“E”

Use Permit Application Packet

Robert Biale Vineyards P16-00396
Planning Commission Hearing Date June 7, 2017

file № _____

Napa County
Conservation, Development, and Planning Department
1195 Third Street, Suite 210, Napa, California, 94559 *phone* (707) 253-4417
web www.countyofnapa.org/cdp/ *email* cdp@countyofnapa.org

A Tradition of Stewardship
A Commitment to Service

Use Permit Application

To be completed by Planning staff...

Application Type: _____

Date Submitted: _____ Resubmittal(s): _____ Date Complete: _____

Request: _____

*Application Fee Deposit: $_____ Receipt No. _____ Received by: _____ Date: _____

**Total Fees will be based on actual time and materials*

To be completed by applicant...

Project Name: Biale Vineyards Permit Modification An application for a development permit

Assessor's Parcel №: 036-190-007 Existing Parcel Size: 10.84 ac.

Site Address/Location: 4038 Big Ranch Road Napa, California 94558
No. Street City State Zip

Primary Contact: ☑ Owner ☐ Applicant ☐ Representative (attorney, engineer, consulting planner, etc.)

Property Owner: Vigneron Partners

Mailing Address: 4038 Big Ranch Road Napa, California 94558
No. Street City State Zip

Telephone №(707) 257 - 7555 E-Mail: bob@biale.com

Applicant (if other than property owner): Chris Dearden

Mailing Address: 4038 Big Ranch Road Napa, California 94558
No. Street City State Zip

Telephone №(707) 257 - 7555 E-Mail: chris@biale.com

Representative (if applicable): Land Use Planning Services

Mailing Address: 2423 Renfrew Street Napa, California 94558
No. Street City State Zip

Telephone №(707) 255 - 7375 E-Mail: jreddingaicp@comcast.net

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Napa County Planning Building & [illegible]

Use Permit Information Sheet

Use

Narrative description of the proposed use (please attach additional sheets as necessary):

Biale Vineyards located on Big Ranch Road at Salvador Avenue is authorized to produce up to 40,000 gallons of wine annually. A 15,000+ s.f. winery was approved in May 2003 (#03088-UP). The winery was later downsized in December 2003 with as-built winery measuring approximately 10,240 s.f. not including the covered and uncovered outdoor work areas that measure approximately 9,066 s.f. Two annual marketing events for a maximum of 100 attendees were approved in 2003. Current visitation levels are 21 visitors per day on the weekdays with 45 visitors per day on the weekends. No change to the current visitation is proposed. Tasting by appointment is conducted in the first floor tasting room and on the adjacent 1160 s.f. covered porch. Winery operations have been audited as recently as 2010 and found to be in compliance with approved use permit conditions. The applicants are proposing to increase production to 60,000 gallons per year. Three existing buildings will be re-purposed to winery related uses w/no increase in footprint. The existing residence and an adjacent storage building will be converted to new tasting venues. A portion of the storage building will be converted to an employee only kitchen and staging area for marketing events. The existing barn will be re purposed to production use for storage of shipping materials and bottle storage. Changes to the proposed marketing program are shown on page 10 of this application. A new outdoor patio and a modification to the existing circulation plan is also proposed. The site plans prepared by NMR show the locations of the buildings proposed for conversion and other changes to the existing site. Additional details are provided below.

What, if any, additional licenses or approvals will be required to allow the use?

District_____ Regional _____

State ABC Federal TTB

Improvements

Narrative description of the proposed on-site and off-site improvements (please attach additional sheets as necessary):

1. Re-purpose existing 2151 +/- s.f. residence to tasting room
2. Re-purpose existing 1,589 portion of 1897 +/- s.f. barn to wine and dry good storage; remainder of barn to be used for farm equipment storage (308 s.f.)
3. Re-purpose existing storage building to combined employee break room/caterers staging area (170 s.f.) and 218 s.f. tasting room
4. Construct 2589 +/- s.f. partially covered patio on east side of existing winery
5. Construct new driveway access to Big Ranch Road; remove portions of existing driveway
6. Construct improvements to each structure as required by the CBC
7. Provide new handicapped parking space
8. Install code compliant water supply, wastewater and fire suppression improvements as required
9. Portable Toilets for events of 100 or more attendees

December 8, 2016

Wyntress Balcher
Planner II
Planning, Building and Environmental Services
1195 Third Street, Ste 210
Napa, CA 94559

RE: P16-00396 Robert Biale Vineyards Use Permit Modification
4038 Big Ranch Road APN 036-190-007
Napa, California 94558

Dear Ms. Balcher,

Thank you for your application status letter of October 27, 2016. We have revised our application to address your comments and the comments made by The Engineering Division, the Fire Marshall, The Building Division and the Department of Public Works. A summary of our response to these comments is as follows:

Planning Department Comments of October 27, 2016

1. The existing residence proposed to be converted to winery use is within the 600-foot winery setback. The existing residence proposed for winery use was constructed circa 1930s prior to the time when building permits were required. Section 18.104.230(C) provides that pre-1990 structures are exempt from the 600-foot setback so long as this exemption will result in a more environmentally beneficial placement of the winery and the structure is not expanded beyond the existing footprint. Any expansion of such structure beyond the existing footprint shall comply with the 600-foot setback.

   Construction of a new tasting room comparable with the existing residence would result in the additional loss of vineyard, and increase GHG emissions as a result of the harvesting and transporting of construction materials. Repurposing of the existing residence and converting it to winery use will allow for the retention of this structure, one of the original structures on the property. Its reuse provides the applicant with an economic incentive to preserve and upgrade the structure. The preservation of existing vineyard and the one of the original structures on the property is environmentally superior to the construction of a new tasting room.

   No expansion of the footprint of the existing residence is proposed. The proposed tasting room is required to provide a new accessible walkway and ramp.

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Chico, CA 95928

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ARCHITECTS/ENGINEERS
Redding Chico Santa Rosa

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2. The second page of the Water Availability Analysis – Phase One is not included with the application. Page two of the Water Availability Analysis – Phase One is included in our revised application. Our analysis indicates a slight decrease in water use as a result of converting the existing residence to winery use and the loss of vineyard resulting from construction of the new driveway. We anticipate additional water savings will occur due to decreased vineyard irrigation as additional conservation measures not associated with this use permit modification are implemented.

3. There is no overall site plan that clearly identifies all the structures that will comprise the winery development area. A "Proposed Winery Development Site Plan" was added to sheet A010. This plan clearly shows the existing winery building and the three existing buildings (existing Residence, existing Barn and existing Storage Building) proposed for conversion to winery use.

4. Please note that Use Permit No. 03088-UP was permitted for tours and tastings by appointment only with a maximum of four visitors per day (not including marketing) an average of ten per week with four full-time and three part-time employees. The traffic characteristics evaluated 16 total average daily trips and 22 peak day trips.

5. Please provide the hours that the events will be scheduled and please indicate if the winery tasting room will be open on these days and during these events. Marketing events conducted on weekdays will be scheduled to avoid guests either arriving or departing during either morning or afternoon peak hour periods. No appointments will be scheduled for tours or tastings during larger marketing events; i.e., those with 100 or more attendees.

Engineering and Conservation Division Comments of October 11, 2016 regarding Stormwater

1. Please show all storm drain pipes, storm water dissipaters and retention areas on the plan set. All existing and proposed storm drain pipes, storm water dissipaters and retention areas have been added to three new civil plan sheets (C200, C210 and C220) that make up the exhibits for our Stormwater Control Plan.

2. Please note the proposed overflow parking area and decomposed granite courtyard area are seen as an impervious surface as defined in the Phase II MS4 General Permit or as defined in Section 4-6 of the BASMAA manual titled – "Design Guidance for Stormwater Treatment and Control for Projects in Marin, Sonoma, Napa and Solano Counties." We have revised the pervious and impervious surface calculations in our revised application and in the "Existing and Proposed Winery Coverage" table on sheet A010 to include the proposed decomposed granite path on the south side of the overflow parking area, the proposed concrete sidewalk just north of the existing visitor parking spaces and the decomposed granite area of the proposed expanded

outdoor hospitality area as impervious surfaces. We clarified the construction of the overflow parking area itself to be a geogrid grass paver system (see revised Sheet Note number five) which is classified as a pervious pavement by the BASMAA manual Section 4-6 and Table 4.1.

3. Please provide a Stormwater Control Plan (SCP) prepared for your project in accordance with the BASMAA manual titled – "Design Guidance for Stormwater Treatment and Control for Projects in Marin, Sonoma, Napa and Solano Counties." We have produced a Stormwater Control Plan showing the existing drainage systems are generally in conformance with the BASMAA manual. The SCP is included with our resubmitted application.

Napa County Fire Marshall Comments of December 6, 2016

The Fire Marshall approves as submitted and requires the six conditions contained in the letter to be incorporated as part of entitlement issuance: We accept the six conditions proposed by the Fire Marshal. The existing winery building is protected by a system approved April 22, 2005 under permit number B04-1704 as required by condition number three. The system consists of a fire pump and controller housed in a separate dedicated building, three 10,500-gallon above-ground fire water storage tanks, underground fire mains with thrust blocks, two hydrants (locations shown on revised plan set; southeast corner of crush pad and near existing visitor parking), a post-indicator valve (PIV) and fire department connection (FDC). The existing winery building is sprinklered. It appears that, relative to the existing winery building, all six of the conditions are met. It also appears that conditions five and six are met for all three other existing buildings proposed to be converted to winery use.

Napa County Public Work's comments of October 21, 2016

1. A traffic impact study is not needed.

2. A left-turn lane on Big Ranch Road is not required.

3. An encroachment permit will be required prior to construction of the proposed new driveway. After approval of P16-00396 Robert Biale Vineyards Use Permit Modification we will submit an encroachment permit application for construction of the proposed new driveway.

Napa County Building Inspection Division comments of October 14, 2016

1. The Building Division has no issues or concerns with the approval of Use Permit P16-00396 as it is a planning entitlement and does not in itself authorize any construction activities. Separate Building permits shall be required. After approval of P16-00396

Robert Biale Vineyards Use Permit Modification we will submit plans and calculations necessary and obtain a building permit(s) for the proposed modifications to the existing Residence (making it comply with CBC Chapter 11-B for disable access), for the proposed modifications to the existing Storage Building and for the expansion of the outdoor hospitality area east of the existing tasting room.

All resubmitted plans, and new plan sheets which are exhibits for the Stormwater Control Plan, are shown as being "Revision 1' in the revisions section of the title block (lower right hand corner of the sheet). The date of drawings which were revised has been changed to December 1, 2016. Sheets that are resubmitted but not revised (A300 series) have the "Revision 1" information in the revision section but still have the original August 25, 2016 date. If you have any questions or concerns or require additional information, please contact me.

Best regards,

Stephen A. Gonsalves

Stephen A. Gonsalves
Principal Architect & Structural Engineer
Nichols Melburg & Rossetto

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gonsalves@nmrdesign.com

From: Jeffrey Redding
To: Balcher, Wyntress
Subject: Biale Vineyards AB 2004 On Site Wine Consumption
Date: Thursday, May 11, 2017 11:10:48 AM

Wyntress, thanks for the follow up. Speaking with my clients, here is a listing of the areas that would like authorization for the AB 2004 areas:

1. Existing Tasting Room and adjacent Porch area (north side of the existing winery building);
2. New/proposed landscaped area on east side of existing tasting room
3. Tractor/Chicken Shed (when remodeled) on North side of building
4. Lawn area under sycamores in front of Tractor/Chicken Shed (used primarily for events)
5. Former Rental House interior, front porch, flagstone patio at entry and back lawn area

Please let us know if you have any issues with these.

Thanks again; see you on the 7th (if not before).

Jeff

Improvements, cont.

Total on-site parking spaces: 25 existing 26 proposed

Loading areas: 1 existing 1 proposed

Fire Resistivity (check one; if not checked, Fire Marshal will assume Type V – non rated):

☐ Type I FR ☐ Type II 1 Hr ☐ Type II N (non-rated) ☐ Type III 1 Hr ☐ Type III N

☐ Type IV H.T. (Heavy Timber) ☐ Type V 1 Hr. ☑ Type V (non-rated)

(for reference, please see the latest version of the California Building Code)

Is the project located in an Urban/Wildland Interface area? ☐ Yes ☑ No

Total land area to be disturbed by project (include structures, roads, septic areas, landscaping, etc): 0.33 acres

Employment and Hours of Operation

Days of operation:	Tuesday-Saturday existing	Sunday-Saturday proposed
Hours of operation:	8:00 am-4:30 pm existing	8:00 am-4:30 pm proposed
Anticipated number of employee shifts:	1 existing	1 proposed
Anticipated shift hours:	8:00 am-4:30 pm existing	8:00 am-4:30 pm proposed

Maximum Number of on-site employees:

☐ 10 or fewer ☐ 11-24 ☐ 25 or greater (specify number) _____

Alternately, you may identify a specific number of on-site employees:

☐ other (specify number) 12 FT/6 PT

Certification and Indemnification

Applicant certifies that all the information contained in this application, including all information required in the Checklist of Required Application Materials and any supplemental submitted information including, but not limited to, the information sheet, water supply/waste disposal information sheet, site plan, floor plan, building elevations, water supply/waste disposal system site plan and toxic materials list, is complete and accurate to the best of his/her knowledge. Applicant and property owner hereby authorize such investigations including access to County Assessor's Records as are deemed necessary by the County Planning Division for preparation of reports related to this application, *including the right of access to the property involved.*

Pursuant to Chapter 1.30 of the Napa County Code, as part of the application for a discretionary land use project approval for the project identified below, Applicant agrees to defend, indemnify, release and hold harmless Napa County, its agents, officers, attorneys, employees, departments, boards and commissions (hereafter collectively "County") from any claim, action or proceeding (hereafter collectively "proceeding") brought against County, the purpose of which is to attack, set aside, void or annul the discretionary project approval of the County, or an action relating to this project required by any such proceeding to be taken to comply with the California Environmental Quality Act by County, or both. This indemnification shall include, but not be limited to damages awarded against the County, if any, and cost of suit, attorneys' fees, and other liabilities and expenses incurred in connection with such proceeding that relate to this discretionary approval or an action related to this project taken to comply with CEQA whether incurred by the Applicant, the County, and/or the parties initiating or bringing such proceeding. Applicant further agrees to indemnify the County for all of County's costs, attorneys' fees, and damages, which the County incurs in enforcing this indemnification agreement.

Applicant further agrees, as a condition of project approval, to defend, indemnify and hold harmless the County for all costs incurred in additional investigation of or study of, or for supplementing, redrafting, revising, or amending any document (such as an EIR, negative declaration, specific plan, or general plan amendment) if made necessary by said proceeding and if the Applicant desires to pursue securing approvals which are conditioned on the approval of such documents.

In the event any such proceeding is brought, County shall promptly notify the Applicant of the proceeding, and County shall cooperate fully in the defense. If County fails to promptly notify the Applicant of the proceeding, or if County fails to cooperate fully in the defense, the Applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the County. The County shall retain the right to participate in the defense of the proceeding if it bears its own attorneys' fees and costs, and defends the action in good faith. The Applicant shall not be required to pay or perform any settlement unless the settlement is approved by the Applicant.

Robert Biale

Print Name of Property Owner

Robert Biale 9/8/16

Signature of Property Owner — Date

Print Name Signature of Applicant (if different)

9/8/16

Signature of Applicant — Date

Operations

Please indicate whether the activity or uses below are already legally **EXISTING**, whether they exist and are proposed to be **EXPANDED** as part of this application, whether they are **NEWLY PROPOSED** as part of this application, or whether they are neither existing nor proposed (**NONE**).

Retail Wine Sales	☑ Existing	☐ Expanded	☐ Newly Proposed	☐ None
Tours and Tasting- Open to the Public	☐ Existing			
Tours and Tasting- By Appointment	☑ Existing	☐ Expanded	☐ Newly Proposed	☐ None
Food at Tours and Tastings	☐ Existing	☐ Expanded	☐ Newly Proposed	☐ None
Marketing Events*	☑ Existing	☐ Expanded	☐ Newly Proposed	☐ None
Food at Marketing Events	☑ Existing	☐ Expanded	☐ Newly Proposed	☐ None
Will food be prepared...	☐ On-Site?	☑ Catered?		
Public display of art or wine-related items	☐ Existing	☐ Expanded	☐ Newly Proposed	☑ None

** For reference please see definition of "Marketing," at Napa County Code §18.08.370 - http://library.municode.com/index.aspx?clientId=16513*

Production Capacity *

Please identify the winery's...

Existing production capacity: 40,000 gal/y Per permit №: 03088-UP Permit date: 5/23/03

Current maximum actual production: 36,689 gal/y For what year? 2015

Proposed production capacity: 60,000 gal/y

** For this section, please see "Winery Production Process," at page 11.*

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Visitation and Hours of Operation

Please identify the winery's...

Maximum daily tours and tastings visitation:	60 (WE)/30 (WD) existing	60 (WE)/30 (WD) proposed
Average daily tours and tastings visitation[1]:	30 (WE)/15 (WD) existing	30 (WE)/15(WD) proposed
Visitation hours (e.g. M-Sa, 10am-4pm):	Tu-Sat,10am-4pm existing	Sun-Sat,10am-4pm proposed
Non-harvest Production hours[2]:	6:00 am-3:00 pm existing	6:00 am-3:00 pm proposed

[1] Average daily visitation is requested primarily for purposes of environmental review and will not, as a general rule, provide a basis for any condition of approval limiting allowed winery visitation.
[2] It is assumed that wineries will operate up to 24 hours per day during crush.

Grape Origin

All new wineries and any existing (pre-WDO) winery expanding beyond its winery development area must comply with the 75% rule and complete the attached "Initial Statement of Grape Source". See Napa County Code §18.104.250 (B) & (C).

Marketing Program

Please describe the winery's proposed marketing program. Include event type, maximum attendance, food service details, etc. Differentiate between existing and proposed activities. (Attach additional sheets as necessary.)

Approved Marketing Plan

2/year for 100 persons (maximum)
Participation in Napa Valley Wine Auction, Premier Napa Valley (100 persons maximum)

Additional Marketing Events Proposed

2/year for 15 persons (maximum)
2/month for 25 persons (maximum)
4/year for 50 persons (maximum)
2/year for 250 persons (maximum)

Portable Toilets will be used for events for 100 or more attendees

Food Service

Please describe the nature of any proposed food service including type of food, frequency of service, whether prepared on site or not, kitchen equipment, eating facilities, etc. Please differentiate between existing and proposed food service. (Attach additional sheets as necessary.)

On-site kitchen for employee and for use as staging area for caterer use

Initial Statement of Grape Source

Pursuant to Napa County Zoning Ordinance Sections 12419(b) and (c),
I hereby certify that the current application for establishment or expansion of a winery pursuant to the Napa County Winery Definition Ordinance will employ sources of grapes in accordance with the requirements of Section 12419(b) and/or (c) of that Ordinance.

Owner's Signature

9/8/16
Date

Letters of commitment from grape suppliers and supporting documents may be required prior to issuance of any building permits for the project. Recertification of compliance will be required on a periodic basis. Recertification after initiation of the requested wine production may require the submittal of additional information regarding individual grape sources. Proprietary information will not be disclosed to the public.

Winery Coverage and Accessory/Production Ratio

Winery Development Area. Consistent with the definition at "a.," at page 11 and with the marked-up site plans included in your submittal, please indicate your proposed winery development area. If the facility already exists, please differentiate between existing and proposed.

Existing 24,355 sq. ft. 0.56 acres

Proposed 29,131 sq. ft. 0.67 acres

Winery Coverage. Consistent with the definition at "b.," at page 11 and with the marked-up site plans included in your submittal, please indicate your proposed winery coverage (maximum 25% of parcel or 15 acres, whichever is less).

61,840 sq. ft. 1.42 acres 13.1 % of parcel

Production Facility. Consistent with the definition at "c.," at page 11 and the marked-up floor plans included in your submittal, please indicate your proposed *production* square footage. If the facility already exists, please differentiate between existing and proposed.

Existing 16,701 sq. ft. Proposed 18,727 sq. ft.

