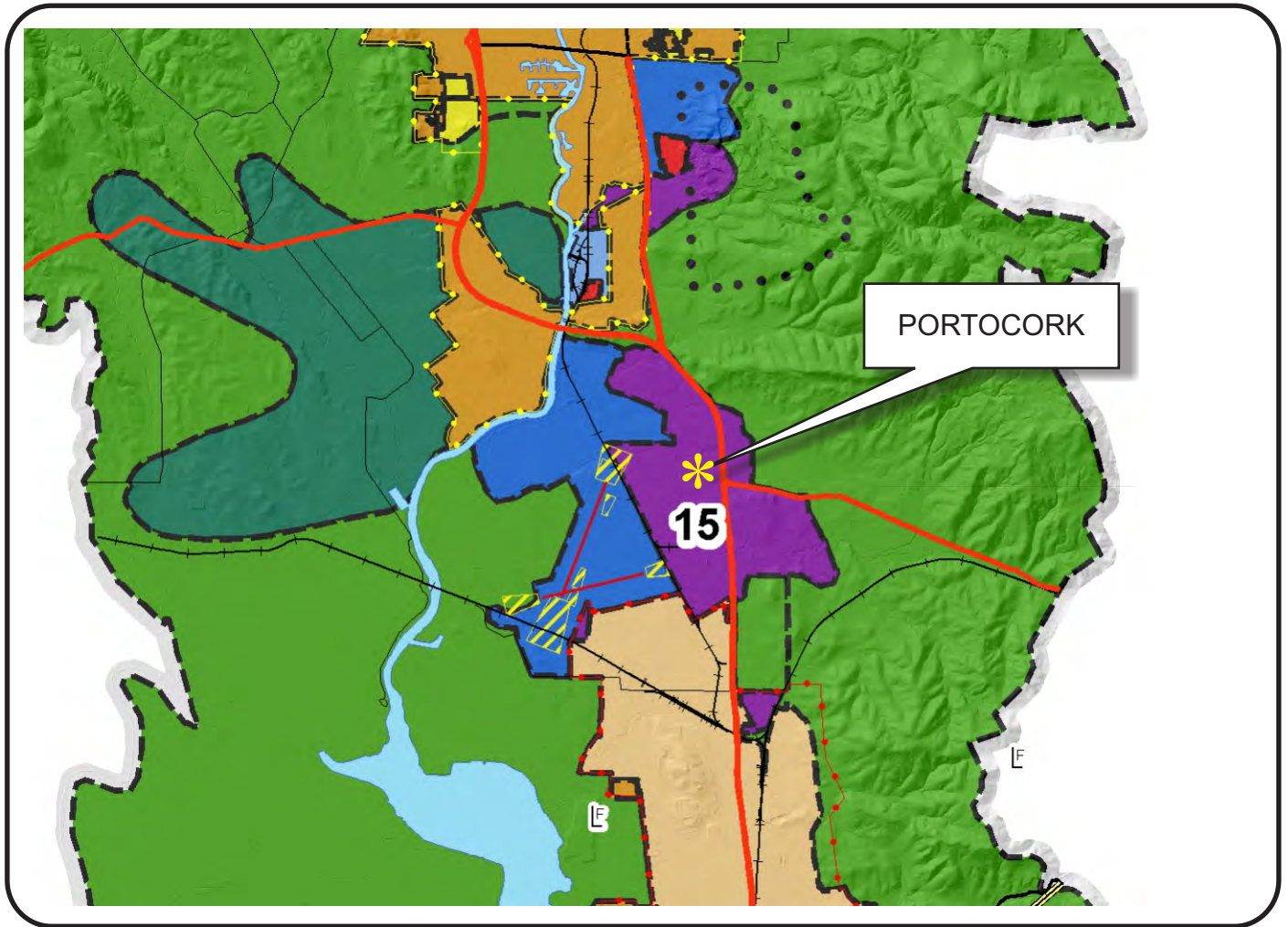


“G”

Graphics

NAPA COUNTY LAND USE PLAN 2008 - 2030



LEGEND



URBANIZED OR NON-AGRICULTURAL

- Study Area
- Cities
- Urban Residential*
- Rural Residential*
- Industrial
- Public-Institutional
- Napa Pipe Mixed Use

OPEN SPACE

- Agriculture, Watershed & Open Space
- Agricultural Resource

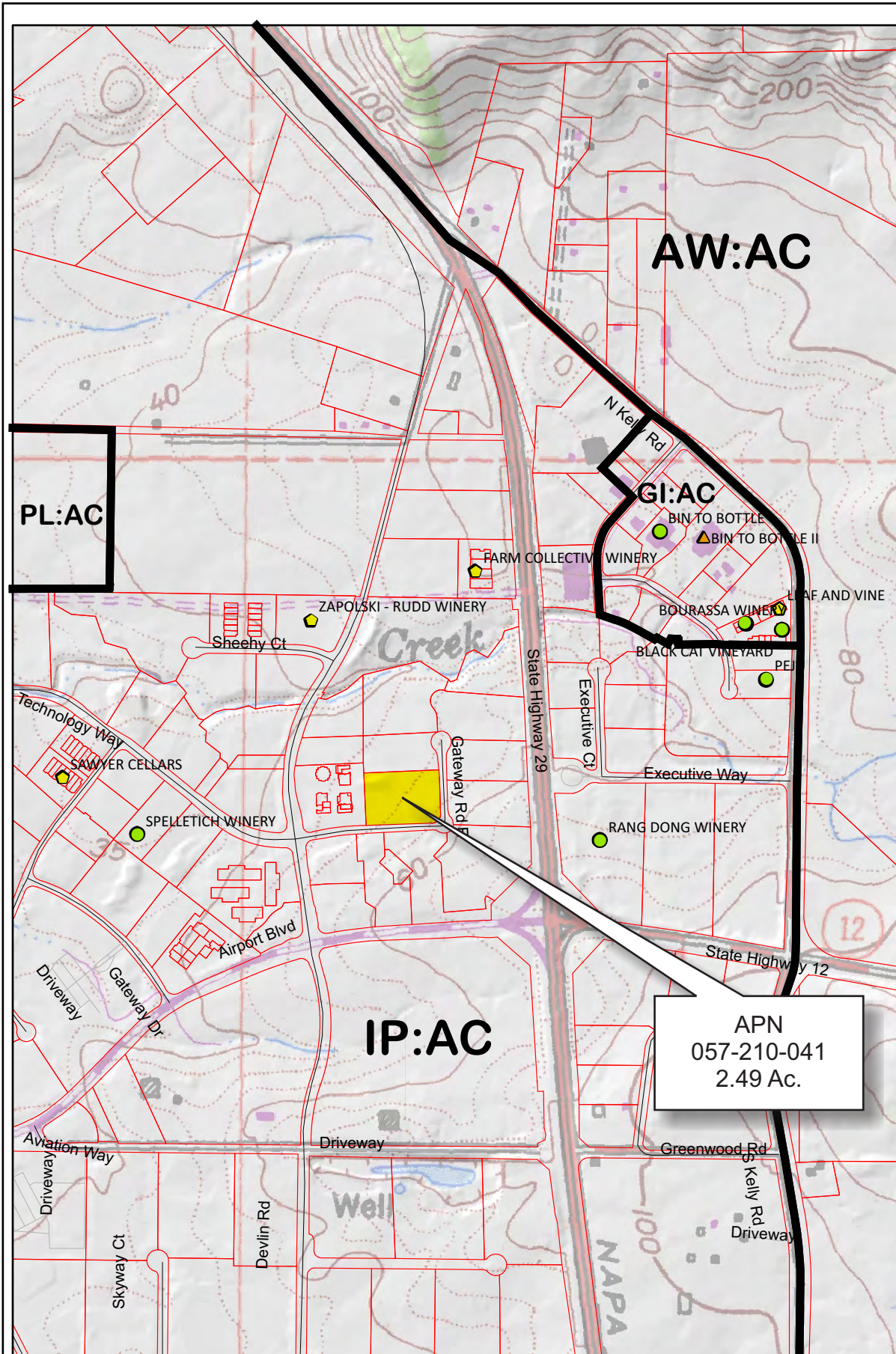
TRANSPORTATION

- Mineral Resource
- Limited Access Highway
- Major Road
- American Canyon ULL
- City of Napa RUL
- Landfill - General Plan
- Secondary Road
- Airport
- Railroad
- Airport Clear Zone

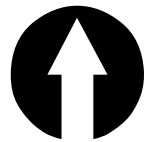
* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations

APN
057-210-041
06-07-2017

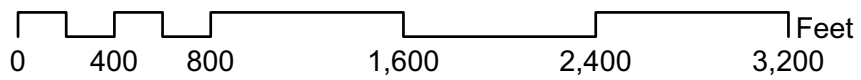
PORTOCORK



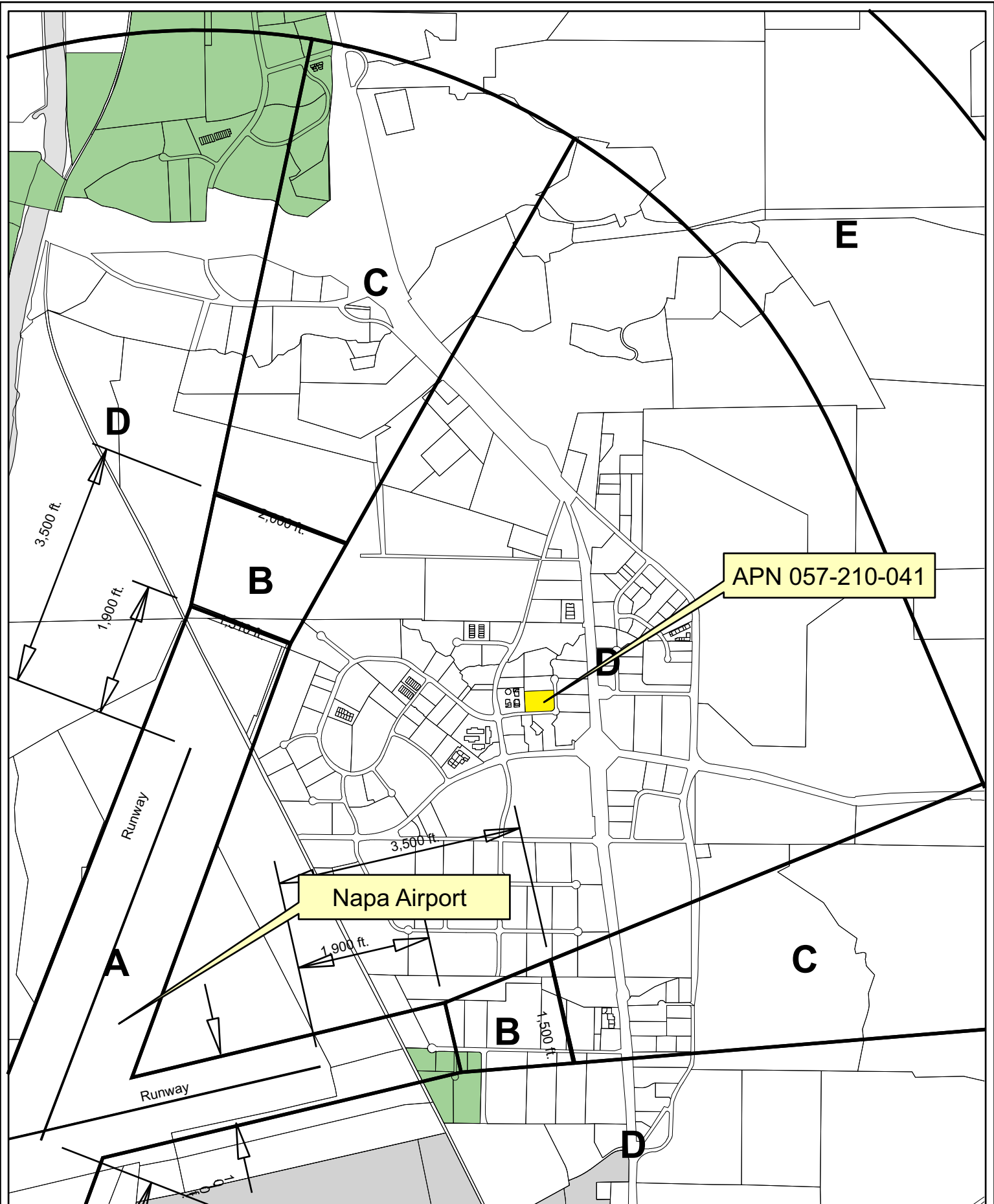
APN
057-210-041
2.49 Ac.



