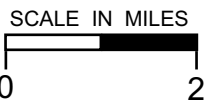
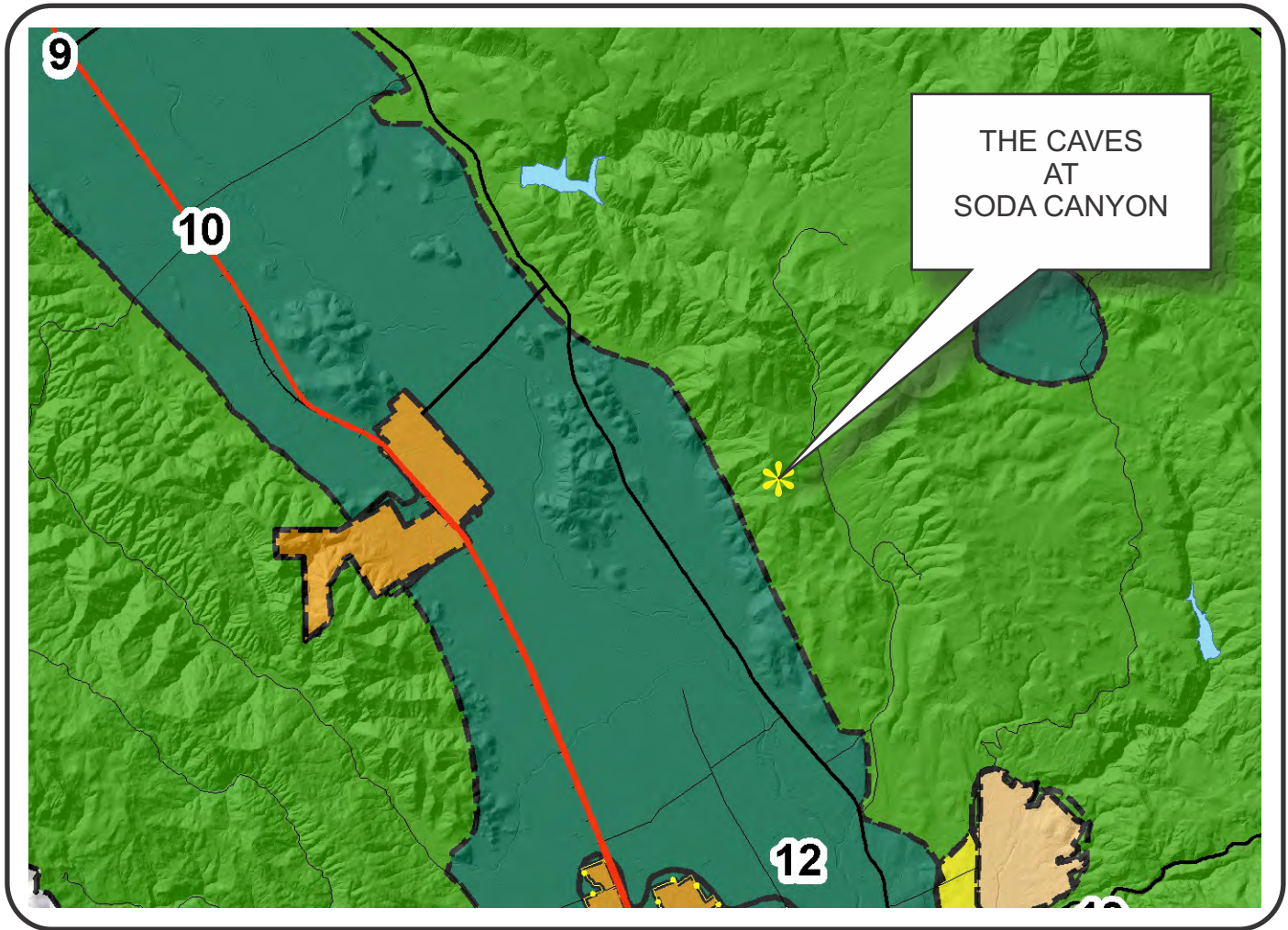


“L”

Graphics

NAPA COUNTY LAND USE PLAN 2008 - 2030



LEGEND



URBANIZED OR NON-AGRICULTURAL

- Study Area
- Cities
- Urban Residential*
- Rural Residential*
- Industrial
- Public-Institutional
- Napa Pipe Mixed Use