Accessory Use. Consistent with the definition at "d.," at page 11 and the marked-up floor plans included in your submittal, please indicate your proposed *accessory* square footage. If the facility already exists, please differentiate between existing and proposed. (maximum = 40% of the production facility)

Existing 2,752 (2003-3,339 s.f.) sq. ft. 16.48 % of production facility

Proposed 5,502 sq. ft. 29.38 % of production facility

Caves and Crushpads

If new or expanded caves are proposed please indicate which of the following best describes the public accessibility of the cave space:

☑ None – no visitors/tours/events (**Class I**) ☐ Guided Tours Only (**Class II**) ☐ Public Access (**Class III**)

☐ Marketing Events and/or Temporary Events (**Class III**)

Please identify the winery's...

Cave area Existing: None sq. ft. Proposed: None sq. ft.

Covered crush pad area Existing: 6,492 sq. ft. Proposed: 6,492 sq. ft.

Uncovered crush pad area Existing: 2,787 sq. ft. Proposed: 2,787 sq. ft.

Water Supply/ Waste Disposal Information Sheet

Water Supply

Please attach completed Phase I Analysis sheet.

	Domestic	Emergency
Proposed source of water (e.g., spring, well, mutual water company, city, district, etc.):	Existing Well	
Name of proposed water supplier (if water company, city, district):	N/A	
Is annexation needed?	☐ Yes ☑ No	☐ Yes ☑ No
Current water use:	5500 gallons per day (gal/d)	
Current water source:	Existing Well	
Anticipated future water demand:	5750 gal/d	gal/d
Water availability (in gallons/minute):	75 gal/m	gal/m
Capacity of water storage system:	10,000 gal	30,000 gal
Type of emergency water storage facility if applicable (e.g., tank, reservoir, swimming pool, etc.):	50,000 Gal. Tank	

Liquid Waste

Please attach Septic Feasibility Report

	Domestic	Other
Type of waste:	sewage	Winery/Process
Disposal method (e.g., on-site septic system, on-site ponds, community system, district, etc.):	On-Site	On-Site
Name of disposal agency (if sewage district, city, community system):	N/A	N/A
Is annexation needed?	☐ Yes ☑ No	☐ Yes ☑ No
Current waste flows (peak flow):	337 gal/d	1239 gal/d
Anticipated future waste flows (peak flow):	337 gal/d	1490 gal/d
Future waste disposal design capacity:	gal/d	gal/d

Solid Waste and Recycling Storage and Disposal

Please include location and size of solid waste and recycling storage area on site plans in accordance with the guidelines available at www.countyofnapa.org/dem.

Hazardous and/or Toxic Materials

If your facility generates hazardous waste or stores hazardous materials above threshold planning quantities (55 gallons liquid, 500 pounds solid or 200 cubic feet of compressed gas) then a hazardous materials business plan and/or a hazardous waste generator permit will be required.

Grading Spoils Disposal

Where will grading spoils be disposed of?
(e.g. on-site, landfill, etc. If off-site, please indicate where off-site): _____

Winery Traffic Information / Trip Generation Sheet

Traffic during a Typical Weekday

Number of FT employees: 10.15 x 3.05 one-way trips per employee = 30.96 daily trips.

Number of PT employees: 3.00 x 1.90 one-way trips per employee = 5.70 daily trips.

Average number of weekday visitors: 21.2 / 2.6 visitors per vehicle x 2 one-way trips = 16.31 daily trips.

Gallons of production: 60,000 / 1,000 x .009 truck trips daily[3] x 2 one-way trips = 1.08 daily trips.

Total = 54.20 **daily trips.**

(№ of FT employees) + (№ of PT employees/2) + (sum of visitor and truck trips x .38) = 18.26 **PM peak trips.**

Traffic during a Typical Saturday

Number of FT employees (on Saturdays): 1.50 x 3.05 one-way trips per employee = 4.58 daily trips.

Number of PT employees (on Saturdays): 3.00 x 1.90 one-way trips per employee = 5.70 daily trips.

Average number of Saturday visitors: 45.4 / 2. 8 visitors per vehicle x 2 one-way trips = 34.91 daily trips.

Total = 45.19 **daily trips.**

(№ of FT employees) + (№ of PT employees/2) + (visitor trips x .57) = 22.90 **PM peak trips.**

Traffic during a Crush Saturday

Number of FT employees (during crush): 1.50 x 3.05 one-way trips per employee = 4.58 daily trips.

Number of PT employees (during crush): 3.00 x 1.90 one-way trips per employee = 5.70 daily trips.

Average number of Saturday visitors: 53.6 / 2. 8 visitors per vehicle x 2 one-way trips = 38.29 daily trips.

Gallons of production: 60,000 / 1,000 x .009 truck trips daily x 2 one-way trips = 1.08 daily trips.

Avg. annual tons of grape on-haul: 363.64 / 144 truck trips daily [4] x 2 one-way trips = 5.05 daily trips.

Total = 54.70 **daily trips.**

Largest Marketing Event- Additional Traffic

Number of event staff (largest event): 3 x 2 one-way trips per staff person = 6.00 trips.

Number of visitors (largest event): 250 / 2.8 visitors per vehicle x 2 one-way trips = 178.57 trips.

Number of special event truck trips (largest event): 2 x 2 one-way trips = 4.00 trips.

[3] Assumes 1.47 materials & supplies trips + 0.8 case goods trips per 1,000 gallons of production / 250 days per year (see *Traffic Information Sheet Addendum* for reference).

[4] Assumes 4 tons per trip / 36 crush days per year (see *Traffic Information Sheet Addendum* for reference).

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A Commitment to Service

Department of Public Works

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Donald G. Ridenhour, P.E.
Director

WATER AVAILABILITY ANALYSIS - PHASE ONE STUDY

Introduction: As an applicant for a permit with Napa County, It has been determined that Chapter 13.15 of the Napa County Code is applicable to approval of your permit. One step of the permit process is to adequately evaluate the amount of water your project will use and the potential impact your application might have on the static groundwater levels within your neighborhood. The public works department requires that a Phase 1 Water Availability Analysis (WAA) be included with your application. The purpose of this form is to assist you in the preparation of this analysis. You may present the analysis in an alternative form so long as it substantially includes the information required below. Please include any calculations you may have to support your estimates.

The reason for the WAA is for you, the applicant, to inform us, to the best of your ability, what changes in water use will occur on your property as a result of an approval of your permit application. By examining the attached guidelines and filling in the blanks, you will provide the information we require to evaluate potential impacts to static water levels of neighboring wells.

Step #1: ← Attached at back of application

Provide a map and site plan of your parcel(s). The map should be an 8-1/2"x11" reproduction of a USGS quad sheet (1:24,000 scale) with your parcel outlined on the map. Include on the map the nearest neighboring well. The site plan should be an 8-1/2"x11" site plan of your parcel(s) with the locations of all structures, gardens, vineyards, etc in which well water will be used. If more than one water source is available, indicate the interconnecting piping from the subject well to the areas of use. Attach these two sheets to your application. If multiple parcels are involved, clearly show the parcels from which the fair share calculation will be based and properly identify the assessor's parcel numbers for these parcels. Identify all existing or proposed wells

Step #2: Determine total parcel acreage and water allotment factor. If your project spans multiple parcels, please fill a separate form for each parcel.

Determine the allowable water allotment for your parcels:

Parcel Location Factors

The allowable allotment of water is based on the location of your parcel. There are 3 different location classifications. Valley floor areas include all locations that are within the Napa Valley, Pope Valley and Carneros Region, except for areas specified as groundwater deficient areas. Groundwater deficient areas are areas that have been determined by the public works department as having a history of problems with groundwater. All other areas are classified as Mountain Areas.

Please underline your location classification below (Public Works can assist you in determining your classification if necessary):

Valley Floor	**1.0 acre feet per acre per year**
Mountain Areas	**0.5 acre feet per acre per year**
MST Groundwater Deficient Area	**0.3 acre feet per acre per year**

Assessor's Parcel Number(s)	Parcel Size (A)	Parcel Location Factor (B)	Allowable Water Allotment (A) X (B)
036-190-007	10.84	1	10.84

Step #3:

Using the guidelines in Attachment A, tabulate the existing and projected future water usage on the parcel(s) in acre-feet per year (af/yr). Transfer the information from the guidelines to the table below.

EXISTING USE:		PROPOSED USE:	
Residential	0.5 af/yr	Residential	0 af/yr
Farm Labor Dwelling	____ af/yr	Farm Labor Dwelling	____ af/yr
Winery	1.18 af/yr	Winery	1.42 af/yr
Commercial	____ af/yr	Commercial	____ f/yr
Vineyard*	4.2 af/yr	Vineyard*	4.2 af/yr
Other Agriculture	____ af/yr	Other Agriculture	____ af/yr
Landscaping	0.3 af/yr	Landscaping	0.3 af/yr
Other Usage (List Separately):		Other Usage (List Separately):	
Kitchen/tasting	0 af/yr	Kitchen/tasting	0.03 af/yr
____	____ af/yr	____	____ af/yr
____	____ af/yr	____	____ af/yr
TOTAL:	6.18 af/yr	**TOTAL:**	5.95 af/yr **TOTAL:**
	____ gallons**	**TOTAL:**	____ gallons**

Is the proposed use less than the existing usage? ☑ **Yes** ☐ **No** ☐ **Equal**

Step #4:

Provide any other information that may be significant to this analysis. For example, any calculations supporting your estimates, well test information including draw down over time, historical water data, visual observations of water levels, well drilling information, changes in neighboring land uses, the usage if other water sources such as city water or reservoirs, the timing of the development, etc. Use additional sheets if necessary.

The Modified use permit is being submitted to reflect current land use as well as proposed improvements for for wine tasting events. Robert Biale Vineyards 2001 UP - #00271 allowed up to 40,000 gal/yr for winery production. RBV has historically produced between 45,000 to 55,000 gal/yr of wine over the last 5 years. To date there has been no changes to water availability or consumption that warrant or show any significant variance to the groundwater.

Increased wine production has occurred through utilization of off site grapes. No change in parcel vineyards has occurred. Slight decrease in overall water usage reflects; (1) increase in wine production to 60,000 gal/yr; (2) new VIP tasting area; and (3) converted Storage Building tasting room with kitchen which is more than offset by the elimination of the residential water use. Kitchen catering events were estimated based on 2 events/month for a 5 month period with a 1000 gal/event or about 0.03 af/yr.

Conclusion: Congratulations! Just sign the form and you are done! Public works staff will now compare your projected future water usage with a threshold of use as determined for your parcel(s) size, location, topography, rainfall, soil types, historical water data for your area, and other hydrogeologic information. They will use the above information to evaluate if your proposed project will have a detrimental effect on groundwater levels and/or neighboring well levels. Should that evaluation result in a determination that your project may adversely impact neighboring water levels, a phase two water analysis may be required. You will be advised of such a decision.

Signature: Stephen A. Gonsalves **Date:** 11/14/2016 **Phone:** (530) 891-1710

SCALE

0 750 1500 3000 ft

NICHOLS MELBURG ROSSETTO
ARCHITECTS + ENGINEERS
555 MAIN STREET, SUITE 300
CHICO, CA. 95928
(530) 891-1710 (530) 891-0138 FAX

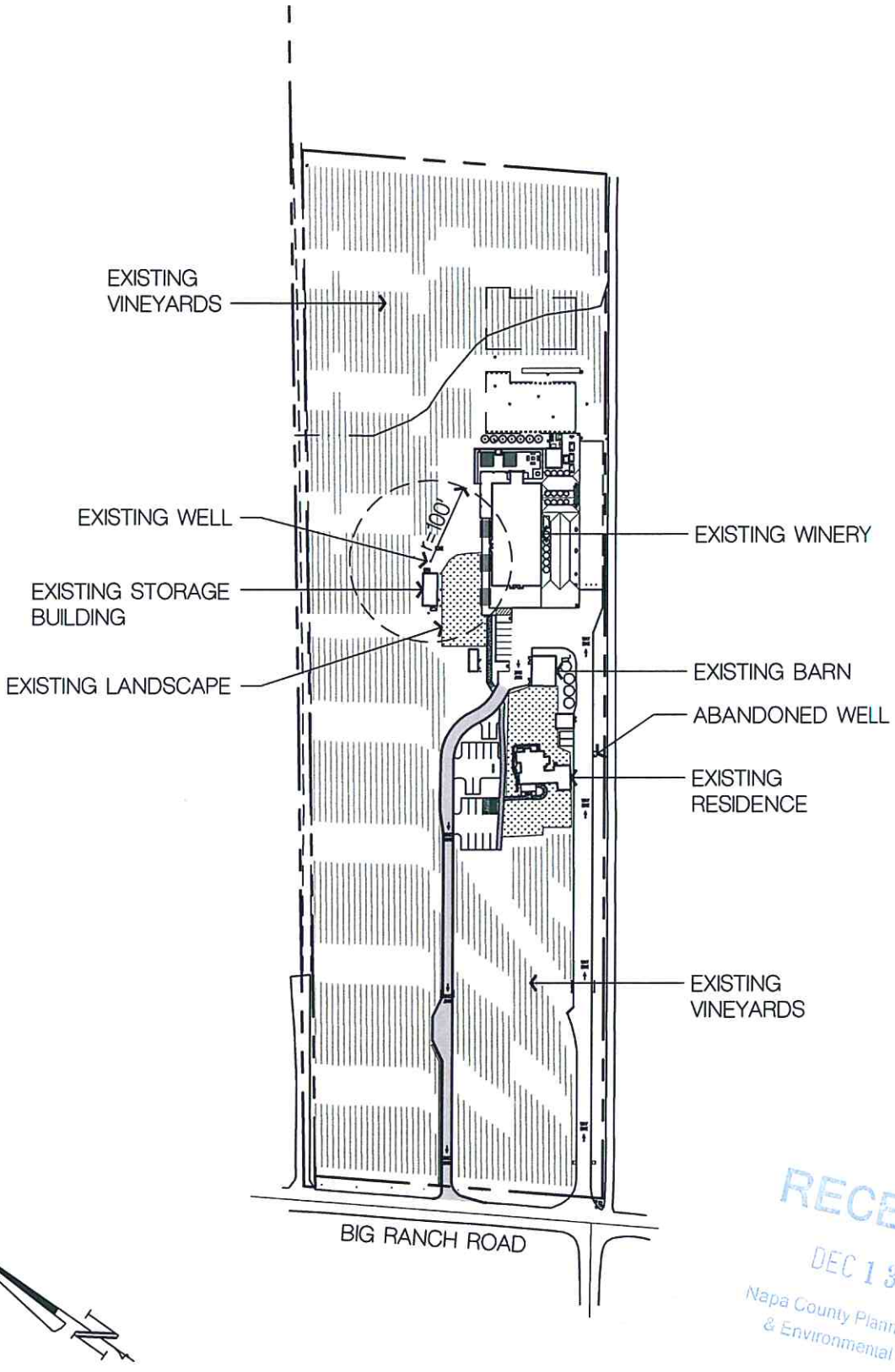
WELL VICINITY MAP

Use Permit Modification
Robert Biale Vineyards

A
1

DR. SAG
DT. 08/25/2016
SC. AS NOTED
NO. 16-5491

Plot Date: December 09, 2016 - 7:08 am
File Name: S:\Work\16-5491 Biale Winery Expansion\CADD\Sheets\Grading Plan.dwg



SCALE 0 100 200 400 ft

NICHOLS MELBURG ROSSETTO
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CHICO, CA. 95928
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SITE PLAN

Use Permit Modification
Robert Biale Vineyards

A
2

DR. SAG
DT. 08/25/2016
SC. AS NOTED
NO. 16-5491

Plot Date: December 09, 2016 - 7:05 am
File Name: S:\Work\16-5491 Biale Winery Expansion\CADD\Sheets\Grading Plan.dwg

NAPA COUNTY UNIFIED PROGRAM CONSOLIDATED FORM
FACILITY INFORMATION

BUSINESS ACTIVITIES

I. FACILITY IDENTIFICATION

FACILITY ID # (Agency Use Only) 1		EPA ID # (Hazardous Waste Only) 2	
BUSINESS NAME (Same as Facility Name of DBA-Doing Business As) 3			
BUSINESS SITE ADDRESS Robert Biale Vineyards 103			
BUSINESS SITE CITY 4038 Big Ranch Road Napa 104		CA	ZIP CODE 94558 105
CONTACT NAME Robert Biale 106		PHONE 707-257-7555 107	

II. ACTIVITIES DECLARATION

NOTE: If you check YES to any part of this list, please submit the Business Owner/Operator Identification page.

Does your facility…		If Yes, please complete these pages of the UPCF….
A. HAZARDOUS MATERIALS Have on site (for any purpose) at any one time, hazardous materials at or above 55 gallons for liquids, 500 pounds for solids, or 200 cubic feet for compressed gases (include liquids in ASTs and USTs); or the applicable Federal threshold quantity for an extremely hazardous substance specified in 40 CFR Part 355, Appendix A or B; or handle radiological materials in quantities for which an emergency plan is required pursuant to 10 CFR Parts 30, 40 or 70?	☐ YES ☐ NO 4	HAZARDOUS MATERIALS INVENTORY – CHEMICAL DESCRIPTION
B. REGULATED SUBSTANCES Have Regulated Substances stored onsite in quantities greater than the threshold quantities established by the California Accidental Release prevention Program (CalARP)?	○ YES ◉ NO 4a	Coordinate with your local agency responsible for CalARP.
C. UNDERGROUND STORAGE TANKS (USTs) Own or operate underground storage tanks?	○ YES ◉ NO 5	UST FACILITY (Formerly SWRCB Form A) UST TANK (one page per tank) (Formerly Form B)
D. ABOVE GROUND PETROLEUM STORAGE Own or operate ASTs above these thresholds: Store greater than 1,320 gallons of petroleum products (new or used) in aboveground tanks or containers.	○ YES ◉ NO 8	NO FORM REQUIRED TO CUPAs
E. HAZARDOUS WASTE Generate hazardous waste?	○ YES ◉ NO 9	EPA ID NUMBER – provide at the top of this page
Recycle more than 100 kg/month of excluded or exempted recyclable materials (per HSC 25143.2)?	○ YES ◉ NO 10	RECYCLABLE MATERIALS REPORT (one per recycler)
Treat hazardous waste on-site?	○ YES ◉ NO 11	ON-SITE HAZARDOUS WASTE TREATMENT – FACILITY ON-SITE HAZARDOUS WASTE TREATMENT – UNIT (one page per unit)
Treatment subject to financial assurance requirements (for Permit by Rule and Conditional Authorization)?	○ YES ○ NO 12	CERTIFICATION OF FINANCIAL ASSURANCE
Consolidate hazardous waste generated at a remote site?	○ YES ○ NO 13	REMOTE WASTE / CONSOLIDATION SITE ANNUAL NOTIFICATION
Need to report the closure/removal of a tank that was classified as hazardous waste and cleaned on-site?	○ YES ○ NO 14	HAZARDOUS WASTE TANK CLOSURE CERTIFICATION
Generate in any single calendar month 1,000 kilograms (kg) (2,200 pounds) or more of federal RCRA hazardous waste, or generate in any single calendar month, or accumulate at any time, 1 kg (2.2 pounds) of RCRA acute hazardous waste; or generate or accumulate at any time more than 100 kg (220 pounds) of spill cleanup materials contaminated with RCRA acute hazardous waste.	○ YES ◉ NO 14a	Obtain federal EPA ID Number, file Biennial Report (EPA Form 8700-13A/B), and satisfy requirements for RCRA Large Quantity Generator.
Household Hazardous Waste (HHW) Collection site?	○ YES ◉ NO 14b	See CUPA for required forms.

F. LOCAL REQUIREMENTS 15

(You may also be required to provide additional information by your CUPA or local agency.)

