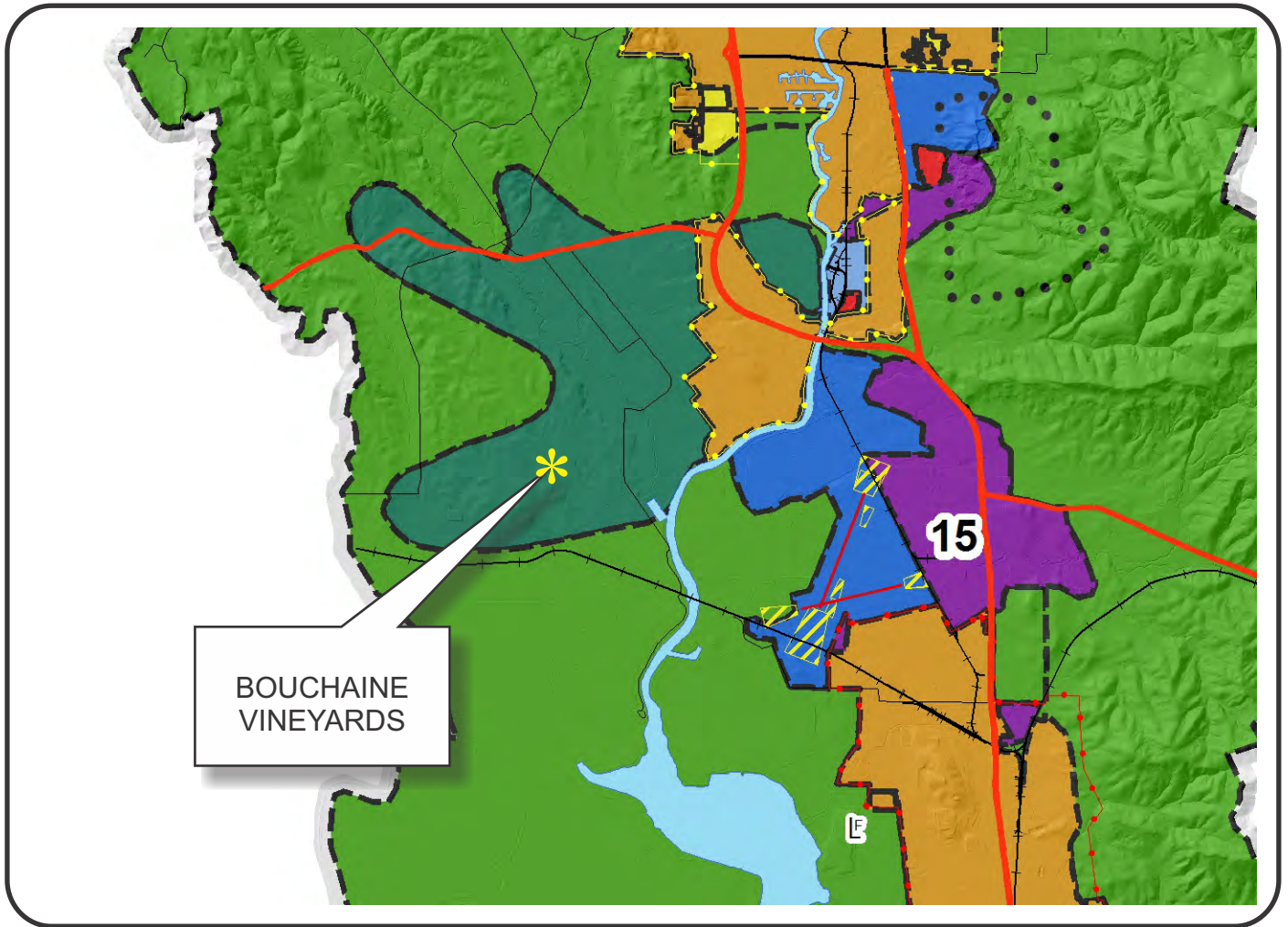


“O”

Graphics

# NAPA COUNTY LAND USE PLAN 2008 - 2030



## LEGEND



### URBANIZED OR NON-AGRICULTURAL

- Study Area
- Cities
- Urban Residential\*
- Rural Residential\*
- Industrial
- Public-Institutional
- Napa Pipe Mixed Use

### OPEN SPACE

- Agriculture, Watershed & Open Space
- Agricultural Resource

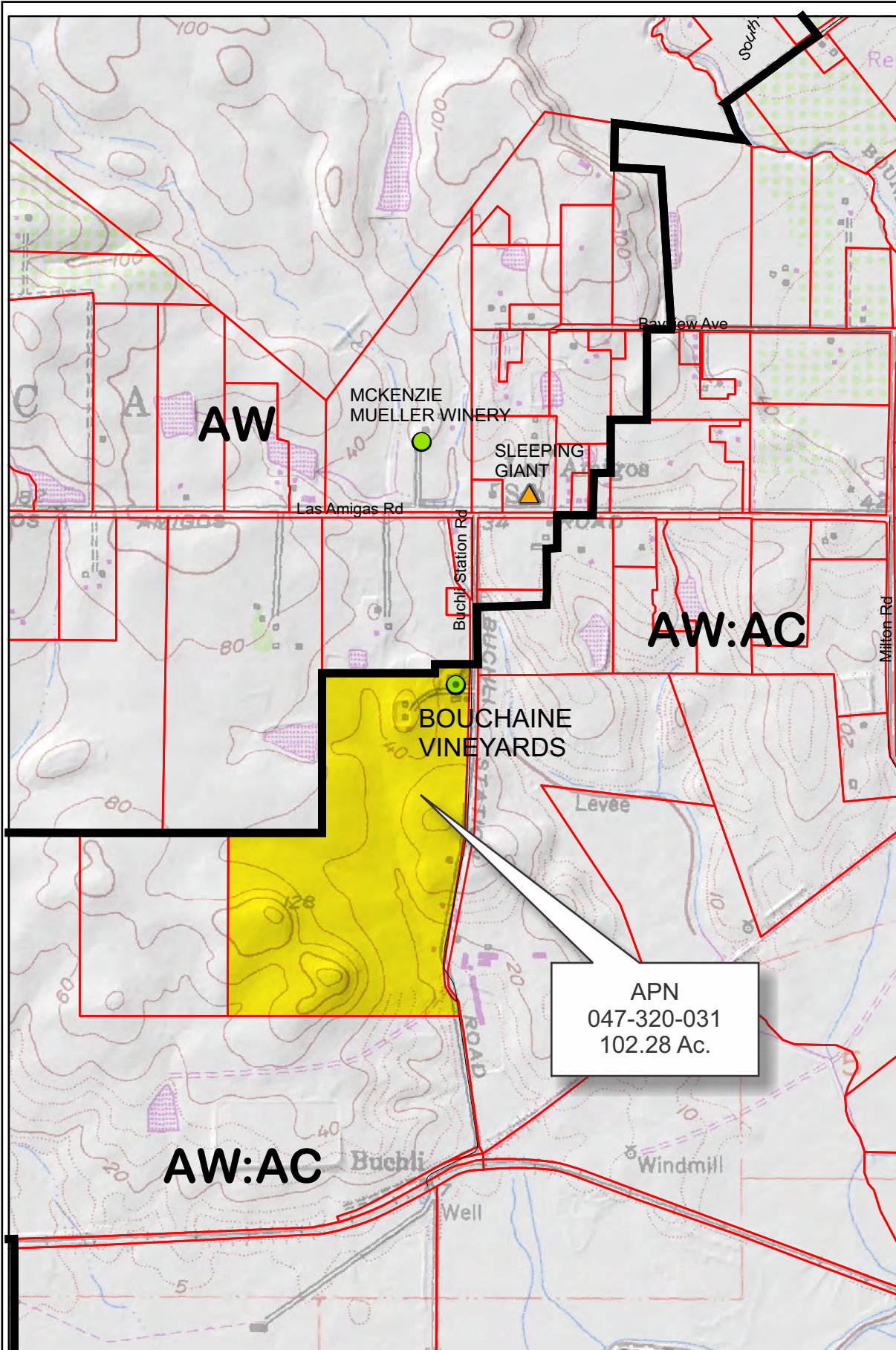
### TRANSPORTATION

- Mineral Resource
- Limited Access Highway
- Major Road
- American Canyon ULL
- City of Napa RUL
- Landfill - General Plan
- Secondary Road
- Airport
- Railroad
- Airport Clear Zone

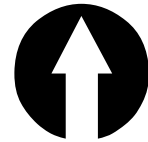
\* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations

APN  
047-320-031  
01-06-2016  
2B MOD

# BOUCHAINE VINEYARDS



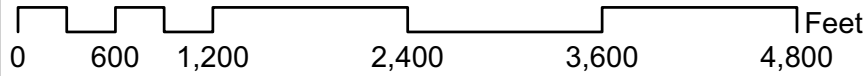
APN  
047-320-031  
102.28 Ac.



## Legend

### Wineries

- Status
- Producing
  - Producing, with pending major mod
  - ▭ Approved
  - ▴ Pending
  - Unknown
  - ▭ Zoning
  - ▭ Parcels



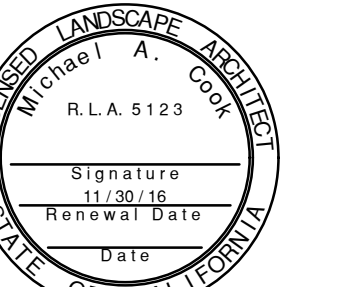


# USE PERMIT MODIFICATION

for

## BOUCHAINE VINEYARDS, INC.

### 1075 Buchli Station Road, Napa, CA 94559



**PROJECT DATA**

Assessor's Parcel Number:  
047-320-031

**PROJECT TEAM**

**Owner:**  
Bouchaine Vineyards Inc.  
1075 Buchli Station Road  
Napa, Ca 94559  
(707) 252-9065  
Attn: Mr. and Mrs. Copeland

**Civil Engineer:**  
Firma Design Group  
1425 N. McDowell Blvd, Ste 130  
Petaluma, Ca 94954  
(707) 792-1800  
Attn: Martin Goldsbrough

**Applicant:**  
Firma Design Group  
1425 N. McDowell Blvd, Ste 130  
Petaluma, Ca 94954  
(707) 792-1800  
Attn: Mike Cook

**Surveyor:**  
Cinquini & Passarino Inc.  
1360 N Dutton Ave.,  
Santa Rosa, CA 95401  
(707) 542-6268  
Attn: Anthony G. Cinquini

**Landscape Architect/Design/Planners:**  
Firma Design Group  
1425 N. McDowell Blvd, Ste 130  
Petaluma, Ca 94954  
(707) 792-1800  
Attn: Mike Cook

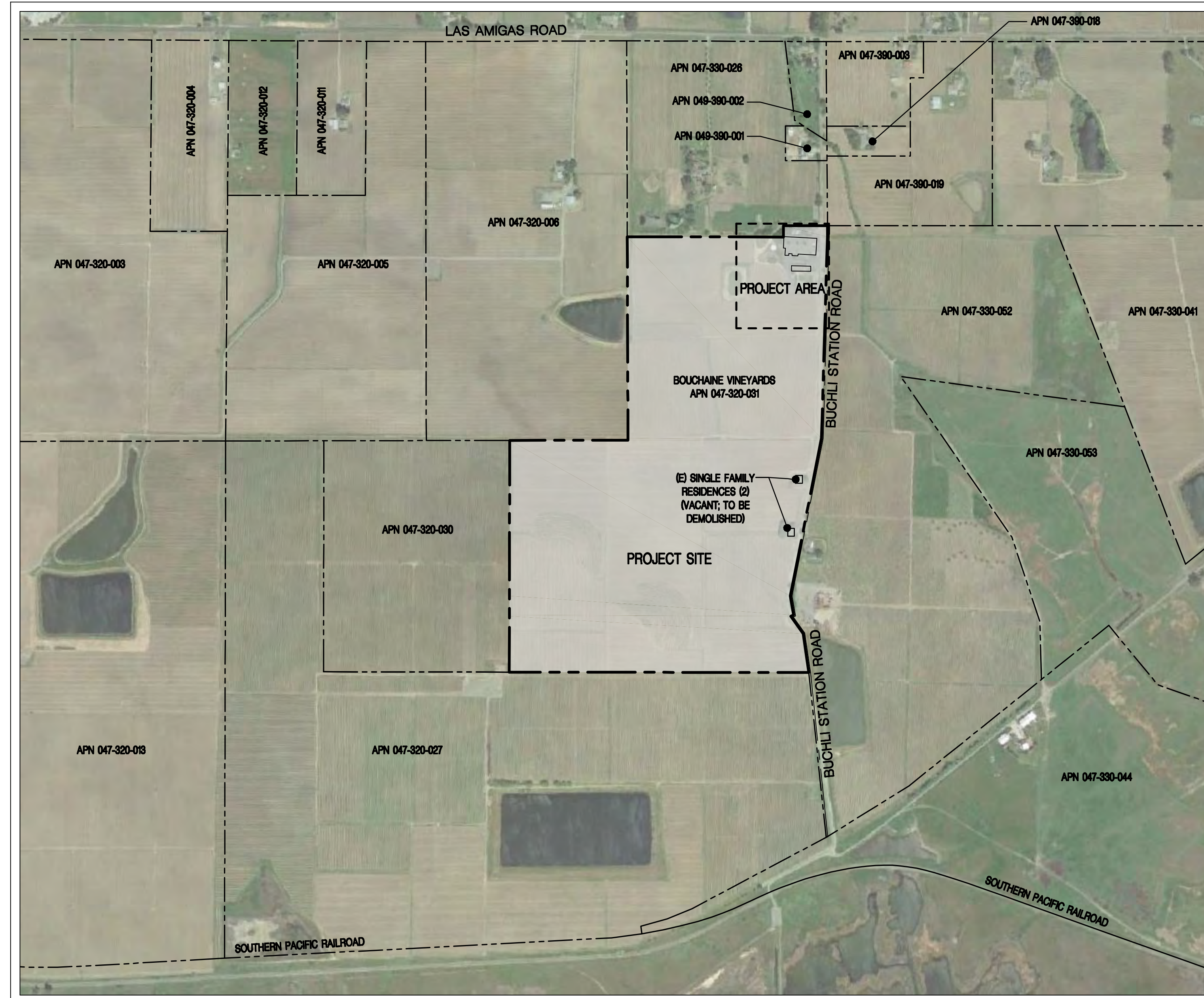
**Traffic Engineer:**  
W-Trans  
490 Mendocino Avenue, Ste 201  
Santa Rosa, CA 95401  
(707) 542-9500  
Attn: Dalene J. Whitlock

