

“G”

Use Permit Modification Application  
Packet



A Tradition of Stewardship  
A Commitment to Service

file No PIS-00307

Napa County  
**Planning, Building, and Environmental Services**  
1195 Third Street, Suite 210, Napa, California, 94559 phone (707) 253-4417  
web [www.countyofnapa.org](http://www.countyofnapa.org) email [planning@countyofnapa.org](mailto:planning@countyofnapa.org)

**Use Permit Application**

To be completed by Planning staff...

Application Type: Major Modification

Date Submitted: 9/15/15 Resubmittal(s): 2/16/16 Date Complete: \_\_\_\_\_

Request: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\*Application Fee Deposit: \$ 5000.00 Receipt No. 110055 Received by: Dana Ayers Date: 9/15/15

\*Total Fees will be based on actual time and materials

To be completed by applicant...

Project Name: Raymond/Ticen Ranch Winery

Assessor's Parcel No: 030-270-013 & 031 and 030-270-012 Existing Parcel Size: 60.72 + 25.5 = 86.22 ac.

Site Address/Location: 849 Zinfandel Lane, St. Helena, CA 94574  
No. Street City State Zip

Primary Contact:  Owner  Applicant  Representative (attorney, engineer, consulting planner, etc.)

Property Owner: Raymond/Ticen Vineyards & Cellars

Mailing Address: 849 Zinfandel Lane, St. Helena, CA 94574  
No. Street City State Zip

Telephone No (707) 963 - 8511 E-Mail: jeancharles.boisett@boisett.com

Applicant (if other than property owner): Tom Blackwood

Mailing Address: 849 Zinfandel Lane, St. Helena, CA 94574  
No. Street City State Zip

Telephone No (707) 287 - 7458 E-Mail: tom.blackwood@boisett.com

Representative (if applicable): Donna Oldford, Plans4Wine

Mailing Address: 2620 Pinot Way, St. Helena, CA 94574  
No. Street City State Zip

Telephone No (707) 963 - 5832 E-Mail: DBOldford@aol.com

---

## Use Permit Information Sheet

---

### Use

Narrative description of the proposed use (please attach additional sheets as necessary):

No change in current production or visitation, revised marketing plan to smaller events, but same overall numbers.  
Increase winery employees from 24 to 90. Merge two parcels to one, with new entry on Highway 29.  
Convert historic residence within 600-foot setback to winery use. Increase parking from current 80 spaces to 142 spaces. Revised production and visitation hours. Conversion of production space to accessory winery use.  
Convert two residential uses (Ticen and pool house) to accessory. Construct outdoor vineyard viewing platform.  
Recognize dog care facility. Construct 510 square feet of outdoor restrooms. Install two new water storage tanks for 20,000 gallons.

---

---

---

---

What, if any, additional licenses or approvals will be required to allow the use?

District	<u>N/A</u>	Regional	<u>N/A</u>
State	<u>RWQCB, Caltrans, ABC</u>	Federal	<u>BATF</u>

### Improvements

Narrative description of the proposed on-site and off-site improvements (please attach additional sheets as necessary):

New entry from Highway 29 on Ticen parcel. Move approved commercial from interior to outdoors.  
Demo pool by pool house, replace with landscaping. Improve existing use for dog comfort facility.  
Add 50 spaces in proximity to Raymond Winery and add 11 spaces near Ticen, for a total of 142 spaces.  
Add expansion to existing sanitary wastewater treatment and expand capacity of sanitary septic at Ticen structure. Revise winery access road to emphasize new entry on Highway 29 and reduce traffic on Zinfandel Lane. Convert 10,670 square feet of production space to accessory use.  
See Project Statement for details.

---

---

---

---

---

---

Improvements, cont.

Total on-site parking spaces: 81 existing 142 proposed  
Loading areas: -0- existing No change proposed

Fire Resistivity (check one; if not checked, Fire Marshal will assume Type V – non rated):

- Type I FR
  - Type II 1 Hr
  - Type II N (non-rated)
  - Type III 1 Hr
  - Type III N
  - Type IV H.T. (Heavy Timber)
  - Type V 1 Hr.
  - Type V (non-rated)
- (for reference, please see the latest version of the California Building Code)*

Is the project located in an Urban/Wildland Interface area?  Yes  No

Total land area to be disturbed by project (include structures, roads, septic areas, landscaping, etc): 3 acres acres

Employment and Hours of Operation \*

Days of operation: Sun-Sat weekly existing 7 days/week proposed  
Hours of operation: 6:00 am - 6:00 pm existing 6:00 am - 11:00 pm proposed  
Anticipated number of employee shifts: 2 existing No change proposed  
Anticipated shift hours: 6:00 am - 6:00 pm existing 3:30 pm - 11:00 pm proposed

Maximum Number of on-site employees:

- 10 or fewer
- 11-24
- 25 or greater (specify number) 90

\*See Project Statement for details of hours of operation and visitation as per mitigation.

---

## Certification and Indemnification

---

Applicant certifies that all the information contained in this application, including all information required in the Checklist of Required Application Materials and any supplemental submitted information including, but not limited to, the information sheet, water supply/waste disposal information sheet, site plan, floor plan, building elevations, water supply/waste disposal system site plan and toxic materials list, is complete and accurate to the best of his/her knowledge. Applicant and property owner hereby authorize such investigations including access to County Assessor's Records as are deemed necessary by the County Planning Division for preparation of reports related to this application, *including the right of access to the property involved.*

Pursuant to Chapter 1.30 of the Napa County Code, as part of the application for a discretionary land use project approval for the project identified below, Applicant agrees to defend, indemnify, release and hold harmless Napa County, its agents, officers, attorneys, employees, departments, boards and commissions (hereafter collectively "County") from any claim, action or proceeding (hereafter collectively "proceeding") brought against County, the purpose of which is to attack, set aside, void or annul the discretionary project approval of the County, or an action relating to this project required by any such proceeding to be taken to comply with the California Environmental Quality Act by County, or both. This indemnification shall include, but not be limited to damages awarded against the County, if any, and cost of suit, attorneys' fees, and other liabilities and expenses incurred in connection with such proceeding that relate to this discretionary approval or an action related to this project taken to comply with CEQA whether incurred by the Applicant, the County, and/or the parties initiating or bringing such proceeding. Applicant further agrees to indemnify the County for all of County's costs, attorneys' fees, and damages, which the County incurs in enforcing this indemnification agreement.

Applicant further agrees, as a condition of project approval, to defend, indemnify and hold harmless the County for all costs incurred in additional investigation of or study of, or for supplementing, redrafting, revising, or amending any document (such as an EIR, negative declaration, specific plan, or general plan amendment) if made necessary by said proceeding and if the Applicant desires to pursue securing approvals which are conditioned on the approval of such documents.

In the event any such proceeding is brought, County shall promptly notify the Applicant of the proceeding, and County shall cooperate fully in the defense. If County fails to promptly notify the Applicant of the proceeding, or if County fails to cooperate fully in the defense, the Applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the County. The County shall retain the right to participate in the defense of the proceeding if it bears its own attorneys' fees and costs, and defends the action in good faith. The Applicant shall not be required to pay or perform any settlement unless the settlement is approved by the Applicant.

\_\_\_\_\_  
Print Name of Property Owner

Jean-Charles Boisset  
Print Name Signature of Applicant (if different)

\_\_\_\_\_  
Signature of Property Owner

9/4/15

Date

\_\_\_\_\_  
Signature of Applicant

Date

## Supplemental Application for Winery Uses

### Operations

Please indicate whether the activity or uses below are already legally **EXISTING**, whether they exist and are proposed to be **EXPANDED** as part of this application, whether they are **NEWLY PROPOSED** as part of this application, or whether they are neither existing nor proposed (**NONE**).

Retail Wine Sales	<input checked="" type="checkbox"/> Existing	<input type="checkbox"/> Expanded	<input type="checkbox"/> Newly Proposed	<input type="checkbox"/> None
Tours and Tasting- Open to the Public	<input checked="" type="checkbox"/> Existing			
Tours and Tasting- By Appointment	<input type="checkbox"/> Existing	<input checked="" type="checkbox"/> Expanded	<input type="checkbox"/> Newly Proposed	<input type="checkbox"/> None
Food at Tours and Tastings	<input type="checkbox"/> Existing	<input type="checkbox"/> Expanded	<input checked="" type="checkbox"/> Newly Proposed	<input type="checkbox"/> None
Marketing Events*	<input type="checkbox"/> Existing	<input checked="" type="checkbox"/> Expanded	<input type="checkbox"/> Newly Proposed	<input type="checkbox"/> None
Food at Marketing Events	<input type="checkbox"/> Existing	<input checked="" type="checkbox"/> Expanded	<input type="checkbox"/> Newly Proposed	<input type="checkbox"/> None
Will food be prepared...	<input checked="" type="checkbox"/> On-Site?	<input checked="" type="checkbox"/> Catered?		
Public display of art or wine-related items	<input type="checkbox"/> Existing	<input type="checkbox"/> Expanded	<input checked="" type="checkbox"/> Newly Proposed	<input type="checkbox"/> None

\* For reference please see definition of "Marketing," at Napa County Code §18.08.370 - <http://library.municode.com/index.aspx?clientId=16513>

### Production Capacity \*

Please identify the winery's...

Existing production capacity: 750,000 gal/y Per permit No: 4-89-46 Permit date: 02/1999

Current maximum actual production: 750,000 gal/y For what year? 2010\*

Proposed production capacity: No change gal/y

\* For this section, please see "Winery Production Process," at page 11.

### Visitation and Hours of Operation

Please identify the winery's...

Maximum daily tours and tastings visitation:	<u>400</u> existing	<u>No change</u> proposed
Average daily tours and tastings visitation <sup>1</sup> :	<u>200</u> existing	<u>400</u> proposed
Visitation hours (e.g. M-Sa, 10am-4pm):	<u>10:00 am - 4:00 pm</u> existing	<u>10:00 am - 6:30 pm</u> proposed
Non-harvest Production hours <sup>2</sup> :	<u>6:00 am - 6:00 pm</u> existing	<u>6:00 am - 11:00 pm</u> proposed

\* Averaged over 3 years, not to exceed 900,000 in any one year.

<sup>1</sup> Average daily visitation is requested primarily for purposes of environmental review and will not, as a general rule, provide a basis for any condition of approval limiting allowed winery visitation.

<sup>2</sup> It is assumed that wineries will operate up to 24 hours per day during crush.

## Grape Origin

All new wineries and any existing (pre-WDO) winery expanding beyond its winery development area must comply with the 75% rule and complete the attached "Initial Statement of Grape Source". See Napa County Code §18.104.250 (B) & (C).

## Marketing Program

Please describe the winery's proposed marketing program. Include event type, maximum attendance, food service details, etc. Differentiate between existing and proposed activities. (Attach additional sheets as necessary.)

Up to 10 persons event daily

Up to 30 persons twice weekly

Up to 100 persons twice monthly

Represents a reallocation of events and visitors from currently approved marketing plan.

Otherwise, no change from existing proposed winery marketing plan.

## Food Service

Please describe the nature of any proposed food service including type of food, frequency of service, whether prepared on site or not, kitchen equipment, eating facilities, etc. Please differentiate between existing and proposed food service. (Attach additional sheets as necessary.)

Applicant requests the ability to serve food with some tastings and requests A.B. 2004 Ordinance.

Food service will be provided by caterers for some events and by an approved on-site commercial kitchen for others.

Applicant requests moving the currently approved commercial kitchen from interior space to outdoor area.

Applicant requests the ability to do some events outdoors, in specifically described areas.

See Project Statement for details.

## Definitions

The below are paraphrased from County Code, please see referenced code sections for full text.

- Winery Development Area** – All aggregate paved or impervious or semi-permeable ground surface areas of the production facility which includes all storage areas (except caves), offices, laboratories, kitchens, tasting rooms and paved parking areas for the exclusive use of winery employees. *See Napa County Code §18.104.210*
- Winery Coverage** – The total square foot area of all winery building footprints, all aggregate paved or impervious ground surface areas of the production facility which includes all outside work, tank and storage areas (except caves); all paved areas including parking and loading areas, walkways, and access driveways to public or private roads or rights-of-way; and all above-ground wastewater and run-off treatment systems. *See Napa County Code §18.104.220*
- Production Facility** – (For the purpose to calculate the maximum allowable accessory use) The total square footage of all winery crushing, fermenting, bottling, bulk and bottle storage, shipping, receiving, laboratory, equipment storage and maintenance facilities, and employee-designated restrooms but does not include wastewater treatment or disposal areas which cannot be used for agricultural purposes. *See Napa County Code §18.104.200*
- Accessory Use** - The total square footage of area within winery structures used for accessory uses related to a winery that are not defined as “production facility” which would include offices, lobbies/waiting rooms, conference/meeting rooms, non-production access hallways, kitchens, tasting rooms (private and public areas), retail space areas, libraries, non-employee designated restrooms, art display areas, or any area within winery structures not directly related to wine production. *See Napa County Code §18.104.200*

### Conservation Development and Planning

## Winery Production Process



A Tradition of Stewardship  
A Commitment to Service

The Napa County Code contains various references to winery production and refers to production capacity as “the wine bottled or received” at a winery and refers to “bottling and storage of bottled wine and shipping and receiving of bulk and bottled wine.” (Code Section 18.16.030(G)(4))<sup>1</sup>

This handout was developed by the County planning staff with the assistance of a number of local industry representatives to assist property owners and other interested parties in interpreting Napa County Code references to winery production. It does not create a new definition or regulation.

A winery’s total annual production equals either (1) the sum of all wine created through fermentation in a given year, plus the net total of all fermented bulk wine received and shipped in the same year, including all bottled wine received on the premises during the same year; or (2) the amount of wine bottled on the premises in the same given year, whichever is greater.

Using the diagram on the right, this means the greater of  $A+(B-C)$ , or  $D$ . If  $B-C$  is a negative number, total production is equal to either  $A$  or  $D$ , whichever is greater.

This interpretation holds true for all physical winery facilities regardless of the number of business entities (e.g. Alternating Proprietors/Custom Crush) they accommodate or the date that their production capacity was established or recognized. However, wineries occupying multiple facilities are governed by the specific terms of their use permit or Certificate of Legal Non-conformity (CLN), which may vary.

Quantities represented by items A through D on the diagram can be determined by reviewing a winery’s annual submittals to the federal Bureau of Alcohol, Tobacco and Firearms (ATF). The County may periodically request a copy of these submittal(s) as a way to monitor compliance with previously adopted conditions/requirements. The County recognizes that annual variations can occur due to the grape harvest and the timing of finishing/bottling, and will generally review and average three to five consecutive years of data.

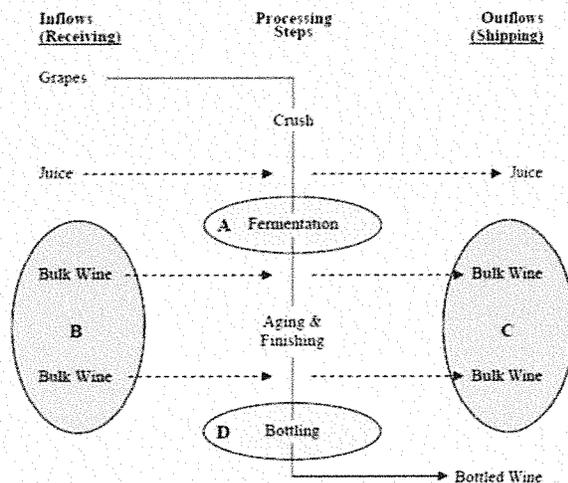


Figure 1. Winery Production Process

<sup>1</sup> The complexity of these statements can be attributed to the authors’ desire to avoid “double counting” bulk wine that is both received and bottled at a winery, and the fact that multiple vintages are present within a winery at any given time.

July 2008



---

**Initial Statement of Grape Source**

---

Pursuant to Napa County Zoning Ordinance Sections 12419(b) and (c),  
I hereby certify that the current application for establishment or expansion of a winery  
pursuant to the Napa County Winery Definition Ordinance will employ sources of  
grapes in accordance with the requirements of Section 12419(b) and/or (c) of that  
Ordinance.

Owner's Signature

A handwritten signature in black ink, appearing to be 'J. A. ...', written over a horizontal line.

Date

9/11/15

*Letters of commitment from grape suppliers and supporting documents may be required prior to issuance of any building permits for the project. Recertification of compliance will be required on a periodic basis. Recertification after initiation of the requested wine production may require the submittal of additional information regarding individual grape sources. Proprietary information will not be disclosed to the public.*

## Water Supply/ Waste Disposal Information Sheet

### Water Supply

Please attach completed Phase I Analysis sheet.

	<b>Domestic</b>	<b>Emergency</b>
Proposed source of water (e.g., spring, well, mutual water company, city, district, etc.):	Groundwater Wells (5) _____	Water tanks _____
Name of proposed water supplier (if water company, city, district):	Private _____	Private _____
Is annexation needed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Current water use:	21,790 _____ gallons per day (gal/d)	
Current water source:	Groundwater Wells _____	Water tanks _____
Anticipated future water demand:	19,817 _____ gal/d	22,000 _____ gal/d
Water availability (in gallons/minute):	100 _____ gal/m	100 _____ gal/m
Capacity of water storage system:	10,000 _____ gal	10,000 _____ gal
Type of emergency water storage facility if applicable (e.g., tank, reservoir, swimming pool, etc.):	Water storage tanks _____	

### Liquid Waste

Please attach Septic Feasibility Report

	<b>Domestic</b>	<b>Other</b>
Type of waste:	sewage _____	Process _____
Disposal method (e.g., on-site septic system, on-site ponds, community system, district, etc.):	On-site septic _____	On-site process _____
Name of disposal agency (if sewage district, city, community system):	Private _____	Private ponds _____
Is annexation needed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Current waste flows (peak flow):	1,745 _____ gal/d	N/A _____ gal/d
Anticipated future waste flows (peak flow):	4,800 _____ gal/d	N/A _____ gal/d
Future waste disposal design capacity:	4,800 _____ gal/d	N/A _____ gal/d

### Solid Waste and Recycling Storage and Disposal

Please include location and size of solid waste and recycling storage area on site plans in accordance with the guidelines available at [www.countyofnapa.org/dem](http://www.countyofnapa.org/dem).

### Hazardous and/or Toxic Materials

If your facility generates hazardous waste or stores hazardous materials above threshold planning quantities (55 gallons liquid, 500 pounds solid or 200 cubic feet of compressed gas) then a hazardous materials business plan and/or a hazardous waste generator permit will be required.

### Grading Spoils Disposal

Where will grading spoils be disposed of?  
(e.g. on-site, landfill, etc. If off-site, please indicate where off-site): On-site

## ----- Winery Traffic Information / Trip Generation Sheet -----

### Traffic during a Typical Weekday

Number of FT employees: <u>76</u> x 3.05 one-way trips per employee	=	<u>232</u>	daily trips.
Number of PT employees: <u>14</u> x 1.90 one-way trips per employee	=	<u>27</u>	daily trips.
Average number of weekday visitors: <u>200</u> / 2.6 visitors per vehicle x 2 one-way trips	=	<u>154</u>	daily trips.
Gallons of production: <u>750,000</u> / 1,000 x .009 truck trips daily <sup>3</sup> x 2 one-way trips	=	<u>14</u>	daily trips.
Total	=	<u>427</u>	daily trips.
(No of FT employees) + (No of PT employees/2) + sum of visitor and truck trips x .38)	=	<u>162</u>	PM peak trips.

### Traffic during a Typical Saturday

Number of FT employees (on Saturdays): <u>5</u> x 3.05 one-way trips per employee	=	<u>15</u>	daily trips.
Number of PT employees (on Saturdays): <u>10</u> x 1.90 one-way trips per employee	=	<u>19</u>	daily trips.
Average number of Saturday visitors: <u>400</u> / 2.8 visitors per vehicle x 2 one-way trips	=	<u>286</u>	daily trips.
Total	=	<u>320</u>	daily trips.
(No of FT employees) + (No of PT employees/2) + visitor trips x .57)	=	<u>182</u>	PM peak trips.

### Traffic during a Crush Saturday

Number of FT employees (during crush): <u>76</u> x 3.05 one-way trips per employee	=	<u>231</u>	daily trips.
Number of PT employees (during crush): <u>14</u> x 1.90 one-way trips per employee	=	<u>27</u>	daily trips.
Average number of Saturday visitors: <u>400</u> / 2.8 visitors per vehicle x 2 one-way trips	=	<u>286</u>	daily trips.
Gallons of production: <u>750,000</u> / 1,000 x .009 truck trips daily x 2 one-way trips	=	<u>14</u>	daily trips.
Avg. annual tons of grape on-haul: <u>2,000</u> / 144 truck trips daily <sup>4</sup> x 2 one-way trips	=	<u>440</u>	daily trips
*Peak Production , several years out	=	<u>569</u>	daily trips.

### Largest Marketing Event – Additional Traffic

Number of event staff (largest event): <u>10</u> x 2 one-way trips per staff person	=	<u>20</u>	trips.
Number of visitors (largest event): <u>100</u> / 2.8 visitors per vehicle x 2 one-way trips	=	<u>71</u>	trips.
Number of special event truck trips (largest event): <u>4</u> x 2 one-way trips	=	<u>8</u>	trips.

-----  
<sup>3</sup>Assumes 1.47 materials & supplies trips + 0.8 case goods trips per 1,000 gallons of production / 250 days per year (see *Traffic Information Sheet Addendum* for reference).

<sup>4</sup>Assume 4 tons per trip / 36 crush days per year (see *Traffic Information Sheet Addendum* for reference).



A Tradition of Stewardship  
A Commitment to Service

Planning, Building & Environmental Services - David Morrison, Director  
1195 Third Street, Napa, CA 94559 - (707) 253-4417 - www.countyofnapa.org

Project name & APN: Raymond/Ticen Winery APNs 030-270-013, -012  
Project number if known: P-15-00307  
Contact person: Tom Blackwood, Director of Govt. Relations  
Contact email & phone number: tom.blackwood@boisset.com  
Today's date: 02/16/2016      (707)287-7458

### Voluntary Best Management Practices Checklist for Development Projects

Napa County General Plan Policy CON-65 (e) and Policy CON-67 (d) requires the consideration of Greenhouse Gas (GHG) emissions in the review of discretionary projects and to promote and encourage "green building" design. The below Best Management Practices (BMPs) reduce GHG emissions through energy and water conservation, waste reduction, efficient transportation, and land conservation. The voluntary checklist included here should be consulted early in the project and be considered for inclusion in new development. It is not intended, and likely not possible for all projects to adhere to all of the BMPs. Rather, these BMPs provide a portfolio of options from which a project could choose, taking into consideration cost, co-benefits, schedule, and project specific requirements. Please check the box for all BMPs that your project proposes to include and include a separate narrative if your project has special circumstances.

### Practices with Measurable GHG Reduction Potential

The following measures reduce GHG emissions and if needed can be calculated. They are placed in descending order based on the amount of emission reduction potential.

Already Doing    Plan To Do

ID #    BMP Name

**BMP-1 Generation of on-site renewable energy**

*If a project team designs with alternative energy in mind at the conceptual stage it can be integrated into the design. For instance, the roof can be oriented, sized, and engineered to accommodate photovoltaic (PV) panels. If you intend to do this BMP, please indicate the location of the proposed PV panels on the building elevations or the location of the ground mounted PV array on the site plan. Please indicate the total annual energy demand and the total annual kilowatt hours produced or purchased and the potential percentage reduction of electrical consumption. Please contact staff or refer to the handout to calculate how much electrical energy your project may need.*

---

---

---

---

**BMP-2 Preservation of developable open space in a conservation easement**

*Please indicate the amount and location of developable land (i.e.: under 30% slope and not in creek setbacks or environmentally sensitive areas for vineyards) conserved in a permanent easement to prohibit future development.*

---

---

Already Plan  
Doing To Do

**BMP-3 Habitat restoration or new vegetation (e.g. planting of additional trees over 1/2 acre)**

*Napa County is famous for its land stewardship and preservation. Restoring areas within the creek setback reduces erosion potential while planting areas that are currently hardscape (such as doing a bio-retention swale rather than underground storm drains) reduces storm water and helps the groundwater recharge. Planting trees can also increase the annual uptake of CO2e and add the County's carbon stock.*

**BMP-4 Alternative fuel and electrical vehicles in fleet**

*The magnitude of GHG reductions achieved through implementation of this measure varies depending on the analysis year, equipment, and fuel type replaced.*

**Number of total vehicles**

**Typical annual fuel consumption or VMT**

**Number of alternative fuel vehicles**

**Type of fuel/vehicle(s)**

**Potential annual fuel or VMT savings**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**BMP-5 Exceed Title 24 energy efficiency standards: Build to CALGREEN Tier 2**

*The California Building Code update effective January 1, 2011 has new mandatory green building measures for all new construction and has been labeled CALGREEN. CALGREEN provides two voluntary higher levels labeled CALGREEN Tier I and CALGREEN Tier II. Each tier adds a further set of green building measures that go above and beyond the mandatory measures of the Code. In both tiers, buildings will use less energy than the current Title 24 California Energy Code. Tier I buildings achieve at least a 15% improvement and Tier 2 buildings are to achieve a 30% improvement. Both tiers require additional non-energy prerequisites, as well as a certain number of elective measures in each green building category (energy efficiency, water efficiency, resource conservation, indoor air quality and community).*

**BMP-6 Vehicle Miles Traveled (VMT) reduction plan**

*Selecting this BMP states that the business operations intend to implement a VMT reduction plan reducing annual VMTs by at least 15%.*

Tick box(es) for what your Transportation Demand Management Plan will/does include:

- employee incentives
- employee carpool or vanpool
- priority parking for efficient transportation (hybrid vehicles, carpools, etc.)
- bike riding incentives
- bus transportation for large marketing events
- Other:

\_\_\_\_\_

Estimated annual VMT

\_\_\_\_\_

Potential annual VMT saved

\_\_\_\_\_

% Change

\_\_\_\_\_

Already Plan  
Doing To Do

**BMP-7 Exceed Title 24 energy efficiency standards: Build to CALGREEN Tier 1**

*See description below under BMP-5.*

---

---

**BMP-8 Solar hot water heating**

*Solar water heating systems include storage tanks and solar collectors. There are two types of solar water heating systems: active, which have circulating pumps and controls, and passive, which don't. Both of them would still require additional heating to bring them to the temperature necessary for domestic purposes. They are commonly used to heat swimming pools.*

---

---

**BMP-9 Energy conserving lighting**

*Lighting is approximately 25% of typical electrical consumption. This BMP recommends installing or replacing existing light bulbs with energy-efficient compact fluorescent (CF) bulbs or Light Emitting Diode (LED) for your most-used lights. Although they cost more initially, they save money in the long run by using only 1/4 the energy of an ordinary incandescent bulb and lasting 8-12 times longer. Typical payback from the initial purchase is about 18 months.*

---

---

**BMP-10 Energy Star Roof/Living Roof/Cool Roof**

*Most roofs are dark-colored. In the heat of the full sun, the surface of a black roof can reach temperatures of 158 to 194 °F. Cool roofs, on the other hand, offer both immediate and long-term benefits including reduced building heat-gain and savings of up to 15% the annual air-conditioning energy use of a single-story building. A cool roof and a green roof are different in that the green roof provides living material to act as a both heat sink and thermal mass on the roof which provides both winter warming and summer cooling. A green (living) roof also reduces storm water runoff.*

---

---

**BMP-11 Bicycle Incentives**

*Napa County Zoning Ordinance requires 1 bicycle rack per 20 parking spaces (§18.110.040). Incentives that go beyond this requirement can include on-site lockers for employees, showers, and for visitor's items such as directional signs and information on biking in Napa. Be creative!*

---

---

**BMP-12 Bicycle route improvements**

*Refer to the Napa County Bicycle Plan (NCPTA, December 2011) and note on the site plan the nearest bike routes. Please note proximity, access, and connection to existing and proposed bike lanes (Class I: Completely separated right-of-way; Class II: Striped bike lane; Class III: Signed Bike Routes). Indicate bike accessibility to project and any proposed improvements as part of the project on the site plan or describe below.*

---

---

Already Plan  
Doing To Do

**BMP-13 Connection to recycled water**

*Recycled water has been further treated and disinfected to provide a non-potable (non-drinking water) water supply. Using recycled water for irrigation in place of potable or groundwater helps conserve water resources.*

---

---

**BMP-14 Install Water Efficient fixtures**

*WaterSense, a partnership program by the U.S. Environmental Protection Agency administers the review of products and services that have earned the WaterSense label. Products have been certified to be at least 20 percent more efficient without sacrificing performance. By checking this box you intend to install water efficient fixtures or fixtures that conserve water by 20%.*

---

---

**BMP-15 Low-impact development (LID)**

*LID is an approach to land development (or re-development) that works with nature to manage storm water as close to its source as possible. LID employs principles such as preserving and recreating natural landscape features, minimizing effective imperviousness to create functional and appealing site drainage that treat storm water as a resource rather than a waste product. There are many practices that have been used to adhere to these principles such as bioretention facilities, rain gardens, vegetated rooftops, rain barrels, and permeable pavements. By implementing LID principles and practices, water can be managed in a way that reduces the impact of built areas and promotes the natural movement of water within an ecosystem or watershed. Please indicate on the site or landscape plan how your project is designed in this way.*

---

---

**BMP-16 Water efficient landscape**

*If your project is a residential development proposing in excess of 5,000 sq. ft. or a commercial development proposing in excess of 2,500 sq. ft. The project will be required to comply with the Water Efficient Landscape Ordinance (WELO).*

*Please check the box if you will be complying with WELO or if your project is smaller than the minimum requirement and you are still proposing drought tolerant, xeroscape, native plantings, zoned irrigation or other water efficient landscape.*

---

---

**BMP-17 Recycle 75% of all waste**

*Did you know that the County of Napa will provide recycling collectors for the interior of your business at no additional charge? With single stream recycling it is really easy and convenient to meet this goal. To qualify for this BMP, your business will have to be aggressive, proactive and purchase with this goal in mind.*

---

---

Already Plan  
Doing To Do

**BMP-18 Compost 75% food and garden material**

*The Napa County food composting program is for any business large or small that generates food scraps and compostable, including restaurants, hotels, wineries, assisted living facilities, grocery stores, schools, manufacturers, cafeterias, coffee shops, etc. All food scraps (including meat & dairy) as well as soiled paper and other compostable - see <http://www.naparecycling.com/foodcomposting> for more details.*

---

---

**BMP-19 Implement a sustainable purchasing and shipping programs**

*Environmentally Preferable Purchasing (EPP) or Sustainable Purchasing refers to the procurement of products and services that have a reduced effect on human health and the environment when compared with competing products or services that serve the same purpose. By selecting this BMP, you agree to have an EPP on file for your employees to abide by.*

---

---

**BMP-20 Planting of shade trees within 40 feet of the south side of the building elevation**

*Well-placed trees can help keep your building cool in summer. If you choose a deciduous tree after the leaves drop in autumn, sunlight will warm your building through south and west-facing windows during the colder months. Well-designed landscaping can reduce cooling costs by 20%. Trees deliver more than energy and cost savings; they are important carbon sinks. Select varieties that require minimal care and water, and can withstand local weather extremes. Fruit or nut trees that produce in your area are great choices, providing you with local food as well as shade. Please use the site or landscape plan to indicate where trees are proposed and which species you are using.*

---

---

**BMP-21 Electrical Vehicle Charging Station(s)**

*As plug-in hybrid electric vehicles (EV) and battery electric vehicle ownership is expanding, there is a growing need for widely distributed accessible charging stations. Please indicate on the site plan where the station will be.*

---

---

**BMP-22 Public Transit Accessibility**

*Refer to <http://www.ridethevine.com/vine> and indicate on the site plan the closest bus stop/route. Please indicate if the site is accessed by transit or by a local shuttle. Provide an explanation of any incentives for visitors and employees to use public transit. Incentives can include bus passes, informational hand outs, construction of a bus shelter, transportation from bus stop, etc.*

---

---

Already Doing  Plan To Do

**BMP-23**

**Site Design that is oriented and designed to optimize conditions for natural heating, cooling, and day lighting of interior spaces, and to maximize winter sun exposure; such as a cave.**  
*The amount of energy a cave saves is dependent on the type of soil, the microclimate, and the user's request for temperature control. Inherently a cave or a building burned into the ground saves energy because the ground is a consistent temperature and it reduces the amount of heating and cooling required. On the same concept, a building that is oriented to have southern exposure for winter warmth and shading for summer cooling with an east-west cross breeze will naturally heat, cool, and ventilate the structure without using energy. Please check this box if your design includes a cave or exceptional site design that takes into consideration the natural topography and sitting. Be prepared to explain your approach and estimated energy savings.*

---

**BMP-24 Limit the amount of grading and tree removal**

*Limiting the amount of earth disturbance reduces the amount of CO2 released from the soil and mechanical equipment. This BMP is for a project design that either proposes a project within an already disturbed area proposing development that follows the natural contours of the land, and that doesn't require substantial grading or tree removal.*

---

**BMP-25 Will this project be designed and built so that it could qualify for LEED?**

- |            |                          |   |
|------------|--------------------------|---|
| BMP-25 (a) | <input type="checkbox"/> | LEED™ Silver (check box BMP-25 and this one)            |
| BMP-25 (b) | <input type="checkbox"/> | LEED™ Gold (check box BMP-25, BMP-25 (a), and this box) |
| BMP-25 (c) | <input type="checkbox"/> | LEED™ Platinum (check all 4 boxes)                      |

**Practices with Un-Measured GHG Reduction Potential**

**BMP-26 Are you, or do you intend to become a Certified Green Business or certified as a "Napa Green Winery"?**

*As part of the Bay Area Green Business Program, the Napa County Green Business Program is a free, voluntary program that allows businesses to demonstrate the care for the environment by going above and beyond business as usual and implementing environmentally friendly business practices. For more information check out the Napa County Green Business and Winery Program at [www.countyofnapa.org](http://www.countyofnapa.org).*

**BMP-27 Are you, or do you intend to become a Certified "Napa Green Land"?**

*Napa Green Land, fish friendly farming, is a voluntary, comprehensive, "best practices" program for vineyards. Napa Valley vintners and growers develop farm-specific plans tailored to protect and enhance the ecological quality of the region, or create production facility programs that reduce energy and water use, waste and pollution. By selecting this measure either you are certified or you are in the process of certification.*

Already Doing    Plan To Do

**BMP-28 Use of recycled materials**  
*There are a lot of materials in the market that are made from recycled content. By ticking this box, you are committing to use post-consumer products in your construction and your ongoing operations.*

---

**BMP-29 Local food production**  
*There are many intrinsic benefits of locally grown food, for instance reducing the transportation emissions, employing full time farm workers, and improving local access to fresh fruits and vegetables.*

---

**BMP-30 Education to staff and visitors on sustainable practices**  
*This BMP can be performed in many ways. One way is to simply put up signs reminding employees to do simple things such as keeping the thermostat at a consistent temperature or turning the lights off after you leave a room. If the project proposes alternative energy or sustainable winegrowing, this BMP could include explaining those business practices to staff and visitors.*

---

**BMP-31 Use 70-80% cover crop**  
*Cover crops reduce erosion and the amount of tilling which is required, which releases carbon into the environment.*

**BMP-32 Retain biomass removed via pruning and thinning by chipping the material and reusing it rather than burning on-site**  
*By selecting this BMP, you agree not to burn the material pruned on site.*

**BMP-33 Are you participating in any of the above BMPS at a 'Parent' or outside location?**

---

---

---

---

**BMP-34 Are you doing anything that deserves acknowledgement that isn't listed above?**

---

---

---

**Comments and Suggestions on this form?**

---

---

---

**Sources:**

1. *Napa County Bicycle Plan, NCTPA, December 2011*
2. *California Air Pollution Control Officers Associate (CAPCOA). January 2008. CEQA and Climate Change*
3. *Napa County General Plan, June 2008.*
4. *California Office of the Attorney General. 2010. Addressing Climate Change at the Project Level available at [http://ag.ca.gov/global\\_warming/pdf/GW\\_mitigation\\_measures.pdf](http://ag.ca.gov/global_warming/pdf/GW_mitigation_measures.pdf)*
5. *U.S. Green Building Council (2009). LEED 2009 for New Construction and Major Renovations Rating System. Washington, DC: United States Green Building Council, Inc.*
6. *California Energy Commission (2008). Title 24, Part 6, of the California Code of Regulations: California's Energy Efficiency Standards for Residential and Nonresidential Buildings. Sacramento, CA: California Energy Commission.*
7. *U.S. Department of Energy (2010). Cool roof fact sheet.*
8. <http://www1.eere.energy.gov/buildings/ssl/ledlightingfacts.html>
9. *Compact Fluorescent Light Bulbs". Energy Star. Retrieved 2013-05-01.*
10. <http://energy.gov/energysaver/articles/solar-water-heaters>. Retrieved 2013-05-02.
11. <http://energy.gov/energysaver/articles/solar-water-heater>. Retrieved 2013-05-09
12. [http://www.bchydro.com/powersmart/residential/guides\\_tips/green-your-home/cooling\\_guide/shade\\_trees.html](http://www.bchydro.com/powersmart/residential/guides_tips/green-your-home/cooling_guide/shade_trees.html)
13. <http://www.napagreen.org/about>. Retrieved 2013-05-09
14. <http://www.countyofnapa.org/pages/departmentcontent.aspx?id=4294971612>
15. <http://www.napasan.com/Pages/ContentMenu.aspx?id=109>
16. <http://water.epa.gov/polwaste/green/index.cfm>

**PROJECT STATEMENT  
FOR  
RAYMOND/TICEN RANCH WINERY  
APN 030-270-013, 031 & -012  
849 Zinfandel Lane, St. Helena, CA 94574**

The application is a major modification for the existing Raymond Winery (APN 030-270-013) and includes a proposed merging of the Ticen Ranch property (APN 030-270-012) located on Highway 29. The Ticen Ranch parcel is adjacent to the Raymond Ranch parcel. This application replaces a previous application that was for the Raymond Winery only. The current application contains the same requests as were indicated in the revised project description on the Raymond Winery major mod, now withdrawn, and it proposes the conversion of the historic Ticen Ranch house to winery accessory use. The application also proposes a new main entry for the Raymond/Ticen Ranch Winery, which is just south of the existing access for the residence on Highway 29. Caltrans is currently constructing a continuous left-turn lane on Highway 29 in front of the Ticen Ranchhouse.

What is noteworthy about this application is what it does *not* represent or request. There is no request for an increase in production, no increase in the tours/tastings numbers from those previously approved, no increase in the winery marketing plan, and no new structures proposed. Although the historic Ticen residence is located within the 600-ft. setback from Highway 29, a variance is not required because County Code provides for re-use of existing structure that pre-date the WDO, for winery uses. The proposed new entry will also divert traffic from the Raymond Winery's current entry on Zinfandel Lane, accommodating it via Highway 29.

In addition, this application represents a proposal for the applicant to bring into compliance several discrepancies from his currently approved winery use permit. First, the winery now employs 90 persons, 66 employees more than the 24 persons contained in an earlier use permit. In an effort to propose a self-mitigating plan, the employees will have staggered work hours so that peak traffic hours are avoided to the extent possible. We received assistance and direction from Crane Transportation Group in developing the commute hours plans (see subsequent section for details). Additionally, we are providing "as-built" drawings of all structures on both the Raymond and Ticen parcels, with indications of present and proposed uses. The drawings depict the compliance requests where conversion of space is proposed so that certain of the buildings or portions of buildings may be improved for winery (instead of residential or production) uses. The applicant has already complied with a recent Code violation letter indicating the need to remove a vineyard viewing platform and that facility was removed from the property.

The applicant is in compliance with his production level of 750,000 gallons per year, with up to 900,000 gallons per year averaged over a three-year period. He is also compliant with the County's *75 Percent Grape Source Rule*, via a recent agreement with the County whereby production can go up to a maximum of 900,000 gallons per year, averaged over a three-year period.

The proposals for this winery use permit include the following.

- (1) Modification of the Raymond Winery use permit to include and merge the Ticen parcel: Includes a proposal for a new primary winery entry off Highway 29 and re-use of the Ticen residence and barn for winery uses, accessory and production, respectively.
- (2) Refiguration of the winery access road to reflect Highway 29 entry and integrate uses on all three parcels: Highway 29 will be the primary entry for visitors and employees and Zinfandel Lane will accommodate more of the production-oriented traffic. This will diminish reliance on Zinfandel Lane for most visitors and employees of the winery. Highway 29 has a continuous left-turn lane installation currently underway by Caltrans.
- (3) No changes to production or visitation: The proposal is to maintain current levels.
- (4) Increase in winery employees from the level reflected in the current permit (24) to the current level (90)
- (5) Increase on-site parking from 81 spaces to 162 spaces: See site plans for parking areas, one of which is proposed in proximity to the Ticen residence.
- (6) Expansion of sanitary septic wastewater treatment system: As per Summit Engineering *Wastewater Feasibility Report* and see expanded septic system in proximity to Ticen ranch house.
- (7) Changes in hours of winery operation and visitation as part of self-mitigating plan: See description of hours for flexible employee work schedules and avoidance of peak hours for visitation and events.
- (8) Conversion of some production space in existing winery structures to accessory use, within the County's 60/40 percent threshold: Conversion of some of these spaces would involve bringing the structures up to current Building Code. This includes conversion of approximately 10,670 sq. ft. of space within existing winery structures and an 855-sq. ft. residential pool house (swimming pool to be demolished and the area landscaped) from residential to winery use, as well as conversion of the historic Ticen residence to winery accessory uses (tasting room and winery offices) and the existing barn to be converted to winery production storage use.
- (9) Construction of a 2,500-sq. ft. vineyard viewing platform
- (10) Improvements to an existing structure to serve as a pet dog comfort station for winery visitors

- (11) Addition of two more water storage tanks (for a total of 20,000 gallons of additional storage and a total storage amount of 30,000 gallons) for fire protection: The current plan identifies a reservoir and swimming pool for fire protection water source, which is no longer allowed by CDF. Tanks will go in the area where the existing 10,000-gallon tank is located.
- (12) Proposals for outdoor areas: The applicant proposes to move an existing approved commercial kitchen from inside one of the winery structures to an outdoor area. They also request the ability to have certain of the winery marketing plan events outdoors. The request includes the ability to have outdoor public art installations on areas up to one acre maximum in size (collectively). And the applicant requests addition of the A.B. 2004 ("Picnic" Ordinance) which allows for consumption of alcoholic beverages on specifically identified (see site plan) areas of the winery.

### Winery Marketing Plan

Although the applicant proposes no increases in the visitation in his current winery marketing plan, he is proposing some reorganization of events in terms of size. The visitation most important to the winery's direct-to-consumer wine sales are the daily tours/tastings and the smaller winery events that offer a focused experience for the winery customer. Larger events are almost always associated with a charitable effort in the Napa Valley. The owners of the property are quite involved with a wide range of philanthropic endeavors, including the Napa Valley Wine Auction and many other smaller auctions and activities.

For ease of processing, we offer the following as the current proposal.

Tours & Tastings: A maximum of 400 persons daily. As a pre-*Winery Definition Ordinance (WDO)* winery, the Raymond Winery is open to the general public.

Focused Marketing Events with Food: (existing winery marketing plan somewhat reformatted relative to numbers at specific events)

One event per day with up to 10 persons attending  
Two events weekly with up to 30 persons attending  
Two events monthly with up to 100 persons attending

Food will be served at some of the above events, as well as with some of the wine tastings. Food will be provided by caterers for larger of the events. Some food will be provided by the approved on-site commercial kitchen, which can also serve as a caterers' staging area.

Applicant requests approval of A.B. 2004 (“Picnic” Ordinance) and also the ability to have some of the marketing events as outdoor events.

#### Self-Mitigation Plan for Employee Work Hours and Visitor Hours

The new entry on Highway 29 represents a significant reduction of traffic on Zinfandel Lane. As a further performance standard related to reducing VMT (vehicular miles traveled), the applicant requested input from traffic engineers at Crane Transportation Group and is willing to adapt to revised hours of operation and visitation where possible. The results of this effort are as follows, based on feedback from Crane Transportation Group.

Recommended employee shift change times:

Weekdays: Begin work by 7:30 AM or not until 9:15-9:30 AM  
End work by 2:30-2:45 PM or no earlier than 6:00-6:15 PM

Recommended marketing event times:

Weekdays: Midday events begin with no time restrictions, as the winery is not open for visitation until 10:00 AM. Mid-day events should end by 2:30 PM.

Afternoon Events: Should begin by 2:30-2:45 PM and end after 6:00 PM.

Event Events: Begin no earlier than 6:15-6:30 PM.

Weekend Days: Midday events have no beginning time restrictions and end by 1:30 PM. Afternoon events begin by 2:00 PM and end after 5:00 PM. Event events begin no earlier than 5:30-6:00 PM.

Other measures that can reduce traffic during peak-hour traffic periods include the following.

Employee car and vanpool person, with one person to be named coordinator for same. This person will develop incentives for employees to use the program and report to the County.

For administrative employees, establish a tele-commute and work at home some days program. Allow flexible work hours (within the parameters of peak-hour commute periods to avoid). Allow longer Monday through Thursday work hours, with the possibility of every Friday or every Friday off and/or considered “work at home.”

The applicant is willing to be part of a collective program whereby employee shuttles are shared and financed with the involvement of other wineries.

## Summary

This is a winery use permit modification that represents no intensification of use other than recognition of the current winery employee level. No production or visitation increases are proposed. The addition/merging of the Ticen property represents an opportunity to remove a significant amount of traffic from Zinfandel Lane, a major collector. The applicant also represents an opportunity for a viable re-use and preservation of an existing historic cultural resource that is associated with the Ticen house and barn.

Finally, this new application represents a means of the winery bringing all uses into compliance without the construction of any new winery structures.

We believe the traffic analysis associated with this application will show an appreciable improvement relative to VMT in the peak-hour periods and is very likely to result in a finding of “no significant impact” relative to traffic. We intend to finalize the traffic analysis once direction as to scope of work is provided from County staff during the 30-day response period that follows filing of the application.

The applicant intends to reach out to neighbors and hold meetings where possible to answer questions and concerns about the new application. But as noted, the intensity of use is not proposed to increase other than recognition of the current levels of employees commuting to the winery for work. And we believe that the Ticen Ranch parcel addition represents an important opportunity to speak to some of the issues discussed relative to the Raymond Winery initial use permit mod application.

**PROJECT REVISION STATEMENT**

**Raymond-Ticen Ranch Winery – Major Modification to Use Permit, Application No. P15-00307**

I hereby revise Raymond-Ticen Ranch Winery, Major Modification to Use Permit Application No. P15-00307, a request for: 1) amendment to the existing Use Permit that allows operation of Raymond Vineyard and Cellars' winery with visitation and marketing events at 849 Zinfandel Lane (Assessor's Parcel No. 030-270-013); and 2) expansion of the winery's administrative, marketing and hospitality operations to 1584 St. Helena Highway (Assessor's Parcel No. 030-270-012), south of the city of St. Helena, California, in order to include the measures specified below:

**MM BIO-1:** A qualified wildlife biologist knowledgeable in bat biology and behavior shall conduct a survey in order to determine presence or absence of bats and bat roosts in the garage building proposed to be demolished on the Ticen Ranch parcel. The survey shall include both day and night monitoring within a minimum, 24-hour period and shall be conducted in summer, during months of peak bat activity (June 1 through August 31).

The biologist shall compile his or her findings, along with his or her resume or statement of qualifications, into a report that shall be submitted to the Napa County Planning Division for the Planning Division's review and approval. If the biologist finds that bats or roosts are present in the garage building and determines that the roosts support special-status bat species, then the biologist's report shall include a program for removal of the bat population from the structure. The program shall, at a minimum, identify: a) installation of artificial roosts on the property, of adequate number and size to support the estimated population of the roosts as observed by the biologist, with the artificial roosts installed no fewer than 15 days prior to commencement of the eviction process; b) location(s) for placement of artificial roosts on the property, with consideration given to identifying locations proximate to the garage building and that would minimize potential impacts of construction noise on any relocated bat populations; and c) a method to progressively secure the garage building as a means to humanely evict the bat population from the structure, with the eviction process to be completed no more than 30 days prior to demolition of the structure

Eviction of the bats shall be scheduled so as not to occur during bat breeding/maternity roosting (approximately April 15 through August 31) or when bats are in torpor (approximately October 15 through March 1) of any year. The process of humane eviction and installation of the artificial roosts shall be overseen by the biologist.

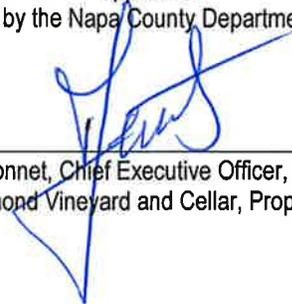
The biologist's survey shall remain valid for up to one year from the last date of the survey. If the garage building is not demolished within one year of the latest date of survey of the structure, then the biologist shall conduct a new survey prior to demolition of the structure, following the procedure outlined in the above paragraphs.

**MM TCR-1:** Prior to commencement of construction of project improvements on the Ticen Ranch parcel, the permittee shall coordinate with one or more representatives of a California Native American tribe that is traditionally and culturally affiliated with the project area pursuant to Public Resources Code Section 21080.3.1. Pre-construction coordination shall, at a minimum, include the following:

- a. Submittal of copies of grading plans to the tribal representative, concurrently with submittal of the grading permit application to the Napa County Planning, Building & Environmental Services Department (PBES).
- b. Training of construction field crews, by a tribal representative, of the potential for presence of Native American resources on the property, the potential types of resources that could be found on-site, and the procedures to follow in the event of discovery of such resources.
- c. Presence of a tribal representative on-site during survey/marketing and initial rough grading of improvements (vehicular access roads and parking stalls) on the Ticen Ranch parcel.

**Raymond Vineyard and Cellar** further commit themselves and successors-in-interest to (a) inform any future purchasers of the property of the above commitments; (b) include in all property leases a provision that informs the lessee of these restrictions and binds them to adhere to them, and (c) inform in writing all persons doing work on this property of these limitations.

**Raymond Vineyard and Cellar** understands and explicitly agrees that with regards to all California Environmental Quality Act and Permit Streamlining Act (Government Code Sections 63920-63962) deadlines, this revised application will be treated as a new project. The new date on which said application will be considered complete is the date on which an executed copy of this project revision statement is received by the Napa County Department of Planning, Building and Environmental Services.