OPEN SPACE

- Agriculture, Watershed & Open Space
- Agricultural Resource

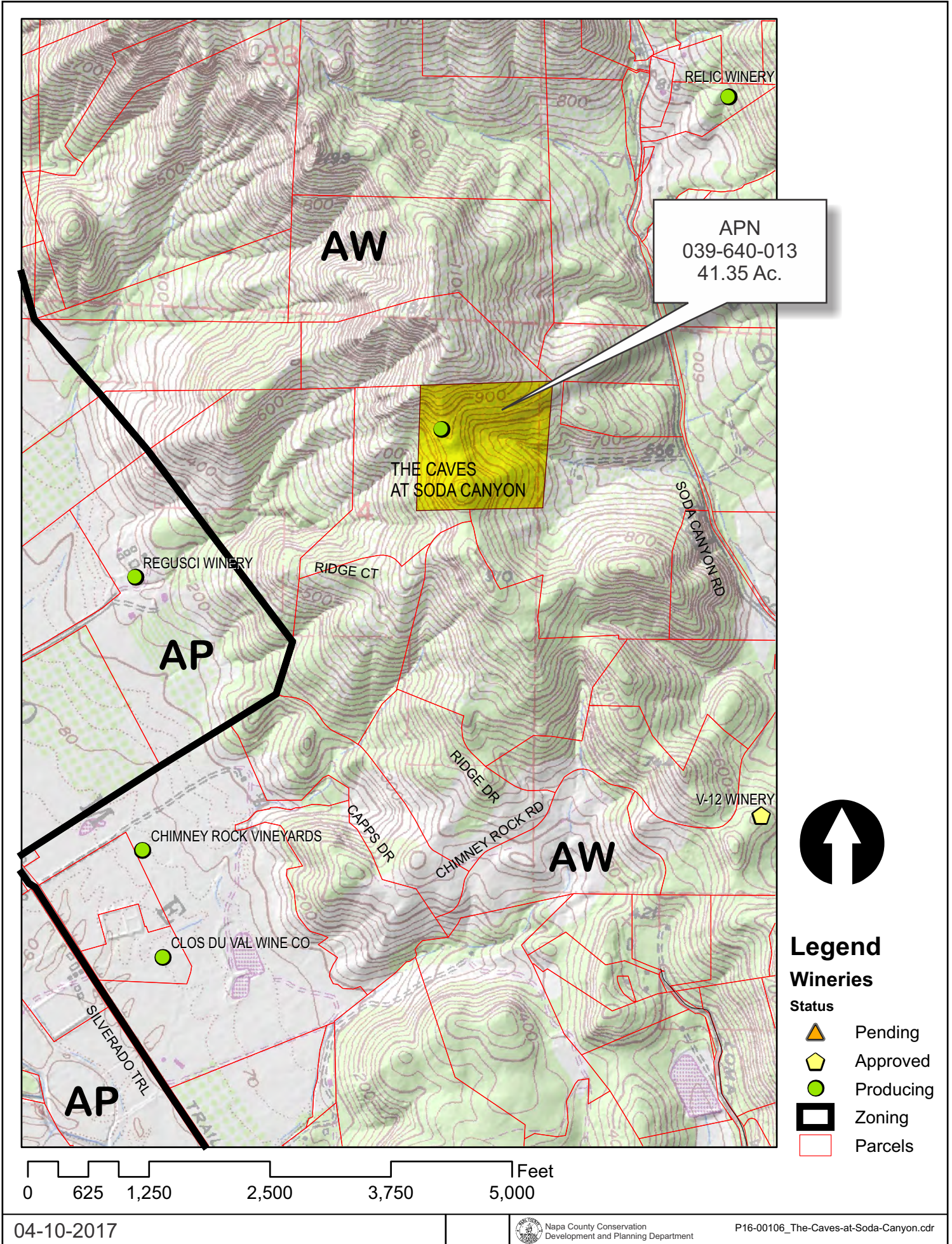
TRANSPORTATION

- Mineral Resource
- Limited Access Highway
- Major Road
- American Canyon ULL
- City of Napa RUL
- Landfill - General Plan
- Secondary Road
- Airport
- Railroad
- Airport Clear Zone

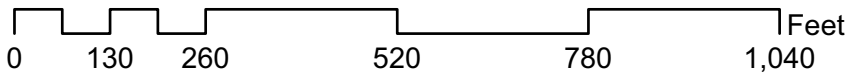
APN
039-640-013
04-10-2017

* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations

THE CAVES AT SODA CANYON



THE CAVES AT SODA CANYON



Existing Conditions

04-10-2017

Napa County Conservation
Development and Planning Department

P16-00106_The-Caves-at-Soda-Canyon.cdr



PREPARED BY:
CAMERON FRIDMORE PE, PLS
 1807 CALIFORNIA ROAD
 NAPA, CA 94558
 (707) 815-0988
 CAMERONFRIDMORE@GMAIL.COM
 PROJECT # 30100 DATE: 12/18/2015

DATE	DESCRIPTION	REV.

PROJECT INFO
THE CAVES AT SODA CANYON WINERY
 2275 SODA CANYON ROAD
 NAPA CA 94558
 APN: 039-640-011

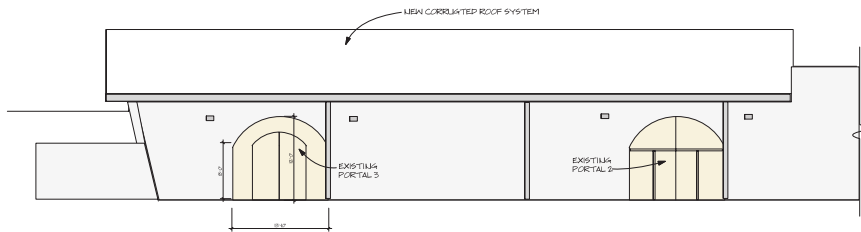
SHEET NAME
EXISTING SITE PLAN

SHEET:
2
 OF 4

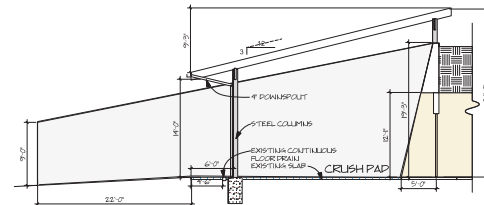
PROPOSED LOCATION OF PREVIOUSLY APPROVED PROCESS WASTEWATER SYSTEM TO BE INSTALLED, UNDER SEPARATE PERMIT

(E) PRIVATE PATIO, NO ACCESS FROM CAVE (UNDER SEPARATE PERMIT)