**GENERAL LEGEND**

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	EASEMENT LINES
---	ROADWAY CENTERLINE
---	SETBACK LINES
---	WDO SETBACK LINES

**ABBREVIATIONS**

AB	AGGREGATE BASE	LIP	LIP OF GUTTER
AC	ASPHALT CONCRETE	LP	LOW POINT
AD	AREA DRAIN	LT	LEFT
ANG PT OR AP	ANGLE POINT	MAX	MAXIMUM
APPROX	APPROXIMATE	MH	MANHOLE
BFW	BACK FACE OF WALL	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
BNDY	BOUNDARY	(N)	NEW
BSW	BACK OF SIDEWALK	NG	NATURAL GROUND
BW	BOTTOM OF WALL	NTS	NOT TO SCALE
CATV	CABLE TELEVISION	OH	OVERHEAD
CB	CATCH BASIN	PG&E	PACIFIC GAS & ELECTRIC
C.G OR C&G	CURB & GUTTER	P/L, PL	PROPERTY LINE
CL	CLASS	PP	POWER POLE
C/L	CENTERLINE	PVC	POLYVINYL CHLORIDE PIPE
CLR	CLEAR(ANCE)	PVMT	PAVEMENT
CO	CLEANOUT	R	RADIUS
CONC	CONCRETE	RCE	REGISTERED CIVIL ENGINEER
CONST	CONSTRUCTION	RCP	REINFORCED CONCRETE PIPE
CU FT OR CF	CUBIC FEET	RDWD	REDWOOD
CY	CUBIC YARDS	REINF	REINFORCED
DI	DROP INLET	REQ'D	REQUIRED
DS	DOWNSPOUT	RET WALL	RETAINING WALL
DWC	DRAWING	RT	RIGHT
DWY OR D/W	DRIVEWAY	R/W OR ROW	RIGHT OF WAY
EG	EXISTING GRADE	RWL	RAIN WATER LEADER
EL OR ELEV	ELEVATION	SAD	SEE ARCHITECTS DRAWINGS
ELEC	ELECTRIC	SCH	SCHEDULE
EPC	EDGE OF PAVEMENT	SD	STORM DRAIN
ESMT	EASEMENT	SDMH	STORM DRAIN MANHOLE
EXIST OR EX OR (E)	EXISTING	SDCO	STORM DRAIN CLEANOUT
FG	FINISH GRADE	SF	SQUARE FEET
FFE	FINISH FLOOR ELEVATION	SLAD	SEE LANDSCAPE ARCHITECTS
FH	FIRE HYDRANT	DWS	DWSS
FL	FLOWLINE	SO	SIDE OPENING
FS	FINISHED SURFACE	SS	SANITARY SEWER
FT	FOOT	SSCO	SANITARY SEWER CLEAN OUT
G	GAS MAIN	SSD	SEE STRUCTURE DRAWINGS
GB	GAS BREAK	SSMH	SANITARY SEWER MANHOLE
GM	GAS METER	STA	STATION
GR	GRATE	STD	STANDARD
GRND	GROUND	SW, S/W OR SWK	SIDEWALK
GV	GATE VALVE	TC	TOP OF CURB
H	HORIZONTAL	TELE OR TEL	TELEPHONE
H.C.	HOSPITALITY CENTER	TO	TOP OF GRATE
HDPPE	HIGH DENSITY POLYETHYLENE	TS	TURNING STRUCTURE
HP	HIGH POINT	TRANS	TRANSFORMER
HW	HEADWALL	TW OR TOW	TOP OF WALL
HYD	HYDRANT	TYP	TYPICAL
IFO	IN FAVOR OF	W	WATER LINE
IG OR INV	INVERT GRADE	WCR	WHEEL CHAIR RAMP
JP OR J	JOINT POLE	WDO	WATERY DEFINITION ORDINANCE
JT	JOINT TRENCH	WM	WATER METER
L	LENGTH	WV	WATER VALVE
LF	LINEAL FEET		



NOTE: SITE AERIAL ACCESSED FROM GOOGLE EARTH 05/16/14

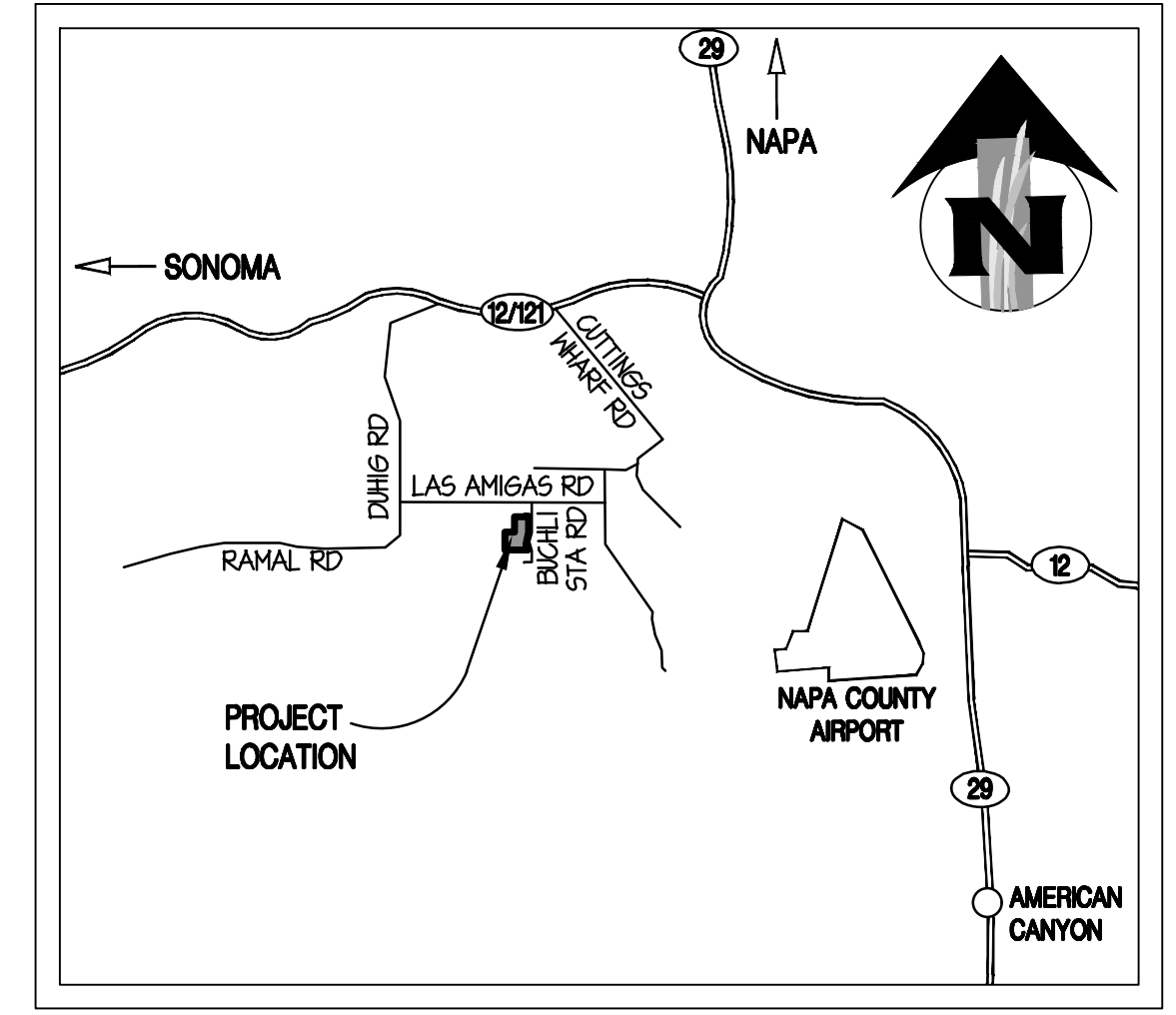
PROPERTY SITE PLAN N.T.S.

**TOPOGRAPHY**

Topography is per the topographic map by Cinquini & Passarino, dated May 15, 2014. Boundary is from record information, and has been located on the topography by Firma Design Group. There is not a boundary survey.

**SHEET INDEX**

- UP0.0 TITLE SHEET, PLOT PLAN & NOTES
- UP0.1 GENERAL NOTES
- UP0.2 CONSTRUCTION DETAILS
- UP0.3 CONSTRUCTION DETAILS
- UP0.4 PLANTING & IRRIGATION DETAILS
- UP1.0 OVERALL EXISTING PROPERTY LAYOUT
- UP1.1 PROJECT AREA-EXISTING SITE PLAN
- UP1.2 PHOTOGRAPHS OF EXISTING CONDITIONS
- UP1.3 VISITOR CENTER-EXISTING FLOOR PLAN
- UP1.4 PRODUCTION BUILDING-EXISTING FLOOR PLAN
- UP1.5 PROJECT AREA DEMOLITION PLAN
- UP2.0 PROJECT AREA-PROPOSED SITE PLAN
- UP2.1 HOSPITALITY CENTER-PROPOSED SITE PLAN
- UP2.2 HOSPITALITY CENTER-PROPOSED FLOOR PLAN
- UP2.3 HOSPITALITY CENTER- PROPOSED ELEVATIONS & PERSPECTIVES
- UP2.4 WINE CLUB & OFFICE BUILDING-PROPOSED SITE PLAN
- UP2.5 WINE CLUB & OFFICE BUILDING-PROPOSED FLOOR PLAN
- UP2.6 WINE CLUB & OFFICE BUILDING-PROPOSED ELEVATIONS & PHOTOS
- UP2.7 PRODUCTION BUILDING-PROPOSED SITE PLAN
- UP2.8 PRODUCTION BUILDING-PROPOSED FLOOR PLAN
- UP2.9 PRODUCTION BUILDING-PROPOSED ELEVATIONS
- UP3.0 PROJECT AREA-PRELIMINARY PLANTING PLAN
- UP3.1 HOSPITALITY CENTER-PRELIMINARY PLANTING PLAN
- UP3.2 WINE CLUB & OFFICE BUILDING-PRELIM. PLANTING PLAN
- UP3.3 PRODUCTION BUILDING-PRELIMINARY PLANTING PLAN
- UP4.0 STREET VIEW ELEVATIONS
- UP5.0 PROJECT AREA-GRADING PLAN
- UP5.1 SITE SECTIONS
- UP5.2 HOSPITALITY CENTER-SECTION
- UP6.0 PROJECT AREA-DRAINAGE & UTILITY PLAN
- UP7.0 PROJECT AREA-EROSION CONTROL PLAN
- UP7.1 EROSION CONTROL DETAILS
- UP8.0 WINERY DEVELOPMENT AREA DIAGRAM-EXISTING
- UP8.1 WINERY DEVELOPMENT AREA DIAGRAM-FUTURE



VICINITY MAP N.T.S.