- Legend**
- Wineries**
- Status**
- Producing
 - Producing, w/ pending major mod
 - Approved, not producing
 - Pending
 - Unknown
 - Zoning
 - Parcels



06-07-2017



Compatibility Plan

Napa County Airport

Horizontal Datum: NAD 83,
CA State Plane Coordinates,
Zone II, feet



Disclaimer: This map was prepared for informational purposes only. No liability is assumed for the accuracy of the data delineated herein.



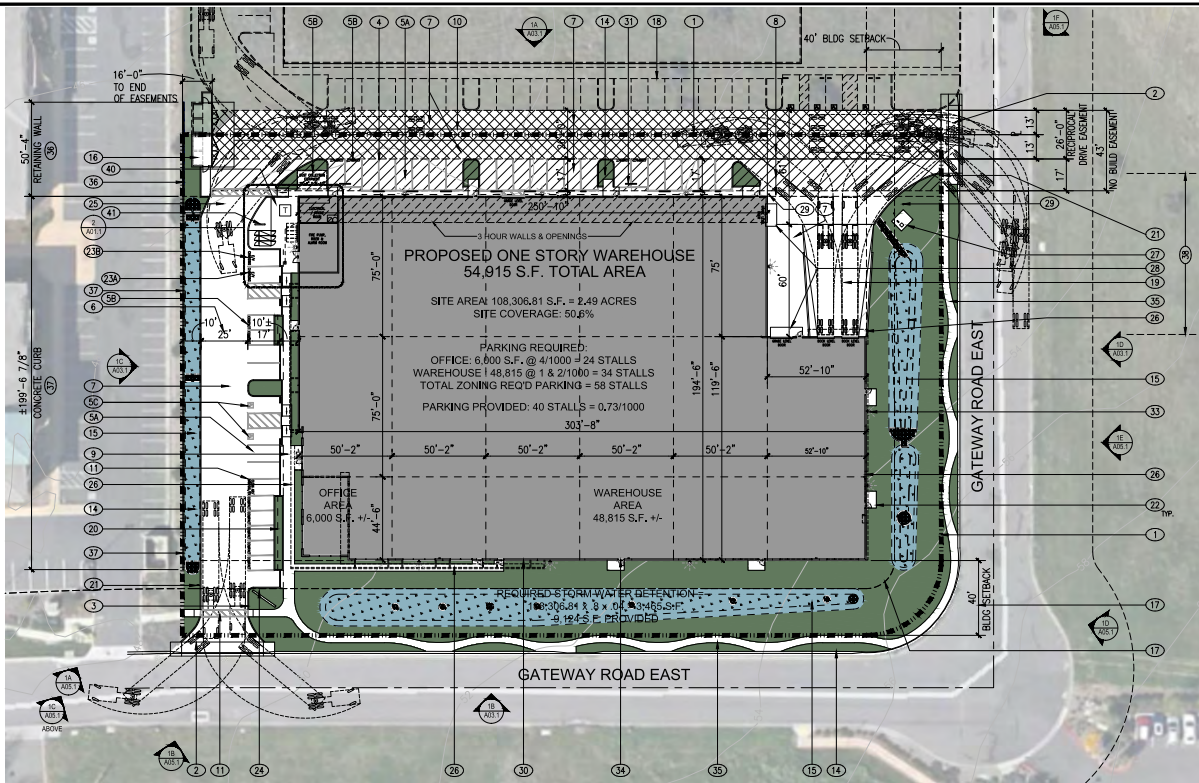
0 450 900 1,800'

Napa County P.B.E.S. - 10/2016

PORTOCORK



Existing Conditions



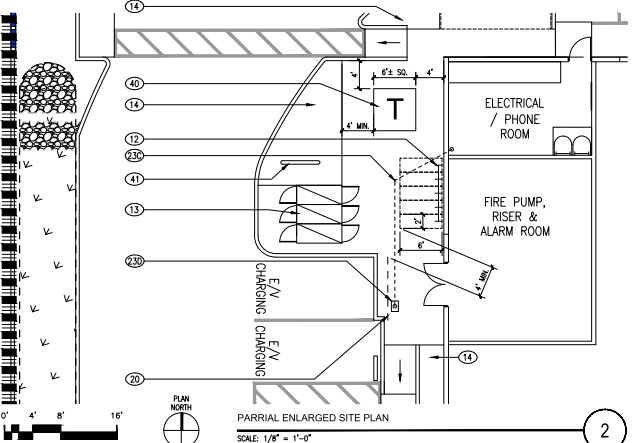
KEYNOTES:

- 1 EXISTING PROPERTY LINES.
- 2 PROPOSED LOCATION OF NEW SITE ACCESS DRIVE CURB CUT.
- 3 TYPICAL 6" TALL x 4" WIDE CONCRETE CURBS.
- 4 TYPICAL 4" WIDE PARKING STRIP.
- 5 TYPICAL PARKING:
 - A. STANDARD STALLS: 9' x 19' OR 9' x 17' WITH 2' PARKING OVERHANG.
 - B. COMPACT STALLS: 8' x 16' OR 8' x 14' WITH 2' PARKING OVERHANG. (SEE MW)
 - C. ACCESSIBLE PARKING STALLS: 9' x 16' WITH 5' OR 6' WIDE LOADING ZONE AS SHOWN SEE DETAIL 1 SHEET A01.3.
- 6 25' WIDE MIN DRIVE ISLE AT WEST 24' AT NORTH.
- 7 PARKING AND DRIVE ISLE SURFACES TO BE ASPHALTIC CONCRETE. SEE CIVIL DRAWINGS.
- 8 PARKING AND DRIVE ISLE WITH CONCRETE SURFACE. SEE CIVIL DRAWINGS.
- 9 TYPICAL CONCRETE PEDESTRIAN SIDEWALKS TO BE 4" WIDE MIN., 6" WIDE MIN. WITH PARKING OVERHANG WHERE OCCURS. ASSUME ALL SIDEWALKS TO BE ACCESSIBLE PATH OF TRAVEL. SLOPE NOT TO EXCEED 1:20 (2%) IN DIRECTION OF TRAVEL. CROSS SLOPE NOT TO EXCEED 1:50 (2%). CONCRETE VALLEY GUTTER. SEE CIVIL DRAWINGS.
- 10 TYPICAL 4" WIDE TRAFFIC, ACCESSIBILITY & CROSS WALK STRIP.
- 11 BICYCLE RACK. RACK ACCOMMODATES 5 BICYCLES. SEE 9/A01.2
- 12 LOCATION OF BIKE LOCKERS. 3 LOCKERS / 6 BICYCLES. SEE 6/A01.2
- 13 TYPICAL LANDSCAPE PLANTER AREA.
- 14 SITE STORM WATER DETENTION AREA BASIN.
- 15 PROPOSED LOCATION OF TRASH ENCLOSURE AND 45' CLEAR APPROACH AREA. SEE DETAILS 1A2/A01.2.
- 16 SITE SETBACKS. SEE CIVIL DRAWINGS FOR MORE INFORMATION.
- 17 FUTURE PARKING ON ADJACENT PROPERTY - FOR REFERENCE ONLY.
- 18 IMPRESSED CONCRETE TRUCK DOCK.
- 19 2' PARKING OVERHANG. TYPICAL.
- 20 SITE ENTRY SIGN. TYPICAL OF 3. SEE DETAIL 2/A01.3.
- 21 AT GRADE LEVEL DOORS NOT CONNECTED TO THE ACCESSIBLE PATH OF TRAVEL PROVIDE EXTERIOR AREA OF ASSISTED RESCUE TO ACCOMMODATE 2-WHEELCHAIR SPACES (30"x48"x14" TYP. PER 2014 CBC 1008.7)
- 22 A. LOCATION OF VAN ACCESSIBLE ELECTRICAL VEHICLE CHARGING STALL.
B. LOCATION OF STANDARD (BY WIRE) ELECTRIC VEHICLE CHARGING STALL.
C. DASH DOT LINE INDICATES 40 AMP BRANCH CIRCUIT IN AN UNDERGROUND CONDUIT TO DUAL ELECTRIC VEHICLE CHARGING STATION CHARGER.
D. DUAL ELECTRIC VEHICLE CHARGING STATION CHARGER.
- 23 SITE MONUMENT SIGN WITH ADDRESS AND TENANT SIGNAGE. SEE ELEVATION 16/A01.3.
- 24 DASH DOT LINE INDICATES FIRE DEPARTMENT TURNING RADIUS REQUIREMENTS. SEE DETAIL 7/A01.3.
- 25 DASHED LINE OF ROOF OVERHANG ABOVE.
- 26 ELECTRICAL TRANSFORMER & CONCRETE PAD.
- 27 TYPICAL 5' MIN. DEEP x 12' WIDE CONCRETE LANDING AT GRADE LEVEL DOORS.
- 28 8" DIAMETER x 4'-6" TALL CONCRETE FILLED STEEL PIPE ROLLAND PAINTED SAFETY YELLOW. 4 TOTAL.
- 29 PROPOSED BUILDING EXTERIOR WALLS TO BE SITE CAST TILED CONCRETE WALLS WITH REVEALS. A. EXTERIOR WALLS TO BE COATED WITH A MILD-CURE EARTH TONE PAINT. B. EXTERIOR WALLS AT WEST, SOUTH AND EAST ELEVATIONS ARE ACCENTED WITH TINTED GLAZING IN ALUMINUM FRAMES AND FOAM ACENT FINISHING AND SLOPED ROOF ELEMENTS. SEE EXTERIOR ELEVATIONS.
- 30 6" TALL x 4" WIDE PRECAST CONCRETE WHEEL STOP.
- 31 SLOPED ROOF W/GUTTER ABOVE TRUCK DOCK LOADING / UNLOADING AREA.
- 32 INDICATES LOCATIONS OF EXTERIOR WALL MOUNTED SITE LIGHTING FIXTURE - TYPICAL OF 1B. SEE DETAIL 1/A01.4
- 33 INDICATES LOCATIONS OF EXTERIOR WALL MOUNTED EMERGENCY LIGHTING FIXTURE - TYPICAL AT ALL EXTERIOR DOORS. SEE DETAIL 2/A01.4
- 34 NEW CONCRETE PEDESTRIAN SIDEWALK AT GATEWAY ROAD EAST STREET FRONTAGE. SEE CIVIL DRAWINGS.
- 35 3 FT. TALL RETAINING WALL. SEE CIVIL DRAWINGS.
- 36 12 IN - 18 IN AL. CONCRETE CURB. SEE CIVIL DRAWINGS.
- 37 LOCATION OF DENSE LANDSCAPE SCREEN - SEE LANDSCAPE DRAWINGS.
- 38 PROPOSED LOCATION OF EXTERIOR DUST COLLECTION EQUIPMENT ON CONCRETE PAD.
- 39 PROPOSED LOCATION OF ELECTRICAL TRANSFORMER.
- 40 PROPOSED LOCATION OF FIRE DEPARTMENT CONNECTION / BACK FLOW PREVENTION DEVICE.