RECEIVED

UPCF Rev. (12/2007)

1 3 2016

Napa County Planning, Building

Checklist of Voluntary
Greenhouse Gas Emission Reduction Measures

A Tradition of Stewardship
A Commitment to Service

An addendum to the Entitlement Application and a supplement for Initial Studies as required by CEQA

PROJECT NAME	Biale Vineyards
PROJECT ADDRESS	4038 Big Ranch Road Napa, CA
APPLICANT	Chris Dearden
CONTACT INFO	chris@biale.com (email) 707-257-7555 (phone)

		yes	no	I don't know
1	Have you designed to U.S.G.B.C.™ LEED™ or Build It Green™ standards? If yes, please include a copy of their required spreadsheets.		X	
2	Do you have an integrated design team? if yes, please list: Stephen A. Gonsalves, LEED AP	X		
3	SITE DESIGN			
3.1	Does your design encourage community gathering and is it pedestrian friendly?		X	
3.2	Are you building on existing disturbed areas?			N/A
3.3	Landscape Design			
3.31	native plants?	X		
3.32	drought tolerant plants?	X		
3.33	Pierce Disease resistant planting?	X		
3.34	Fire resistant planting?	X		
3.35	Are you restoring open space and/or habitat?		X	
3.36	Are you harvesting rain water on site?		X	
3.37	planting large trees to act as carbon sinks?		X	
3.38	using permeable paving materials for drive access and walking surfaces?	X		
3.4	Does your parking lot include bicycle parking?		X	
3.5	Do you have on-site waste water disposal?	X		
3.6	Do have post-construction stormwater on site detention/filration methods designed?	X		
3.7	Have you designed in harmony with existing natural features, such as preserving existing trees or rock outcroppings?	X		
3.8	Does the project minimize the amount of site disturbance, such as minimizing grading and/or using the existing topography in the overall site design (such as cave design)?	X		
3.9	Is the structure designed to take advantage of natural cooling and passive solar aspects?		X	
4	ENERGY PRODUCTION & EFFICIENCY			
4.1	Does your facility use energy produced on site? If yes, please explain the size, location, and percentage of off-set:		X	
4.2	Does the design include thermal mass within the walls and/or floors?		X	
4.3	Do you intend to commission the performance of the building after it is built to ensure it performs as designed?			N/A
4.4	Will your plans for construction include:			
4.41	High density insulation above Title 24 standards?		X	
4.42	Zones for heating and cooling to provide for maximum efficiency?		X	
4.43	Energy Star™ or ultra energy efficient appliances?		X	
4.44	A "cool" (lightly colored or reflective) or a permeable/living roof?		X	
4.45	Timers/time-outs installed on lights (such as the bathrooms)?		X	
	If yes, please explain:			
5	WATER CONSERVATION			
5.1	Does your landscape include high-efficiency irrigation?		X	
5.2	Does your landscape use zero potable water irrigation?		X	
5.3	Is your project in the vicinity to connect to the Napa Sanitation reclaimed water?		X	
5.4	Will your facility use recycled water?		X	
5.41	If no, will you prepare for it by pre-installing dual pipes and/or purple lines?			N/A
5.5	Will your plans for construction include:			
5.51	a meter to track your water usage?	X		
5.52	ultra water efficient fixtures and appliances?		X	
5.53	a continuous hot water distribution method, such as an on-demand pump?		X	
5.54	a timer to insure that the systems are run only at night/early morning?	X		

	yes	no	I don't know
6 MATERIAL RECYCLING			
6.1 Are you using reclaimed materials?		X	
If yes, what and where:			
6.2 Are you using recycled construction materials-			
6.21 finish materials?			N/A
6.22 aggregate/concrete road surfaces?	X		
6.23 fly ash/slag in foundation?			N/A
6.3 Will your contractor be required to recycle and reuse construction materials as part of your contract?	X		
6.4 Does your facility provide access to recycle-			
6.41 Kitchen recycling center?		X	
6.42 Recycling options at all trash cans?		X	
6.43 Do you compost green waste?		X	
6.44 Provide recycling options at special events?	X		
7 NATURAL RESOURCES			
7.1 Will you be using certified wood that is sustainably harvested in construction?		X	
7.2 Will you be using regional (within 500 miles) building materials?	X		
7.3 Will you be using rapidly renewable materials, such as bamboo?		X	
7.4 Will you apply optimal value engineering (studs & rafters at 24" on center framing)?	X		
7.5 Have you considered the life-cycle of the materials you chose?	X		
8 INDOOR AIR QUALITY			
8.1 Will you be using low or no emitting finish and construction materials indoors-			
8.11 Paint?	X		
8.12 Adhesives and Sealants?	X		
8.13 Flooring?	X		
8.14 Framing systems?		X	
8.15 Insulation?	X		
8.2 Does the design allow for maximum ventilation?		X	
8.3 Do you plan for a wood burning fireplace (US EPA Phase II certified)?		X	
8.4 Does your design include dayling, such as skylights?		X	
9 TRANSPORTATION DEMAND MANAGMENTMENT			
9.1 After your project is complete, will you offer your employees incentives to carpool, bike, or use transit?	X		
9.2 After your project is complete, will you allow your employees to telecommute or have alternative work schedules?	X		
9.3 Does your project include design features that encourage alternatives modes of transportation, such as			
preferred parking for carpooling, ridesharing, electric vehicles?		X	
secured bicycle parking, safe bicycle access?		X	
loading zones for buses/large taxi services?		X	

9.4 How close is your facility to public transportation? Three miles

10 Are there any superior environmental/sustainable features of your project that should be noted?

11 What other studies or reports have you done as part of preparing this application?

1. Wastewater analysis
2. Water availability analysis
3. Traffic analysis
4.

12 If your project involves an addition or modification to an existing building, are you planning to improve energy conservation of existing space (such as insulation, new windows, HVAC, etc.)?	X		

If yes, please describe: Storage Building conversion will include insulation and new windows

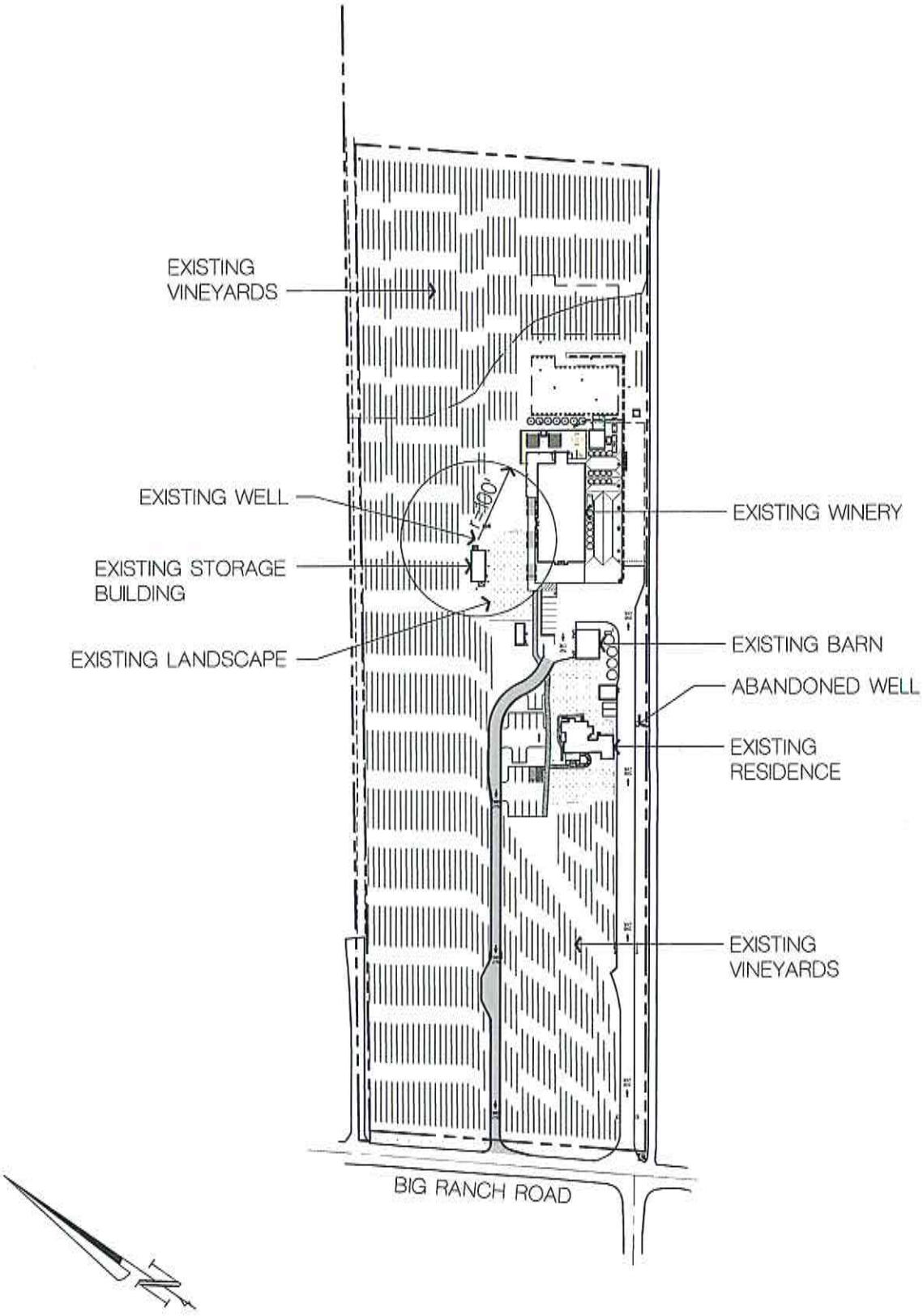
13 Once your facility is in operation, will you:			
13.1 calculate your greenhouse gas emissions?		X	
13.2 implement a GHG reduction plan?		X	
13.3 have a written plan to reduce your vehicle miles traveled of your operations and employee's commute?		X	
14 Does your project provide for education of green/sustainable practices?		X	

If yes, please describe:

15 Any comments, suggestions, or questions in regards to the County's efforts to reduce greenhouse gases?

Form filed out by: Stephen A. Gonsalves, LEED AP

Please feel free to include additional sheets of paper as necessary.



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SITE PLAN

Use Permit Modification
Robert Biale Vineyards

A	
2	

DR.	SAG
DT.	08/25/2016
SC.	AS NOTED
NO.	16-5491

Plot Date: September 07, 2016 - 9:36 am
File Name: S:\Work\16-5491 Biale Winery Expansion\CADD\Sheets\Grading Plan.dwg

Planning, Building & Environmental Services - Hillary Gitelman, Director
1195 Third Street, Napa, CA 94559 - (707) 253-4417 - www.countyofnapa.org

A Tradition of Stewardship
A Commitment to Service

Project name & APN: Robert Biale Vineyards Use Permit Modification
Project number if known:
Contact person: Stephen A. Gonsalves
Contact email & phone number: 530.891.1710 gonsalves@nmrdesign.com
Today's date: October 4, 2016

Voluntary Best Management Practices Checklist for Development Projects

Napa County General Plan Policy CON-65 (e) and Policy CON-67 (d) requires the consideration of Greenhouse Gas (GHG) emissions in the review of discretionary projects and to promote and encourage "green building" design. The below Best Management Practices (BMPs) reduce GHG emissions through energy and water conservation, waste reduction, efficient transportation, and land conservation. The voluntary checklist included here should be consulted early in the project and be considered for inclusion in new development. It is not intended, and likely not possible for all projects to adhere to all of the BMPs. Rather, these BMPs provide a portfolio of options from which a project could choose, taking into consideration cost, co-benefits, schedule, and project specific requirements. Please check the box for all BMPs that your project proposes to include and include a separate narrative if your project has special circumstances.

Practices with Measurable GHG Reduction Potential

The following measures reduce GHG emissions and if needed can be calculated. They are placed in descending order based on the amount of emission reduction potential.

Already Doing	Plan To Do	ID #	BMP Name
☐	☐	BMP-1	**Generation of on-site renewable energy**

If a project team designs with alternative energy in mind at the conceptual stage it can be integrated into the design. For instance, the roof can be oriented, sized, and engineered to accommodate photovoltaic (PV) panels. If you intend to do this BMP, please indicate the location of the proposed PV panels on the building elevations or the location of the ground mounted PV array on the site plan. Please indicate the total annual energy demand and the total annual kilowatt hours produced or purchased and the potential percentage reduction of electrical consumption. Please contact staff or refer to the handout to calcuate how much electrical energy your project may need.

☐ ☐ **BMP-2** **Preservation of developable open space in a conservation easement**

Please indicate the amount and location of developable land (i.e.: under 30% slope and not in creek setbacks or environmentally sensitive areas for vineyards) conserved in a permanent easement to prohibit future development.

Already Doing | Plan To Do

☐ ☐ **BMP-3 Habitat restoration or new vegetation (e.g. planting of additional trees over 1/2 acre)**

Napa County is famous for its land stewardship and preservation. Restoring areas within the creek setback reduces erosion potential while planting areas that are currently hardscape (such as doing a bio-retention swale rather than underground storm drains) reduces storm water and helps the groundwater recharge. Planting trees can also increase the annual uptake of CO2e and add the County's carbon stock.

_____

_____

☐ ☐ **BMP-4 Alternative fuel and electrical vehicles in fleet**

The magnitude of GHG reductions achieved through implementation of this measure varies depending on the analysis year, equipment, and fuel type replaced.

Number of total vehicles _____

Typical annual fuel consumption or VMT _____

Number of alternative fuel vehicles _____

Type of fuel/vehicle(s) _____

Potential annual fuel or VMT savings _____

☐ ☐ **BMP-5 Exceed Title 24 energy efficiency standards: Build to CALGREEN Tier 2**

The California Building Code update effective January 1, 2011 has new mandatory green building measures for all new construction and has been labeled CALGREEN. CALGREEN provides two voluntary higher levels labeled CALGREEN Tier I and CALGREEN Tier II. Each tier adds a further set of green building measures that go above and beyond the mandatory measures of the Code. In both tiers, buildings will use less energy than the current Title 24 California Energy Code. Tier I buildings achieve at least a 15% improvement and Tier 2 buildings are to achieve a 30% improvement. Both tiers require additional non-energy prerequisites, as well as a certain number of elective measures in each green building category (energy efficiency, water efficiency, resource conservation, indoor air quality and community).

_____

_____

☐ ☐ **BMP-6 Vehicle Miles Traveled (VMT) reduction plan**

Selecting this BMP states that the business operations intend to implement a VMT reduction plan reducing annual VMTs by at least 15%.

Tick box(es) for what your Transportation Demand Management Plan will/does include:

- ☐ employee incentives
- ☐ employee carpool or vanpool
- ☐ priority parking for efficient transporation (hybrid vehicles, carpools, etc.)
- ☐ bike riding incentives
- ☐ bus transportation for large marketing events
- ☐ Other:

_____

_____

Estimated annual VMT _____

Potential annual VMT saved _____

% Change _____

Already Doing	Plan To Do		
☐	☐	**BMP-7**	**Exceed Title 24 energy efficiency standards: Build to CALGREEN Tier 1**

See description below under BMP-5.

☐	☐	**BMP-8**	**Solar hot water heating**

Solar water heating systems include storage tanks and solar collectors. There are two types of solar water heating systems: active, which have circulating pumps and controls, and passive, which don't. Both of them would still require additional heating to bring them to the temperature necessary for domestic purposes. They are commonly used to heat swimming pools.

☑	☐	**BMP-9**	**Energy conserving lighting**

Lighting is approximately 25% of typical electrical consumption. This BMP recommends installing or replacing existing light bulbs with energy-efficient compact fluorescent (CF) bulbs or Light Emitting Diode (LED) for your most-used lights. Although they cost more initially, they save money in the long run by using only 1/4 the energy of an ordinary incandescent bulb and lasting 8-12 times longer. Typical payback from the initial purchase is about 18 months.

☐	☑	**BMP-10**	**Energy Star Roof/Living Roof/Cool Roof**

Most roofs are dark-colored. In the heat of the full sun, the surface of a black roof can reach temperatures of 158 to 194 °F. Cool roofs, on the other hand, offer both immediate and long-term benefits including reduced building heat-gain and savings of up to 15% the annual air-conditioning energy use of a single-story building. A cool roof and a green roof are different in that the green roof provides living material to act as a both heat sink and thermal mass on the roof which provides both winter warming and summer cooling. A green (living) roof also reduces storm water runoff.

All buildings on site are existing but cooling roofing products will be utilized when roof replacement is required.

☐	☐	**BMP-11**	**Bicycle Incentives**

Napa County Zoning Ordinance requires 1 bicycle rack per 20 parking spaces (§18.110.040). Incentives that go beyond this requirement can include on-site lockers for employees, showers, and for visitor's items such as directional signs and information on biking in Napa. Be creative!

☐	☐	**BMP-12**	**Bicycle route improvements**

Refer to the Napa County Bicycle Plan (NCPTA, December 2011) and note on the site plan the nearest bike routes. Please note proximity, access, and connection to existing and proposed bike lanes (Class I: Completely separated right-of-way; Class II: Striped bike lane; Class III: Signed Bike Routes). Indicate bike accessibility to project and any proposed improvements as part of the project on the site plan or describe below.

Already Doing	Plan To Do	
☐	☐	**BMP-13 Connection to recycled water**

Recycled water has been further treated and disinfected to provide a non-potable (non-drinking water) water supply. Using recycled water for irrigation in place of potable or groundwater helps conserve water resources.

☐	☑	**BMP-14 Install Water Efficient fixtures**

WaterSense, a partnership program by the U.S. Environmental Protection Agency administers the review of products and services that have earned the WaterSense label. Products have been certified to be at least 20 percent more efficient without sacrificing performance. By checking this box you intend to install water efficient fixtures or fixtures that conserve water by 20%.

All plumbing fixtures are existing but water efficient fixtures will be utilized when replacement is necessary

☑	☐	**BMP-15 Low-impact development (LID)**

LID is an approach to land development (or re-development) that works with nature to manage storm water as close to its source as possible. LID employs principles such as preserving and recreating natural landscape features, minimizing effective imperviousness to create functional and appealing site drainage that treat storm water as a resource rather than a waste product. There are many practices that have been used to adhere to these principles such as bioretention facilities, rain gardens, vegetated rooftops, rain barrels, and permeable pavements. By implementing LID principles and practices, water can be managed in a way that reduces the impact of built areas and promotes the natural movement of water within an ecosystem or watershed. Please indicate on the site or landscape plan how your project is designed in this way.

☐	☑	**BMP-16 Water efficient landscape**

If your project is a residential development proposing in excess of 5,000 sq. ft. or a commercial development proposing in excess of 2,500 sq. ft. The project will be required to comply with the Water Efficient Landscape Ordinance (WELO).

Please check the box if you will be complying with WELO or If your project is smaller than the minimum requirement and you are still proposing drought tolerant, zeroscape, native plantings, zoned irrigation or other water efficient landscape.

Water efficient landscape materials will be utilized in the proposed Back Porch Expansion

☐	☐	**BMP-17 Recycle 75% of all waste**

Did you know that the County of Napa will provide recycling collectors for the interior of your business at no additional charge? With single stream recycling it is really easy and convenient to meet this goal. To qualify for this BMP, your business will have to be aggressive, proactive and purchase with this goal in mind.

Already Doing	Plan To Do	
☐	☐	**BMP-18 Compost 75% food and garden material**

The Napa County food composting program is for any business large or small that generates food scraps and compostable, including restaurants, hotels, wineries, assisted living facilities, grocery stores, schools, manufacturers, cafeterias, coffee shops, etc. All food scraps (including meat & dairy) as well as soiled paper and other compostable - see http://www.naparecycling.com/foodcomposting for more details.

☐ ☐ **BMP-19 Implement a sustainable purchasing and shipping programs**

Environmentally Preferable Purchasing (EPP) or Sustainable Purchasing refers to the procurement of products and services that have a reduced effect on human health and the environment when compared with competing products or services that serve the same purpose. By selecting this BMP, you agree to have an EPP on file for your employees to abide by.

☐ ☐ **BMP-20 Planting of shade trees within 40 feet of the south side of the building elevation**

Well-placed trees can help keep your building cool in summer. If you choose a deciduous tree after the leaves drop in autumn, sunlight will warm your building through south and west-facing windows during the colder months. Well-designed landscaping can reduce cooling costs by 20%. Trees deliver more than energy and cost savings; they are important carbon sinks. Select varieties that require minimal care and water, and can withstand local weather extremes. Fruit or nut trees that produce in your area are great choices, providing you with local food as well as shade. Please use the site or landscape plan to indicate where trees are proposed and which species you are using.

☐ ☐ **BMP-21 Electrical Vehicle Charging Station(s)**

As plug-in hybrid electric vehicles (EV) and battery electric vehicle ownership is expanding, there is a growing need for widely distributed accessible charging stations. Please indicate on the site plan where the station will be.

☐ ☐ **BMP-22 Public Transit Accessibility**

Refer to http://www.ridethevine.com/vine and indicate on the site plan the closest bus stop/route. Please indicate if the site is accessed by transit or by a local shuttle. Provide an explanation of any incentives for visitors and employees to use public transit. Incentives can include bus passes, informational hand outs, construction of a bus shelter, transportation from bus stop, etc.