BOUCHAINE VINEYARDS, INC. APN 047-320-031  
1075 BUCHLI STATION ROAD, NAPA, CALIFORNIA 94559  
**USE PERMIT MODIFICATION**  
**TITLE SHEET, PLOT PLAN & NOTES**

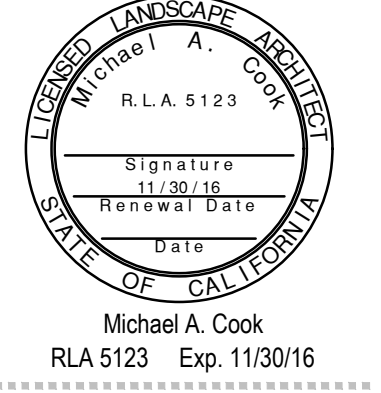
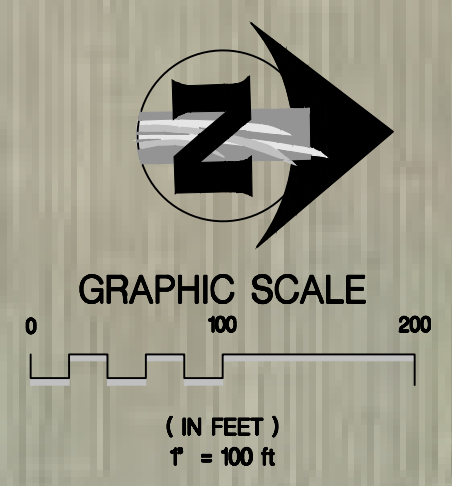
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3	7/24/2015	KFW	Revised Per County Completeness Letter & Client Direction
2	4/15/2015	KFW	Revised Per County Completeness Letter & Client Direction
1	2/17/2015	INCC	Revised Per County Comments

Designed: MAC, NCC  
Checked: MAC  
Date: 02/18/15  
Sheet

# UP0.0

of 34 Sheets  
Job No. 0460-020





**BOUCHAINE VINEYARDS, INC. APN 047-320-031**  
**1075 BUCHLI STATION ROAD, NAPA, CALIFORNIA 94559**  
**USE PERMIT MODIFICATION**  
**OVERALL EXISTING PROPERTY LAYOUT**

#	Date	By	Revision
3	7/24/2015	KFW	Revised Per County Completeness Letter & Client Direction
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NOTE: SITE AERIAL ACCESSED FROM GOOGLE EARTH 05/16/14  
DRAWING IS PRELIMINARY UNLESS WET STAMPED & SIGNED









**(A)** VIEW OF THE HOSPITALITY CENTER FROM THE SOUTH



**(B)** VIEW OF THE PRODUCTION BUILDING FROM THE SOUTH



**(C)** LOOKING SOUTH FROM THE HOSPITALITY CENTER



**(D)** VIEW OF THE PRODUCTION AREA FROM THE SOUTHWEST



**(E)** VIEW OF THE HOSPITALITY CENTER & PRODUCTION BUILDING FROM THE SOUTHEAST



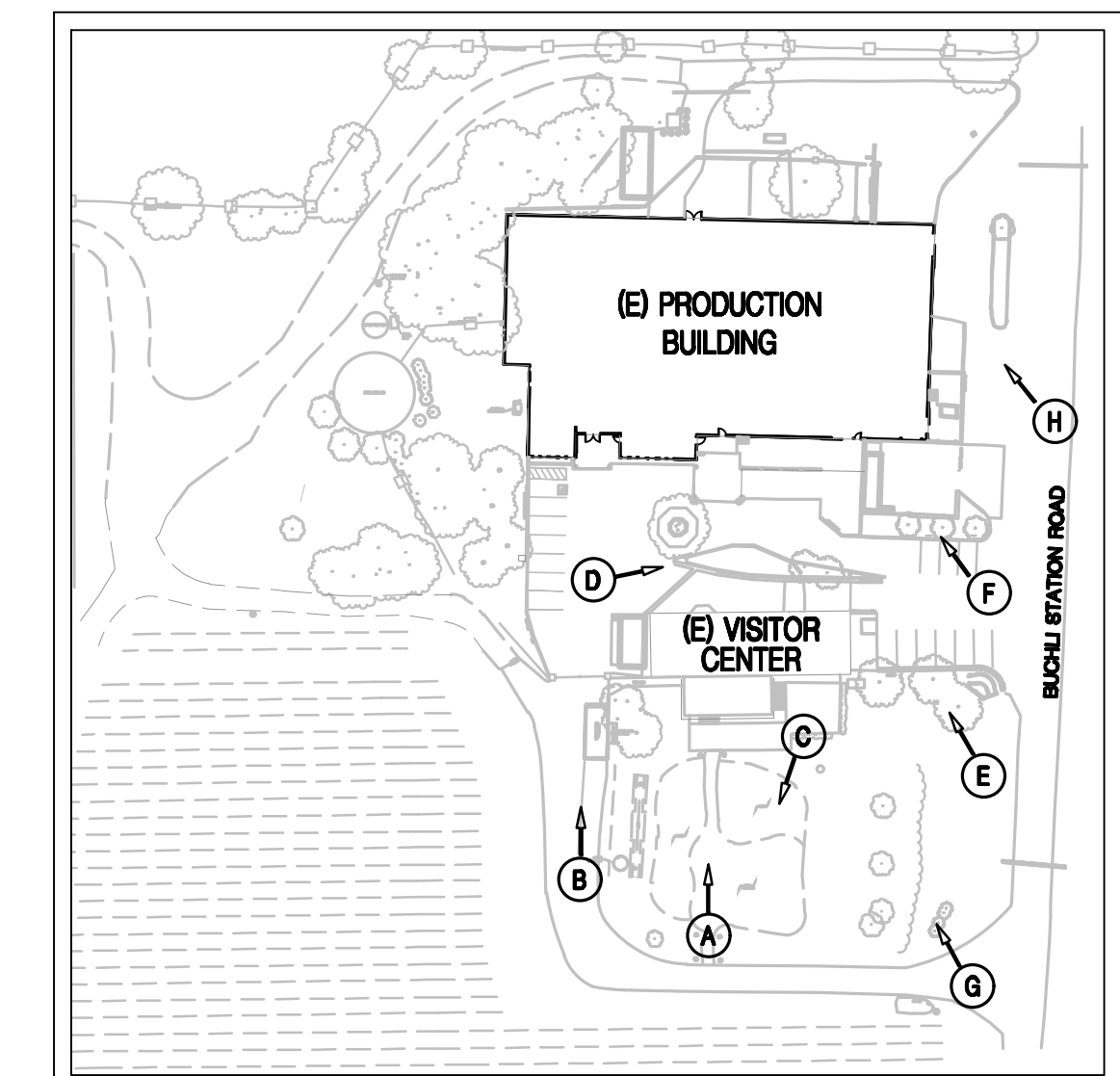
**(F)** VIEW OF THE PRODUCTION BUILDING FROM THE SOUTHEAST



**(G)** VIEW FROM THE SOUTHEAST OF THE HOSPITALITY CENTER AND PRODUCTION BUILDING FROM THE CORNER OF EXISTING ACCESS RD AND BUCHLI STATION RD.

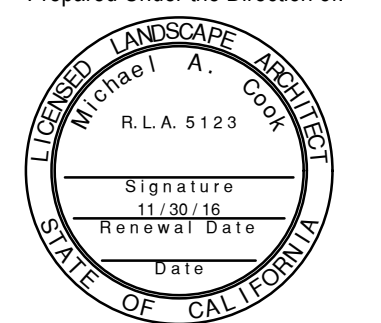


**(H)** VIEW OF THE PRODUCTION BUILDING LOADING DOCK FROM THE SOUTHEAST



**(G)** EXISTING PROPERTY SITE PLAN

N.T.S.



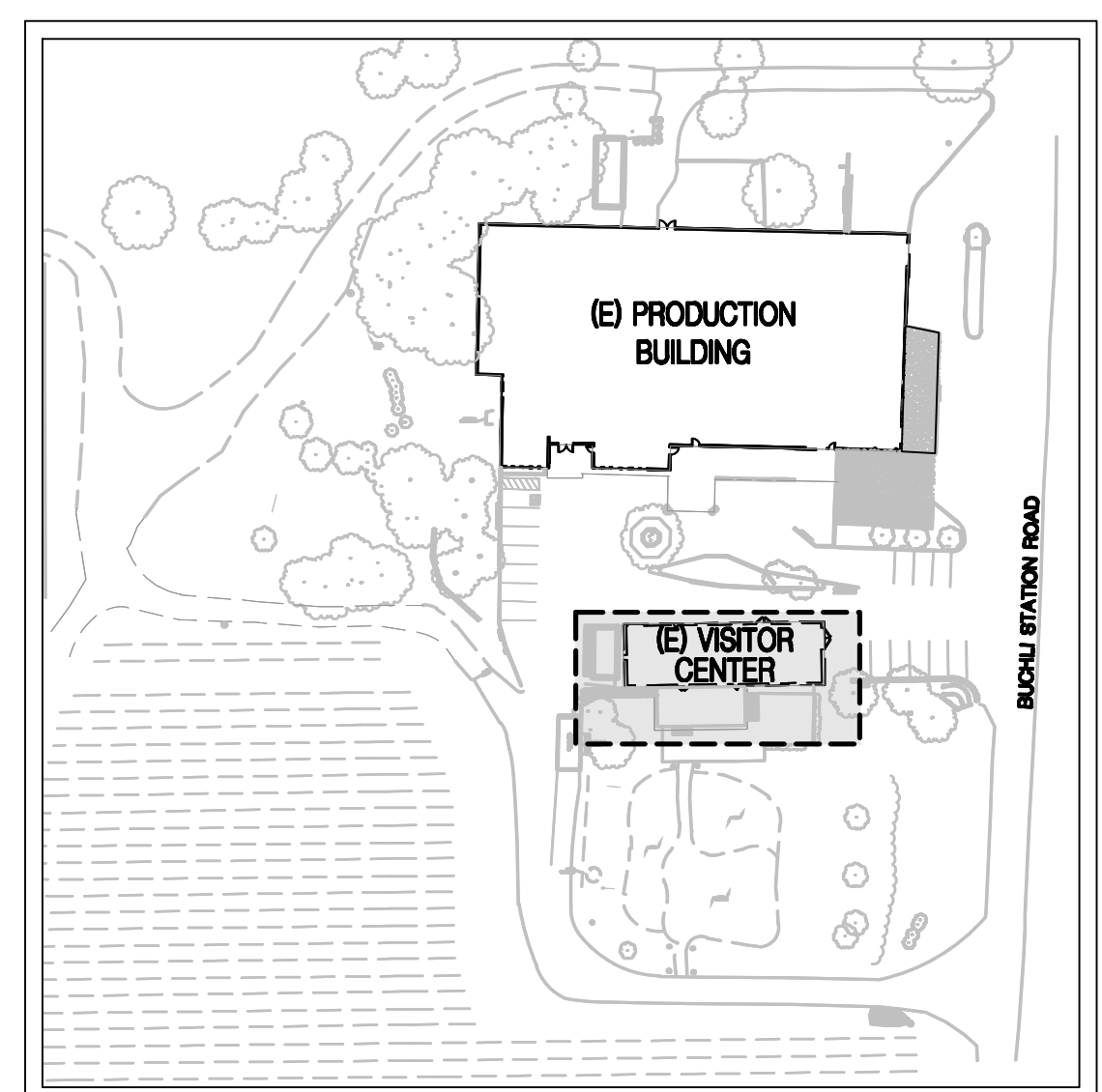
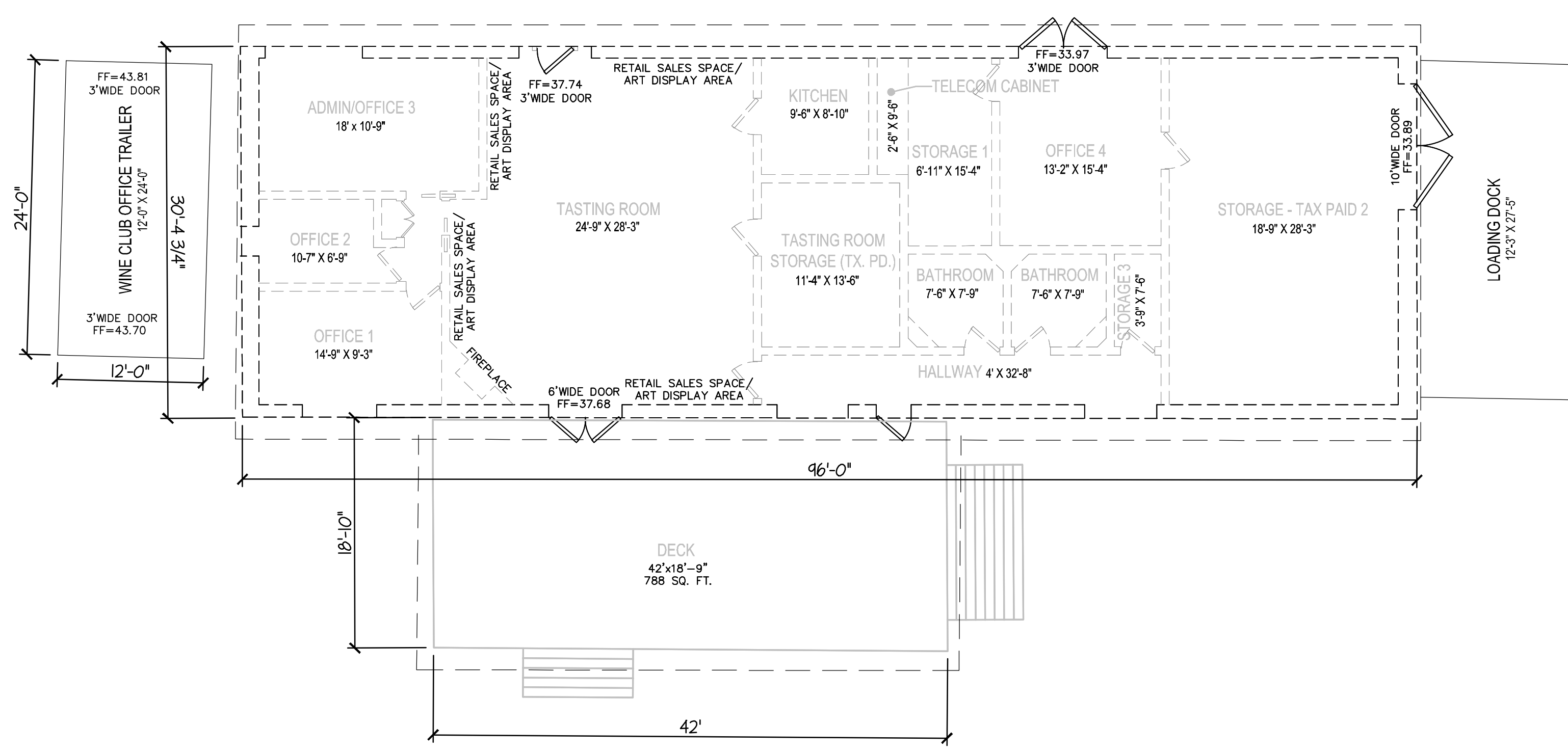
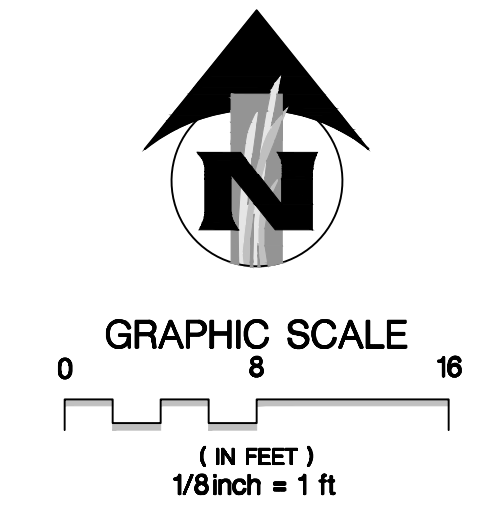
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ROOM	INTERIOR SIZE	SQ. FT.
OFFICE 1	14'-9"x9'-3"	176
OFFICE 2	10'-7"x6'-9"	121
ADMINISTRATION/OFFICE 3	18'x10'-9"	252
OFFICE 4	13'-2"x15'-4"	228
TASTING ROOM	24'-9"x28'-3"	750
ART & RETAIL DISPLAY AREA	-	120
KITCHEN	9'-6"x8'-10"	108
STORAGE 1	6'-11"x15'-4"	120
STORAGE-TAX PAID 2	18'-9"x28'-3"	630
STORAGE 3-JANITOR	3'-9"x7'-6"	30
TASTING ROOM OFFICE/STORAGE	11'-4"x13'-6"	168
TELECOM CABINET	2'-6"x9'-6"	30
BATHROOM 1	7'-6"x7'-9"	68
BATHROOM 2	7'-6"x7'-9"	68
HALLWAY	4'x32'-8"	184
<b>TOTAL (SQ. FT.)</b>		<b>3,053</b>

EXISTING FOOTPRINT	SQ. FT.
BUILDING	3,053
LOADING DOCK	337
<b>TOTAL (SQ. FT.)</b>	<b>3,390</b>



LOCATION MAP

N.T.S.