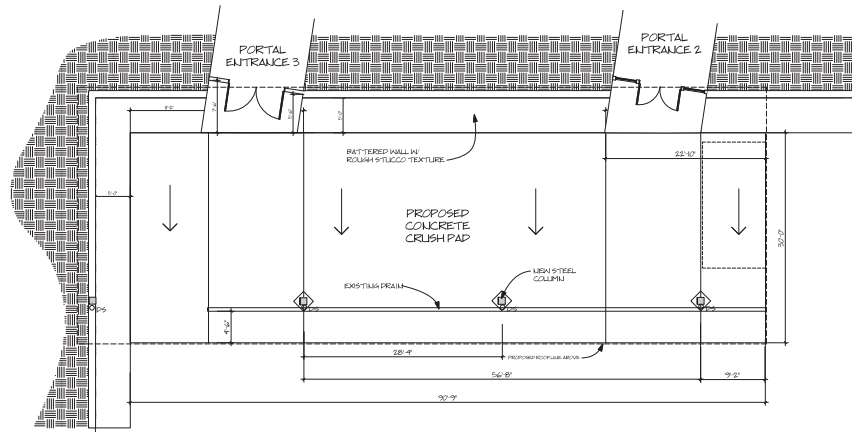
(D) FOUR 10,000 GAL WATER TANKS (3) FOR FIRE PROTECTION (1) FOR POTABLE WATER



SOUTH EAST ELEVATION



NORTH WEST ELEVATION / SECTION



FLOOR PLAN @ CRUSH PAD



SOUTHEAST EXISTING ELEVATION

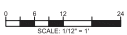
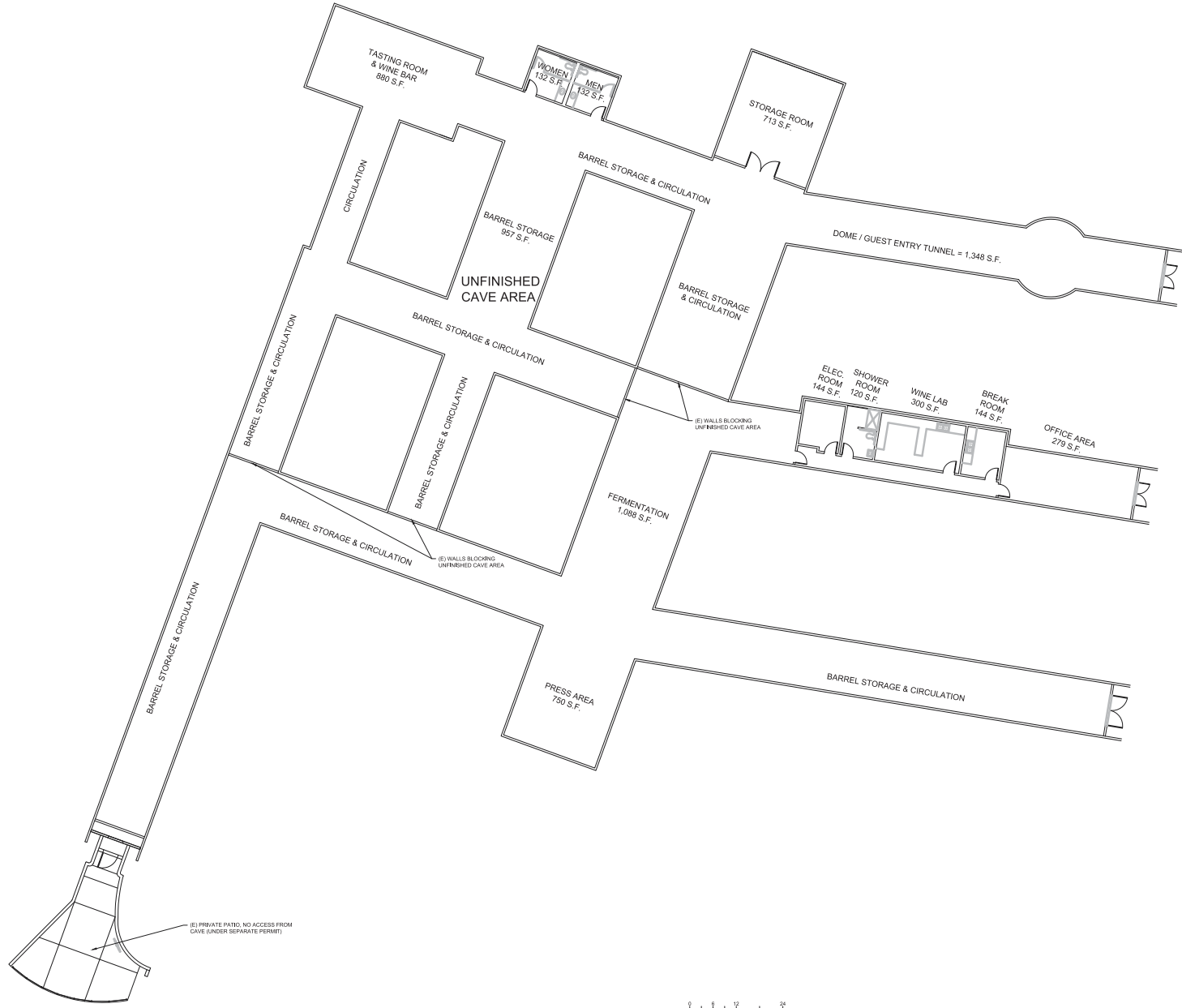
Architect
TriMatrix Corporation
 290 Farnaz Valley School Rd.
 Calistoga, CA 94515
 707-812-3151



Crush Pad Roof Cover
 2275 Soda Canyon Road, Napa
FLOOR PLAN & ELEVATIONS

SCALE:
 1/4"=1'-0"
 DATE:
 3.9.16
 PROJECT:
 DRAWN:
 SDH
 REVIEW:
 SDH
 REVISED:

A-2.0
 SHEET 3 OF 3



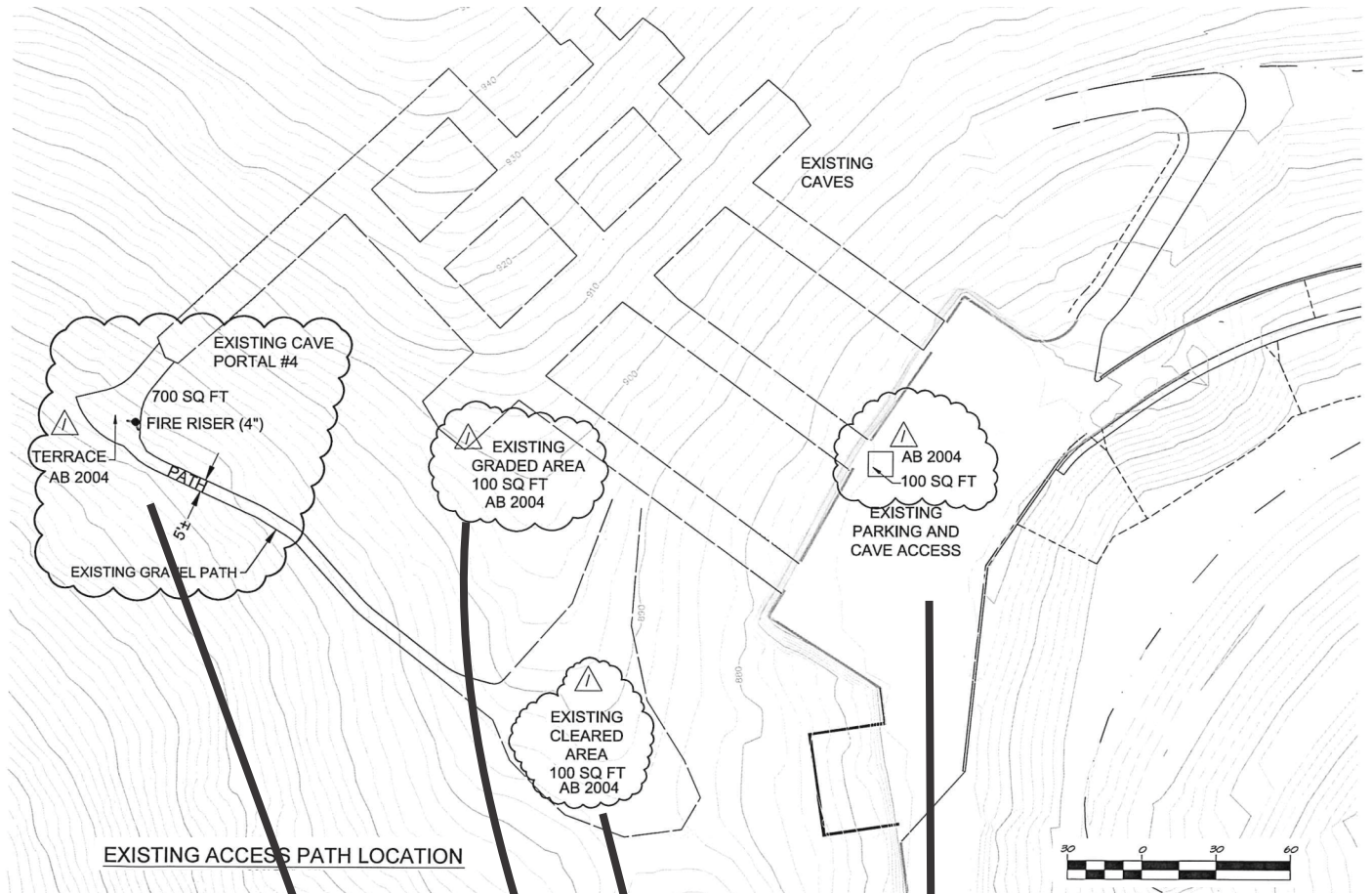
PREPARED BY:
CAMERON FRIDMORE PE, PLS
1807 COAD
NAPA, CA 94558
(707) 815-0988
CAMERONFRIDMORE@GMAIL.COM
PROJECT # 00102 DATE: 12/18/2015