PRELIMINARY SITE PLAN
SCALE: 1" = 30'-0"

SITE STATISTICS & PROJECT INFO:

APN / ZONING: APN 057-210-041	PARKING STANDARDS: (NAPA COUNTY, CALIFORNIA)
TOTAL GROSS SITE AREA: 108,306.81 S.F. ± 2.49 ACRES	INDUSTRIAL PARK ZONING DISTRICT
BUILDING AREA: 54,915 S.F.	Napa County Road and Street Standards (public works)
SITE COVERAGE: 50.7%	STANDARD STALLS: 9' x 19' (17' WITH A 2'-0" OVERHANG)
LANDSCAPE AREA REQUIRED: 21,661 S.F. (20% OF SITE AREA)	COMPACT STALLS: 8' x 16' (14' WITH A 2'-0" OVERHANG) (35% min)
LANDSCAPE AREA PROVIDED: 26,883 S.F. (INCLUDES 9,124 S.F. STORM WATER DETENTION AREAS)	PARALLEL STALLS: 8' x 22'
PARKING * REQUIRED: PROVIDED:	DRIVE ISLES: 22'-0" MIN. WITH PARKING 20' WITHOUT FIRE TRUCK RADIUS: 40'-0" INSIDE. 18' WIDE
NEW BUILDING A: 6,800 S.F. OFFICE @ 47000	BICYCLE PARKING: PER NAPA COUNTY ZONING CODE 18.110.040 B.1 & B.2 WHERE 20 OR MORE VEHICLE PARKING STALLS ARE PROVIDED, 10 BICYCLE STALLS REQUIRED, HALF OF WHICH SHALL BE COVERED.
48,915 S.F. WAREHOUSE @ 1 & 2/1000 = 24 STALLS	
48,915 S.F. WAREHOUSE @ 1 & 2/1000 = 34 STALLS	
TOTAL PARKING: 58 STALLS	
WAREHOUSE PARKING IS 11000 FOR FIRST 20,000 G.S.F. THEN 5:1000 THEREAFTER.	
* THE MAXIMUM NUMBER OF EMPLOYEES WILL NOT EXCEED 30.	
NAPA COUNTY SUPPORTS A REDUCTION IN TOTAL REQUIRED PARKING	



PARRIAL ENLARGED SITE PLAN
SCALE: 1/8" = 1'-0"

vision
function
space
culture
ideas
experience

RMW architects & interior designers

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build
speak
learn

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Suite 101
Sacramento, CA 95811

Tel: 916.449.1400
Fax: 916.449.1414
www.rmw.com

CONSTRUCTION DOCUMENT SUBMITTAL FOR:

Portocork

NEW US HEADQUARTERS
GATEWAY ROAD EAST
NAPA COUNTY, CALIFORNIA

PROJECT OWNER:
PORTOCORK
560 TECHNOLOGY WAY
NAPA, CALIFORNIA 94558

OWNER'S REPRESENTATIVE:
PoundManagement Inc.
5800 Colby Street, Oakland, CA 94618
t: 510.653.0800 f: 510.653.0662

approved for the owner by:

issue	description	date
A	ISSUED FOR CLIENT REVIEW	05-01-16
B	ISSUED FOR O.C. PARKING	06-15-16
C	ISSUED WITH MECHANICAL DRIES & HOBAS ELEMENETS	09-06-16
D	ISSUED FOR PLANNING / USE PERMIT REVIEW	10-31-16
E	REVIEWED AND REASSED FOR PLANNING / USE PERMIT REVIEW	02-06-17
F	REVIEWED AND REASSED FOR PLANNING / USE PERMIT REVIEW	04-07-17

drawn by: JDL plot date: 04-14-17

checked by: JDL

stamp

scale: AS NOTED
project number: 15409.00

PRELIMINARY SITE PLAN

sheet no.: **A01.1**

CONSTRUCTION DOCUMENT SUBMITTAL FOR:

Portocork
 NEW US HEADQUARTERS
 GATEWAY ROAD EAST
 NAPA COUNTY, CALIFORNIA

PROJECT OWNER:
PORTOCORK
 580 TECHNOLOGY WAY
 NAPA, CALIFORNIA 94658

OWNER'S REPRESENTATIVE:
PoundManagement, Inc.
 5800 Colby Street, Oakland, CA 94618
 t: 510.653.0900 f: 510.653.0662

approved for the project by:

approved for the architect by:

Issue:	Description:	Date:
A	ISSUES FOR CLIENT REVIEW	05-24-16
B	ISSUES FOR GC REVIEW	06-15-16
C	ISSUES FOR ARCHITECTURE REVIEW	09-06-16
D	ISSUES FOR PLANNING/PERMITS REVIEW	10-31-16
E	REVISIONS AND RE-DESIGN FOR PLANNING/PERMITS REVIEW	02-06-17
F	REVISIONS AND RE-DESIGN FOR PLANNING/PERMITS REVIEW	04-17-17

Drawn by: JDL plot date: 04-14-17

checked by: JDL

Stamp



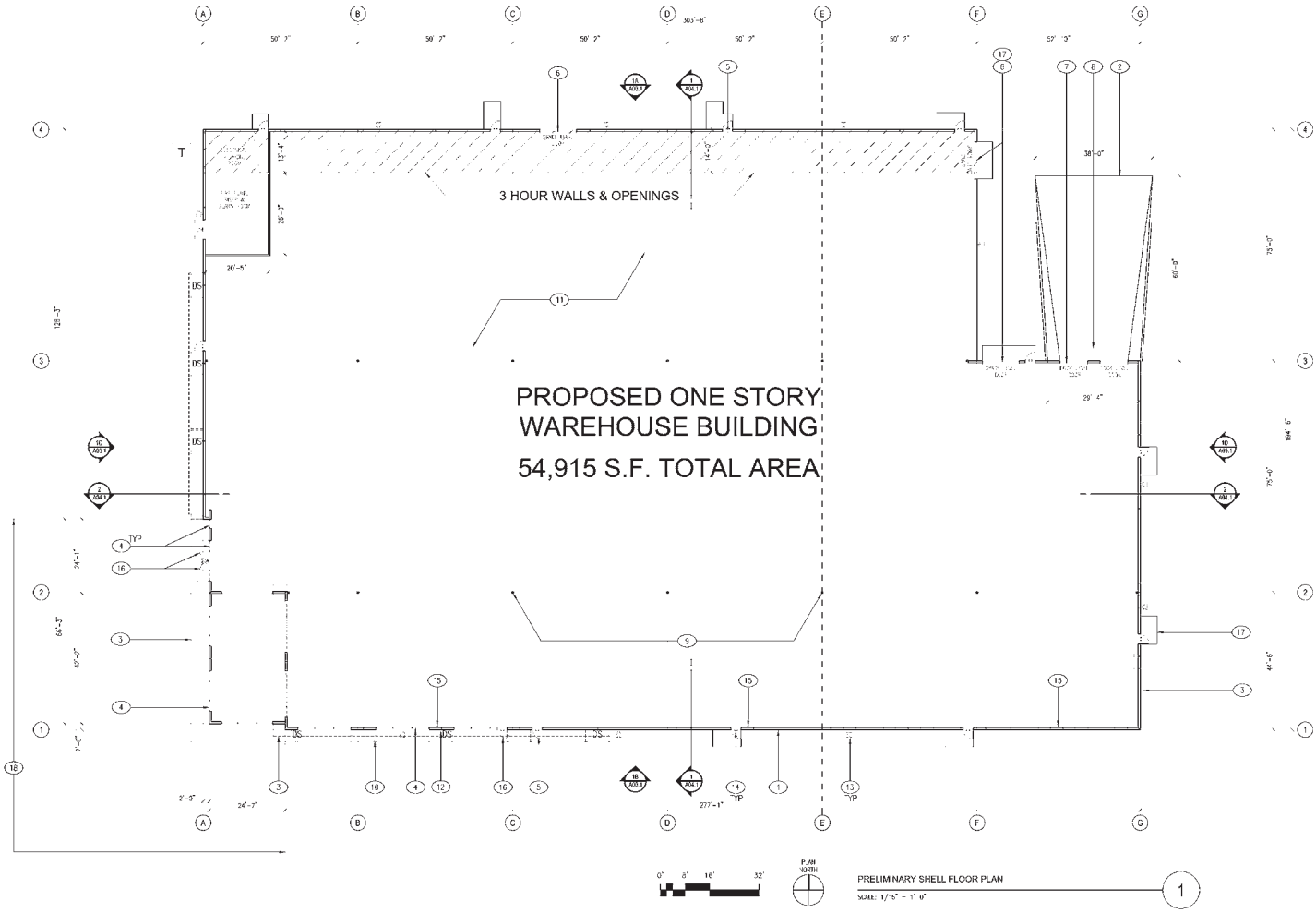
scale: AS NOTED

project number: 15409.00

PRELIMINARY SHELL FLOOR PLAN

sheet no.:

A02.1



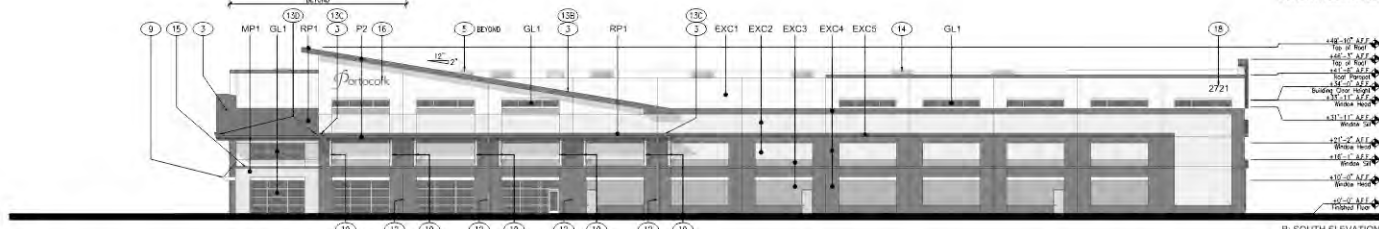
PRELIMINARY SHELL FLOOR PLAN
 SCALE: 1/8" = 1'-0"

KEYNOTES:

- 1 EXTERIOR WALLS TO BE SITE CAST TILT-UP CONCRETE PANELS WITH 3/4" X 3/4" DOUBLE C-AMFER REINERS AND A TEXTURED MULTICOLOR EXTERIOR COATING SYSTEM
- 2 COMPRESSED CONCRETE TRUCK DOCK
- 3 SLOPED METAL ROOF ABOVE WITH MATCHING METAL FASCIA OVER STEEL OR WOOD FRAMING ABOVE
- 4 TINTED GLAZING IN ALUMINUM FRAMES
- 5 3' X 7' STEEL MAIN DOOR, WHIRF DOORS ARE 5'-0" W/ GLAZING, DOORS TO BE STOREFRONT DOORS
- 6 12' X 14' GRADE-LEVEL ROLL UP DOOR
- 7 9' X 10' DOCK LEVEL ROLL UP DOOR
- 8 SLOPED ROOF W/ GUTTER ABOVE TRUCK DOCK WITH GUTTER & DOWNSPOUT
- 9 LUBEL STEEL COLUMNS TYPICAL
- 10 4.5" 4" PAINTED TUBULAR COLUMN FOR ROOF OVERHANG, TYP OR 16
- 11 CONCRETE FLOOR SLAB
- 12 LOCATION OF PAINTED GALVANIZED STEEL DOWNSPOUT FROM GUTTER ABOVE, AS INDICATED BY "DS"
- 13 INDICATES LOCATIONS OF EXTERIOR WALL MOUNTED SITE LIGHTING FIXTURE - TYPICAL OF "1" SEE DETAIL 1/201.4
- 14 INDICATES LOCATIONS OF EXTERIOR WALL MOUNTED EMERGENCY LIGHTING FIXTURE - TYPICAL AT A 1
- 15 INTERIOR ROOF DRAIN AND OVERFLOW
- 16 STOREFRONT SYSTEM 3'-0" X 7'-0" ALUMINUM AND GLASS ENTRY / EXIT DOORS
- 17 AT GRADE LEVEL, DOORS NOT CONNECTED TO THE ACCESSIBLE PATH OF TRAVEL PROVIDE "EXTRIOR AREA FOR ASSISTED RESCUE" TO ACCOMMODATE 2-WHEELCHAIR SPACES (30" X 48" MIN.), TYP., PER 2010 CBC 1009.7
- 18 ARCHITECTURAL, EXTERIOR OR METAL SIDING, SEE EXTERIOR ELEVATIONS



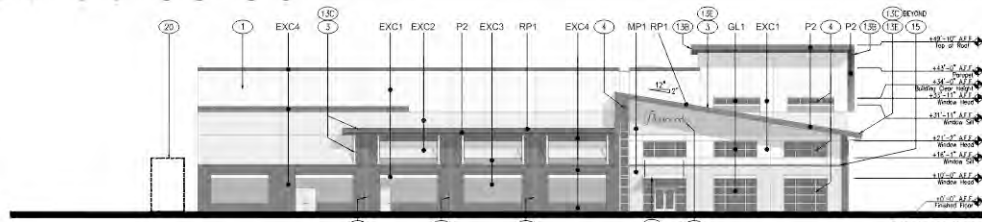
A: NORTH ELEVATION



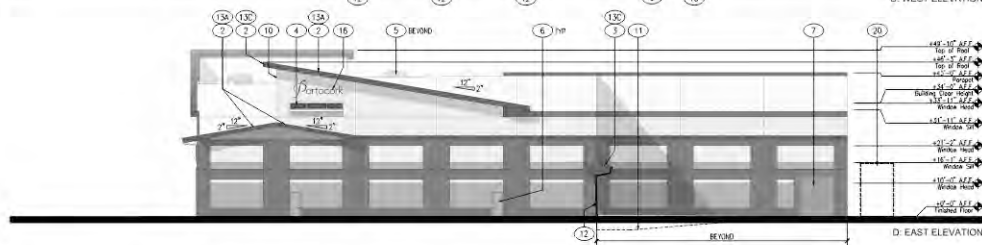
B: SOUTH ELEVATION



E: MONUMENT SIGN SCALE: 1/2" = 1'-0"



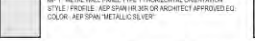
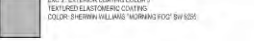
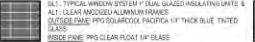
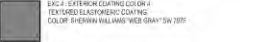
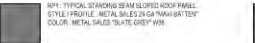
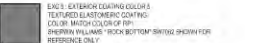




C: WEST ELEVATION



D: EAST ELEVATION

0' 8' 16' 32'
PRELIMINARY EXTERIOR ELEVATIONS
SCALE: 1/16" = 1'-0" (ONLY CHANGE WORDS)

EXTERIOR FINISH LEGEND:

KEYNOTES:

- 1 EXTERIOR WALLS TO BE SITE CAST TILT-UP CONCRETE PANELS WITH 3/4" X 3/4" DOUBLE CHAMFER REVEALS AND A TEXTURED MULTICOLOR EXTERIOR COATING SYSTEM.
- 2 METAL ROOFING PANELS (RP1) OVER 12" DEEP X 12" TALL FOAM BANDING OR WOOD OR STEEL FRAMING WITH A EXT. CEMENT PLASTER FINISH.
- 3 METAL ROOFING PANELS (RP1) WITH MATCHING METAL FASCIA OVER STEEL OR WOOD FRAMING WITH EXTERIOR CEMENT PLASTER SMOOTH FINISH TO MATCH FACIA.
- 4 TINTED GLAZING IN ALUMINUM FRAMES.
- 5 ROOF MOUNTED HVAC EQUIPMENT. ALL ROOF MOUNTED HVAC EQUIPMENT TO BE SCREENED FROM VIEW BY THE BUILDING PARAPET.
- 6 3' X 7' STEEL MAN DOOR, WHERE DOORS ARE SHOWN AT GLAZING, DOORS TO BE STOREFRONT DOORS.
- 7 12' X 14' GRADE LEVEL SECTIONAL ROLL UP DOOR WITH SINGLE VISION LITE.
- 8 9' X 10' DOOR LEVEL SECTIONAL ROLL UP DOOR WITH SINGLE VISION LITE.
- 9 CANOPY AT ENTRY, 12" X 4" STEEL C-CHANNEL WITH FLUTED STEEL INFL PANELS FINISHED WHITE, 3'-11" DEEP X 13'-1" WIDE.
- 10 2'-0" RETURN AT PANEL EDGE ABOVE ADJACENT PARAPET.
- 11 DEPRESSIONED TRUCK DOCK.
- 12 DOWNSPOUT FROM GUTTER ABOVE.
- 13 ROOF OVERHANGS (MEASURED HORIZONTALLY) AS FOLLOWS:
A: 1'-0", B: 2'-0", C: 3'-11", D: 5'-2", E: 5'-11"
- 14 TYPICAL 4'X8' DUAL DOME ROOF TOP SKYLIGHTS BEYOND PARAPET ONLY.
- 15 6" DEEP X 6" TALL FOAM BANDING AT TOP OF GROUND LEVEL METAL PANELS, AT WEST AND SOUTH ELEVATIONS.
- 16 BUILDING SIGNAGE, SIGNAGE AREA SHOWN = 105.96± PER SIGN, TYP.
- 17 PROJECT MONUMENT SIGN TO CONSIST OF A SITE-CAST TILTED CONCRETE PANEL WITH HORIZONTAL REVEALS AS SHOWN (ALL SIDES) WITH FINISHES AS INDICATED (ALL SIDES), SIGNAGE AREA SHOWN = 15.25 SQ.FT. +/-.
- 18 BUILDING ADDRESS SIGNAGE: 18" MIN. TALL LETTERS PAINTED IN CONTRASTING COLOR (BLACK).
- 19 4"x4" TUBE STEEL DIAGONAL STRUTS TO SUPPORT ROOF OVERHANG ABOVE, PAINTED WHITE.
- 20 16' FOOT TALL FENCED ENCLOSURE TO HOUSE EXTERIOR MOUNTED DUST COLLECTION EQUIPMENT. FENCING TO BE CHAIN LINK WITH VERTICAL GRAY VINYL SLATES, EQUIPMENT TO BE PAINTED TO MATCH THE BUILDING (COLOR EXC 3).

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CONSTRUCTION DOCUMENT SUBMITTAL FOOT

Portocork

NEW US HEADQUARTERS
GATEWAY ROAD EAST
NAPA COUNTY, CALIFORNIA

PROJECT OWNER:
PORTOCORK
560 TECHNOLOGY WAY
NAPA, CALIFORNIA 94958

DRAWING REPRESENTATIVE:
PoundManagementInc.
5500 Colby Street, Oakland, CA 94618
T: 510.653.0800 F: 510.653.0862

approved for the owner by:

Issue #	Description	Date
A	REVISION CLIENT REVIEW	05-11-16
B	REVISION GC PERMITS	06-14-16
C	REVISION WITH ARCHITECTURE CONSULTING ENGINEER	06-08-16
D	REVISION PER PLANNING / USE PERMIT REVIEW	06-09-16
E	REVISION PER PERMITS / USE PERMIT REVIEW	06-08-17
F	REVISION PER PERMITS / USE PERMIT REVIEW	06-11-17

approved for the architect by:

Issue #	Description	Date
A	REVISION CLIENT REVIEW	05-11-16
B	REVISION GC PERMITS	06-14-16
C	REVISION WITH ARCHITECTURE CONSULTING ENGINEER	06-08-16
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E	REVISION PER PERMITS / USE PERMIT REVIEW	06-08-17
F	REVISION PER PERMITS / USE PERMIT REVIEW	06-11-17

Drawn by: JDL
Checked by: JDL
Date: 06-14-17



Scale: AS NOTED
Project Number: 15409.00

PRELIMINARY EXTERIOR ELEVATIONS

Sheet No. **A03.1**



B. VIEW OF SOUTH BUILDING FACADE



A. VIEW OF BUILDING ENTRY FROM SOUTH EAST



D. VIEW OF SOUTH EAST BUILDING CORNER



C. AERIAL VIEW OF SOUTH WEST BUILDING CORNER



F. VIEW OF NORTH EAST BUILDING CORNER AND LANDSCAPE SCREENING AT THE PROPOSED TRUCK DOCK



E. EAST BUILDING FACADE WITH LANDSCAPE SCREENING

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space
culture
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Suite 101
Sacramento, CA 95811

Tel 916.449.1400
Fax 916.449.1414
www.rmwa.com

CONSTRUCTION DOCUMENT SUBMITTAL FOR:

Portocork

NEW US HEADQUARTERS
GATEWAY ROAD EAST
NAPA COUNTY, CALIFORNIA

PROJECT OWNER:
PORTOCORK
560 TECHNOLOGY WAY
NAPA, CALIFORNIA 94558

OWNER'S REPRESENTATIVE:
PoundManagementInc.
5800 Colby Street, Oakland, CA 94618
t: 510.653.0800 f: 510.653.0662

approved for the owner by:

approved for the architect by:

issue	description	date
A	ISSUED FOR CLIENT REVIEW	05-31-16
B	ISSUED FOR GC PRICING	06-13-16
C	ISSUED WITH-HYDROLOGICAL DRIVE & NO-BUILD AGREEMENTS	08-09-16
D	ISSUED FOR PLANNING/USE PERMIT REVIEW	10-31-16
E	REVISED AND RE-ISSUED FOR PLANNING/USE PERMIT REVIEW	03-06-17
F	REVISED AND RE-ISSUED FOR PLANNING/USE PERMIT REVIEW	06-17-17

drawn by: JOL plot date: 06-14-17

checked by: JOL

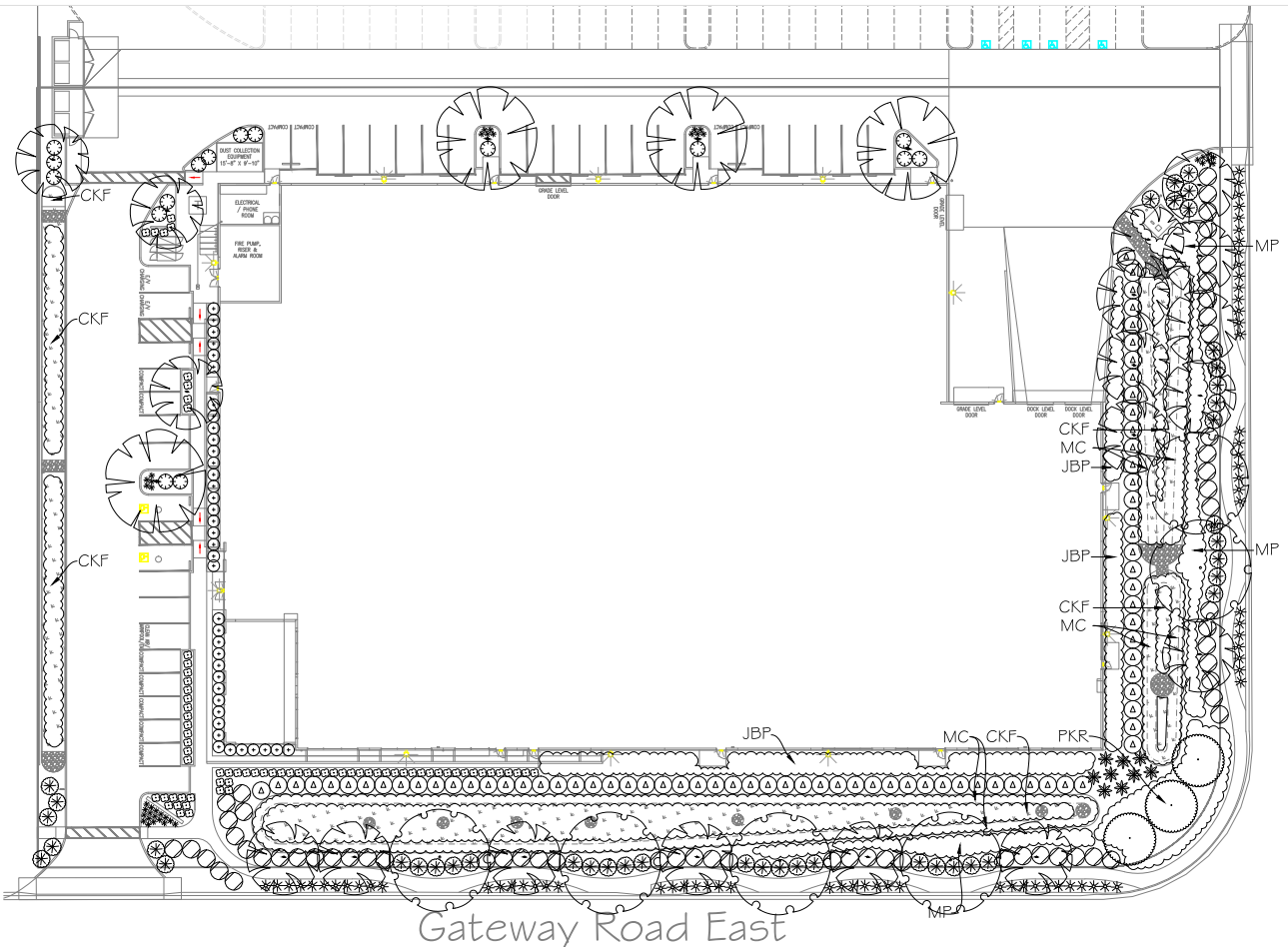


scale: AS NOTED

project number: 15409.00

PRELIMINARY
PROJECT
RENDERINGS

sheet no.: **A05.1**



GENERAL NOTES

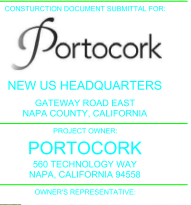
1. THE SITE SHALL BE ROUGH GRADED TO PLUS OR MINUS 1/10TH OF FINISH GRADE BY THE SITE GRADING CONTRACTOR (UNLESS AGREED UPON OTHERWISE). SOIL TO BALANCE AT 3" BELOW CURBS AND SIDEWALKS, INCLUDING MOUNDING CONTOURS (IF APPLICABLE), FREE OF DEBRIS. THE NATIVE ON-SITE TOPSOIL MAY BE USED FOR FILLING THE PLANTERS IF IT IS OF GOOD QUALITY, CLEAN AND SUITABLE FOR PROPER PLANT GROWTH. SLOPE ALL PLANTERS AT 2% MINIMUM FOR PROPER DRAINAGE. ALL AD ROCK, CONCRETE WASTE OR LIME TREATED SOIL SHALL BE REMOVED FROM ALL PLANTERS PRIOR TO FILLING. ROCKS LARGER THAN 2" DIAMETER ARE UNACCEPTABLE WITHIN THE TOP 18" OF GRADE (PLANTING MEDIUM).
2. ALL WORK SHALL BE INSTALLED IN COMPLIANCE WITH ALL STATE AND LOCAL CODES AND ORDINANCES BY A LICENSED CONSTRUCTOR.
3. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES, BUILDINGS AND UNDERGROUND UTILITIES DURING THE PERFORMANCE OF HIS WORK AND SHALL MAKE ANY NECESSARY REPAIRS. CONTACT UNDERGROUND SERVICE ALERT PRIOR TO WORK (800) 462-5444, OR 311.
4. NO PLANTING OPERATIONS ARE TO BEGIN UNTIL IRRIGATION SYSTEM IS FULLY INSTALLED AND A COMPLETE OPERATIONAL SYSTEM CHECK HAS BEEN COMPLETED.
5. CERTIFICATE OF COMPLETION IS DUE AT CONSTRUCTION COMPLETION.

PLANTING NOTES

1. SEE DETAILS FOR PROCEDURES AND MATERIALS.
 2. SOIL AMENITIES ARE TO BE APPLIED AND ROTOFILLED INTO THE TOP 6" OF SOIL PER SOIL TEST PROVIDED BY LANDSCAPE CONTRACTOR. TEST SHALL BE SAMPLED AFTER MASS GRADING OPERATIONS HAVE BEEN COMPLETED.
 3. GRADING CONTOURS ARE TO BE SMOOTH AND EVEN THROUGHOUT LANDSCAPE AREA RESULTING IN POSITIVE DRAINAGE.
 4. TREE AND PLANT QUANTITIES ARE BASED ON THE DRAWING. QUANTITIES ON PLANT LEGEND ARE FOR CONVENIENCE ONLY. QUANTITIES OF PLANTS REPRESENTED BY HATCH PATTERNS ARE TO BE BASED ON THE O.C. (ON CENTER) SPECS IN THE PLANT LEGEND.
 5. NO PLANT MATERIAL IS TO BE PLANTED WITHIN 18" OF ANY CURB, BUILDING, SIDEWALK, OR OTHER HARDSCAPE.
 6. PLANTING PITS AND TREE STAKING SHALL BE DONE PER DETAILS.
 7. GRID POWER TABLETS SHALL BE INSTALLED IN PLANTING PITS AS RECOMMENDED BY MANUFACTURER.
 8. TREES LOCATED WITHIN 6" OF ANY HARDSCAPE OR BUILDING SHALL RECEIVE ROOTBARRIER PANELS MANUFACTURED BY DEEP ROOT LUB-24-2.
 9. DO NOT PLANT TREES UNDER POWER LINES.
 10. REMOVE NURSERY STAKES ON TREES AFTER LODGEPOLE STAKES HAVE BEEN INSTALLED.
 11. INSTALL 3" LAYER OF WALK ON BARK MULCH IN ALL PLANTER AREAS.
 12. MOVE BARK MULCH AWAY FROM PLANT CROWNS IMMEDIATELY AFTER MULCH INSTALLATION.
 13. PLANT MATERIAL SHALL BE HEALTHY AND VIGOROUS, FREE OF DISEASE AND PESTS. CHECK ROOT SYSTEMS TO ENSURE THAT PLANTS ARE FULLY ROOTED IN THEIR CONTAINERS BUT NOT ROOT BOUND. UNDERDEVELOPED ROOT SYSTEMS AND ROOTBOUND STOCK WILL BE REJECTED. TREES SHALL HAVE A SINGLE STRONG LEADER AND BRANCHING SHALL BE UNIFORM ALONG THE LEADER. "HEADED" TREES SHALL BE BALANCED WITH UNIFORM BRANCHING. TREES THAT HAVE SCARS BEYOND THE CAMBIAL LAYER WILL BE REJECTED. DO NOT BEGIN PLANTING OPERATIONS UNTIL CITY ARBORISTS HAS REVIEWED STOCK.
- MAINTENANCE PERIOD SHALL BEGIN AT THE TIME OF SUBSTANTIAL COMPLETION, OR AT THE TIME OF FINAL INSPECTION FOR A CERTIFICATE OF OCCUPANCY AND SHALL CONTINUE FOR 30 DAYS.



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approved for the architect by:

Issue	Description	Date
A	ISSUED FOR CLIENT REVIEW	05-13-16
B	ISSUED FOR GC PREVIEW	06-13-16
C	ISSUED WITH REVISIONS (PINK & RED) FOR COMMENTS	06-06-16
D	ISSUED FOR PLANNING USE (PINK REVIEW)	04-25-16
E	REVISIONS AND RESUBMITTED FOR PLANNING USE (PINK REVIEW)	05-06-17
F	PLANNING SUBMITTAL	04-15-17

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drawn by: JDL plot date: 03-01-17
checked by: JDL
stamp

scale: 1"=20'
project number: 15499.00

PLANTING PLAN

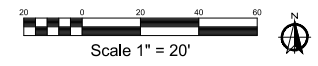
sheet no.: **L2**

Plant Palette

Botanical Name	Common Name	WUCOLS	Size	Qty
Trees				
Arbutus 'Manna'	Manna Tree	Low	24" Box	18
Lagerstroemia 'Dynamite'	Crape Myrtle	Low	24" Box	3
Pistacia c. 'Keith Davy'	Chinese Pistache	Low	24" Box	4
Platanus 'Columbia'	London Plane Tree	Low	15 Gallon	6

Botanical Name	Common Name	WUCOLS	Size	Qty
Shrubs				
Ceanothus horizontalis	Carmel Creeper	Low	1 Gallon	77
Loropetalum 'Purple Majesty'	Fringe Flower	Low	5 Gallon	43
Nandina domestica	Heavenly Bamboo	Low	5 Gallon	37
Pennisetum orientale	Fountain Grass	Low	1 Gallon	67
Phormium rubra	Purple Flax	Low	5 Gallon	9
Rhamnus c. 'Eve Case'	Coffeeberry	Low	5 Gallon	64
Rosmannus 'Tuscan Blue'	Rosemary	Low	5 Gallon	18
Scaevola 'Mauve Clusters'	Fairy Fan Flower	Low	1 Gallon	69
Tulbahia violacea	Society Garlic	Low	1 Gallon	39

Botanical Name	Common Name	WUCOLS	Size	Qty
Ground Cover				
Juniper c. 'Blue Pacific'	Shore Juniper	Low	1 Gallon	48" OC
Myoporum pink	Pink Myoporum	Low	1 Gallon	36" OC
Pennisetum o. 'Kerley Rose'	Fountain Grass	Low	1 Gallon	36" OC
Bioretention Plantings				
Calamagrostis 'Karl Foerster'	Reed Grass	Low	1 Gallon	36" OC
Muhlenbergia c. 'Regal Mist'	Pink Muhly Grass	Low	1 Gallon	36" OC