BOUCHAINE VINEYARDS, INC. APN 047-320-031  
 1075 BUCHLI STATION ROAD, NAPA, CALIFORNIA 94559  
**USE PERMIT MODIFICATION**  
**VISITOR CENTER-EXISTING FLOOR PLAN**

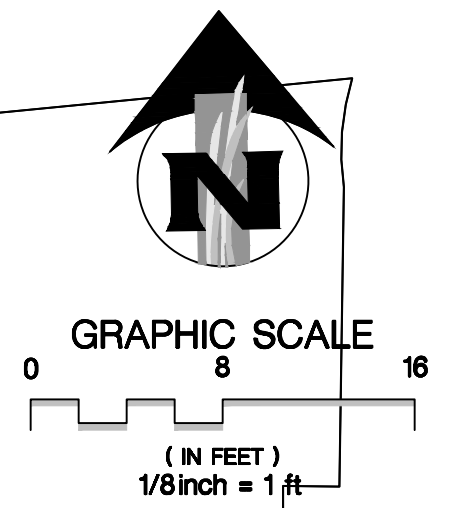
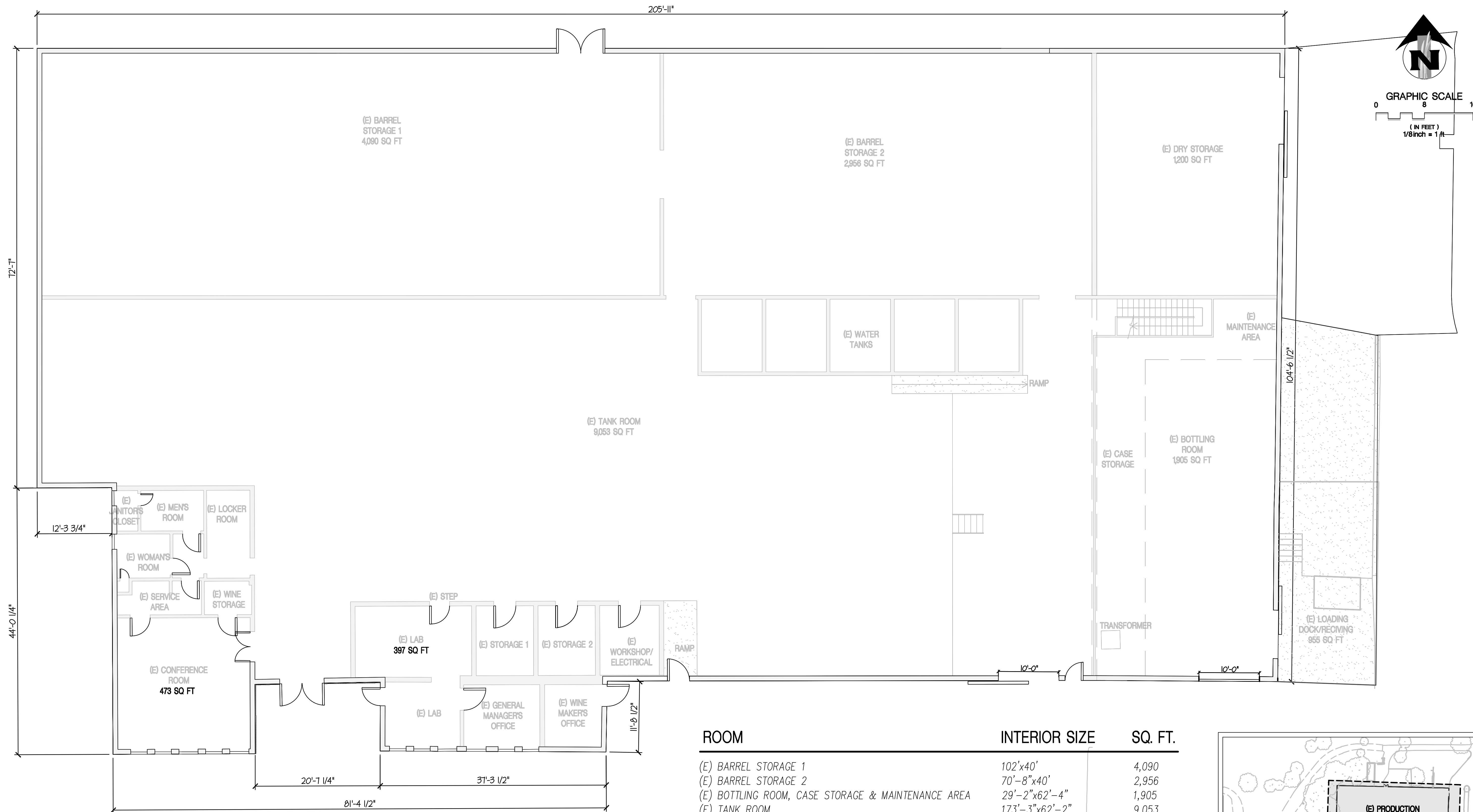
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**UP13**  
 of 34 Sheets  
 Job No. 0460-020

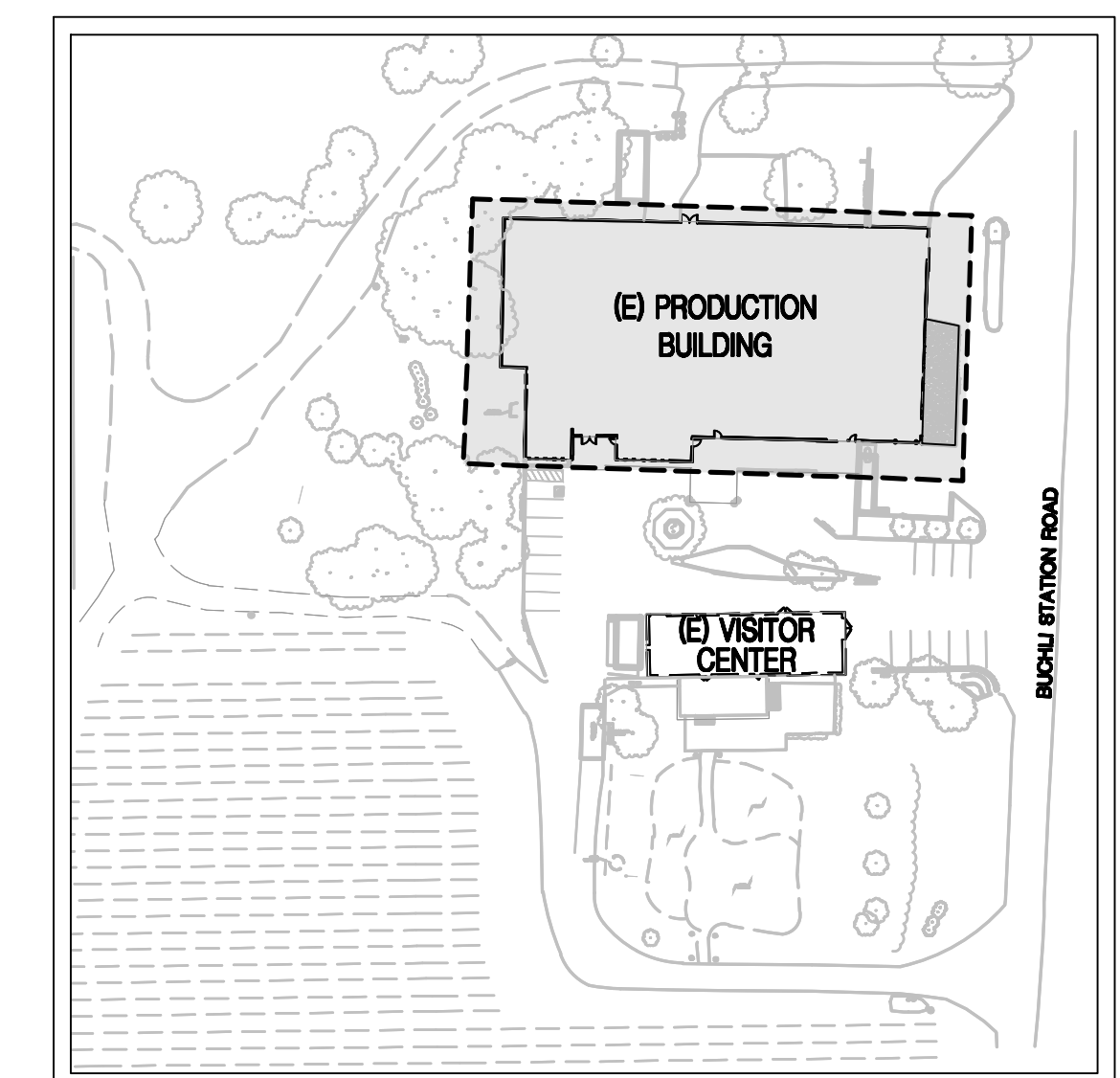
**FIRMA**  
**DESIGN GROUP**  
 planners • civil engineers • landscape architects  
 www.firmadesigngroup.com  
 1425 N. McDowell Blvd. Suite 130  
 Petaluma, California 94954  
 telephone • 707.792.1800  
 fax • 707.792.1852  
 Prepared Under the Direction of:  
  
 Michael A. Cook  
 RLA 5123 Exp. 11/30/16



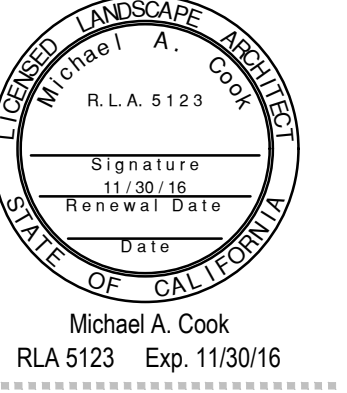
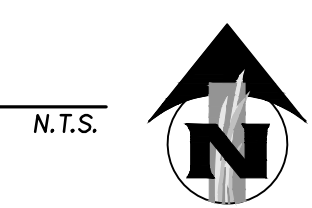


ROOM	INTERIOR SIZE	SQ. FT.
(E) BARREL STORAGE 1	102'x40'	4,090
(E) BARREL STORAGE 2	70'-8" x 40'	2,956
(E) BOTTLING ROOM, CASE STORAGE & MAINTENANCE AREA	29'-2" x 62'-4"	1,905
(E) TANK ROOM	173'-3" x 62'-2"	9,053
(E) DRY STORAGE	29'-9" x 40'	1,200
(E) EMPLOYEE RESTROOMS AND HALL	11'x5'-6" / 10'-4" x 6'-8"	224
(E) JANITOR'S CLOSET	3'-6" x 6'-8"	23
(E) LOCKER ROOM	7'-1" x 14'-6"	91
(E) LABORATORY	19'-3" x 23'-2" / 12'-5"	397
(E) OFFICES (2)	21'-11" x 10'-2"	250
(E) MAINTENANCE WORKSHOP/ELECTRICAL	9'-10" x 11'-6"	115
(E) SERVICE AREA	13'-11" x 5'-6"	71
(E) STORAGE 1 & 2	18'-10" x 11'-6"	218
(E) CONFERENCE ROOM	21'-10" x 21'-8"	473
(E) WINE STORAGE	7'-9" x 5'-6"	43
(E) LOADING DOCK/ RECEIVING	16'-4" x 33'-7"	955