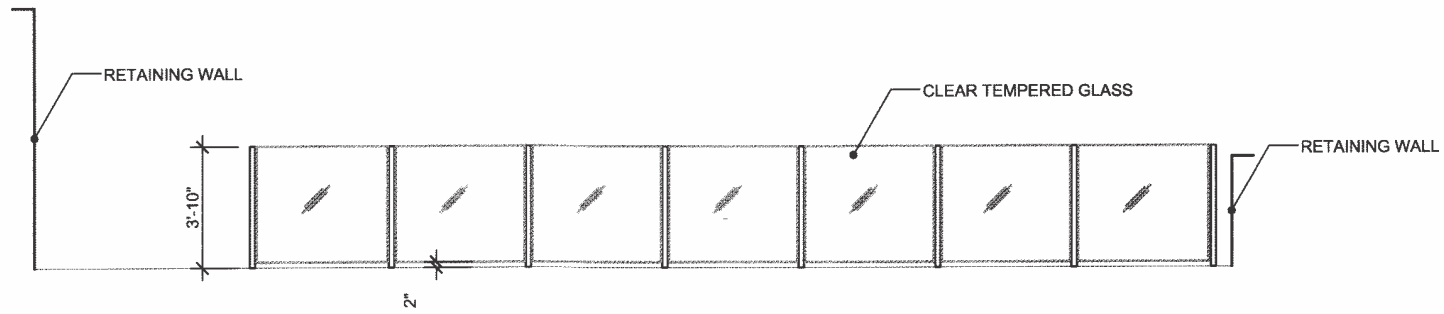
DATE	DESCRIPTION	REV.	BY

PROJECT INFO:
THE CAVES AT
SODA CANYON WINERY
2275 SODA CANYON ROAD
NAPA CA 94558
APN: 039-640-011

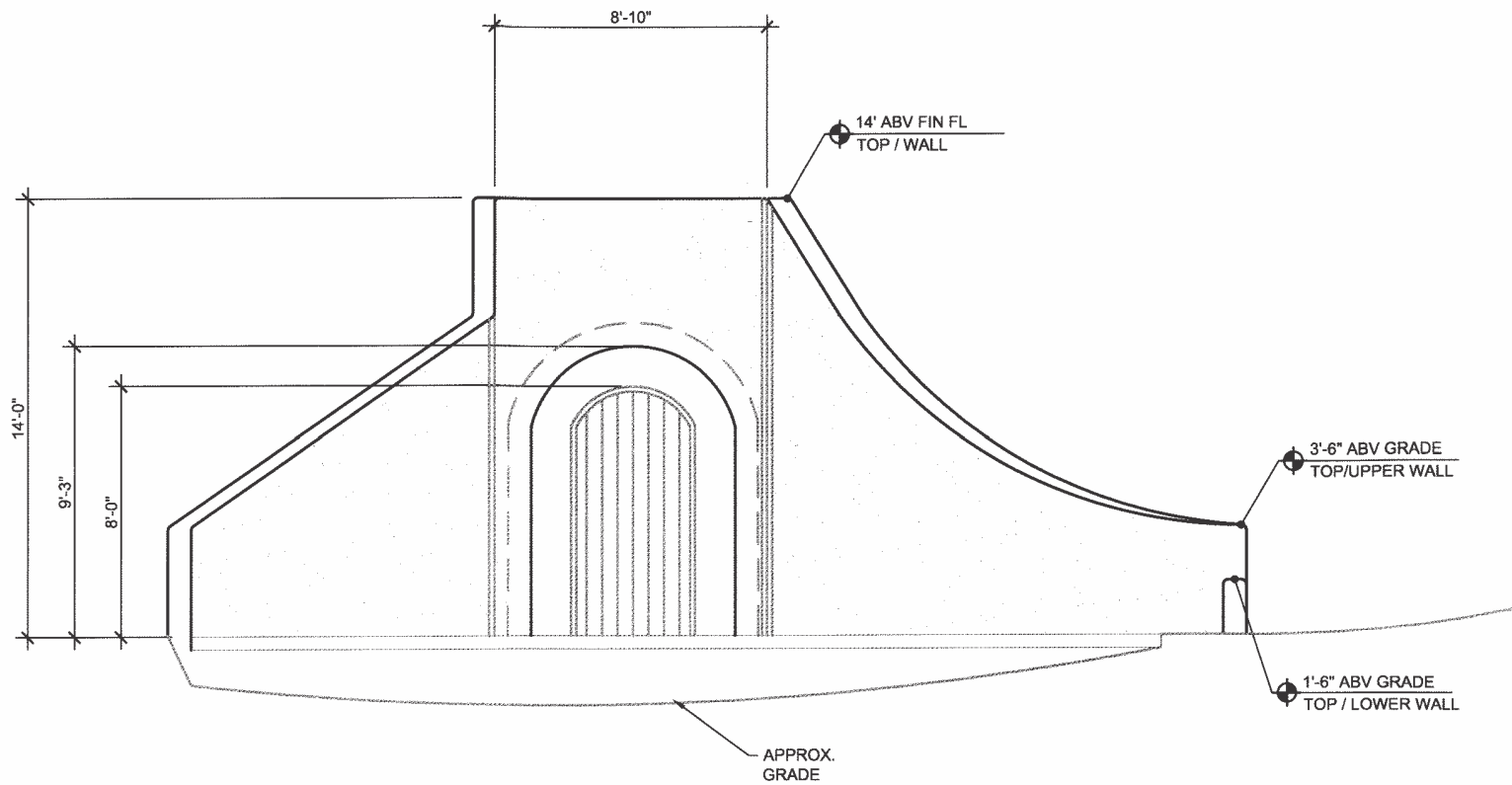
SHEET NAME:
**EXISTING CAVE
FLOOR PLAN**

SHEET:
4
OF 4





ELEVATION - LOOKING WEST TOWARD GLASS RAILING



ELEVATION - VIEW TOWARD DOOR TO CAVE PORTAL

View north of reservoir

Portal #4



View from south side of reservoir looking towards the cave ridge



View taken from Portal #4 looking west
(only valley view from this location, all other views obscured by existing vegetation)