PERSPECTIVE VIEW LOOKING NORTHEAST AS SEEN FROM THE GATEWAY ROAD EAST MAIN SITE ENTRANCE



B. VIEW FROM GATEWAY ROAD LOOKING NORTHEAST



A. VIEW FROM GATEWAY ROAD LOOKING NORTH



D. VIEW FROM GATEWAY ROAD LOOKING WEST



C. VIEW FROM SOUTHEAST CORNER GATEWAY ROAD LOOKING NORTHWEST

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CONSTRUCTION DOCUMENT SUBMITTAL FOR:

Portocork

NEW US HEADQUARTERS
GATEWAY ROAD EAST
NAPA COUNTY, CALIFORNIA

PROJECT OWNER:
PORTOCORK
560 TECHNOLOGY WAY
NAPA, CALIFORNIA 94558

OWNER'S REPRESENTATIVE:
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issue	description	date
A	ISSUED FOR CLIENT REVIEW	05-31-16
B	ISSUED FOR GC PRICING	06-13-16
C	ISSUED WITH RECIPROCAL DRIVE & NO B.A.D. SUBMITTALS	08-08-16
D	ISSUED FOR PLANNING/USE PERMIT REVIEW	10-31-16
E	REVISED AND RE-ISSUED FOR PLANNING/USE PERMIT REVIEW	02-06-17
F	REVISED AND RE-ISSUED FOR PLANNING/USE PERMIT REVIEW	06-17-17

drawn by: JDL plot date: 06-14-17

checked by: JDL

stamp



scale: AS NOTED

project number: 15409.00

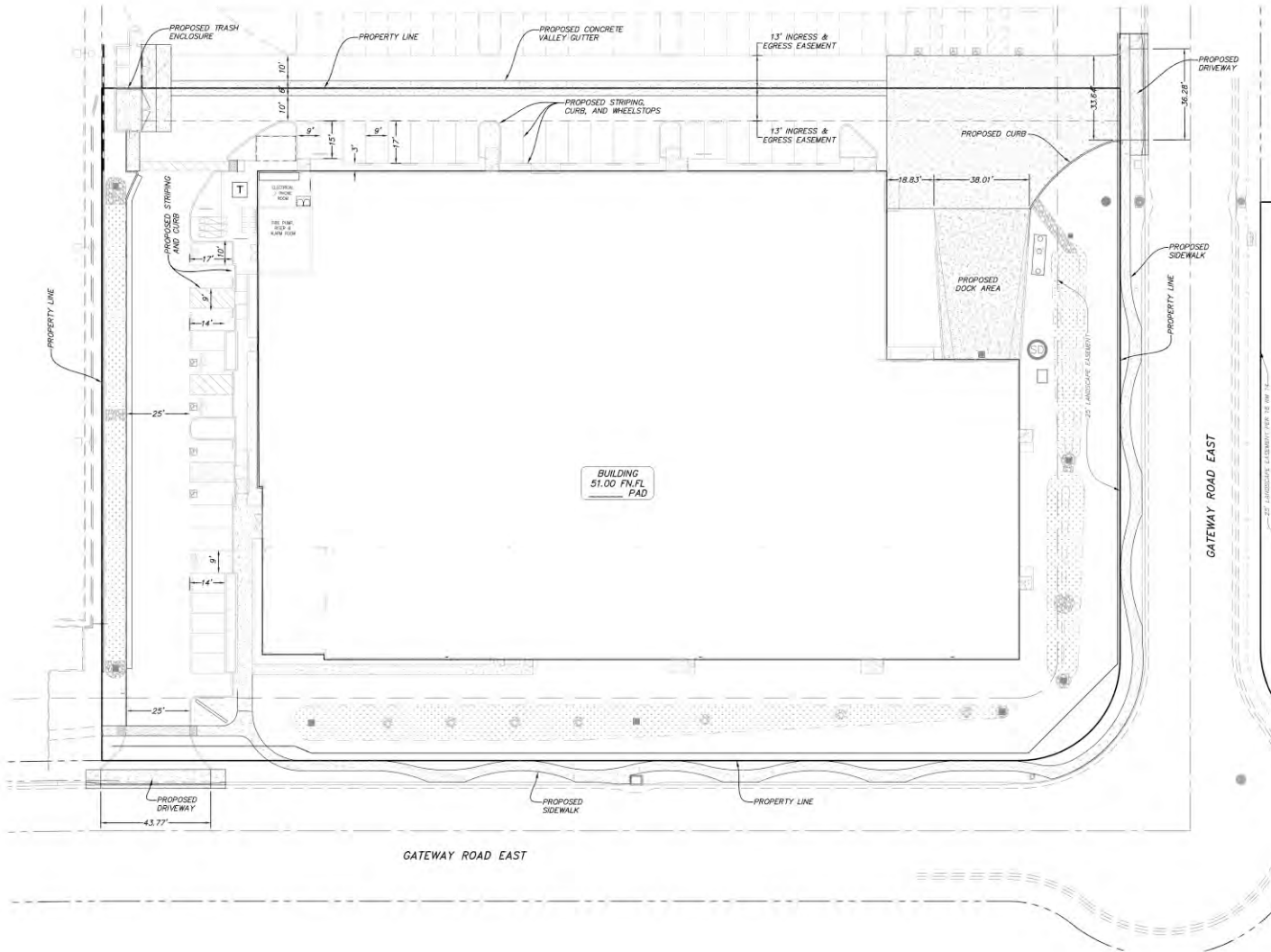
**EXISTING
SITE
CONDITIONS**

sheet no.:

A05.2

EXISTING SITE CONDITIONS
SCALE: NO SCALE

1



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NAPA COUNTY, CALIFORNIA

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issue	description	date
A	ISSUED FOR CLIENT REVIEW	05-31-16
B	ISSUED FOR ORDERING	06-15-16
C	ISSUED WITH RECIPROCAL DRIVE & NO-BUILD BASEMENTS	09-06-16
D	ISSUED FOR PLANNING USE PERMIT REVIEW	10-31-16
E	REVISED AND RE-ISSUED FOR PLANNING USE PERMIT REVIEW	02-06-17
F	REVISED AND RE-ISSUED FOR PLANNING USE PERMIT REVIEW	04-17-17

drawn by: JB (plot date) 04-06-17

checked by: EPB



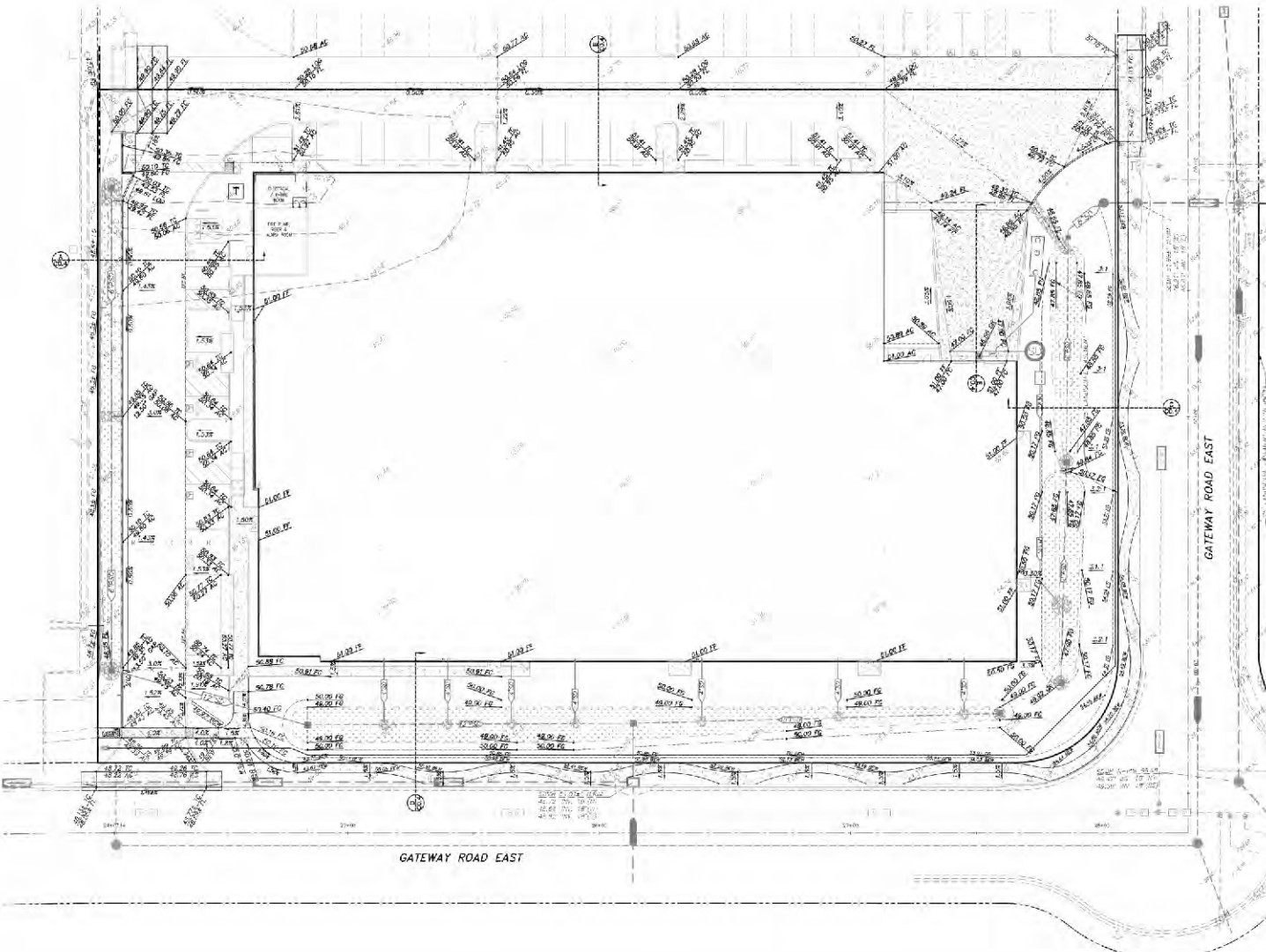
scale: AS NOTED

project number: 4086-1

CIVIL SITE PLAN

sheet no.: **C0.0**

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APPROVED BY THE ARCHITECT BY:

NAME	DESIGN LOGIC	DATE
A	DESIGNED FOR CLIENT REVIEW	05-15-16
B	DESIGNED FOR PERMIT REVIEW	06-15-16
C	DESIGNED WITH NECESSARY DETAILS AND ADJUSTMENTS	08-05-16
D	DESIGNED FOR EXAMINED AND PERMIT REVIEW	09-05-16
E	REVISED AND REDESIGNED FOR PLANNING AND PERMIT REVIEW	02-05-17
F	REVISED AND REDESIGNED FOR PLANNING AND PERMIT REVIEW	04-05-17

Checked by: JSD Date: 04-26-17

Drawn by: BPD

Sheet No.