TOTAL SQ. FT. 22,064  
 FOOTPRINT SQ. FT. 22,064



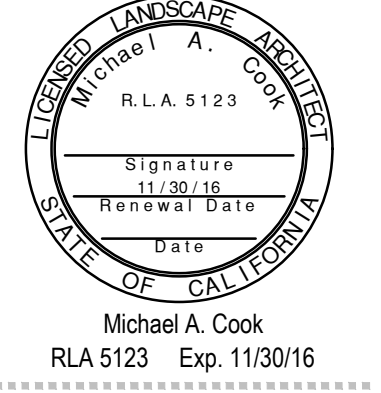
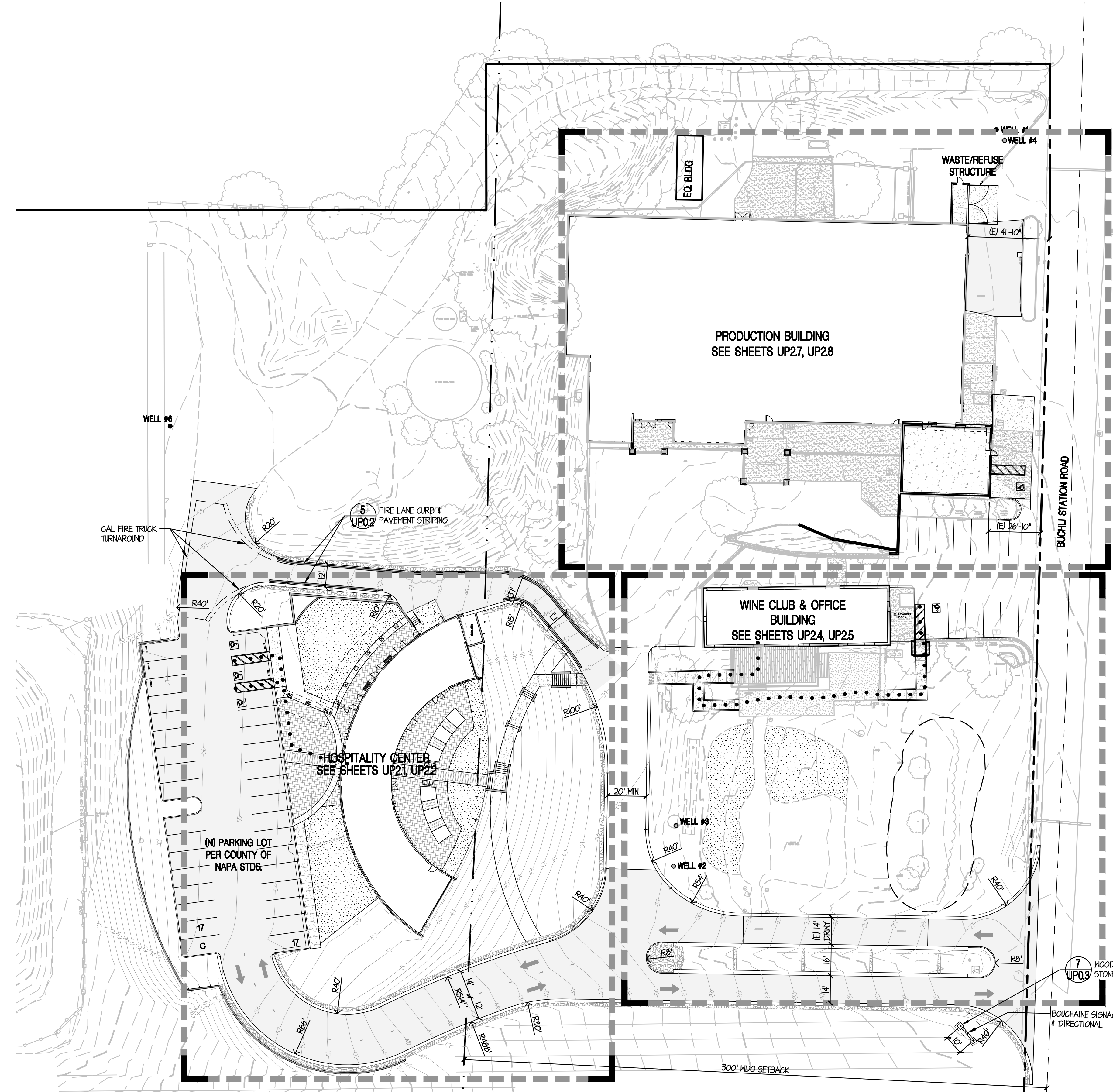
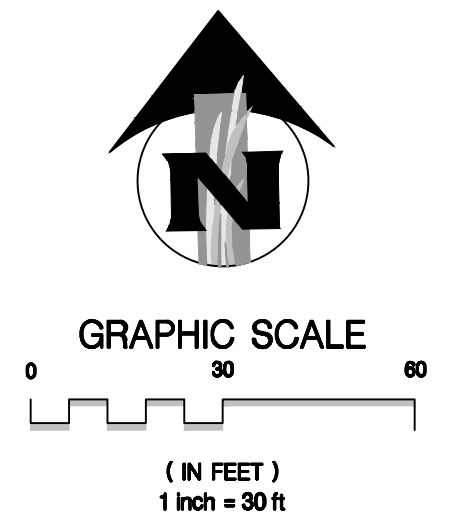
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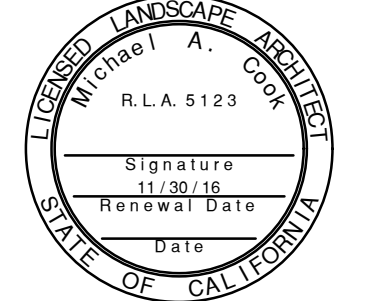
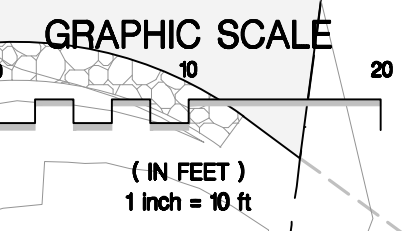
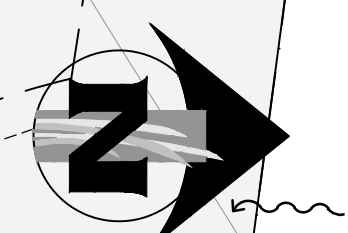
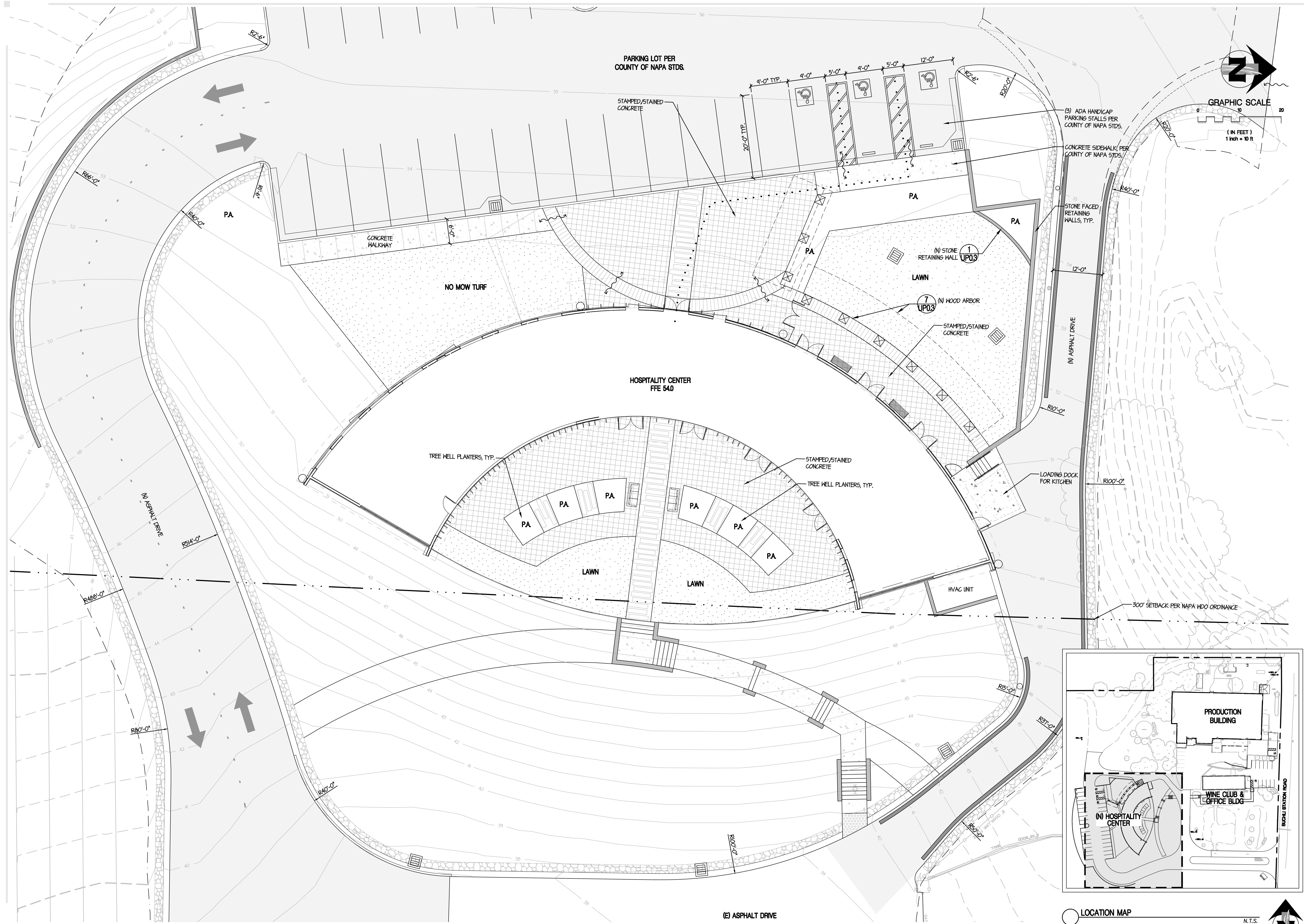
**BOUCHAINE VINEYARDS, INC. APN 047-320-031**  
**1075 BUCHLI STATION ROAD, NAPA, CALIFORNIA 94559**  
**USE PERMIT MODIFICATION**  
**PROJECT AREA-PROPOSED SITE PLAN**

#	Date	By	Revision
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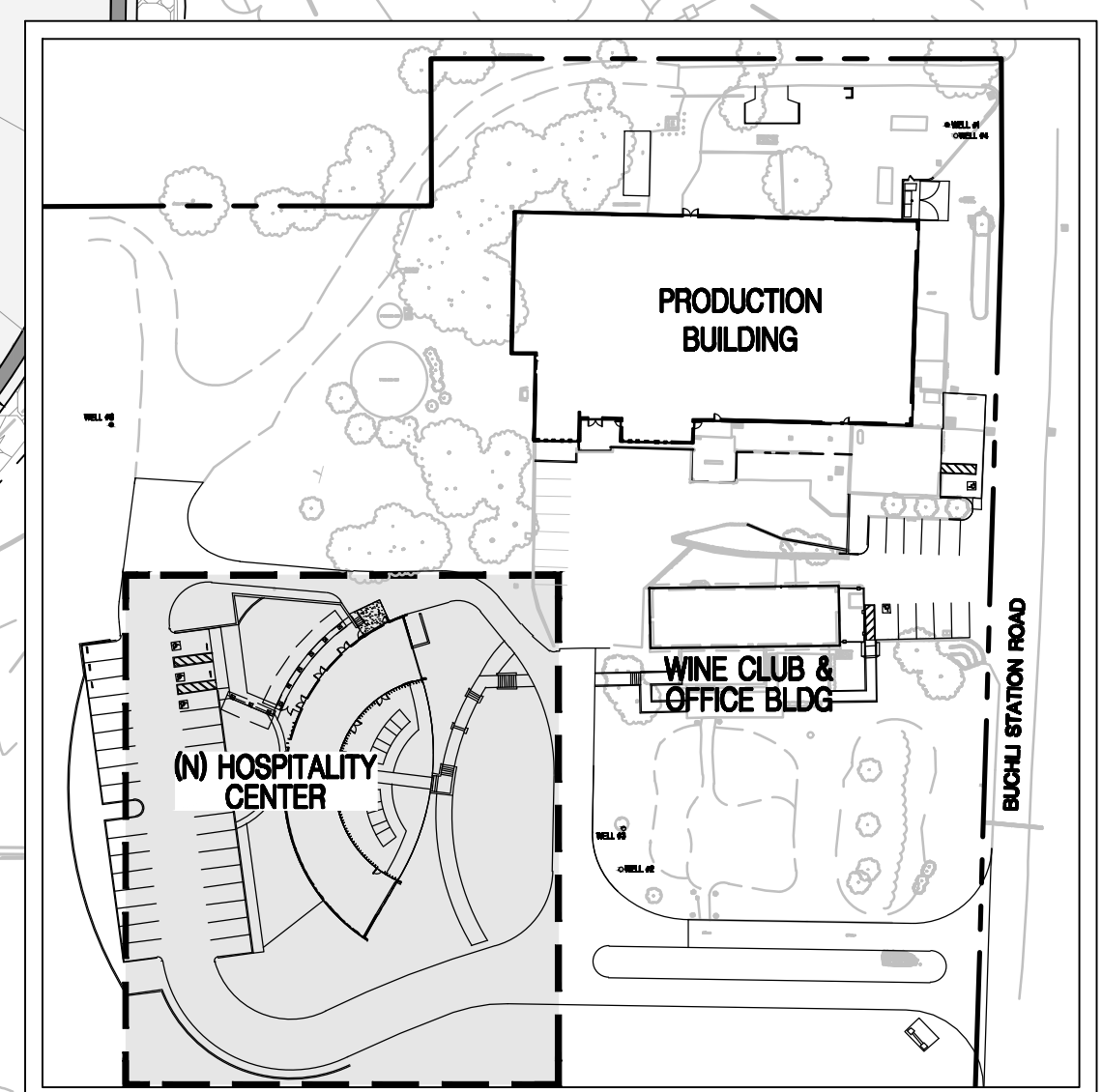
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**UP2.0**