View taken from proposed AB2004 top of ridge looking west



View taken from proposed AB2004 top of ridge looking southwest

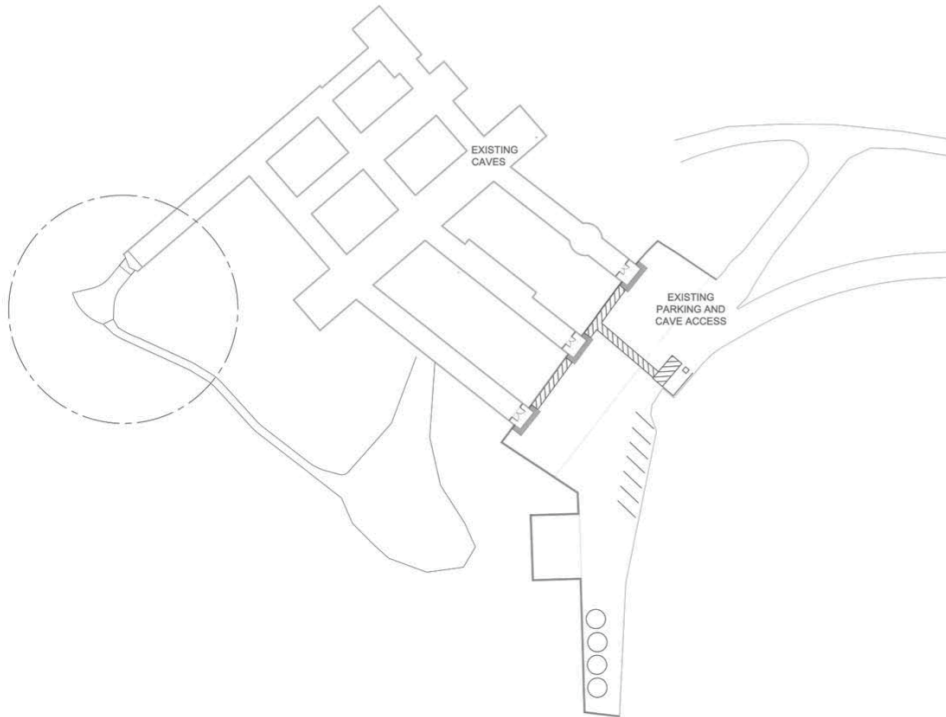


Napa County Building Permit B15-01427

NAPA CUSTOM CRUSH

2275 SODA CANYON ROAD
NAPA, CA 94559

PORTAL 4 NEW WALL



TEAM DIRECTORY

OWNER
The Caves at Soda Canyon
2275 Soda Canyon Road
Napa, CA 94559
T: (707) 861-8100
Ryan Waugh

DESIGN ENGINEER
MKQ Engineers
5030 Business Center Drive, Ste. 150
Fairfield, CA 94534
T: (707) 759-5260
Mike Kiani, PE

ARCHITECTURAL
Thomas Bouffard Architects
419 Mason St. Ste. 215
Vacaville, CA 95688
T: (707) 469-7739
Thomas A. Bouffard, AIA

CIVIL
James L. Cassayre Engineering
3142 Browns Valley Road
Napa, CA 94558
T: (707) 226-5241
James Cassayre, CE

OWNERS REPRESENTATIVE
Kelvin Morasch
1962 Wisa Drive
Napa, CA 94558
T: (707) 738-6278
Kelvin Morasch

BUILDING DATA
1. ALL WORK IS EXISTING WINERY CAVE IS TYPE 3 WITH ASSEMBLY AREAS THAT ARE ACCESSIBLE TO PUBLIC ON GUIDED PRIVATE TOURS
2. CAVE UTILITIES UNDER PERMIT #B13-00372



LOCATION



ARCHITECTURAL SHEET INDEX

- A&1 COVER SHEET - ARCHITECTURAL
- A&2 CODE ANALYSIS
- A&3 EXISTING WINE CAVE PLAN
- A&3.1 WINE CAVE WALL DETAIL AND CAVE SECTION
- M&1 WINE CAVE VENTILATION (INFORMATION ONLY)
- M&1.1 DETAILS (INFORMATION ONLY)

GENERAL NOTES

1. ALL DETAILS OF CONSTRUCTION SHALL CONFORM TO THE 2010 EDITION OF THE CALIFORNIA BUILDING CODE AS WELL AS ALL REFERENCED DOCUMENTS.
2. THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, LOCATION OF NEW FRAMING MEMBERS, LINES OF SUPPORT, LOCATIONS OF ANCHOR BOLTS, HOLDINGS, EXISTING SITE CONDITIONS, AND UTILITIES PRIOR TO CONSTRUCTION.
3. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, ADEQUACY, AND SAFETY OF ERECTION BRACING, TEMPORARY SUPPORTS, ETC.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL BINARY WALLS FLOOR SLABING, STRUCTURAL ELEMENTS AND FINISH MATERIALS.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION, DEMOLITION MEANS AND METHODS ON THE PROJECT.
6. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL MATERIALS, AS REQUIRED BY CODE, ARE TESTED BY INDEPENDENT LABORATORIES AND THAT RESULTS ARE FURNISHED TO LOCAL BUILDING AUTHORITIES, OWNER, AND PROJECT CONSULTANTS.
7. GENERAL CONTRACTOR SHALL VERIFY THE ALLOWABLE HOURS OF CONSTRUCTION WITH THE PLANNING AND BUILDING DEPARTMENTS PRIOR TO COMMENCEMENT OF WORK.
8. ADDITIONAL ON-SITE FIRE PROTECTION DURING CONSTRUCTION TO BE PROVIDED AS REQUIRED BY FIRE MARSHAL.
9. ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR HOW THE WORK IS PERFORMED, SAFETY, OR NEGLIGENT ACTS OR OMISSIONS BY THE OWNER, GENERAL CONTRACTOR, OR THEIR SUB-CONTRACTORS.
10. DOCUMENTS MARKED "SEE DOCUMENTS" SHALL NOT BE USED FOR CONSTRUCTION.
11. ANY CHANGES TO THESE DOCUMENTS OR THE DESIGN AFTER THE ISSUANCE OF A BUILDING PERMIT SHALL BE SUBMITTED BY THE GENERAL CONTRACTOR TO THE PREVIOUS BUILDING AGENCY FOR APPROVAL.

NOTE

1. ALL MECHANICAL AND FIRE PROTECTION SYSTEMS INSTALLED UNDER PREVIOUS APN 09-040-11, APPLICATION #B13-00372.

ABBREVIATIONS

ACC	ACCESSORY	GLV	GLAZIERS
BLDG	BUILDING	MAX	MAXIMUM
CB	CALIFORNIA BUILDING CODE	MIN	MINIMUM
CEC	CALIFORNIA ELECTRICAL CODE	MIR	MIRROR
CMC	CALIFORNIA MECHANICAL CODE	MSC	MODELLINEOUS
CPC	CALIFORNIA PLUMBING CODE	OCC	OCCUPANCY OR OCCUPANT
CHP	CHAPTER	OC	ON CENTER
CLR	CLEAR	PL	PROPERTY LINE
CH	CHAMFER	PROP	PROPOSED
DA	DRAWING	RD	ROUGH OPENING
DWG	DRAWING	SEC	SECTION
DWG	DRAWING	SEC	SECTION
ELEC	ELECTRIC OR ELECTRICAL	SM	SARKLAR
EQ	EQUAL	SF	SQUARE FOOT OR SQUARE FEET
FT	FOOT OR FEET	TYP	TYPICAL
GA	GAGE OR GAUGE	UNL	UNLESS OTHERWISE NOTED

LEGEND

	DETAIL REFERENCE		ROOM NUMBER
	WALL SECTION		DOOR NUMBER
	BUILDING SECTION		WINDOW TYPE
	FINISH OR COLOR		REVISION NUMBER
	EXTERIOR ELEVATION KEY		
	INTERIOR ELEVATION KEY		