Already Doing	Plan To Do	
☐	☐	**BMP-23**

Site Design that is oriented and designed to optimize conditions for natural heating, cooling, and day lighting of interior spaces, and to maximize winter sun exposure; such as a cave.

The amount of energy a cave saves is dependent on the type of soil, the microclimate, and the user's request for temperature control. Inherently a cave or a building burned into the ground saves energy because the ground is a consistent temperature and it reduces the amount of heating and cooling required. On the same concept, a building that is oriented to have southern exposure for winter warmth and shading for summer cooling with an east-west cross breeze will naturally heat, cool, and ventilate the structure without using energy. Please check this box if your design includes a cave or exceptional site design that takes into consideration the natural topography and sitting. Be prepared to explain your approach and estimated energy savings.

☐ ☑ **BMP-24 Limit the amount of grading and tree removal**

Limiting the amount of earth disturbance reduces the amount of CO2 released from the soil and mechanical equipment. This BMP is for a project design that either proposes a project within an already disturbed area proposing development that follows the natural contours of the land, and that doesn't require substantial grading or tree removal.

Plans for a new driveway and parking areas have been created with the specific intent to save all existing trees.

☐ ☐ **BMP-25 Will this project be designed and built so that it could qualify for LEED?**

BMP-25 (a)	☐	**LEED™ Silver** (check box BMP-25 and this one)
BMP-25 (b)	☐	**LEED™ Gold** (check box BMP-25, BMP-25 (a), and this box)
BMP-25 (c)	☐	**LEED™ Platinum** (check all 4 boxes)

Practices with Un-Measured GHG Reduction Potential

☐ ☐ **BMP-26 Are you, or do you intend to become a Certified Green Business or certified as a"Napa Green Winery"?**

As part of the Bay Area Green Business Program, the Napa County Green Business Program is a free, voluntary program that allows businesses to demonstrate the care for the environment by going above and beyond business as usual and implementing environmentally friendly business practices. For more information check out the Napa County Green Business and Winery Program at www.countyofnapa.org.

☐ ☐ **BMP-27 Are you, or do you intend to become a Certified "Napa Green Land"?**

Napa Green Land, fish friendly farming, is a voluntary, comprehensive, "best practices" program for vineyards. Napa Valley vintners and growers develop farm-specific plans tailored to protect and enhance the ecological quality of the region, or create production facility programs that reduce energy and water use, waste and pollution. By selecting this measure either you are certified or you are in the process of certification.

Already Doing	Plan To Do		
☐	☑	BMP-28	**Use of recycled materials** *There are a lot of materials in the market that are made from recycled content. By ticking this box, you are committing to use post-consumer products in your construction and your ongoing operations.* Materials with high recycled content will be utilized for new driveway construction and existing building remodels
☐	☐	BMP-29	**Local food production** *There are many intrinsic benefits of locally grown food, for instance reducing the transportation emissions, employing full time farm workers, and improving local access to fresh fruits and vegetables.*
☑	☐	BMP-30	**Education to staff and visitors on sustainable practices** *This BMP can be performed in many ways. One way is to simply put up signs reminding employees to do simple things such as keeping the thermostat at a consistent temperature or turning the lights off after you leave a room. If the project proposes alternative energy or sustainable winegrowing, this BMP could include explaining those business practices to staff and visitors.*
☑	☐	BMP-31	**Use 70-80% cover crop** *Cover crops reduce erosion and the amount of tilling which is required, which releases carbon into the environment.*
☑	☐	BMP-32	**Retain biomass removed via pruning and thinning by chipping the material and reusing it rather than burning on-site** *By selecting this BMP, you agree not to burn the material pruned on site.*
☐	☐	BMP-33	**Are you participating in any of the above BMPS at a 'Parent' or outside location?**
☐	☐	BMP-34	**Are you doing anything that deserves acknowledgement that isn't listed above?**

Comments and Suggestions on this form?

A Tradition of Stewardship
A Commitment to Service

Planning, Building & Environmental Services

1195 Third Street, Suite 210
Napa, CA 94559
www.countyofnapa.org

David Morrison
Director

PROJECT GUIDANCE FOR STORMWATER QUALITY COMPLIANCE

PROJECT INFORMATION

Project Name: Robert Biale Vineyards Use Permit Modification

Project Number:

Project Address: 4038 Big Ranch Road, Napa, CA

Assessor's Parcel Number: 036 190 007

Existing Development Permits Under Review or Issued: 03088-UP

EROSION & SEDIMENT CONTROL PLAN (ESCP) APPLICABILITY

Under Provision E.10 of a statewide Phase II municipal stormwater NPDES permit reissued by the California State Water Resource Control Board in 2013, requires Napa County to establish and enforce an erosion and sediment control program to minimize the discharge of sediment and construction related pollutants. All individuals undertaking public or private construction or ground disturbing activities must take steps to prevent the discharge of pollutants resulting from these activities. Specified projects that require local permits or trigger ground disturbance thresholds must prepare plans describing the BMPs that will be implemented. Refer to Napa County's Erosion and Sediment Control Plan Guidance Table 3, Levels of Erosion and Sediment Control Requirements, for a summary of the general levels of requirements that are further described in the guidance document. Please respond to the following questions.

1. Does the project require a Grading Permit? Yes ☐ No ☑

2. Does the project proposed soil disturbance greater or equal to 10,000 square feet? Yes ☐ No ☑

   Proposed Disturbed Soil Area: 9,231 sq.ft. ☑ acres ☐

3. Does the project propose soil disturbance on slopes greater or equal to 5%? Yes ☐ No ☑

   Maximum Percent Slope: 3.5

4. Does the project propose installation of new and/or reconstructed storm drains which discharge to a municipal storm system or receiving water body? Yes ☐ No ☑

For County Use Only:

	High	Medium	Low	N/A
Threat to Water Quality	☐	☐	☐	☐

Construction General Permit WDID# (if applicable):

POST-CONSTRUCTION STORMWATER CONTROL PLAN (SCP) APPLICABILITY

Under Provision E.12 of a statewide Phase II municipal stormwater NPDES permit reissued by the California State Water Resource Control Board in 2013, requires Napa County to regulate development projects to control pollutants in runoff from newly created or replaced impervious surface. Prior to submittal of a use, building, or grading permit, applicants must determine the Project Type, Project Requirements and submittal requirements. Refer to Napa County's BASMAA Post- Construction Manual Table 1-1, Requirements at a Glance, for a summary of project type requirements.

TYPE OF PROJECT:

Single Family Dwelling*	☐	Larger Plan of Development**	☑
Commercial / Industrial / Non-Residential	☑	Roads / Linear-Utility Project (LUP)	☐

Total New or Replaced Impervious Surface Area (sq.ft.):	2,898
Total Pre-Project Impervious Surface Area (sq.ft.): Total	59,106
Post-Project Impervious Surface Area (sq.ft.):	62,004

*Single-Family home or dwelling unit means a dwelling unit containing not more than one kitchen, designed to be occupied by not more than one family, and includes a manufactured home as defined in Section 18.08.360 which is installed on a permanent foundation and certified under the National Manufactured Housing Construction and Safety Standards Act of 1974 (42 U.S.C. Sections 5401 and following).

**Larger Plan of Development means a development consisting of more than a single family home or dwelling unit and two accessory structures (e.g. detached garage, guest cottage, pool house, etc.).

For County Use Only:

	Single-Family Dwelling	Small Project	Regulated Project	Roads & LUPs	N/A
Project Category	☐	☐	☐	☐	☐

Operation & Maintenance Agreement Required: Yes ☐ No ☐

I hereby certify that the information presented herein by myself or my representative is accurate and complete. Incorrect information on proposed activities or uses may delay your application(s) or permit(s).

Name of Owner / Agent:	Title:
Stephen A. Gonsalves	Licensed Civil Engineer CE 38169

Signature of Owner / Agent	Date:
Stephen A. Gonsalves	October 4, 2016

ROBERT BIALE VINEYARDS
P16-00396 USE PERMIT MODIFICATION PLANS

PROJECT TEAM:

OWNER:
ROBERT BIALE VINEYARDS
4038 BIG RANCH ROAD
NAPA, CALIFORNIA 94558
(707) 257-7555
PROJECT REP: Chris Dearden, COO
chris@biale.com

PLANING CONSULTANT:
LAND USE PLANNING SERVICES
2423 RENFREW STREET
NAPA, CALIFORNIA 94558
(707) 255-7375
PROJECT REP: Jeffrey Redding, AICP
jredding@comcast.net

ARCHITECT:
NICHOLS, MELBURG & ROSSETTO
555 MAIN STREET, SUITE 300
CHICO, CALIFORNIA 95928
(916) 891-1710
PROJECT REP: Stephen Gonsalves
gonsalves@nmrdesign.com

CIVIL ENGINEER:
NICHOLS, MELBURG & ROSSETTO
555 MAIN STREET, SUITE 300
CHICO, CALIFORNIA 95928
(916) 891-1710
PROJECT REP: Stephen Gonsalves
gonsalves@nmrdesign.com

TRAFFIC ENGINEER:
W-TRANS
490 MENDOCINO AVE, STE 201
SANTA ROSA, CA 95401
(707) 542-9500
PROJECT REP: Dalene Whitlock, President
dwhitlock@w-trans.com

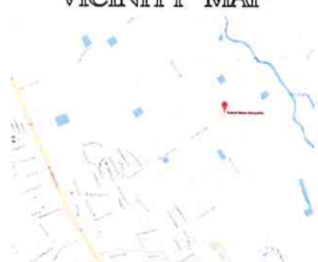
ENVIRONMENTAL CONSULTANT:
HALING & ASSOCIATES
166 EATON ROAD
CHICO, CA 95973
(530) 342-6958
PROJECT REP: Greg Haling, PE
greg@haling-associates.com

PROJECT DATA

SITE:

ASSESSORS PARCEL NO.	000-006-100-007
ZONING	AP (AGRICULTURAL PRESERVE)
STREET ADDRESS	4038 BIG RANCH ROAD, NAPA, CA
PARCEL AREA	10.84 ACRES

VICINITY MAP



BOUNDARY & BENCHMARK NOTES

1. VERTICAL DATUM BASED ON NAPA COUNTY BENCHMARK NO. 736-C
2. NO BOUNDARY SURVEY HAS BEEN CONDUCTED. PROPERTY LINES AND CORNERS SHOWN ARE BASED ON PRIOR SURVEYS.

SHEET INDEX

SHT. #	DESCRIPTION	SCALE
A000	TITLE SHEET	N/A
A010	OVERALL SITE PLAN	1" = 60'-0"
A030	PARTIAL SITE PLAN - WEST	1" = 30'-0"
A031	PARTIAL SITE PLAN - EAST	1" = 30'-0"
A032	PARTIAL SITE PLAN - BACK PORCH EXPANSION	1/8" = 1'-0"
A100	EXISTING WINERY FIRST FLOOR PLAN	1/8"=1'-0"
A101	EXISTING WINERY FIRST FLOOR PLAN - PRODUCTION & ACCESSORY USE AREAS	1/8"=1'-0"
A102	CONVERTED BUILDING FLOOR PLANS - PRODUCTION & ACCESSORY USE AREAS	AS NOTED
A200	EXISTING WINERY SECOND FLOOR PLAN	1/8"=1'-0"
A201	EXISTING WINERY SECOND FLOOR PLAN - PRODUCTION & ACCESSORY USE AREAS	1/8"=1'-0"
A301	EXISTING WINERY EXTERIOR ELEVATIONS	1/8"=1'-0"
A302	EXISTING WINERY EXTERIOR ELEVATIONS	1/8"=1'-0"
A303	BACK PORCH EXPANSION PERSPECTIVES	AS NOTED
A304	EXISTING BARN AND STORAGE BUILDING PHOTOS	AS NOTED
A305	EXISTING RESIDENCE PHOTOS	AS NOTED
C200	OVERALL STORMWATER CONTROL PLAN	1" = 60'-0"
C210	PARTIAL STORMWATER CONTROL PLAN - WEST	1" = 30'-0"
C220	PARTIAL STORMWATER CONTROL PLAN - EAST	1" = 30'-0"

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http://www.nmrdesign.com

CONSULTANTS

LICENSE STAMPS

PROJECT NAME
WINERY EXPANSION
FOR
ROBERT BIALE VINEYARDS
4038 BIG RANCH RD.
NAPA, CA

SHEET TITLE
TITLE SHEET

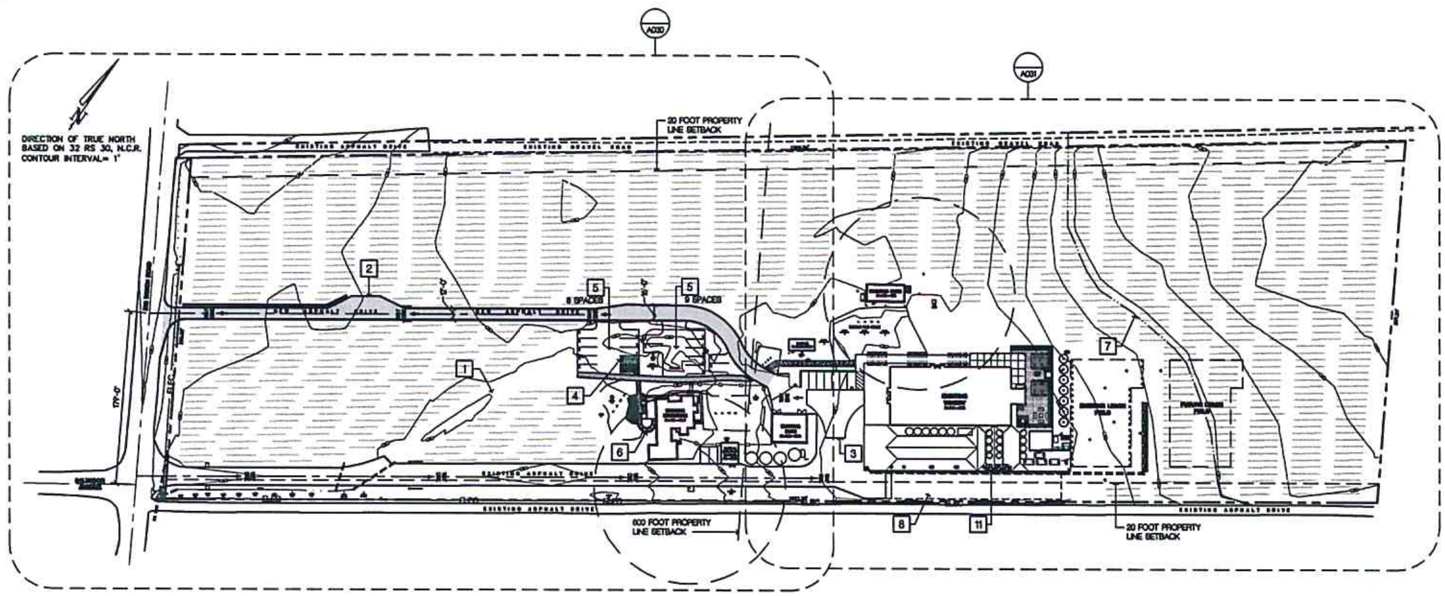
DRAWING STATUS
USE PERMIT MODIFICATION

REVISIONS

Sym.	Description	By	Date
REV.1	P/C COMMENTS	SAG	10/27/16

Drawn By	SAG
Checked By	
Date Drawn	2016-12-01
Scale	AS NOTED
Job No.	16-5491

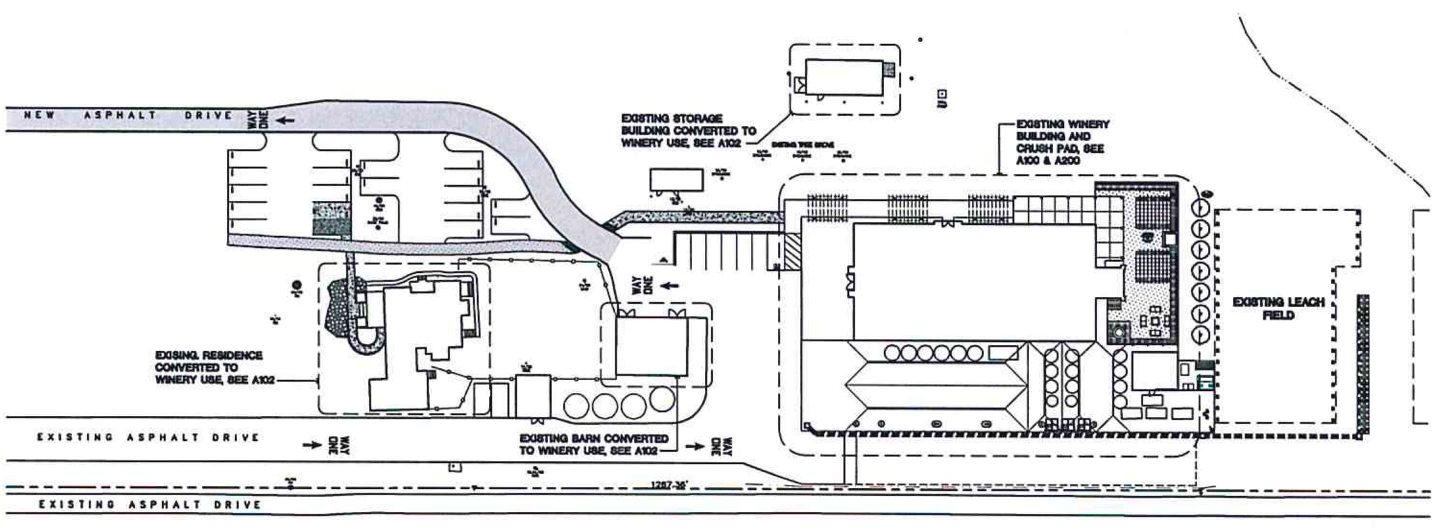
SHEET No.
G000



SCALE 0 30 60 120

OVERALL SITE PLAN

PRINTED FULL SIZE: 1"=60'-0"



SCALE 0 15 30 60

PROPOSED WINERY DEVELOPMENT SITE PLAN

PRINTED FULL SIZE: 1"=30'-0"

LEGEND

- INDICATES PROPOSED NEW ASPHALT CONCRETE PAVING
- INDICATES PROPOSED NEW CONCRETE FLAT WORK
- INDICATES PROPOSED NEW DECOMPOSED GRANITE PEDESTRIAN PATH
- INDICATES EXISTING VINEYARD ROWS
- INDICATES AREA OF NEW TRUNCATED DOMES (ADA DETECTABLE WARNING)
- ACCESSIBLE ROUTES OF TRAVEL FROM DISABLED PARKING TO BUILDING
- 2.0% — MAXIMUM SLOPE IN PATH SEGMENT
- ELEC — INDICATES EXISTING OVERHEAD ELECTRICAL LINE
- INDICATES LIMITS OF FEMA 100 YEAR FLOOD PLAIN. FLOOD PLAIN ELEVATION ON PROPERTY IS APPROXIMATELY 51.0 FEET NORTH AMERICAN VERTICAL DATUM 1988
- INDICATES PROPERTY LINE OR WELL SETBACK
- INDICATES PROPERTY LINE
- 355.52 — DISTANCE BETWEEN PROPERTY CORNERS
- 57 — INDICATES EXISTING CONTOUR LINE. NAPA COUNTY BENCHMARK NO. 738-C DATUM.
- INDICATES DRAINAGE SWALE, SEE STORMWATER CONTROL PLANS FOR SLOPE.
- INDICATES STORM DRAIN PIPE, SEE STORMWATER CONTROL PLANS FOR SIZE AND SLOPE.
- INDICATES EXISTING FIRE HYDRANT

SHEET NOTES

1. EXISTING ASPHALT CONCRETE DRIVEWAY TO BE DEMOLISHED
2. NEW NAPA COUNTY C-11 DRIVEWAY TURNOUT
3. NAPA COUNTY C-13 HAMMERHEAD FIRE APPARATUS TURNAROUND
4. NEW DISABLED PARKING SPACE AND LOADING ZONE
5. NEW PERVIOUS GEOGRID GRASS PAVER OVERFLOW PARKING AREA WITH 6" PERIMETER CONCRETE CURB. STALLS CONFORMING TO NAPA COUNTY ROAD AND STREET STANDARDS DETAIL P-1
6. NEW ACCESSIBLE WALKWAY AND RAMP TO VIP TASTING AREA
7. LIMITS OF 100-YEAR FEMA FLOOD PLAIN
8. CLASS II AGGREGATE BASE EMPLOYEE PARKING AREA
9. STORM DRAIN PIPES APPROVED UNDER NAPA COUNTY PERMIT NO. W030093. SEE SHEET C200 STORMWATER CONTROL PLAN
10. STORM WATER DISSIPATER APPROVED UNDER NAPA COUNTY PERMIT NO. W030093 SEE SHEET C200 STORMWATER CONROL PLAN
11. SOLID WASTE COLLECTION, GARBAGE, RECYCLABLES AND GREEN WASTE