**BOUCHAINE VINEYARDS, INC. APN 047-320-031**  
**1075 BUCHLI STATION ROAD, NAPA, CALIFORNIA 94559**  
**USE PERMIT MODIFICATION**  
**HOSPITALITY CENTER-PROPOSED SITE PLAN**



LOCATION MAP

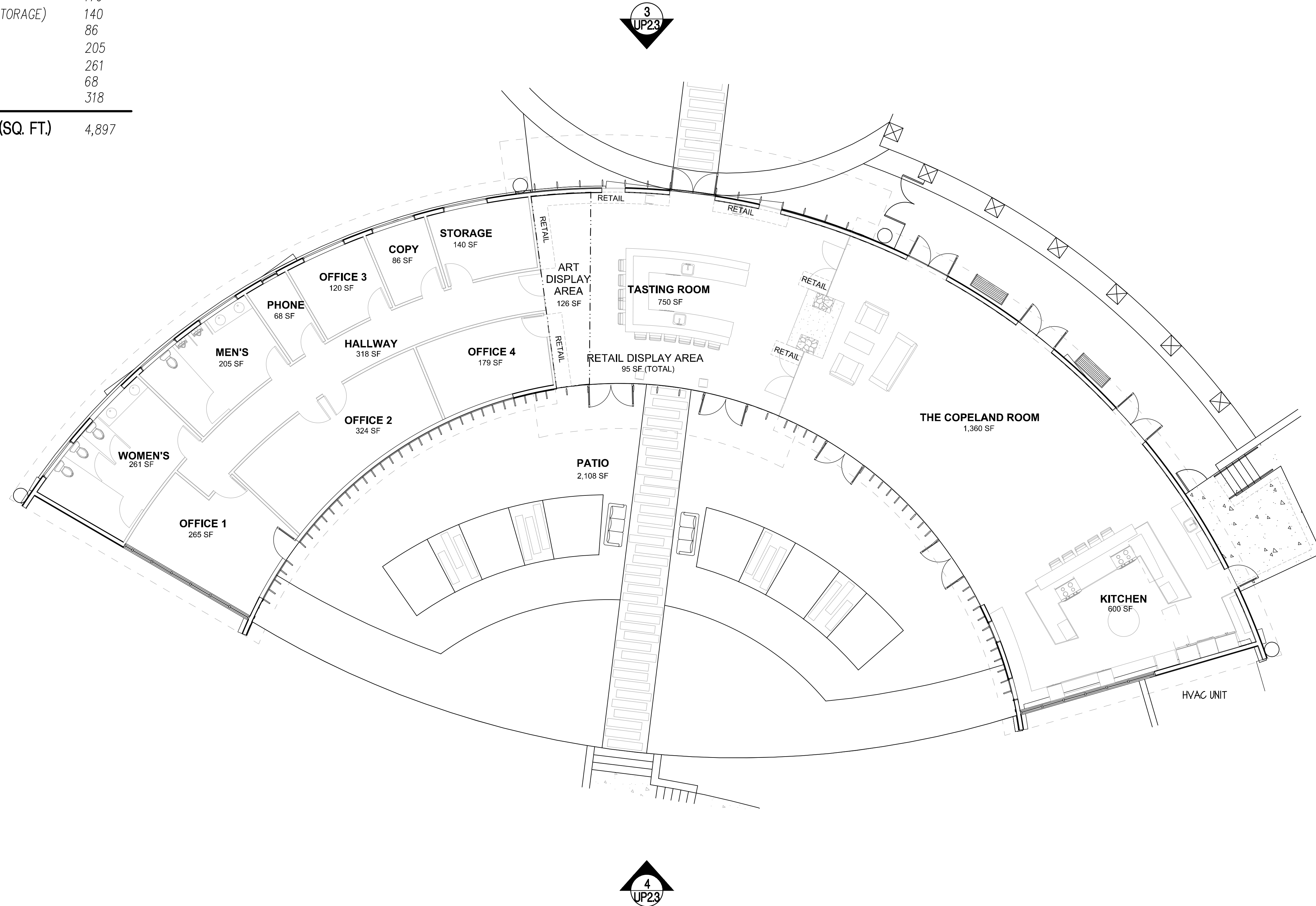
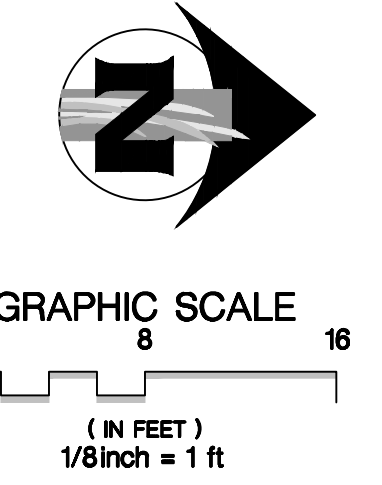
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Checked MAC  
Date 02/18/15  
Sheet

**UP2.1**



ROOM/SPACE	INTERIOR SQ.FT.	PROPOSED FOOTPRINT	SQ. FT.
THE COPELAND ROOM	1,360	BUILDING	4,897
TASTING ROOM	750	PATIO	2,108
ART DISPLAY AREA	126		
RETAIL DISPLAY AREA	95		
KITCHEN	600		
OFFICE 1	265		
OFFICE 2	324		
OFFICE 3	120		
OFFICE 4	179		
STORAGE (INCLUDES TAX PAID STORAGE)	140		
COPY	86		
MEN'S BATHROOM	205		
WOMEN'S BATHROOM	261		
PHONE ROOM	68		
HALLWAY	318		
<b>TOTAL (SQ. FT.)</b>	<b>4,897</b>	<b>TOTAL (SQ. FT.)</b>	<b>7,005</b>

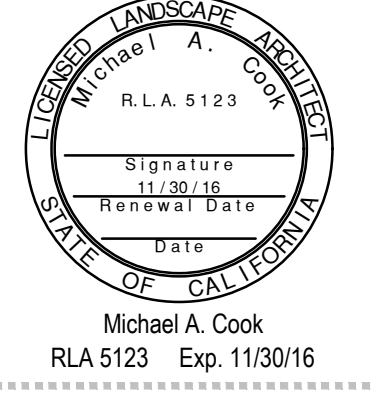


1 HOSPITALITY CENTER - PROPOSED FLOOR PLAN 1/8"=1'-0"

**FIRMA**  
DESIGN GROUP  
planners • civil engineers • landscape architects

www.firmadesigngroup.com  
1425 N. McDowell Blvd. Suite 130  
Petaluma, California 94954  
telephone • 707.792.1800  
fax • 707.792.1852

Prepared Under the Direction of:



Michael A. Cook  
R.L.A. 5123 Exp. 11/30/16

BOUCHAINE VINEYARDS, INC. APN 047-320-031  
1075 BUCHLI STATION ROAD, NAPA, CALIFORNIA 94559  
**USE PERMIT MODIFICATION**  
**HOSPITALITY CENTER-PROPOSED FLOOR PLAN**

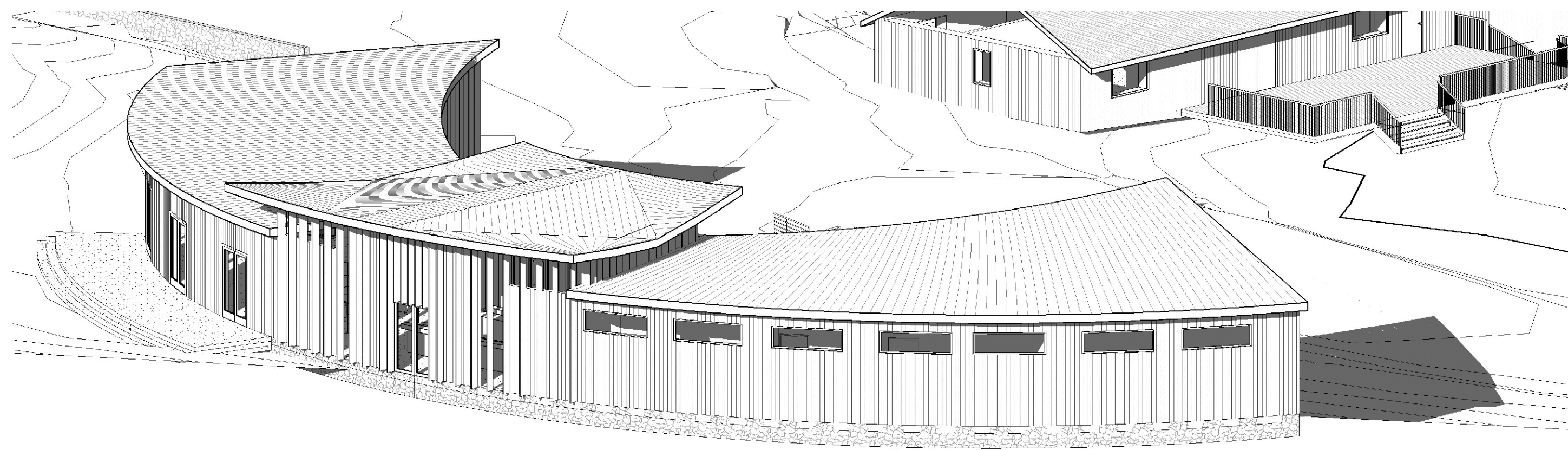
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2	4/15/2015	KFW	Revised Per County Completeness Letter & Client Direction
1	2/17/2015	NCC	Revised Per County comments

Designed: MAC, NCC  
Checked: MAC  
Date: 02/18/15  
Sheet

**UP2.2**

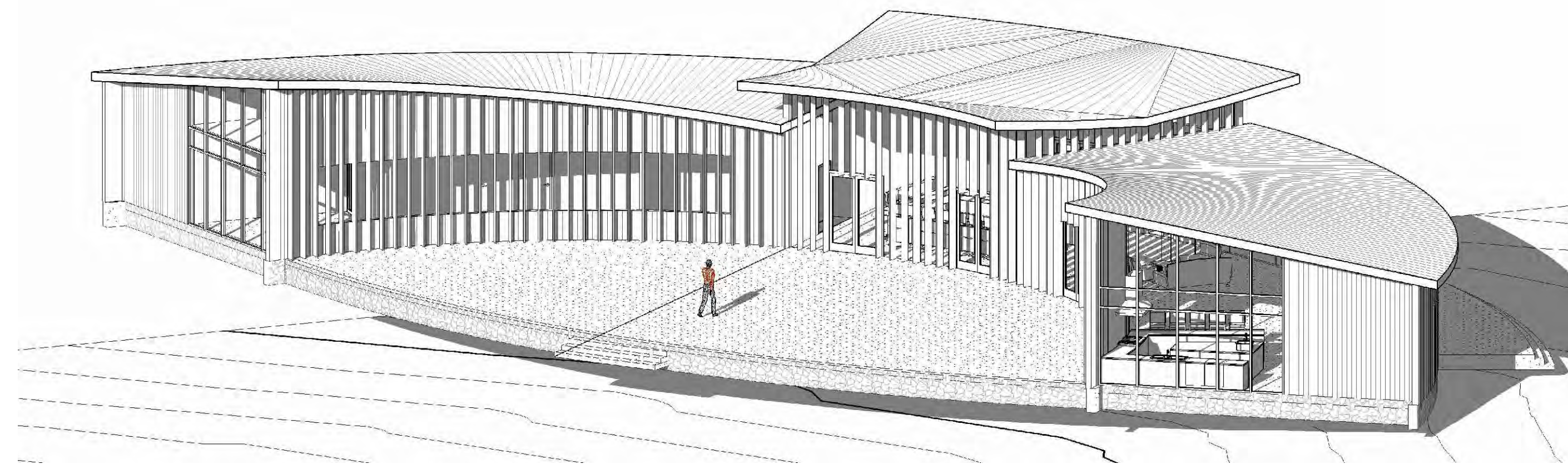
of 34 Sheets  
Job No. 0460-020





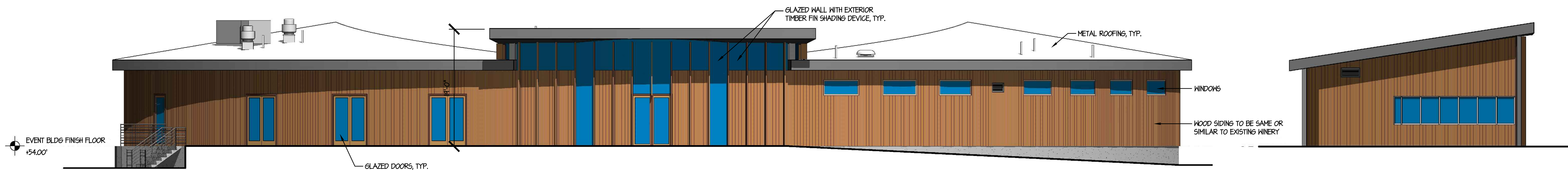
1 WEST SIDE PERSPECTIVE

N.T.S.



2 EAST SIDE PERSPECTIVE

N.T.S.