MK2
Green Valley Executive Center
5030 Business Center Drive
Suite 150
Fairfield, CA 94534
Phone: (707) 759-5260
Fax: (707) 759-5955
www.mk2eng.com



CONSULTANTS

NO.	REVISION	DATE
1	PLAN CHECK	01-27-2018
2		
3		
4		
5		
6		

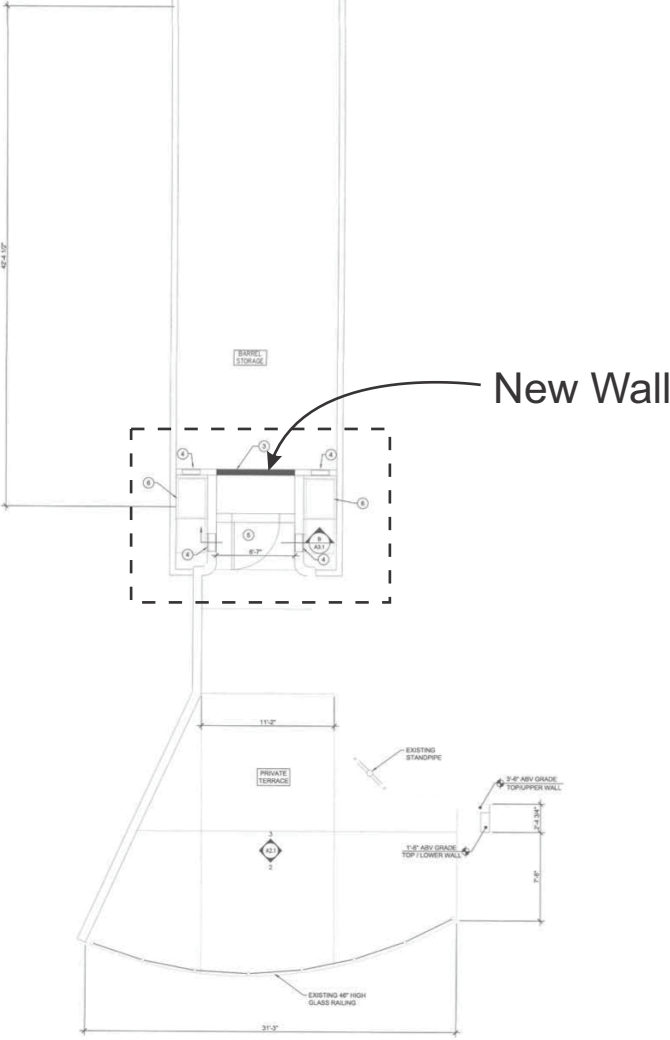
**NAPA CUSTOM CRUSH
PORTAL 4
NEW WALL**
2275 SODA CANYON ROAD
NAPA, CA 94559

**COVER SHEET
ARCHITECTURAL**

SCALE: AS NOTED
DATE: NOV. 18, 2015
DRAWN BY: JRM/MTS
CHECKED BY:
JOB NO.: 1524
SHEET NO.: A0.1

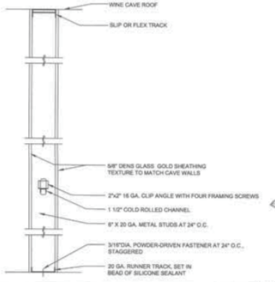


Napa County Building Permit B15-01427

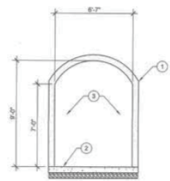


New Wall

PLAN @ TERRACE / C
SCALE: 1/8" = 1'-0"



INTERIOR WALL / A
SCALE: 1/4" = 1'-0"



SECTION / B
SCALE: 1/4" = 1'-0"

SHEET NOTES:

1. EXISTING "HOT-CRETE" CAVE FINISH WALLS/CEILING.
2. EXISTING 8" CONCRETE FLOOR SLAB WITH #4 REBAR AT 18" O.C. BOTH WAYS. OVER 2" SAND. OVER VAPOR BARRIER. OVER 8" GRAIN ROOF (14").
3. NEW INTERIOR WALL, SEE A3.1.
4. EXISTING LOUVERS, SEE MECHANICAL PLAN NO.1
5. EXISTING 4'-0" WIDE DOOR
6. EXISTING FANS, SEE MECHANICAL DETAILS TMT.1.

7. **Notes For Glass Dr. G.**
 - a. Glass shall be minimum 1/2" thick and 1/2" thick.
 - b. Glass shall be minimum 1/2" thick and 1/2" thick.
 - c. Glass shall be minimum 1/2" thick and 1/2" thick.
 - d. Glass shall be minimum 1/2" thick and 1/2" thick.
 - e. Glass shall be minimum 1/2" thick and 1/2" thick.
 - f. Glass shall be minimum 1/2" thick and 1/2" thick.
 - g. Glass shall be minimum 1/2" thick and 1/2" thick.
 - h. Glass shall be minimum 1/2" thick and 1/2" thick.
8. **Notes For Glass Dr. G.**
 - a. Glass shall be minimum 1/2" thick and 1/2" thick.
 - b. Glass shall be minimum 1/2" thick and 1/2" thick.
 - c. Glass shall be minimum 1/2" thick and 1/2" thick.
 - d. Glass shall be minimum 1/2" thick and 1/2" thick.
 - e. Glass shall be minimum 1/2" thick and 1/2" thick.
 - f. Glass shall be minimum 1/2" thick and 1/2" thick.
 - g. Glass shall be minimum 1/2" thick and 1/2" thick.
 - h. Glass shall be minimum 1/2" thick and 1/2" thick.

Drawn by: *[Signature]*
Checked by: *[Signature]*

REVIEWED FOR CODE COMPLIANCE

Approval of these plans does not authorize or approve any omission or deviation from the requirements of state law or local ordinances. One set of approval plans shall be available on file. FEB 8 2 09 PM
By: *[Signature]*
No. 15-01427
Napa County Planning, Building & Environmental Services
slp, ch.