EXISTING AND PROPOSED WINERY DEVELOPMENT AREA

BUILDING	DEVELOP. AREA (SF)	TOTAL AREA (SF)	NOTES
WINERY 1st FLR	[illegible]		EXISTING USE - NO CHANGES
2nd FLR	[illegible]		
TOTAL		[illegible]	
MECH. PLANT	480	480	EXISTING USE - NO CHANGES
EXISTING RESIDENCE	[illegible]	[illegible]	WHOLLY CONVERTED TO WINERY USE
EXIST. BARN 1st FLR	[illegible]		WHOLLY CONVERTED TO WINERY USE
LOFT	[illegible]		
TOTAL		[illegible]	
EXISTING STORAGE BLDG.	738	738	WHOLLY CONVERTED TO WINERY USE
TOTAL ALL BLDGS		[illegible]	
PAVED EMPLOYEE PARKING		[illegible]	
TOTAL WINERY DEVELOPMENT AREA		[illegible]	

EXISTING AND PROPOSED WINERY COVERAGE

BUILDING	TOTAL AREA (SF)	NOTES
WINERY FOOTPRINT	[illegible]	EXISTING USE - NO CHANGES
MECH. PLANT	480	EXISTING USE - NO CHANGES
EXISTING RESIDENCE FOOTPRINT	[illegible]	WHOLLY CONVERTED TO WINERY USE
EXIST. BARN FOOTPRINT	[illegible]	WHOLLY CONVERTED TO WINERY USE
EXISTING STORAGE BLDG. FOOTPRINT	738	WHOLLY CONVERTED TO WINERY USE
TOTAL FOOTPRINT ALL BLDGS	[illegible]	
CRUSHPAD	[illegible]	
WINERY SIDEWALKS AND PATIOS	[illegible]	
EXISTING VIP TASTING SIDEWALK	[illegible]	
NEW VIP TASTING SIDEWALK	[illegible]	
NEW ACCESSIBLE PARKING	[illegible]	
NEW DG WALKWAYS	[illegible]	
NEW CONCRETE WALKWAYS	[illegible]	
NEW DG HOSPITALITY FLATWORK	[illegible]	
EXISTING DRIVEWAY & PARKING	[illegible]	
NEW DRIVEWAY & TURNOUT	[illegible]	INCLUDES BIG RANCH ROAD APRON IN PUBLIC WAY
TOTAL PAVED SITE IMPROVEMENTS	[illegible]	
TOTAL WINERY COVERAGE	[illegible]	[illegible] ACRES

TOTAL WINERY COVERAGE AS A PERCENTAGE OF PARCEL AREA: [illegible]

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http://www.nmrdesign.com

CONSULTANTS

LICENSE STAMPS

PROJECT NAME

WINERY EXPANSION FOR

ROBERT BIALE VINEYARDS
4038 BIG RANCH RD.
NAPA, CA

SHEET TITLE

OVERALL SITE PLAN / WINERY DEVELOPMENT SITE PLAN

DRAWING STATUS

USE PERMIT MODIFICATION

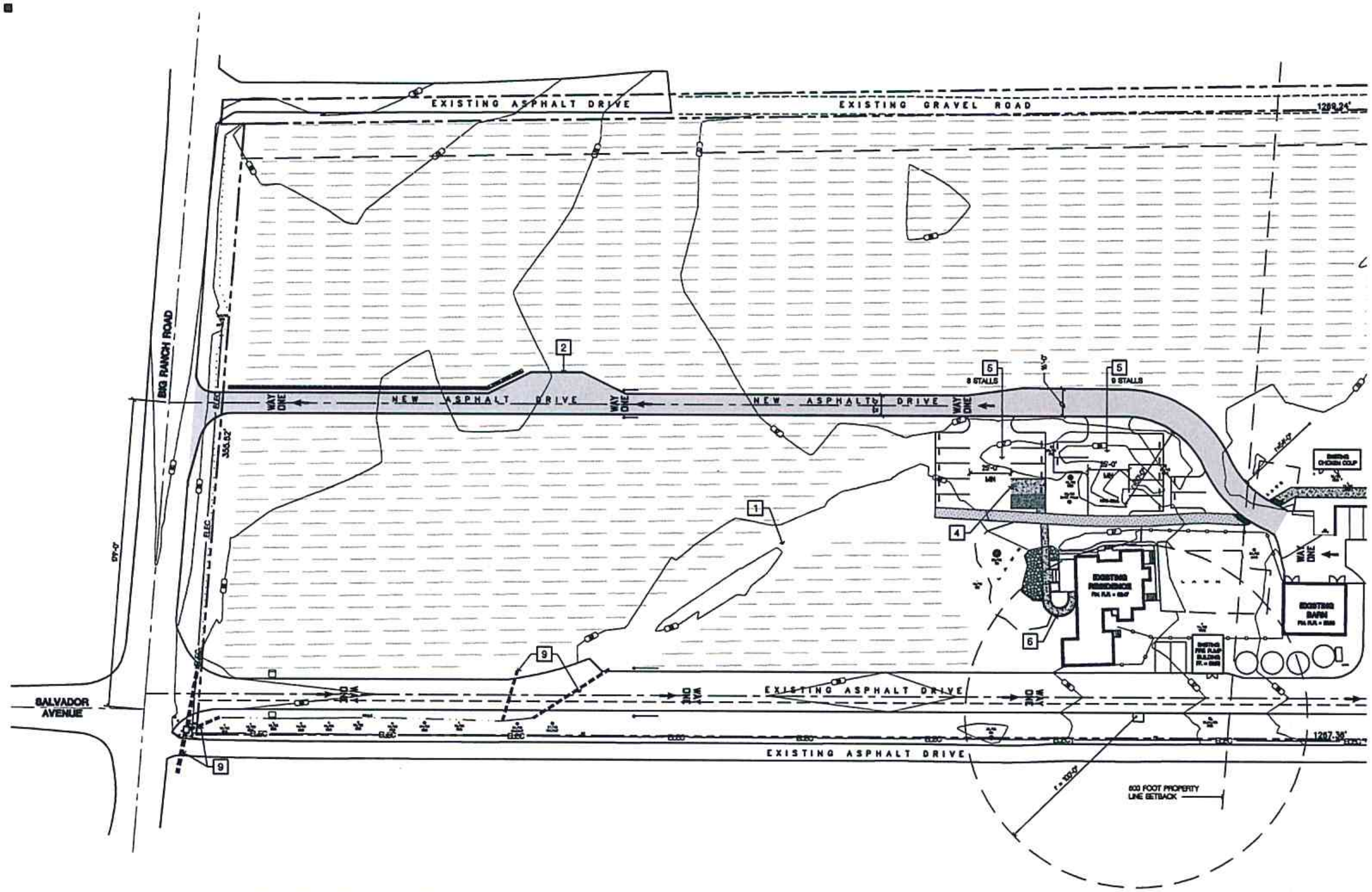
REVISIONS

Sym.	Description	By	Date
REV.1	P/C COMMENTS	SAG	12/27/16

Drawn By	SAG
Checked By	.
Date Drawn	2016-12-01
Scale	AS NOTED
Job No.	16-5491

SHEET No.

A010



PARTIAL SITE PLAN - WEST

SCALE 0 15 30 60

PRINTED FULL SIZE: 1"=30'-0"

LEGEND

- INDICATES PROPOSED NEW ASPHALT CONCRETE PAVING
- INDICATES PROPOSED NEW CONCRETE FLAT WORK
- INDICATES PROPOSED NEW DECOMPOSED GRANITE PEDESTRIAN PATH
- INDICATES EXISTING VINEYARD ROWS
- INDICATES AREA OF NEW TRUNCATED DOMES (ADA DETECTABLE WARNING)
- ACCESSIBLE ROUTES OF TRAVEL FROM DISABLED PARKING TO BUILDING
- 2.0% MAXIMUM SLOPE IN PATH SEGMENT
- ELEC — INDICATES EXISTING OVERHEAD ELECTRICAL LINE
- INDICATES LIMITS OF FEMA 100 YEAR FLOOD PLAIN. FLOOD PLAIN ELEVATION ON PROPERTY IS APPROXIMATELY 51.0 FEET NORTH AMERICAN VERTICAL DATUM 1988
- INDICATES PROPERTY LINE OR WELL SETBACK
- INDICATES PROPERTY LINE
- 356.52 DISTANCE BETWEEN PROPERTY CORNERS
- 57 INDICATES EXISTING CONTOUR LINE. NAPA COUNTY BENCHMARK NO. 738-C DATUM.
- INDICATES DRAINAGE SWALE. SEE STORMWATER CONTROL PLANS FOR SLOPE
- INDICATES STORM DRAIN PIPE. SEE STORMWATER CONTROL PLANS FOR SIZE AND SLOPE.
- INDICATES EXISTING FIRE HYDRANT

SHEET NOTES

1. EXISTING ASPHALT CONCRETE DRIVEWAY TO BE DEMOLISHED
2. NEW NAPA COUNTY C-11 DRIVEWAY TURNOUT
3. NAPA COUNTY C-13 HAMMERHEAD FIRE APPARATUS TURNAROUND
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5. NEW PERVIOUS GEOGRID GRASS PAVER OVERFLOW PARKING AREA WITH 6" PERIMETER CONCRETE CURB. STALLS CONFORMING TO NAPA COUNTY ROAD AND STREET STANDARDS DETAIL P-1
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7. LIMITS OF 100-YEAR FEMA FLOOD PLAIN
8. CLASS II AGGREGATE BASE EMPLOYEE PARKING AREA
9. STORM DRAIN PIPES APPROVED UNDER NAPA COUNTY PERMIT NO. W030093. SEE SHEET C200 STORMWATER CONTROL PLAN.
10. STORM WATER DISSIPATER APPROVED UNDER NAPA COUNTY PERMIT NO. W030093. SEE SHEET C200 STORMWATER CONROL PLAN
11. SOLID WASTE COLLECTION, GARBAGE, RECYCLABLES AND GREEN WASTE

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CONSULTANTS

LICENSE STAMPS

PROJECT NAME
WINERY EXPANSION
FOR
ROBERT BIALE VINEYARDS
4038 BIG RANCH RD.
NAPA, CA

SHEET TITLE
PARTIAL SITE PLAN

DRAWING STATUS
USE PERMIT MODIFICATION

REVISIONS

Sym.	Description	By	Date
REV 1	P/C COMMENTS	SAG	10/27/19

Drawn By	SAG
Checked By	
Date Drawn	2016-12-01
Scale	AS NOTED
Job No.	16-5491

SHEET No.
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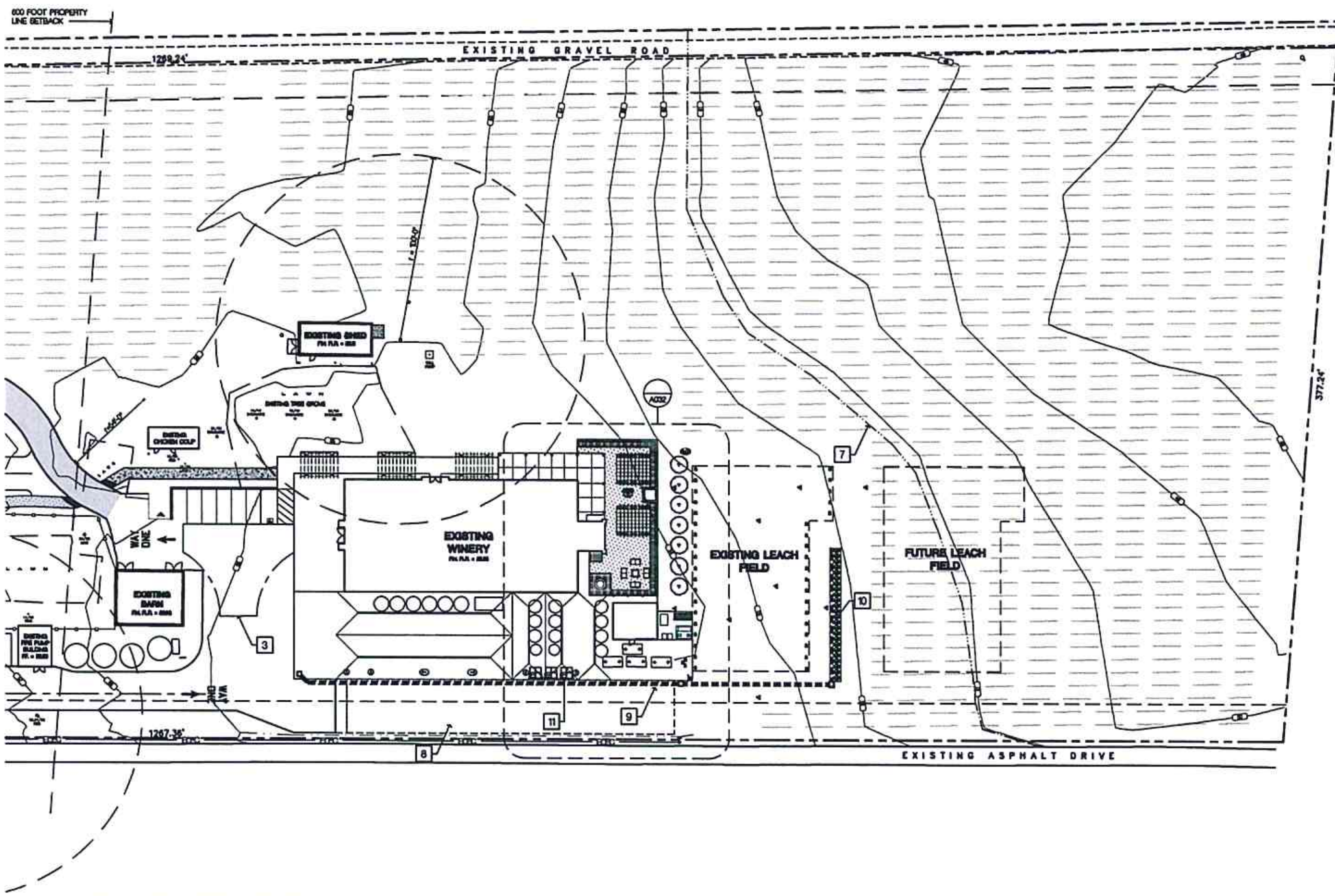

SCALE 0 15 30 60

PARTIAL SITE PLAN - EAST

PRINTED FULL SIZE: 1"=30'-0"

LEGEND

- INDICATES PROPOSED NEW ASPHALT CONCRETE PAVING
- INDICATES PROPOSED NEW CONCRETE FLAT WORK
- INDICATES PROPOSED NEW DECOMPOSED GRANITE PEDESTRIAN PATH
- INDICATES EXISTING VINEYARD ROWS
- INDICATES AREA OF NEW TRUNCATED DOMES (ADA DETECTABLE WARNING)
- ACCESSIBLE ROUTES OF TRAVEL FROM DISABLED PARKING TO BUILDING
- 2.0% — MAXIMUM SLOPE IN PATH SEGMENT
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- INDICATES PROPERTY LINE OR WELL SETBACK
- INDICATES PROPERTY LINE
- 365.52' — DISTANCE BETWEEN PROPERTY CORNERS
- 57 — **INDICATES EXISTING CONTOUR LINE. NAPA COUNTY BENCHMARK NO. 736-C DATUM.**
- INDICATES DRAINAGE SWALE. SEE STORMWATER CONTROL PLANS FOR SLOPE.
- INDICATES STORM DRAIN PIPE. SEE STORMWATER CONTROL PLANS FOR SIZE AND SLOPE.
- INDICATES EXISTING FIRE HYDRANT

SHEET NOTES

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CONSULTANTS

LICENSE STAMPS

PROJECT NAME
WINERY EXPANSION
FOR
ROBERT BIALE VINEYARDS
4038 BIG RANCH RD.
NAPA, CA

SHEET TITLE
PARTIAL SITE PLAN

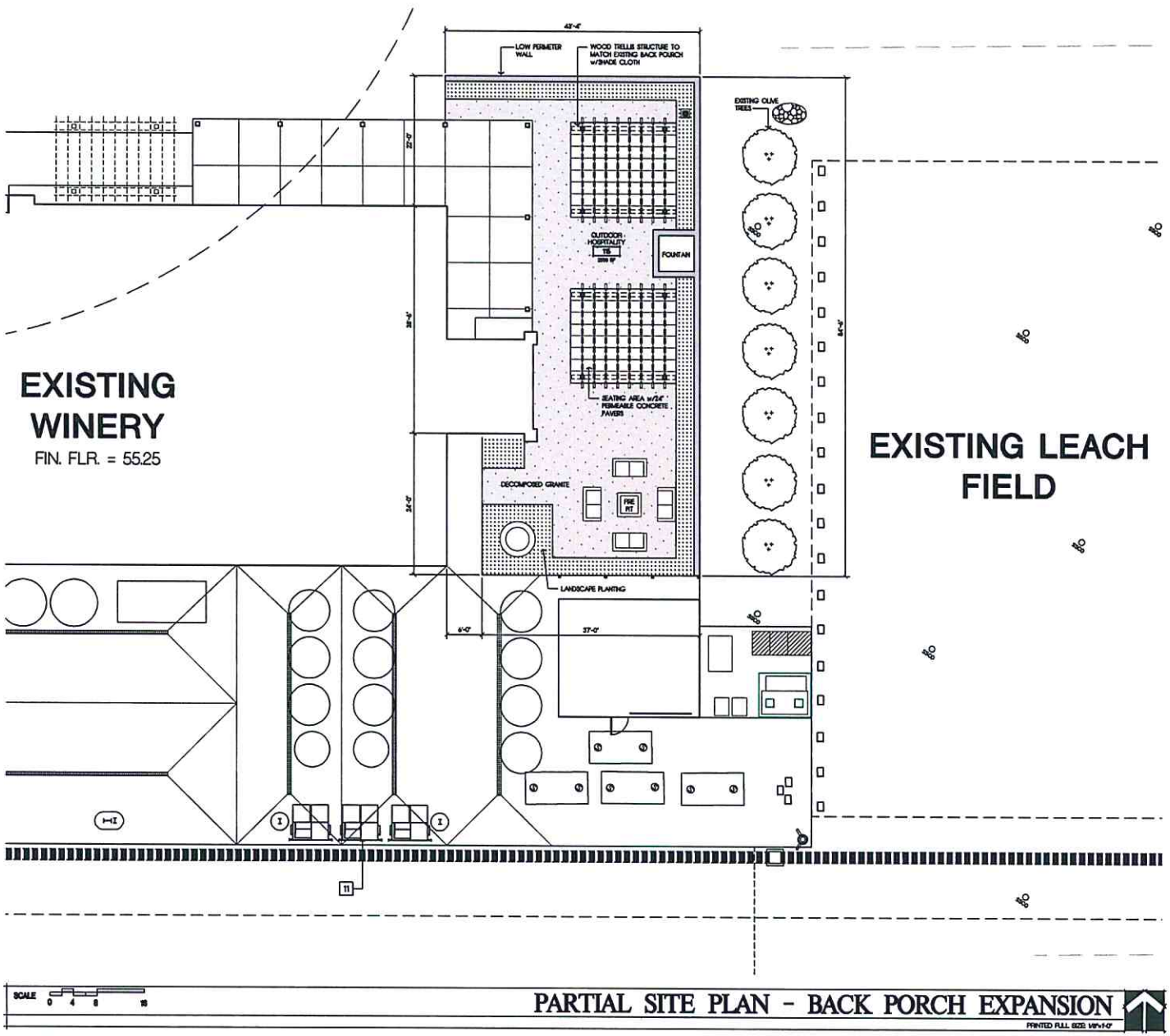
DRAWING STATUS
USE PERMIT MODIFICATION

REVISIONS

Sym.	Description	By	Date
REV 1	P/C COMMENTS	SAG	10/27/16

Drawn By	SAG
Checked By	.
Date Drawn	2016-12-01
Scale	AS NOTED
Job No.	16-5491

SHEET No.
A031



LEGEND

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- INDICATES PROPOSED NEW CONCRETE FLAT WORK
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8. CLASS II AGGREGATE BASE EMPLOYEE PARKING AREA
9. STORM DRAIN PIPES APPROVED UNDER NAPA COUNTY PERMIT NO. WS3001. SEE SHEET C200 STORMWATER CONTROL PLAN.
10. STORM WATER DISSIPATER APPROVED UNDER NAPA COUNTY PERMIT NO. WS30003. SEE SHEET C200 STORMWATER CONTROL PLAN
11. SOLID WASTE COLLECTION, GARBAGE, RECYCLABLES AND GREEN WASTE