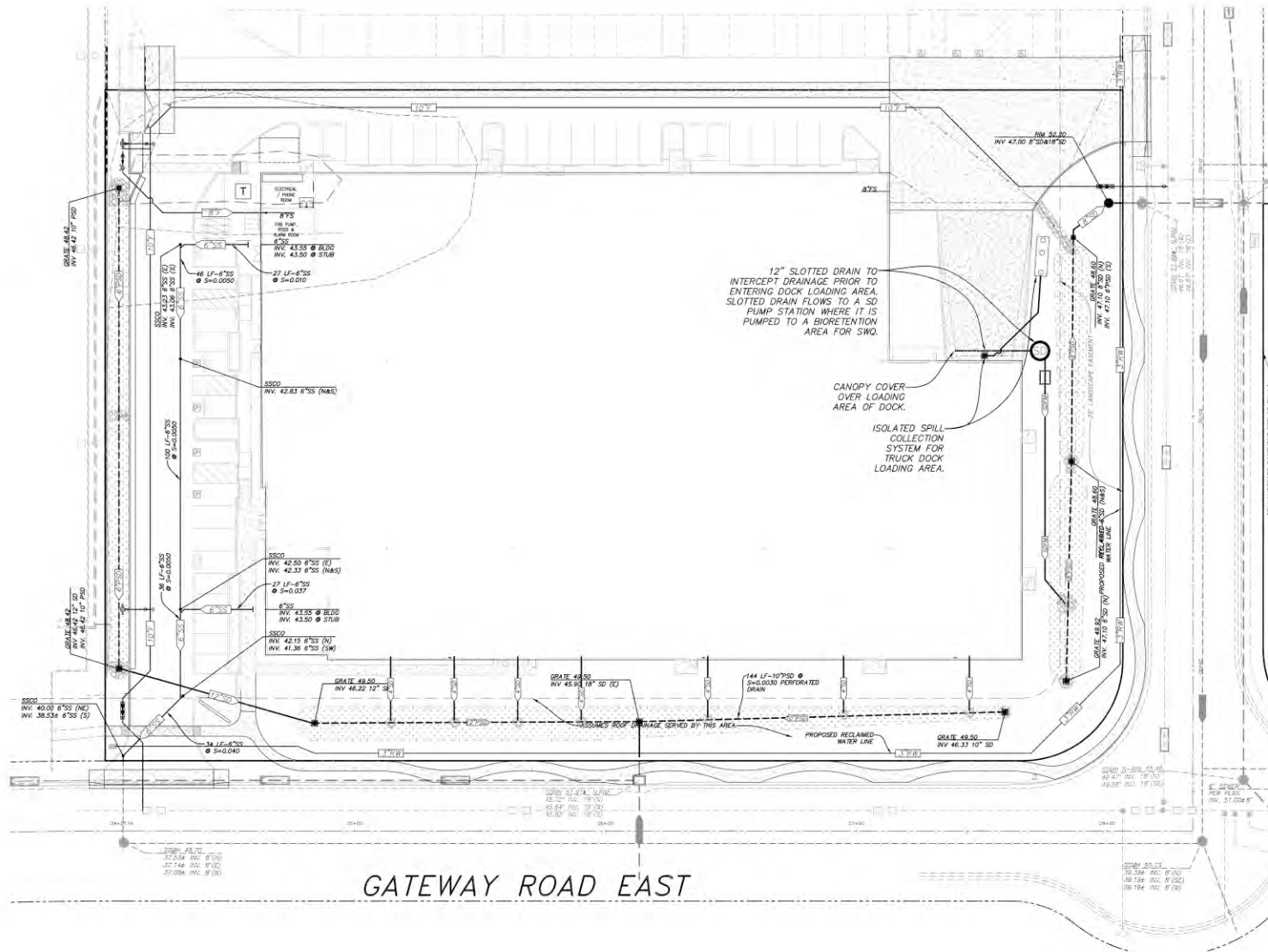
Scale: AS NOTED

Project Number: 4005-1

PRELIMINARY GRADING AND DRAINAGE PLAN

Sheet No. **C0.1**

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approved for the architect by:

issue	description	date
A	ISSUED FOR CLIENT REVIEW	05-31-16
B	ISSUED FOR GC PRICING	06-13-16
C	ISSUED WITH REDUCED DRIVE A NO-BUILD SEGMENTS	05-06-16
D	ISSUED FOR PLANNING / USE PERMIT REVIEW	10-31-16
E	REVISED AND RE-ISSUED FOR PLANNING USE PERMIT REVIEW	02-06-17
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drawn by: JJS gmt date: 04-06-17
checked by: GFB

stamp:

scale: AS NOTED
project number: 4086-1

PRELIMINARY UTILITY PLAN

street no.: **C0.2**

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approved for the architect by:

issue	description	date
A	ISSUED FOR CLIENT REVIEW	05-31-16
B	ISSUED FOR GC PREVIEW	06-13-16
C	ISSUED WITH RECIPROCAL DRIVE & NO-BUILD EASEMENTS	05-05-16
D	ISSUED FOR PLANNING / USE PERMIT REVIEW	10-31-16
E	REVISED AND RE-ISSUED FOR PLANNING / USE PERMIT REVIEW	02-06-17
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drawn by: JBS plot date: 04-06-17

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stamp:



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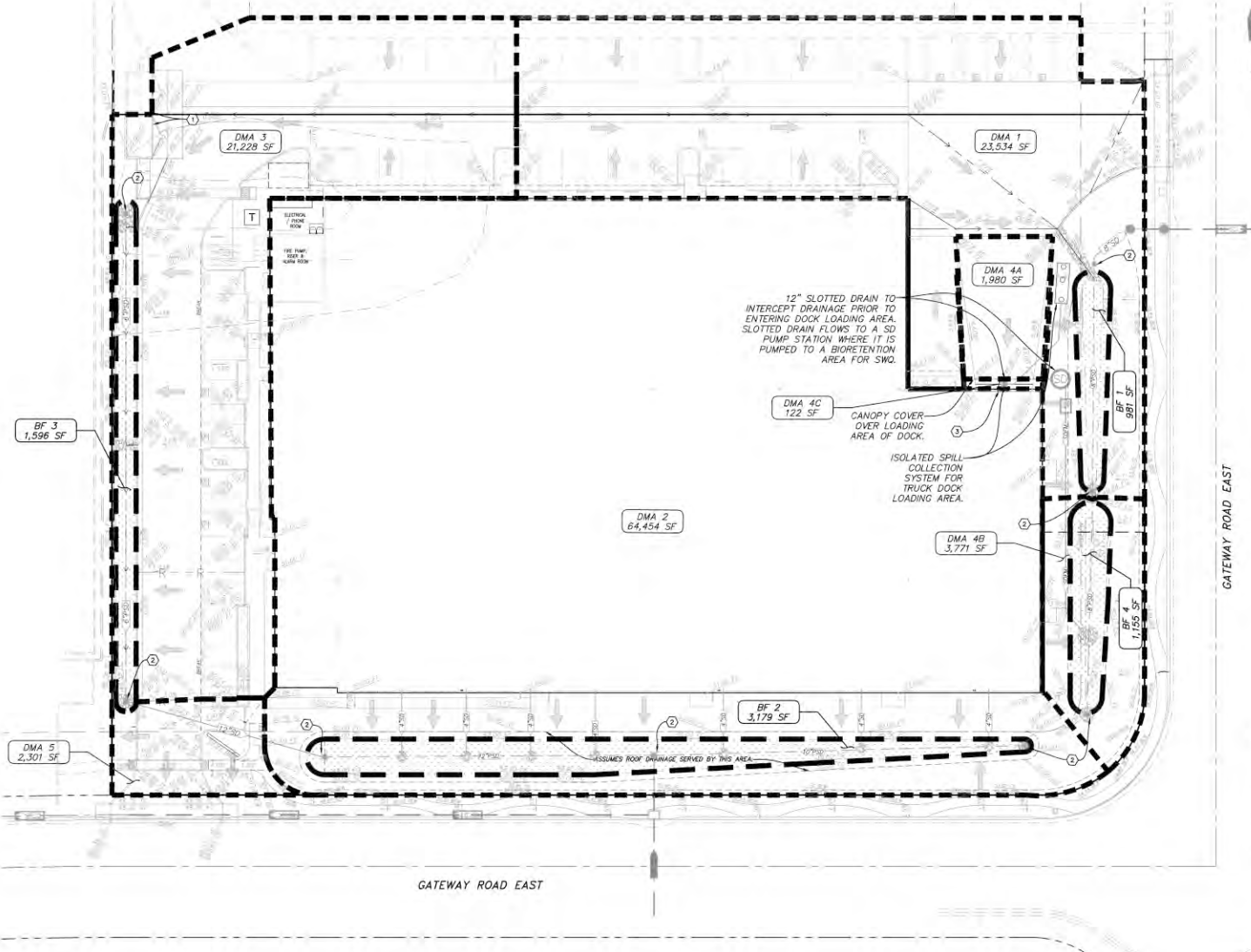
project number: 4086-1

STORM WATER CONTROL PLAN

sheet no.: **C0.3**

POTENTIAL POLLUTION SOURCES AND CONTROL MEASURES:

- REFUSE AREA, COVERED AND ENCLOSED FOR DUMPSTERS; GRADED TO MINIMIZE STORMWATER RUN-ON AND RUNOFF. SEE GRADING PLAN FOR FURTHER DETAIL.
- STORM DRAIN INLET, MARK WITH WORDS "NO DUMPING! FLOWS TO BAY". SEE UTILITY PLAN FOR FURTHER DETAIL.
- ANY DRAINAGE COLLECTED WITHIN THE TRUCK DOCK WILL BE PUMPED TO BFA FOR TREATMENT. LOADING AREA WILL BE HYDRAULICALLY ISOLATED, WITH NO RUN-ON/OFF. LOADING AREA WILL HAVE A CANOPY COVERING IT. SLOT DRAINS WILL PREVENT RUN-ON. THE LOADING AREA WILL HAVE A SPILL COLLECTION SYSTEM.