---

Alain Leonnet, Chief Executive Officer,  
for Raymond Vineyard and Cellar, Property Owner

12-16-16

---

Date



Consultant:

Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013 / 030-270-012

Seal:

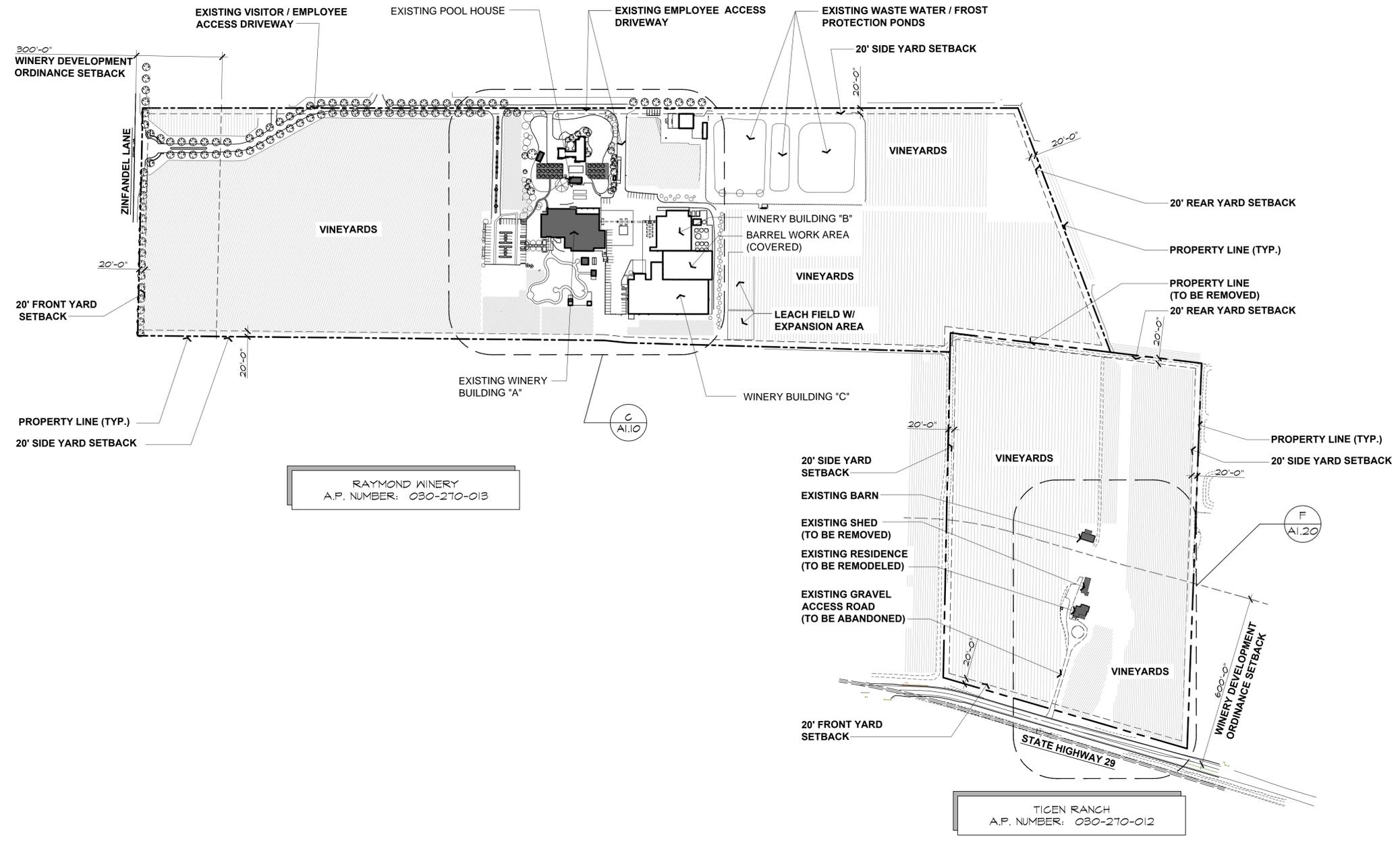
**REVISIONS**

△	DATE:	1/27/2016
	USE PERMIT RESUBMITTAL	
△	DATE:	7/26/2016
	USE PERMIT RESUBMITTAL	
△		
△		
△		

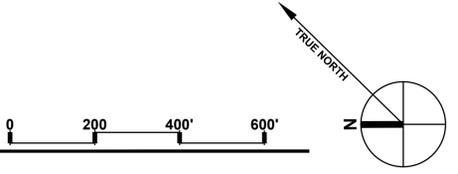
Date: **August 28, 2015**  
 Project No: **141003**  
 Sheet Title:

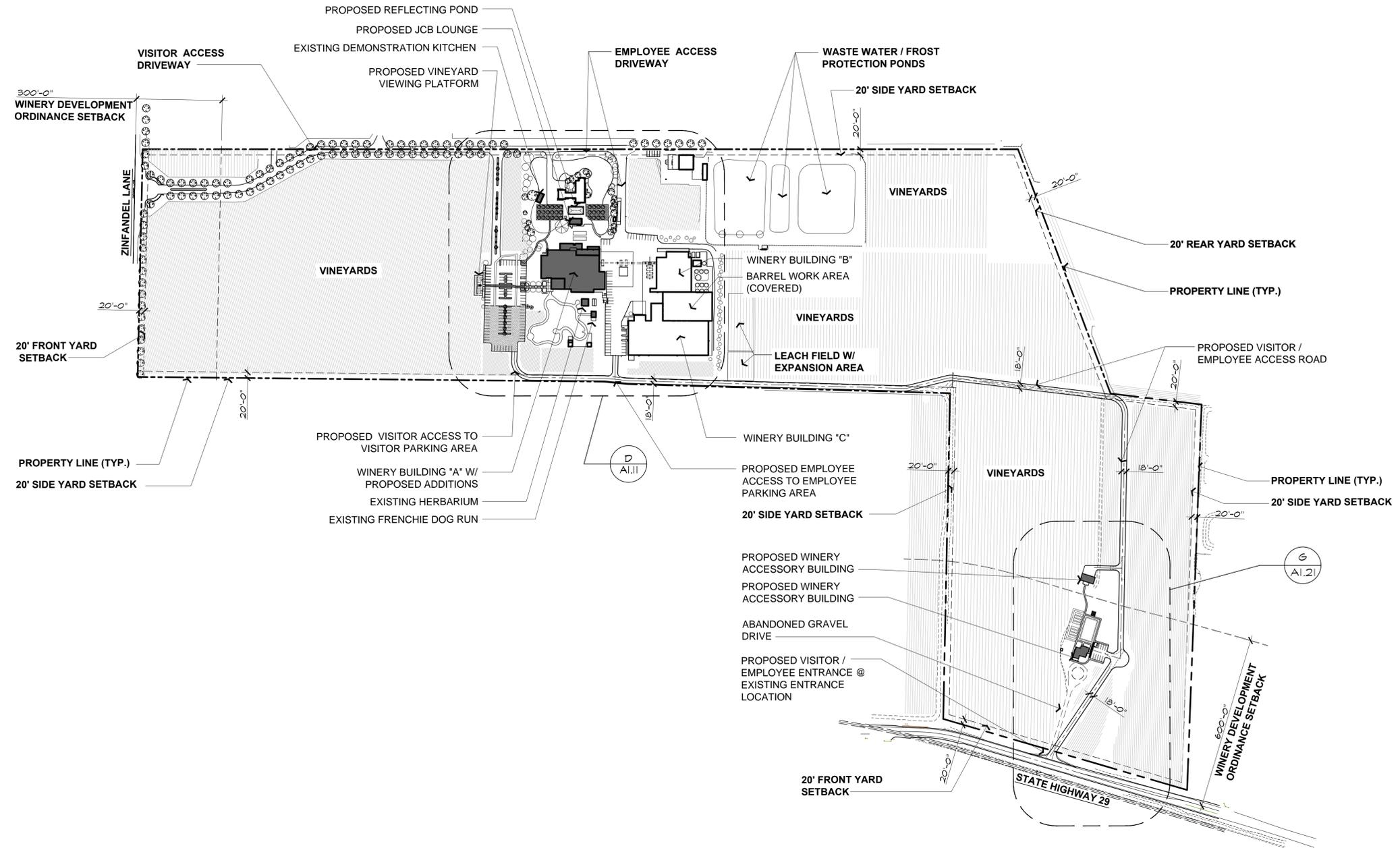
**EXISTING SITE PLAN**

Sheet #:  
**A1.00**  
 USE PERMIT SUBMITTAL

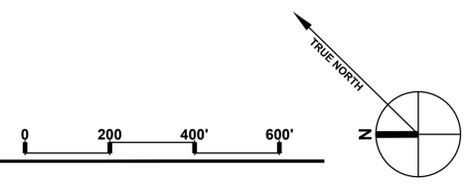


**A EXISTING SITE PLAN**  
 SCALE: 1" = 200'





**B PROPOSED SITE PLAN**  
 SCALE: 1" = 200'



Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013 / 030-270-012

REVISIONS	
△	DATE: 1/27/2016 USE PERMIT RESUBMITTAL
△	DATE: 7/26/2016 USE PERMIT RESUBMITTAL
△	
△	
△	
△	

Date: **August 28, 2015**  
 Project No: **141003**  
 Sheet Title:

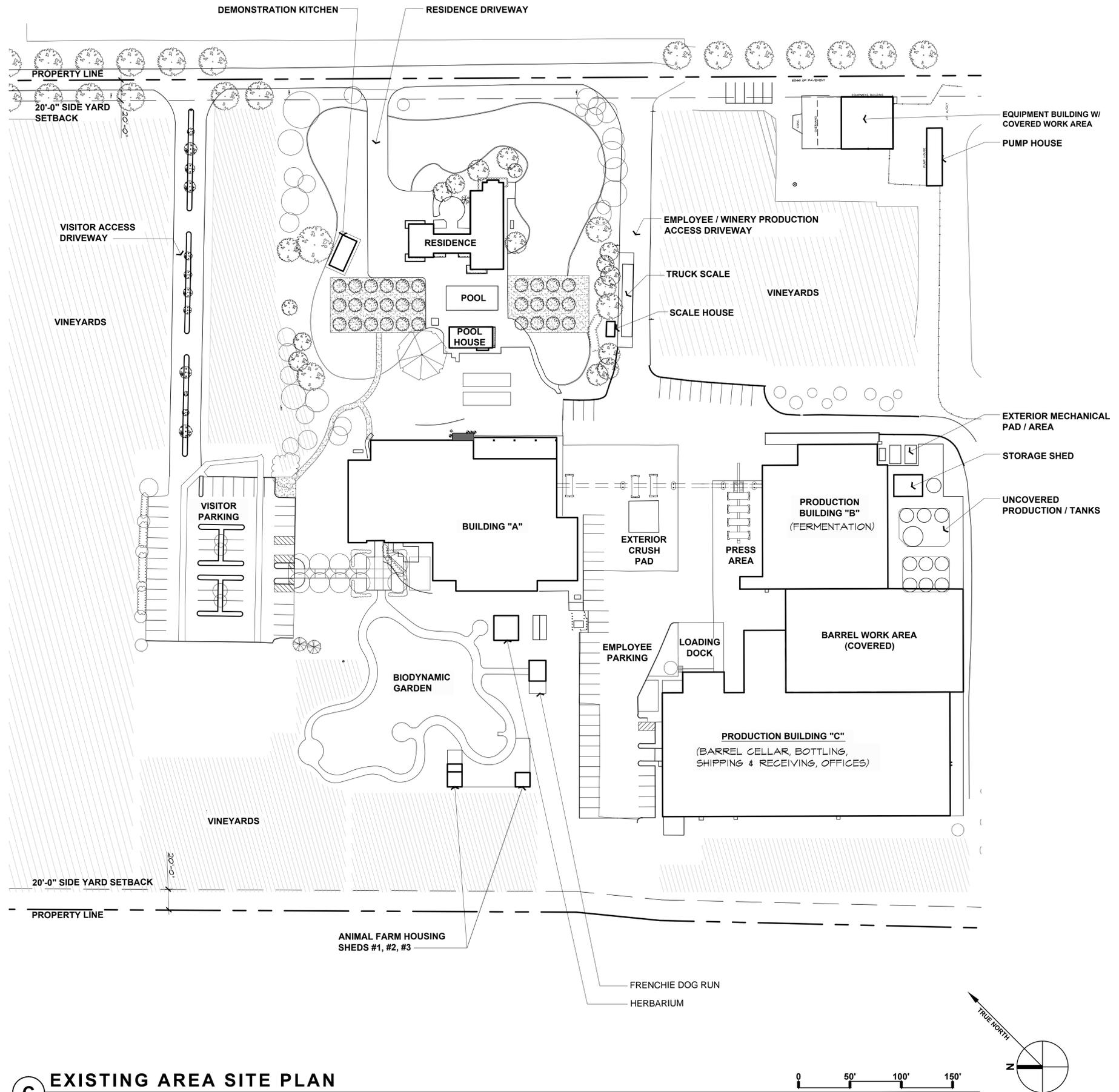
**PROPOSED SITE PLAN**  
 Sheet #:  
**A1.01**  
 USE PERMIT SUBMITTAL

**Raymond Vineyards - Floor Area Summary**

Accessory: Production

Building/Area	Accessory	Production	Totals
<b>EXISTING:</b>			
<b>Production Building 'B'</b>			<b>25,944</b>
Fermentation	-	14,634	
Utility Room	-	203	
Utility Room	-	64	
Compressor Room	-	517	
Control Room	-	153	
Mechanical	-	880	
Storage Shed	-	588	
Blending Tanks	-	6,548	
Exterior Mechanical Pad / Area	-	2,357	
<b>Barrel Work Area - Covered</b>			<b>17,353</b>
Barrel Work Area - Covered	-	17,353	
<b>Production Building 'C'</b>			<b>43,074</b>
<b>Ground Floor</b>			<b>38,809</b>
Barrel / Cased Goods Storage	-	9,887	
Barrel Storage #1	-	11,628	
Barrel Storage #2	-	7,240	
Utility #1	-	149	
Utility #2	-	182	
Bottling	-	1,627	
Tank Room	-	827	
Shipping	-	807	
Loading Dock	-	2,161	
Shipping Lobby	-	241	
Lobby / Reception	469	-	
Hall / Stairwell	1,170	-	
Elevator / Elevator Mechanical	113	-	
Server Room	88	-	
Storage	128	-	
Employee Workstation	424	-	
Men's Restroom	272	-	
Women's Restroom	274	-	
Mechanical #1	111	-	
Mechanical #2	47	-	
Conference	291	-	
Office #1	173	-	
Lab	366	-	
Office #2	134	-	
<b>Second Floor</b>			<b>4,265</b>
Hall	558	-	
Office #1	293	-	
Office #2	248	-	
Office #3	131	-	
Mechanical #3	97	-	
Mechanical #4	34	-	
Office #4	188	-	
Conference	250	-	
Office #5	193	-	
Office #6	156	-	
Office #7	156	-	
Office #8	209	-	
Office #9	233	-	
Breakroom	129	-	
Print / Copy #1	141	-	
Print / Copy #2	148	-	
Admin. / Marketing	1,101	-	
<b>Exterior Crush Pad</b>			<b>17,644</b>
Press Area (adjacent to Building 'B')	-	4,507	
Crush Pad	-	13,137	
<b>Winery Pump House</b>			<b>854</b>
Pump House	-	854	
<b>Vineyard Equipment Storage</b>			<b>3,687</b>
Equipment Building	-	2,532	
Covered Work Area	-	1,155	
<b>Scale</b>			<b>1,441</b>
Scale House	-	121	
Uncovered Scale	-	1,320	
<b>Production / Tasting Building 'A' - See Sheets AA2.10 &amp; AA2.20</b>			<b>27,556</b>
<b>Ground Floor</b>			<b>23,790</b>
West Tank Room	-	5,669	
East Tank Room	-	3,538	
Storage Area (combined)	-	2,808	
Utility Room (combined)	-	241	
Comp/Elec. Rm	-	117	
Hose Room	-	793	
Tanks	-	429	
Blending Room - A	316	-	
Blending Room - B	544	-	
Tax Paid Storage-A	-	319	
Tax Paid Storage-B	-	1,172	
Managers Office	95	-	
Men's Restroom	188	-	
Women's Restroom	174	-	
Janitor	32	-	
Breakroom	267	-	
Entry / Hallways (combined)	1,060	-	
Old Barrel Room	1,153	-	
Barrel Cellar	-	830	
Tasting Room	829	-	
Saddle Room	277	-	
The Library	264	-	
Private Tasting Room	268	-	
Redroom - A	1,524	-	
Redroom - B	319	-	
Crystal Cellar	1,625	-	
<b>Second Floor</b>			<b>3,766</b>
Storage (combined)	1,856	-	
Locked Storage	612	-	
Mechanical	-	434	
Office	616	-	
Hallway / Stair Landing	248	-	
<b>Totals:</b>			<b>20,591 118,021 138,613</b>

Accessory to production ratio = 0.174  
(Not to exceed 0.400)



**C EXISTING AREA SITE PLAN**  
SCALE: 1" = 50'



These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Use Permit Exhibits for  
**Raymond Winery**  
849 Zinfandel Lane, St. Helena, CA 94574  
APN: 030-270-013-000

Seal:

REVISIONS	
△	DATE: 1/27/2016 USE PERMIT RESUBMITTAL
△	DATE: 7/26/2016 USE PERMIT RESUBMITTAL
△	
△	
△	
△	

Date: August 28, 2015  
Project No: 141003  
Sheet Title: EXISTING AREA SITE PLAN

Sheet #: **A1.10**  
USE PERMIT SUBMITTAL

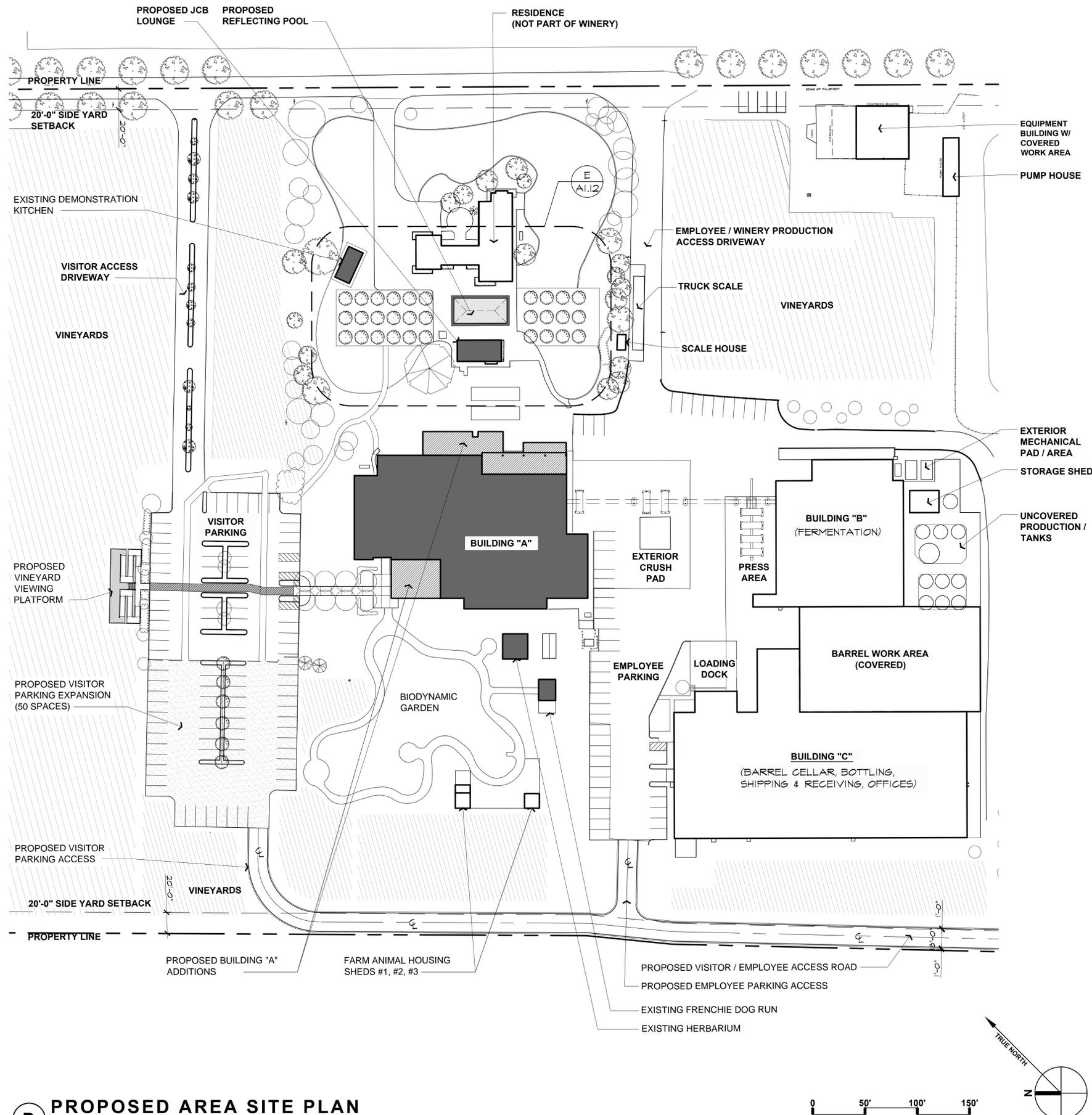
**Raymond Vineyards - Floor Area Summary**

Building/Area	Accessory	Production	Totals
<b>EXISTING</b>			
<b>Existing Production Building "B"</b>			
Fermentation	-	14,634	14,634
Utility Room	-	203	203
Compressor Room	-	64	64
Control Room	-	517	517
Mechanical	-	153	153
Storage Shed	-	480	480
Blending Tanks	-	6,548	6,548
Exterior Mechanical Pad / Area	-	2,357	2,357
<b>Existing Barrel Work Area - Covered</b>			<b>17,353</b>
Barrel Work Area - Covered	-	17,353	17,353
<b>Existing Production Building "C"</b>			
Ground Floor	-	38,809	38,809
Barrel / Cased Goods Storage	-	9,887	9,887
Barrel Storage #1	-	11,628	11,628
Barrel Storage #2	-	7,240	7,240
Utility #1	-	149	149
Utility #2	-	182	182
Bottling	-	1,627	1,627
Tank Room	-	827	827
Shipping	-	807	807
Loading Dock	-	2,161	2,161
Shipping Lobby	-	241	241
Lobby / Reception	-	469	469
Hall / Stairwell	-	1,170	1,170
Elevator / Elevator Mechanical	-	113	113
Server Room	-	48	48
Storage	-	128	128
Employee Workstation	-	424	424
Men's Restroom	-	272	272
Women's Restroom	-	274	274
Mechanical #1	-	111	111
Mechanical #2	-	47	47
Conference	-	291	291
Office #1	-	173	173
Lab	-	366	366
Office #2	-	134	134
<b>Second Floor</b>			
Hall	-	558	558
Office #1	-	293	293
Office #2	-	248	248
Office #3	-	131	131
Mechanical #3	-	97	97
Mechanical #4	-	34	34
Office #4	-	188	188
Conference	-	250	250
Office #5	-	193	193
Office #6	-	156	156
Office #7	-	156	156
Office #8	-	209	209
Office #9	-	233	233
Breakroom	-	129	129
Print / Copy #1	-	141	141
Print / Copy #2	-	148	148
Admin. / Marketing	-	1,101	1,101
<b>Existing Exterior Crush Pad</b>			<b>17,644</b>
Press Area (adjacent to Building "B")	-	4,507	4,507
Crush Pad	-	13,137	13,137
<b>Existing Winery Pump House</b>			
Pump House	-	854	854
<b>Existing Vineyard Equipment Storage</b>			
Equipment Building	-	2,532	2,532
Covered Work Area	-	1,155	1,155
<b>Existing Scale</b>			
Scale House	-	121	121
Uncovered Scale	-	1,320	1,320
<b>PROPOSED:</b>			
<b>Proposed Production / Tasting Building "A" - See Sheets AA2.11 &amp; AA2.21</b>			
Ground Floor	-	30,914	30,914
West Tank Room	-	5,977	5,977
Crystal Cellar	-	1,283	1,283
East Tank Room	-	3,498	3,498
Storage Area	-	1,008	1,008
Utility Room (combined)	-	611	611
Comp/Elec. Rm	-	120	120
House Room	-	793	793
Tanks	-	415	415
Blending Room - A	-	321	321
Blending Room - B	-	594	594
Tax Paid Storage	-	183	183
Managers Office	-	172	172
Men's Restroom (Combined)	-	447	447
Women's Restroom (Combined)	-	422	422
Janitor (combined)	-	176	176
Breakroom	-	206	206
Entry / Hallways (combined)	-	1,927	1,927
Appellation Education Room	-	2,282	2,282
Old Barrel Room	-	903	903
Barrel Cellar	-	824	824
Kitchen / Demonstration	-	1,613	1,613
Dry Storage (Combined)	-	861	861
Reception	-	299	299
Wine Sales	-	1,172	1,172
Staging Kitchen	-	547	547
Tasting Room	-	829	829
Saddle Room	-	214	214
The Library	-	264	264
Private Tasting Room	-	268	268
Redroom - A	-	1,551	1,551
Redroom - B	-	332	332
<b>Second Floor</b>			
Mezzanine	-	1,000	1,000
Tax Paid Storage	-	1,117	1,117
Mechanical	-	484	484
Open Office	-	981	981
Office	-	142	142
Storage	-	106	106
Hallway / Stair Landing	-	25	25
<b>Proposed JCB Lounge</b>			
Prep Room	-	84	84
Private Tasting and Sales	-	607	607
Hall	-	76	76
Mechanical Room	-	31	31
Toilet Room	-	77	77
<b>Proposed Herbarium</b>			
Storage Room	-	140	140
Covered Patio Area	-	121	121
<b>Proposed Frenchie (Dog Run)</b>			
Covered Dog Run	-	330	330
Exterior Fenced Dog Run	-	194	194
<b>Proposed Farm Animal Housing</b>			
Shed #1	-	199	199
Shed #2	-	208	208
Shed #3	-	108	108
<b>Proposed Demonstration Kitchen</b>			
Enclosed Demonstration Area	-	288	288
Covered Porch	-	152	152
<b>Proposed Vineyard Viewing Platform</b>			
Viewing Platform	-	829	829
Access Ramp / Stairs	-	1,079	1,079
<b>Ticen Parcel - Proposed Winery Accessory Building</b>			
<b>Lower Floor Level</b>			
101 Covered Porch	-	159	159
102 Foyer	-	151	151
103 Tasting Room	-	197	197
104 Tasting Room	-	166	166
105 Women's Restroom	-	65	65
106 Mens Restroom	-	72	72
107 Tasting Room	-	357	357
108 Private Tasting	-	145	145
109 stairwell	-	50	50
110 Hall #1	-	116	116
111 Hall #2	-	56	56
112 Office #1	-	129	129
113 Catering Kitchen / Break Room	-	133	133
<b>Upper Floor Level</b>			
201 Hall #3	-	112	112
202 Restroom	-	67	67
203 Office #2	-	172	172
204 Office #3	-	172	172
205 Office #4	-	357	357
<b>Ticen Parcel - Proposed Ag Experience Building</b>			
101 Ag Experience Space	-	1,128	1,128
102 Uncovered Demonstration Area	-	180	180
<b>Totals:</b>	<b>35,807</b>	<b>116,651</b>	<b>152,458</b>

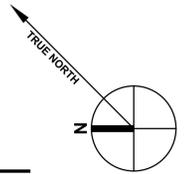
Accessory to production ratio = 0.307  
(Not to exceed 0.400)

**WINERY SITE PLAN LEGEND**

- EXIST. BUILDINGS WITH NEW / REVISED USE BEING PERMITTED
- NEW ADDITION AREA TO EXISTING BUILDINGS BEING PERMITTED
- EXISTING BUILDINGS / USE PREVIOUSLY PERMITTED (NOT PART OF THIS USE PERMIT)



**D PROPOSED AREA SITE PLAN**  
SCALE: 1" = 50'



**PAUL KELLEY ARCHITECT**  
1110 Market Avenue, Suite 200, San Francisco, CA 94102  
Phone: 415.774.1148 Fax: 415.774.1027  
www.paulkellyarchitect.com

These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity, in any other location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Use Permit Exhibits for  
**Raymond Winery**  
849 Zinfandel Lane, St. Helena, CA 94574  
APN: 030-270-013-000

Seal:

**REVISIONS**

DATE:	1/27/2016
USE PERMIT RESUBMITTAL	
DATE:	7/26/2016
USE PERMIT RESUBMITTAL	

Date: **August 28, 2015**  
Project No: **141003**  
Sheet Title: **PROPOSED AREA SITE PLAN**  
Sheet #: **A1.11**  
USE PERMIT SUBMITTAL

These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013-000

Seal:

**REVISIONS**

DATE	DESCRIPTION
1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**

Project No: **141003**

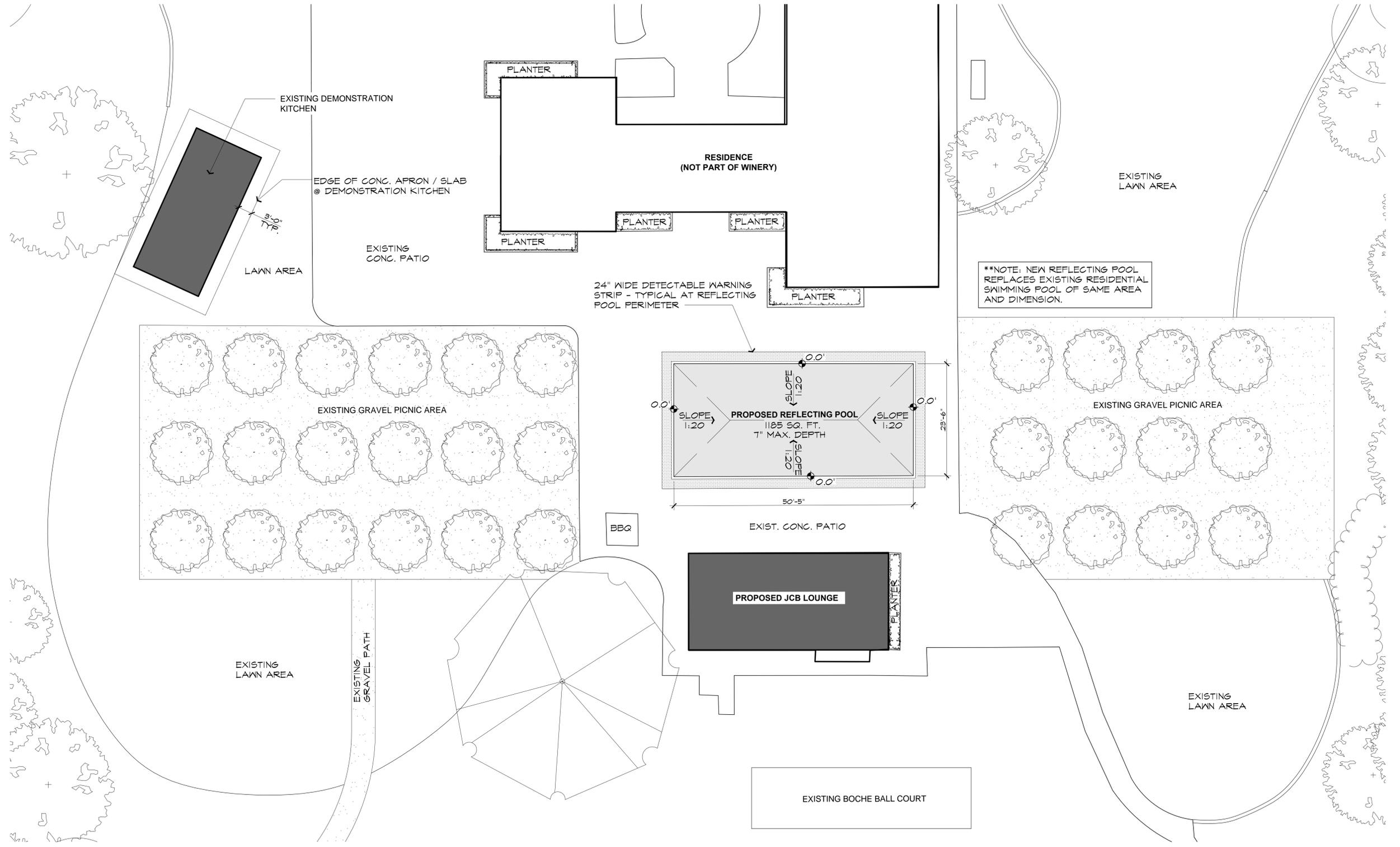
Sheet Title:

**ENLARGED AREA SITE PLAN**

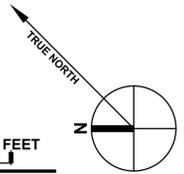
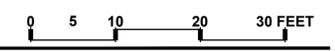
Sheet #:

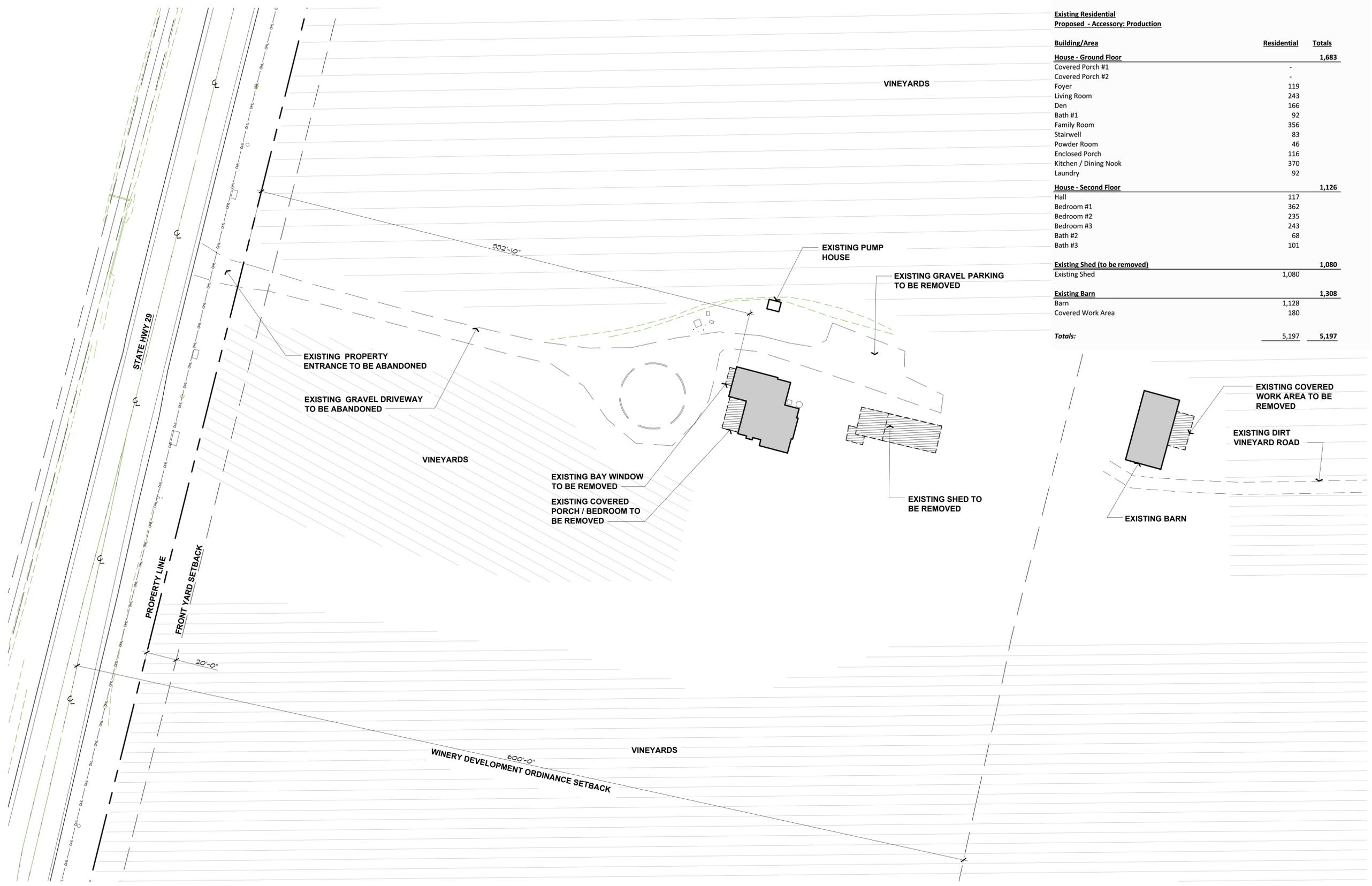
**A1.12**

USE PERMIT SUBMITTAL



**E ENLARGED AREA SITE PLAN**  
 SCALE: 1" = 10'





Ticen - Existing Residential Floor Area Summary

Existing Residential	
Proposed - Accessory: Production	
Building/Area	Residential Totals
<b>House - Ground Floor</b>	
Covered Porch #1	-
Covered Porch #2	-
Foyer	119
Living Room	243
Den	166
Bath #1	92
Family Room	356
Stairwell	83
Powder Room	46
Enclosed Porch	116
Kitchen / Dining Nook	370
Laundry	92
<b>House - Second Floor</b>	
Hall	117
Bedroom #1	362
Bedroom #2	235
Bedroom #3	243
Bath #2	68
Bath #3	101
<b>Existing Shed (to be removed)</b>	
Existing Shed	1,080
<b>Existing Barn</b>	
Barn	1,128
Covered Work Area	180
<b>Totals:</b>	<b>5,197 5,197</b>

**PAUL KELLEY ARCHITECT**  
 1110 Wyatt Avenue, Napa, CA 94559  
 Phone: 707-257-1148 Fax: 707-266-1027  
 www.paulkelleyarchitecture.com

These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity in any other location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Winery Accessory Use Bldg.  
 Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-012-000

Seal:

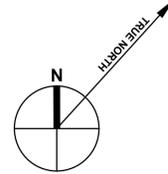
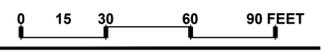
REVISIONS	
△	DATE: 1/27/2016 USE PERMIT RESUBMITTAL
△	
△	
△	
△	
△	

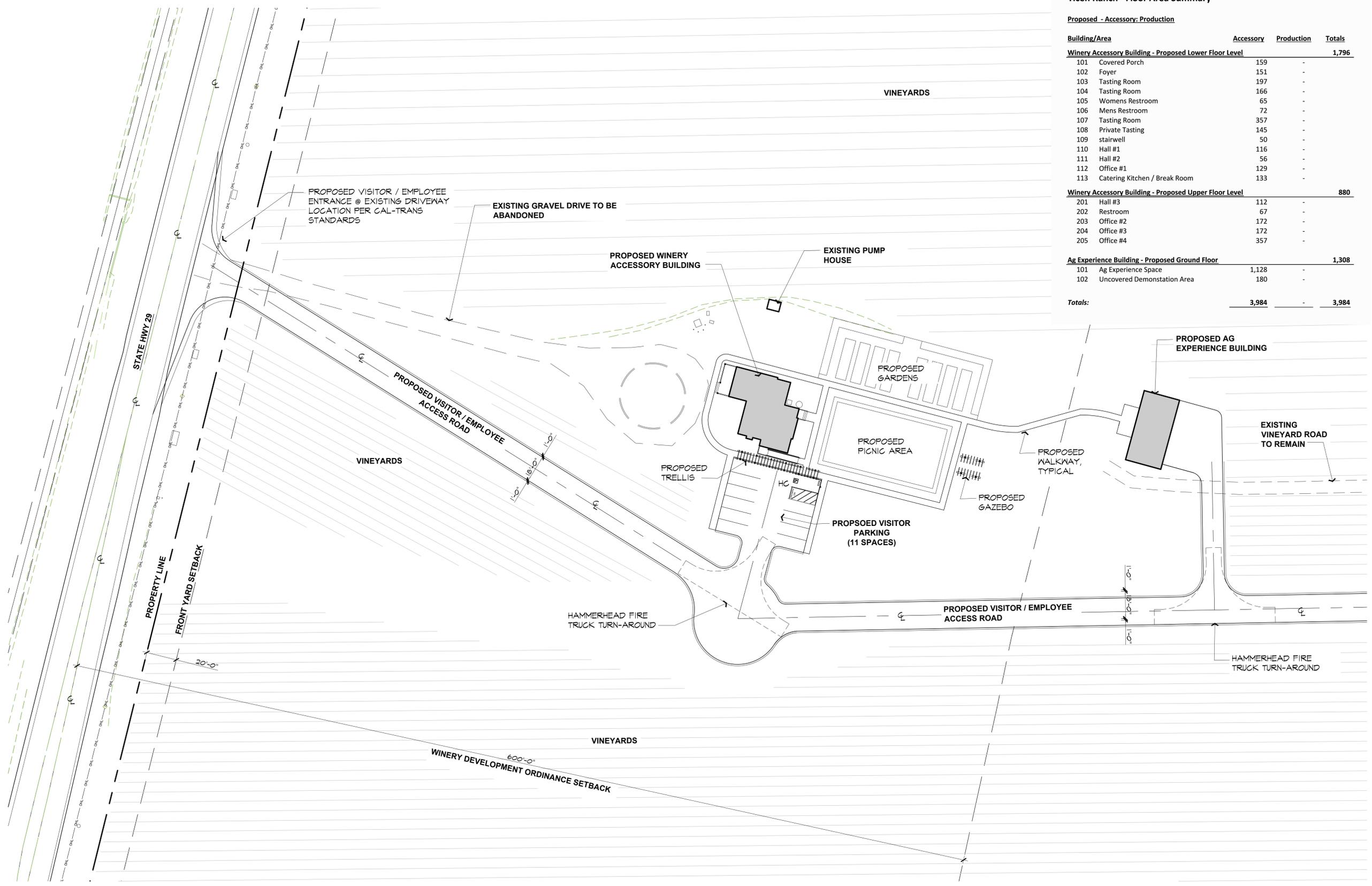
Date: August 28, 2015  
 Project No: 141003  
 Sheet Title:

**EXISTING AREA SITE PLAN**

Sheet #:  
**A1.20**  
 USE PERMIT SUBMITTAL

**F EXISTING AREA SITE PLAN**  
 SCALE: 1" = 30'





**Ticen Ranch - Floor Area Summary**

Proposed - Accessory: Production

Building/Area	Accessory	Production	Totals
<b>Winery Accessory Building - Proposed Lower Floor Level</b>			
101 Covered Porch	159	-	
102 Foyer	151	-	
103 Tasting Room	197	-	
104 Tasting Room	166	-	
105 Womens Restroom	65	-	
106 Mens Restroom	72	-	
107 Tasting Room	357	-	
108 Private Tasting	145	-	
109 stairwell	50	-	
110 Hall #1	116	-	
111 Hall #2	56	-	
112 Office #1	129	-	
113 Catering Kitchen / Break Room	133	-	
			<b>1,796</b>
<b>Winery Accessory Building - Proposed Upper Floor Level</b>			
201 Hall #3	112	-	
202 Restroom	67	-	
203 Office #2	172	-	
204 Office #3	172	-	
205 Office #4	357	-	
			<b>880</b>
<b>Ag Experience Building - Proposed Ground Floor</b>			
101 Ag Experience Space	1,128	-	
102 Uncovered Demonstration Area	180	-	
			<b>1,308</b>
<b>Totals:</b>	<b>3,984</b>		<b>3,984</b>



These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Winery Accessory Use Bldg.  
Use Permit Exhibits for  
**Raymond Winery**  
849 Zinfandel Lane, St. Helena, CA 94574  
APN: 030-270-012-000

Seal:

**REVISIONS**

DATE	1/27/2016
USE PERMIT RESUBMITTAL	

Date: **August 28, 2015**  
Project No: **141003**  
Sheet Title:

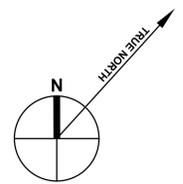
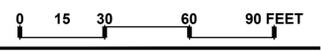
**PROPOSED AREA SITE PLAN**

Sheet #:

**A1.21**

USE PERMIT SUBMITTAL

**G PROPOSED AREA SITE PLAN**  
SCALE: 1" = 30'



# Raymond Winery

## ALLOWABLE AREA / HEIGHT ANALYSIS - WINERY BUILDING - A

Type of Construction	Type V-A		
Type of Occupancy	A-2		
Number of Stories	2.00		

Building #1 - Floor Area Data		
Floor	Area	Occupancy
Building #1 - First Floor	17,351	A-2
Building #1 - Second Floor	3,239	B
Proposed Area Total:	20,590	

Check Allowable Area		
Area Modifications - CBC, Section 506		
Frontage Increase - Section 506.2, Equation 5-2		
$I_r = [F/P - 0.25]W/30$	F	508.0
	P	747.0
	W	30.00
$I_r = [508/747 - 0.25]30/30$	$I_r$	0.43
Fire Sprinkler Protection Area Increase - Section 506.3		
Stories above grade plane	$I_s =$	2.00
1 story	$I_s =$	3.00
2 or more story	$I_s =$	3.00
Allowable area per story Equation 5-1		
$A_a = (A_t + [A_i \times I_r] + [A_s \times I_s])$	Aa	Allowable area per story (square feet)
	At	Tabular area per story in accordance with Table 503 (square feet)
	I_r	Area increase factor due to frontage as calculated in accordance with Section 506.2, equation 5-2
	I_s	Area increase factor due to sprinkler protection as calculated in accordance with Section 506.3
$A_a = (11,500 + [11,500 \times 0.47] + [11,500 \times 3])$	Aa	50,946
Comparison		
Proposed area vs Allowable area		0.40 Less than 1.0

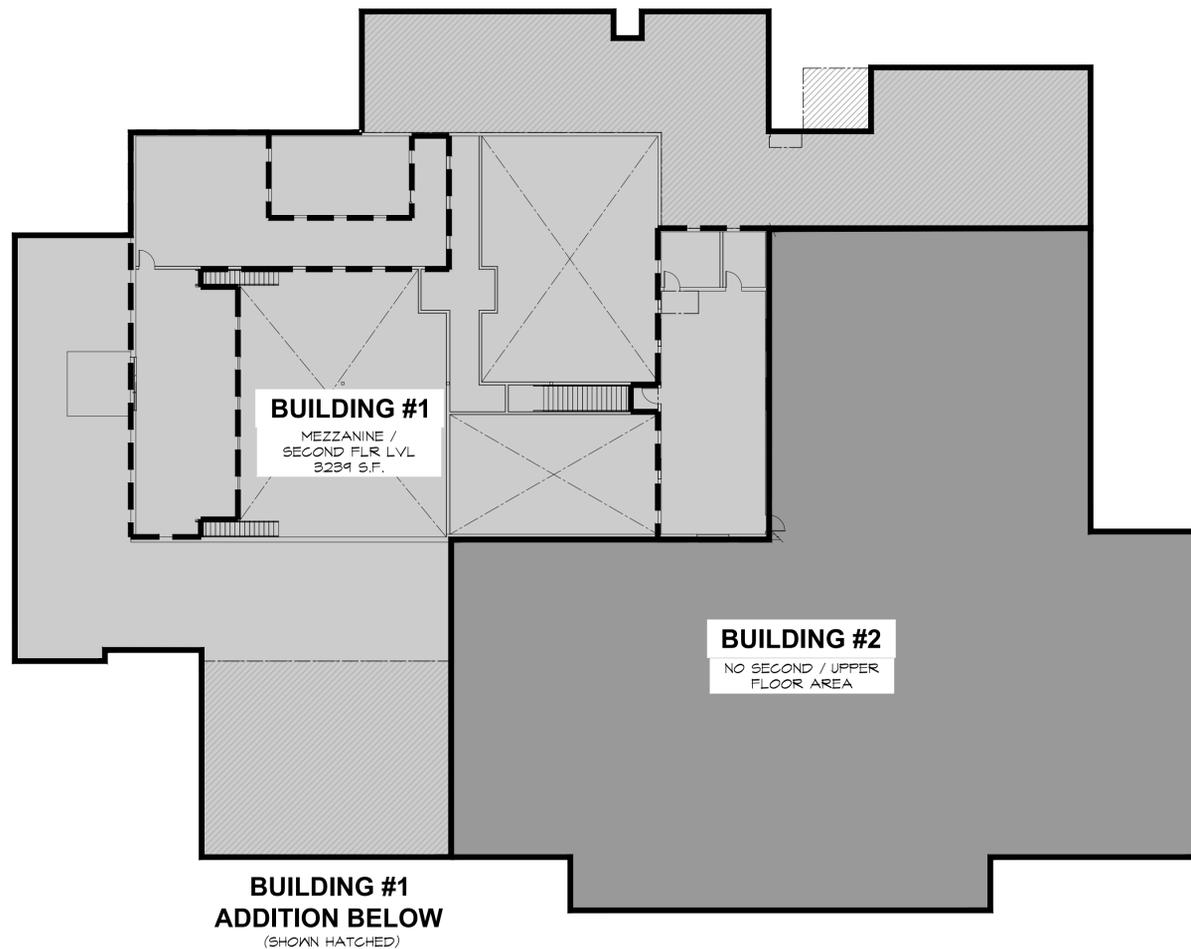
  

Building Height Data		
Existing Building Height (feet)		33.50
Existing Building Height (stories)		2.00

Check Allowable Height		
Height Modifications - CBC, Section 504		
Fire Sprinkler Height Increase - Section 504.2		
Allowable building height from Table 503 (feet)		50.00
Allowable building height from table 503 (stories)		2.00
Fire sprinkler increase (feet)	Feet	20.00
Fire sprinkler increase (stories)	Stories	1.00
Allowed building height (feet)		70.00
Allowed building height (stories)		3.00
Proposed Building Height (feet)		33.50 (no change)
Proposed Building Stories (stories)		1.00 (no change)

**BUILDING #1  
ADDITION BELOW**  
(SHOWN HATCHED)



**BUILDING #1  
ADDITION BELOW**  
(SHOWN HATCHED)

**B BUILDING-A SECOND FLOOR / MEZZANINE LEVEL AREA PLAN**  
SCALE: NTS

# Raymond Winery

## ALLOWABLE AREA / HEIGHT ANALYSIS - WINERY BUILDING - A

Type of Construction	Type V-A		
Type of Occupancy	F-2		
Number of Stories	1.00		

Building #2 - Floor Area Data		
Floor	Area	Occupancy
Building #2 - First Floor	12,780	F-2
Proposed Area Total:	12,780	

Check Allowable Area		
Area Modifications - CBC, Section 506		
Frontage Increase - Section 506.2, Equation 5-2		
$I_r = [F/P - 0.25]W/30$	F	299.0
	P	538.0
	W	30.00
$I_r = [299/538 - 0.25]30/30$	$I_r$	0.31
Fire Sprinkler Protection Area Increase - Section 506.3		
Stories above grade plane	$I_s =$	2.00
1 story	$I_s =$	3.00
2 or more story	$I_s =$	3.00
Allowable area per story Equation 5-1		
$A_a = (A_t + [A_i \times I_r] + [A_s \times I_s])$	Aa	Allowable area per story (square feet)
	At	21,000 Group A-2
	I_r	0.31
	I_s	2.0
$A_a = (21,000 + [21,000 \times 0.75] + [21,000 \times 3])$	Aa	69,421
Comparison		
Proposed area vs Allowable area		0.18 Less than 1.0

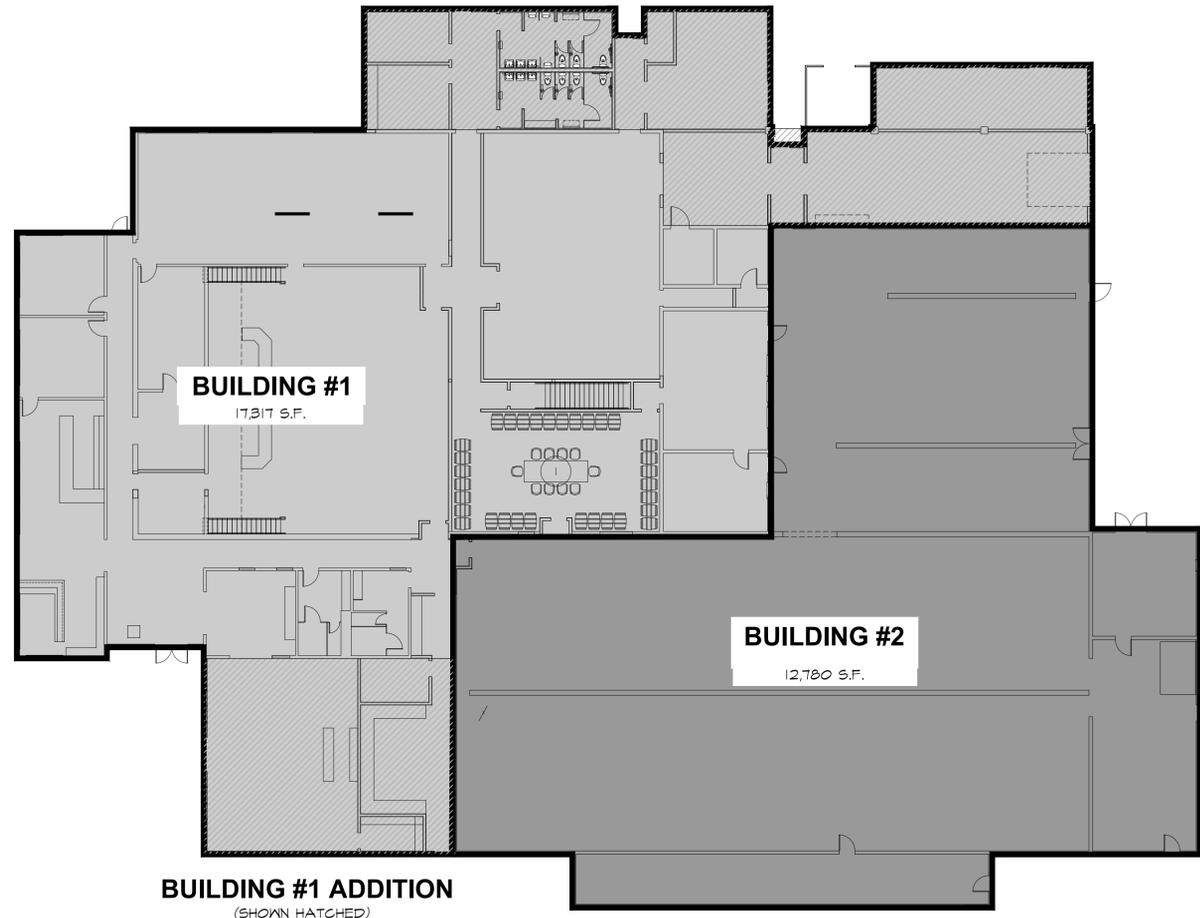
  

Building Height Data		
Existing Building Height (feet)		33.50
Existing Building Height (stories)		1.00

Check Allowable Height		
Height Modifications - CBC, Section 504		
Fire Sprinkler Height Increase - Section 504.2		
Allowable building height from Table 503 (feet)		50.00
Allowable building height from table 503 (stories)		3.00
Fire sprinkler increase (feet)	Feet	20.00
Fire sprinkler increase (stories)	Stories	1.00
Allowed building height (feet)		70.00
Allowed building height (stories)		4.00
Proposed Building Height (feet)		33.50 (no change)
Proposed Building Stories (stories)		1.00 (no change)

**BUILDING #1 ADDITION**  
(SHOWN HATCHED)



**BUILDING #1 ADDITION**  
(SHOWN HATCHED)

**A BUILDING-A FIRST FLOOR AREA PLAN**  
SCALE: NTS



These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

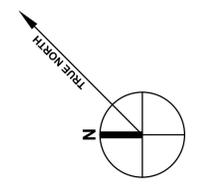
Building-A Use Permit Exhibits for  
**Raymond Winery**  
849 Zinfandel Lane, St. Helena, CA 94574  
APN: 030-270-013-000

Seal:

REVISIONS	
△	DATE: 1/27/2016 USE PERMIT RESUBMITTAL
△	
△	
△	
△	
△	

Date: August 28, 2015  
Project No: 141003  
Sheet Title: **BUILDING-A  
ALLOWABLE AREA  
ANALYSIS**