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CONSULTANTS

LICENSE STAMPS

PROJECT NAME
WINERY EXPANSION
FOR
ROBERT BIALE VINEYARDS
4038 BIG RANCH RD.
NAPA, CA

SHEET TITLE
PARTIAL SITE PLAN

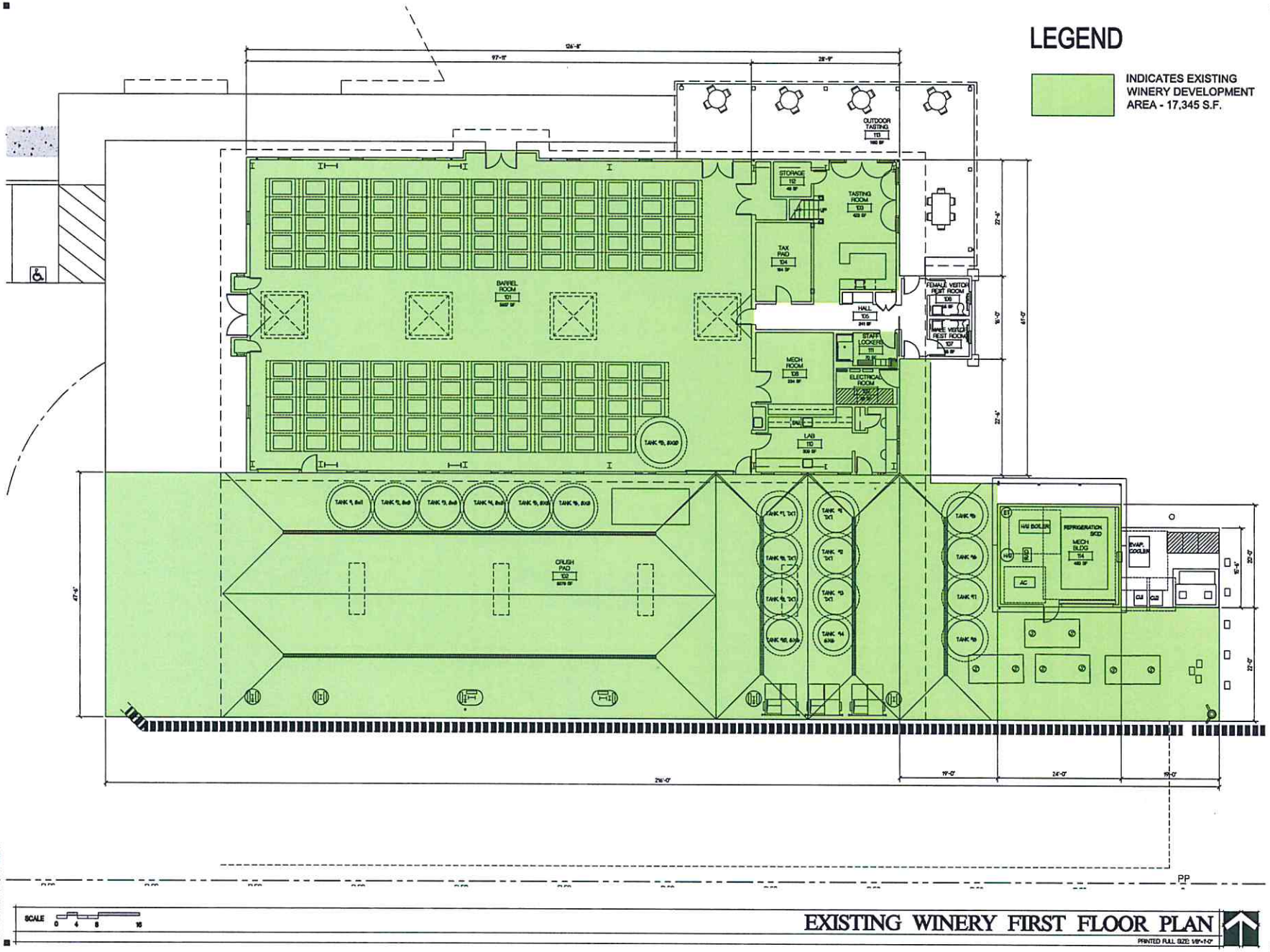
DRAWING STATUS
USE PERMIT MODIFICATION

REVISIONS

Sym.	Description	By	Date
REV 1	PC COMMENTS	SAG	12/7/16

Drawn By	SAG
Checked By	
Date Drawn	2016-12-01
Scale	AS NOTED
Job No.	16-5491

SHEET No.
A032



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http://www.nmdesign.com

CONSULTANTS

LICENSE STAMPS

PROJECT NAME
WINERY EXPANSION
FOR
ROBERT BIALE VINEYARDS
4038 BIG RANCH RD.
NAPA, CA

SHEET TITLE
WINERY FIRST FLOOR PLAN

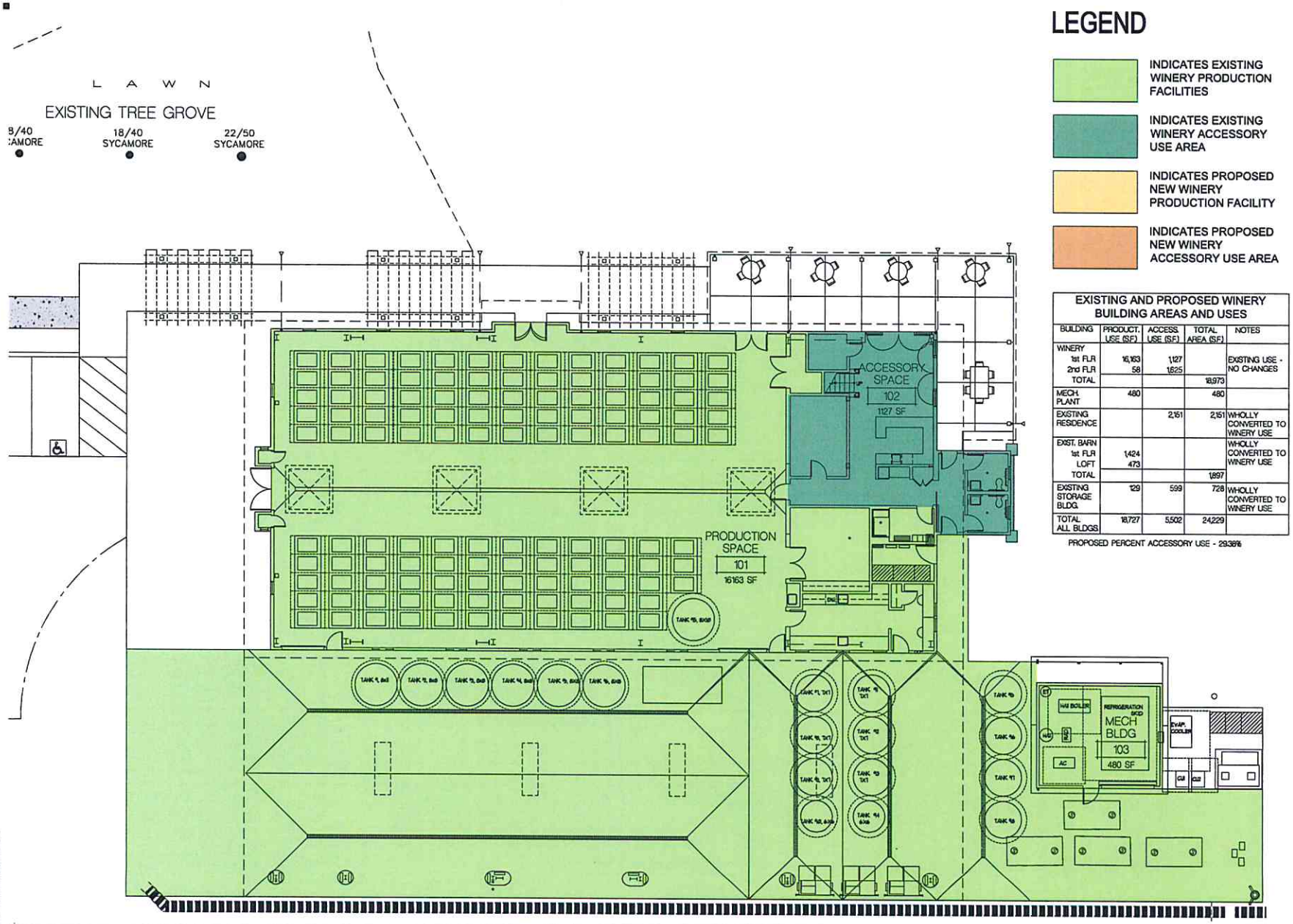
DRAWING STATUS
USE PERMIT MODIFICATION

REVISIONS

Sym.	Description	By	Date
REV.1	PJC COMMENTS	SAG	10/27/16

Drawn By	SAG
Checked By	
Date Drawn	2016-12-01
Scale	AS NOTED
Job No.	16-5491

SHEET No.
A100



LEGEND

- INDICATES EXISTING WINERY PRODUCTION FACILITIES
- INDICATES EXISTING WINERY ACCESSORY USE AREA
- INDICATES PROPOSED NEW WINERY PRODUCTION FACILITY
- INDICATES PROPOSED NEW WINERY ACCESSORY USE AREA

EXISTING AND PROPOSED WINERY BUILDING AREAS AND USES

BUILDING	PRODUCT. USE (S.F.)	ACCESS. USE (S.F.)	TOTAL AREA (S.F.)	NOTES
WINERY				
1st FLR	16,163	1,127		EXISTING USE - NO CHANGES
2nd FLR	58	1,625		
TOTAL			18,973	
MECH. PLANT	480		480	
EXISTING RESIDENCE		2,151	2,151	WHOLLY CONVERTED TO WINERY USE
EXIST. BARN				WHOLLY CONVERTED TO WINERY USE
1st FLR	1,424			
LOFT	473			
TOTAL			1,897	
EXISTING STORAGE BLDG.	129	599	728	WHOLLY CONVERTED TO WINERY USE
TOTAL ALL BLDGS.	18,727	5,502	24,229	

PROPOSED PERCENT ACCESSORY USE - 29.36%

EXISTING WINERY FIRST FLOOR PLAN - PRODUCTION AND ACCESSORY USE AREAS

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CONSULTANTS

LICENSE STAMPS

PROJECT NAME
WINERY EXPANSION
FOR
ROBERT BIALE VINEYARDS
4038 BIG RANCH RD.
NAPA, CA

SHEET TITLE
WINERY FIRST FLOOR PLAN

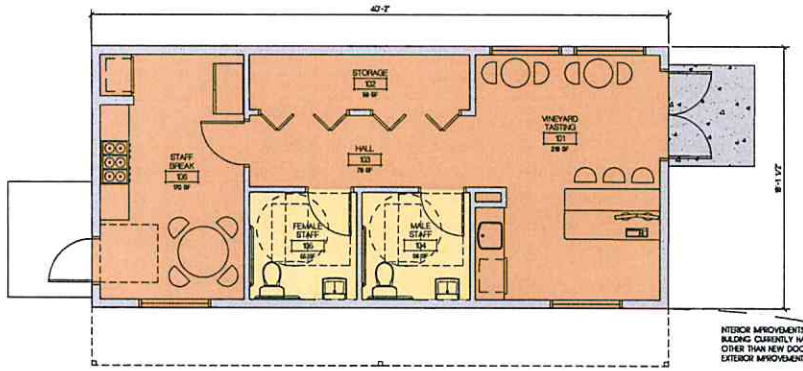
DRAWING STATUS
USE PERMIT MODIFICATION

REVISIONS

Sym.	Description	By	Date
REV 1	PJC COMMENTS	SAG	12/27/16

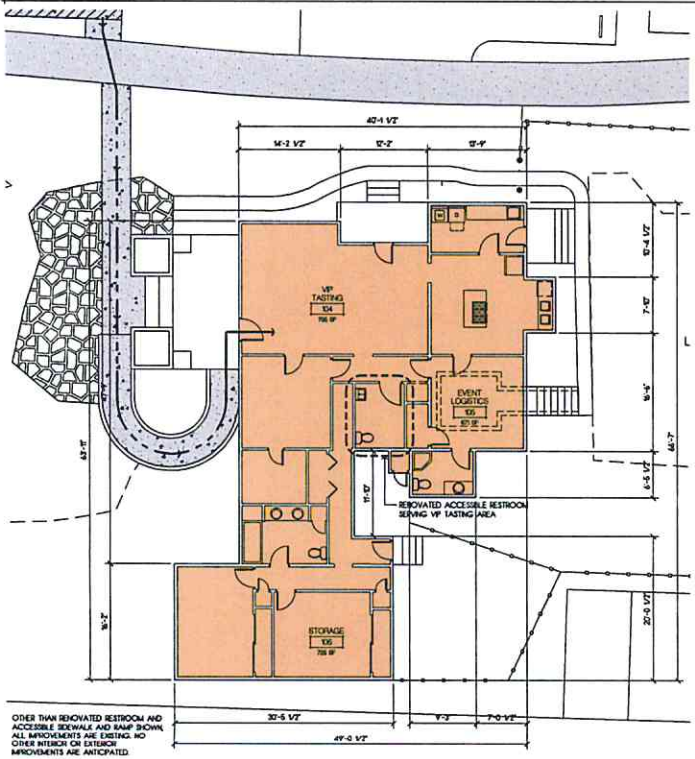
Drawn By	SAG
Checked By	
Date Drawn	2016-12-01
Scale	AS NOTED
Job No.	16-5491

SHEET No.
A101



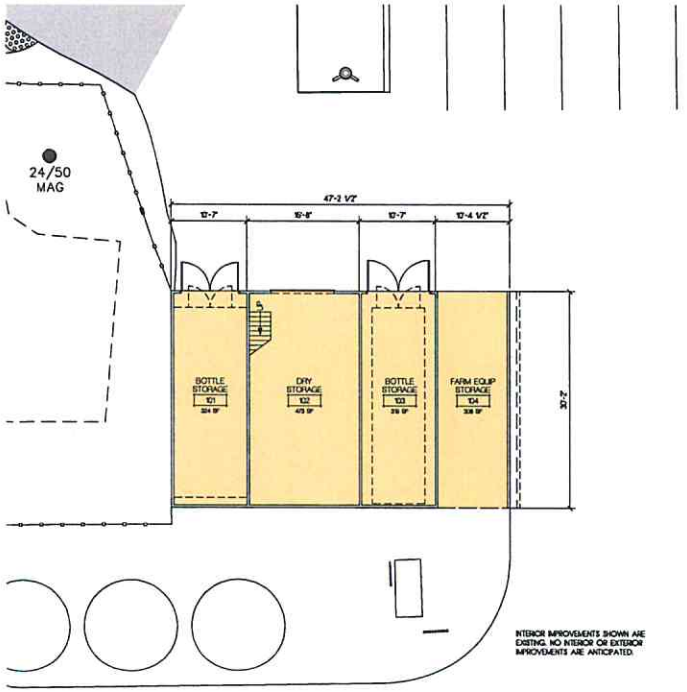
SCALE 0 2 4 8

STORAGE BLDG. FLOOR PLAN - PRODUCTION & ACCESSORY USE



SCALE 0 4 8 16

VIP TASTING FLOOR PLAN - PRODUCTION & ACCESSORY USE



SCALE 0 4 8 16

BARN FLOOR PLAN - PRODUCTION & ACCESSORY USE

LEGEND

- INDICATES EXISTING WINERY PRODUCTION FACILITIES
- INDICATES EXISTING WINERY ACCESSORY USE AREA
- INDICATES PROPOSED NEW WINERY PRODUCTION FACILITY
- INDICATES PROPOSED NEW WINERY ACCESSORY USE AREA

EXISTING AND PROPOSED WINERY BUILDING AREAS AND USES

BUILDING	PRODUCT. USE (SF)	ACCESS. USE (SF)	TOTAL AREA (SF)	NOTES
WINERY				
1st FLR	16,163	1,127		EXISTING USE - NO CHANGES
2nd FLR	58	1,625		
TOTAL			18,973	
MECH. PLANT	480		480	
EXISTING RESIDENCE		2,151	2,151	WHOLLY CONVERTED TO WINERY USE
EXIST. BARN				
1st FLR	1,424			WHOLLY CONVERTED TO WINERY USE
LOFT	473			
TOTAL			1,897	
EXISTING STORAGE BLDG.	129	599	728	WHOLLY CONVERTED TO WINERY USE
TOTAL ALL BLDGS.	18,727	5,502	24,229	

PROPOSED PERCENT ACCESSORY USE - 29.38%

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CONSULTANTS

LICENSE STAMPS

PROJECT NAME
WINERY EXPANSION
FOR
ROBERT BIALE VINEYARDS
4038 BIG RANCH RD.
NAPA, CA

SHEET TITLE
CONVERTED BUILDING FLOOR PLANS

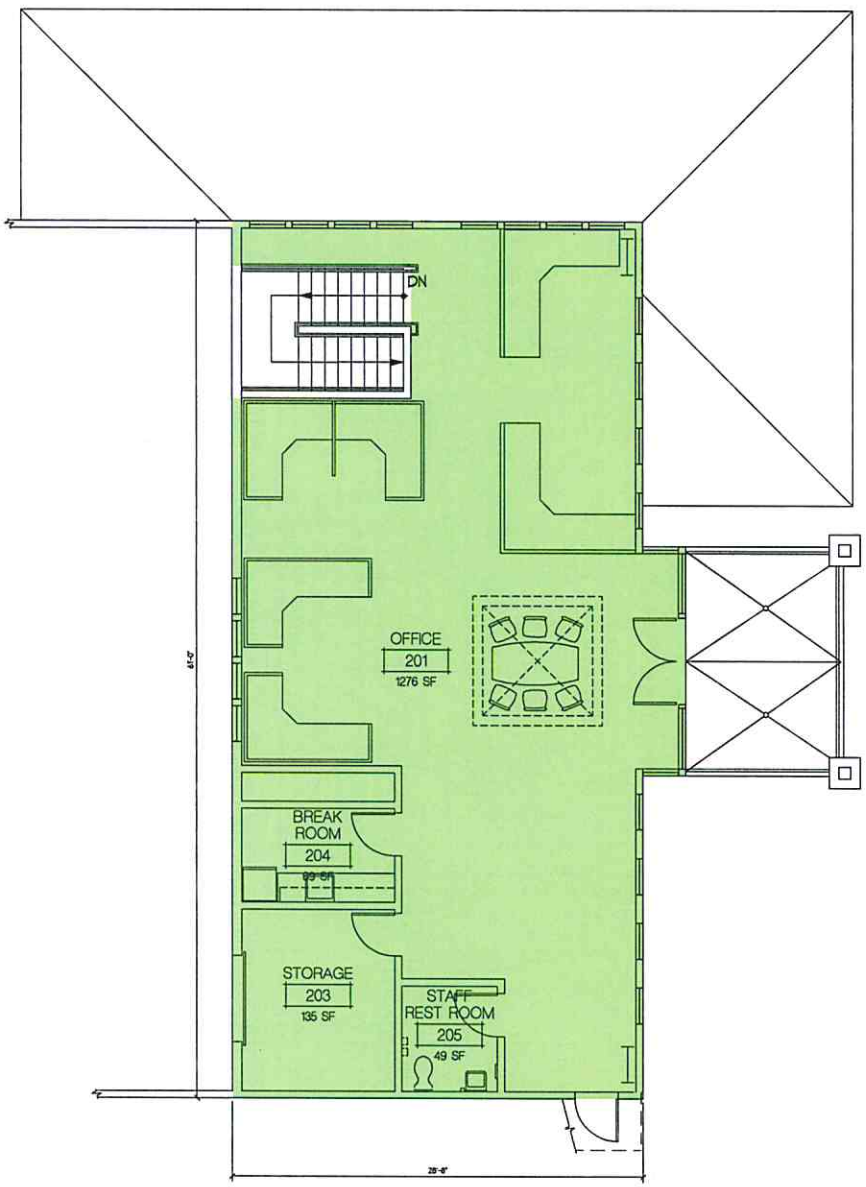
DRAWING STATUS
USE PERMIT MODIFICATION

REVISIONS

Sym.	Description	By	Date
REV 1	P/C COMMENTS	SAG	12/27/16

Drawn By	SAG
Checked By	
Date Drawn	2016-12-01
Scale	AS NOTED
Job No.	16-5491

SHEET No.
A102



LEGEND

INDICATES EXISTING WINERY DEVELOPMENT AREA - 1,683 S.F.