MK2
Green Valley Executive Center
5030 Business Center Drive
Suite 150
Fairfield, CA 94534
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Fax: (707) 759-5905
www.mk2eng.com



CONSULTANTS

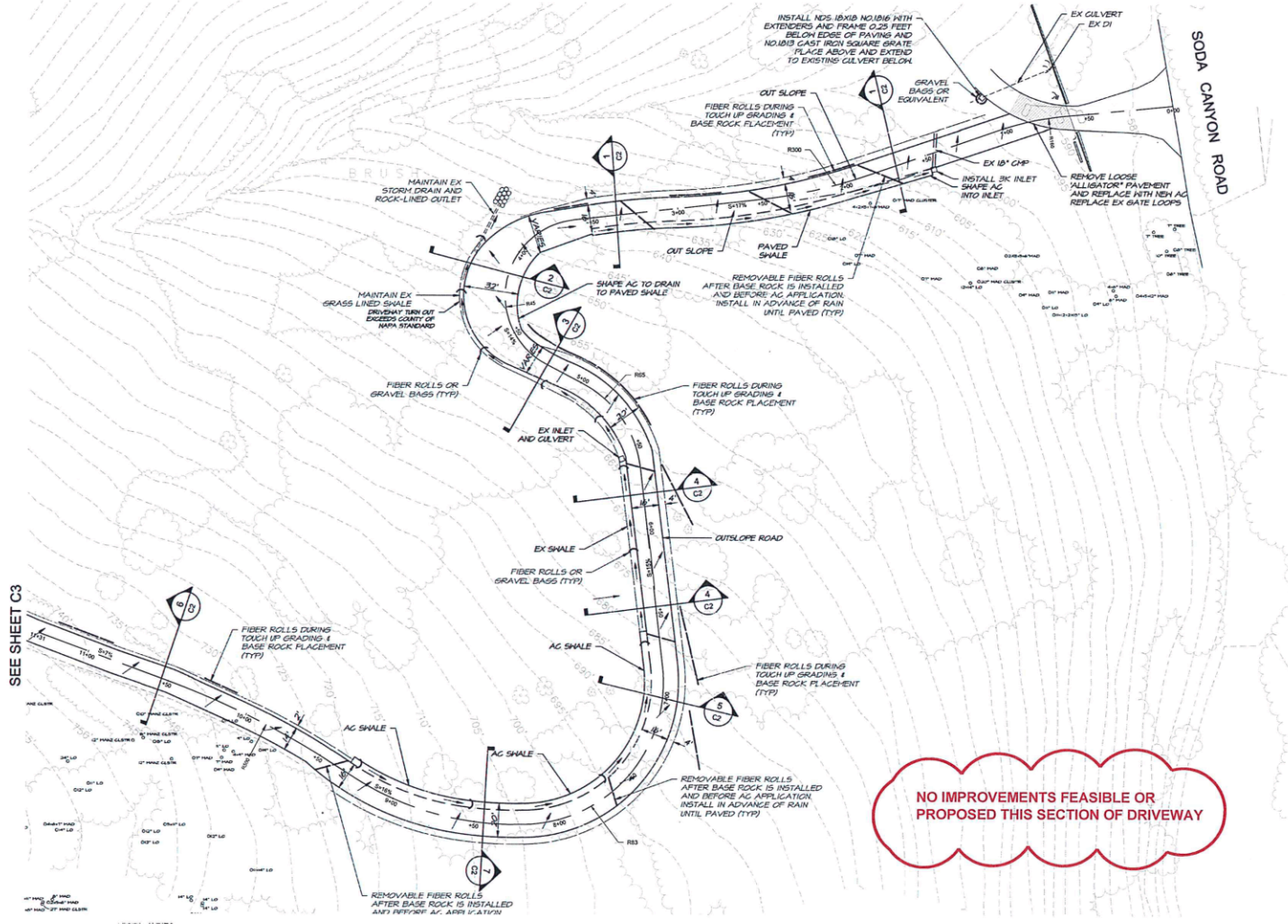
NO.	REVISION	DATE
1	PLAN CHECK	01-27-2018
2		
3		
4		
5		

PROJECT
**NAPA
CUSTOM CRUSH
PORTAL 4
NEW WALL**
2275 SODA CANYON ROAD
NAPA, CA 94559

SHEET CONTENTS
**WINE CAVE WALL
DETAIL AND CAVE
SECTION**

SCALE: AS NOTED
DATE: NOV 18, 2015
DRAWN BY: JH/MVTS
CHECKED BY:
JOB NO.: 15M

SHEET NO. **A3.1**



IMPORTANT NOTE
 THE UNDERLYING DESIGN SHOWN ON THESE PLANS WAS PREPARED BY JAMES L. CASSAYRE, ENGINEER, AND APPROVED BY NAPA COUNTY IN 2013. THEY ARE INCLUDED AS A REFERENCE ONLY. ALL IMPROVEMENTS PROPOSED BY THIS PLAN ARE HIGHLIGHTED IN RED AND CLOUDED.



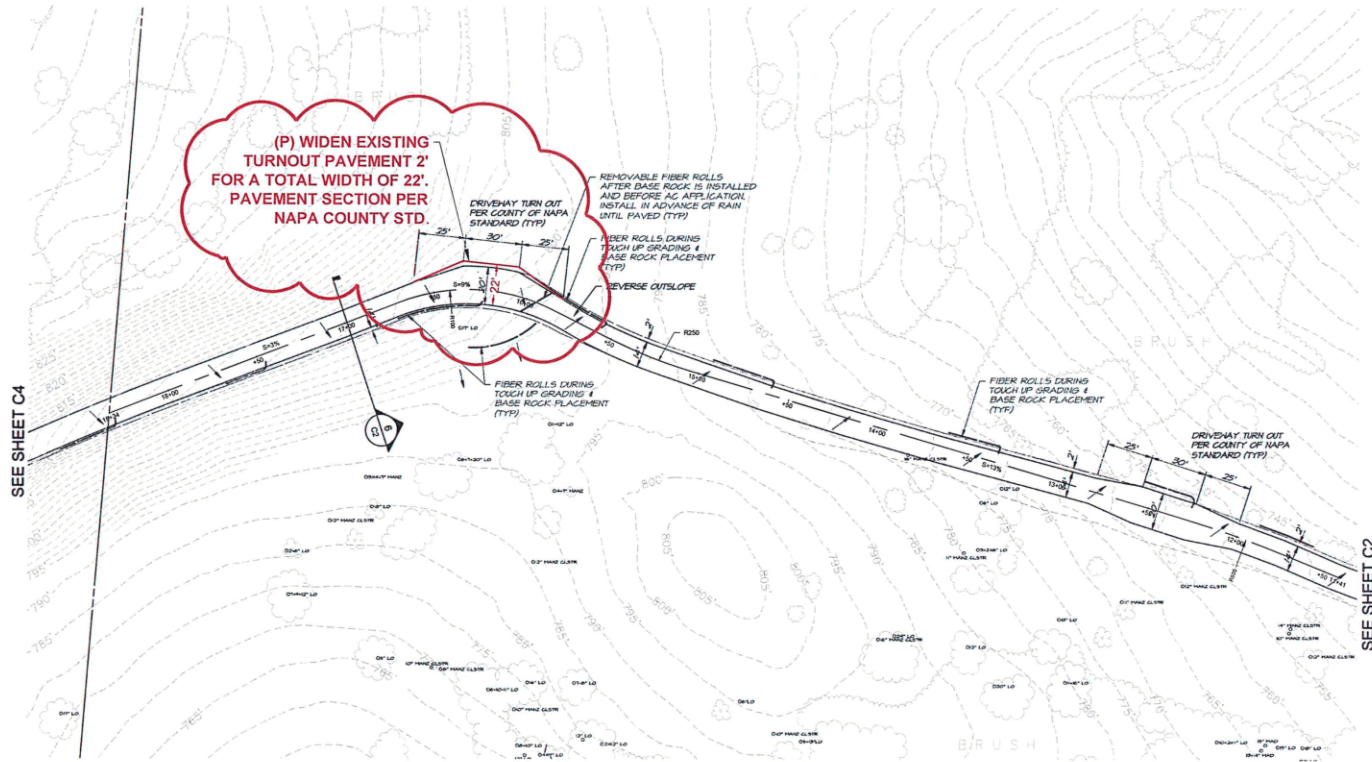
PREPARED BY:
 CAMERON PRIMMORE PE, PLS
 1897 CHASE VALLEY ROAD
 NAPA, CA 94958
 (707) 815-5989
 CAMERON@CMPENGINEERING.COM
 PROJECT # 2022 DATE: 01/20/24