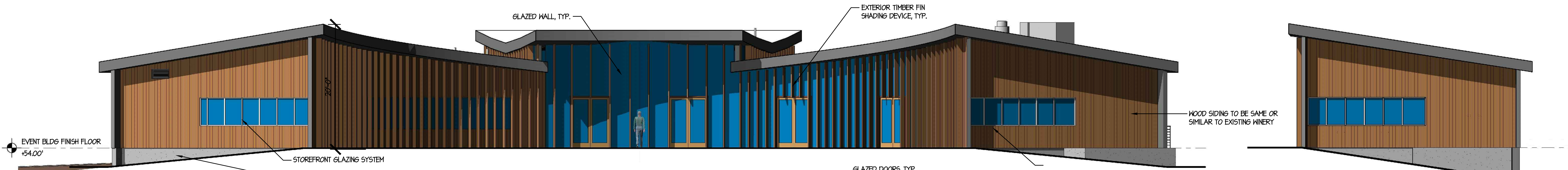


3 HOSPITALITY CENTER - WEST ELEVATION

N.T.S.

4 HOSPITALITY CENTER - SOUTHEAST ELEVATION

N.T.S.



5 HOSPITALITY CENTER - EAST ELEVATION

N.T.S.

6 HOSPITALITY CENTER - NORTHEAST ELEVATION

N.T.S.



6 HOSPITALITY CENTER - SOUTHEASTERLY PERSPECTIVE

N.T.S.



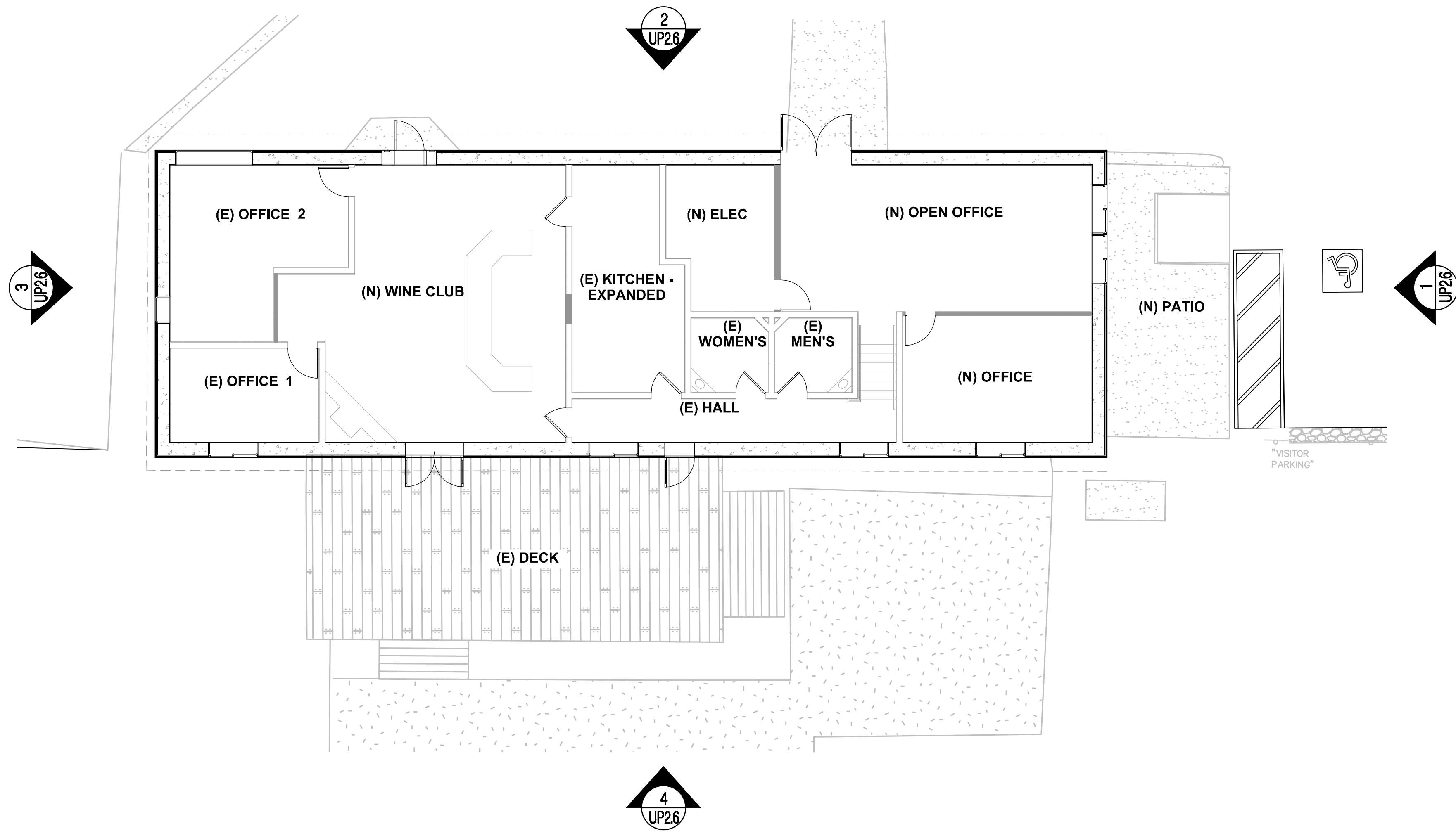
6 HOSPITALITY CENTER - NORTHEASTERLY PERSPECTIVE

N.T.S.

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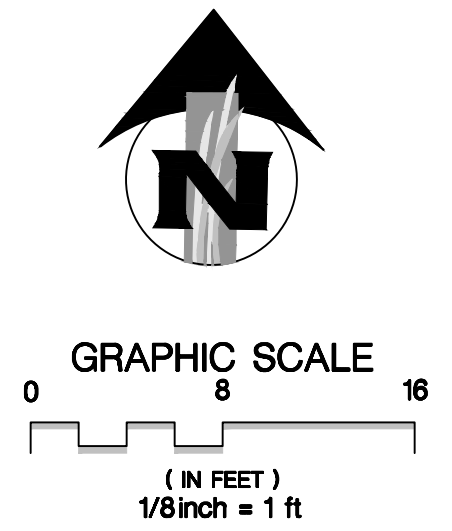
Designed MAC, NCC  
Checked MAC  
Date 02/18/15  
Sheet





1 WINE CLUB & OFFICE BUILDING - PROPOSED FLOOR PLAN  
1/8"=1'-0"

ROOM	SQ. FT.	EXISTING FOOTPRINT	SQ. FT.
(E) OFFICE 1	176	BUILDING	3,053
(E) OFFICE 2	373	LOADING DOCK	337
WINE CLUB	870		
KITCHEN - EXPANDED	276		
(E) HALL & (N) STAIRS	214		
(E) BATHROOM 1	68		
(E) BATHROOM 2	68		
OPEN OFFICE	557		
(N) OFFICE	301		
ELECTRICAL ROOM	150		
<b>TOTAL (SQ. FT.)</b>	<b>3,053</b>	<b>TOTAL (SQ. FT.)</b>	<b>3,390</b>



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Prepared Under the Direction of:

Michael A. Cook  
R.L.A. 5123  
Exp. 11/30/16

BOUCHAINE VINEYARDS, INC. APN 047-320-031  
1075 BUCHLI STATION ROAD, NAPA, CALIFORNIA 94559  
**USE PERMIT MODIFICATION**  
WINE CLUB & OFFICE BUILDING-PROPOSED FLOOR PLAN

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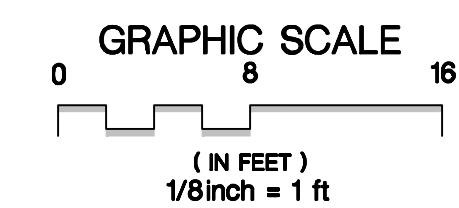
**UP2.5**

of 34 Sheets  
Job No. 0460-020





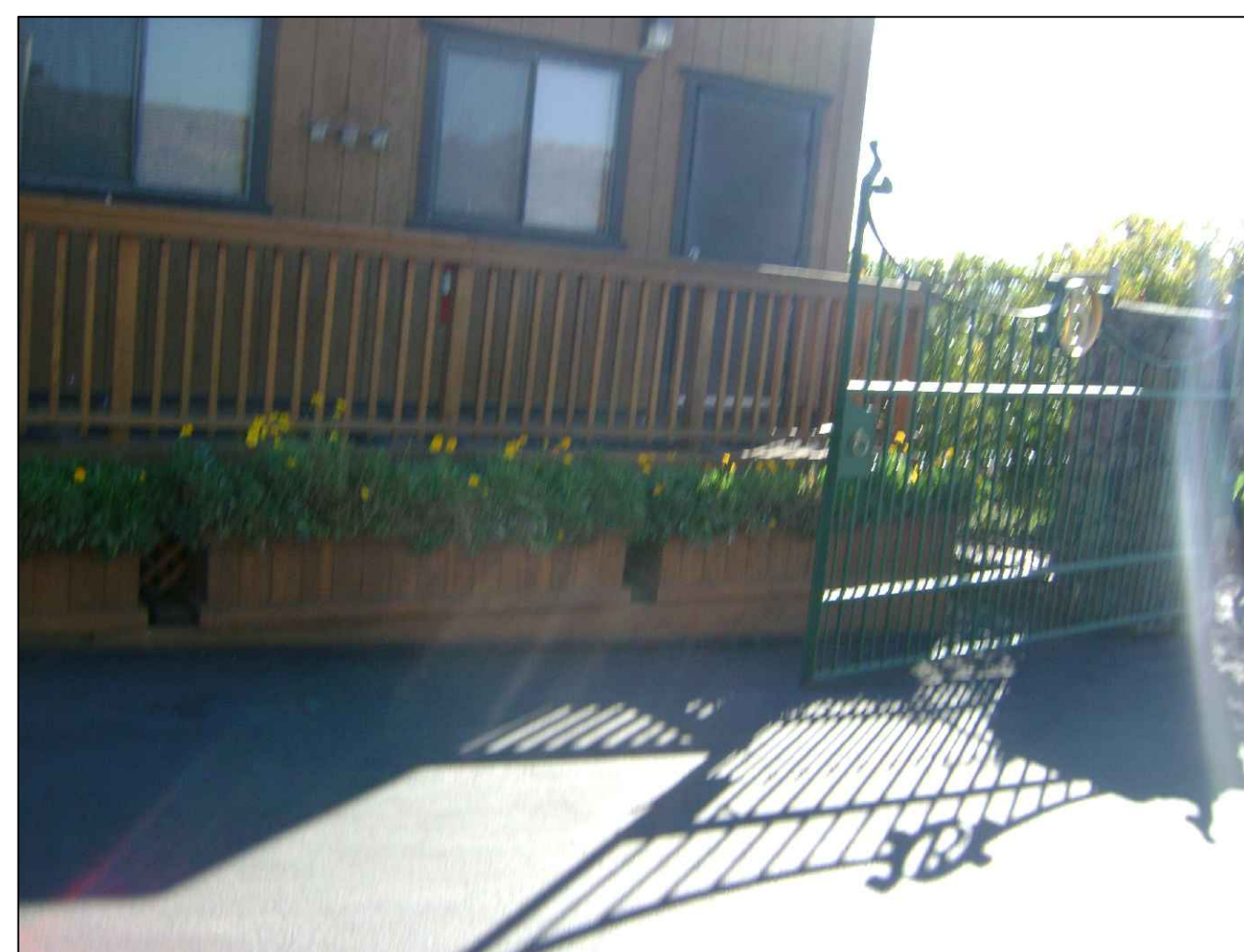
REMOVE DOORS, BLOCK IN (N) WALL AND PLACE STOREFRONT WINDOWS



1 WINE CLUB AND OFFICE BUILDING - EAST ELEVATION  
1/8"=1'-0"



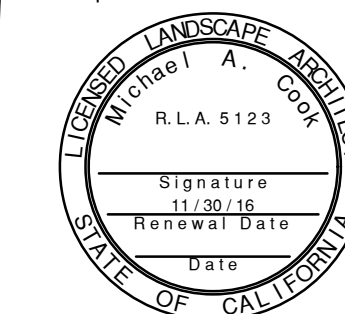
2 WINE CLUB & OFFICE BUILDING - NORTH ELEVATION PICTURE  
N.T.S.