Sheet #: **AA2.00**  
USE PERMIT SUBMITTAL



OCCUPANT LOAD									
REFER TO OCCUPANCY FLOOR PLAN SHEETS A2.12 & A2.22									
ROOM NUMBER	ROOM NAME / DESCRIPTION	GROSS AREA (SQ. FT.)	NET AREA (SQ. FT.)	OCCUPANCY	OLF TABLE 1004.1.2	OCCUPANT LOAD	EXITS REQ. TABLE 1015.1	FUNCTION OF SPACE (PER TABLE 1004.1.2)	NOTES
<b>FIRST FLOOR</b>									
101	ENTRY	360.0	---	N/A	N/A	N/A	N/A	N/A	ACCESSORY USE - PATH OF EGRESS
102A	HALL	206.0	---	N/A	N/A	N/A	N/A	N/A	ACCESSORY USE - PATH OF EGRESS
102B	HALL	319.0	---	N/A	N/A	N/A	N/A	N/A	ACCESSORY USE - PATH OF EGRESS
103	TASTING ROOM	768.0	454.0	A-2	15 NET	31	1	N/A	
104	SADDLE ROOM	183.0	154.0	A-2	30 NET	5	1	N/A	ACCESSORY USE TO TASTING ROOM
105	TAX PAID STORAGE	145.0	---	S-1	300 GROSS	1	1		
106	THE LIBRARY	240.0	151.0	A-2	30 NET	6	1		ACCESSORY USE TO TASTING ROOM
107	PRIVATE TASTING ROOM	240.0	144.0	A-2	30 NET	5	1		ACCESSORY USE TO TASTING ROOM
108	RED ROOM - A	1442.0	1023.0	A-2	15 NET	69	2		
109	RED ROOM - B	290.0	241.0	A-2	30 NET	9	1		ACCESSORY USE TO RED ROOM - A
110	RECEPTION	266.0	249.0	A-2	30 NET	10	1		
110B	WINE SALES	1029.0	---	B	100 GROSS	11	1		
110C	WINE SALES STORAGE	76.0	---	S-2	300 GROSS	1	1		
111	JANITOR	106.0	---	S-2	N/A	N/A	1	N/A	ACCESSORY USE - OCCUPIED BY BUILDING OCCUPANTS
112	WOMENS RESTROOM	143.0	---	N/A	N/A	N/A	1	N/A	ACCESSORY USE - OCCUPIED BY BUILDING OCCUPANTS
113	MENS RESTROOM	168.0	---	N/A	N/A	N/A	1	N/A	ACCESSORY USE - OCCUPIED BY BUILDING OCCUPANTS
114	STAGING KITCHEN	518.0	---	F-1	200	3	1		
115	CRYSTAL CELLAR	1535.0	1029.0	A-2	15 NET	69	1		
116	WEST TANK ROOM	5533.0	---	F-2	500 GROSS	12	1		
117	HOSE ROOM	727.0	---	S-2	300 GROSS	3	1		
118	BARREL CELLAR	776.0	---	S-2	300 GROSS	3	1		
119	TANKS / MECHANICAL ROOM	382.0	---	U	300 GROSS	2	1		
120	BLENDING ROOM - A	289.0	158.0	A-2	30	11	1		
121	BLENDING ROOM - B	513.0	321.0	A-2	30	18	1		
122	UTILITY ROOM	99.0	---	U	300 GROSS	1	1		
123	COMPUTER / ELECTRICAL ROOM	99.0	---	U	300 GROSS	1	1		
124	EAST TANK ROOM	3410.0	---	F-2	500 GROSS	7	1		
125	HALL	563.0	---	N/A	N/A	N/A	N/A	N/A	ACCESSORY USE - PATH OF EGRESS
126	OLD BARREL ROOM	863.0	317.0	A-2	30 NET	11	1		
127	APPELLATION EDUCATION ROOM	2136.0	---	A-2	15 NET	143	2		
128	DEMONSTRATION	614.0	---	A-2	15 NET	41	1		
129	KITCHEN	894.0	---	F-1	200	5	1		
130	DRY STORAGE	344.0	---	S-2	300 GROSS	2	1		ACCESSORY USE - PATH OF EGRESS
131	STORAGE	928.0	---	S-1 / S-2	300 GROSS	4	1		
132	HALL	89.0	---	N/A	N/A	N/A	N/A	N/A	ACCESSORY USE - PATH OF EGRESS
133	UTILITY ROOM	107.0	---	U	300 GROSS	1	1		
134	DRY STORAGE	442.0	---	S-2	300 GROSS	2	1		
135	JANITOR	47.0	---	S-1	300 GROSS	N/A	1		ACCESSORY USE - OCCUPIED BY BUILDING OCCUPANTS
136	WOMENS RESTROOM	218.0	---	N/A	N/A	N/A	1	N/A	
137	MENS RESTROOM	217.0	---	N/A	N/A	N/A	1	N/A	
138	BREAK ROOM	186.0	---	B	100 GROSS	2	1		
139	MANAGERS OFFICE	146.0	---	B	100 GROSS	2	1		
140	HALL	93.0	---	N/A	N/A	N/A	N/A	N/A	ACCESSORY USE - PATH OF EGRESS
FIRST FLOOR TOTAL OCCUPANTS						499			
<b>SECOND FLOOR</b>									
201	STAIRWELL	25.0	---	N/A	N/A	N/A	N/A	N/A	ACCESSORY USE - PATH OF EGRESS
202	OPEN OFFICE	899.0	---	B	100 GROSS	9	1		
203	OFFICE	116.0	---	B	100 GROSS	2	1		
204	WORK ROOM	84.0	---	B	100 GROSS	1	1		
205	RUTHERFORD ROOM MEZZANINE	920.0	---	A-2	100 GROSS	10	1		
206	TAX PAID STORAGE	1016.0	---	S-2	300 GROSS	4	1		
207	ATTIC / MECHANICAL SPACE	387.0	---	U	300 GROSS	N/A	N/A		ACCESSORY USE - ASSUME NO OCCUPANTS
SECOND FLOOR TOTAL OCCUPANTS						26			
BUILDING TOTAL OCCUPANTS						525			

EXTERIOR EXIT DOOR WIDTH SCHEDULE					
REFER TO EGRESS FLOOR PLAN SHEET A2.13 & A2.23					
DOOR	DESCRIPTION	OCCUPANT LOAD	NO. OF OCCUPANTS/DOORS	REQUIRED EGRESS WIDTH (PER CBC 1005.3.2 EXCEPTION #1) SPRINKLED BUILDING 0.15" X OCCUPANT LOAD	OCCUPANT LOAD
101	ENTRY 101	172	86	25.8"	1 X (36" * 2) = 72" LEAFS = 64" CLEAR
102	HALL 102A	54	54	8.1"	1 X 36" = 32" CLEAR
103	HALL 103	160	160	24.0"	1 X 36" = 32" CLEAR
104	KITCHEN, DRY STORAGE, DEMONSTRATION	25	25	3.75"	1 X 36" = 32" CLEAR
106	HALL 106	25	25	3.75"	1 X 36" = 32" CLEAR
108	UTILITY ROOM 108	1	1	0.15"	1 X (36" * 2) = 72" LEAFS = 64" CLEAR
111	EAST TANK ROOM, BLENDING ROOM A, BLENDING ROOM B	19	19	2.85"	1 X 36" = 32" CLEAR
113	TANKS 113	2	2	0.3"	1 X (36" * 2) = 72" LEAFS = 64" CLEAR
114	WEST TANK, BARREL CELLAR	49	49	7.35"	1 X 36" = 32" CLEAR
116	HOSE ROOM 116	3	3	0.45"	1 X 36" = 32" CLEAR
117	STAGING KITCHEN 117	3	3	0.45"	1 X 36" = 32" CLEAR
118	WINE SALES 118	12	6	1.80"	1 X (36" * 2) = 72" LEAFS = 64" CLEAR

PLUMBING FIXTURE COUNT SCHEDULE			
525 TOTAL BUILDING OCCUPANTS - ASSUME 263 MALE OCCUPANTS, 262 FEMALE OCCUPANTS ASSUME A-2 OCCUPANCY GOVERNS FIXTURES PER PERSON			
FIXTURE TYPE	REQ. PER TABLE 422.1	PROVIDED	SUMMARY PER TABLE 422.1
WC - MEN	3	5	MALE 3 PER 151-300 OCCUPANTS
WC - WOMEN	6	6	FEMALE 6 PER 201-300 OCCUPANTS
URINALS - MEN	2	3	2 PER 201-300 OCCUPANTS
LAVATORIES - MEN	3	4	1 PER 201-400 OCCUPANTS
LAVATORIES - WOMEN	4	4	1 PER 201-400 OCCUPANTS
DRINKING FOUNTAINS	3	?	3 PER 501-750 OCCUPANTS



These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Building-A Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013-000

Seal:

**REVISIONS**

△	DATE:	1/27/2016
△	USE PERMIT RESUBMITTAL	
△		
△		
△		
△		
△		

Date: **August 28, 2015**

Project No: **141003**

Sheet Title: **BUILDING-A OCCUPANCY ANALYSIS**

Sheet #:

**AA2.01**

USE PERMIT SUBMITTAL

**REVISIONS**

DATE	DESCRIPTION
1/27/2016	USE PERMIT RESUBMITTAL

Date: August 28, 2015

Project No: 141003

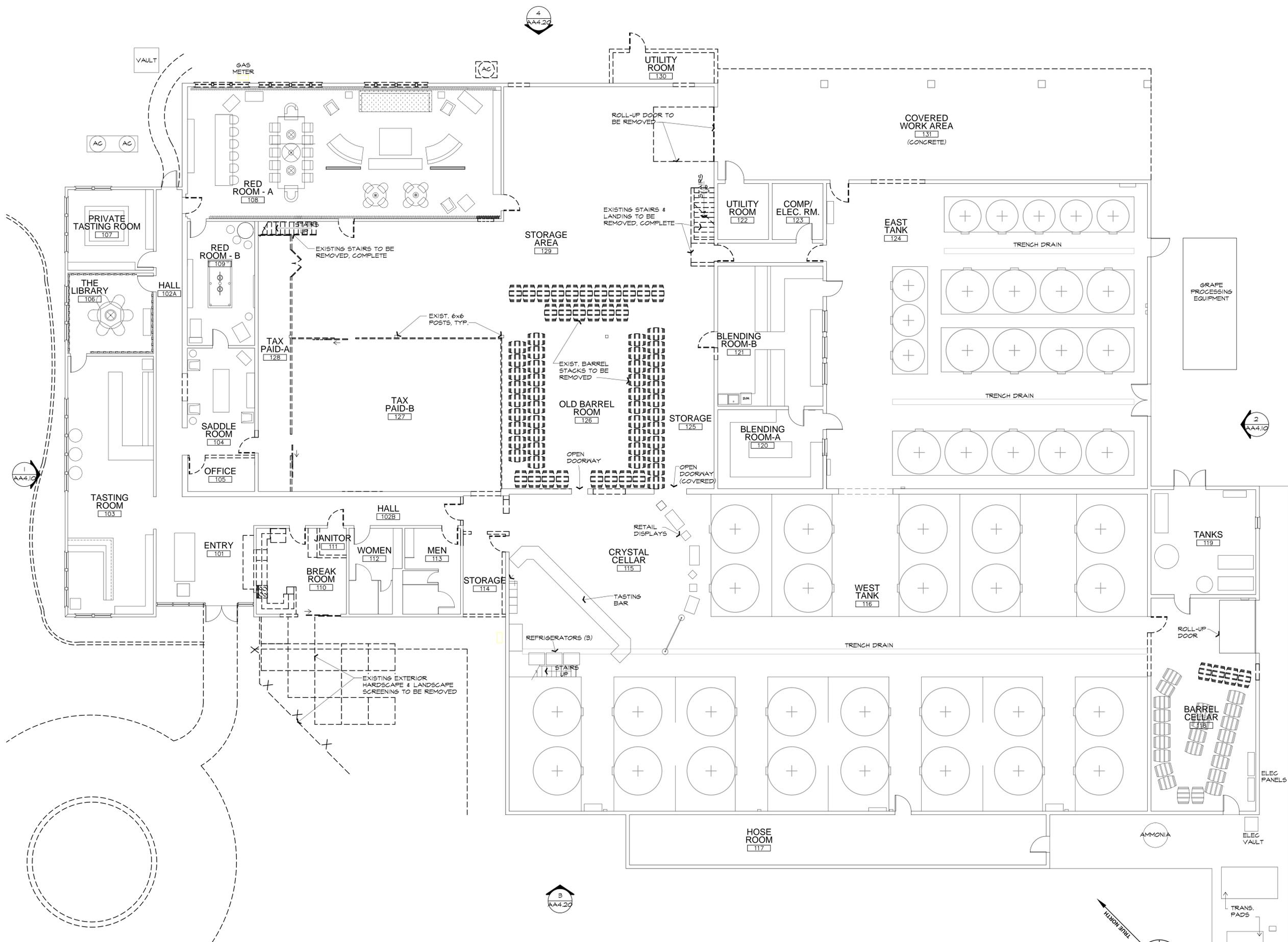
Sheet Title: BUILDING - A

EXISTING GROUND FLOOR / DEMO PLAN

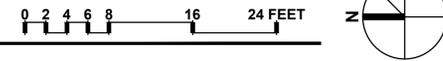
Sheet #:

**AA2.10**

USE PERMIT SUBMITTAL



**A BUILDING-A EXISTING GROUND FLOOR / DEMOLITION PLAN - (24,850 SQ. FT.)**  
 SCALE: 1/8" = 1'-0"



These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Building-A Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013-000

Seal:

**REVISIONS**

DATE	DESCRIPTION
1/27/2016	USE PERMIT RESUBMITTAL

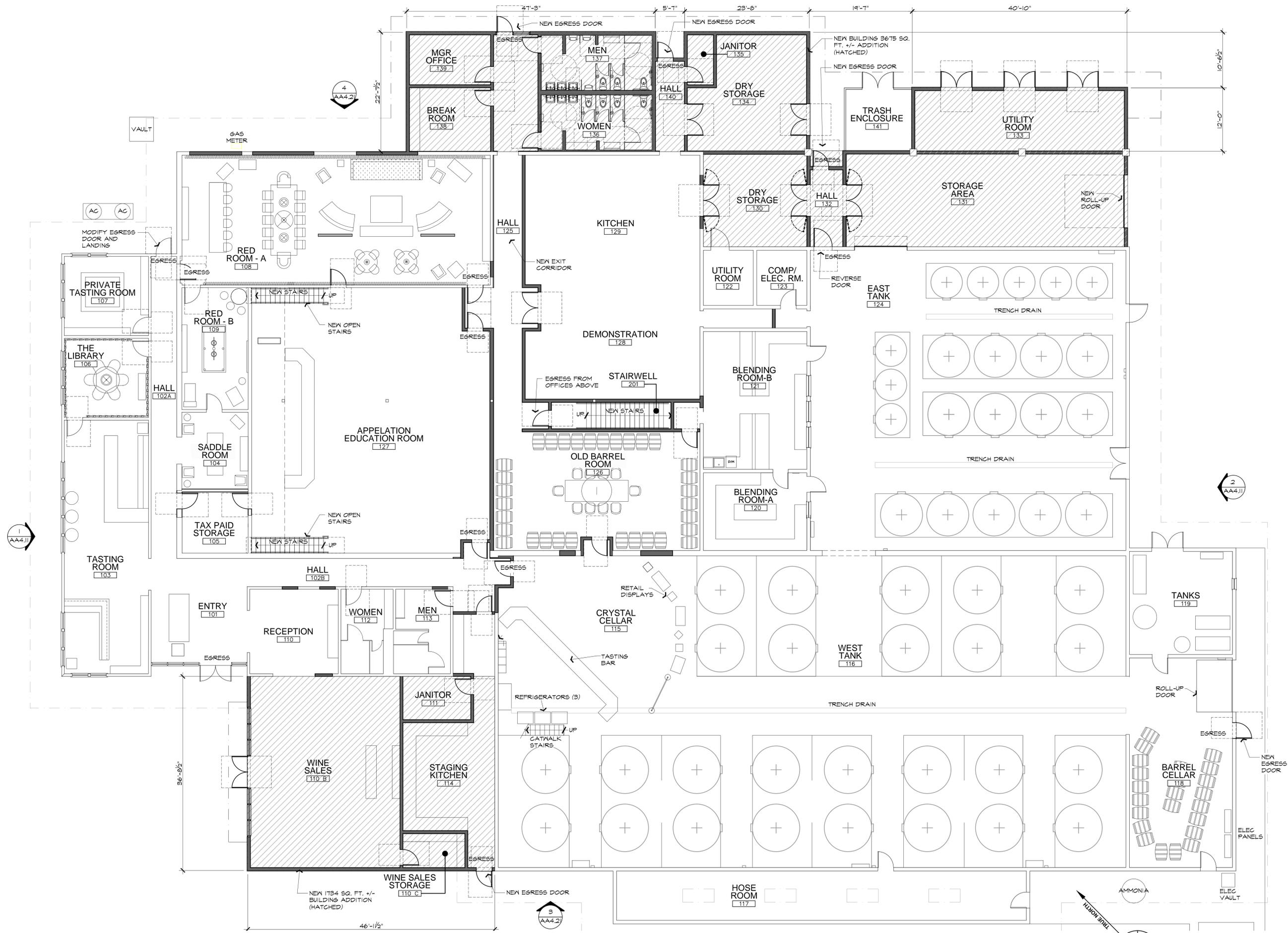
Date: August 28, 2015

Project No: 141003

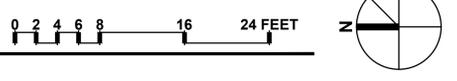
Sheet Title: PROPOSED GROUND FLOOR PLAN

Sheet #: AA2.11

USE PERMIT SUBMITTAL



**A BUILDING-A PROPOSED GROUND FLOOR PLAN - (24,850 SQ. FT. + 5409 SQ. FT. = 30,259 SQ. FT.)**  
 SCALE: 1/8" = 1'-0"



**WINERY USE LEGEND**

PRODUCTION USE

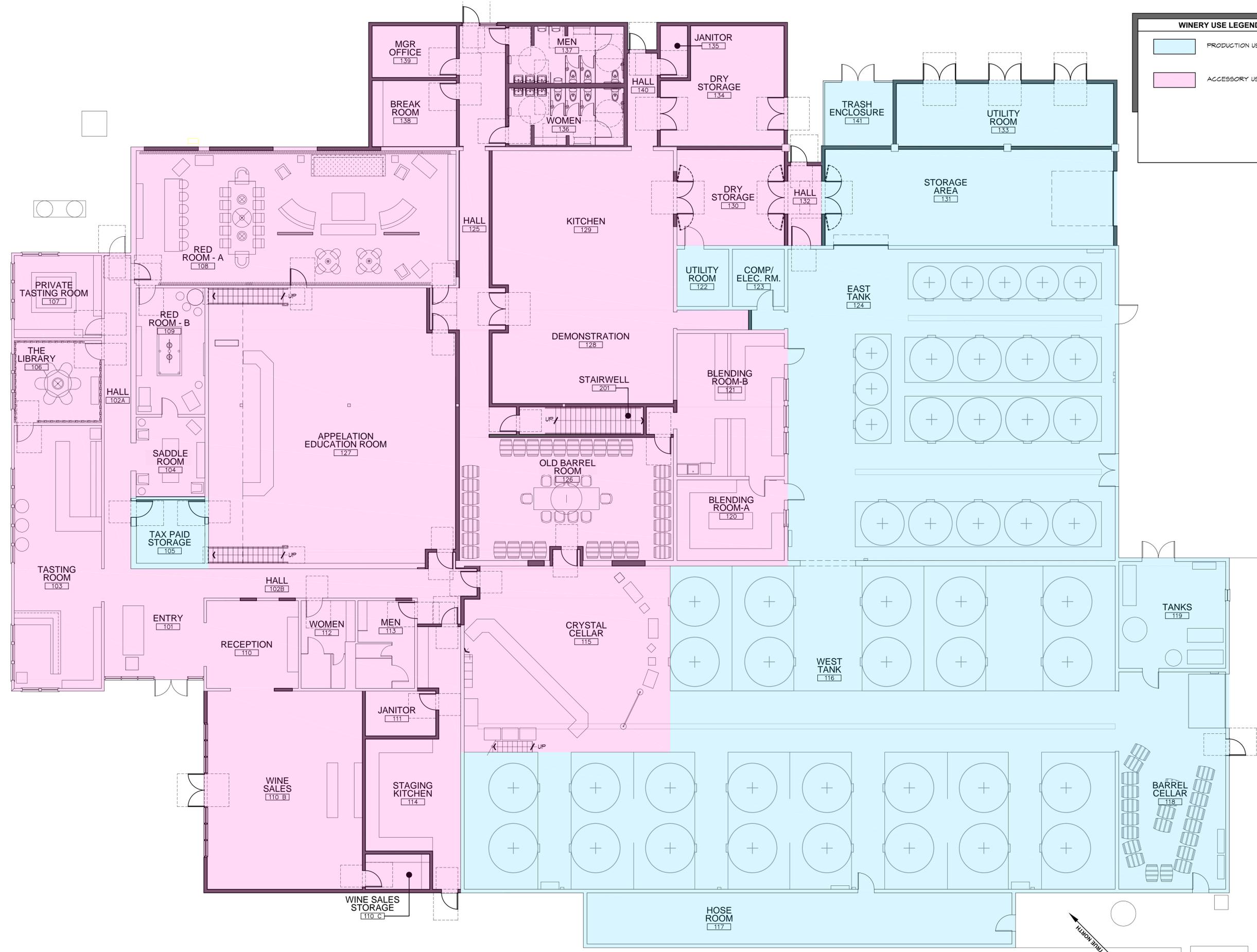
ACCESSORY USE

**PAUL KELLEY ARCHITECT**

1110 Wyatt Avenue, Napa, CA 94559  
 Phone: 707-257-1148 Fax: 707-266-1027  
 www.paulkellyarchitecture.com

These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:



Building-A Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013-000

Seal:

REVISIONS	
△	DATE: 1/27/2016 USE PERMIT RESUBMITTAL
△	
△	
△	
△	
△	

Date: August 28, 2015  
 Project No: 141003  
 Sheet Title:

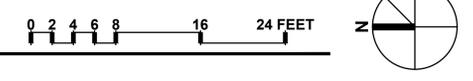
**PROPOSED GROUND FLOOR PLAN**

Sheet #:

**AA2.11a**

USE PERMIT SUBMITTAL

**A BUILDING-A PROPOSED GROUND FLOOR PLAN - (24,850 SQ. FT. + 5409 SQ. FT. = 30,259 SQ. FT.)**  
 SCALE: 1/8" = 1'-0"



These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Building-A Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013-000

Seal:

**REVISIONS**

DATE	REVISION
1/27/2016	USE PERMIT RESUBMITTAL

Date: August 28, 2015

Project No: 141003

Sheet Title: **BUILDING-A GROUND FLOOR OCCUPANCY PLAN**

Sheet #:

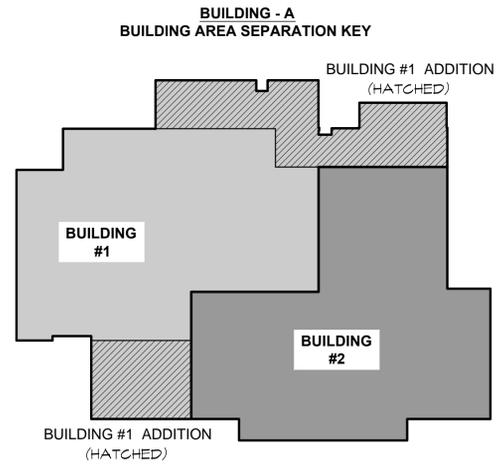
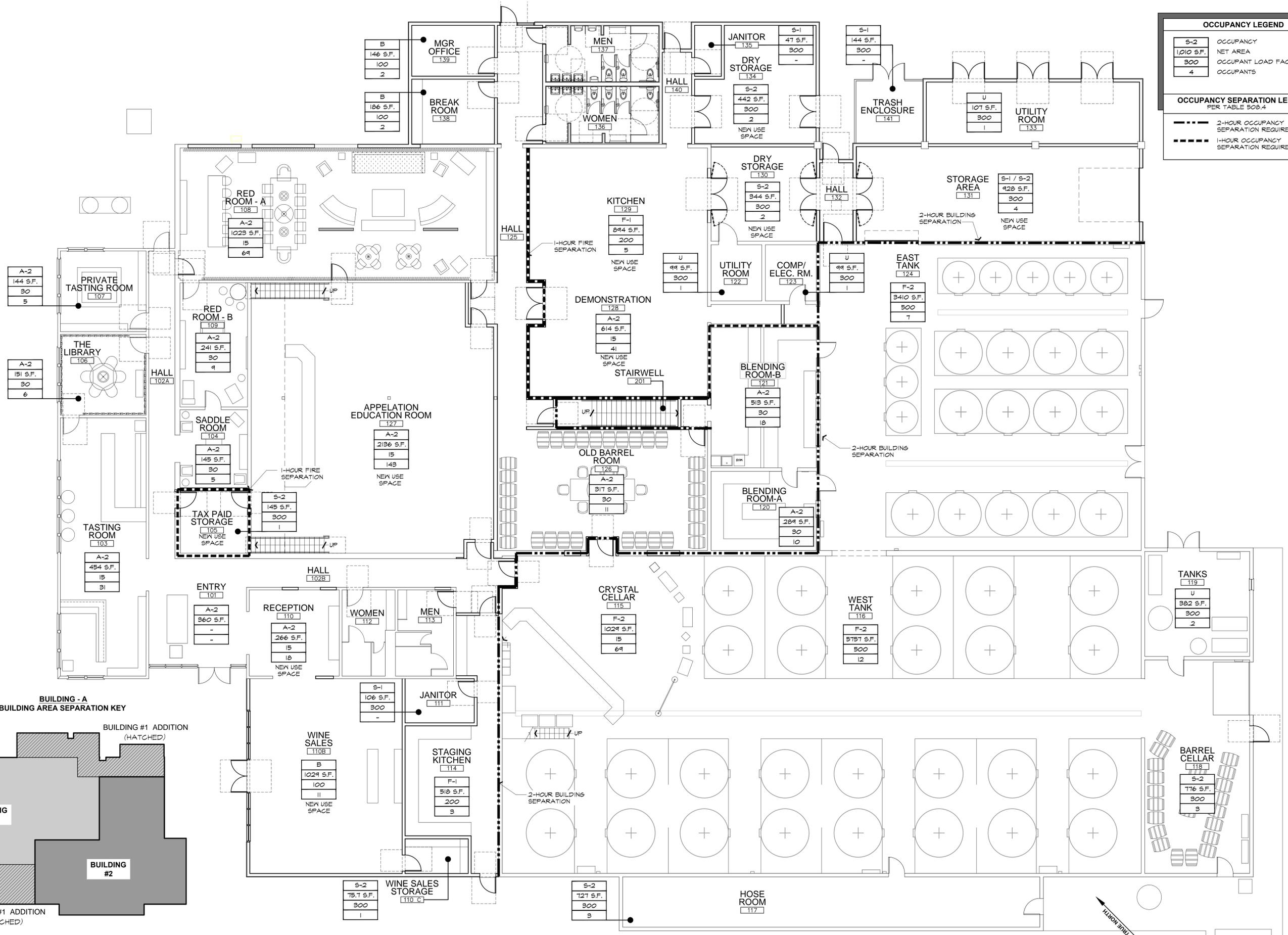
**AA2.12**

USE PERMIT SUBMITTAL

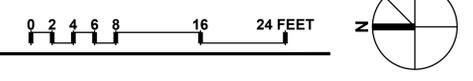
OCCUPANCY LEGEND	
S-2	OCCUPANCY
1,010 S.F.	NET AREA
300	OCCUPANT LOAD FACTOR
4	OCCUPANTS

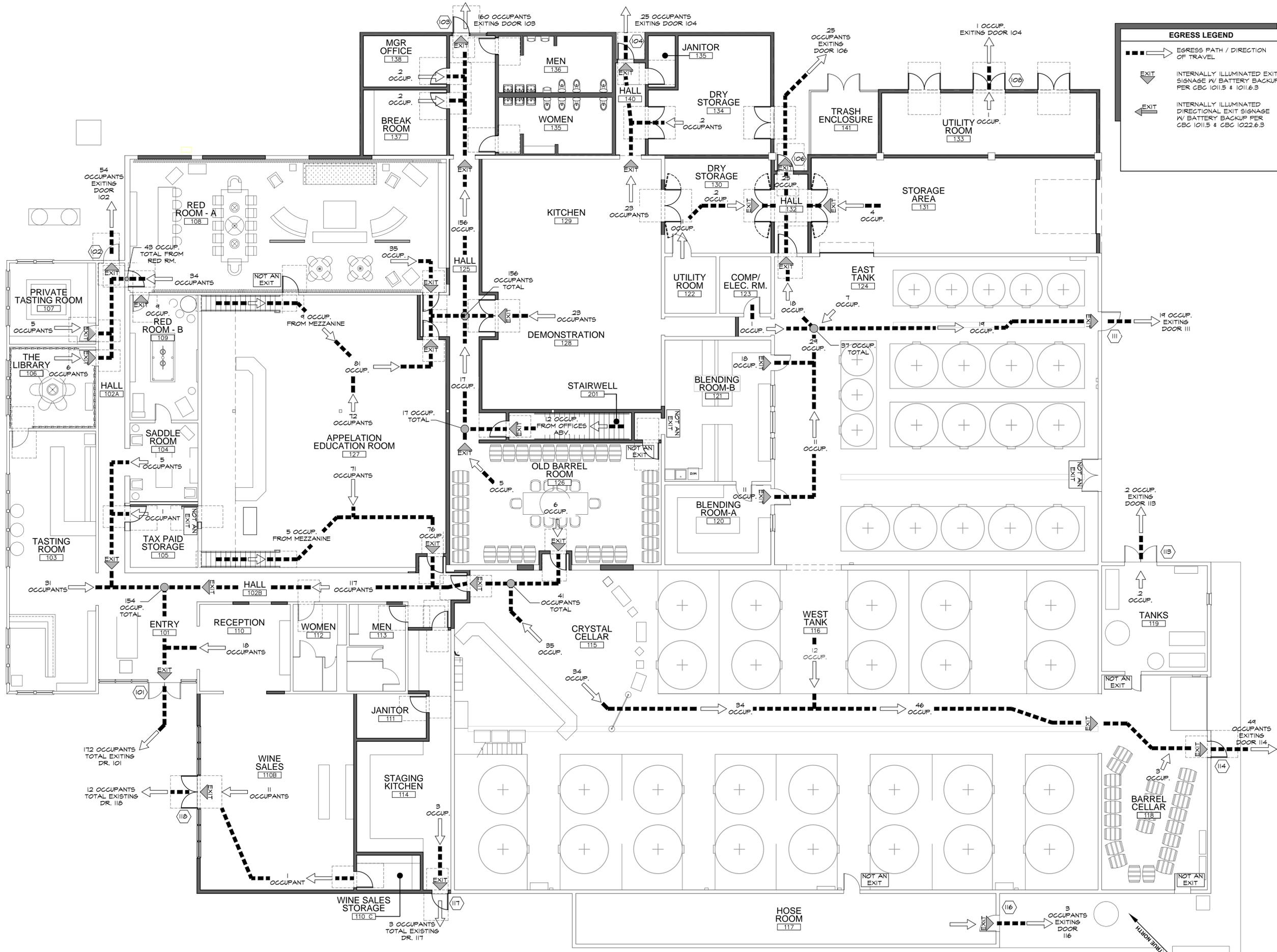
  

OCCUPANCY SEPARATION LEGEND PER TABLE 508.4	
	2-HOUR OCCUPANCY SEPARATION REQUIRED
	1-HOUR OCCUPANCY SEPARATION REQUIRED



**A BUILDING-A PROPOSED GROUND OCCUPANCY PLAN**  
 SCALE: 1/8" = 1'-0"





**EGRESS LEGEND**

- > EGRESS PATH / DIRECTION OF TRAVEL
- EXIT (with arrow) INTERNALLY ILLUMINATED EXIT SIGNAGE W/ BATTERY BACKUP PER CBC 1011.5 & 1011.6.3
- EXIT (with arrow) INTERNALLY ILLUMINATED DIRECTIONAL EXIT SIGNAGE W/ BATTERY BACKUP PER CBC 1011.5 & CBC 1022.6.3

**PAUL KELLEY ARCHITECT**  
 110 West Avenue, Suite 200, San Jose, CA 95128  
 Phone: 408.271.1148 Fax: 408.271.2610  
 www.paulkelleyarchitecture.com

These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Building-A Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013-000

Scale:

REVISIONS	
△	DATE: 1/27/2016 USE PERMIT RESUBMITTAL
△	
△	
△	
△	
△	

Date: August 28, 2015

Project No: 141003

Sheet Title: **BUILDING-A PROPOSED GROUND FLOOR EGRESS PLAN**

Sheet #:

**AA2.13**

USE PERMIT SUBMITTAL

**A BUILDING-A PROPOSED GROUND FLOOR EGRESS PLAN**  
 SCALE: 1/8" = 1'-0"





**REVISIONS**

DATE	DESCRIPTION
1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**

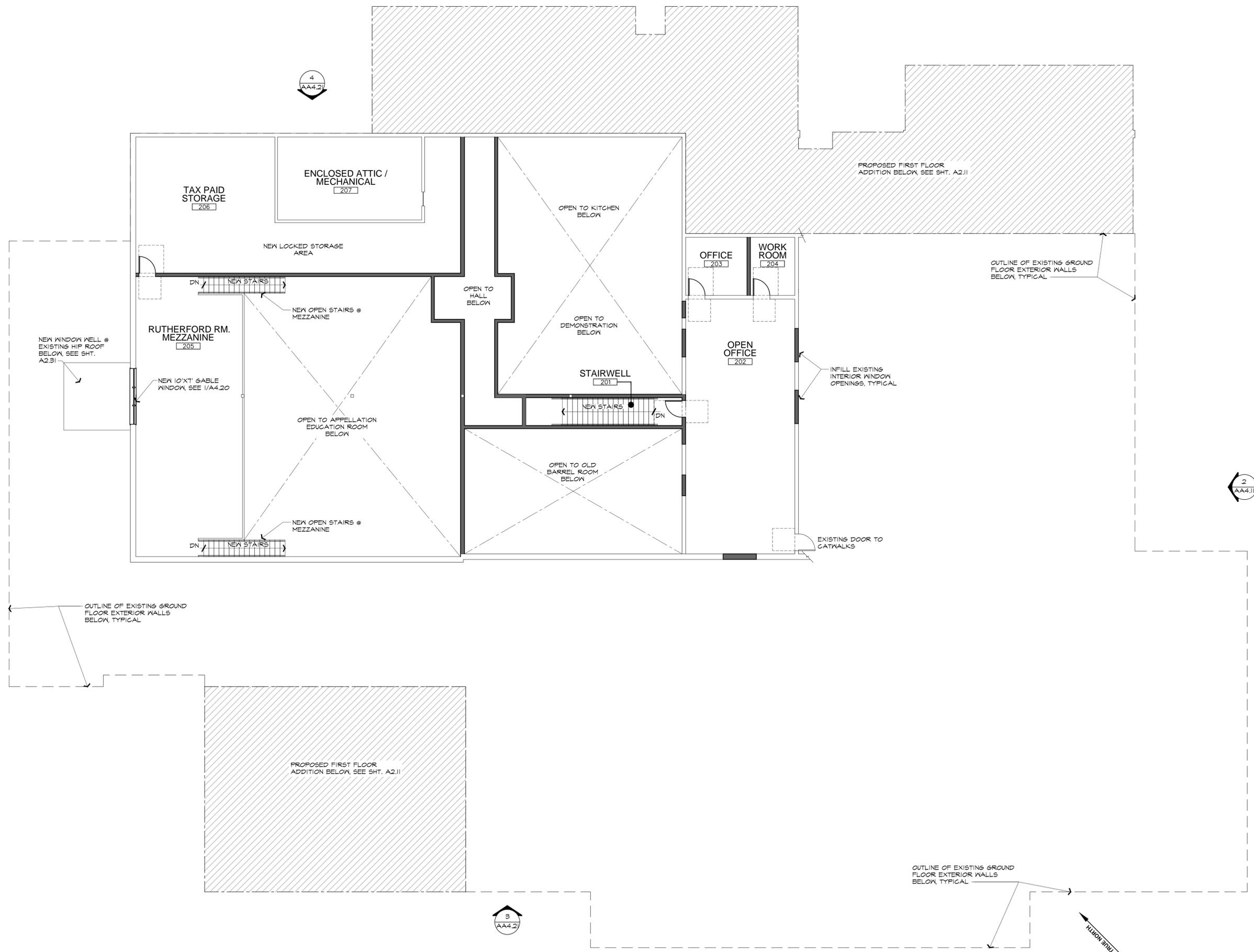
Project No: **141003**

Sheet Title: **BUILDING-A PROPOSED SECOND FLOOR PLAN**

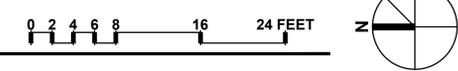
Sheet #:

**AA2.21**

USE PERMIT SUBMITTAL



**A BUILDING-A PROPOSED SECOND FLOOR PLAN - (3,766 SQ. FT. + 39 SQ. FT. = 3805 SQ. FT.)**  
 SCALE: 1/8" = 1'-0"



**WINERY USE LEGEND**

 PRODUCTION USE

 ACCESSORY USE

**PAUL KELLEY ARCHITECT**  
 1110 Wyatt Avenue, Napa, CA 94559  
 Phone: 707-257-1148 Fax: 707-266-1027  
 www.paulkelleyarchitecture.com

These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:



Building-A Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013-000

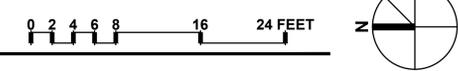
Seal:

REVISIONS	
△	DATE: 1/27/2016 USE PERMIT RESUBMITTAL
△	
△	
△	
△	
△	

Date: August 28, 2015  
 Project No: 141003  
 Sheet Title: **BUILDING-A PROPOSED SECOND FLOOR PLAN**

Sheet #: **AA2.21a**  
 USE PERMIT SUBMITTAL

**A BUILDING-A PROPOSED SECOND FLOOR PLAN - (3,766 SQ. FT. + 39 SQ. FT. = 3805 SQ. FT.)**  
 SCALE: 1/8" = 1'-0"



These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Building-A Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013-000

Seal:

**REVISIONS**

NO.	DATE	DESCRIPTION
1	1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**

Project No: **141003**

Sheet Title: **BUILDING-A SECOND FLOOR OCCUPANCY PLAN**

Sheet #:

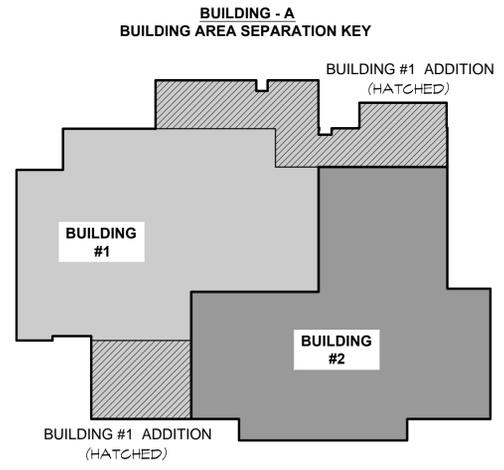
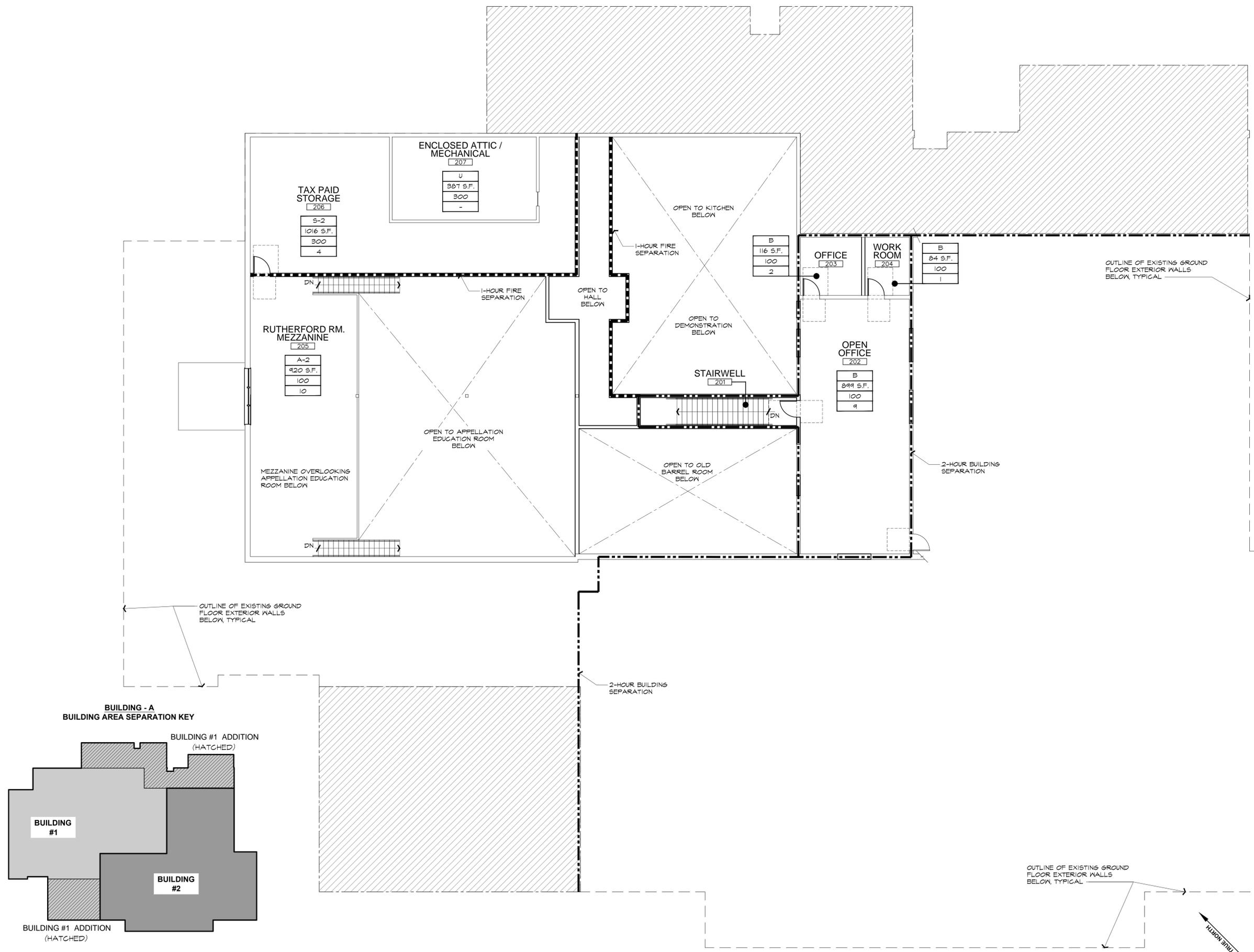
**AA2.22**

USE PERMIT SUBMITTAL

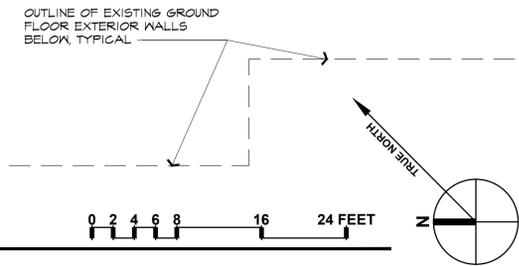
OCCUPANCY LEGEND	
S-2	OCCUPANCY
1010 S.F.	NET AREA
300	OCCUPANT LOAD FACTOR
4	OCCUPANTS

OCCUPANCY SEPARATION LEGEND PER TABLE 508.4	
	2-HOUR OCCUPANCY SEPARATION REQUIRED
	1-HOUR OCCUPANCY SEPARATION REQUIRED



**A BUILDING-A PROPOSED SECOND FLOOR OCCUPANCY PLAN**  
 SCALE: 1/8" = 1'-0"



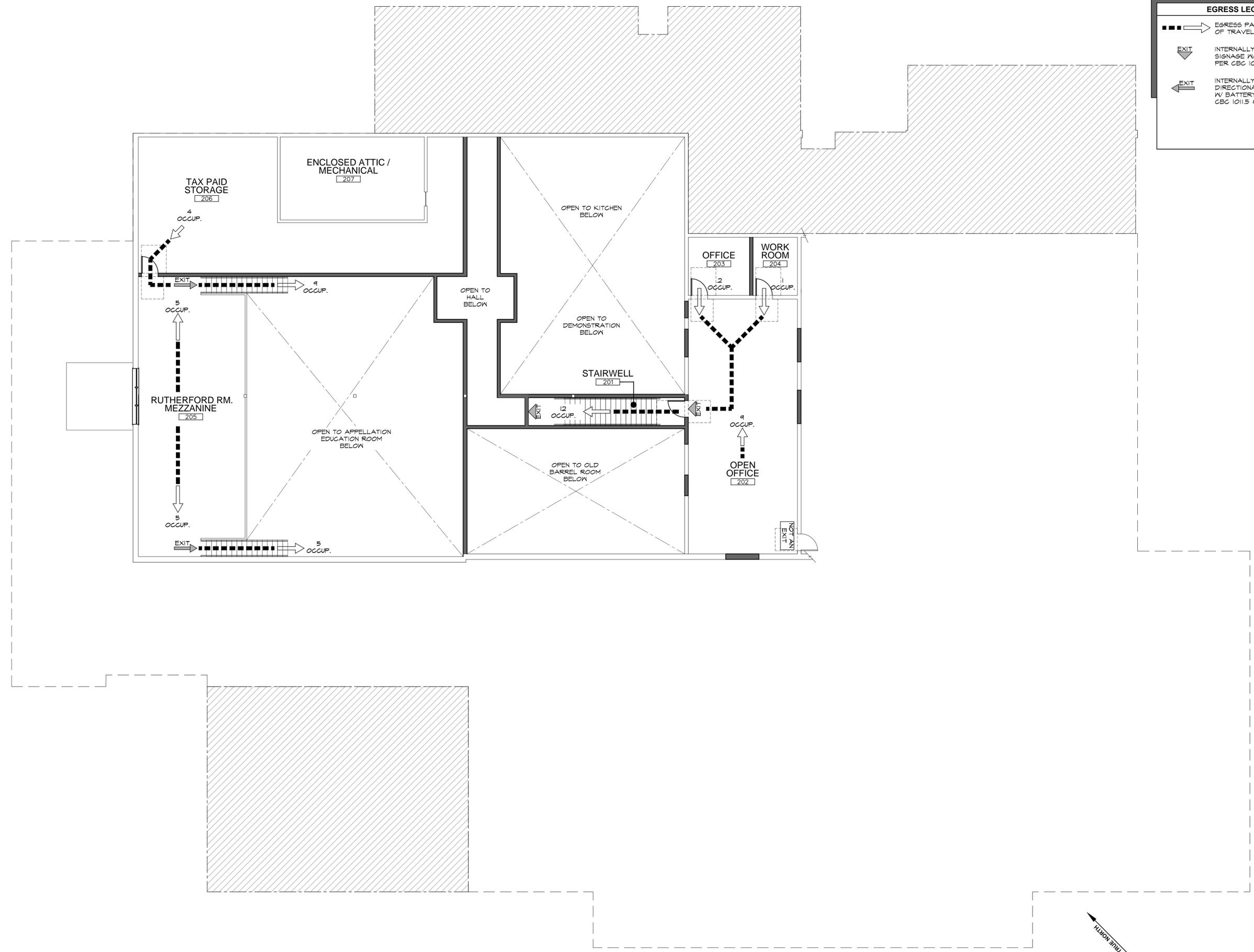
**EGRESS LEGEND**

- > EGRESS PATH / DIRECTION OF TRAVEL
- EXIT (triangle with arrow) INTERNALLY ILLUMINATED EXIT SIGNAGE W/ BATTERY BACKUP PER CBC 1011.5 & 1011.6.3
- EXIT (triangle with arrow) INTERNALLY ILLUMINATED DIRECTIONAL EXIT SIGNAGE W/ BATTERY BACKUP PER CBC 1011.5 & CBC 1022.6.3

**PAUL KELLEY ARCHITECT**  
 1110 Wyatt Avenue, Napos, CA 94959  
 Phone: 707-257-1148 Fax: 707-266-1027  
 www.paulkellyarchitect.com

These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:



Building-A Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013-000

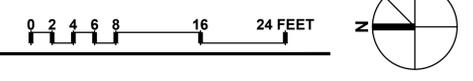
Seal:

REVISIONS	
△	DATE: 1/27/2016 USE PERMIT RESUBMITTAL
△	
△	
△	
△	
△	

Date: August 28, 2015  
 Project No: 141003  
 Sheet Title: **BUILDING-A PROPOSED SECOND FLOOR EGRESS PLAN**

Sheet #: **AA2.23**  
 USE PERMIT SUBMITTAL

**A BUILDING-A PROPOSED SECOND FLOOR EGRESS PLAN**  
 SCALE: 1/8" = 1'-0"



**REVISIONS**

DATE	REVISION
1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**

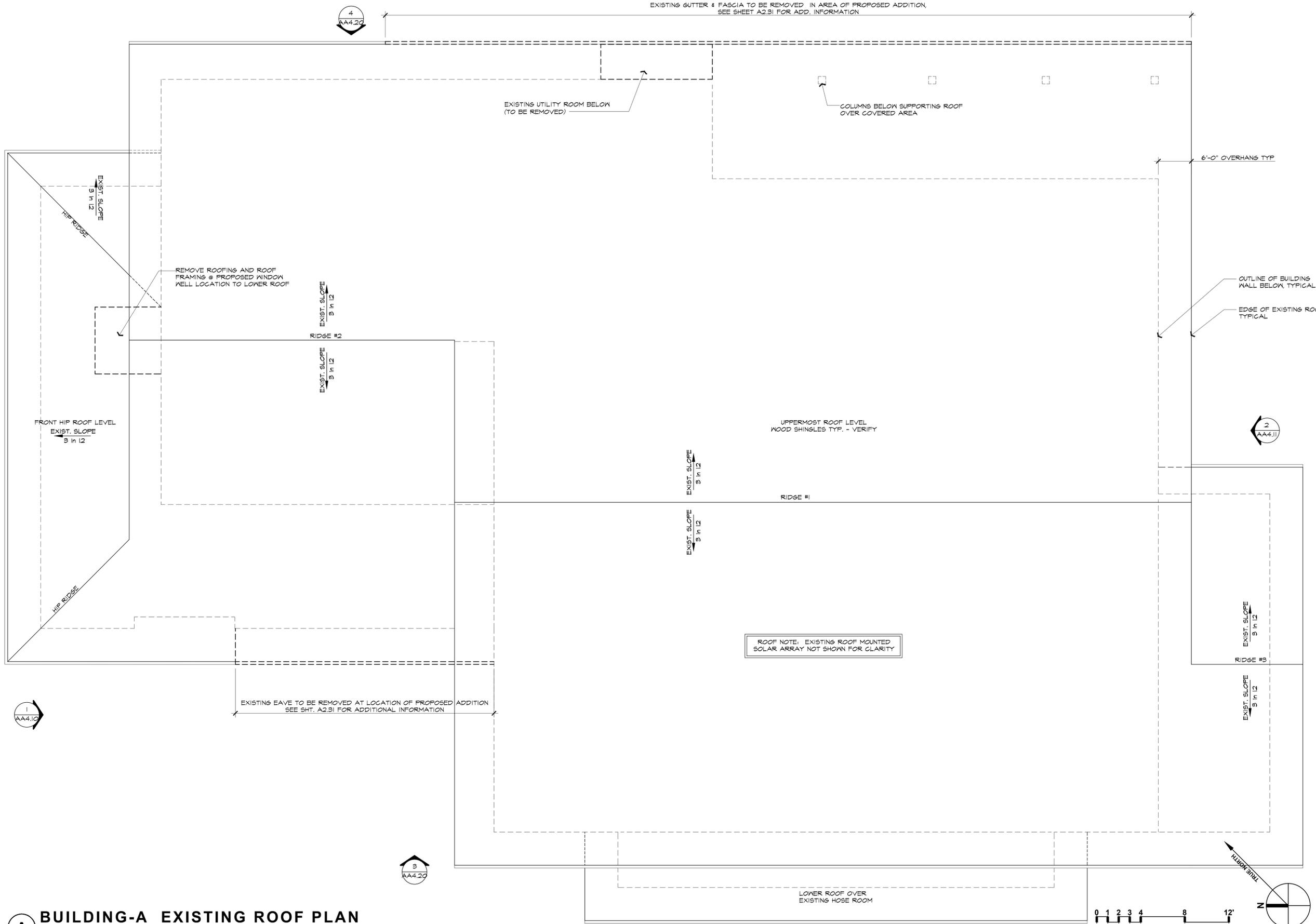
Project No: **141003**

Sheet Title: **BUILDING-A EXISTING ROOF PLAN**

Sheet #:

**AA2.30**

USE PERMIT SUBMITTAL



**A BUILDING-A EXISTING ROOF PLAN**  
 SCALE: 1/4" = 1'-0"

These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Building-A Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013-000

Seal:

**REVISIONS**

DATE	1/27/2016
USE PERMIT RESUBMITTAL	

Date: **August 28, 2015**

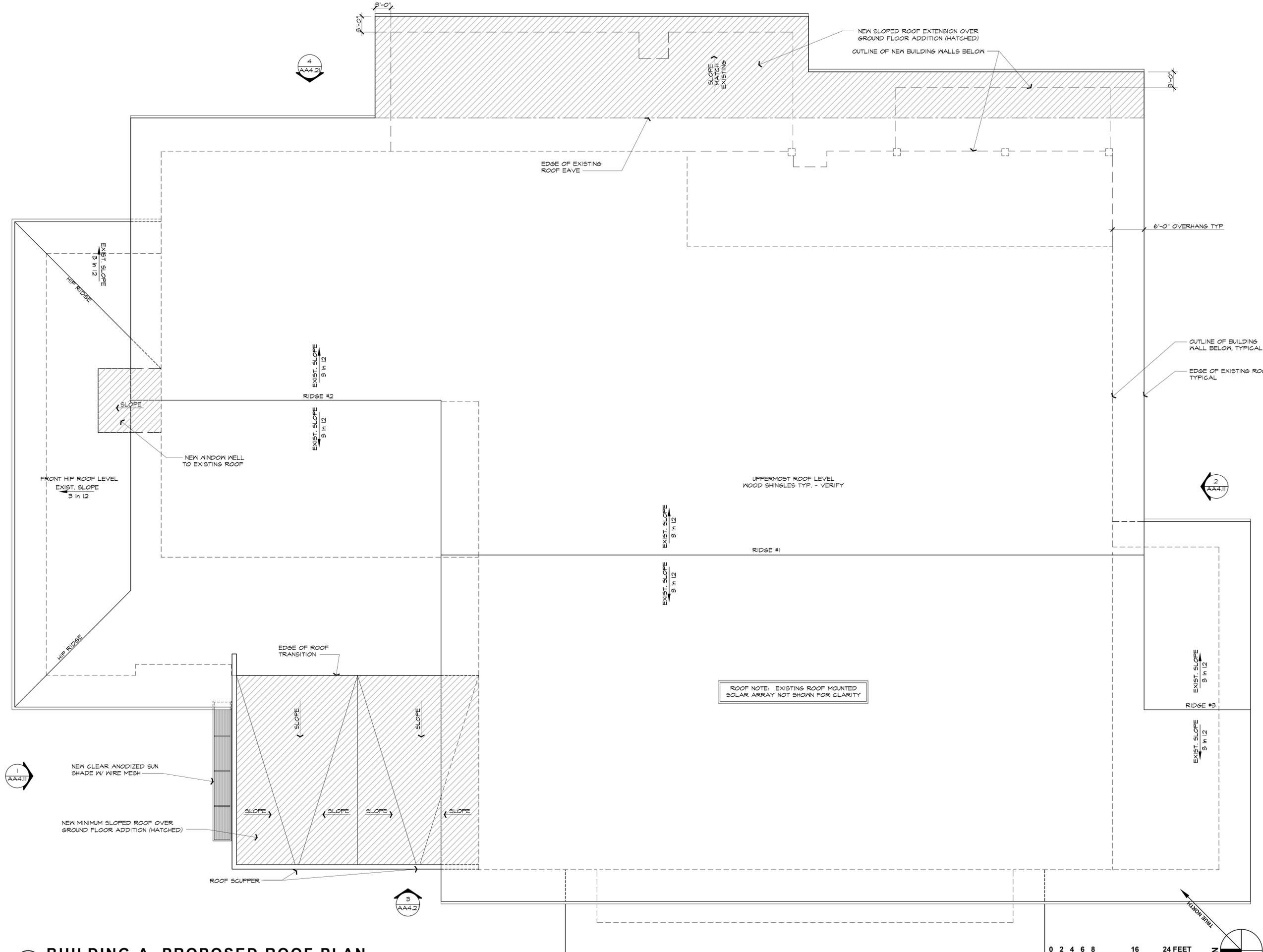
Project No: **141003**

Sheet Title: **BUILDING-A PROPOSED ROOF PLAN**

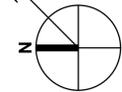
Sheet #:

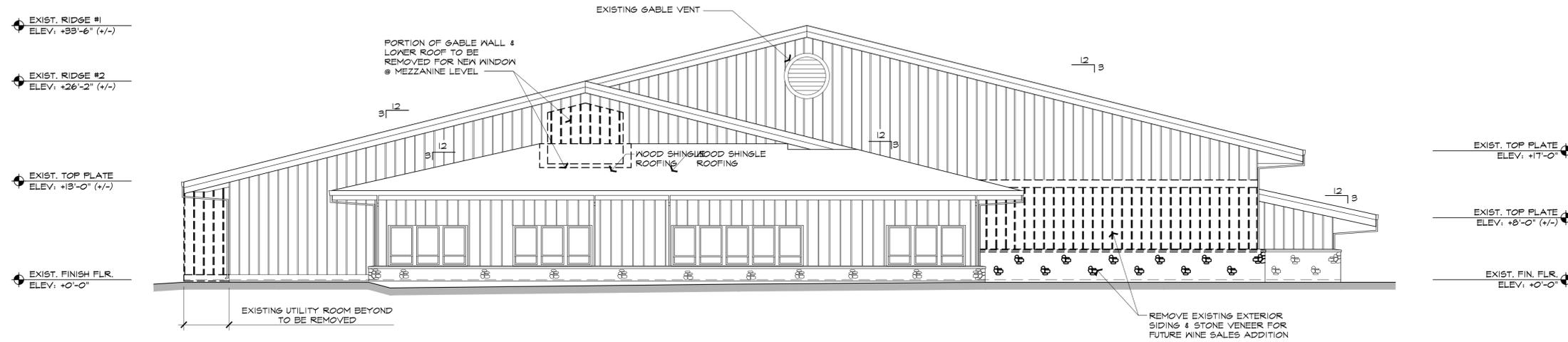
**AA2.31**

USE PERMIT SUBMITTAL

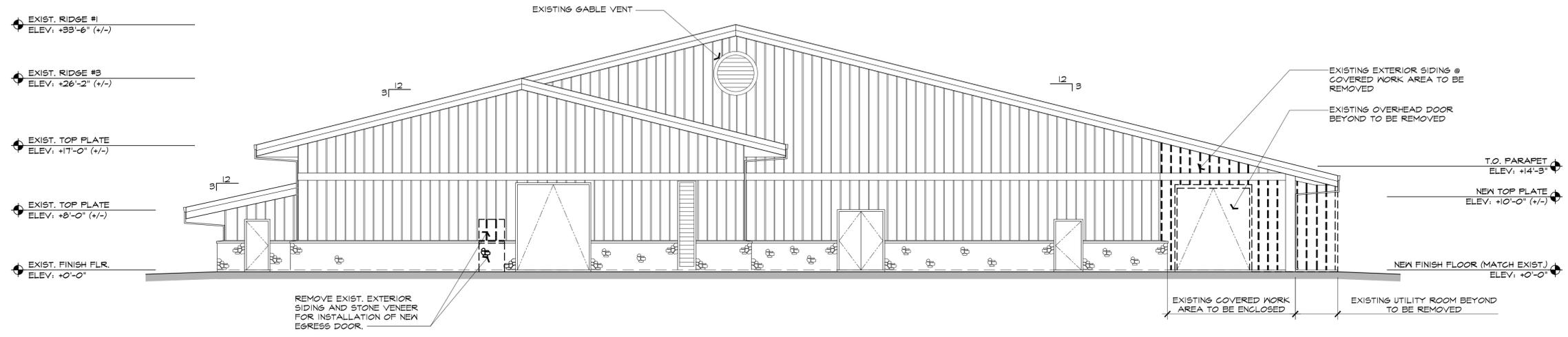
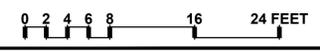


**A BUILDING-A PROPOSED ROOF PLAN**  
 SCALE: 1/8" = 1'-0"

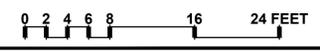




**1** EXISTING FRONT (North) ELEVATION  
SCALE: 1/8" = 1'-0"



**2** EXISTING REAR (South) ELEVATION  
SCALE: 1/8" = 1'-0"



**REVISIONS**

DATE	DESCRIPTION
1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**

Project No: **141003**

Sheet Title: **BUILDING-A EXISTING EXTERIOR ELEVATIONS**

Sheet #:

**AA4.10**

USE PERMIT SUBMITTAL

**REVISIONS**

DATE	DESCRIPTION
1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**

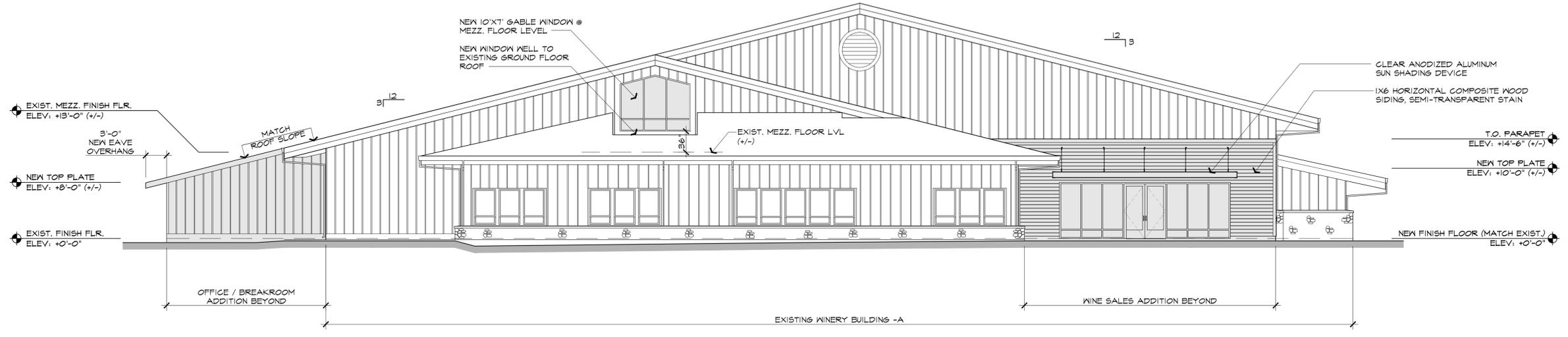
Project No: **141003**

Sheet Title:  
**BUILDING-A  
 PROPOSED EXTERIOR  
 ELEVATIONS**

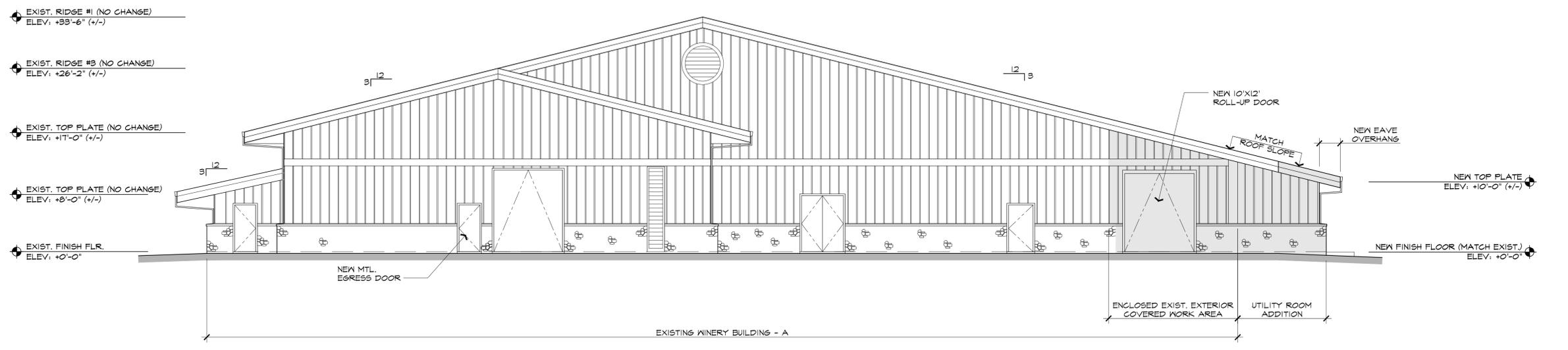
Sheet #:

**AA4.11**

USE PERMIT SUBMITTAL



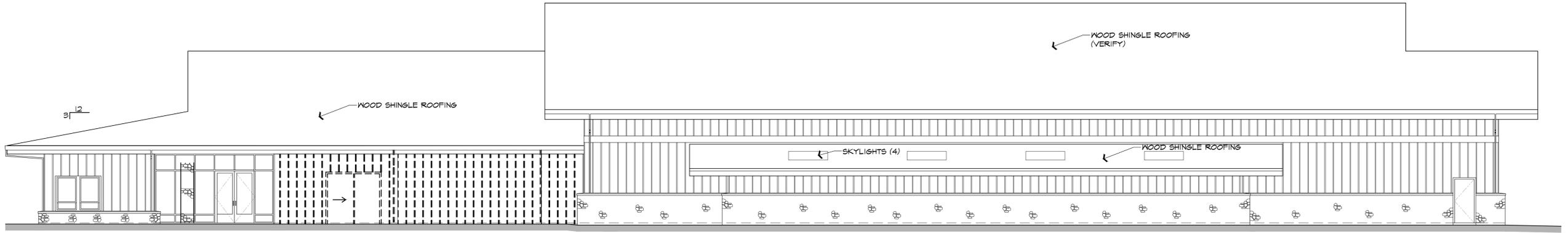
**1 PROPOSED FRONT (North) ELEVATION**  
 SCALE: 1/8" = 1'-0"



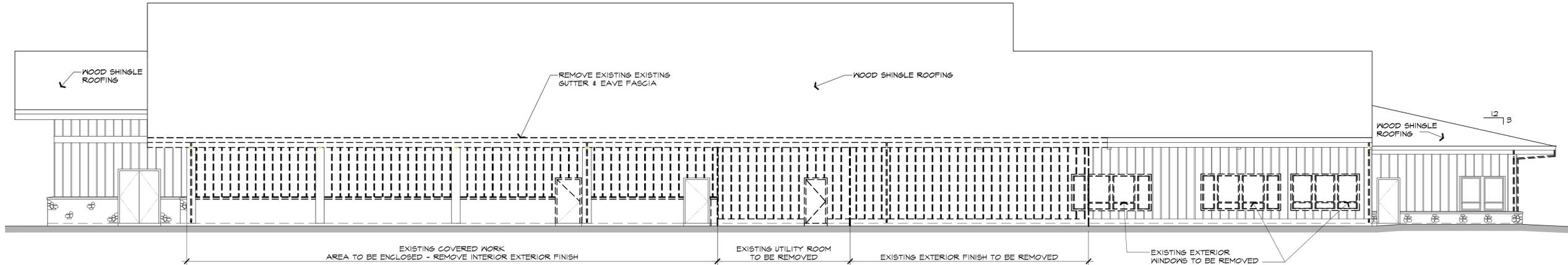
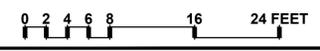
**2 PROPOSED REAR (South) ELEVATION**  
 SCALE: 1/8" = 1'-0"

These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity, in any other location. Copyright 2016 Paul Kelley Architect, Inc.

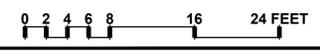
Consultant:



**3** EXISTING RIGHT SIDE (WEST) ELEVATION  
 SCALE: 1/8" = 1'-0"



**4** EXISTING LEFT SIDE (EAST) ELEVATION  
 SCALE: 1/8" = 1'-0"



Building-A Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013-000

Seal:

**REVISIONS**

DATE:	1/27/2016
USE PERMIT RESUBMITTAL	

Date: **August 28, 2015**

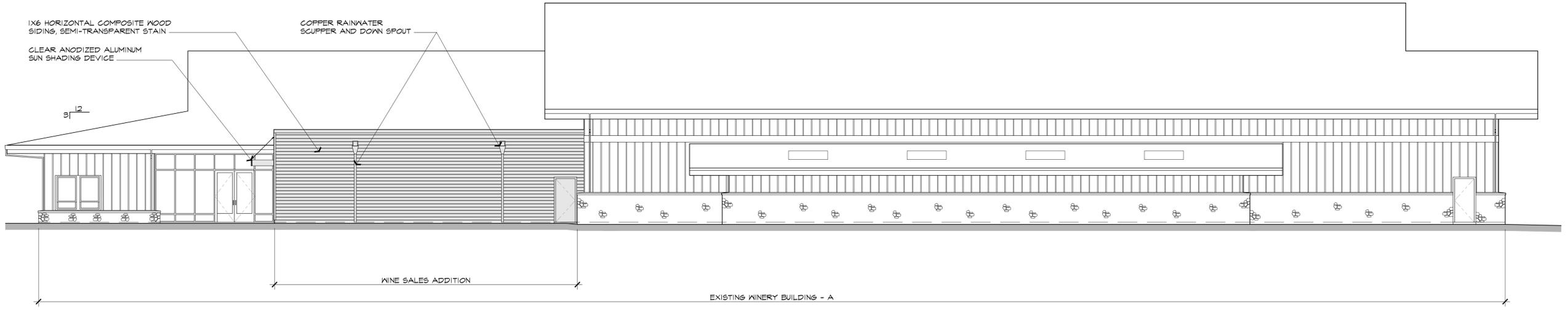
Project No: **141003**

Sheet Title:  
**BUILDING-A  
 EXISTING EXTERIOR  
 ELEVATIONS**

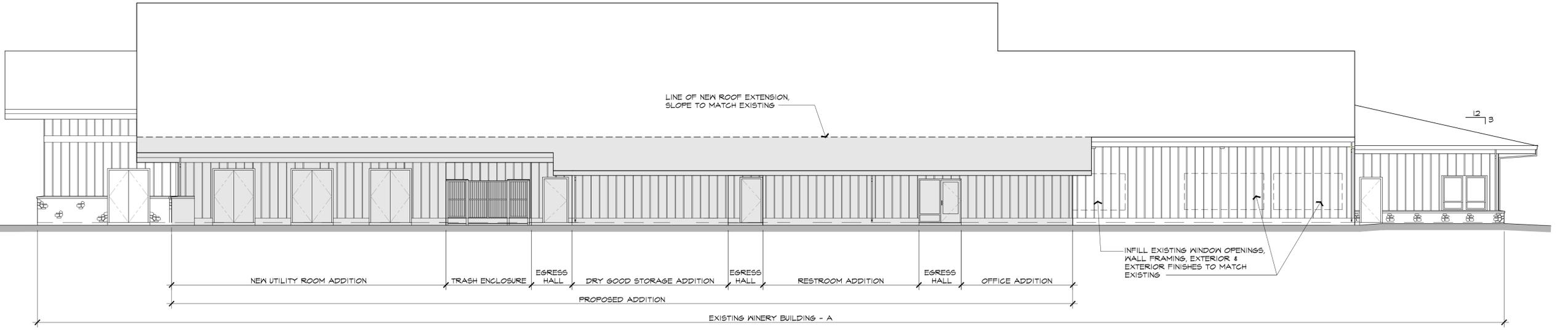
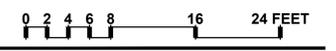
Sheet #:

**AA4.20**

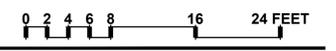
USE PERMIT SUBMITTAL



**3 PROPOSED RIGHT SIDE (WEST) ELEVATION**  
 SCALE: 1/8" = 1'-0"



**4 PROPOSED LEFT SIDE (EAST) ELEVATION**  
 SCALE: 1/8" = 1'-0"



Building-A Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013-000

Seal:

**REVISIONS**

DATE	DESCRIPTION
1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**

Project No: **141003**

Sheet Title:  
**PROPOSED EXTERIOR ELEVATIONS**

Sheet #:

**AA4.21**

USE PERMIT SUBMITTAL

**REVISIONS**

DATE	DESCRIPTION
1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**

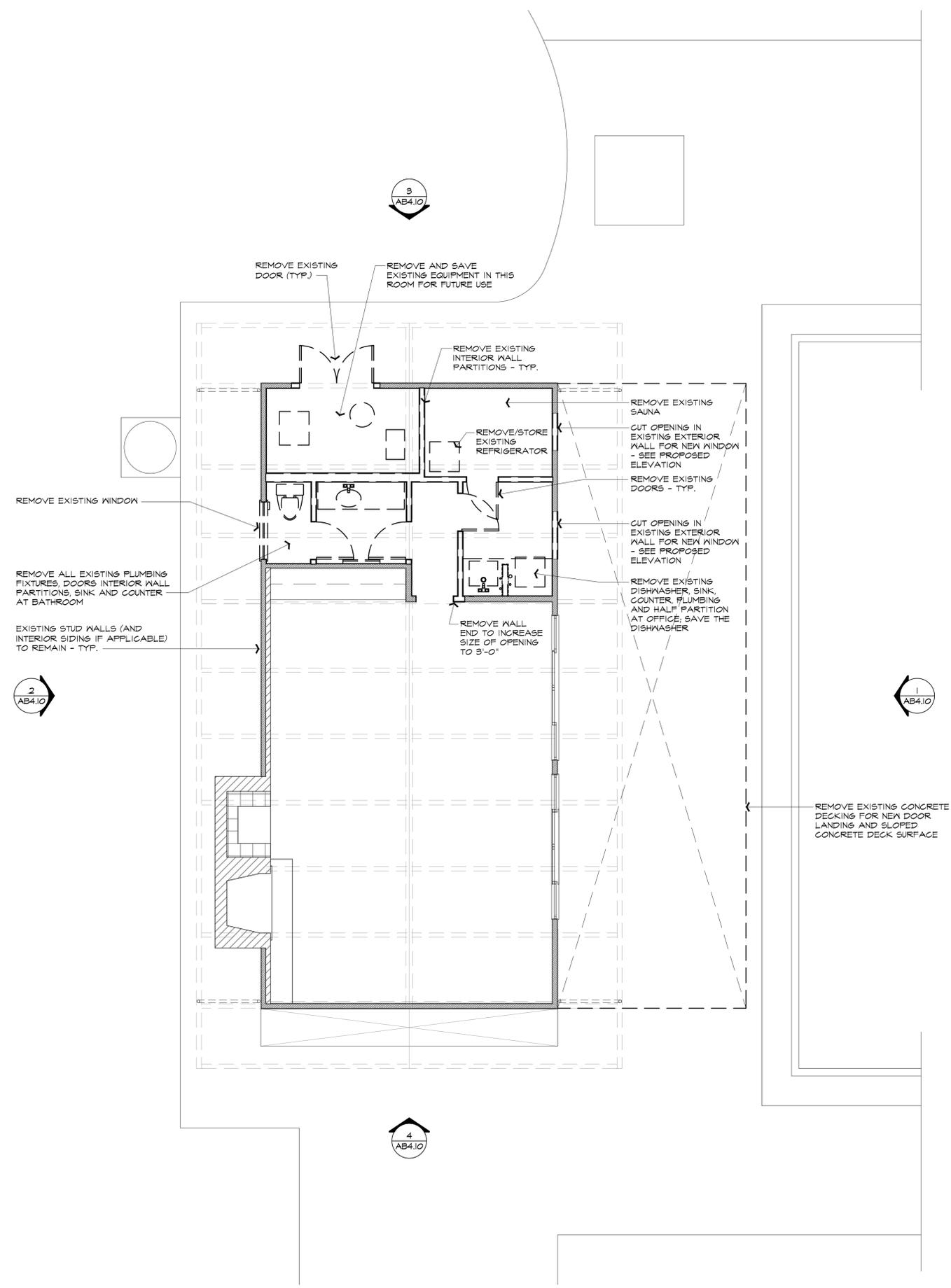
Project No: **141003**

Sheet Title: **JCB LOUNGE  
 EXISTING FLOOR /  
 DEMO PLAN**

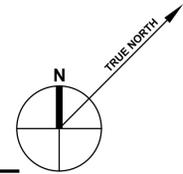
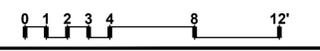
Sheet #:

**AB2.10**

USE PERMIT SUBMITTAL



**A JCB LOUNGE - EXISTING FLOOR / DEMO PLAN**  
 SCALE: 1/4" = 1'-0"



**REVISIONS**

DATE	DESCRIPTION
1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**

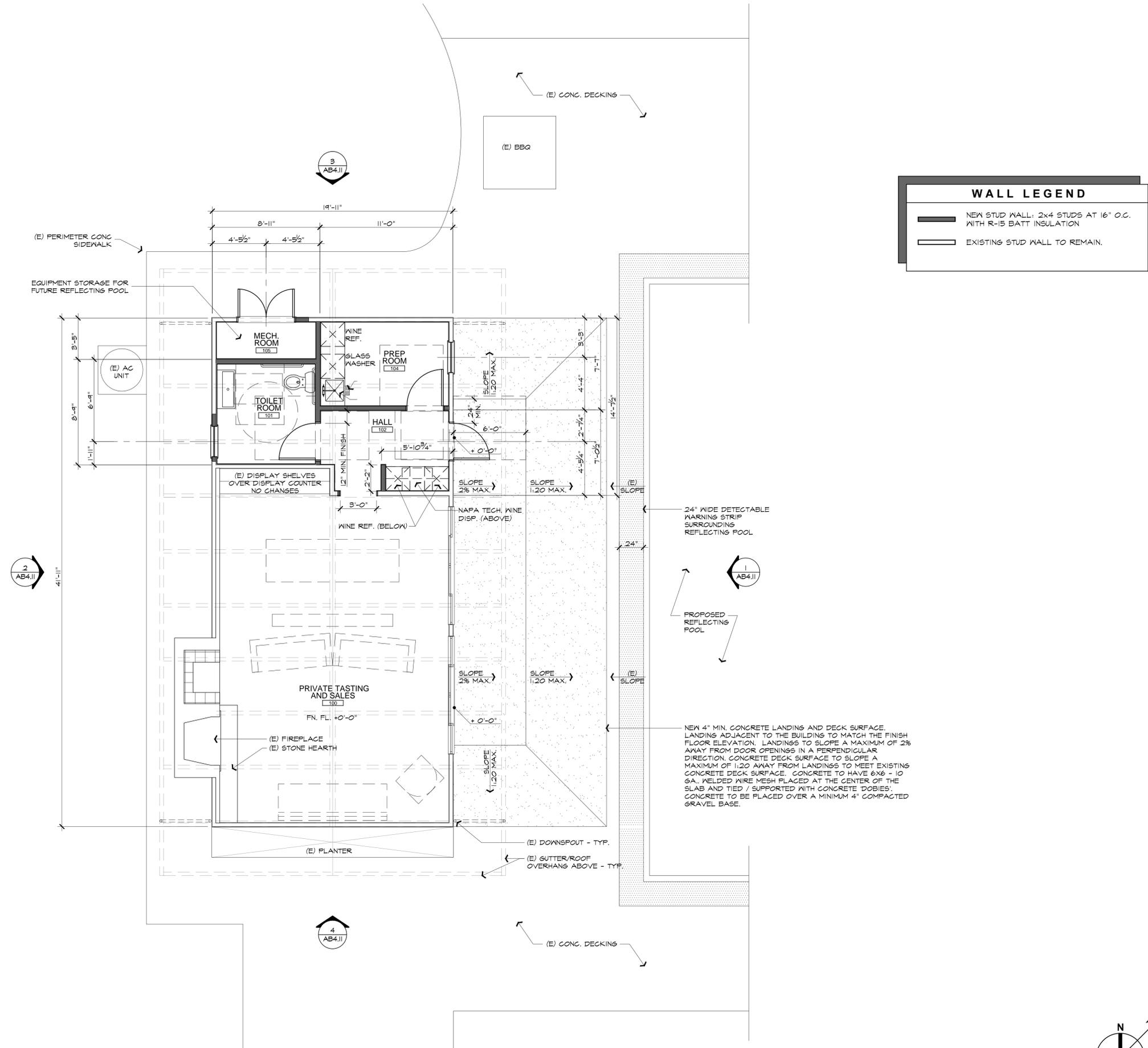
Project No: **141003**

Sheet Title: **JCB LOUNGE PROPOSED FLOOR PLAN**

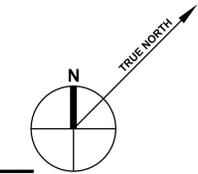
Sheet #:

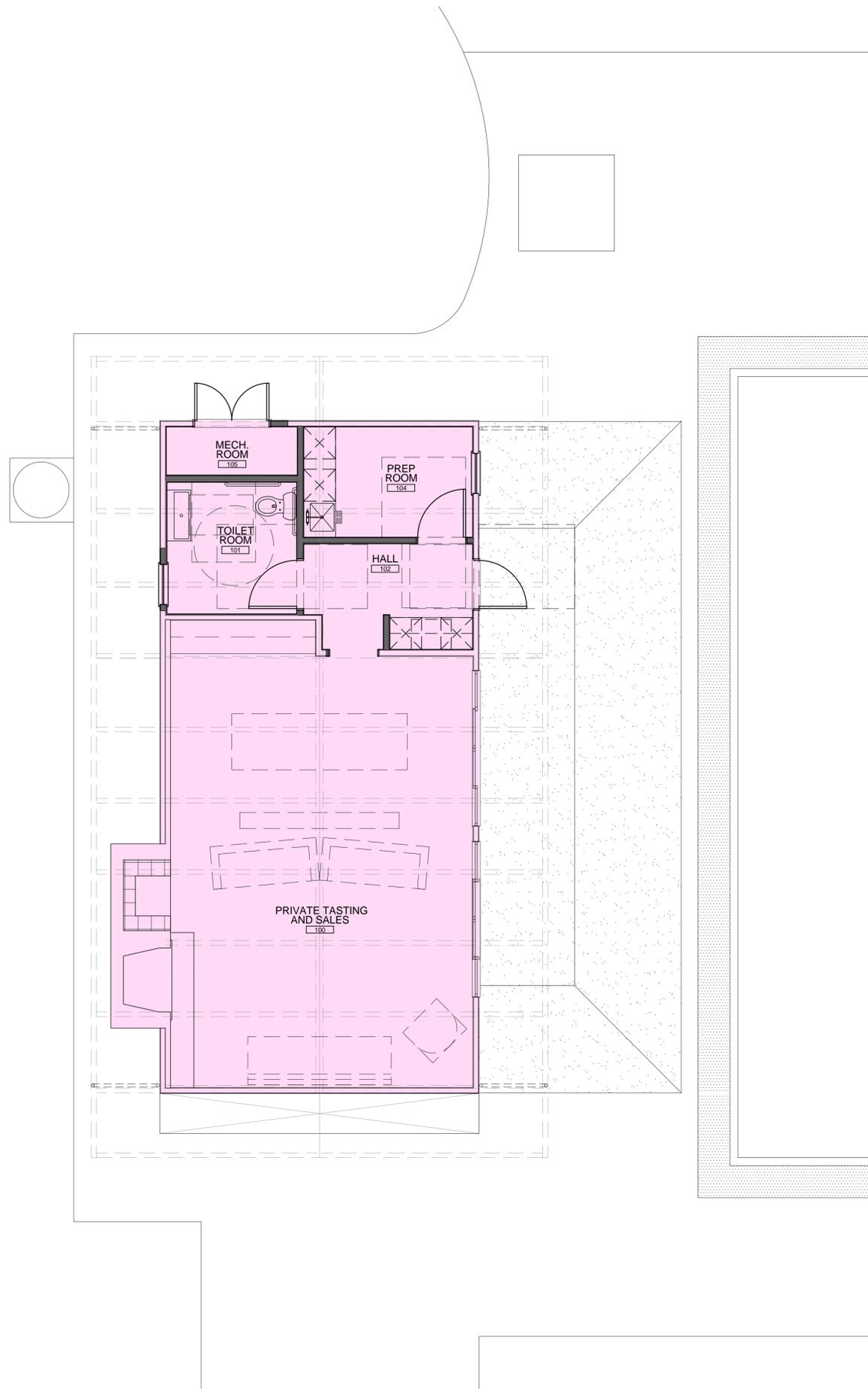
**AB2.11**

USE PERMIT SUBMITTAL



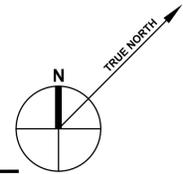
**A JCB LOUNGE - PROPOSED FLOOR PLAN - (875 SQ. FT.)**  
 SCALE: 1/4" = 1'-0"





WINERY USE LEGEND	
<span style="display: inline-block; width: 20px; height: 10px; background-color: #ADD8E6; border: 1px solid black;"></span>	PRODUCTION USE
<span style="display: inline-block; width: 20px; height: 10px; background-color: #FFB6C1; border: 1px solid black;"></span>	ACCESSORY USE

**A** JCB LOUNGE - PROPOSED FLOOR PLAN - (875 SQ. FT.)  
SCALE: 1/4" = 1'-0"



These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity, in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

JCB Lounge Use Permit Exhibits for  
**Raymond Winery**  
849 Zinfandel Lane, St. Helena, CA 94574  
APN: 030-270-013-000

Seal:

REVISIONS	
△	DATE: 1/27/2016 USE PERMIT RESUBMITTAL
△	
△	
△	
△	
△	

Date: August 28, 2015  
Project No: 141003  
Sheet Title: JCB LOUNGE PROPOSED FLOOR PLAN

**REVISIONS**

NO.	DATE	DESCRIPTION
1	1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**

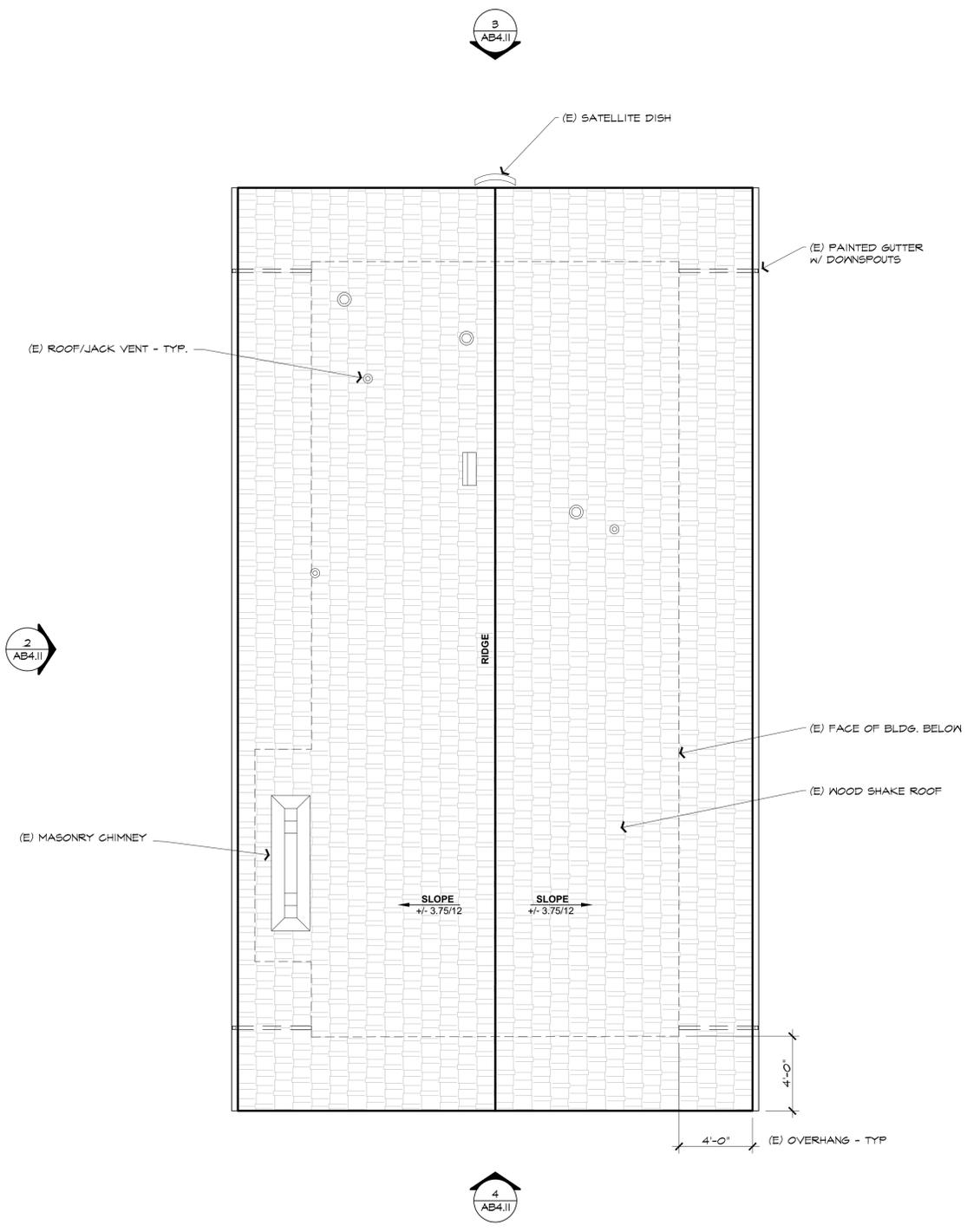
Project No: **141003**

Sheet Title:  
**JCB LOUNGE  
 EXISTING  
 ROOF PLAN**

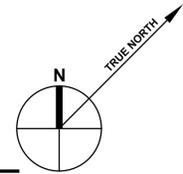
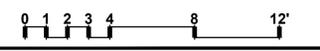
Sheet #:

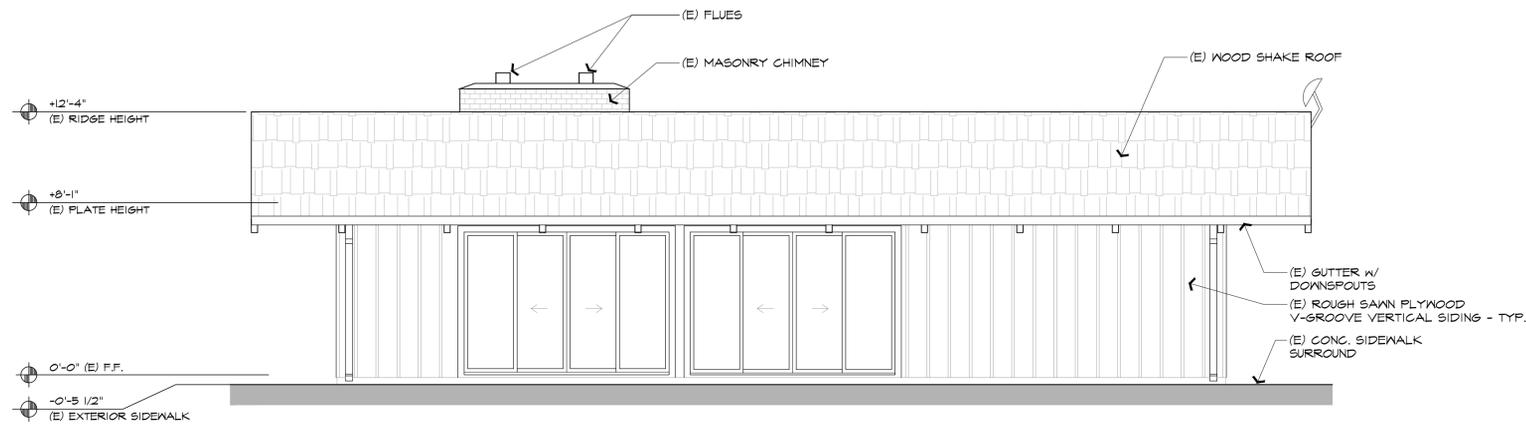
**AB2.30**

USE PERMIT SUBMITTAL

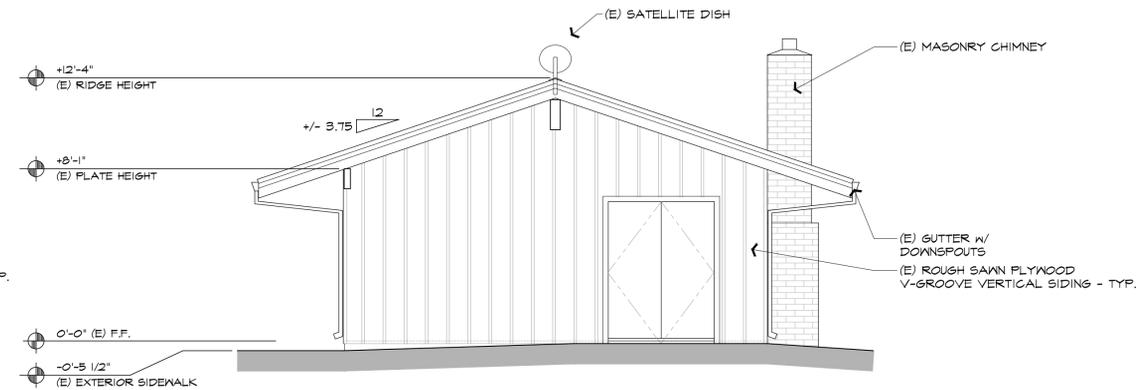


**A JCB LOUNGE - EXISTING ROOF PLAN - (No Change)**  
 SCALE: 1/4" = 1'-0"

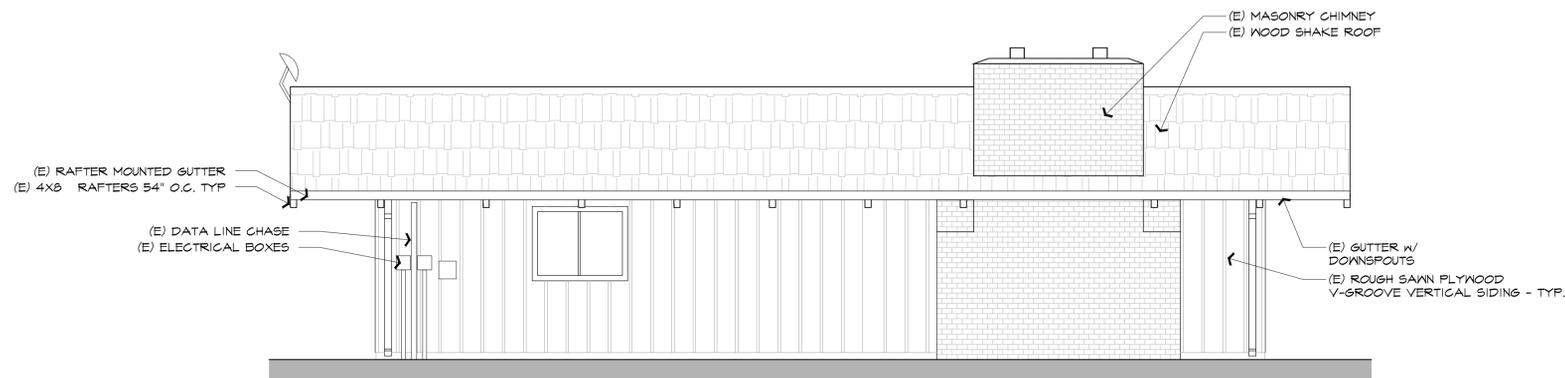




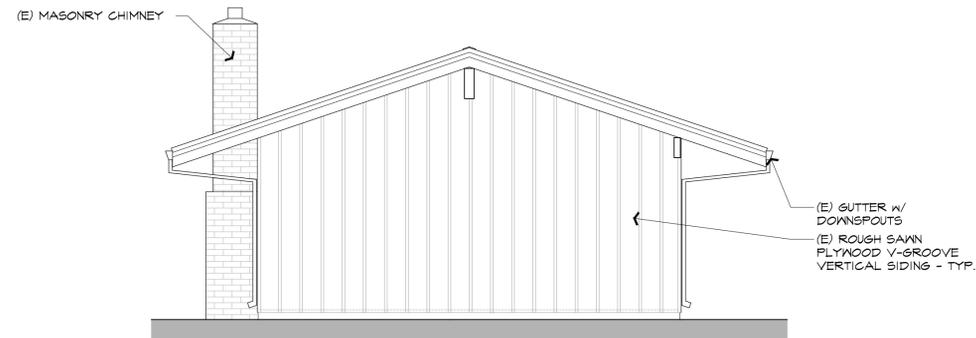
**1** EXISTING FRONT (NORTHEAST) ELEVATION  
SCALE: 1/4" = 1'-0"



**3** EXISTING RIGHT SIDE (NORTHWEST) ELEVATION  
SCALE: 1/4" = 1'-0"



**2** EXISTING REAR (SOUTHWEST) ELEVATION  
SCALE: 1/4" = 1'-0"



**4** EXISTING LEFT SIDE (SOUTHEAST) ELEVATION  
SCALE: 1/4" = 1'-0"



These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

JCB Lounge Use Permit Exhibits for  
**Raymond Winery**  
849 Zinfandel Lane, St. Helena, CA 94574  
APN: 030-270-013-000

Seal:

**REVISIONS**

DATE	DESCRIPTION
1/27/2016	USE PERMIT RESUBMITTAL

Date: August 28, 2015

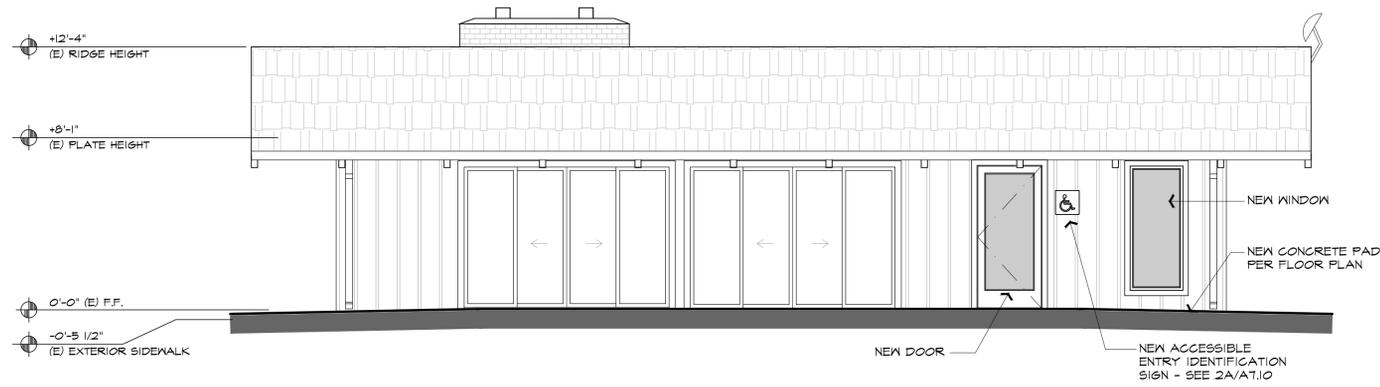
Project No: 141003

Sheet Title: JCB LOUNGE EXISTING EXTERIOR ELEVATIONS

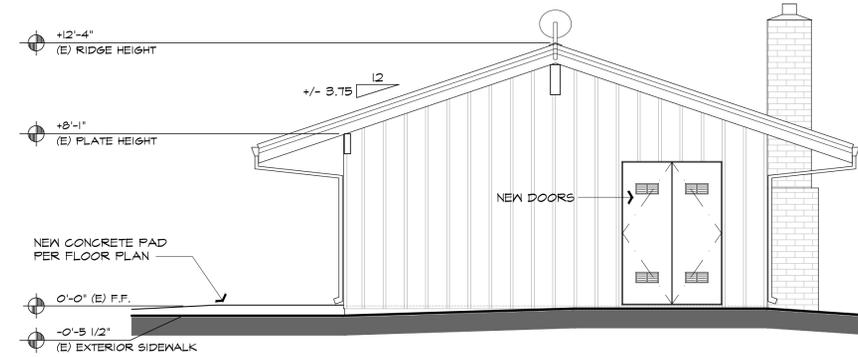
Sheet #:

**AB4.10**

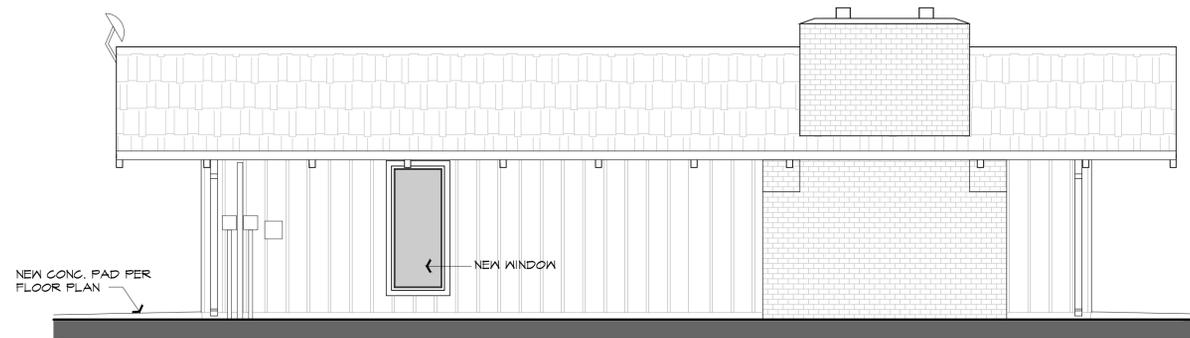
USE PERMIT SUBMITTAL



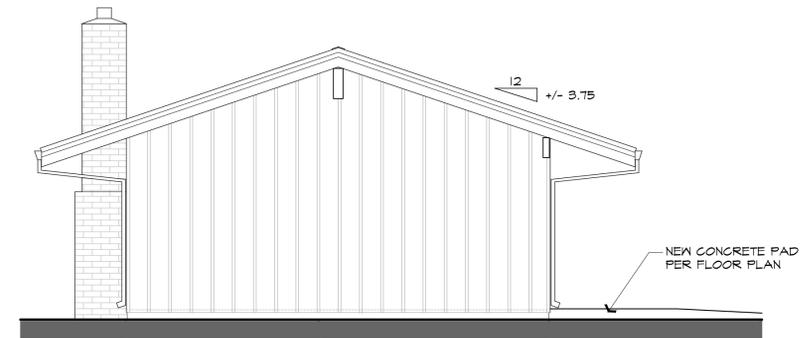
**1** PROPOSED FRONT (NORTHEAST) ELEVATION  
SCALE: 1/4" = 1'-0"



**3** PROPOSED RIGHT SIDE (NORTHWEST) ELEVATION  
SCALE: 1/4" = 1'-0"



**2** PROPOSED REAR (SOUTHWEST) ELEVATION  
SCALE: 1/4" = 1'-0"



**4** PROPOSED LEFT SIDE (SOUTHEAST) ELEVATION  
SCALE: 1/4" = 1'-0"



REVISIONS

△	DATE:	1/27/2016
△	USE PERMIT RESUBMITTAL	
△		
△		
△		
△		

Date: August 28, 2015

Project No: 141003

Sheet Title: JCB LOUNGE

PROPOSED EXTERIOR ELEVATIONS

Sheet #:

**AB4.11**

USE PERMIT SUBMITTAL

These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Herbarium Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013-000

Seal:

**REVISIONS**

DATE	DESCRIPTION
1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**

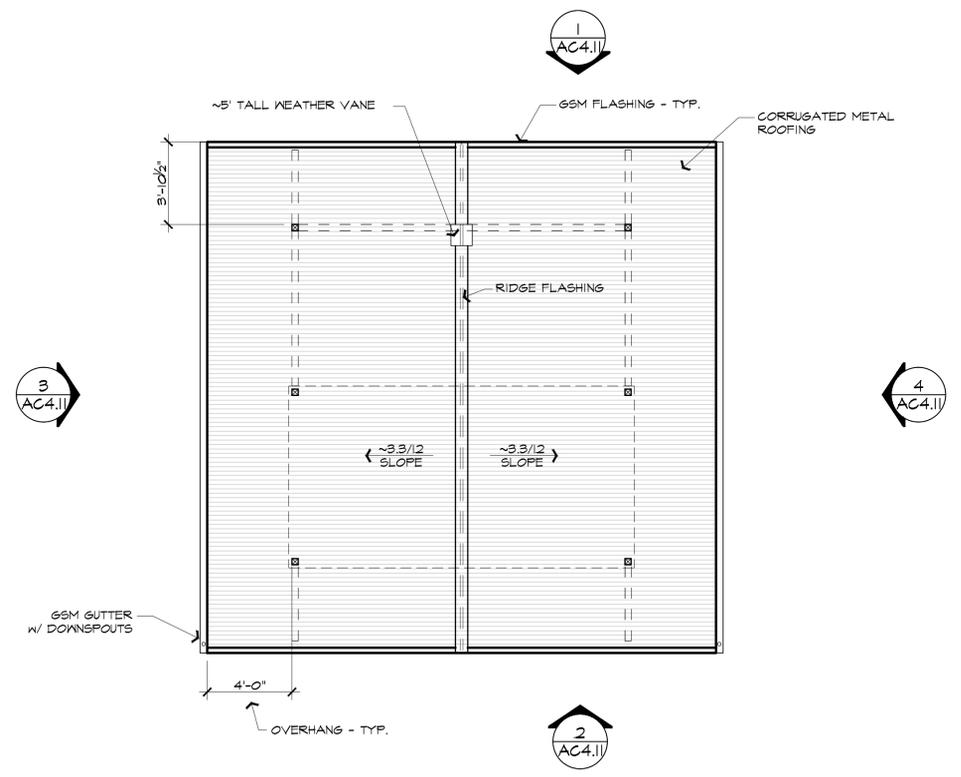
Project No: **141003**

Sheet Title: **HERBARIUM EXISTING FLOOR & ROOF PLANS**

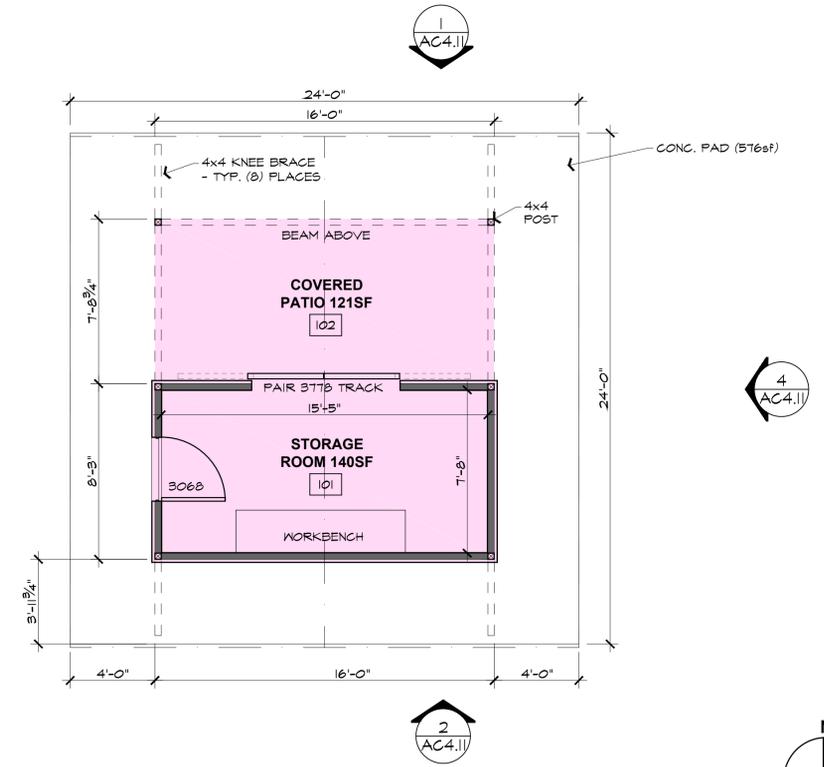
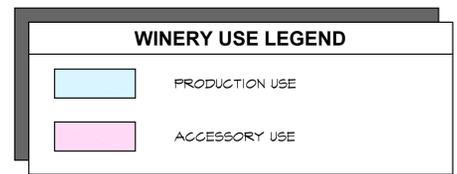
Sheet #:

**AC2.11**

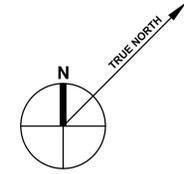
USE PERMIT SUBMITTAL

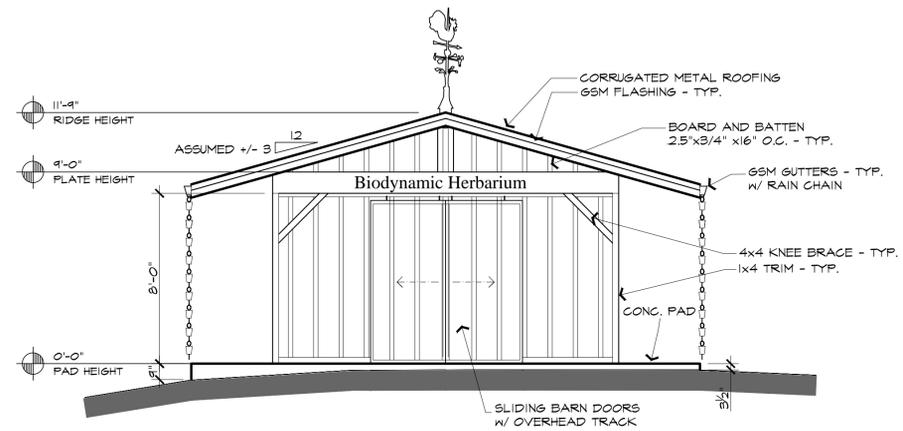


**B HERBARIUM - EXISTING ROOF PLAN**  
 SCALE: 1/4" = 1'-0"  
 0 1 2 3 4 8 12'

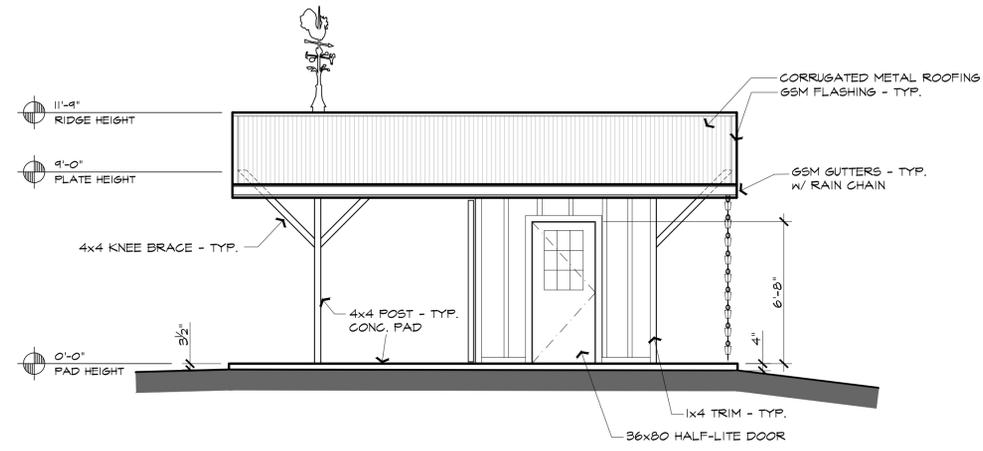


**A HERBARIUM EXISTING FLOOR PLAN - (330 SQ. FT.)**  
 SCALE: 1/4" = 1'-0"  
 0 1 2 3 4 8 12'

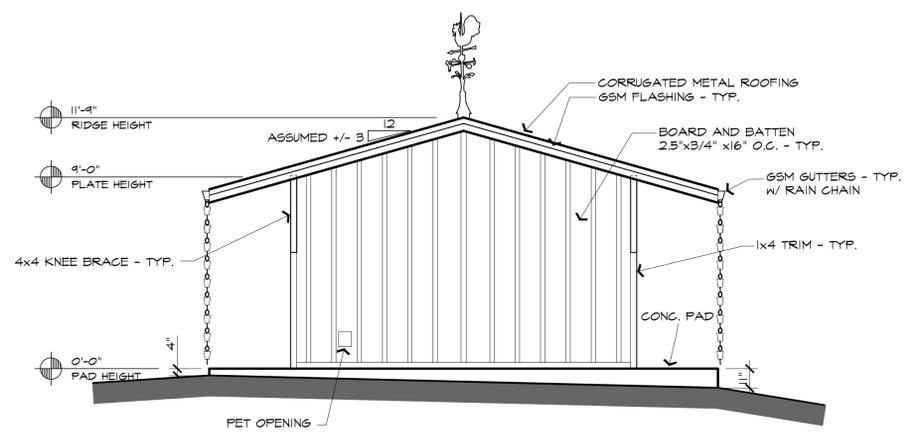




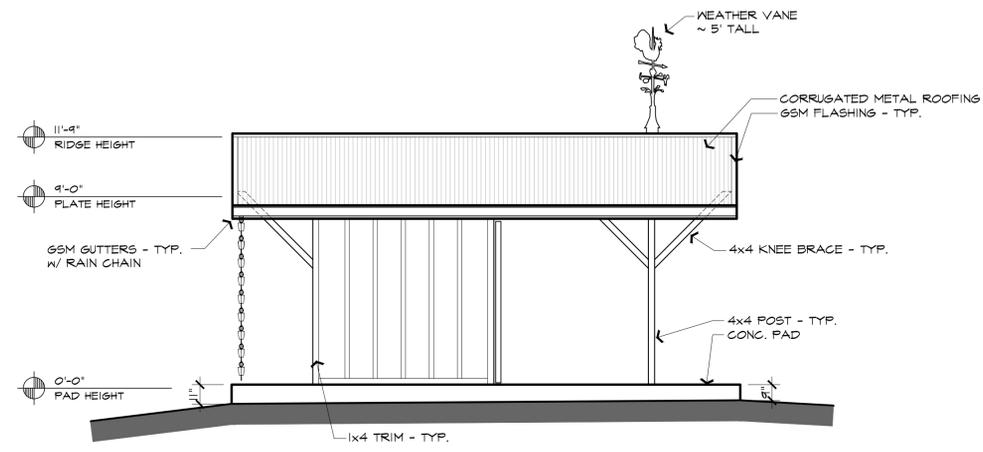
**1** EXISTING FRONT (NORTH) ELEVATION  
 SCALE: 1/4" = 1'-0"  
 0 1 2 3 4 8 12'