SCALE 0 2 4 8

EXISTING WINERY SECOND FLOOR PLAN

PRINTED FULL SIZE 1/4"=1'-0"

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LICENSE STAMPS

PROJECT NAME
WINERY EXPANSION
FOR
ROBERT BIALE VINEYARDS
4038 BIG RANCH RD.
NAPA, CA

SHEET TITLE
WINERY FIRST SECOND PLAN

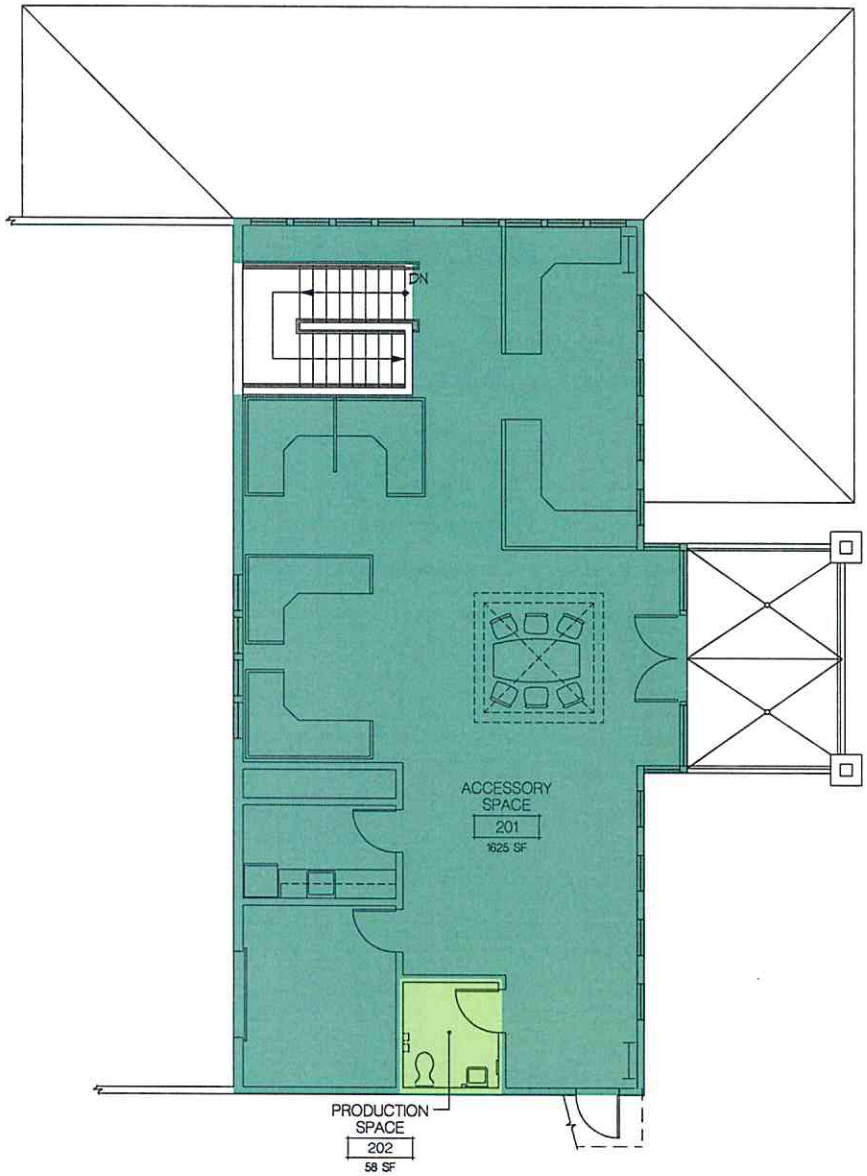
DRAWING STATUS
USE PERMIT MODIFICATION

REVISIONS

Sym.	Description	By	Date
REV 1	PJC COMMENTS	SAG	10/27/16

Drawn By	NMR
Checked By	
Date Drawn	2016-12-01
Scale	AS
Job No.	16-5491

SHEET No.
A200



LEGEND

- INDICATES EXISTING WINERY PRODUCTION FACILITIES
- INDICATES EXISTING WINERY ACCESSORY USE AREA
- INDICATES PROPOSED NEW WINERY PRODUCTION FACILITY
- INDICATES PROPOSED NEW WINERY ACCESSORY USE AREA

EXISTING AND PROPOSED WINERY BUILDING AREAS AND USES

BUILDING	PRODUCT. USE (SF)	ACCESS. USE (SF)	TOTAL AREA (SF)	NOTES
WINERY 1st FLR	16,163	1,127		EXISTING USE - NO CHANGES
2nd FLR	58	1,625		
TOTAL			18,973	
MECH. PLANT	480		480	
EXISTING RESIDENCE		2,151	2,151	WHOLLY CONVERTED TO WINERY USE
EXIST. BARN 1st FLR	1,424			WHOLLY CONVERTED TO WINERY USE
LOFT	473			
TOTAL			1,897	
EXISTING STORAGE BLDG.	129	599	728	WHOLLY CONVERTED TO WINERY USE
TOTAL ALL BLDGS	18,727	5,502	24,229	

PROPOSED PERCENT ACCESSORY USE - 29.38%

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LICENSE STAMPS

PROJECT NAME
WINERY EXPANSION
FOR
ROBERT BIALE VINEYARDS
4038 BIG RANCH RD.
NAPA, CA

SHEET TITLE
WINERY FIRST SECOND PLAN

DRAWING STATUS
USE PERMIT MODIFICATION

REVISIONS

Sym.	Description	By	Date
REV 1	PC COMMENTS	SAG	10/27/16

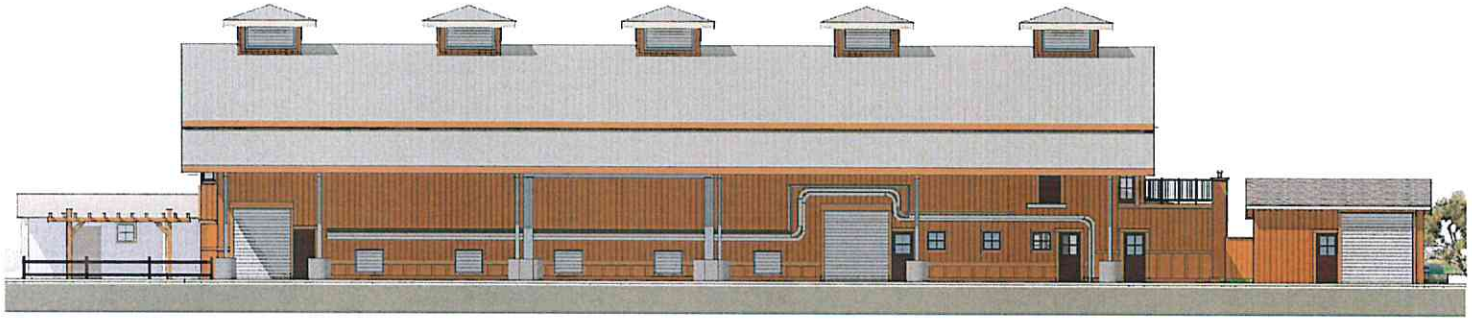
Drawn By	NMR
Checked By	
Date Drawn	2016-12-01
Scale	AS
Job No.	16-5491

SHEET No.
A201

EXISTING WINERY SECOND FLOOR PLAN - PRODUCTION AND ACCESSORY USE AREAS

1/4"=1'-0"

EAST ELEVATION
SCALE: 1/8"=1'-0"



SOUTH ELEVATION
SCALE: 1/8"=1'-0"

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LICENSE STAMPS

PROJECT NAME
WINERY EXPANSION FOR

ROBERT BIALE VINEYARDS
4038 BIG RANCH RD.
NAPA, CALIFORNIA

SHEET TITLE
EXTERIOR ELEVATIONS

DRAWING STATUS
DD SET
PRELIMINARY
NOT FOR CONSTRUCTION

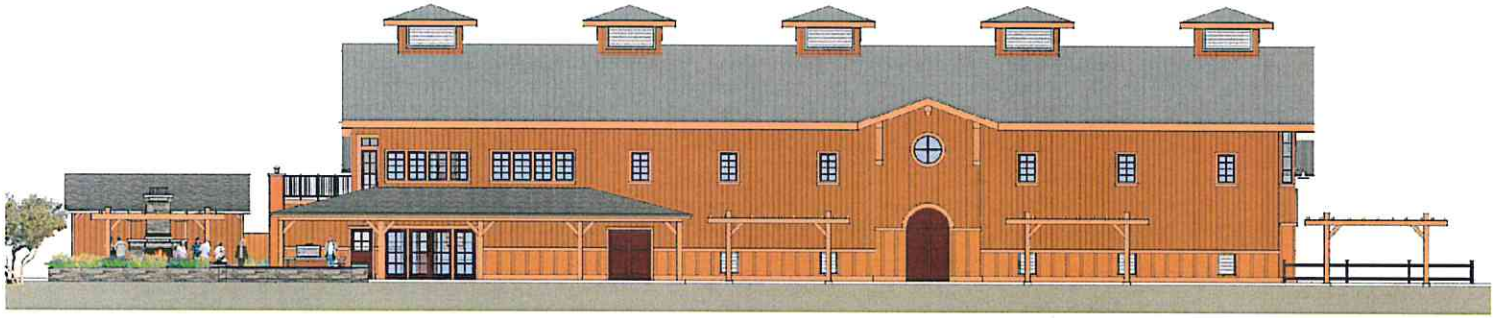
REVISIONS

Sym.	Description	Date

Drawn By	NMR
Checked By	SAG
Date Drawn	2016-08-25
Scale	AS NOTED
Job No.	16-5491

SHEET No.
A301

WEST ELEVATION
SCALE: 1/8"=1'-0"



NORTH ELEVATION
SCALE: 1/8"=1'-0"

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LICENSE STAMPS

PROJECT NAME
WINERY EXPANSION FOR

ROBERT BIALE VINEYARDS
4038 BIG RANCH RD.
NAPA, CALIFORNIA

SHEET TITLE
EXTERIOR ELEVATIONS

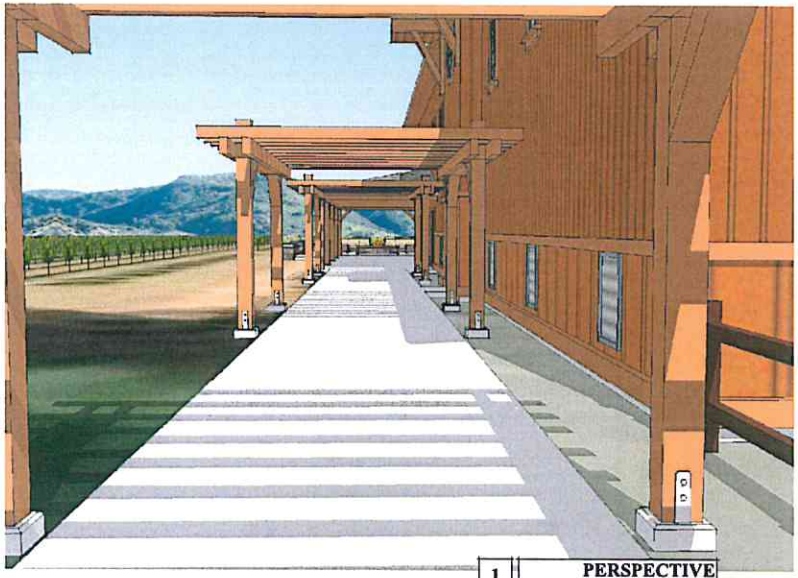
DRAWING STATUS
DD SET
PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

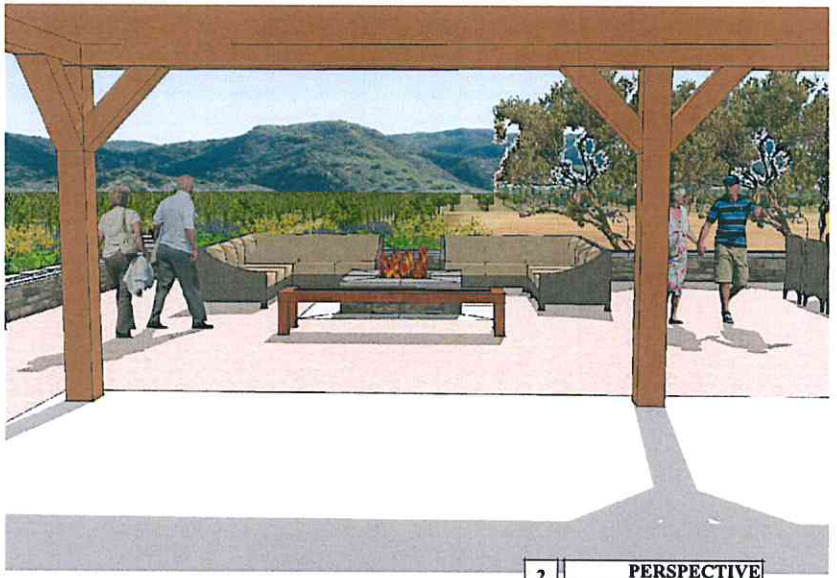
Sym.	Description	Date

Drawn By	NMR
Checked By	SAG
Date Drawn	2016-08-25
Scale	AS NOTED
Job No.	16-5491

SHEET No.
A302



1 PERSPECTIVE
SCALE: N/A



2 PERSPECTIVE
SCALE: N/A

3 PERSPECTIVE
SCALE: N/A

4 PERSPECTIVE
SCALE: N/A

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LICENSE STAMPS

PROJECT NAME
WINERY EXPANSION FOR
ROBERT BIALE VINEYARDS
4038 BIG RANCH RD.
NAPA, CALIFORNIA

SHEET TITLE
BACK PORCH EXPANSION PERSPECTIVES

DRAWING STATUS
DD SET
PRELIMINARY
NOT FOR CONSTRUCTION

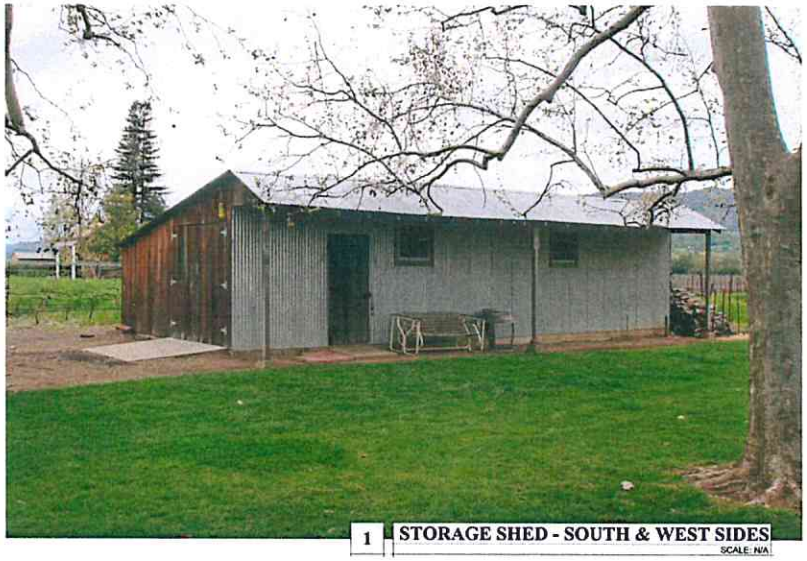
REVISIONS

Sym.	Description	Date

Drawn By	NMR
Checked By	SAG
Date Drawn	2016-08-25
Scale	AS NOTED
Job No.	16-5491

SHEET No.
A303

3 STORAGE SHED - SOUTH & EAST SIDES
SCALE: N/A



1 STORAGE SHED - SOUTH & WEST SIDES
SCALE: N/A

4 BARN - SOUTH & EAST SIDES
SCALE: N/A

2 BARN - NORTH & EAST SIDES
SCALE: N/A

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CONSULTANTS

LICENSE STAMPS

PROJECT NAME
WINERY EXPANSION FOR
ROBERT BIALE VINEYARDS
4038 BIG RANCH RD.
NAPA, CALIFORNIA

SHEET TITLE
EXISTING BUILDING PHOTOS

DRAWING STATUS
DD SET
PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

Sym.	Description	Date

Drawn By	NMR
Checked By	SAG
Date Drawn	2016-08-25
Scale	AS NOTED
Job No.	16-5491

SHEET No.
A304

3 EXISTING RESIDENCE - SOUTH ELEVATION
SCALE: N/A

1 EXISTING RESIDENCE - NORTH ELEVATION
SCALE: N/A

4 EXISTING RESIDENCE - WEST ELEVATION
SCALE: N/A

2 EXISTING RESIDENCE - EAST ELEVATION
SCALE: N/A

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CONSULTANTS

LICENSE STAMPS

PROJECT NAME
WINERY EXPANSION FOR
ROBERT BIALE VINEYARDS
4038 BIG RANCH RD.
NAPA, CALIFORNIA

SHEET TITLE
EXISTING RESIDENCE PHOTOS

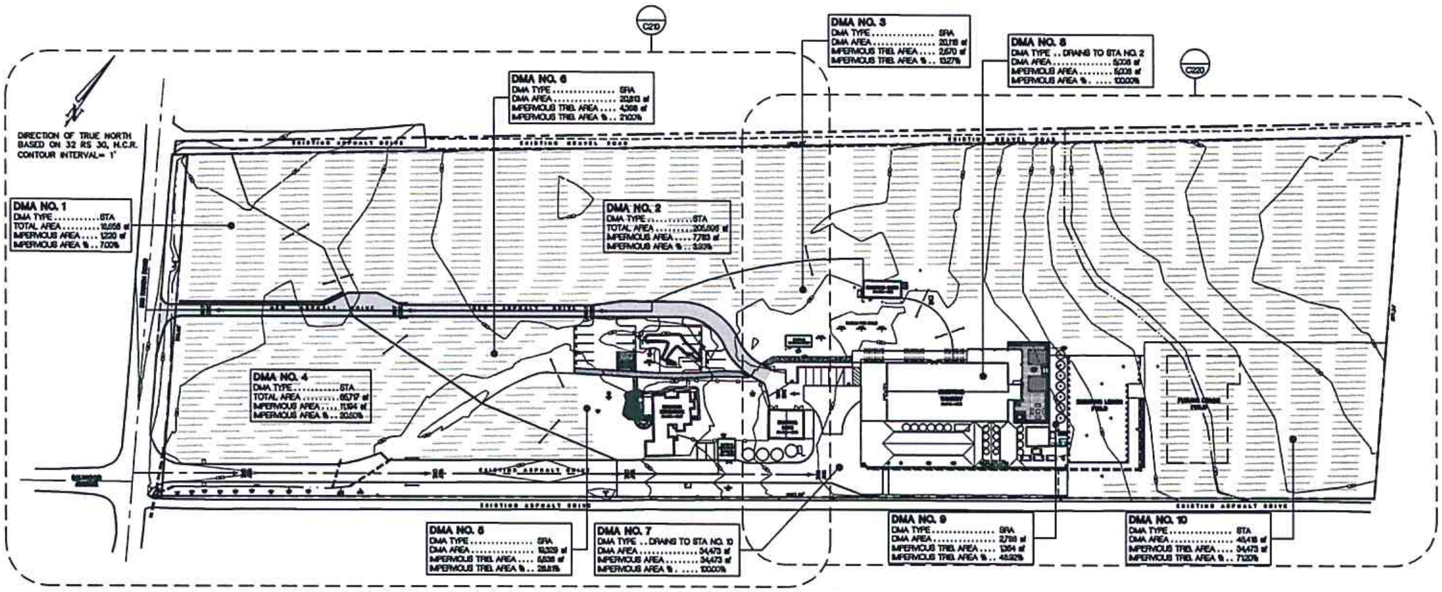
DRAWING STATUS
DD SET
PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

