com	
ENGINEER	JOHN STITT
TELEPHONE	(707) 235-8193
www.stittengineering.com	
PROFESSIONAL ENGINEER	
NO. 44592	
CIVIL	
FILE	TOP024.DWG
DATE	MARCH 15, 2017
BUILDINGS A, B, C, D, F, J, K, L, Mx AND Q	
"L" ARENA LIGHTING PLAN	
DRAWING	C-12
SHEET NO	13
OF	16
POPE VALLEY	
NAPA COUNTY	
CALIFORNIA	

F:\Project\2017\14\Corridor\Drawings\Building\MASTER-ARENA.dwg Time: Mon 3/15/2017 10:05:35am
User: J. Stitt
Plot: T:\Projects\2017\14\Corridor\Drawings\Building\MASTER-ARENA.dwg Plot Date: 3/15/2017 10:05:35am