**3** EXISTING RIGHT SIDE (WEST) ELEVATION  
 SCALE: 1/4" = 1'-0"  
 0 1 2 3 4 8 12'



**2** EXISTING REAR (SOUTH) ELEVATION  
 SCALE: 1/4" = 1'-0"  
 0 1 2 3 4 8 12'



**4** EXISTING LEFT SIDE (EAST) ELEVATION  
 SCALE: 1/4" = 1'-0"  
 0 1 2 3 4 8 12'

These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity, in any other location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Herbarium Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013-000

Seal:

REVISIONS	
△	DATE: 1/27/2016 USE PERMIT RESUBMITTAL
△	
△	
△	
△	
△	

Date: August 28, 2015  
 Project No: 141003  
 Sheet Title: HERBARIUM EXISTING EXTERIOR ELEVATIONS

Sheet #: AC4.11  
 USE PERMIT SUBMITTAL

These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location.  
 Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

**Frenchie Dog Run**  
 Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013-000

Seal:

**REVISIONS**

DATE	DESCRIPTION
1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**

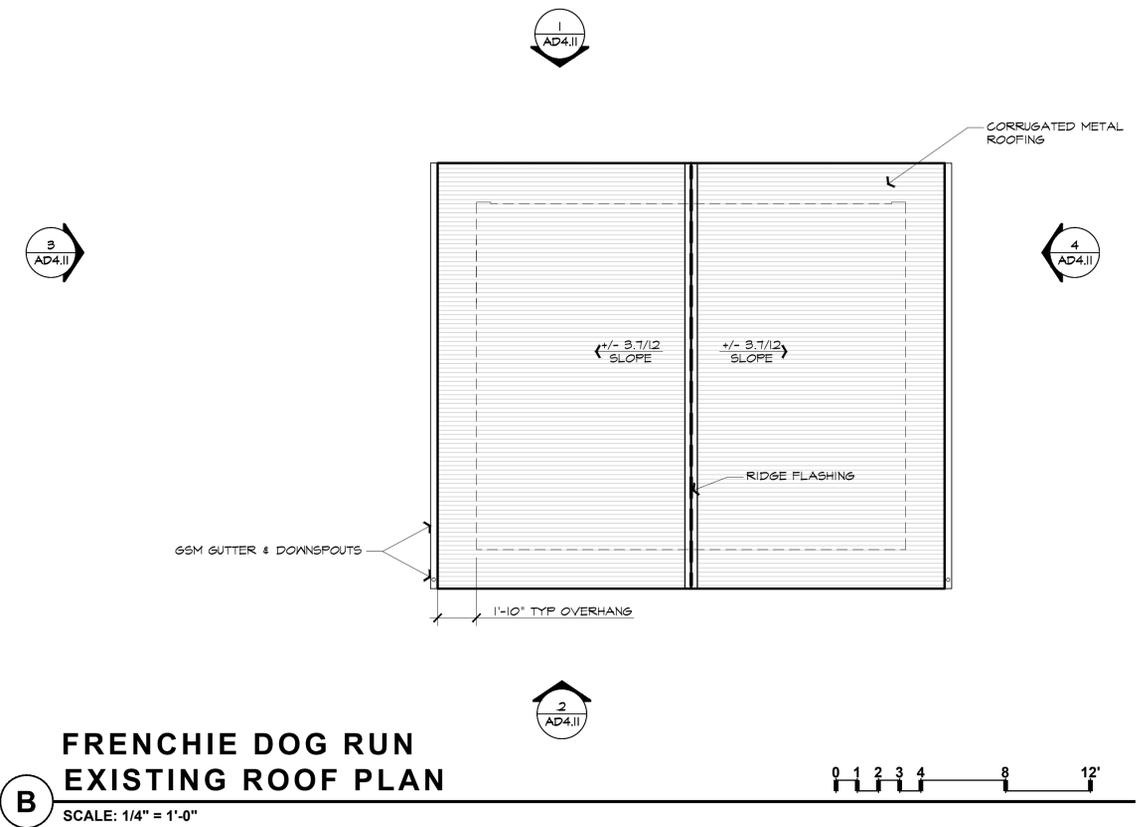
Project No: **141003**

Sheet Title: **FRENCHIE DOG RUN EXISTING FLOOR & ROOF PLANS**

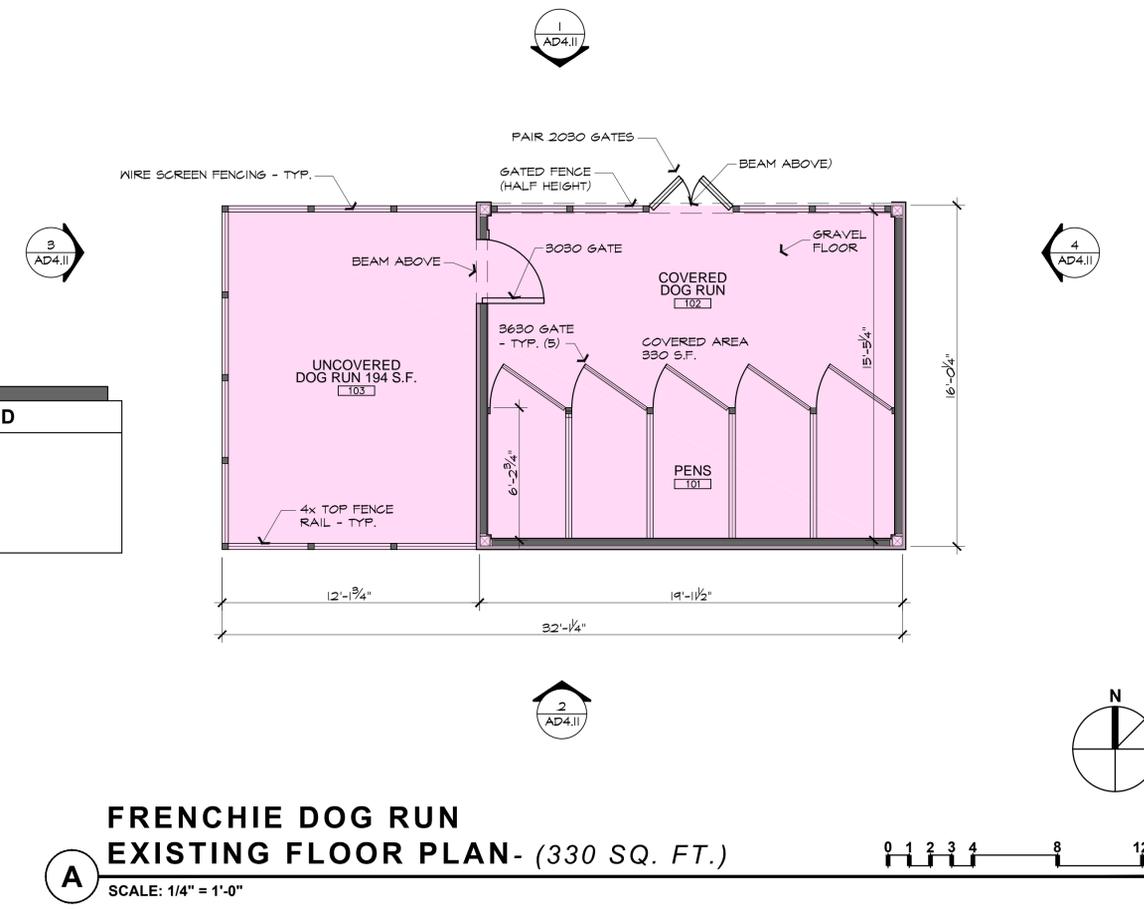
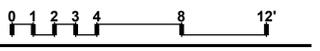
Sheet #:

**AD2.11**

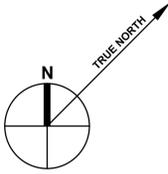
USE PERMIT SUBMITTAL



**FRENCHIE DOG RUN EXISTING ROOF PLAN**  
 SCALE: 1/4" = 1'-0"

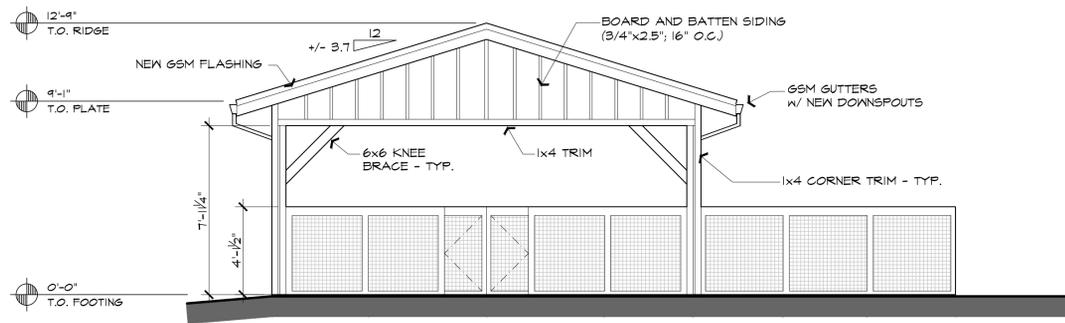


**FRENCHIE DOG RUN EXISTING FLOOR PLAN - (330 SQ. FT.)**  
 SCALE: 1/4" = 1'-0"

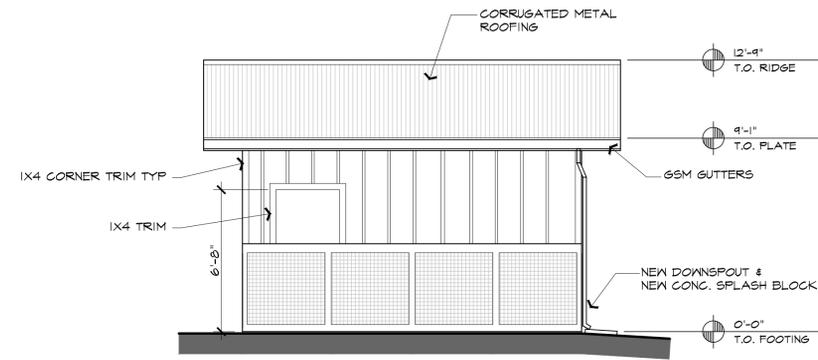


**WINERY USE LEGEND**

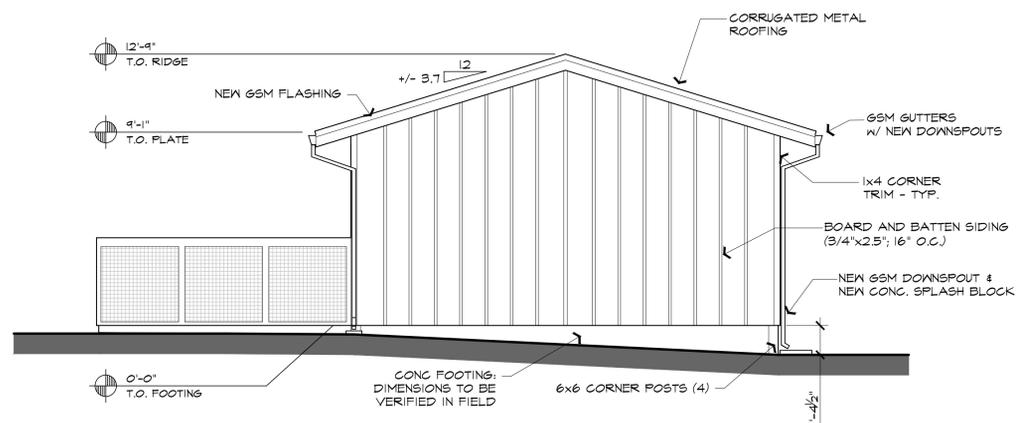
	PRODUCTION USE
	ACCESSORY USE



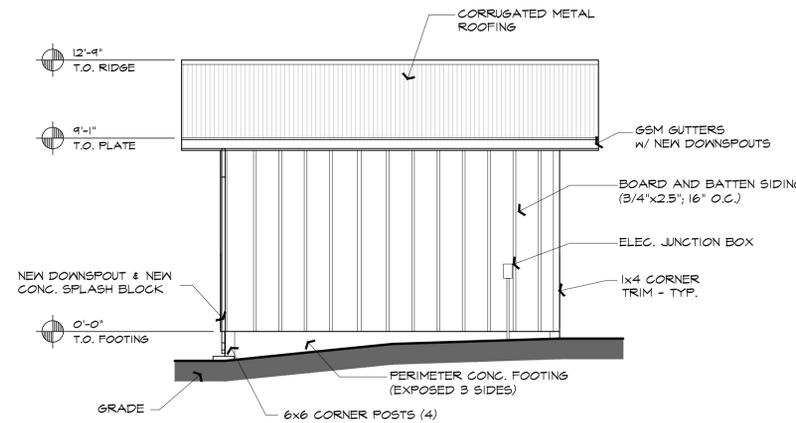
**1** EXISTING FRONT (NORTH) ELEVATION  
SCALE: 1/4" = 1'-0"



**3** EXISTING RIGHT SIDE (WEST) ELEVATION  
SCALE: 1/4" = 1'-0"



**2** EXISTING REAR (SOUTH) ELEVATION  
SCALE: 1/4" = 1'-0"



**4** EXISTING LEFT SIDE (EAST) ELEVATION  
SCALE: 1/4" = 1'-0"



These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Frenchie Dog Run  
Use Permit Exhibits for  
**Raymond Winery**  
849 Zinfandel Lane, St. Helena, CA 94574  
APN: 030-270-013-000

Seal:

**REVISIONS**

DATE	DESCRIPTION
1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**

Project No: **141003**

Sheet Title: **FRENCHIE DOG RUN EXISTING EXTERIOR ELEVATIONS**

Sheet #: **AD4.11**

USE PERMIT SUBMITTAL

These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

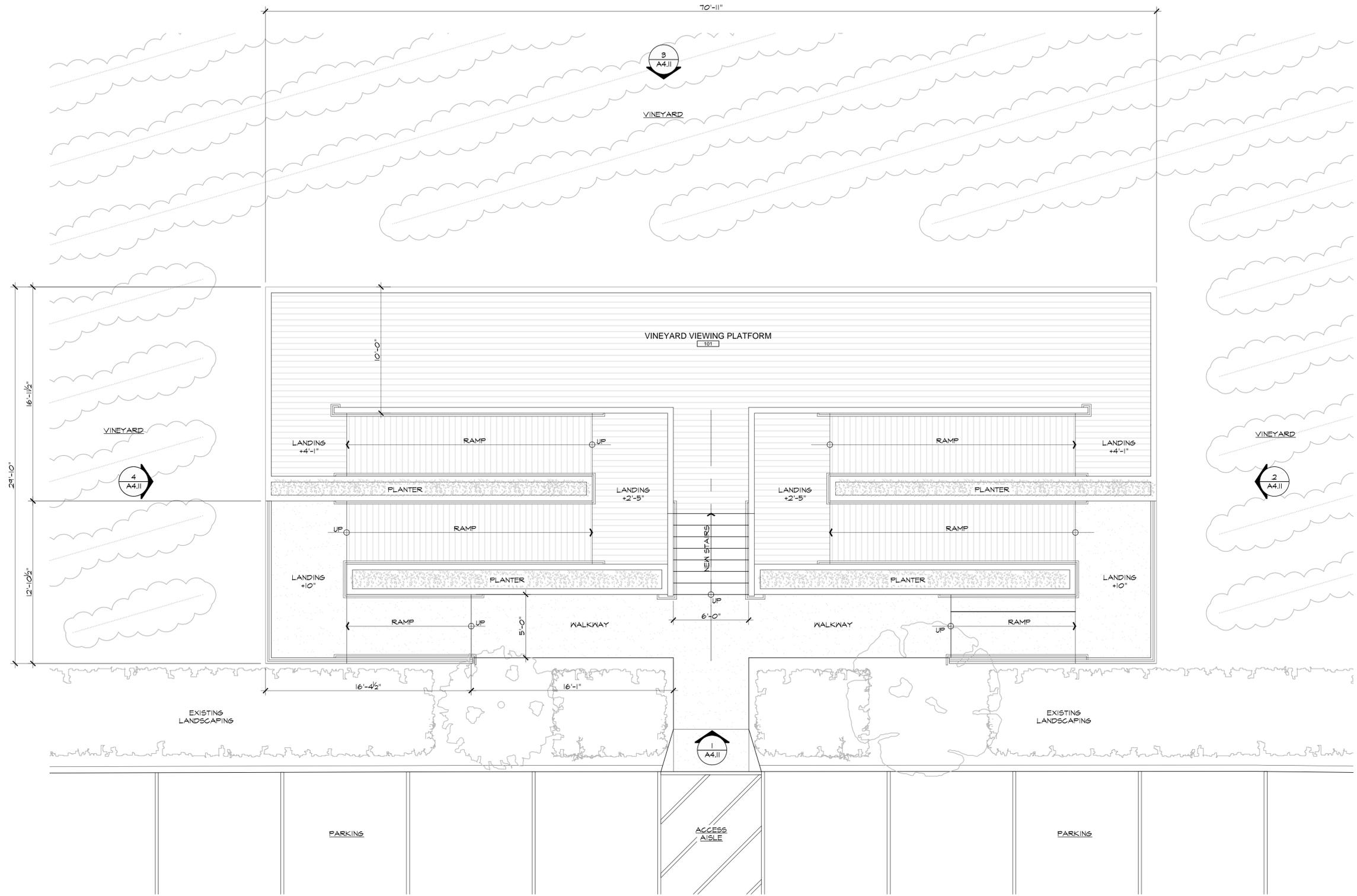
**Vineyard Viewing Platform**  
 Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013-000

Seal:

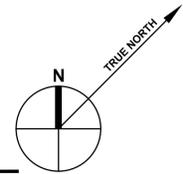
REVISIONS	
△	DATE: 1/27/2016 USE PERMIT RESUBMITTAL
△	
△	
△	
△	
△	

Date: August 28, 2015  
 Project No: 141003  
 Sheet Title: **VINEYARD VIEWING PLATFORM FLOOR PLAN**

Sheet #: **AE2.11**  
 USE PERMIT SUBMITTAL

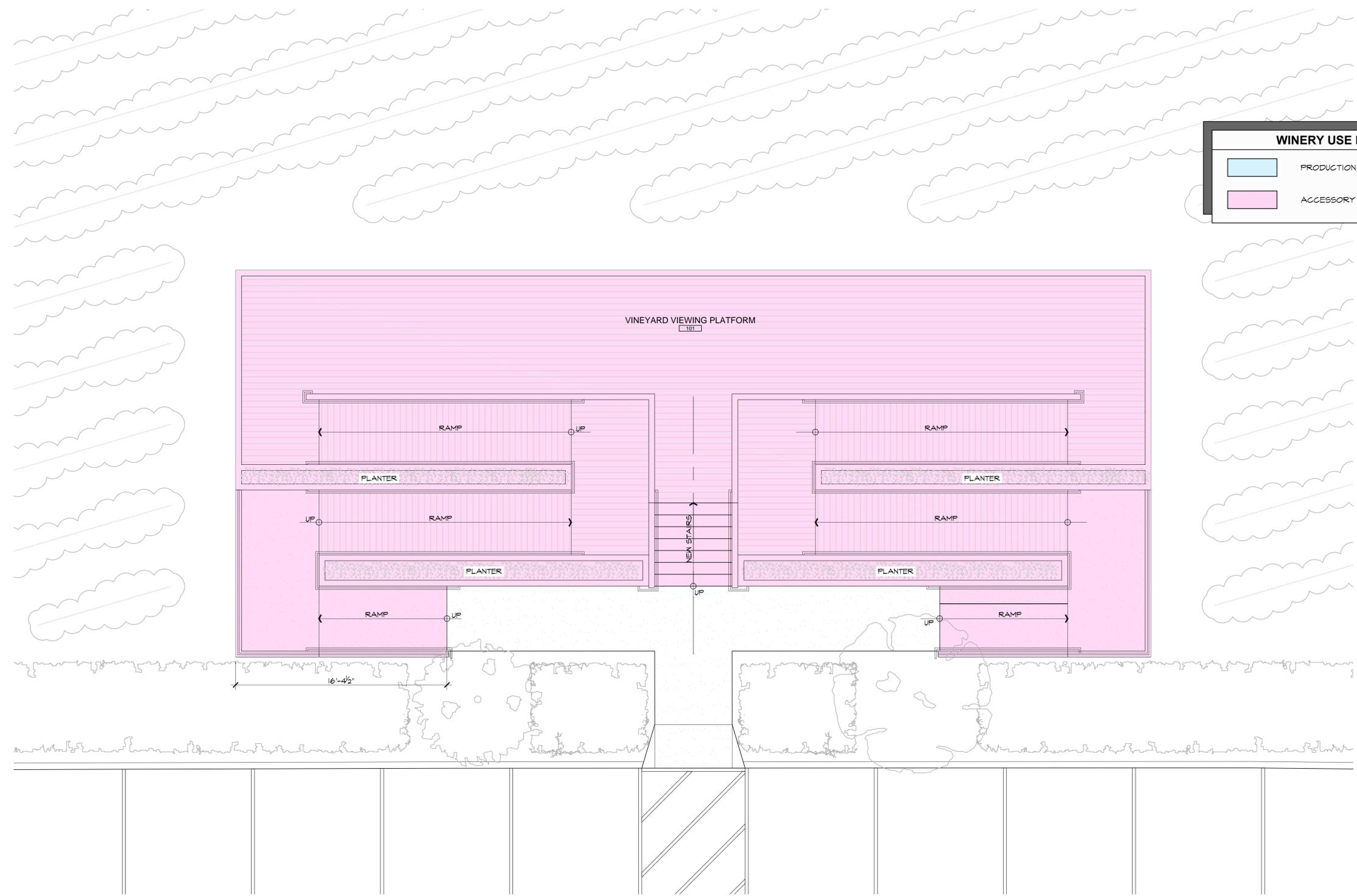


**A VINEYARD VIEWING PLATFORM - PROPOSED FLOOR PLAN - (751 SQ. FT.)**  
 SCALE: 1/4" = 1'-0"



**WINERY USE LEGEND**

	PRODUCTION USE
	ACCESSORY USE



Vineyard Viewing Platform  
 Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013-000

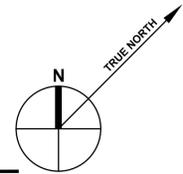
Seal:

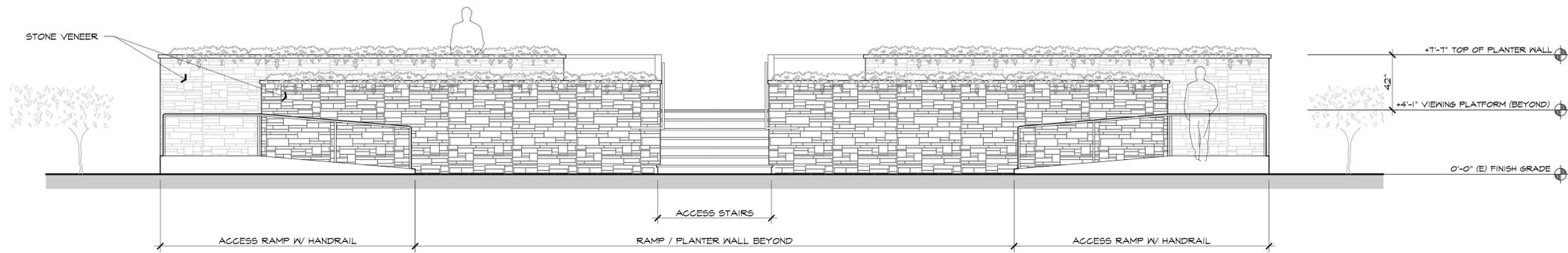
REVISIONS	
△	DATE: 1/27/2016 USE PERMIT RESUBMITTAL
△	
△	
△	
△	
△	

Date: August 28, 2015  
 Project No: 141003  
 Sheet Title: VINEYARD VIEWING PLATFORM PROP. FLOOR PLAN

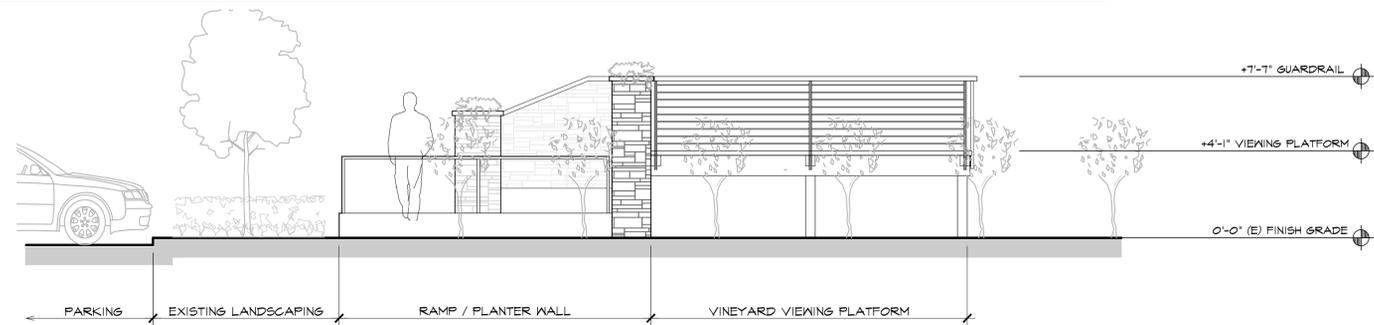
Sheet #:  
**AE2.11a**  
 USE PERMIT SUBMITTAL

**A VINEYARD VIEWING PLATFORM - PROPOSED FLOOR PLAN - (826 SQ. FT. + 1079 SQ. FT. = 1908 SQ. FT.)**  
 SCALE: 1/4" = 1'-0"

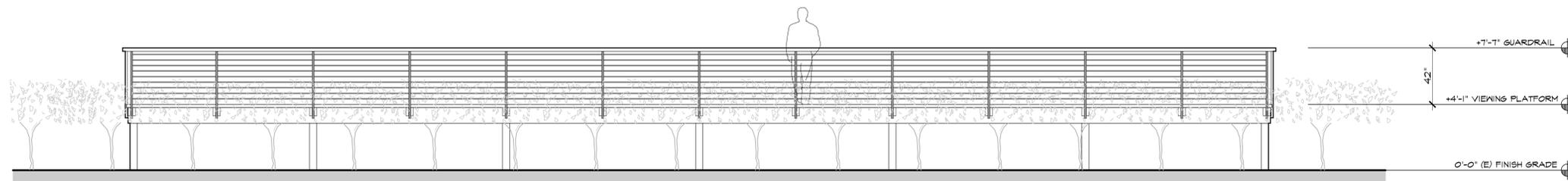




**1 PROPOSED FRONT (NORTH) ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 PROPOSED RIGHT SIDE (EAST) ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 PROPOSED REAR (SOUTH) ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 PROPOSED LEFT SIDE (WEST) ELEVATION**  
SCALE: 1/4" = 1'-0"

REVISIONS

DATE	DESCRIPTION
1/27/2016	USE PERMIT RESUBMITTAL

Date: August 28, 2015

Project No: 141003

Sheet Title: VINEYARD VIEWING PLATFORM EXTERIOR ELEVATIONS

Sheet #:

**AE4.11**

USE PERMIT SUBMITTAL

Consultant:

Demonstration Kitchen  
 Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013-000

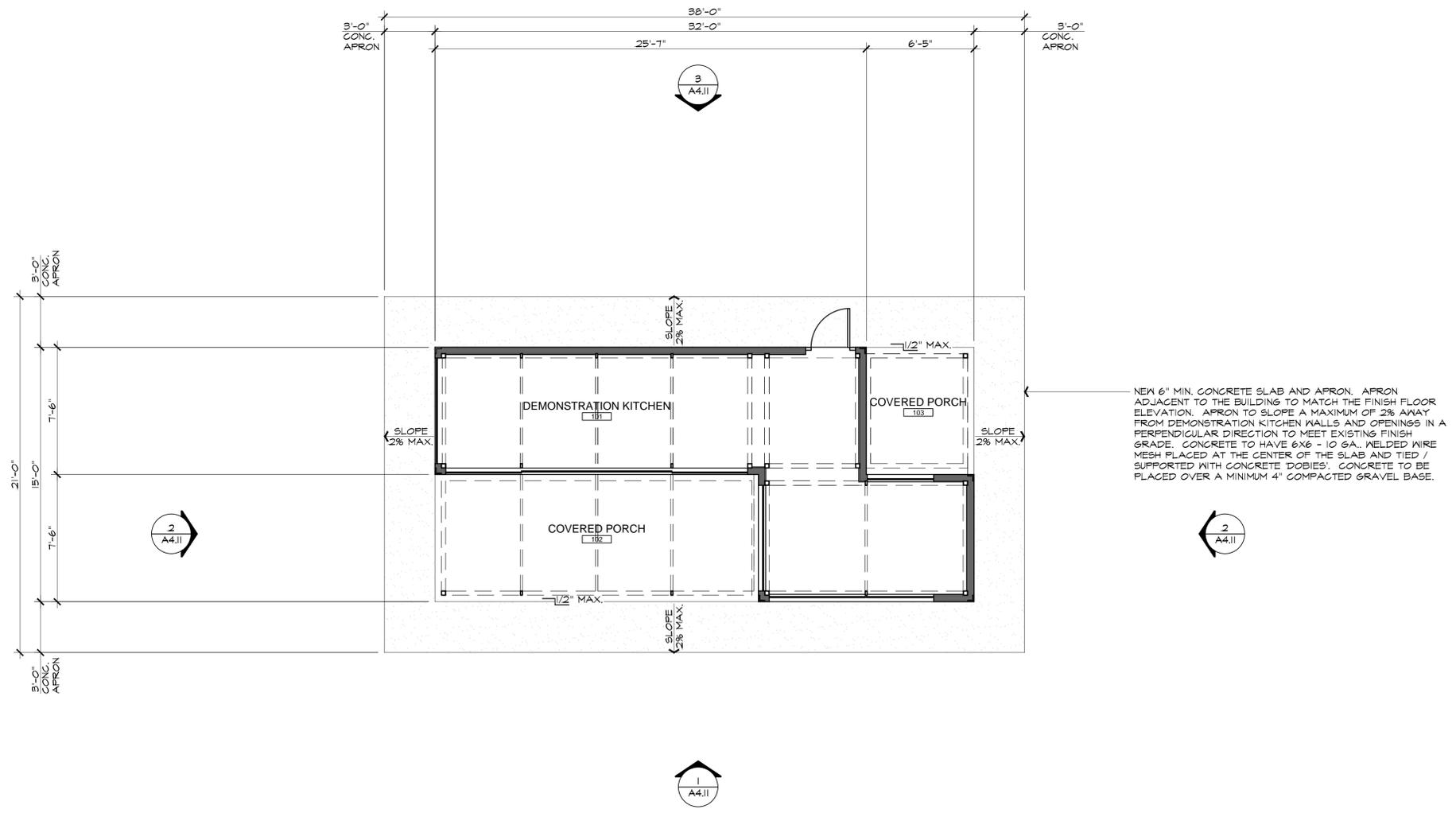
Seal:

REVISIONS

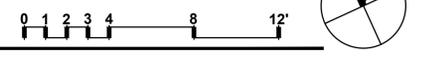
DATE	DESCRIPTION
1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**  
 Project No: **141003**  
 Sheet Title: **EXISTING DEMONSTRATION KITCHEN FLOOR PLAN**

Sheet #: **AF2.11**  
 USE PERMIT SUBMITTAL



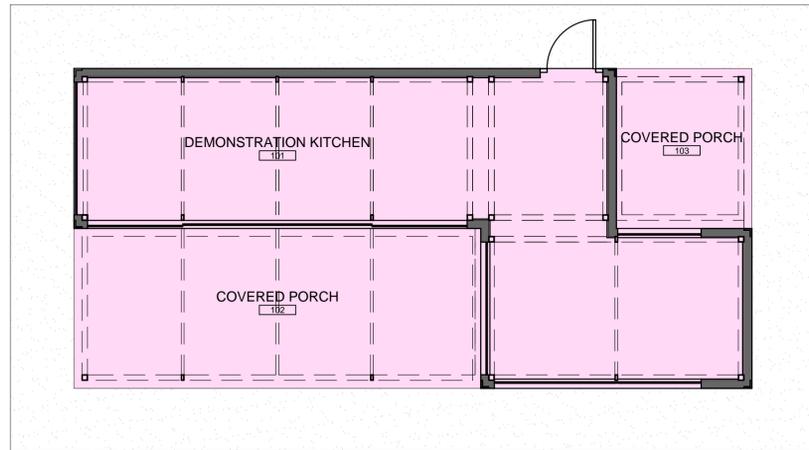
**A** EXISTING DEMONSTRATION KITCHEN - (480 SQ. FT.)  
 SCALE: 1/4" = 1'-0"



Consultant:

**WINERY USE LEGEND**

	PRODUCTION USE
	ACCESSORY USE



Demonstration Kitchen  
 Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013-000

Seal:

**REVISIONS**

DATE	DESCRIPTION
1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**

Project No: **141003**

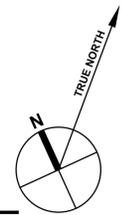
Sheet Title: **EXISTING DEMONSTRATION KITCHEN FLOOR PLAN**

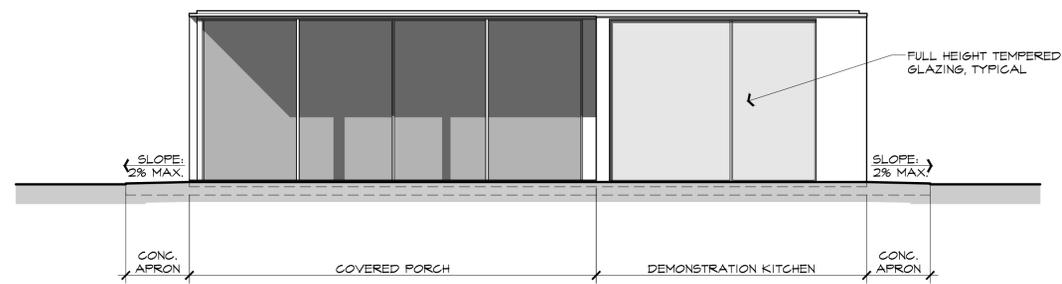
Sheet #:

**AF2.11a**

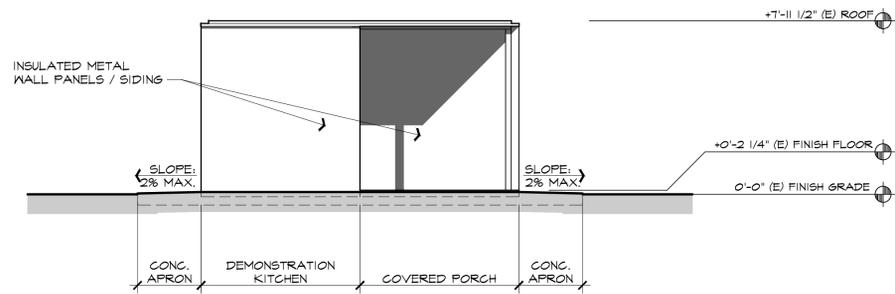
USE PERMIT SUBMITTAL

**A** EXISTING DEMONSTRATION KITCHEN - (480 SQ. FT.)  
 SCALE: 1/4" = 1'-0"

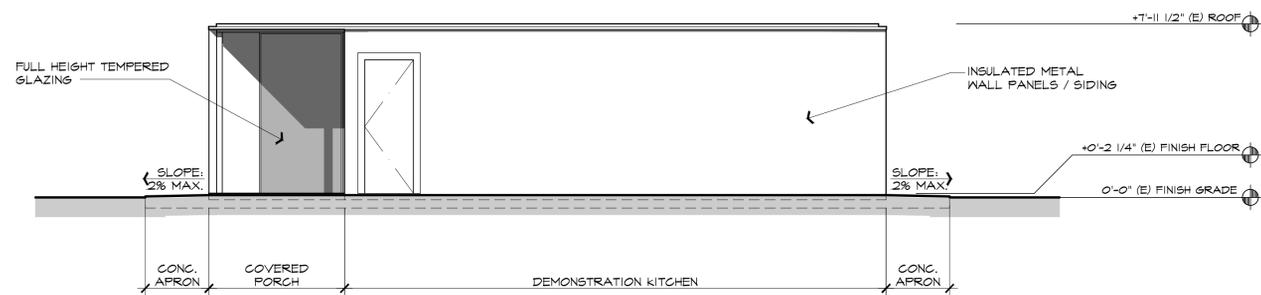




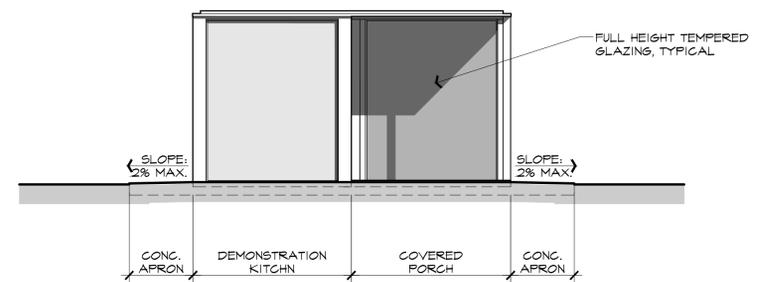
**1** EXISTING FRONT (NORTH) ELEVATION  
SCALE: 1/4" = 1'-0"



**2** EXISTING RIGHT SIDE (EAST) ELEVATION  
SCALE: 1/4" = 1'-0"



**3** EXISTING REAR (SOUTH) ELEVATION  
SCALE: 1/4" = 1'-0"



**4** EXISTING LEFT SIDE (WEST) ELEVATION  
SCALE: 1/4" = 1'-0"

These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Demonstration Kitchen  
Use Permit Exhibits for  
**Raymond Winery**  
849 Zinfandel Lane, St. Helena, CA 94574  
APN: 030-270-013-000

Seal:

REVISIONS	
△	DATE: 1/27/2016 USE PERMIT RESUBMITTAL
△	
△	
△	
△	
△	

Date: August 28, 2015  
Project No: 141003  
Sheet Title: EXISTING DEMONSTRATION KITCHEN EXTERIOR ELEVATIONS

Sheet #: **AF4.11**  
USE PERMIT SUBMITTAL

These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Winery Accessory Use Bldg.  
 Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-012-000

Seal:

**REVISIONS**

DATE	DESCRIPTION
1/27/2016	USE PERMIT RESUBMITTAL

Date: August 28, 2015

Project No: 141003

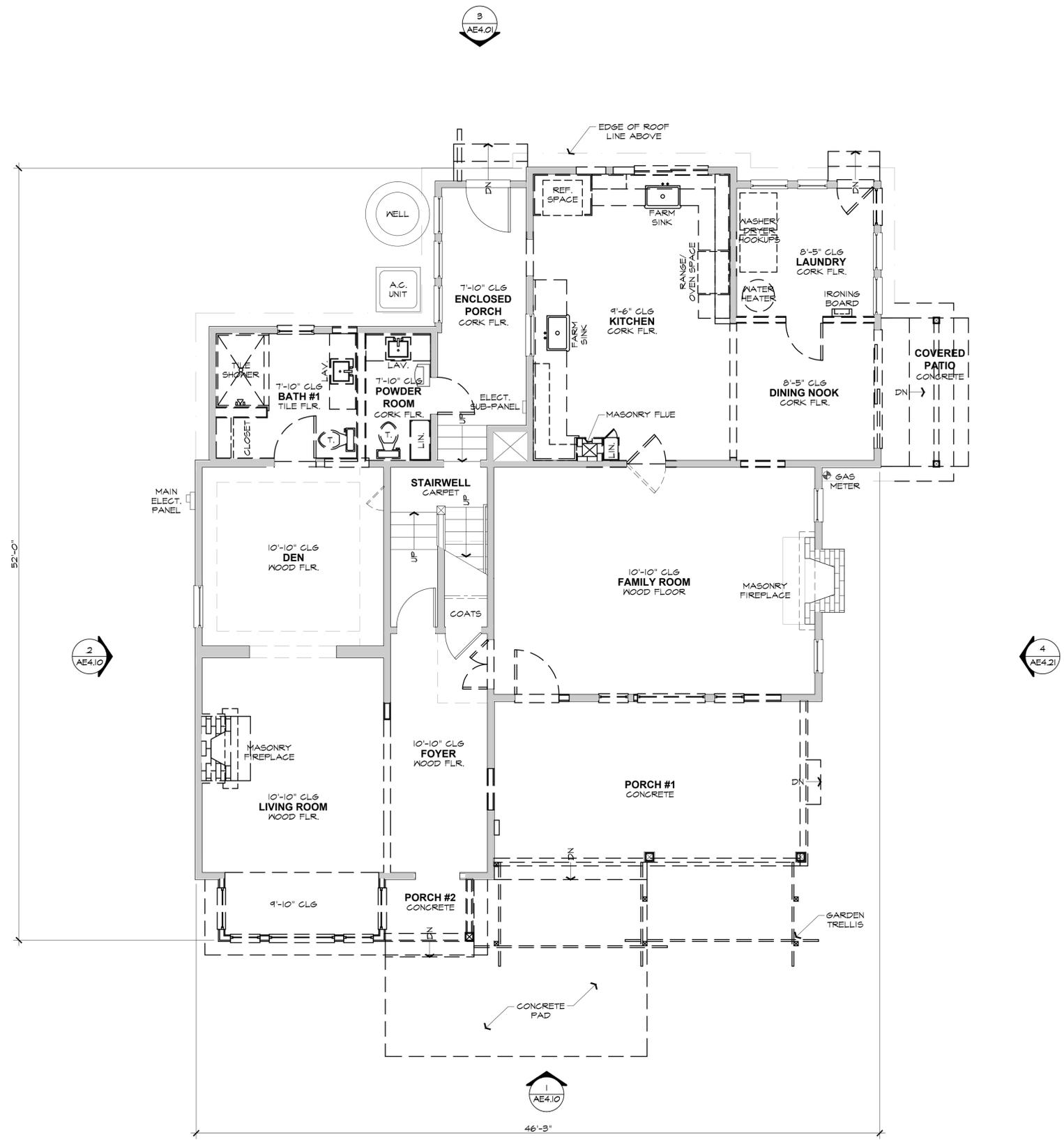
Sheet Title: WINERY

**ACCESSORY USE  
 EXISTING LOWER  
 FLOOR / DEMO PLAN**

Sheet #:

**AG2.10**

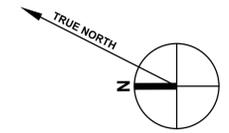
USE PERMIT SUBMITTAL



**WALL LEGEND**

- EXISTING STUD WALL TO REMAIN.
- EXISTING PORTION OF STRUCTURE TO BE REMOVED.

**A WINERY ACCESSORY BLDG. - EXISTING LOWER FLOOR / DEMO PLAN - (1,683 sq. ft.)**  
 SCALE: 1/4" = 1'-0"



These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity at in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Winery Accessory Use Bldg.  
 Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-012-000

Seal:

**REVISIONS**

DATE	DESCRIPTION
1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**

Project No: **141003**

Sheet Title:  
**WINERY ACCESSORY  
 USE PROPOSED  
 LOWER FLOOR PLAN**

Sheet #:

**AG2.11**

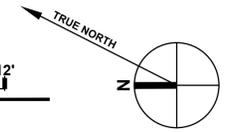
USE PERMIT SUBMITTAL

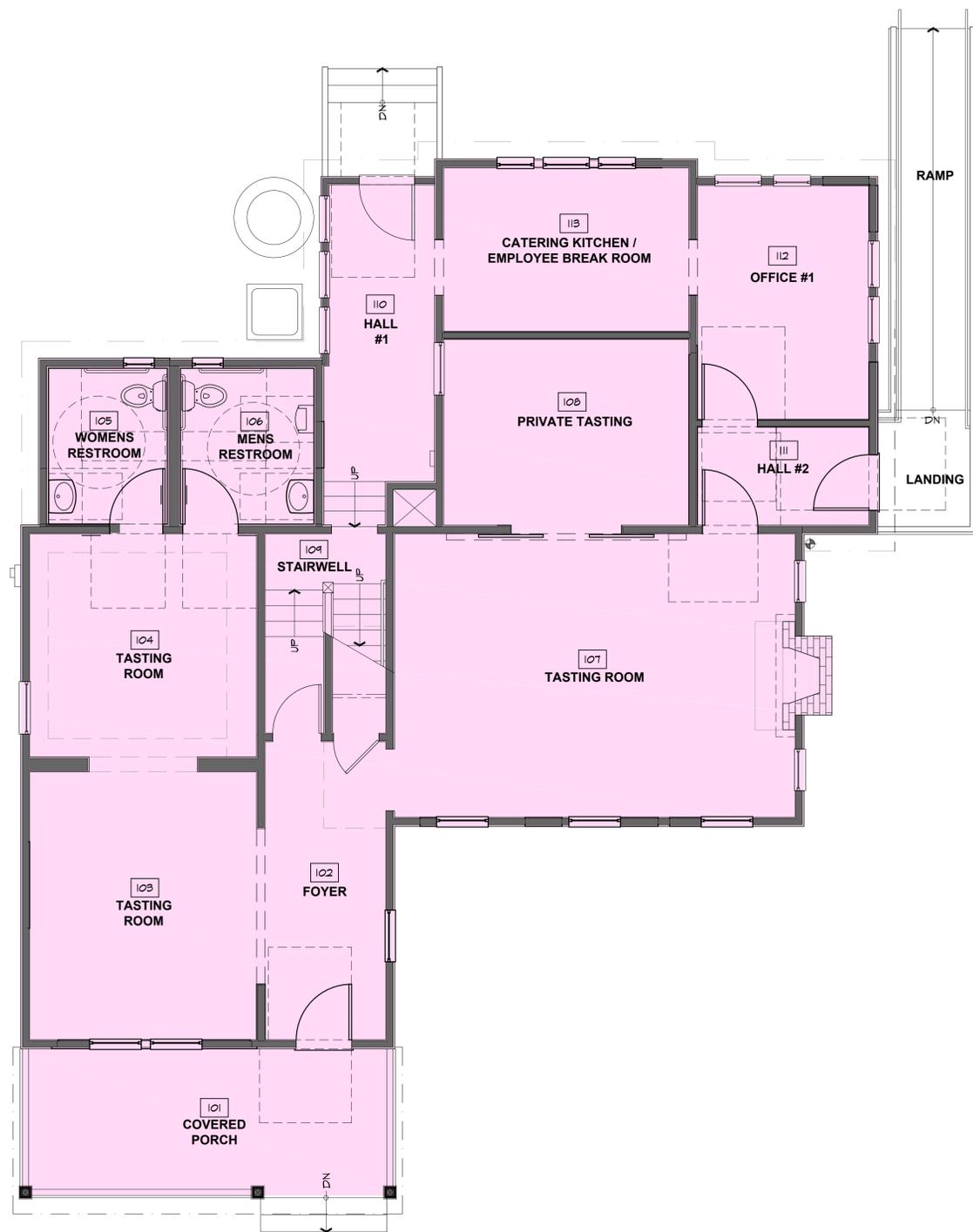


**WALL LEGEND**

	NEW STUD WALL; 2x4 STUDS AT 16" O.C. WITH R-15 BATT INSULATION
	EXISTING STUD WALL TO REMAIN.

**A WINERY ACCESSORY BLDG. - PROPOSED LOWER FLOOR PLAN - (1,796 sq. ft.)**  
 SCALE: 1/4" = 1'-0"





WINERY USE LEGEND	
<span style="display:inline-block; width:15px; height:10px; background-color:lightblue; border:1px solid black;"></span>	PRODUCTION USE
<span style="display:inline-block; width:15px; height:10px; background-color:lightpink; border:1px solid black;"></span>	ACCESSORY USE

These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity at in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Winery Accessory Use Bldg.  
 Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-012-000

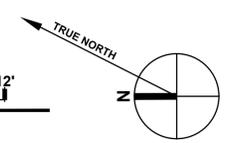
Seal:

REVISIONS	
△	DATE: 1/27/2016 USE PERMIT RESUBMITTAL
△	
△	
△	
△	
△	

Date: **August 28, 2015**  
 Project No: **141003**  
 Sheet Title: **WINERY ACCESSORY USE PROPOSED LOWER FLOOR PLAN**

Sheet #: **AG2.11a**  
 USE PERMIT SUBMITTAL

**A WINERY ACCESSORY BLDG. - PROPOSED LOWER FLOOR PLAN - (1,796 sq. ft.)**  
 SCALE: 1/4" = 1'-0"



These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity at in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Winery Accessory Use Bldg.  
 Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-012-000

Seal:

**REVISIONS**

NO.	DATE	DESCRIPTION
1	1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**

Project No: **141003**

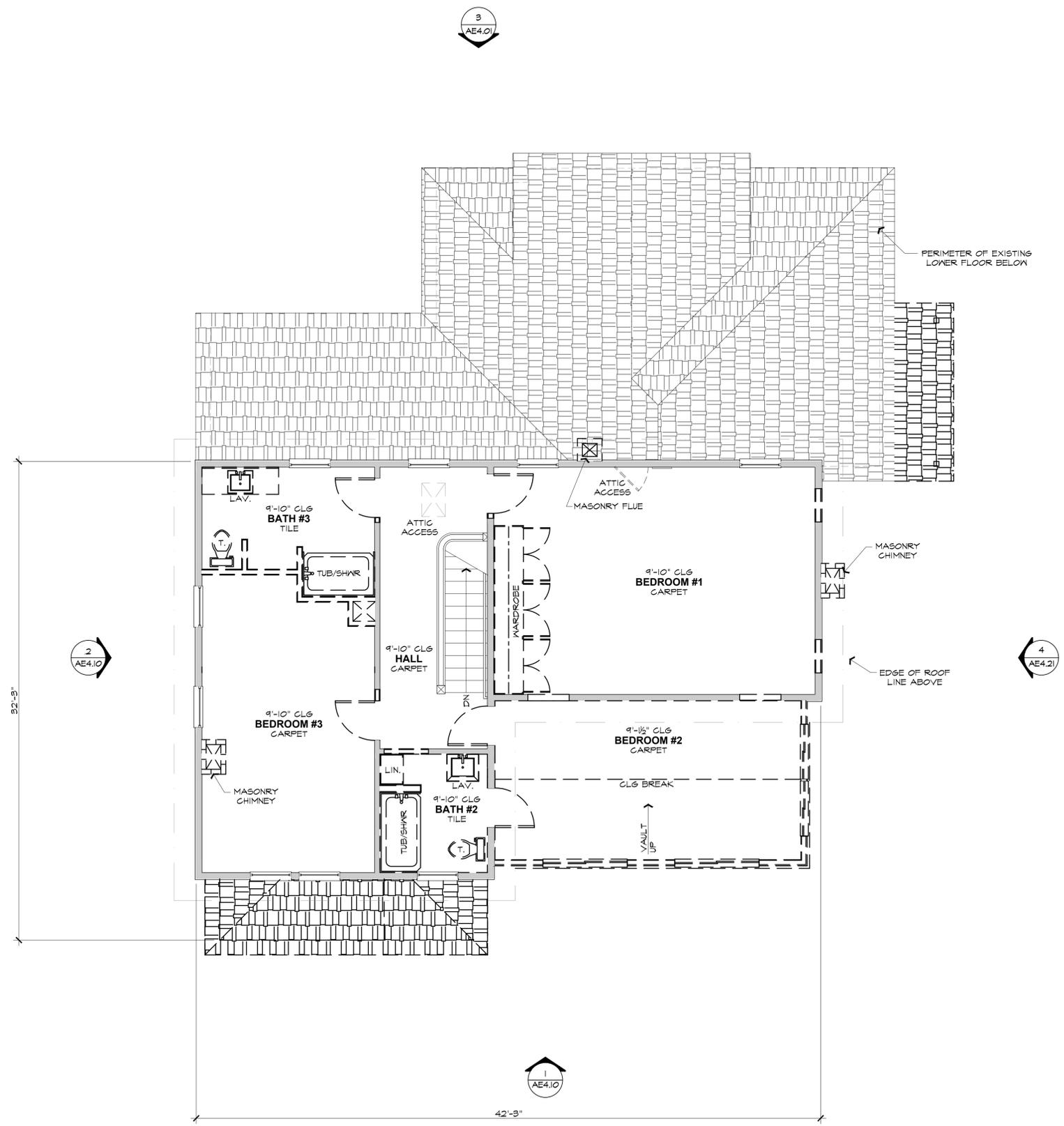
Sheet Title: **WINERY**

**ACCESSORY USE  
 EXISTING UPPER  
 FLOOR / DEMO PLAN**

Sheet #:

**AG2.20**

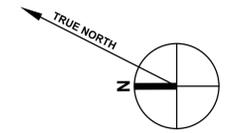
USE PERMIT SUBMITTAL



**WALL LEGEND**

- EXISTING STUD WALL TO REMAIN.
- EXISTING PORTION OF STRUCTURE TO BE REMOVED.