Sym.	Description	Date

Drawn By	NMR
Checked By	SAG
Date Drawn	2016-08-25
Scale	AS NOTED
Job No.	16-5491

SHEET No.
A305



OVERALL STORMWATER CONTROL PLAN

PRINTED FULL SIZE: 1"=60'-0"

LEGEND

[pattern]	INDICATES PROPOSED NEW ASPHALT CONCRETE PAVING
[pattern]	INDICATES PROPOSED NEW CONCRETE FLAT WORK
[pattern]	INDICATES PROPOSED NEW DECOMPOSED GRANITE PEDESTRIAN PATH
[pattern]	INDICATES EXISTING VINEYARD ROWS
[pattern]	INDICATES AREA OF NEW TRUNCATED DOMES (ADA DETECTABLE WARNING)
→ 2.0%	ACCESSIBLE ROUTES OF TRAVEL FROM DISABLED PARKING TO BUILDING; MAXIMUM SLOPE IN PATH SEGMENT
— ELEC —	INDICATES EXISTING OVERHEAD ELECTRICAL LINE
— ·· —	INDICATES LIMITS OF FEMA 100 YEAR FLOOD PLAIN. FLOOD PLAIN ELEVATION ON PROPERTY IS APPROXIMATELY 51.0 FEET NORTH AMERICAN VERTICAL DATUM 1988
— — —	INDICATES PROPERTY LINE OR WELL SETBACK
— 356.52'	INDICATES PROPERTY LINE; DISTANCE BETWEEN PROPERTY CORNERS
—(57)—	INDICATES EXISTING CONTOUR LINE. NAPA COUNTY BENCHMARK NO. 738-C DATUM.
— · —	INDICATES DRAINAGE SWALE, SEE STORMWATER CONTROL PLANS FOR SLOPE.
[pattern]	INDICATES STORM DRAIN PIPE, SEE STORMWATER CONTROL PLANS FOR SIZE AND SLOPE.
[symbol]	INDICATES EXISTING FIRE HYDRANT

SHEET NOTES

1. EXISTING ASPHALT CONCRETE DRIVEWAY TO BE DEMOLISHED
2. NEW NAPA COUNTY C-11 DRIVEWAY TURNOUT
3. NAPA COUNTY C-13 HAMMERHEAD FIRE APPARATUS TURNAROUND
4. NEW DISABLED PARKING SPACE AND LOADING ZONE
5. NEW PERVIOUS GEOGRID GRASS PAVER OVERFLOW PARKING AREA WITH 6" PERIMETER CONCRETE CURB. STALLS CONFORMING TO NAPA COUNTY ROAD AND STREET STANDARDS DETAIL P-1
6. NEW ACCESSIBLE WALKWAY AND RAMP TO VIP TASTING AREA
7. LIMITS OF 100-YEAR FEMA FLOOD PLAIN
8. CLASS II AGGREGATE BASE EMPLOYEE PARKING AREA
9. STORM DRAIN PIPES APPROVED UNDER NAPA COUNTY PERMIT NO. W030093. SEE SHEET C200 STORMWATER CONTROL PLAN
10. STORM WATER DISSIPATER APPROVED UNDER NAPA COUNTY PERMIT NO. W030093 SEE SHEET C200 STORMWATER CONTROL PLAN
11. SOLID WASTE COLLECTION, GARBAGE, RECYCLABLES AND GREEN WASTE
12. EXISTING VINEYARD SUBTERRANEAN DRAINAGE TILE SYSTEM MANHOLE
13. EXISTING WINERY HIGH AND LOW ROOF RAIN WATER LEADER DISSIPATOR
14. EXISTING BIG RANCH ROAD STORM WATER FLOW LINE
15. PROPOSED BOTTOM OF DMA NO. 6 OVERFLOW PARKING AREA RETENTION BASIN (CORRESPONDS TO 56-FOOT CONTOUR).
16. PROPOSED DMA NO. 9 LANDSCAPED PLANTER RETENTION AREA.
17. POTENTIAL STORMWATER POLLUTANT SOURCE.

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CONSULTANTS

LICENSE STAMPS

PROJECT NAME
WINERY EXPANSION
FOR
ROBERT BIALE VINEYARDS
4038 BIG RANCH RD.
NAPA, CA

SHEET TITLE
OVERALL STORMWATER CONTROL PLAN

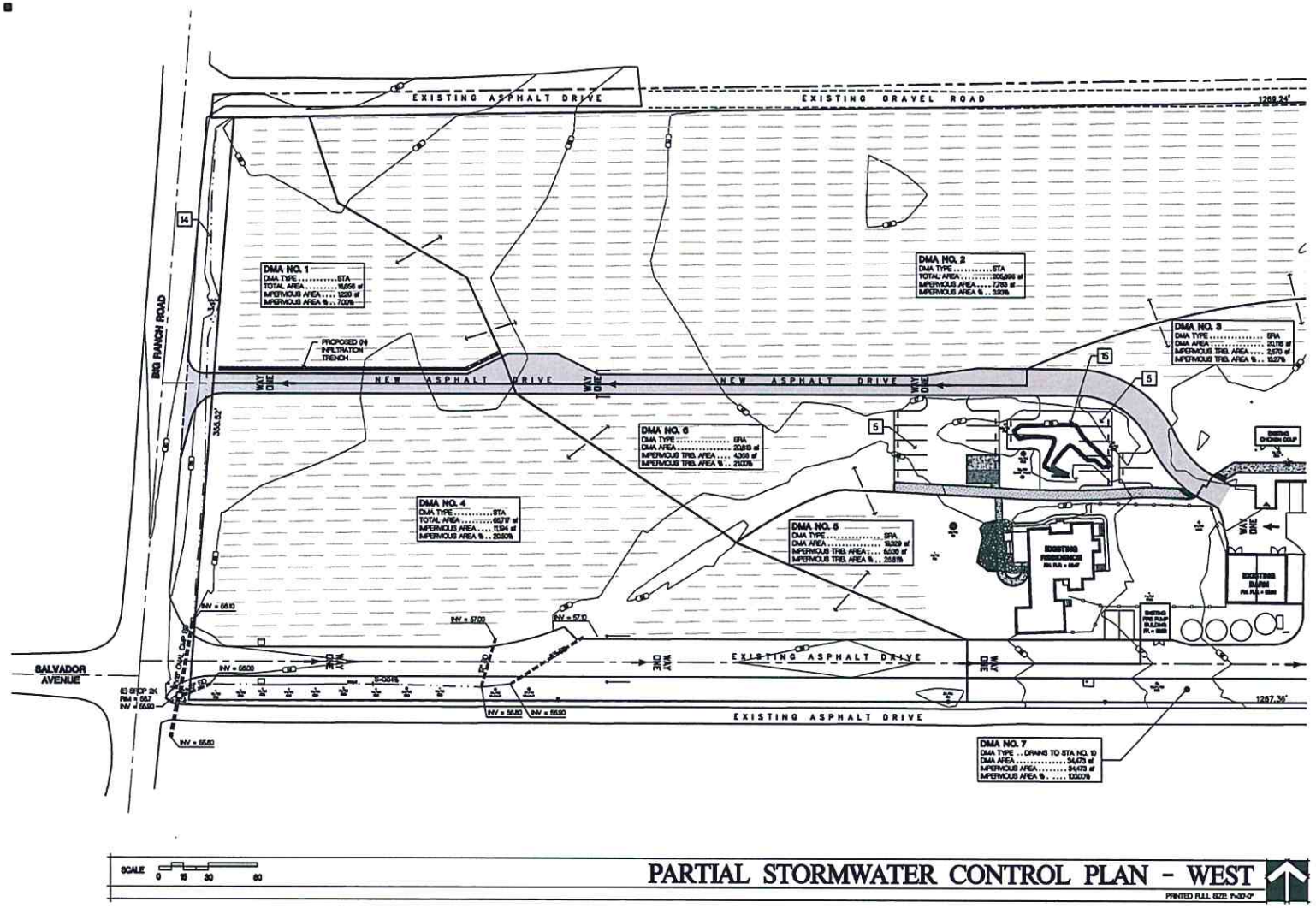
DRAWING STATUS
USE PERMIT MODIFICATION

REVISIONS

Sym.	Description	By	Date
REV 1	P/C COMMENTS	SAG	12/27/16

Drawn By	SAG
Checked By	.
Date Drawn	2016-12-01
Scale	AS NOTED
Job No.	16-5491

SHEET No.
C200



SCALE 0 15 30 60

PARTIAL STORMWATER CONTROL PLAN - WEST

PRINTED FULL SIZE: 1"=30'-0"

LEGEND

- INDICATES PROPOSED NEW ASPHALT CONCRETE PAVING
- INDICATES PROPOSED NEW CONCRETE FLAT WORK
- INDICATES PROPOSED NEW DECOMPOSED GRANITE PEDESTRIAN PATH
- INDICATES EXISTING VINEYARD ROWS
- INDICATES AREA OF NEW TRUNCATED DOMES (ADA DETECTABLE WARNING)
- ACCESSIBLE ROUTES OF TRAVEL FROM DISABLED PARKING TO BUILDING
- 2.0% MAXIMUM SLOPE IN PATH SEGMENT
- ELEC INDICATES EXISTING OVERHEAD ELECTRICAL LINE
- INDICATES LIMITS OF FEMA 100 YEAR FLOOD PLAIN. FLOOD PLAIN ELEVATION ON PROPERTY IS APPROXIMATELY 51.0 FEET NORTH AMERICAN VERTICAL DATUM 1988
- INDICATES PROPERTY LINE OR WELL SETBACK
- INDICATES PROPERTY LINE
- 355.52' DISTANCE BETWEEN PROPERTY CORNERS
- 57 INDICATES EXISTING CONTOUR LINE. NAPA COUNTY BENCHMARK NO. 728-G DATUM.
- INDICATES DRAINAGE SWALE, SEE STORMWATER CONTROL PLANS FOR SLOPE.
- INDICATES STORM DRAIN PIPE, SEE STORMWATER CONTROL PLANS FOR SIZE AND SLOPE.
- INDICATES EXISTING FIRE HYDRANT

SHEET NOTES

1. EXISTING ASPHALT CONCRETE DRIVEWAY TO BE DEMOLISHED
2. NEW NAPA COUNTY C-11 DRIVEWAY TURNOUT
3. NAPA COUNTY C-13 HAMMERHEAD FIRE APPARATUS TURNAROUND
4. NEW DISABLED PARKING SPACE AND LOADING ZONE
5. NEW PERVIOUS GEOGRID GRASS PAVER OVERFLOW PARKING AREA WITH 6" PERIMETER CONCRETE CURB. STALLS CONFORMING TO NAPA COUNTY ROAD AND STREET STANDARDS DETAIL P-1
6. NEW ACCESSIBLE WALKWAY AND RAMP TO VIP TASTING AREA
7. LIMITS OF 100-YEAR FEMA FLOOD PLAIN
8. CLASS II AGGREGATE BASE EMPLOYEE PARKING AREA
9. STORM DRAIN PIPES APPROVED UNDER NAPA COUNTY PERMIT NO. WE30093. SEE SHEET C200 STORMWATER CONTROL PLAN
10. STORM WATER DISSIPATER APPROVED UNDER NAPA COUNTY PERMIT NO. WG30092. SEE SHEET C200 STORMWATER CONROL PLAN
11. SOLID WASTE COLLECTION, GARBAGE, RECYCLABLES AND GREEN WASTE
12. EXISTING VINEYARD SUBTERRANEAN DRAINAGE TILE SYSTEM MANHOLE.
13. EXISTING WINERY HIGH AND LOW ROOF RAIN WATER LEADER DISSIPATOR
14. EXISTING BIG RANCH ROAD STORM WATER FLOW LINE
15. PROPOSED BOTTOM OF DMA NO. 6 OVERFLOW PARKING AREA RETENTION BASIN (CORRESPONDS TO 56-FOOT CONTOUR)
16. PROPOSED DMA NO. 9 LANDSCAPED PLANTER RETENTION AREA.
17. POTENTIAL STORMWATER POLLUTANT SOURCE.

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CONSULTANTS

LICENSE STAMPS

PROJECT NAME
WINERY EXPANSION
FOR
ROBERT BIALE VINEYARDS
4038 BIG RANCH RD.
NAPA, CA

SHEET TITLE
PARTIAL STORMWATER CONTROL PLAN

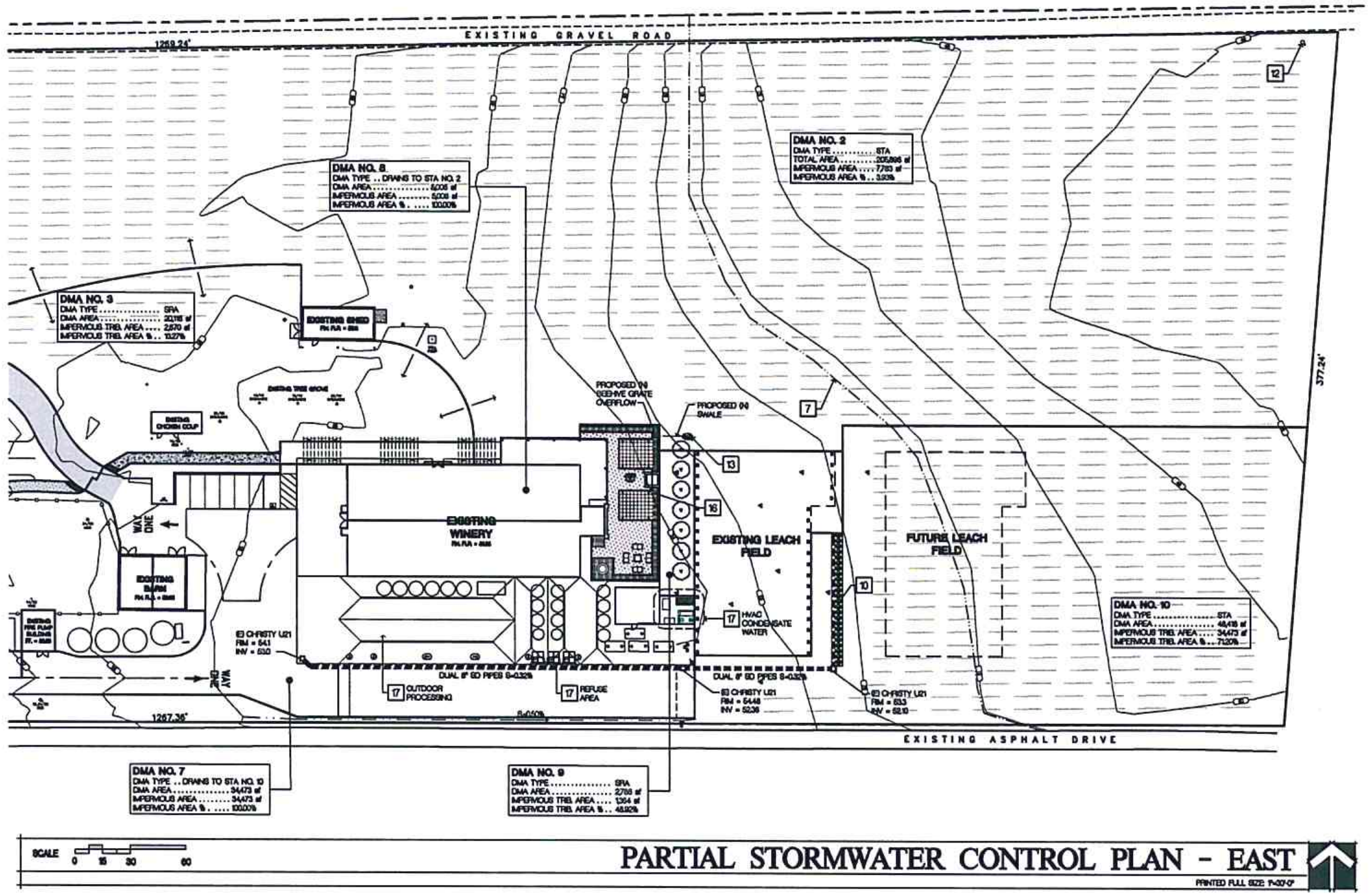
DRAWING STATUS
USE PERMIT MODIFICATION

REVISIONS

Sym.	Description	By	Date
REV 1	PW COMMENTS	SAG	12/27/16

Drawn By	SAG
Checked By	.
Date Drawn	2016-12-01
Scale	AS NOTED
Job No.	16-5491

SHEET No.
C210



PARTIAL STORMWATER CONTROL PLAN - EAST

PRINTED FULL SIZE: 1"=30'-0"

LEGEND

- INDICATES PROPOSED NEW ASPHALT CONCRETE PAVING
- INDICATES PROPOSED NEW CONCRETE FLAT WORK
- INDICATES PROPOSED NEW DECOMPOSED GRANITE PEDESTRIAN PATH
- INDICATES EXISTING VINEYARD ROWS
- INDICATES AREA OF NEW TRUNCATED DOMES (ADA DETECTABLE WARNING)
- ACCESSIBLE ROUTES OF TRAVEL FROM DISABLED PARKING TO BUILDING
- 2.0% — MAXIMUM SLOPE IN PATH SEGMENT
- ELEC — INDICATES EXISTING OVERHEAD ELECTRICAL LINE
- INDICATES LIMITS OF FEMA 100 YEAR FLOOD PLAIN. FLOOD PLAIN ELEVATION ON PROPERTY IS APPROXIMATELY 51.0 FEET NORTH AMERICAN VERTICAL DATUM 1988
- INDICATES PROPERTY LINE OR WELL SETBACK
- INDICATES PROPERTY LINE
- 355.52' — DISTANCE BETWEEN PROPERTY CORNERS
- 57 — INDICATES EXISTING CONTOUR LINE. NAPA COUNTY BENCHMARK NO. 738-C DATUM.
- INDICATES DRAINAGE SWALE. SEE STORMWATER CONTROL PLANS FOR SLOPE.
- INDICATES STORM DRAIN PIPE, SEE STORMWATER CONTROL PLANS FOR SIZE AND SLOPE.
- INDICATES EXISTING FIRE HYDRANT

SHEET NOTES

1. EXISTING ASPHALT CONCRETE DRIVEWAY TO BE DEMOLISHED
2. NEW NAPA COUNTY C-11 DRIVEWAY TURNOUT
3. NAPA COUNTY C-13 HAMMERHEAD FIRE APPARATUS TURNAROUND
4. NEW DISABLED PARKING SPACE AND LOADING ZONE
5. NEW PERVIOUS GEOGRID GRASS PAVER OVERFLOW PARKING AREA WITH 6" PERIMETER CONCRETE CURB. STALLS CONFORMING TO NAPA COUNTY ROAD AND STREET STANDARDS DETAIL P-1
6. NEW ACCESSIBLE WALKWAY AND RAMP TO VIP TASTING AREA
7. LIMITS OF 100-YEAR FEMA FLOOD PLAIN
8. CLASS II AGGREGATE BASE EMPLOYEE PARKING AREA
9. STORM DRAIN PIPES. APPROVED UNDER NAPA COUNTY PERMIT NO. W030093. SEE SHEET C200 STORMWATER CONTROL PLAN.
10. STORM WATER DISSIPATER APPROVED UNDER NAPA COUNTY PERMIT NO. W030093. SEE SHEET C200 STORMWATER CONROL PLAN
11. SOLID WASTE COLLECTION, GARBAGE, RECYCLABLES AND GREEN WASTE
12. EXISTING VINEYARD SUBTERRANEAN DRAINAGE TILE SYSTEM MANHOLE.
13. EXISTING WINERY HIGH AND LOW ROOF RAIN WATER LEADER DISSIPATOR
14. EXISTING BIG RANCH ROAD STORM WATER FLOW LINE
15. PROPOSED BOTTOM OF DMA NO. 6 OVERFLOW PARKING AREA RETENTION BASIN (CORRESPONDS TO 56-FOOT CONTOUR).
16. PROPOSED DMA NO. 9 LANDSCAPED PLANTER RETENTION AREA.
17. POTENTIAL STORMWATER POLLUTANT SOURCE

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CONSULTANTS

LICENSE STAMPS

PROJECT NAME
WINERY EXPANSION
FOR
ROBERT BIALE VINEYARDS
4038 BIG RANCH RD.
NAPA, CA

SHEET TITLE
PARTIAL STORMWATER CONTROL PLAN

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C220