REV. #	DESCRIPTION	DATE

PROJECT INFO:
 THE CAVES AT
 SODA CANYON WINERY
 2275 SODA CANYON ROAD
 NAPA CA 94958
 APN: 039-640-011

SHEET NAME:
**DRIVEWAY
 IMPROVEMENT
 PLAN 1**

SHEET:
C2
 OF 4



IMPORTANT NOTE
 THE UNDERLYING DESIGN SHOWN ON THESE PLANS WAS PREPARED BY JAMES L. CASSAYRE, ENGINEER, AND APPROVED BY NAPA COUNTY IN 2013. THEY ARE INCLUDED AS A REFERENCE ONLY. ALL IMPROVEMENTS PROPOSED BY THIS PLAN ARE HIGHLIGHTED IN RED AND CLOUDED.



PREPARED BY:
 CAMERON PRIDMORE PE, PLS
 1807 WILSON ROAD
 NAPA, CA 94958
 (707) 814-0888
 CAMERON@PRIDMORE.COM
 CAMERONPRIDMORE.COM

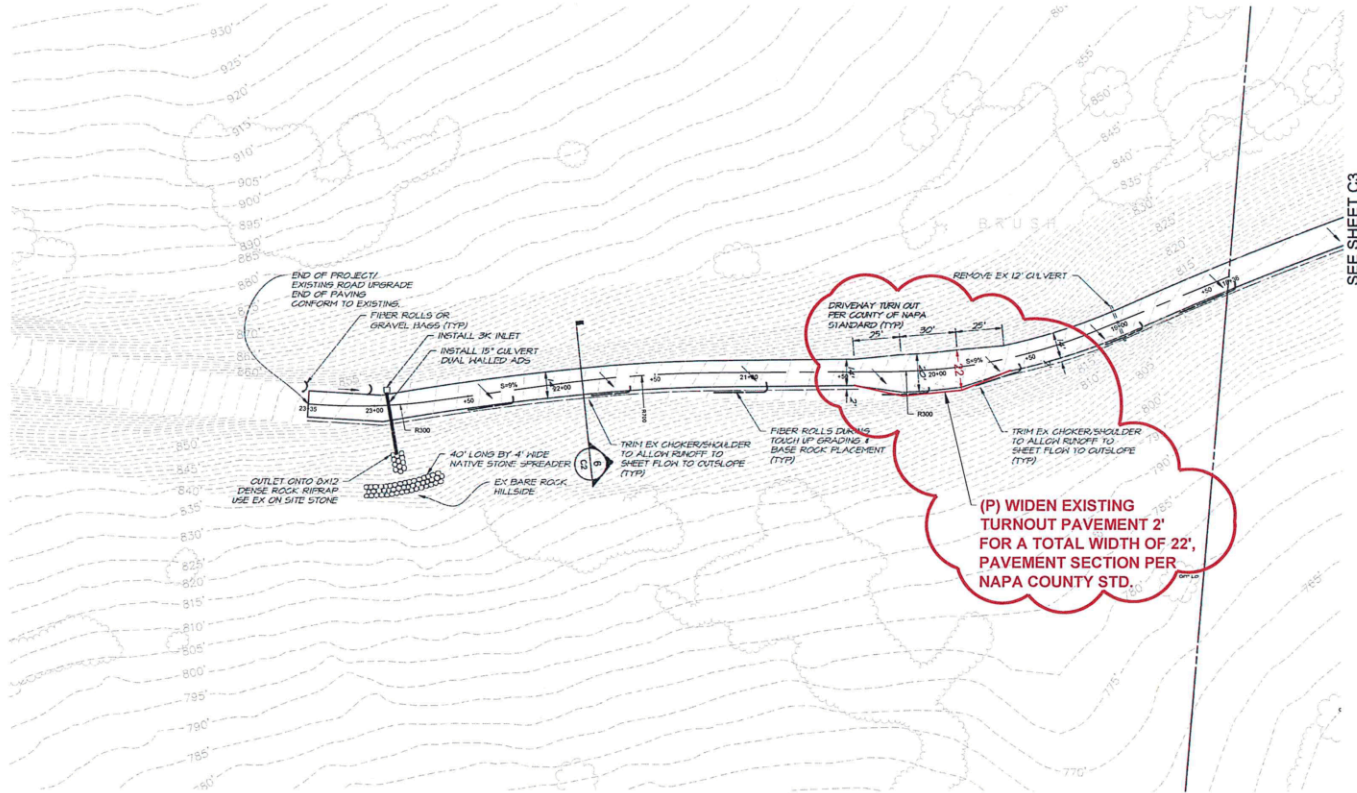
PROJECT # 0412 DATE: 10/20/16

REV. #	DESCRIPTION	DATE

PROJECT INFO:
 THE CAVES AT
 SODA CANYON WINERY
 2275 SODA CANYON ROAD
 NAPA CA 94958
 APN: 039-640-011

SHEET NAME:
**DRIVEWAY
 IMPROVEMENT
 PLAN 2**

SHEET:
C3



SEE SHEET C3

(P) WIDEN EXISTING TURNOUT PAVEMENT 2' FOR A TOTAL WIDTH OF 22', PAVEMENT SECTION PER NAPA COUNTY STD.



IMPORTANT NOTE
 THE UNDERLYING DESIGN SHOWN ON THESE PLANS WAS PREPARED BY JAMES L. CASSAYRE, ENGINEER, AND APPROVED BY NAPA COUNTY IN 2013. THEY ARE INCLUDED AS A REFERENCE ONLY. ALL IMPROVEMENTS PROPOSED BY THIS PLAN ARE HIGHLIGHTED IN RED AND CLOUDED.



PREPARED BY:
 CAMERON PRIDMORE PE, PLS
 1897 N. CALLE ROAD
 NAPA, CA 94558
 (707) 815-5888
 CAMERON@CAMPRIORLAND.COM
 PROJECT # 0052 DATE: 01/20/16

REV. #	DESCRIPTION	DATE

PROJECT INFO:
 THE CAVES AT
 SODA CANYON WINERY
 2275 SODA CANYON ROAD
 NAPA, CA 94558
 APN: 039-640-011

SHEET NAME:
**DRIVEWAY
 IMPROVEMENT
 PLAN 3**

SHEET:
C4
 OF 4