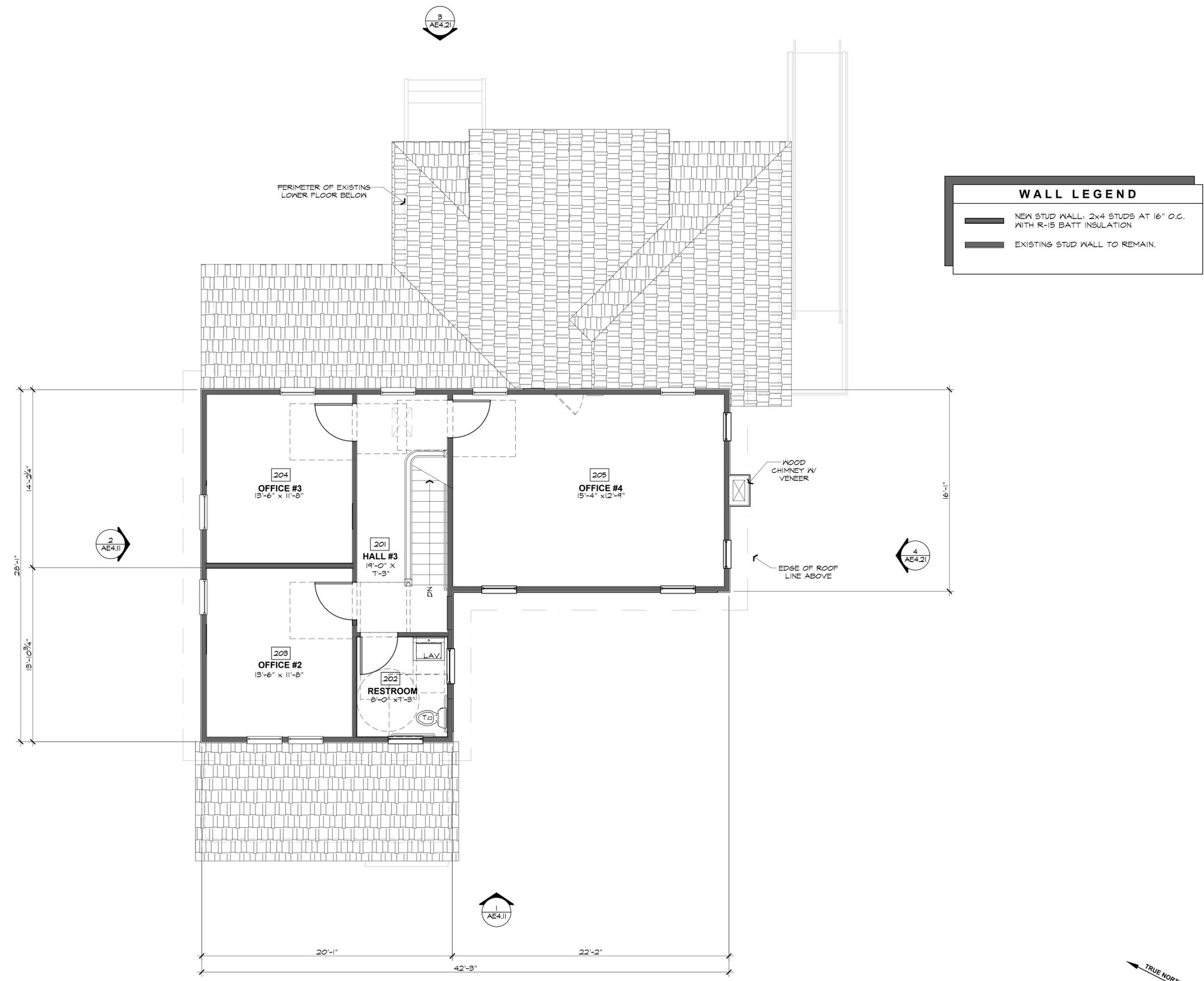
**A WINERY ACCESSORY BLDG. - EXISTING UPPER FLOOR / DEMO PLAN - (1,155 sq. ft.)**  
 SCALE: 1/4" = 1'-0"



These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

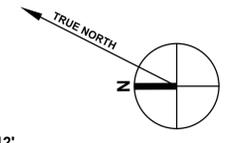
Consultant:

Winery Accessory Use Bldg.  
 Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-012-000



WALL LEGEND	
	NEW STUD WALL: 2x4 STUDS AT 16" O.C. WITH R-15 BATT INSULATION
	EXISTING STUD WALL TO REMAIN.

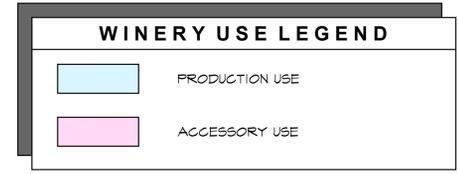
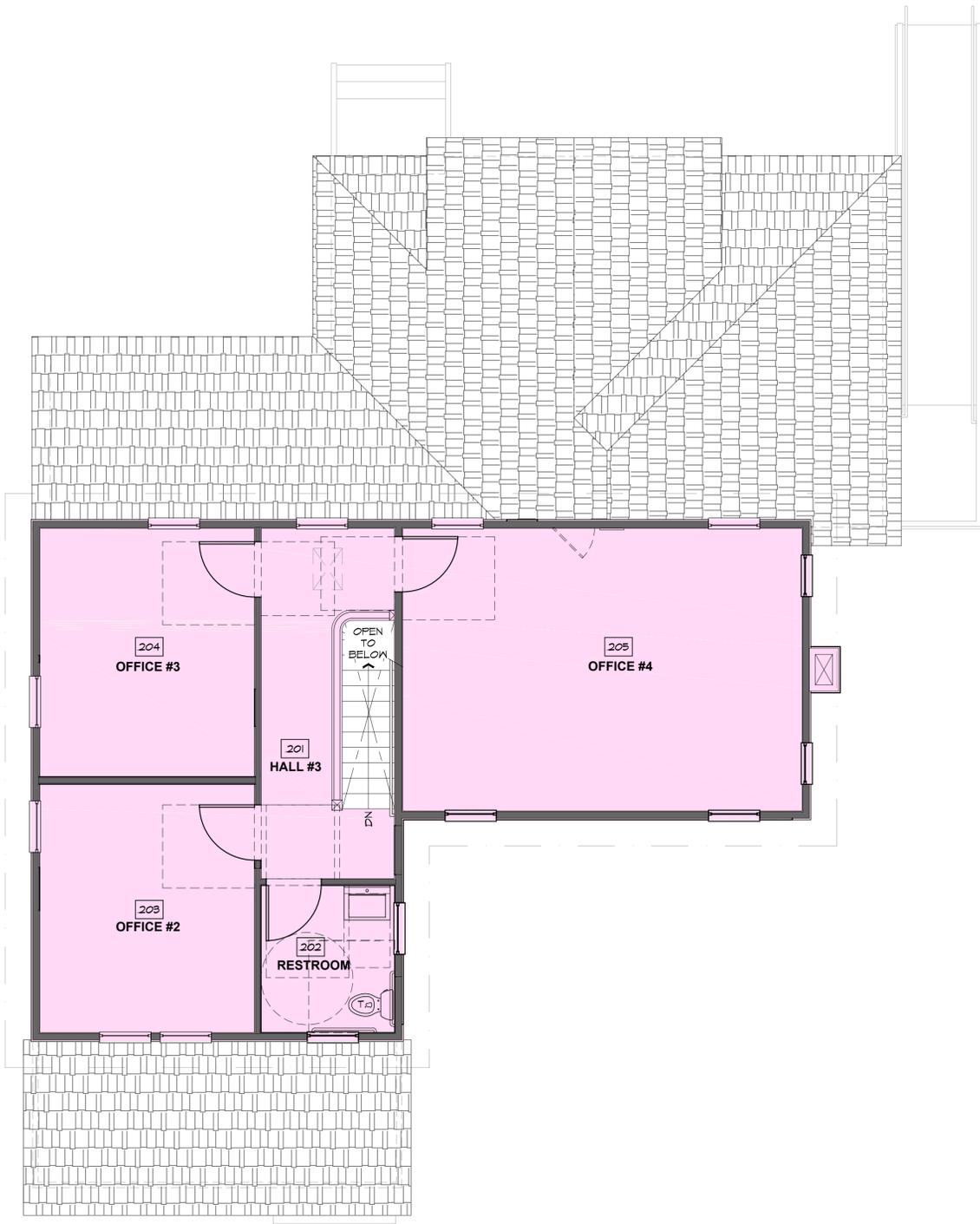
**B WINERY ACCESSORY BLDG. - PROPOSED UPPER FLOOR PLAN - (880 sq. ft.)**  
 SCALE: 1/4" = 1'-0"



REVISIONS	
△	DATE: 1/27/2016 USE PERMIT RESUBMITTAL
△	
△	
△	
△	
△	

Date: August 28, 2015  
 Project No: 141003  
 Sheet Title: WINERY ACCESSORY USE PROPOSED UPPER FLOOR PLAN  
 Sheet #: **AG2.21**  
 USE PERMIT SUBMITTAL

Consultant:



Winery Accessory Use Bldg.  
 Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-012-000

Seal:

**REVISIONS**

DATE	DESCRIPTION
1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**

Project No: **141003**

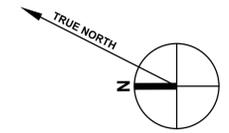
Sheet Title:  
**WINERY ACCESSORY  
 USE PROPOSED  
 UPPER FLOOR PLAN**

Sheet #:

**AG2.21a**

USE PERMIT SUBMITTAL

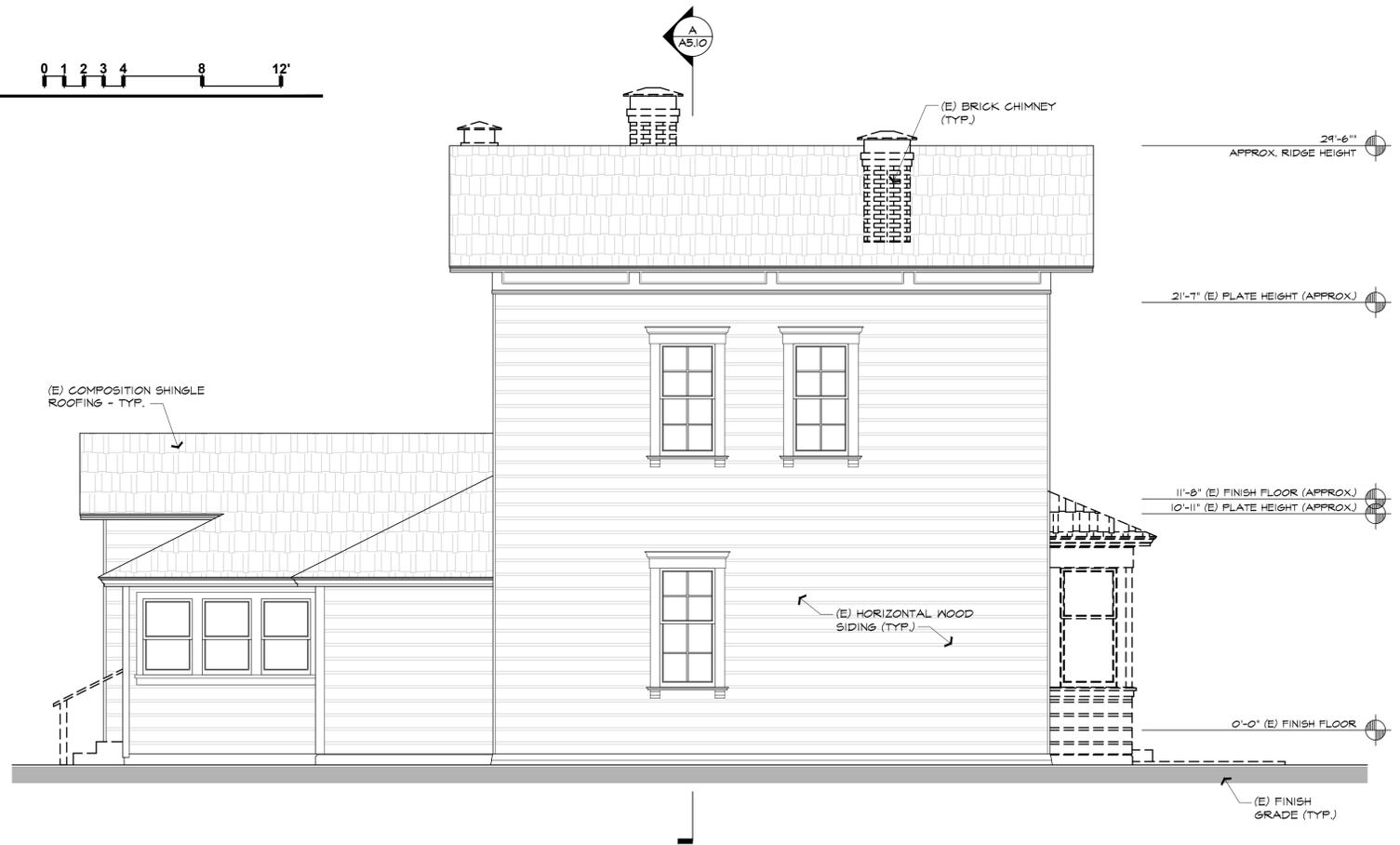
**B WINERY ACCESSORY BLDG. - PROPOSED UPPER FLOOR PLAN - (880 sq. ft.)**  
 SCALE: 1/4" = 1'-0"





**1 EXISTING FRONT (W) ELEVATION**

SCALE: 1/4" = 1'-0"



**2 EXISTING LEFT SIDE (N) ELEVATION**

SCALE: 1/4" = 1'-0"



These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Winery Accessory Use Bldg.  
 Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-012-000

Seal:

**REVISIONS**

DATE	REVISION
1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**

Project No: **141003**

Sheet Title:  
**WINERY ACCESSORY  
 USE EXISTING  
 EXT. ELEVATIONS**

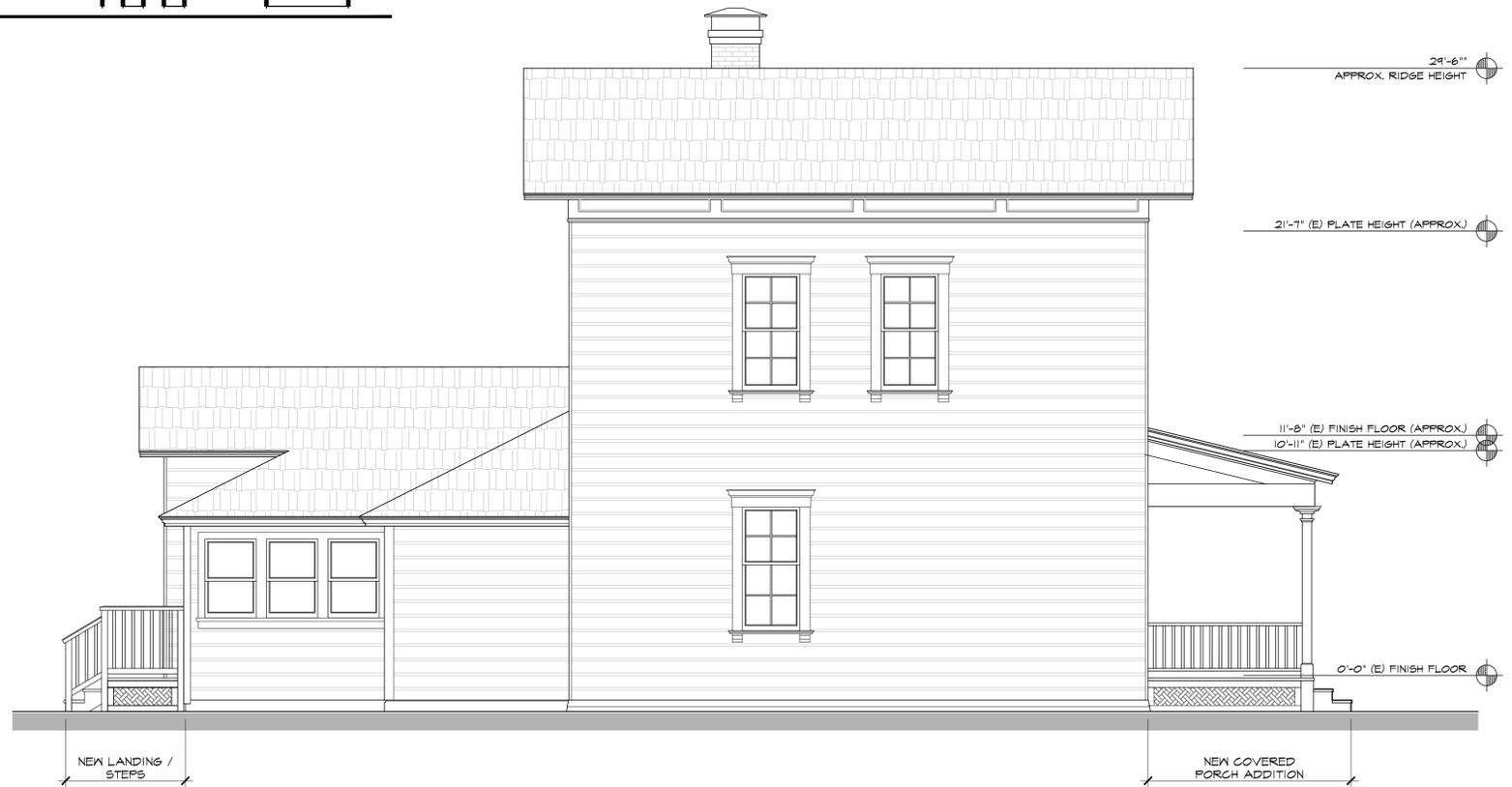
Sheet #:

**AG4.10**

USE PERMIT SUBMITTAL



**1 PROPOSED FRONT (W) ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 PROPOSED LEFT SIDE (N) ELEVATION**  
SCALE: 1/4" = 1'-0"



These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity at in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Winery Accessory Use Bldg.  
Use Permit Exhibits for  
**Raymond Winery**  
849 Zinfandel Lane, St. Helena, CA 94574  
APN: 030-270-012-000

Seal:

**REVISIONS**

DATE	REVISION
1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**

Project No: **141003**

Sheet Title:  
**WINERY ACCESSORY BLDG. PROPOSED EXT. ELEVATIONS**

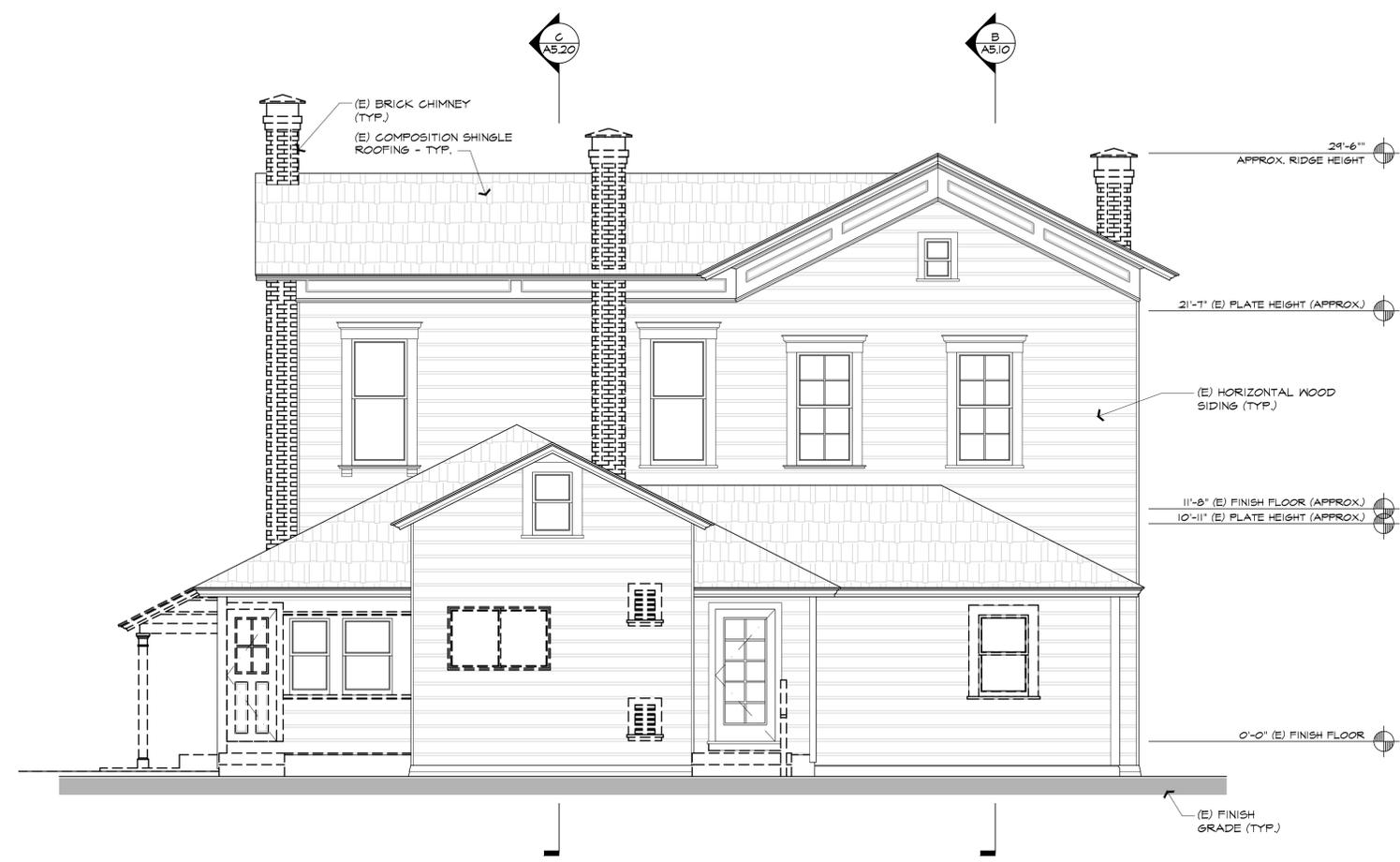
Sheet #:  
**AG4.11**

USE PERMIT SUBMITTAL

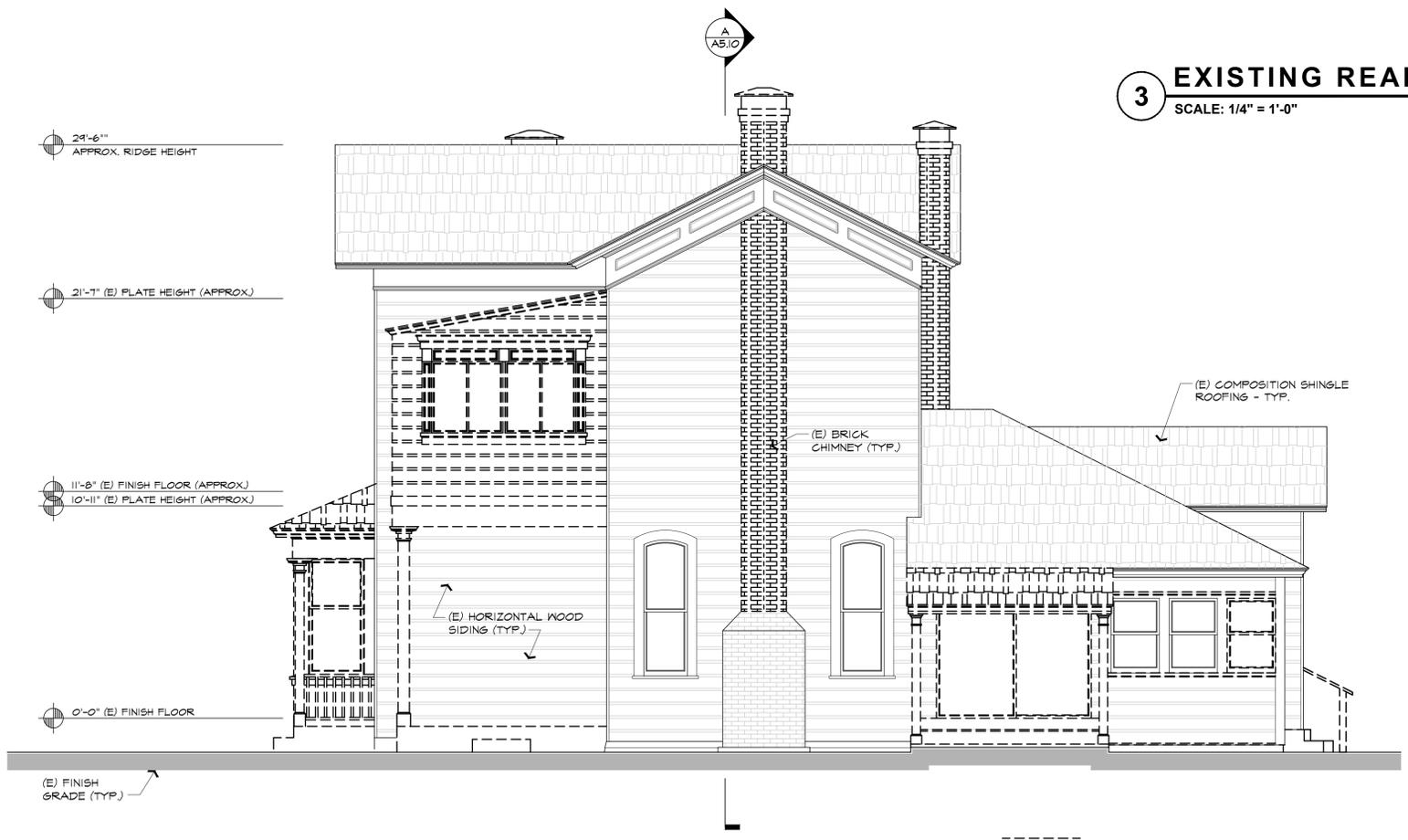
These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Winery Accessory Use Bldg.  
 Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-012-000



**3 EXISTING REAR (E) ELEVATION**  
 SCALE: 1/4" = 1'-0"



**4 EXISTING RIGHT SIDE (S) ELEVATION**  
 SCALE: 1/4" = 1'-0"



**REVISIONS**

DATE	REVISION
1/27/2016	USE PERMIT RESUBMITTAL

Date: August 28, 2015

Project No: 141003

Sheet Title:  
**WINERY ACCESSORY  
 USE EXISTING  
 EXT. ELEVATIONS**

Sheet #:

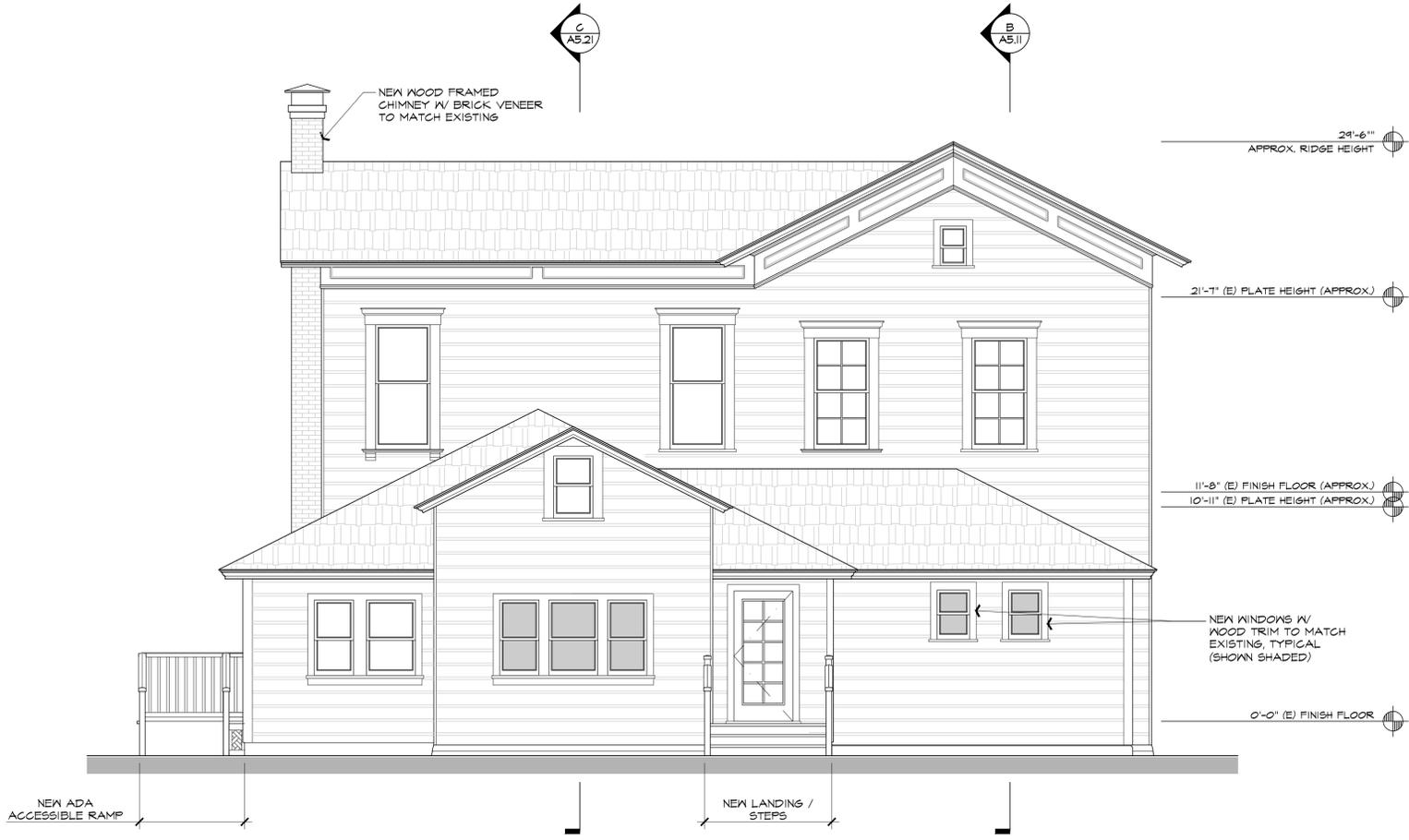
**AG4.20**

USE PERMIT SUBMITTAL

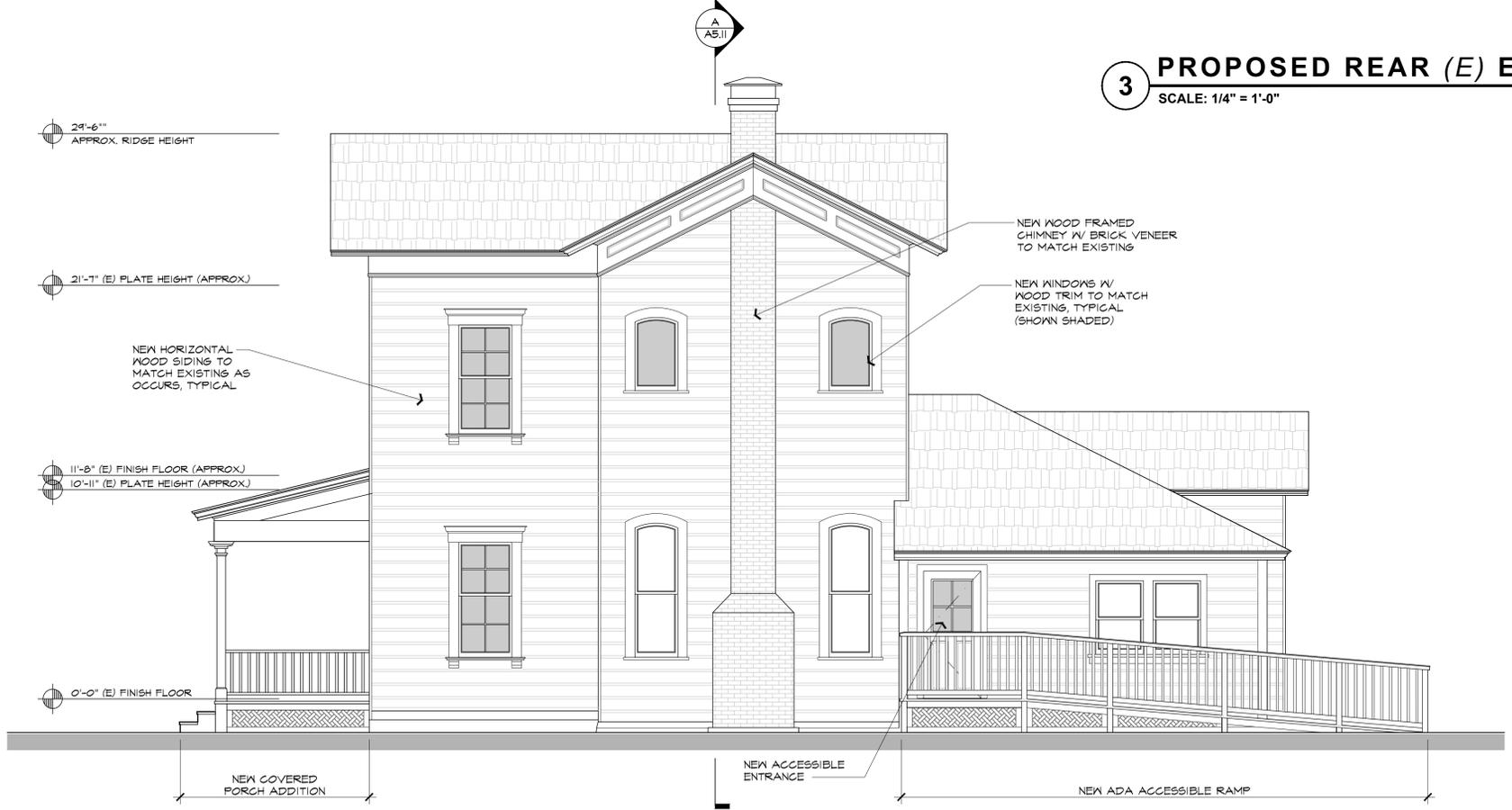
These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Winery Accessory Use Bldg.  
 Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-012-000



**3 PROPOSED REAR (E) ELEVATION**  
 SCALE: 1/4" = 1'-0"



**4 PROPOSED RIGHT SIDE (S) ELEVATION**  
 SCALE: 1/4" = 1'-0"

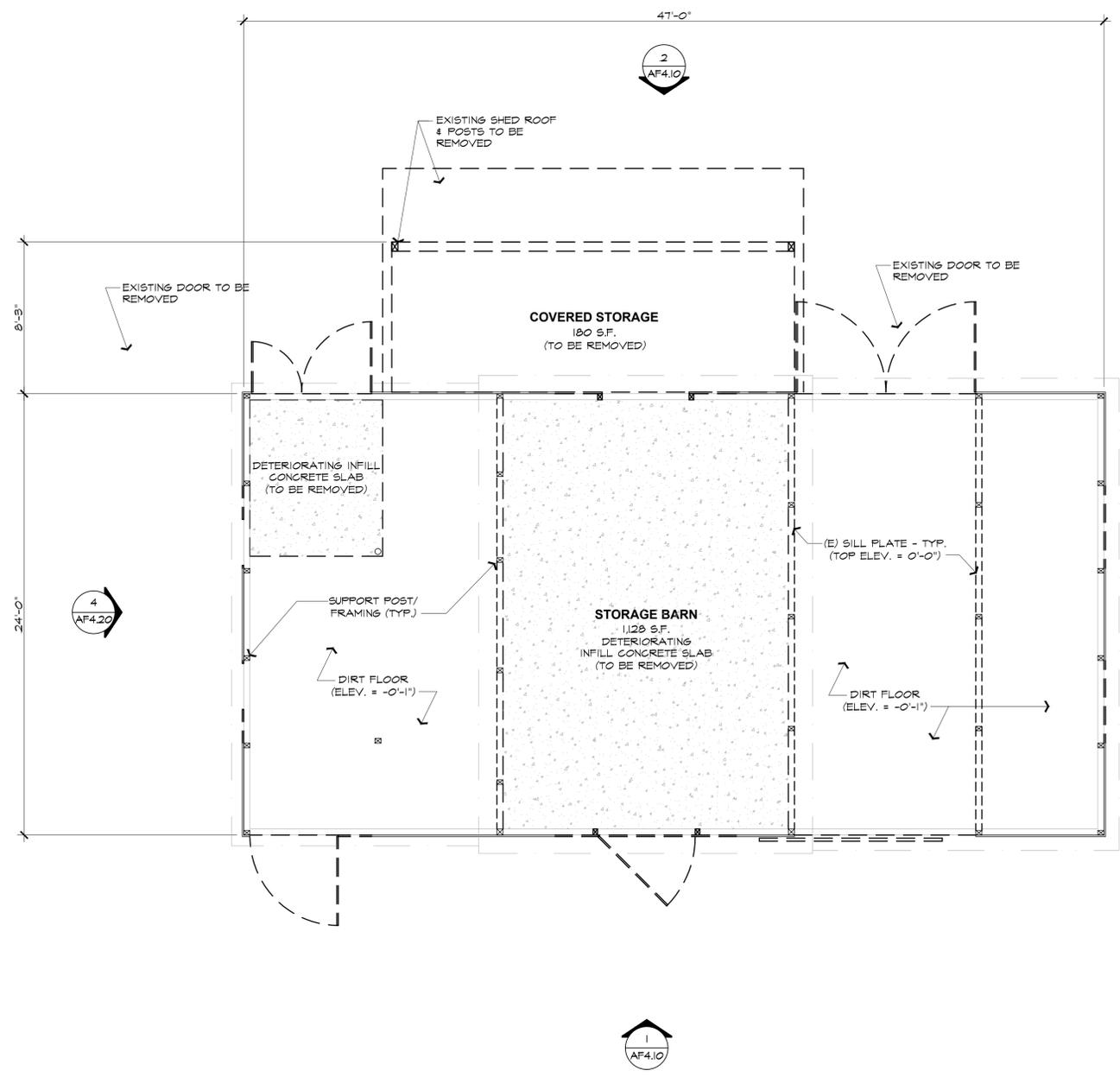


**REVISIONS**

DATE	REVISION
1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**  
 Project No: **141003**  
 Sheet Title: **WINERY ACCESSORY USE PROPOSED EXT. ELEVATIONS**  
 Sheet #: **AG4.21**  
 USE PERMIT SUBMITTAL

Consultant:



**WALL LEGEND**

- EXISTING WALL TO REMAIN.
- - - EXISTING PORTION OF STRUCTURE TO BE REMOVED.

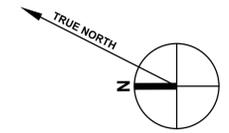
Ag Experience Bldg.  
 Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-012-000

Seal:

REVISIONS	
△	DATE: 1/27/2016 USE PERMIT RESUBMITTAL
△	
△	
△	
△	
△	

Date: August 28, 2015  
 Project No: 141003  
 Sheet Title: AG EXPERIENCE BLDG. EXISTING FLOOR / DEMO PLAN

Sheet #: **AH2.10**  
 USE PERMIT SUBMITTAL



Consultant:

Ag Experience Bldg.  
 Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-012-000

Seal:

**REVISIONS**

DATE	DESCRIPTION
1/27/2016	USE PERMIT RESUBMITTAL

Date: August 28, 2015

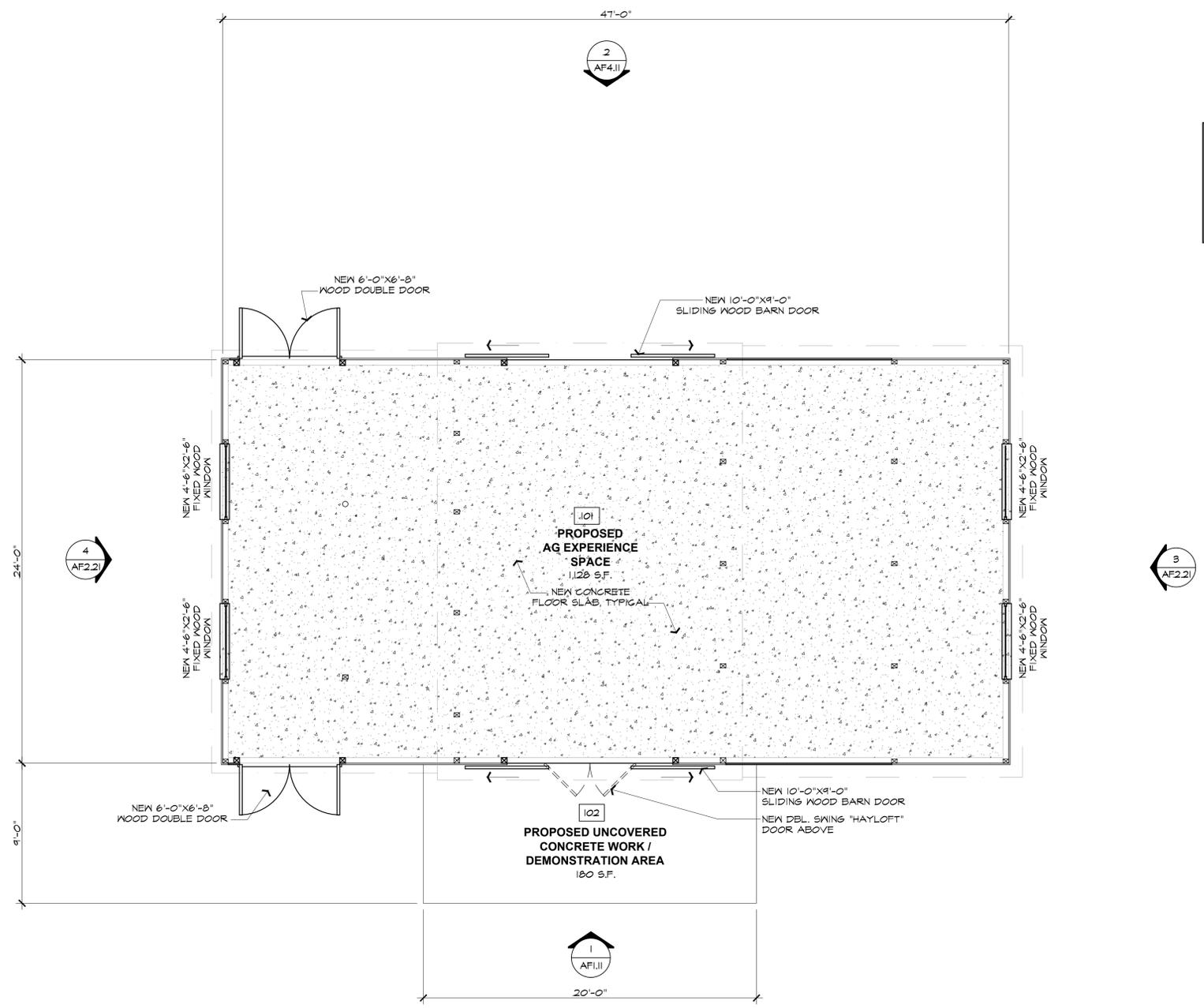
Project No: 141003

Sheet Title:  
**AG. EXPERIENCE BLDG. PROPOSED FLOOR PLAN**

Sheet #:

**AH2.11**

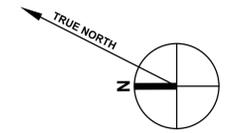
USE PERMIT SUBMITTAL



**WALL LEGEND**

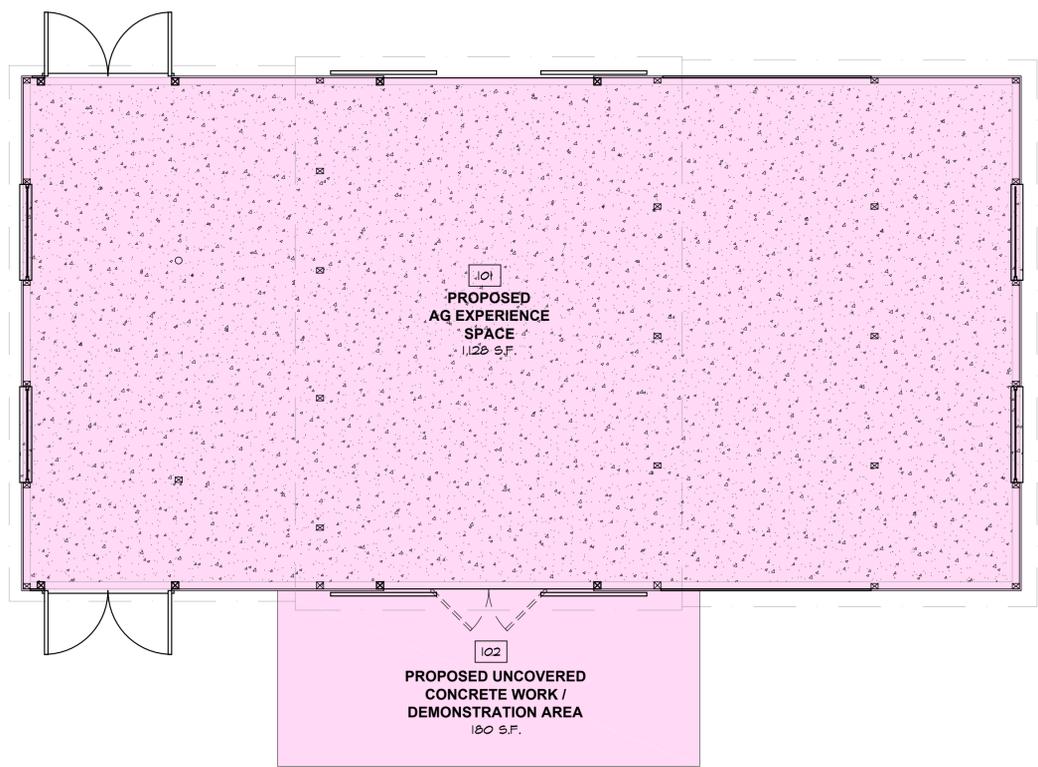
- NEW WALL: EXTERIOR SIDING AND INTERIOR BARN FRAMING TO MATCH EXISTING
- EXISTING WALL TO REMAIN.