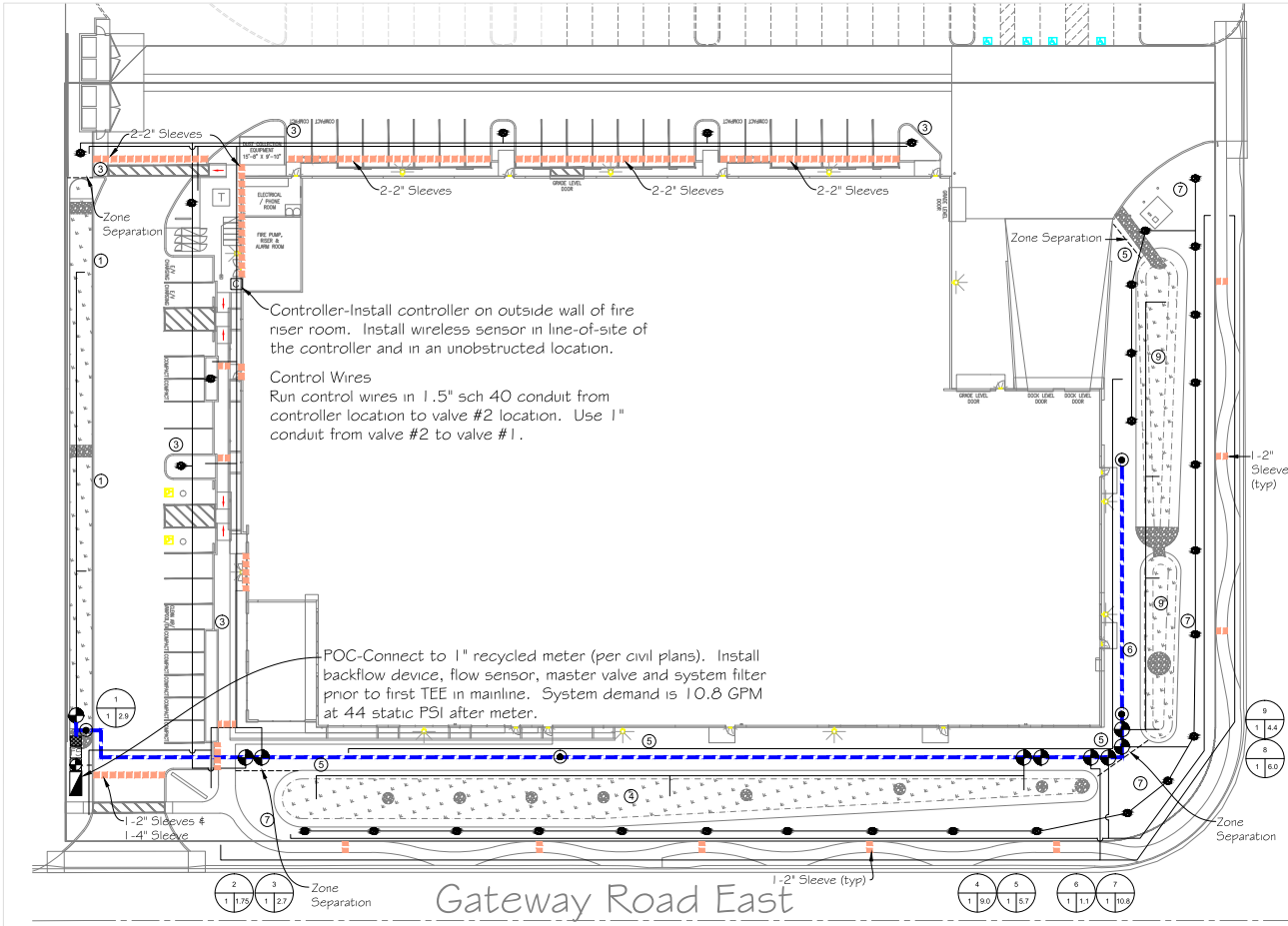
GATEWAY ROAD EAST



LEGEND:

- DMA DRAINAGE MANAGEMENT AREA
- BF BIORETENTION FACILITY AREA
- DMA 1 1,000 SF WATER QUALITY AREA NAME AND SQUARE FOOTAGE
- BF 1 1,000 SF BIORETENTION FACILITY AREA NAME AND SQUARE FOOTAGE
- WATER QUALITY AREA BOUNDARY DRAINAGE FLOW
- BIORETENTION FACILITY BOUNDARY DRAINAGE FLOW
- DRAINAGE FLOW DIRECTION
- ▨ BIORETENTION FACILITY AREA

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NAPA SANITATION RECYCLED NOTES

NAPA SANITATION DISTRICT

RECYCLED WATER LINE NOTES:

- ALL RECYCLED WATER LINE WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NAPA SANITATION DISTRICT SPECIFIED WATER STANDARDS IN A NEW UNDER GROUND. THIS CAN BE FOUND AT NAPA SANITATION DISTRICT, 1000 W. HARRISON AVENUE.
- CONTRACTOR SHALL CONTACT THE NAPA SANITATION DISTRICT INSPECTOR FOR INSPECTION AND VERIFICATION THAT THE SYSTEM HAS BEEN INSTALLED ACCORDINGLY PRIOR TO BACKFLOWING PIPE MINIMUM 48 HOURS IN ADVANCE.
- BASIC PIPE SEPARATION: 30\"/>

CONSTRUCTION RECYCLED WATER AND DOMESTIC WATER LINE CROSS: IT IS REQUIRED THAT SUCH CROSSINGS BE MADE PERPENDICULAR TO EACH OTHER. SEE ALSO NOTES.

- PIPE AND DRIP PROTECTION: ALL RECYCLED WATER PIPING INCLUDING LATERALS SHALL BE PURPLE IN COLOR AND MARKED \"RECYCLED WATER\". ALL CONSTANT PRESSURE RECYCLED WATER PIPING SHALL ALSO HAVE BEHOLDERS OR PROTECTION TUBING INSTALLED WITH THE FINISH OF FLOOR AND PARALLEL TO THE FINISHED SURFACE. TUBE SHALL BE PLACED WITH PRINTED SIDE UP.
- DEPTH OF RECYCLED WATER PIPING: FOR ON-GATE RECYCLED WATER PIPING, THE MINIMUM DEPTH FROM FINISHED GRADE TO TOP OF PIPE AS FOLLOWS:
 - ALL LINES IN STREET AREAS - 42\"/>
- CONSTANT PRESSURE LINES 1\"/>
- CONSTANT PRESSURE LINES 2.5\"/>
- INTERMITTENT PRESSURE LINES - 12\"/>

7. PIPE MATERIAL RECYCLED WATERLINE 4\"/>

8. ALL VALVES, VALVE BOXES, A.V.'S, ETC., SHALL BE PRINTED PURPLE BEFORE AND OUT. ALL LINES SHALL BE MARKED \"RECYCLED WATER\". RECYCLED WATERLINE FITTINGS SHALL BE DUCTILE IRON PIPE FITTINGS, PRESSURE CLASS 300 PER ANAMA STANDARDS.

9. WHERE CONFLICTS IN VERTICAL ALIGNMENTS OF UNDERGROUND UTILITIES ARISE, THE CONTRACTOR SHALL LOWER THE RECYCLED WATER TO CROSS UNDER THE COMPUTATIONAL UTILITY OR SANITARY SERVICE, MAINTAIN A MINIMUM 12\"/>

IRRIGATION NOTES

- SEE DETAILS FOR PROCEDURES AND MATERIALS.
- POC - CONNECT TO THE IRRIGATION METER STUB (SUPPLIED BY OTHERS), AND INSTALL BACKFLOW DEVICE, FOLLOWED BY MASTER VALVE/FLOW SENSOR AND THE SYSTEM FILTER.
- SYSTEM DEPEND ON 35.0 GPM AND 5.7 STATIC PSI AFTER THE METER.
- WORK SHALL FOLLOW ALL LOCAL AND STATE CODES.
- ALL VALVES, QUICK COUPLERS, BOXES, AND MAJOR IRRIGATION COMPONENTS SHALL BE AS SHOWN IN THE IRRIGATION LEGEND.
- MAINLINE AND LATERALS ARE DRAWN DIAGRAMMATIC AND SHALL BE INSTALLED IN PLANTER AREAS WHEREVER POSSIBLE.
- VALVES AND OCS SHALL BE LOCATED IN PLANTER AREAS WHEREVER POSSIBLE.
- PLACE 1/2\"/>
- IN TRADITIONAL LANDSCAPE PLANTERS - INSTALL 2-RAINBIRD XB-5 EMITTERS FOR 1 GALLON PLANTS AND 2-XB-10 EMITTERS FOR 5 GALLON PLANTS. INSTALL 2-XB-5 EMITTERS TO GRASSES PLANTED ON THE SLOPED AREAS OF BIOSWALES. IN BIO SWALES BASIN FLOOR AREAS (AREAS THAT RECEIVE BIO SOIL), INSTALL 2-XB-10 EMITTERS FOR 1 GALLON PLANTS. THE BASIN FLOOR IRRIGATION IS SEPARATE FROM THE TRADITIONAL LANDSCAPE PLANTER AREAS AND THE SLOPED AREAS OF THE BIO SWALES.
- FLUSH MAINLINE PRIOR TO VALVE AND QUICK COUPLER INSTALLATION. FLUSH LATERALS PRIOR TO TUBING CONNECTIONS. FLUSH DRIP TUBING PRIOR TO INSTALLATION OF EMITTERS.
- IRRIGATION CONTROLLER SHALL BE PLACED ON THE OUTSIDE WALL AND THE WIRELESS SOLAR SYNC SHALL BE INSTALLED WHERE IT IS UNOBSTRUCTED FROM RELIABLE WEATHER CONDITIONS. CONTROL WIRES SHALL BE #14 AWG MINIMUM (RED). GROUND WIRE SHALL BE #14 AWG (WHITE). RUN 1\"/>

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CONSTRUCTION DOCUMENT SUBMITTAL FOR:

Portocork

NEW US HEADQUARTERS
GATEWAY ROAD EAST
NAPA COUNTY, CALIFORNIA

PROJECT OWNER:
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ISSUE:	DESCRIPTION:	DATE:
A	REVISION FOR CLIENT REVIEW	02-07-16
B	REVISION FOR CORRECTIONS	02-15-16
C	REVISION FOR REVISIONS OF THE 100% DOCUMENTS	02-15-16
D	REVISION FOR PLANNING AND PERMITS REVIEW	10-21-16
E	REVISION FOR REVISIONS FOR PLANNING AND PERMITS REVIEW	02-05-17
F	PLANNING SUBMITTAL	02-07-17

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drawn by: EJD plot date: 04-22-17

checked by: EJD

stamp

IRRIGATION SCHEDULE

WATER SCHEDULE

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Total
Rainfall	5.38	3.9	3.46	1.57	0.32	0.15	0.05	0.13	0.43	1.66	3.94	3.93	23.5
ETO (inches)	1.20	1.50	2.80	3.90	5.10	6.10	7.00	6.20	4.80	3.10	1.40	0.90	44.20
Adjusted ETO	0.00	0.00	0.00	2.33	4.78	5.95	6.85	5.07	4.37	1.44	0.50	0.00	
average	0.00	0.00	0.00	0.34	0.89	0.86	1.00	0.87	0.63	0.21	0.00	0.00	

IRRIGATION SCHEDULE

Station	Days/Wk	Starts/Day	Mins/Run	Min/wk
1	3	2	24	144
2	3	2	30	180
3	3	2	26	156
4	3	3	10	90
5	3	2	24	144
6	3	2	26	156
7	3	2	24	144
8	3	2	30	180
9	3	2	10	90

ESTABLISHED LANDSCAPE

ST	Ingr	GPM	Total Gals
1	Drip	2.9	7665
2	Drip	1.75	5781
3	Drip	2.7	7731
4	Robtr	9	14867
5	Robtr	5.7	15069
6	Drip	1.1	3159
7	Robtr	10.8	28544
8	Robtr	6	19822
9	Robtr	4.4	7268
EWJ			109892.5
ETWJ			189882.0
MAWA			341775.0

WELO WORKSHEET

Portocork

Reference Evapotranspiration (Eto) 44.3

Hydrozone#	Plant	Irrigation Method	Irrigation Efficiency (P/E)	ETAF	Area (sq. ft.)	Area	ETAF X Area	Estimated Total Water Use (GPI)
1	0.2	Drip	0.81	0.25	1600	400	10950	
2	0.2	Drip	0.81	0.25	175	44	1206	
3	0.2	Drip	0.81	0.25	2241	560	15344	
4	0.2	Drip	0.81	0.25	4932	1233	33784	
5	0.2	Drip	0.81	0.25	6150	1538	42141	
6	0.2	Drip	0.81	0.25	1865	466	12768	
7	0.2	Drip	0.81	0.25	7595	1899	52033	
8	0.2	Bubbler	0.81	0.25	600	150	4110	
9	0.2	Bubbler	0.81	0.25	2561	640	17536	
Totals								27719
Maximum Allowed Water Allowance (MAWA)								341775
Estimated Total Water Use (ETWJ)								189882
Average ETAF Allowed ETAF								0.25
								0.45

IRRIGATION LEGEND

SYMBOLS	DESCRIPTION	MODEL	REMARKS	DETAIL																																																																							
○	IRRIGATION ZONE NUMBER																																																																										
●	TREE DEEP WELL																																																																										
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IRRIGATION PLAN

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project number: 15409.00

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