**A AG EXPERIENCE BLDG. - PROPOSED FLOOR PLAN - (1,128 sq. ft. + 180 sq. ft. = 1,308 sq. ft.)**  
 SCALE: 1/4" = 1'-0"



Consultant:

WINERY USE LEGEND	
	PRODUCTION USE
	ACCESSORY USE



Ag Experience Bldg.  
 Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-012-000

Seal:

**REVISIONS**

DATE	DESCRIPTION
1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**

Project No: **141003**

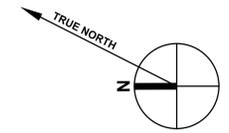
Sheet Title:  
**AG. EXPERIENCE BLDG. PROPOSED FLOOR PLAN**

Sheet #:

**AH2.11a**

USE PERMIT SUBMITTAL

**A AG EXPERIENCE BLDG. - PROPOSED FLOOR PLAN - (1,128 sq. ft. + 180 sq. ft. = 1,308 sq. ft.)**  
 SCALE: 1/4" = 1'-0"



Consultant:

Ag Experience Bldg.  
 Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-012-000

Seal:

**REVISIONS**

DATE	DESCRIPTION
1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**

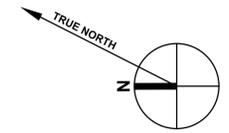
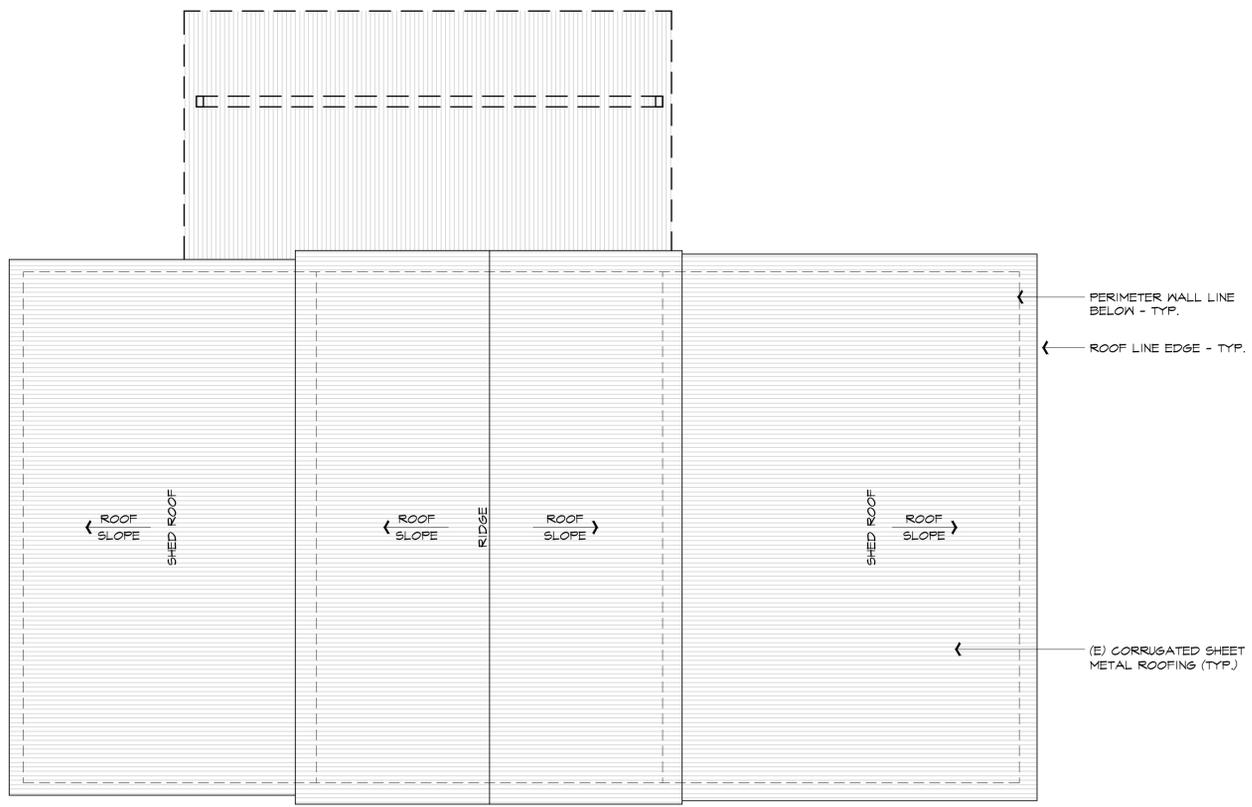
Project No: **141003**

Sheet Title:  
**AG EXPERIENCE BLDG. EXISTING / DEMO ROOF PLAN**

Sheet #:

**AH2.30**

USE PERMIT SUBMITTAL



Consultant:

Ag Experience Bldg.  
 Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-012-000

Seal:

**REVISIONS**

DATE	DESCRIPTION
1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**

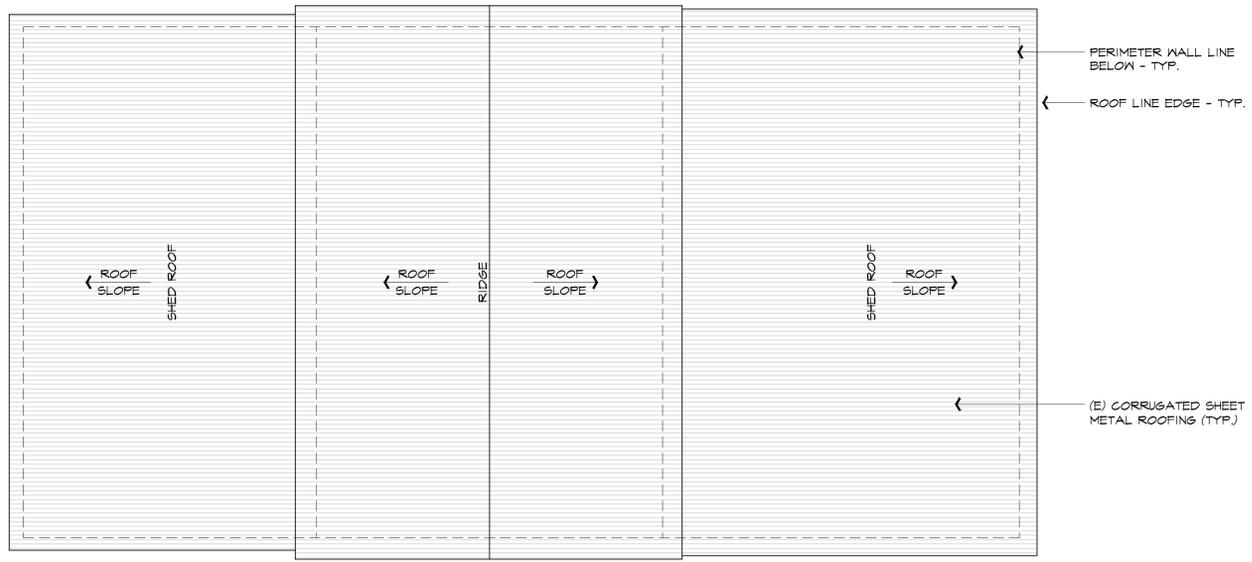
Project No: **141003**

Sheet Title: **AG EXPERIENCE BLDG. PROPOSED ROOF PLAN**

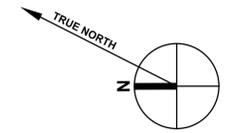
Sheet #:

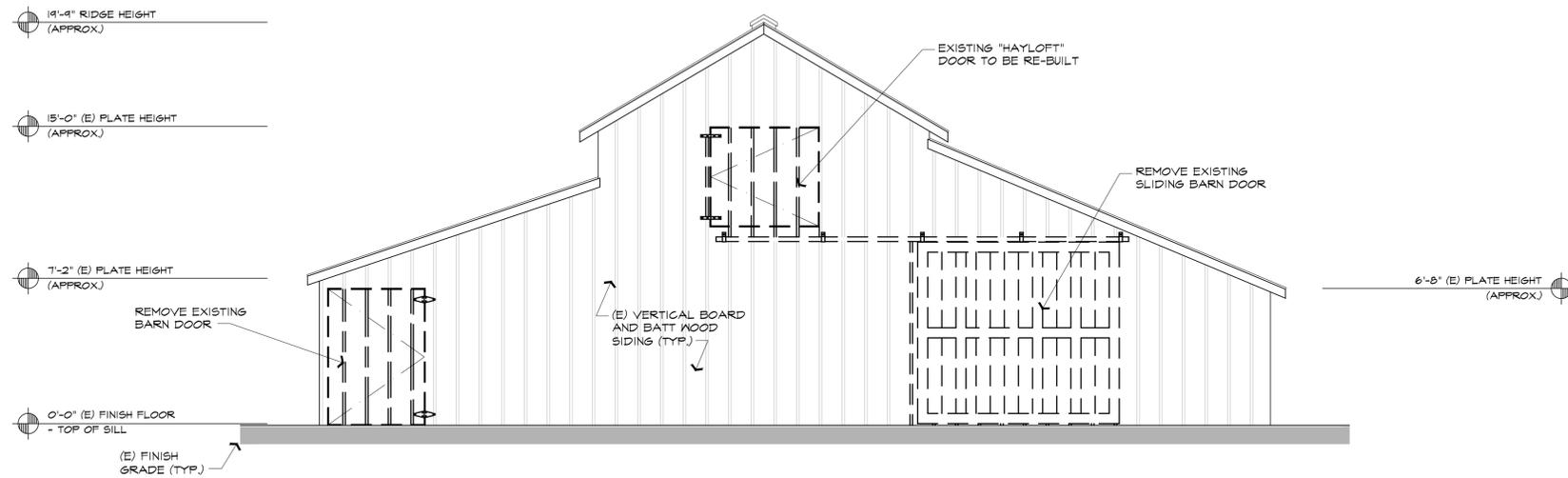
**AH2.31**

USE PERMIT SUBMITTAL

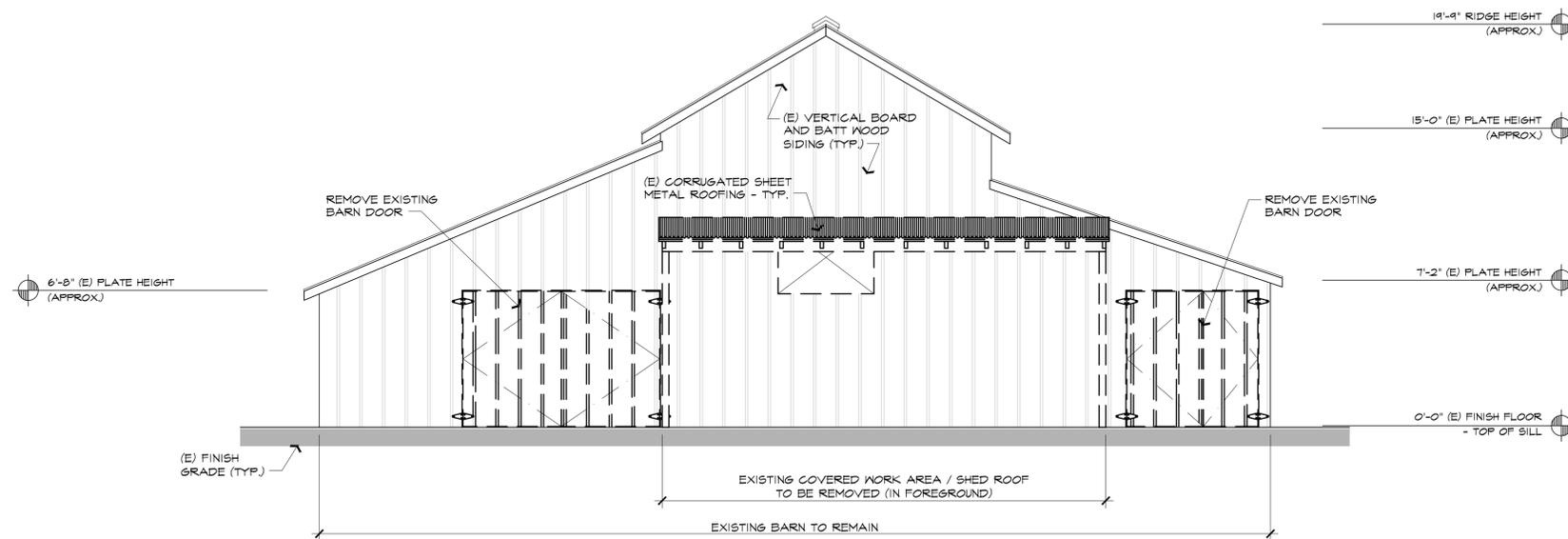


**A AG EXPERIENCE BLDG. - PROPOSED ROOF PLAN**  
 SCALE: 1/4" = 1'-0"





**1** EXISTING FRONT (W) ELEVATION  
SCALE: 1/4" = 1'-0"



**2** EXISTING REAR (E) ELEVATION  
SCALE: 1/4" = 1'-0"

These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Ag Experience Bldg.  
Use Permit Exhibits for  
**Raymond Winery**  
849 Zinfandel Lane, St. Helena, CA 94574  
APN: 030-270-012-000

Seal:

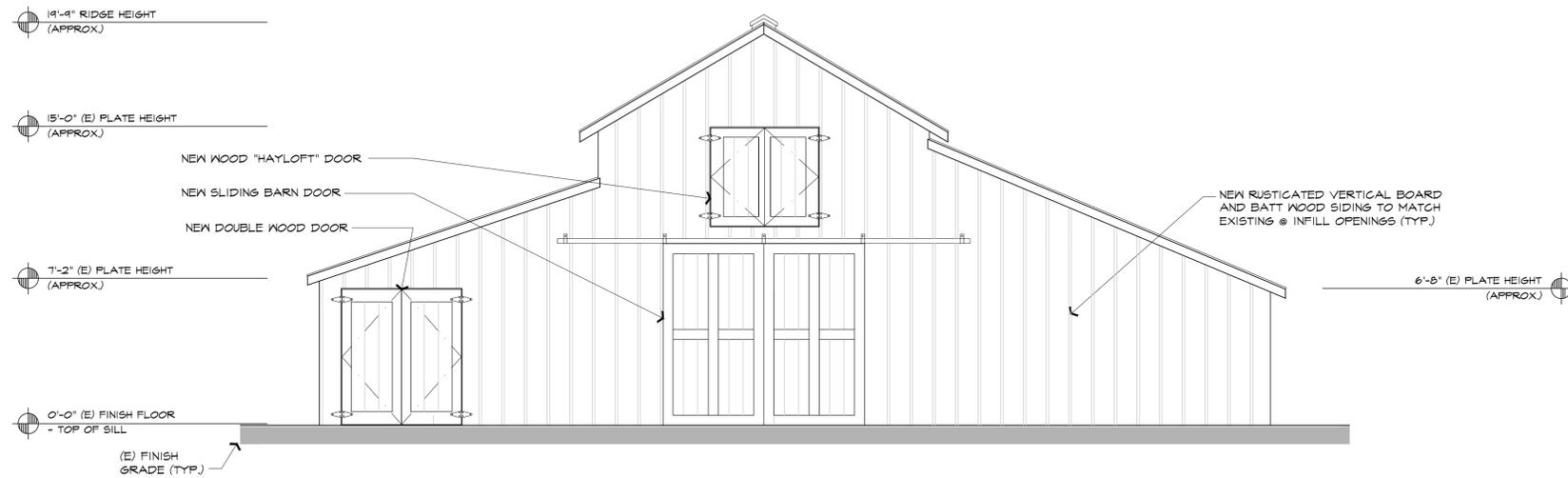
**REVISIONS**

DATE	REVISION
1/27/2016	USE PERMIT RESUBMITTAL

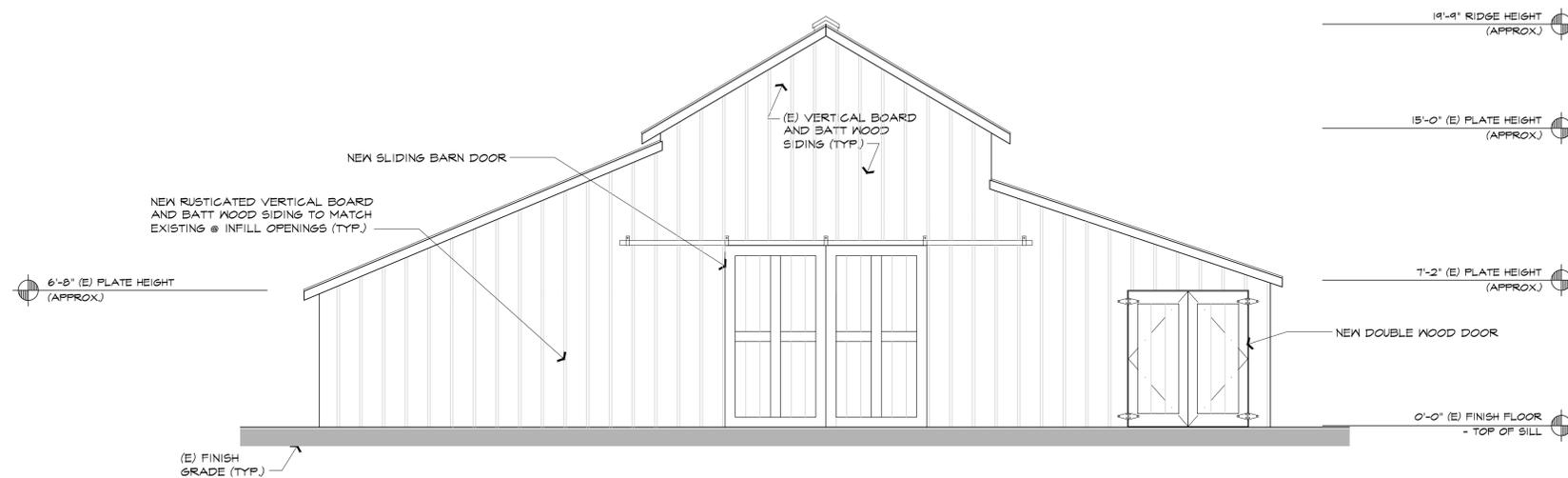
Date: **August 28, 2015**  
Project No: **141003**  
Sheet Title: **AG EXPERIENCE BLDG. EXIST. EXT. ELEVATIONS**

Sheet #: **AH4.10**

USE PERMIT SUBMITTAL



**1 PROPOSED FRONT (W) ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 PROPOSED REAR (E) ELEVATION**  
SCALE: 1/4" = 1'-0"



These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Ag Experience Bldg.  
Use Permit Exhibits for  
**Raymond Winery**  
849 Zinfandel Lane, St. Helena, CA 94574  
APN: 030-270-012-000

Seal:

**REVISIONS**

DATE	DESCRIPTION
1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**

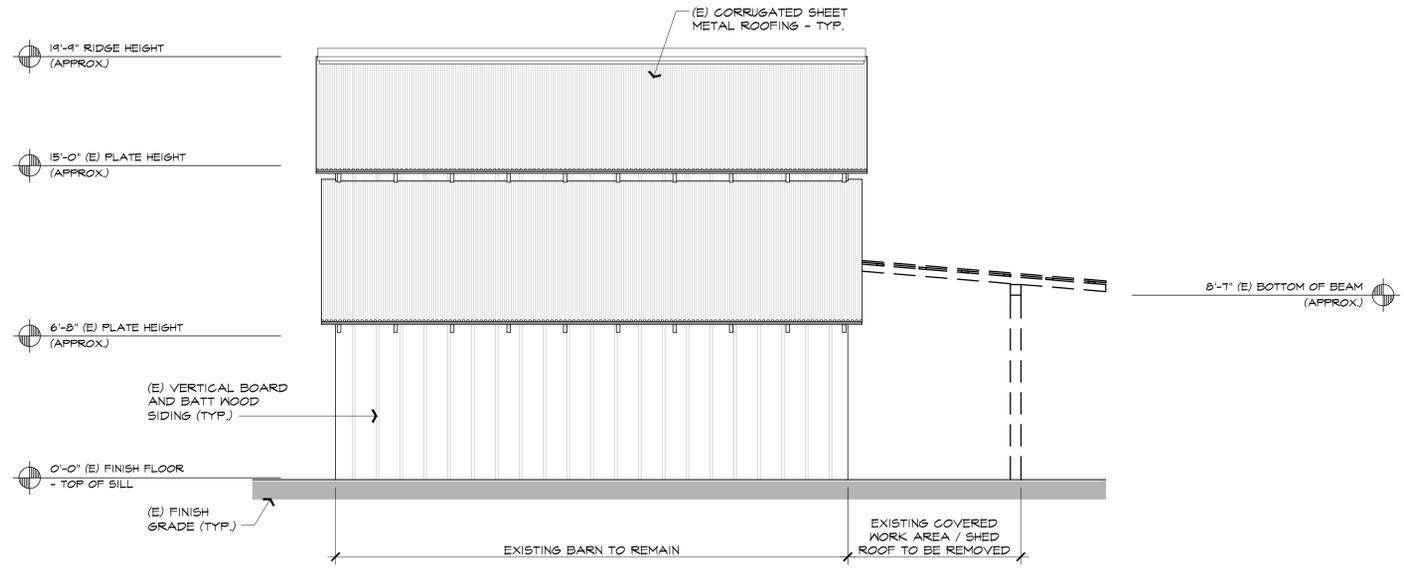
Project No: **141003**

Sheet Title:  
**AG EXPERIENCE BLDG. PROPOSED EXT. ELEVATIONS**

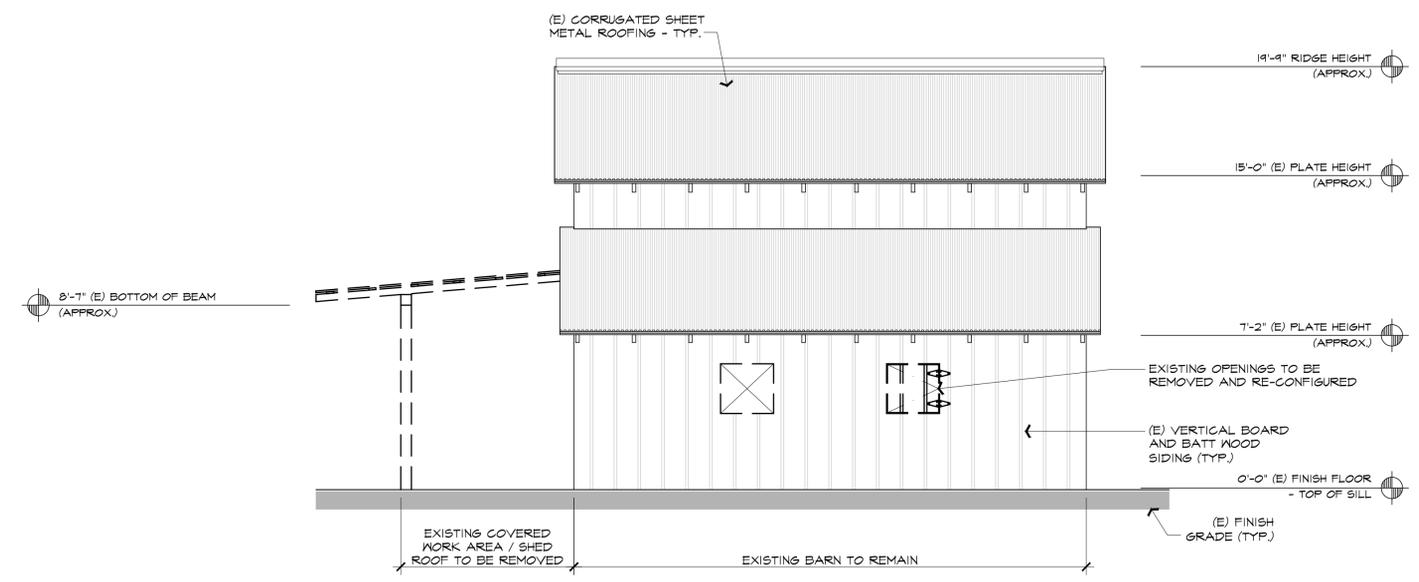
Sheet #:

**AH4.11**

USE PERMIT SUBMITTAL



**3** EXISTING RIGHT SIDE (S) ELEVATION  
SCALE: 1/4" = 1'-0"



**4** EXISTING LEFT SIDE (N) ELEVATION  
SCALE: 1/4" = 1'-0"



These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity at another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Ag Experience Bldg.  
Use Permit Exhibits for  
**Raymond Winery**  
849 Zinfandel Lane, St. Helena, CA 94574  
APN: 030-270-012-000

Seal:

**REVISIONS**

DATE	DESCRIPTION
1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**

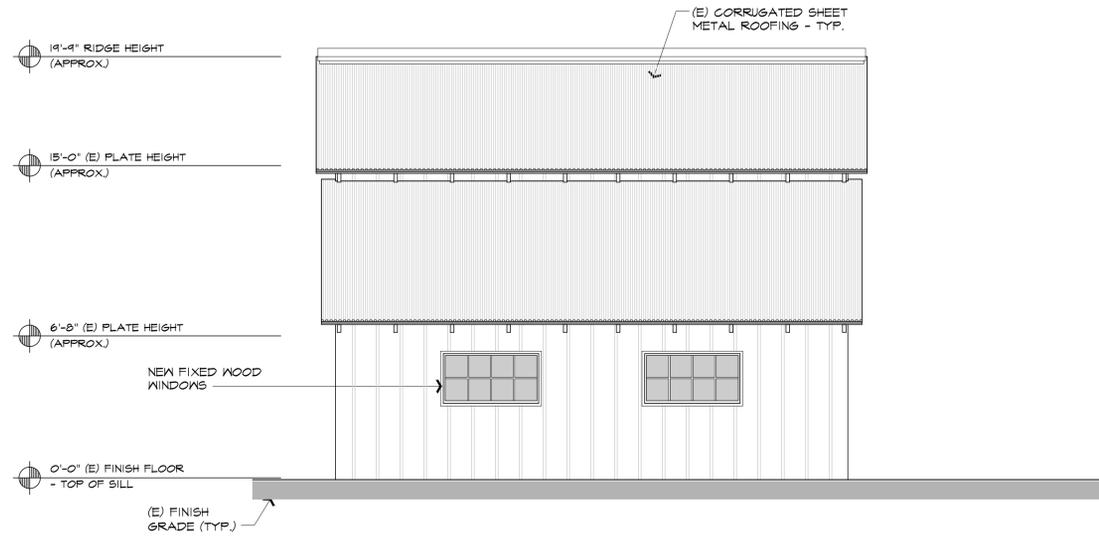
Project No: **141003**

Sheet Title:  
**AG EXPERIENCE BLDG. EXIST. EXT. ELEVATIONS**

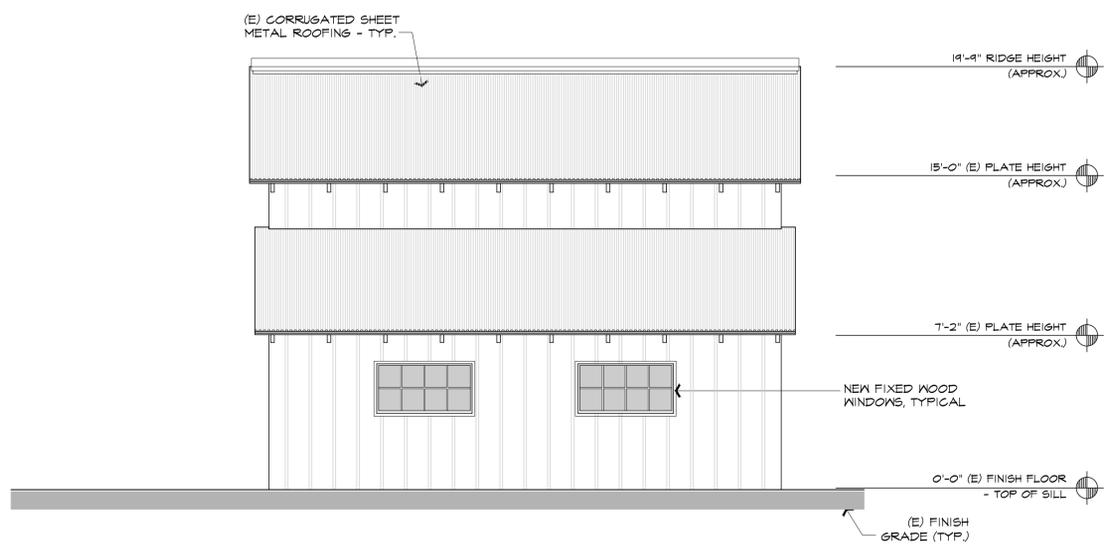
Sheet #:

**AH4.20**

USE PERMIT SUBMITTAL



**3 PROPOSED RIGHT SIDE (S) ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 PROPOSED LEFT SIDE (N) ELEVATION**  
SCALE: 1/4" = 1'-0"



These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity at in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Ag Experience Bldg.  
Use Permit Exhibits for  
**Raymond Winery**  
849 Zinfandel Lane, St. Helena, CA 94574  
APN: 030-270-012-000

Seal:

**REVISIONS**

DATE	REVISION
1/27/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**

Project No: **141003**

Sheet Title:  
**AG EXPERIENCE BLDG. PROPOSED EXT. ELEVATIONS**

Sheet #:

**AH4.21**

USE PERMIT SUBMITTAL

These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

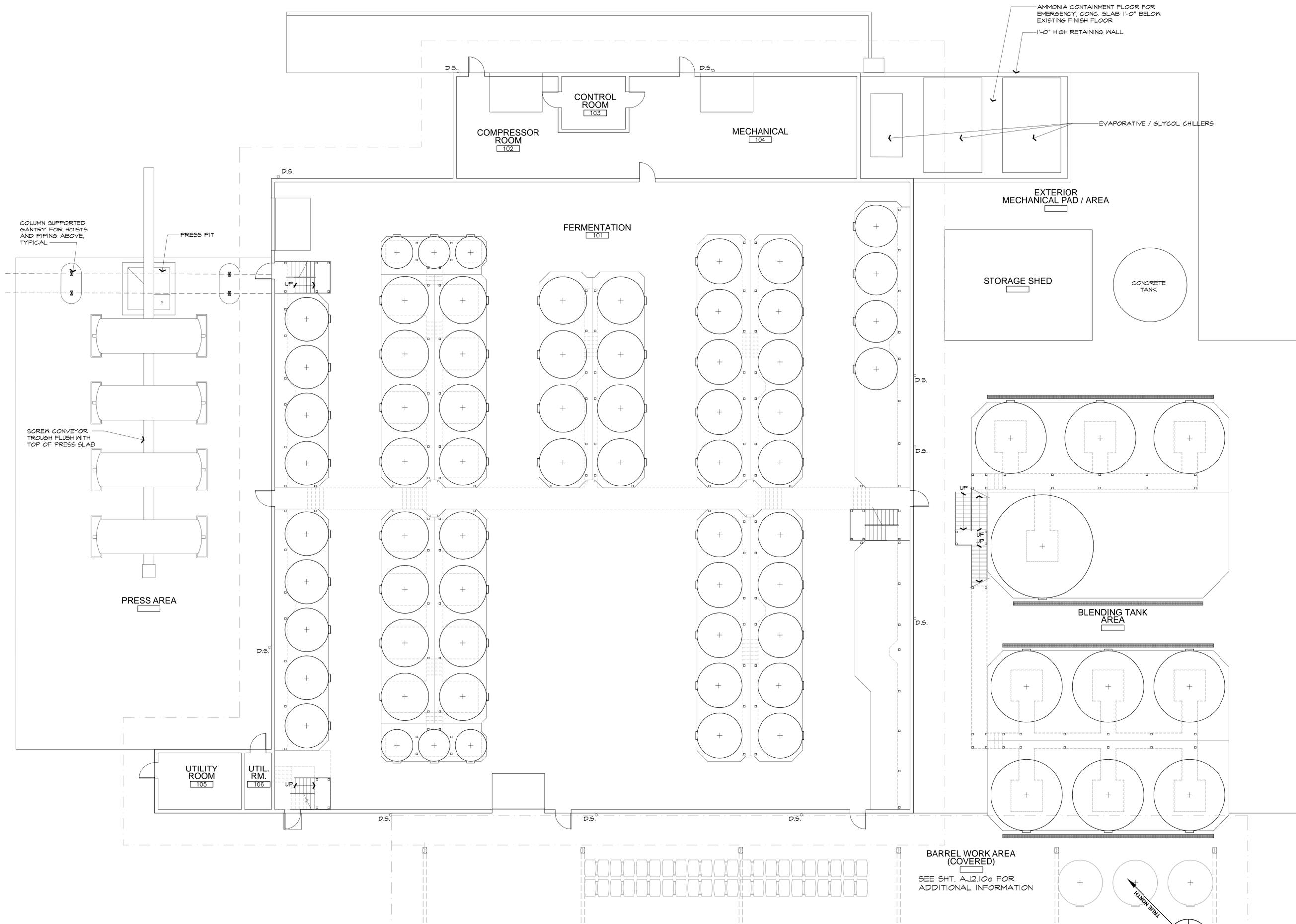
Consultant:

Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013-000

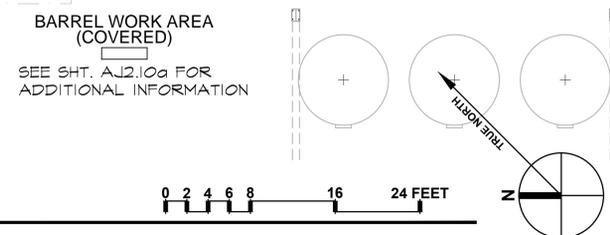
Seal:

REVISIONS	
△	DATE: 1/27/2016 USE PERMIT RESUBMITTAL
△	DATE: 7/26/2016 USE PERMIT RESUBMITTAL
△	
△	
△	
△	

Date: August 28, 2015  
 Project No: 141003  
 Sheet Title: **BUILDING B - EXISTING FLOOR PLAN**  
 Sheet #: **A12.10**  
 USE PERMIT SUBMITTAL



**A BUILDING B - EXISTING FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013-000

Seal:

**REVISIONS**

△	DATE:	1/27/2016
	USE PERMIT RESUBMITTAL	
△	DATE:	7/26/2016
	USE PERMIT RESUBMITTAL	
△		
△		
△		
△		

Date: August 28, 2015

Project No: 141003

Sheet Title:  
**BUILDING B - EXISTING FLOOR PLAN**

Sheet #:

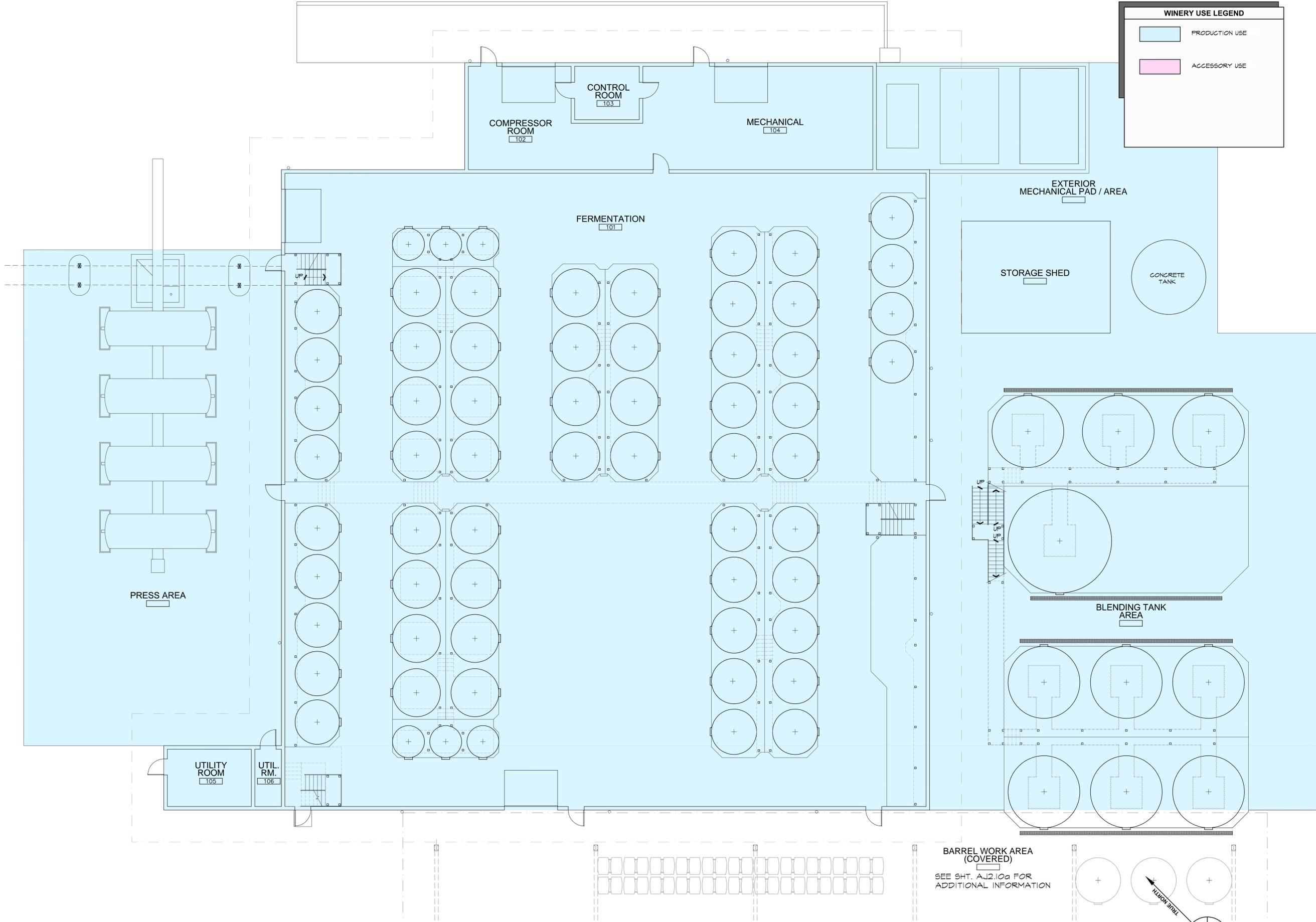
**A12.10a**

USE PERMIT SUBMITTAL

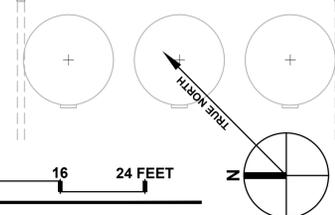
**WINERY USE LEGEND**

 PRODUCTION USE

 ACCESSORY USE



BARREL WORK AREA (COVERED)  
 SEE SHT. A12.10a FOR ADDITIONAL INFORMATION



**A BUILDING B - EXISTING FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013-000

Seal:

**REVISIONS**

DATE	REVISION
1/27/2016	USE PERMIT RESUBMITTAL
7/26/2016	USE PERMIT RESUBMITTAL

Date: August 28, 2015

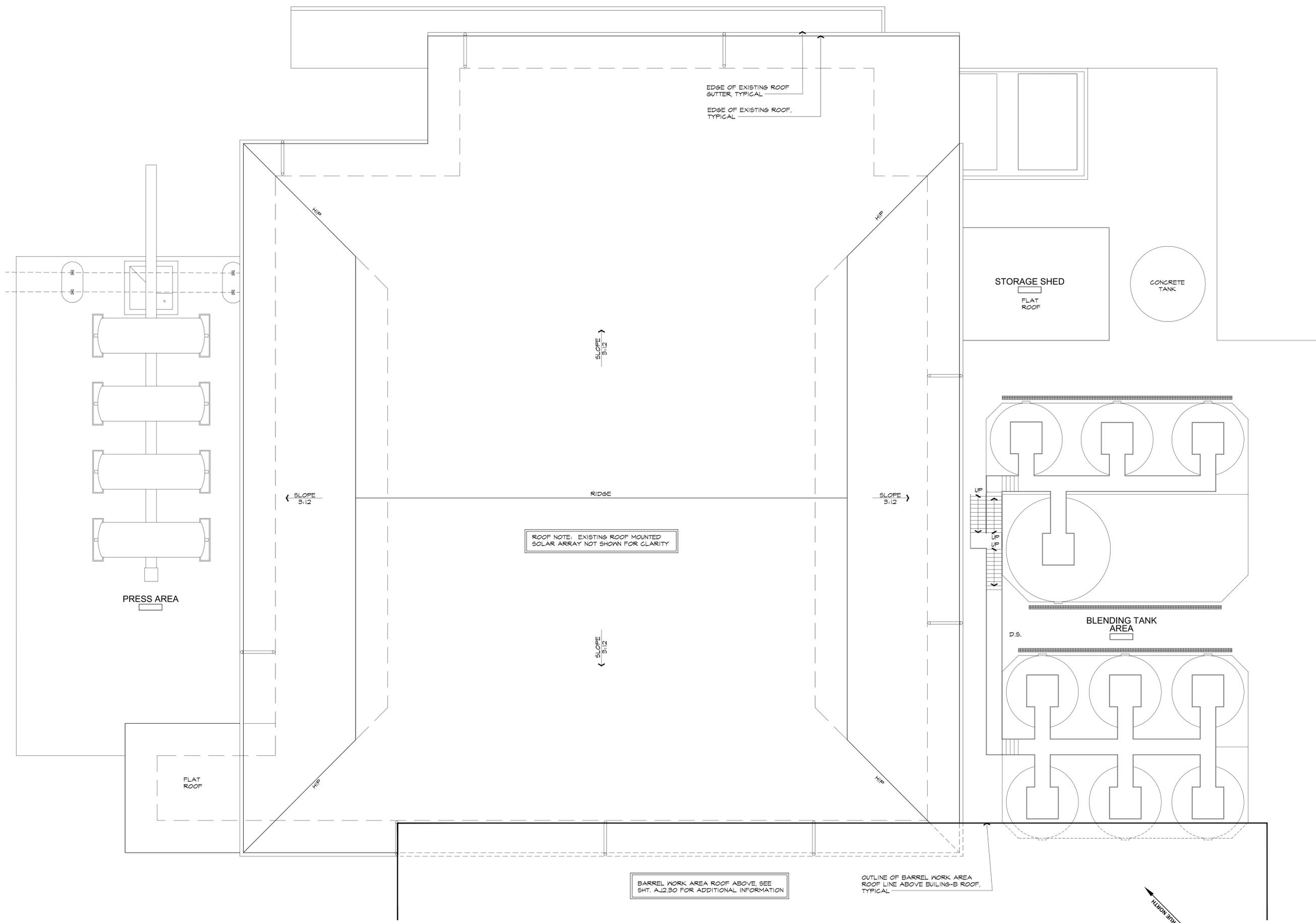
Project No: 141003

Sheet Title:  
**BUILDING B - EXISTING ROOF PLAN**

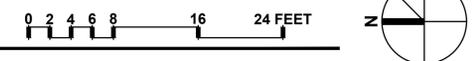
Sheet #:

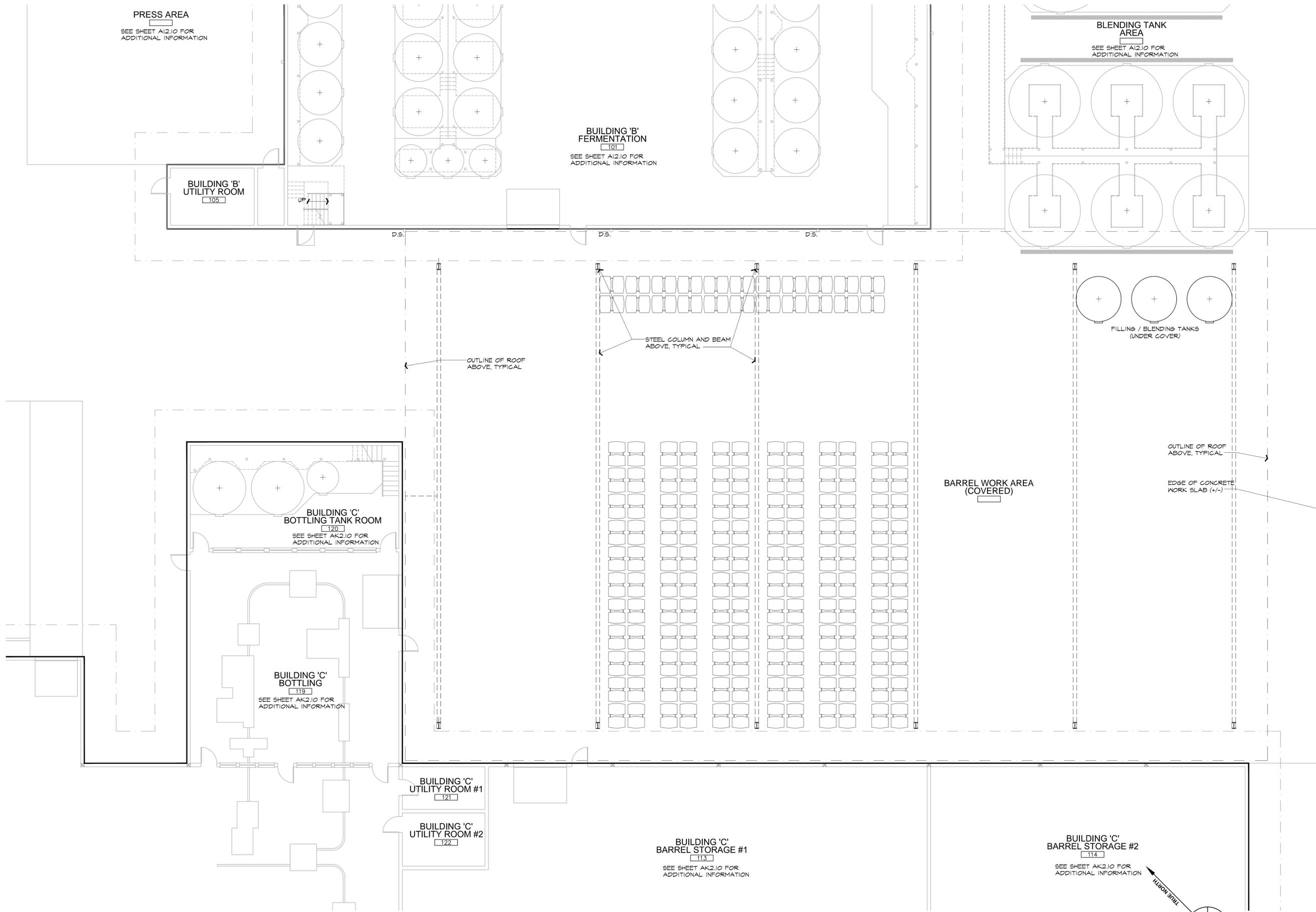
**A12.30**

USE PERMIT SUBMITTAL

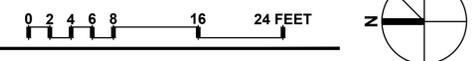


**A BUILDING B - EXISTING ROOF PLAN**  
 SCALE: 1/8" = 1'-0"





**A BARREL WORK AREA - EXISTING FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Use Permit Exhibits for  
**Raymond Winery**  
849 Zinfandel Lane, St. Helena, CA 94574  
APN: 030-270-013-000

Seal:

**REVISIONS**

DATE	REVISION
1/27/2016	USE PERMIT RESUBMITTAL
7/26/2016	USE PERMIT RESUBMITTAL

Date: August 28, 2015

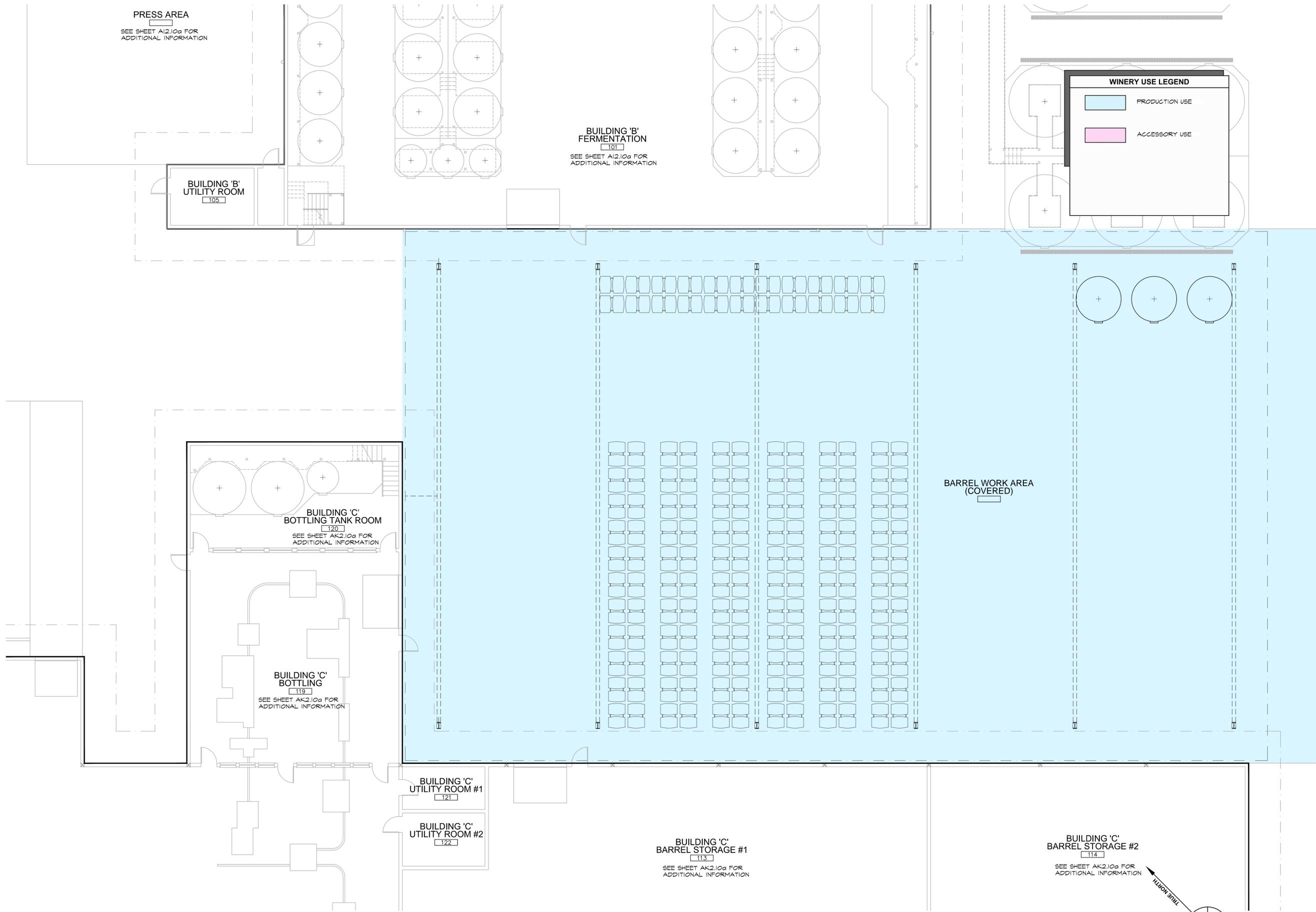
Project No: 141003

Sheet Title:  
**BARREL WORK AREA - EXISTING FLOOR PLAN**

Sheet #:

**AJ2.10**

USE PERMIT SUBMITTAL



PRESS AREA  
SEE SHEET A12.10a FOR  
ADDITIONAL INFORMATION

BUILDING 'B'  
UTILITY ROOM  
105

BUILDING 'B'  
FERMENTATION  
101  
SEE SHEET A12.10a FOR  
ADDITIONAL INFORMATION

**WINERY USE LEGEND**

PRODUCTION USE

ACCESSORY USE

BUILDING 'C'  
BOTTLING TANK ROOM  
120  
SEE SHEET AK2.10a FOR  
ADDITIONAL INFORMATION

BUILDING 'C'  
BOTTLING  
119  
SEE SHEET AK2.10a FOR  
ADDITIONAL INFORMATION

BUILDING 'C'  
UTILITY ROOM #1  
121

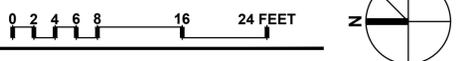
BUILDING 'C'  
UTILITY ROOM #2  
122

BUILDING 'C'  
BARREL STORAGE #1  
113  
SEE SHEET AK2.10a FOR  
ADDITIONAL INFORMATION

BUILDING 'C'  
BARREL STORAGE #2  
114  
SEE SHEET AK2.10a FOR  
ADDITIONAL INFORMATION

BARREL WORK AREA  
(COVERED)

**A BARREL WORK AREA - EXISTING FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Use Permit Exhibits for  
**Raymond Winery**  
849 Zinfandel Lane, St. Helena, CA 94574  
APN: 030-270-013-000

Seal:

**REVISIONS**

DATE	DESCRIPTION
1/27/2016	USE PERMIT RESUBMITTAL
7/26/2016	USE PERMIT RESUBMITTAL

Date: August 28, 2015

Project No: 141003

Sheet Title:  
**BARREL WORK AREA - EXISTING FLOOR PLAN**

Sheet #:

**AJ2.10a**

USE PERMIT SUBMITTAL

**REVISIONS**

DATE	REVISION
1/27/2016	USE PERMIT RESUBMITTAL
7/26/2016	USE PERMIT RESUBMITTAL

Date: **August 28, 2015**

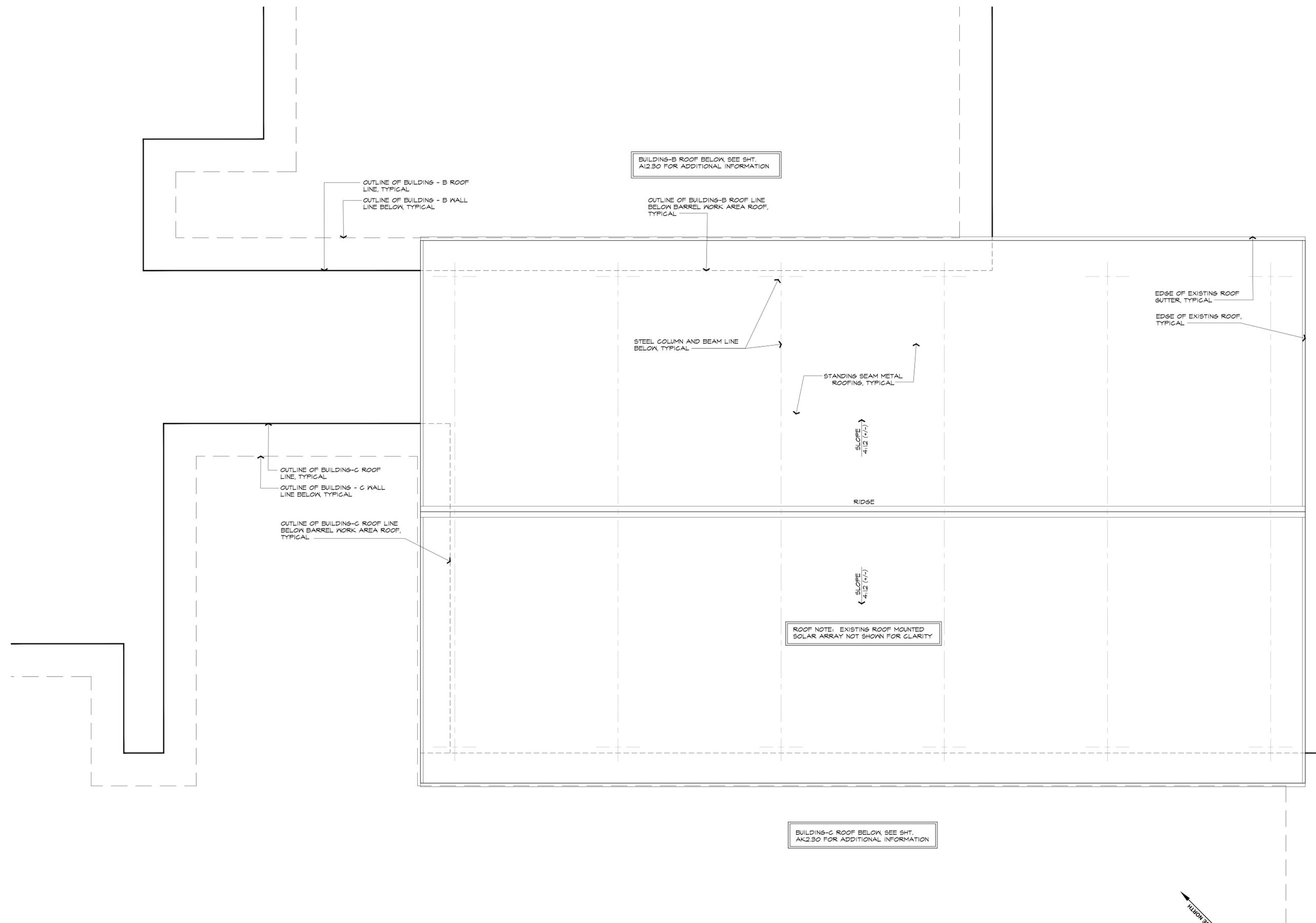
Project No: **141003**

Sheet Title:  
**BARREL WORK AREA - EXISTING ROOF PLAN**

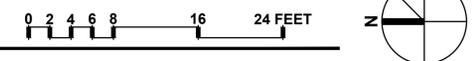
Sheet #:

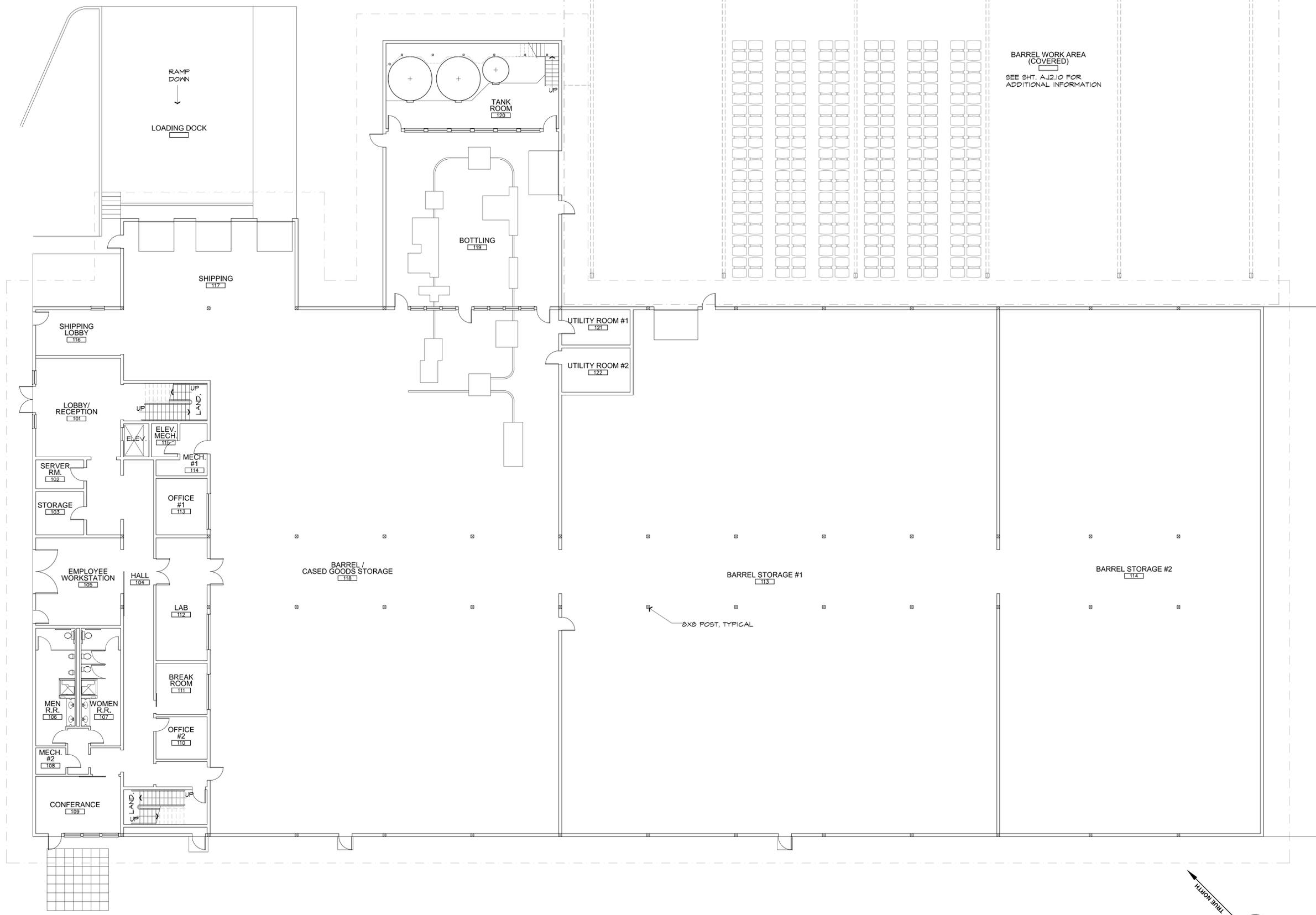
**AJ2.30**

USE PERMIT SUBMITTAL



**A BARREL WORK AREA - EXISTING ROOF PLAN**  
 SCALE: 1/8" = 1'-0"

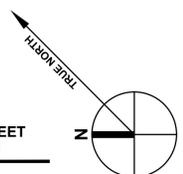
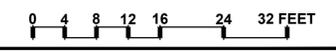




BARREL WORK AREA  
(COVERED)  
SEE SHT. A.J2.10 FOR  
ADDITIONAL INFORMATION

8x8 POST, TYPICAL

**A BUILDING C - EXISTING GROUND FLOOR PLAN**  
SCALE: 3/32" = 1'-0"



These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Use Permit Exhibits for  
**Raymond Winery**  
849 Zinfandel Lane, St. Helena, CA 94574  
APN: 030-270-013-000

Seal:

REVISIONS	
△	DATE: 1/27/2016 USE PERMIT RESUBMITTAL
△	DATE: 7/26/2016 USE PERMIT RESUBMITTAL
△	
△	
△	
△	

Date: August 28, 2015  
Project No: 141003  
Sheet Title: **BUILDING C - EXISTING GROUND FLOOR PLAN**

Sheet #: **AK2.10**  
USE PERMIT SUBMITTAL

These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013-000

Seal:

**REVISIONS**

△	DATE:	1/27/2016
	USE PERMIT RESUBMITTAL	
△	DATE:	7/26/2016
	USE PERMIT RESUBMITTAL	
△		
△		
△		
△		

Date: August 28, 2015

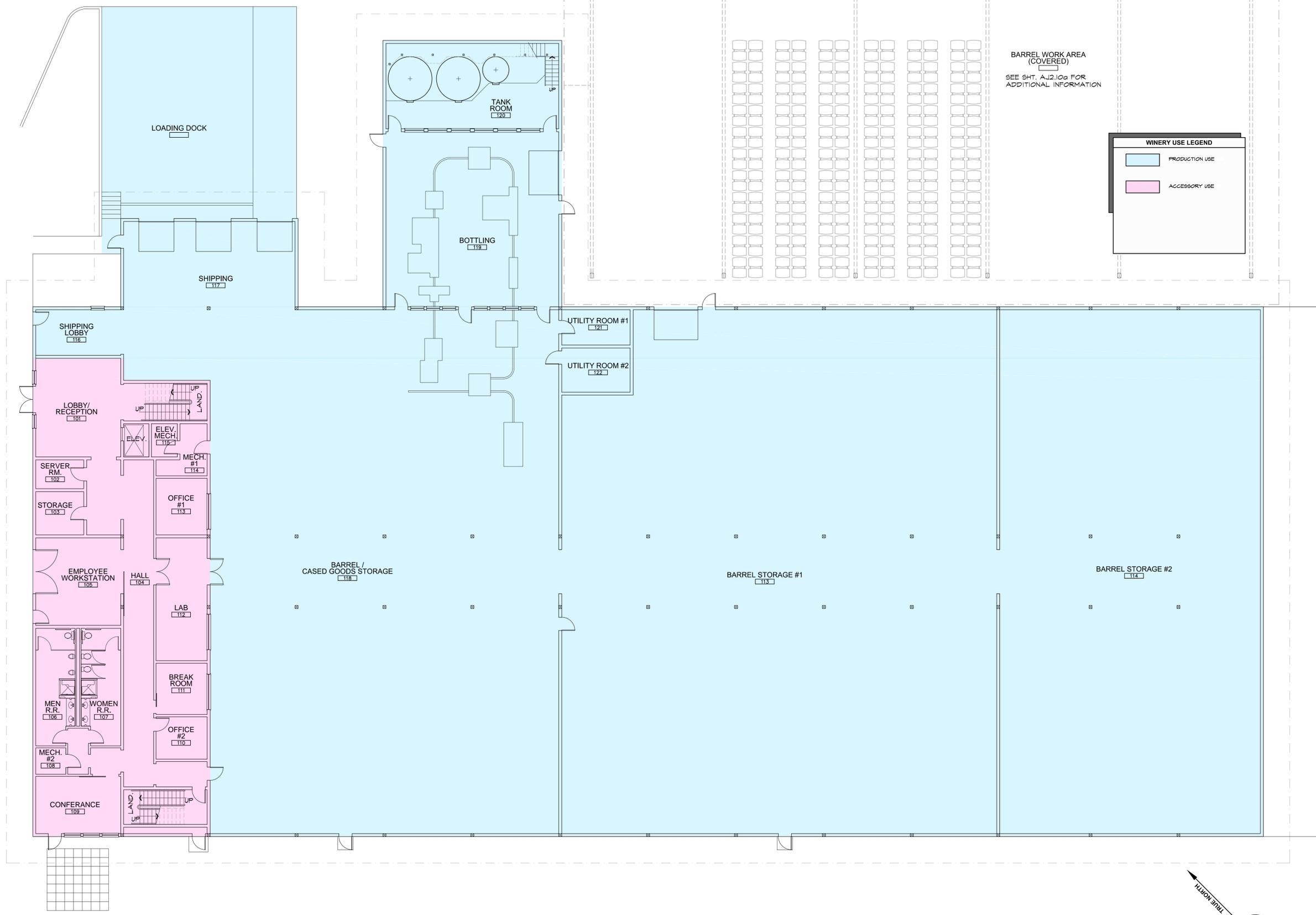
Project No: 141003

Sheet Title:  
**BUILDING C - EXISTING GROUND FLOOR PLAN**

Sheet #:

**AK2.10a**

USE PERMIT SUBMITTAL

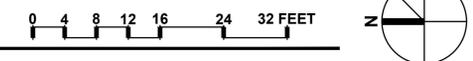


**WINERY USE LEGEND**

- PRODUCTION USE
- ACCESSORY USE

BARREL WORK AREA (COVERED)  
 SEE SHT. A.J2.10a FOR ADDITIONAL INFORMATION

**A BUILDING C - EXISTING GROUND FLOOR PLAN**  
 SCALE: 3/32" = 1'-0"



These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013-000

Seal:

**REVISIONS**

DATE	REVISION
1/27/2016	USE PERMIT RESUBMITTAL
7/26/2016	USE PERMIT RESUBMITTAL

Date: August 28, 2015

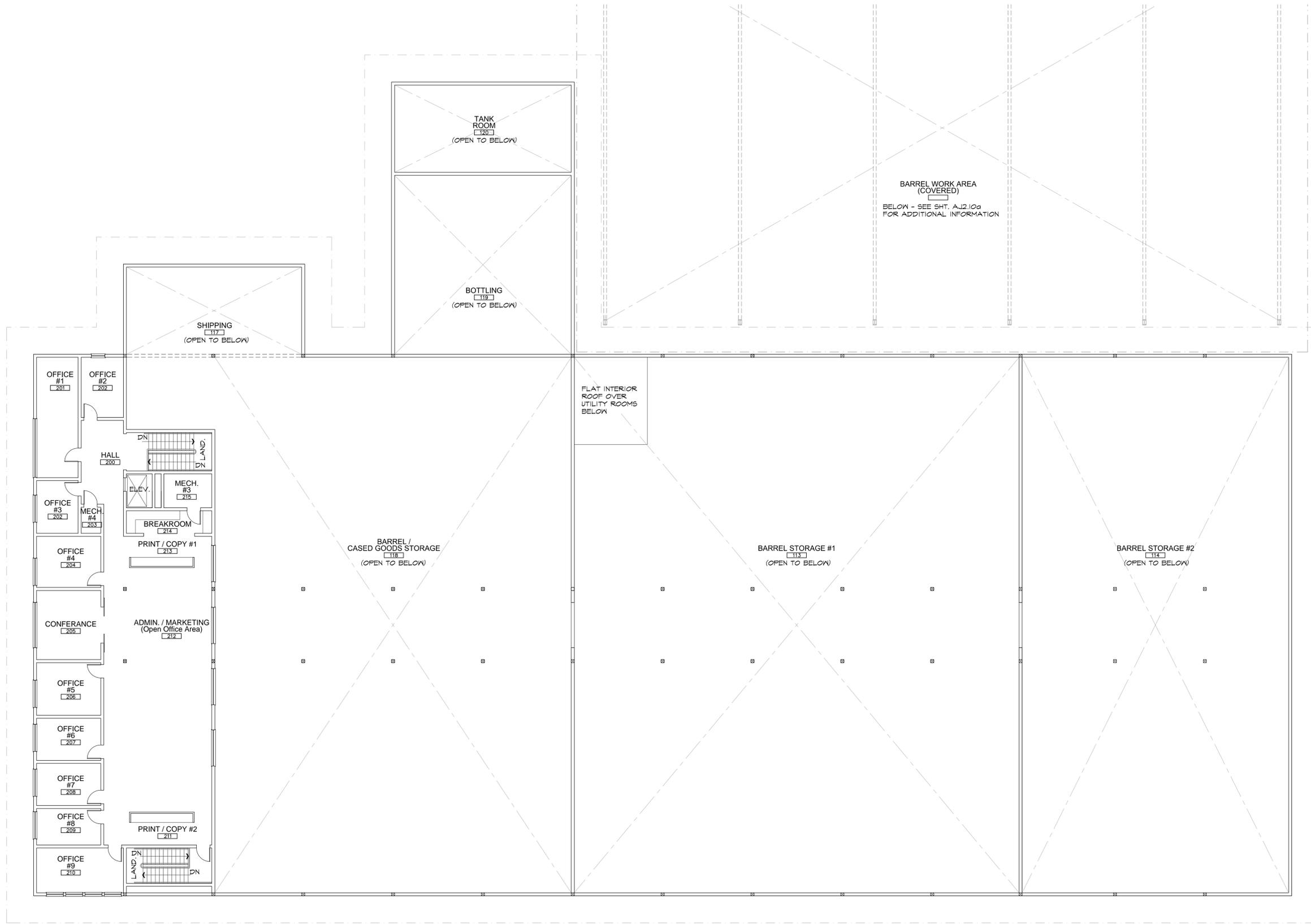
Project No: 141003

Sheet Title: **BUILDING C - EXISTING SECOND FLOOR PLAN**

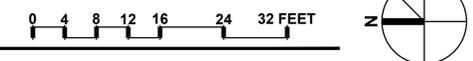
Sheet #:

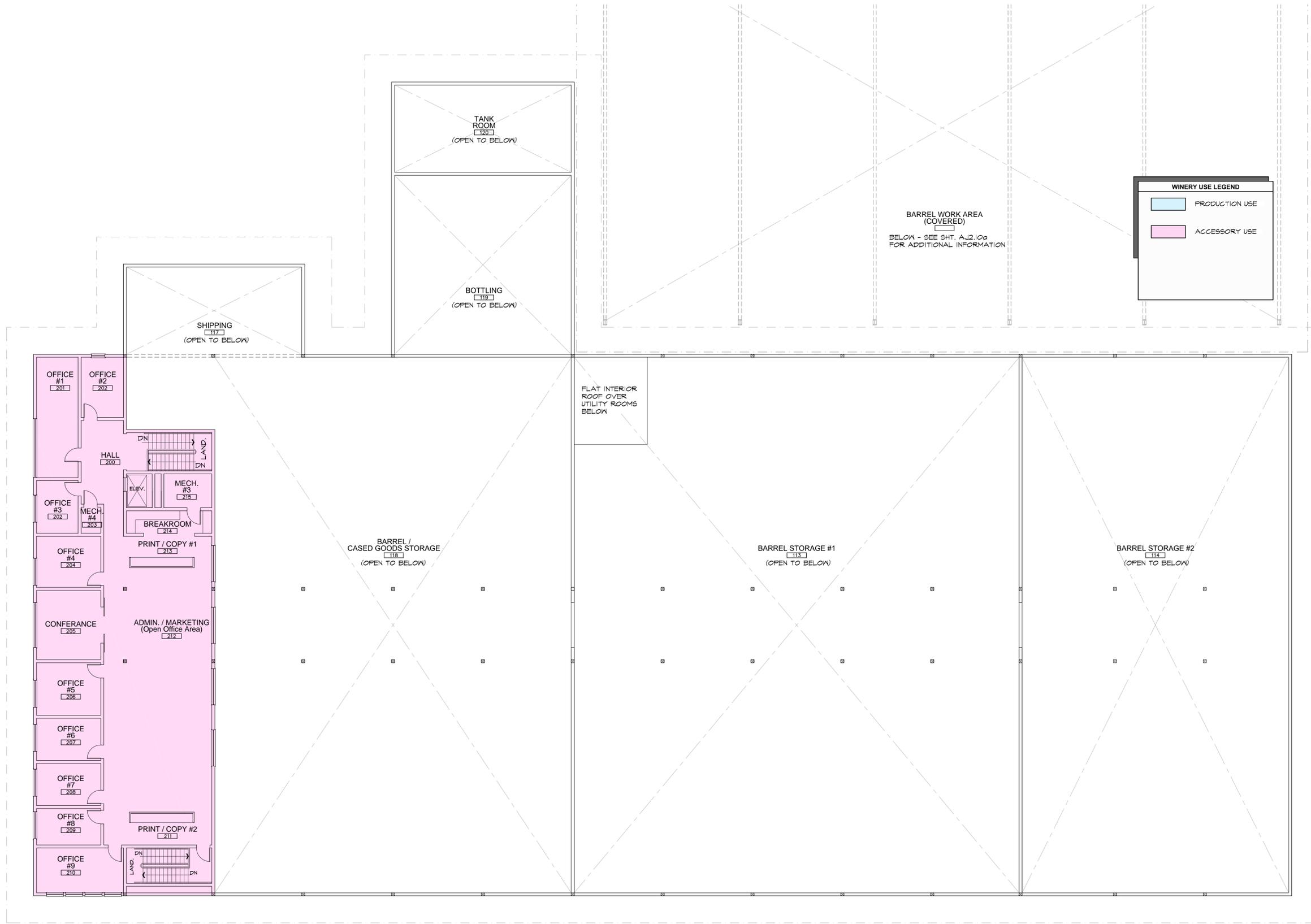
**AK2.20**

USE PERMIT SUBMITTAL



**A BUILDING C - EXISTING SECOND FLOOR PLAN**  
 SCALE: 3/32" = 1'-0"





**WINERY USE LEGEND**

- PRODUCTION USE
- ACCESSORY USE

Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013-000

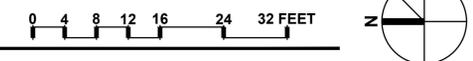
Seal:

REVISIONS	
△	DATE: 1/27/2016 USE PERMIT RESUBMITTAL
△	DATE: 7/26/2016 USE PERMIT RESUBMITTAL
△	
△	
△	
△	

Date: August 28, 2015  
 Project No: 141003  
 Sheet Title: **BUILDING C - EXISTING SECOND FLOOR PLAN**

Sheet #: **AK2.20a**  
 USE PERMIT SUBMITTAL

**A BUILDING C - EXISTING SECOND FLOOR PLAN**  
 SCALE: 3/32" = 1'-0"



These drawings are the property of Paul Kelley Architect and have been prepared specifically for this project. These drawings are not to be used for any other project, by any other entity or in another location. Copyright 2016 Paul Kelley Architect, Inc.

Consultant:

Use Permit Exhibits for  
**Raymond Winery**  
 849 Zinfandel Lane, St. Helena, CA 94574  
 APN: 030-270-013-000

Seal:

**REVISIONS**

△	DATE: 1/27/2016
	USE PERMIT RESUBMITTAL
△	DATE: 7/26/2016
	USE PERMIT RESUBMITTAL
△	
△	
△	
△	

Date: **August 28, 2015**

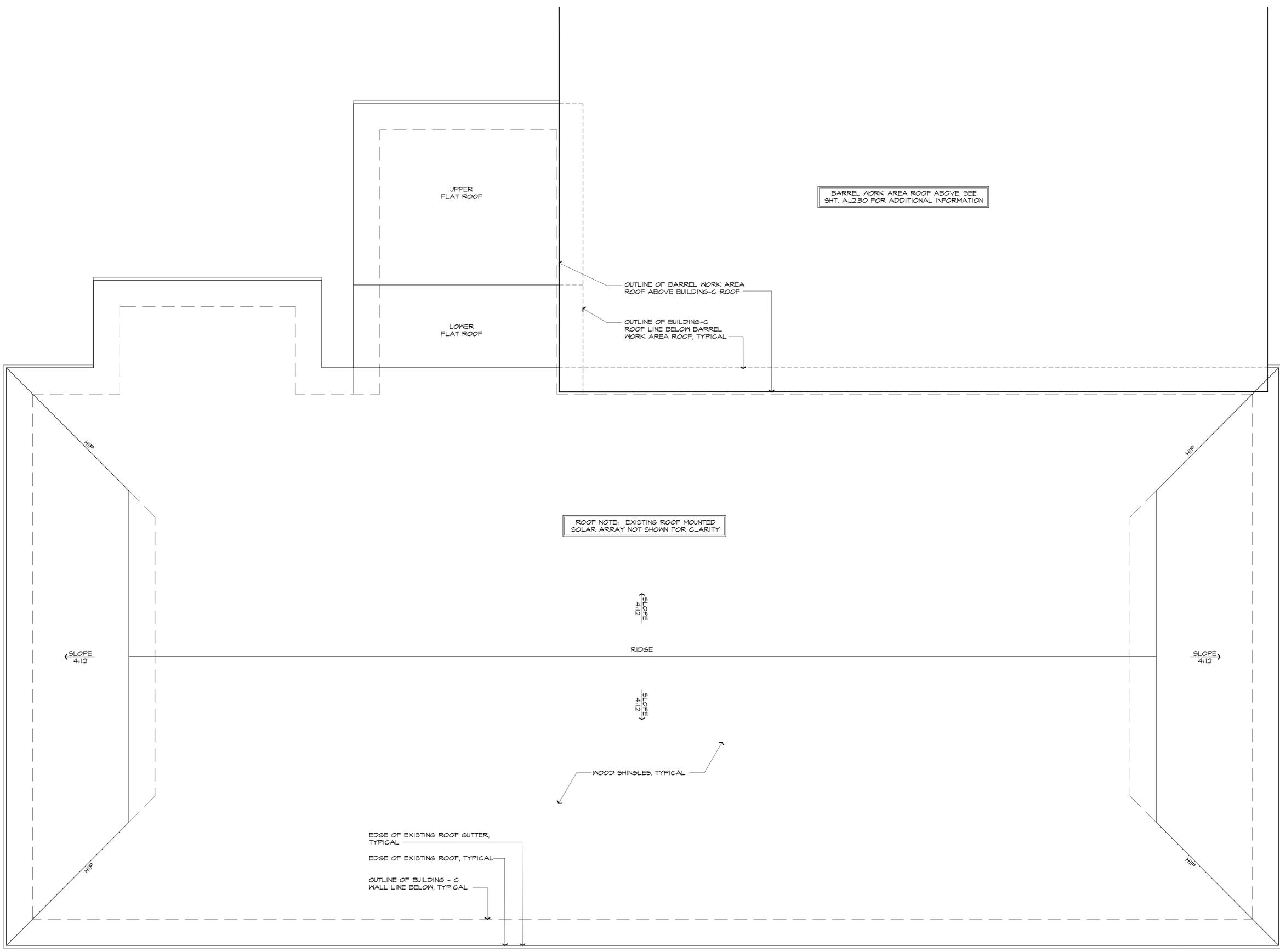
Project No: **141003**

Sheet Title:  
**BUILDING C - EXISTING ROOF PLAN**

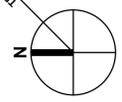
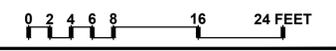
Sheet #:

**AK2.30**

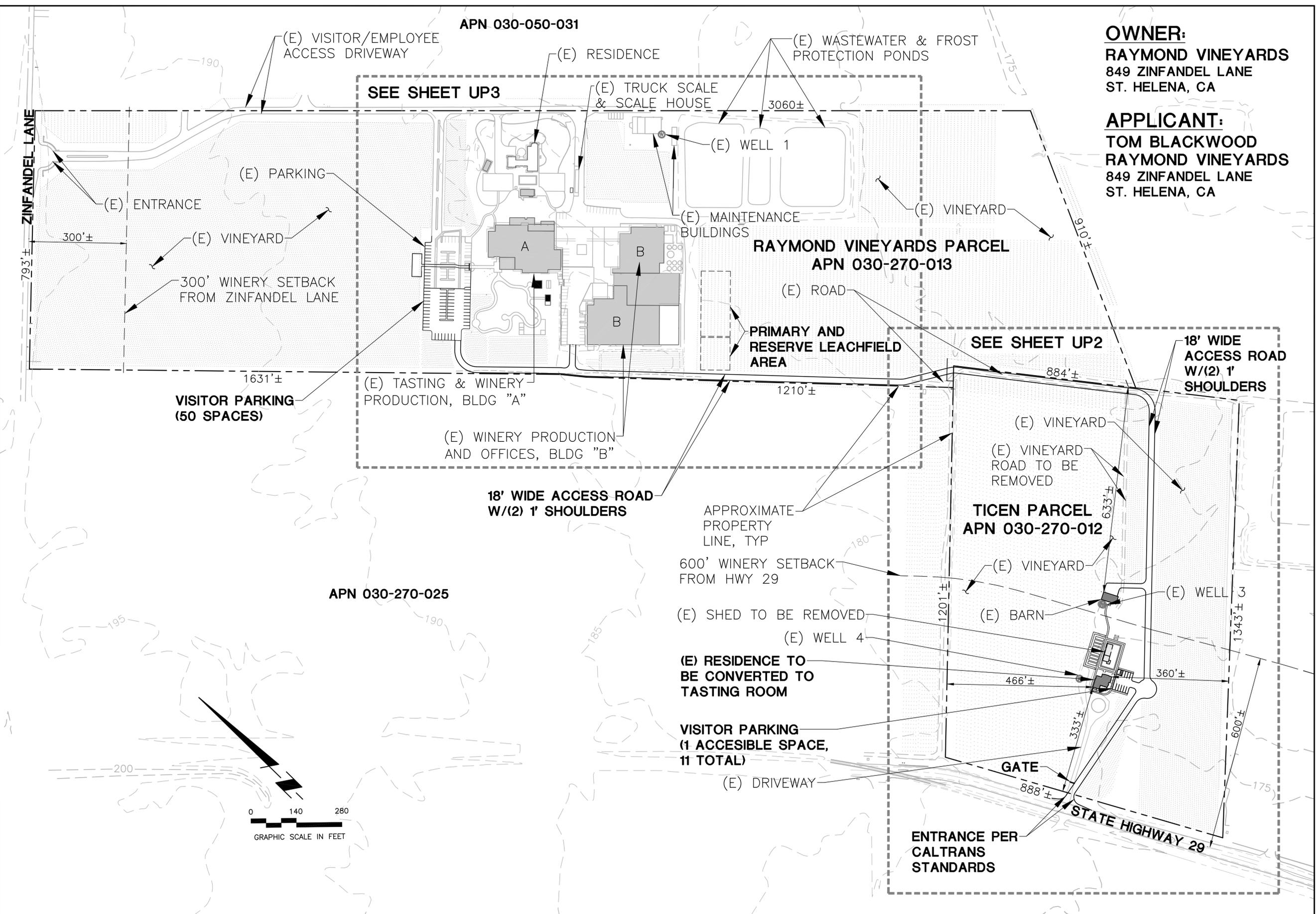
USE PERMIT SUBMITTAL



**A BUILDING C - EXISTING ROOF PLAN**  
 SCALE: 1/8" = 1'-0"



THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF SUMMIT ENGINEERING, INC. AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF SUMMIT ENGINEERING, INC.



**OWNER:**  
**RAYMOND VINEYARDS**  
 849 ZINFANDEL LANE  
 ST. HELENA, CA

**APPLICANT:**  
**TOM BLACKWOOD**  
**RAYMOND VINEYARDS**  
 849 ZINFANDEL LANE  
 ST. HELENA, CA

**SUMMIT**  
 Summit Engineering, Inc.  
 463 Aviation Blvd., Suite 200 • Santa Rosa, CA 95403  
 707-527-0775 • www.summit-sr.com

**RAYMOND VINEYARDS**  
 849 ZINFANDEL LANE  
 ST. HELENA, CA 94574  
 APN 030-270-012, 013

**USE PERMIT APPLICATION**  
**OVERALL SITE PLAN**

2015-08-28	PERMIT SUBMITTAL
2016-01-27	PERMIT RESUBMITTAL
2016-08-12	PERMIT RESUBMITTAL

DATE: 2015-08-26  
 JOB NO: 2015074  
 SCALE: AS SHOWN  
 DRAWN: JA  
 CHECKED: DR

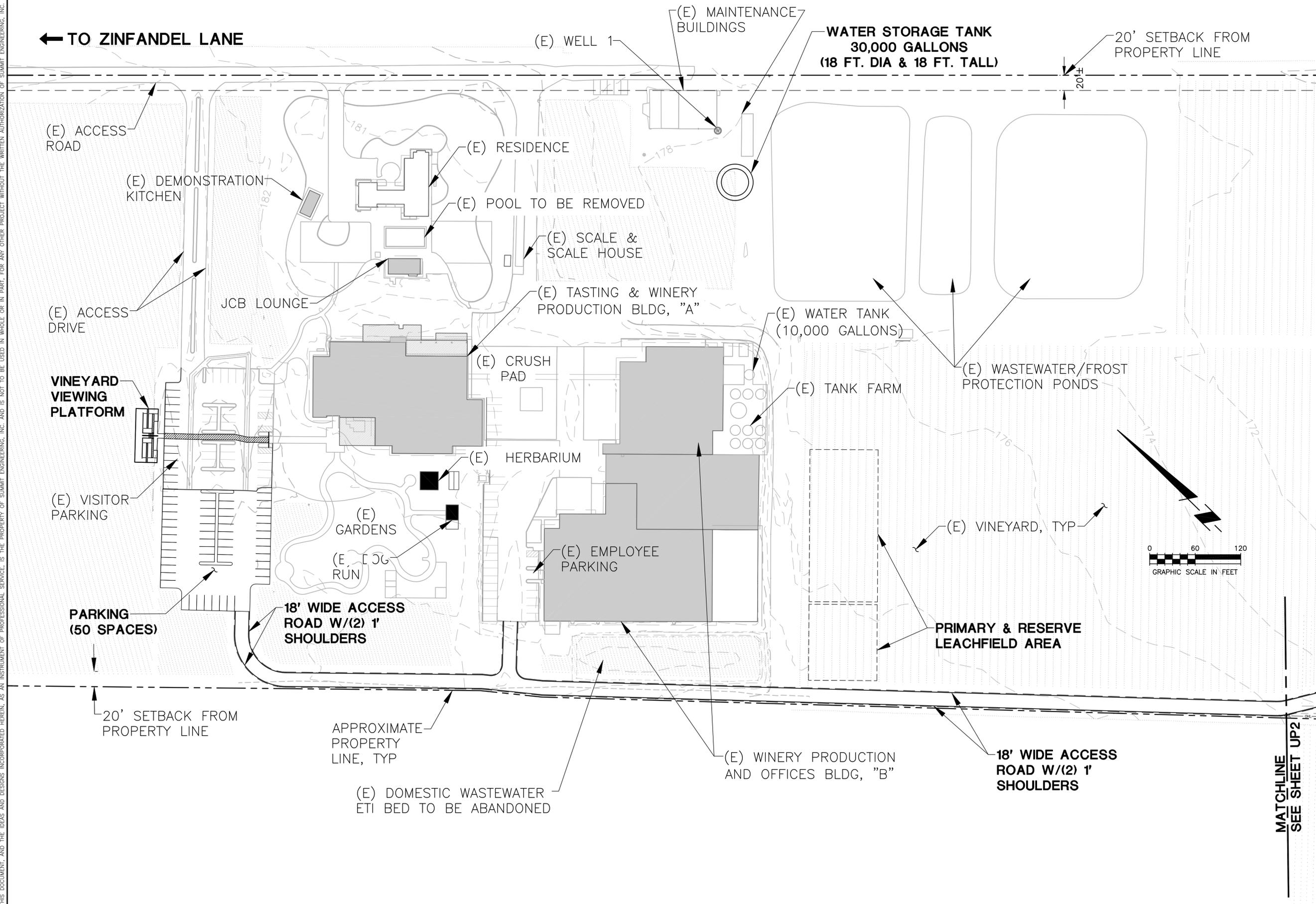
SHEET **UP1**





THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, IS THE PROPERTY OF SUMMIT ENGINEERING, INC. AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF SUMMIT ENGINEERING, INC.

← TO ZINFANDEL LANE



MATCHLINE  
SEE SHEET UP2

**SUMMIT**  
Summit Engineering, Inc  
463 Aviation Blvd., Suite 200 • Santa Rosa, CA 95403  
707-527-0775 • www.summit-sr.com

**RAYMOND VINEYARDS**  
849 ZINFANDEL LANE  
ST. HELENA, CA 94574  
APN 090-270-012, 013

USE PERMIT APPLICATION  
RAYMOND PARCEL  
SITE PLAN

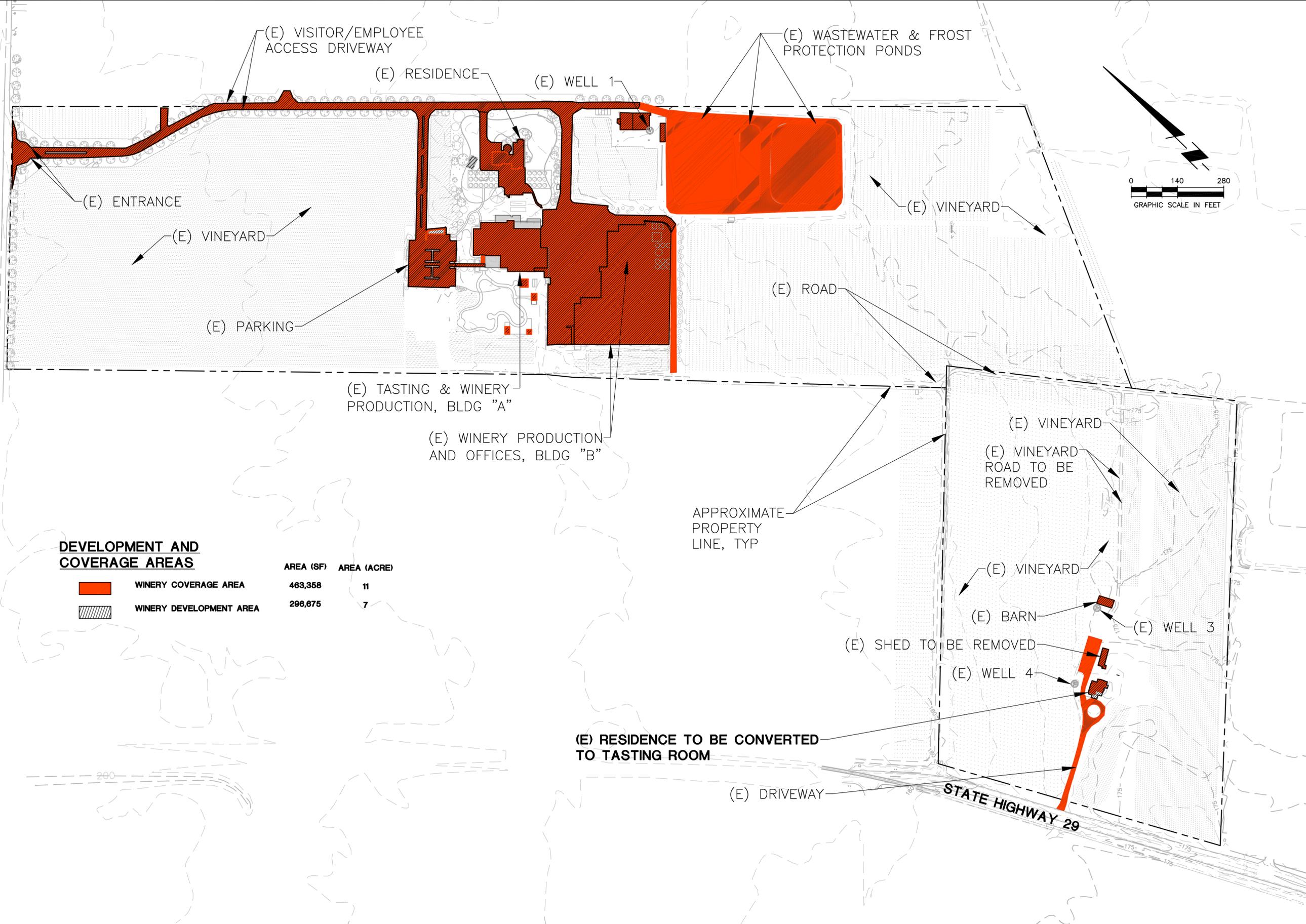
2015-08-28 PERMIT SUBMITTAL  
2016-01-27 PERMIT RESUBMITTAL  
2016-08-12 PERMIT RESUBMITTAL

DATE: 2015-08-26  
JOB NO: 2015074  
SCALE: AS SHOWN  
DRAWN: JA  
CHECKED: DR

SHEET

**UP3**

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF SUMMIT ENGINEERING, INC. AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF SUMMIT ENGINEERING, INC.



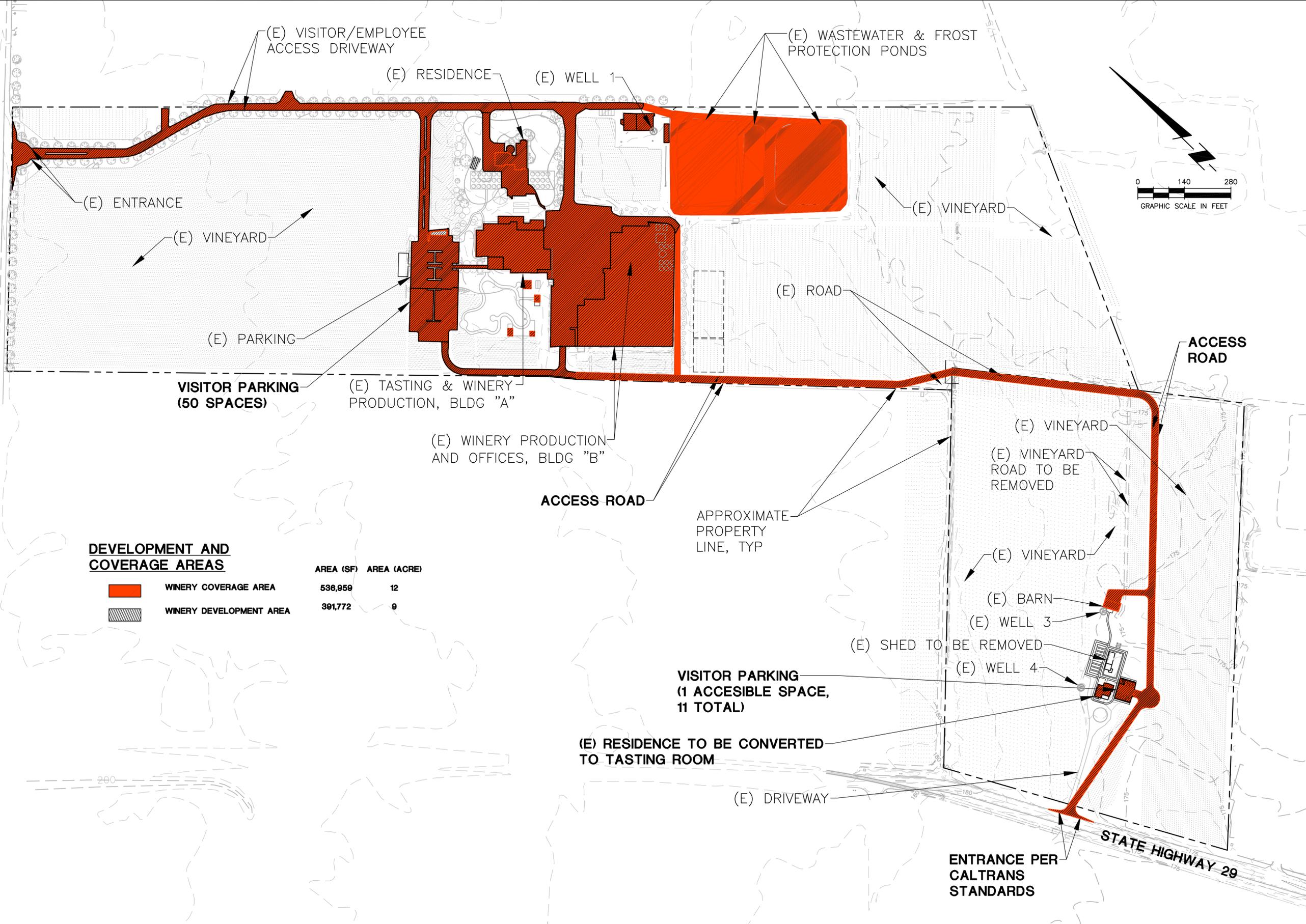
**DEVELOPMENT AND COVERAGE AREAS**

	AREA (SF)	AREA (ACRE)
<span style="display: inline-block; width: 15px; height: 10px; background-color: orange; border: 1px solid black;"></span> WINERY COVERAGE AREA	483,358	11
<span style="display: inline-block; width: 15px; height: 10px; background: repeating-linear-gradient(45deg, transparent, transparent 2px, black 2px, black 4px); border: 1px solid black;"></span> WINERY DEVELOPMENT AREA	296,675	7

2015-08-28	USE PERMIT SUBMITTAL
2016-01-27	PERMIT RESUBMITTAL
2016-08-12	PERMIT RESUBMITTAL

DATE:	2015-08-26
JOB NO.:	2015074
SCALE:	AS SHOWN
DRAWN:	JA
CHECKED:	DR

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF SUMMIT ENGINEERING, INC. AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF SUMMIT ENGINEERING, INC.



**DEVELOPMENT AND COVERAGE AREAS**

	AREA (SF)	AREA (ACRE)
<span style="display: inline-block; width: 15px; height: 10px; background-color: orange; border: 1px solid black;"></span> WINERY COVERAGE AREA	536,959	12
<span style="display: inline-block; width: 15px; height: 10px; background: repeating-linear-gradient(45deg, transparent, transparent 2px, black 2px, black 4px); border: 1px solid black;"></span> WINERY DEVELOPMENT AREA	391,772	9

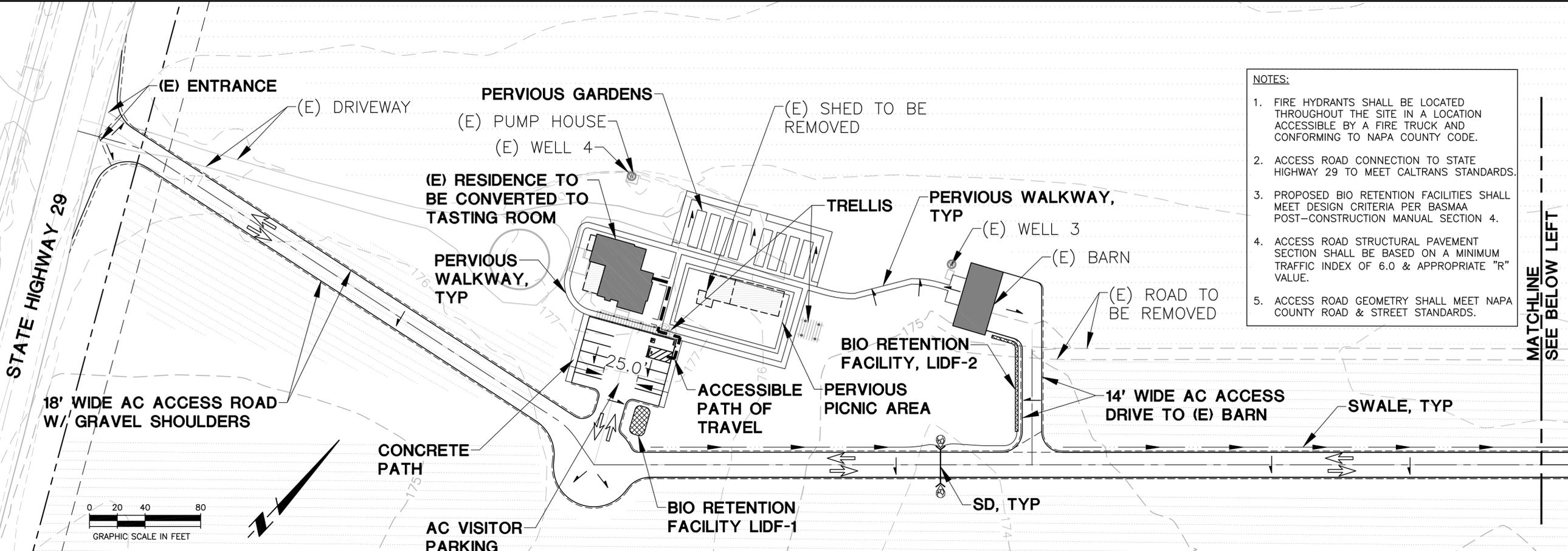
**SUMMIT**  
 Summit Engineering, Inc.  
 463 Aviation Blvd., Suite 200 • Santa Rosa, CA 95403  
 707-527-0775 • www.summit-sr.com

**RAYMOND VINEYARDS**  
 849 ZINFANDEL LANE  
 ST. HELENA, CA 94574  
 APN 090-270-012, 013

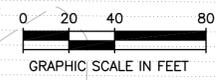
**USE PERMIT APPLICATION**  
**COVERAGE & DEVELOPMENT**  
**AREA**  
**PROPOSED SITE**

DATE:	2015-08-26
JOB NO.:	2015074
SCALE:	AS SHOWN
DRAWN:	JA
CHECKED:	DR
SHEET	<b>UP5</b>

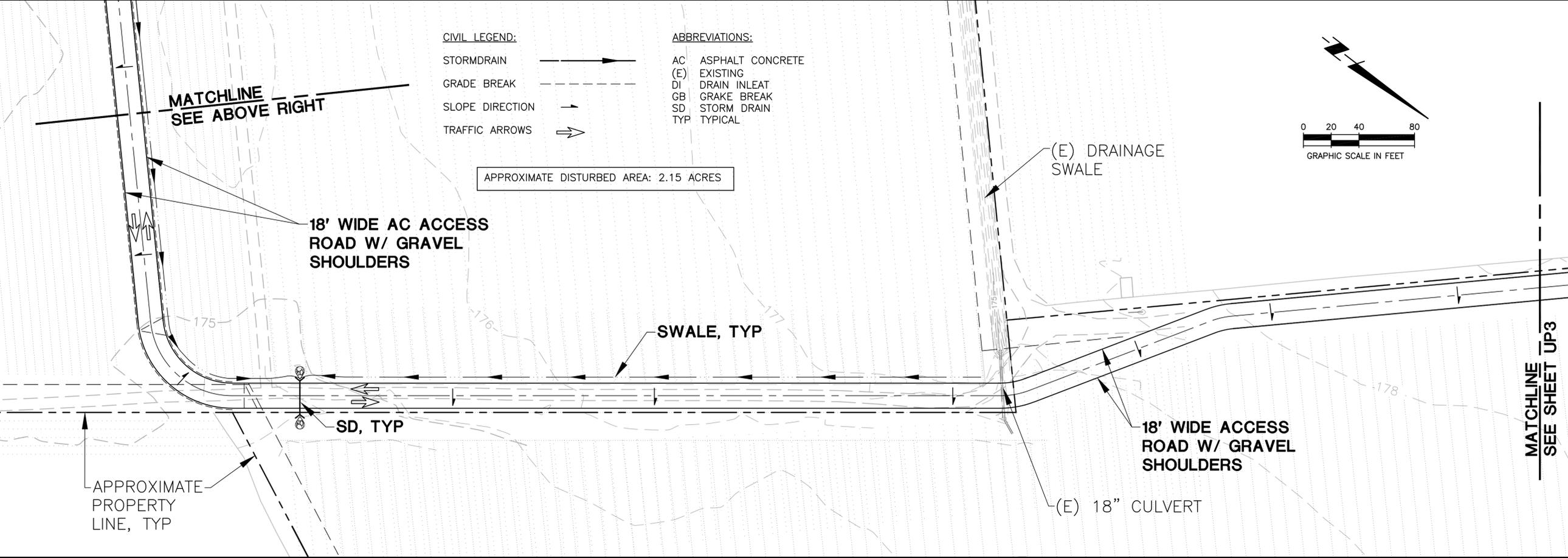
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, IS THE PROPERTY OF SUMMIT ENGINEERING, INC. AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF SUMMIT ENGINEERING, INC.



- NOTES:**
1. FIRE HYDRANTS SHALL BE LOCATED THROUGHOUT THE SITE IN A LOCATION ACCESSIBLE BY A FIRE TRUCK AND CONFORMING TO NAPA COUNTY CODE.
  2. ACCESS ROAD CONNECTION TO STATE HIGHWAY 29 TO MEET CALTRANS STANDARDS.
  3. PROPOSED BIO RETENTION FACILITIES SHALL MEET DESIGN CRITERIA PER BASMAA POST-CONSTRUCTION MANUAL SECTION 4.
  4. ACCESS ROAD STRUCTURAL PAVEMENT SECTION SHALL BE BASED ON A MINIMUM TRAFFIC INDEX OF 6.0 & APPROPRIATE "R" VALUE.
  5. ACCESS ROAD GEOMETRY SHALL MEET NAPA COUNTY ROAD & STREET STANDARDS.



MATCHLINE  
SEE BELOW LEFT



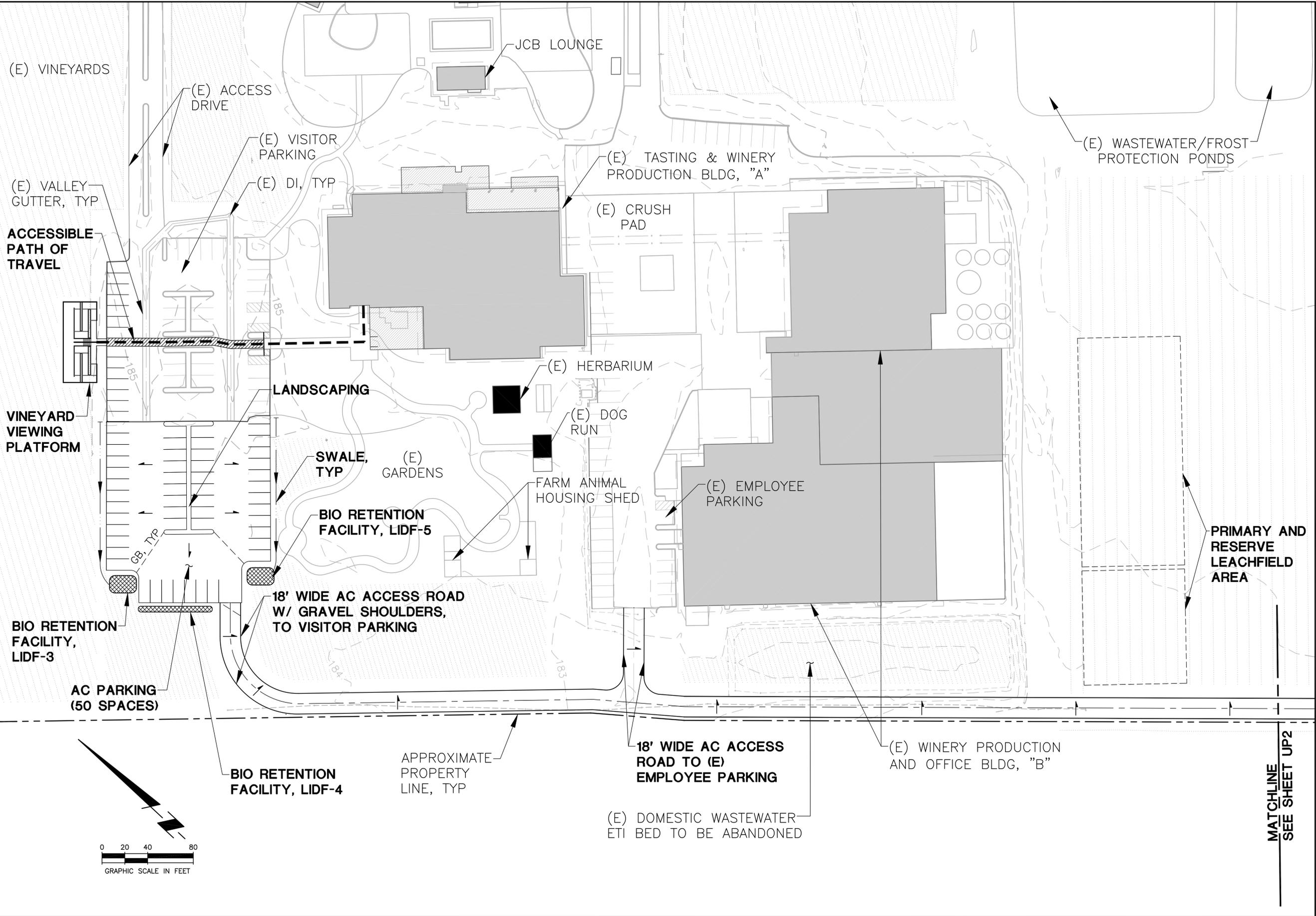
- CIVIL LEGEND:**
- STORMDRAIN ———→
  - GRADE BREAK - - - - -
  - SLOPE DIRECTION ———→
  - TRAFFIC ARROWS ———→
- ABBREVIATIONS:**
- AC ASPHALT CONCRETE
  - (E) EXISTING
  - DI DRAIN INLEAT
  - GB GRAKE BREAK
  - SD STORM DRAIN
  - TYP TYPICAL



2015-08-28	PERMIT SUBMITTAL
2016-01-27	PERMIT RESUBMITTAL
2016-08-12	PERMIT RESUBMITTAL

DATE: 2015-08-26  
JOB NO: 2015074  
SCALE: AS SHOWN  
DRAWN: JA  
CHECKED: DR

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF SUMMIT ENGINEERING, INC. AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF SUMMIT ENGINEERING, INC.



**SUMMIT**  
Summit Engineering, Inc  
463 Aviation Blvd., Suite 200 • Santa Rosa, CA 95403  
707-527-0775 • www.summit-sr.com

**RAYMOND VINEYARDS**  
849 ZINFANDEL LANE  
ST. HELENA, CA 94574  
APN 090-270-012, 013

USE PERMIT APPLICATION  
GRADING & DRAINAGE PLAN  
RAYMOND PARCEL

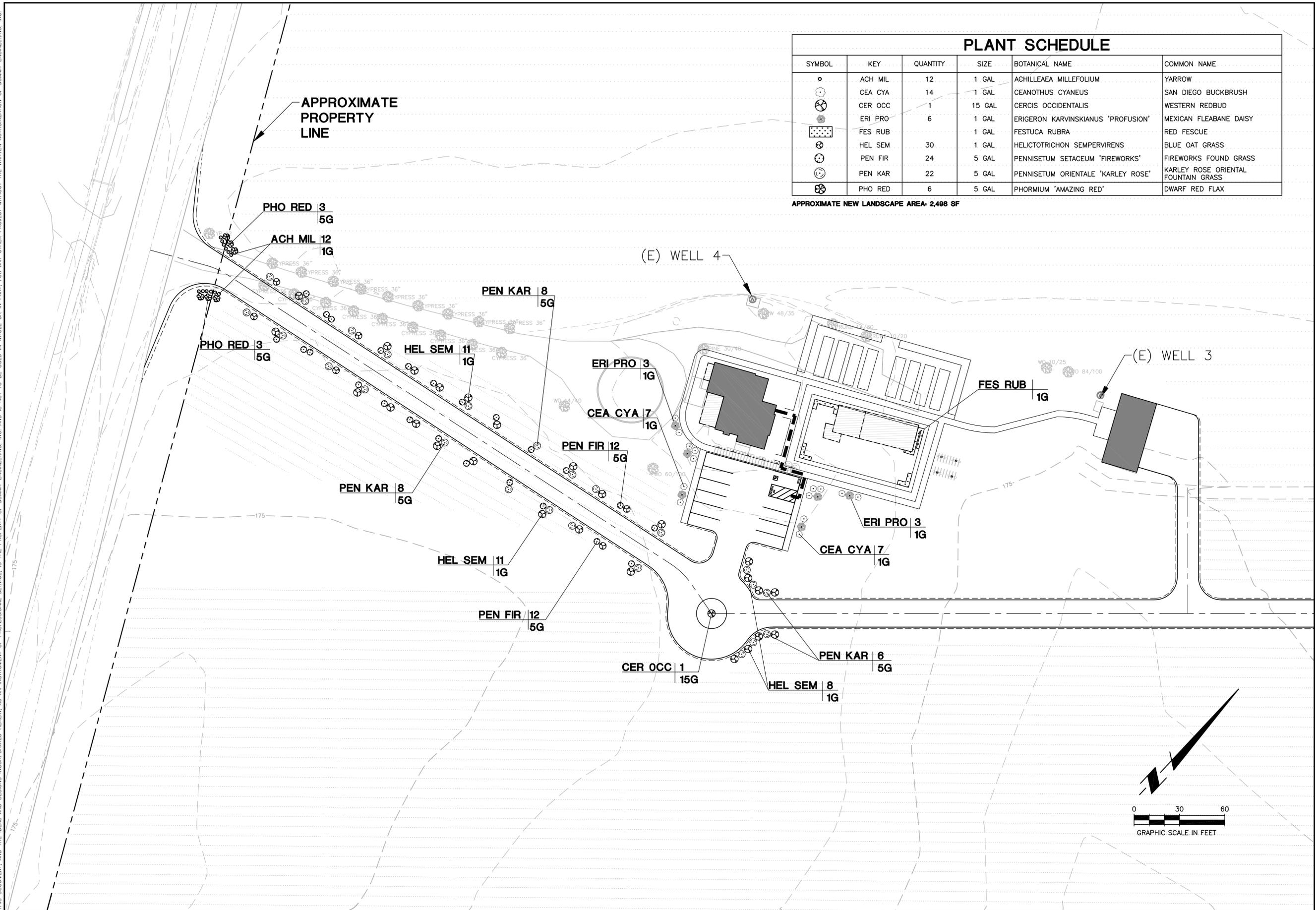
2015-08-28	PERMIT SUBMITTAL
2016-01-27	PERMIT RESUBMITTAL

DATE: 2015-08-28  
JOB NO.: 2015074  
SCALE: AS SHOWN  
DRAWN: JA  
CHECKED: DR

SHEET  
**UP7**

MATCHLINE  
SEE SHEET UP2

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF SUMMIT ENGINEERING, INC. AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF SUMMIT ENGINEERING, INC.



PLANT SCHEDULE					
SYMBOL	KEY	QUANTITY	SIZE	BOTANICAL NAME	COMMON NAME
○	ACH MIL	12	1 GAL	ACHILLEAEA MILLEFOLIUM	YARROW
⊗	CEA CYA	14	1 GAL	CEANOTHUS CYANEUS	SAN DIEGO BUCKBRUSH
⊗	CER OCC	1	15 GAL	CERCIS OCCIDENTALIS	WESTERN REDBUD
⊗	ERI PRO	6	1 GAL	ERIGERON KARVINSKIANUS 'PROFUSION'	MEXICAN FLEABANE DAISY
⊗	FES RUB	1	1 GAL	FESTUCA RUBRA	RED FESCUE
⊗	HEL SEM	30	1 GAL	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS
⊗	PEN FIR	24	5 GAL	PENNISETUM SETACEUM 'FIREWORKS'	FIREWORKS FOUND GRASS
⊗	PEN KAR	22	5 GAL	PENNISETUM ORIENTALE 'KARLEY ROSE'	KARLEY ROSE ORIENTAL FOUNTAIN GRASS
⊗	PHO RED	6	5 GAL	PHORMIUM 'AMAZING RED'	DWARF RED FLAX

APPROXIMATE NEW LANDSCAPE AREA- 2,498 SF

**SUMMIT**  
 Summit Engineering, Inc  
 463 Aviation Blvd., Suite 200 • Santa Rosa, CA 95403  
 707-527-0775 • www.summit-sr.com

**RAYMOND VINEYARDS**  
 849 ZINFANDEL LANE  
 ST. HELENA, CA 94574  
 APN 030-270-012, 013

USE PERMIT APPLICATION  
 LANDSCAPE PLAN

2015-08-28  
 PERMIT SUBMITTAL

2016-01-27  
 PERMIT RESUBMITTAL

DATE: 2015-08-26  
 JOB NO: 2015074  
 SCALE: AS SHOWN  
 DRAWN: JA  
 CHECKED: DR

SHEET

**UP8**