3 WINE CLUB & OFFICE BUILDING - WEST ELEVATION PICTURE  
N.T.S.



4 WINE CLUB & OFFICE BUILDING - SOUTH ELEVATION PICTURE  
N.T.S.



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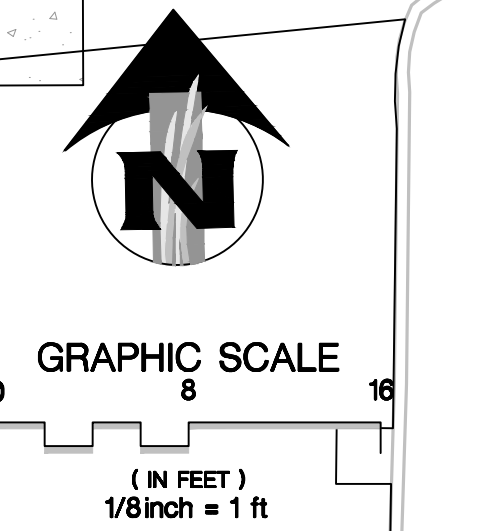
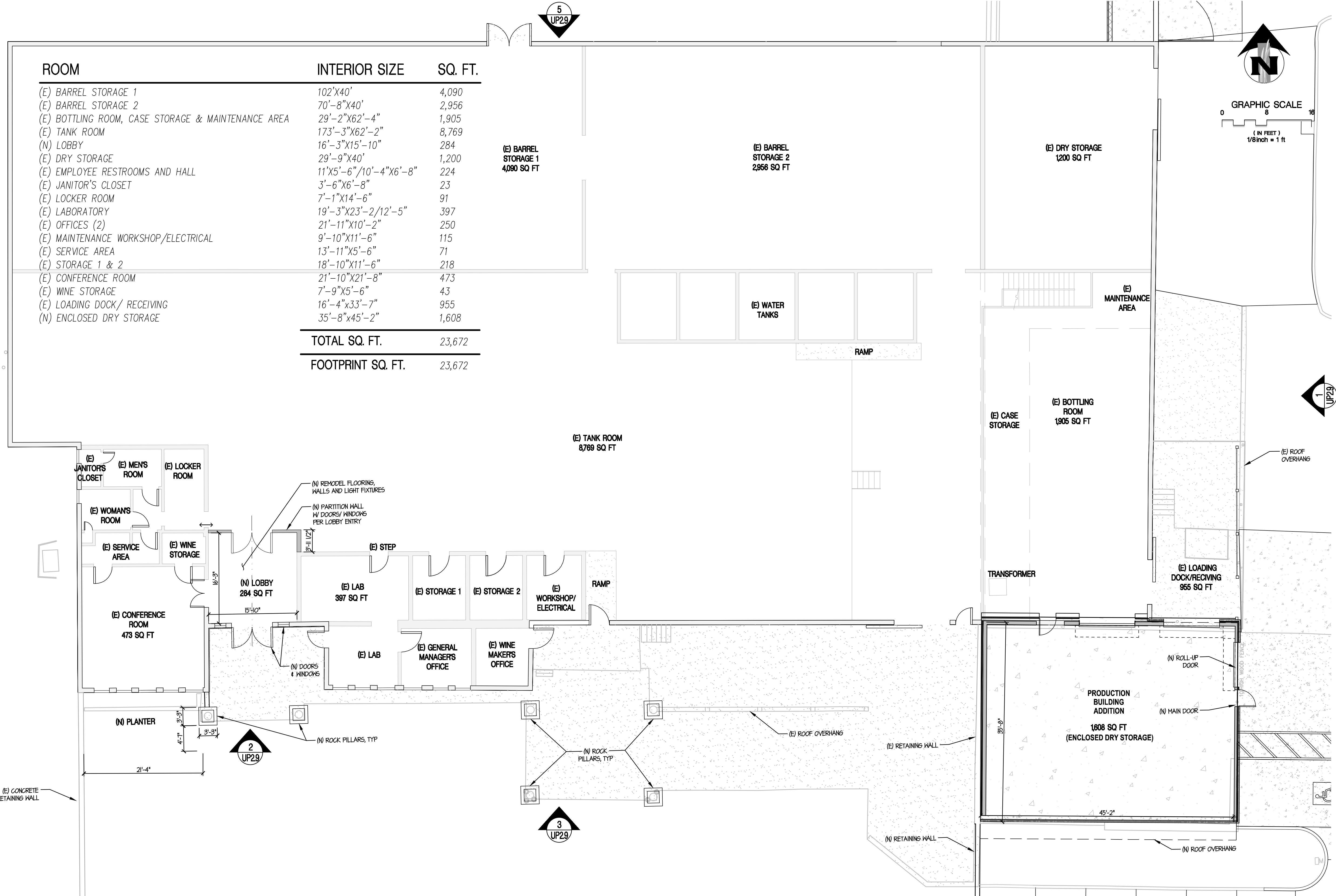
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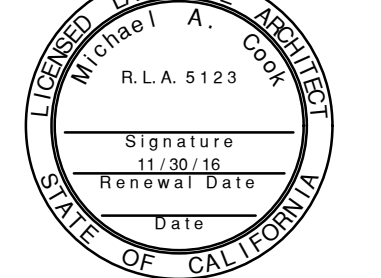
ROOM	INTERIOR SIZE	SQ. FT.
(E) BARREL STORAGE 1	102'X40'	4,090
(E) BARREL STORAGE 2	70'-8"X40'	2,956
(E) BOTTLING ROOM, CASE STORAGE & MAINTENANCE AREA	29'-2"X62'-4"	1,905
(E) TANK ROOM	173'-3"X62'-2"	8,769
(N) LOBBY	16'-3"X15'-10"	284
(E) DRY STORAGE	29'-9"X40'	1,200
(E) EMPLOYEE RESTROOMS AND HALL	11'X5'-6"/10'-4"X6'-8"	224
(E) JANITOR'S CLOSET	3'-6"X6'-8"	23
(E) LOCKER ROOM	7'-1"X14'-6"	91
(E) LABORATORY	19'-3"X23'-2/12'-5"	397
(E) OFFICES (2)	21'-11"X10'-2"	250
(E) MAINTENANCE WORKSHOP/ELECTRICAL	9'-10"X11'-6"	115
(E) SERVICE AREA	13'-11"X5'-6"	71
(E) STORAGE 1 & 2	18'-10"X11'-6"	218
(E) CONFERENCE ROOM	21'-10"X21'-8"	473
(E) WINE STORAGE	7'-9"X5'-6"	43
(E) LOADING DOCK/ RECEIVING	16'-4"X33'-7"	955
(N) ENCLOSED DRY STORAGE	35'-8"X45'-2"	1,608
<b>TOTAL SQ. FT.</b>		<b>23,672</b>
<b>FOOTPRINT SQ. FT.</b>		<b>23,672</b>



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Prepared Under the Direction of:



Michael A. Cook  
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BOUCHAINE VINEYARDS, INC. APN 047-320-031  
1075 BUCHLI STATION ROAD, NAPA, CALIFORNIA 94559  
**USE PERMIT MODIFICATION**  
**PRODUCTION BUILDING-PROPOSED FLOOR PLAN**

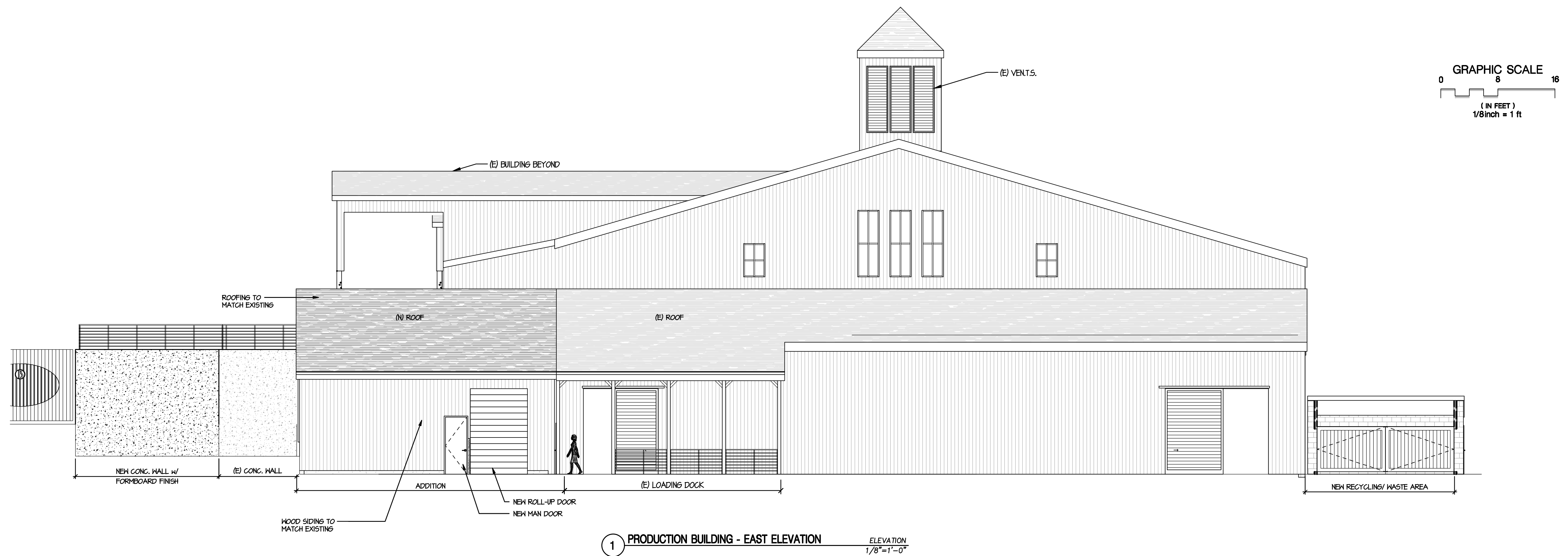
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Sheet:

**UP2.8**

of 34 Sheets  
Job No. 0460-020





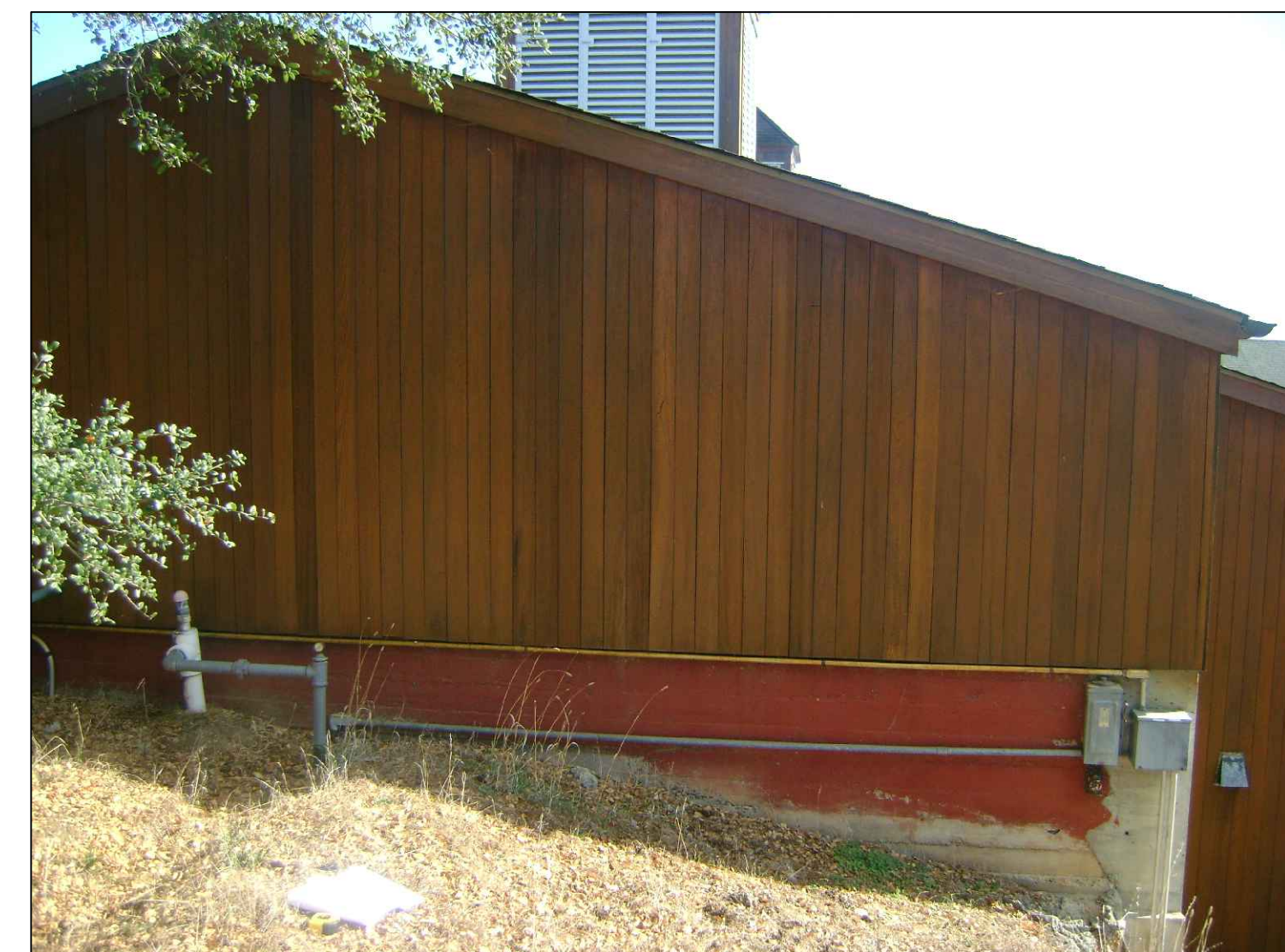
1 PRODUCTION BUILDING - EAST ELEVATION ELEVATION 1/8"=1'-0"



2 PRODUCTION BUILDING - ENTRANCE ELEVATION PICTURE N.T.S.



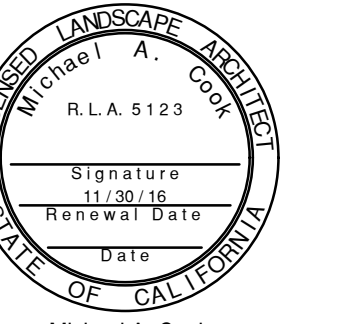
3 PRODUCTION BUILDING - SOUTH ELEVATION PICTURE N.T.S.



4 PRODUCTION BUILDING - WEST ELEVATION PICTURE N.T.S.



5 PRODUCTION BUILDING - NORTH ELEVATION PICTURE N.T.S.

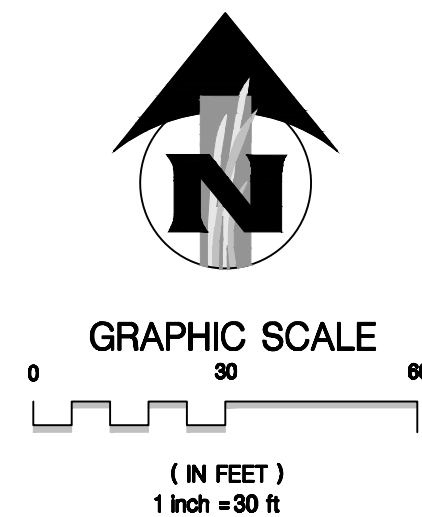
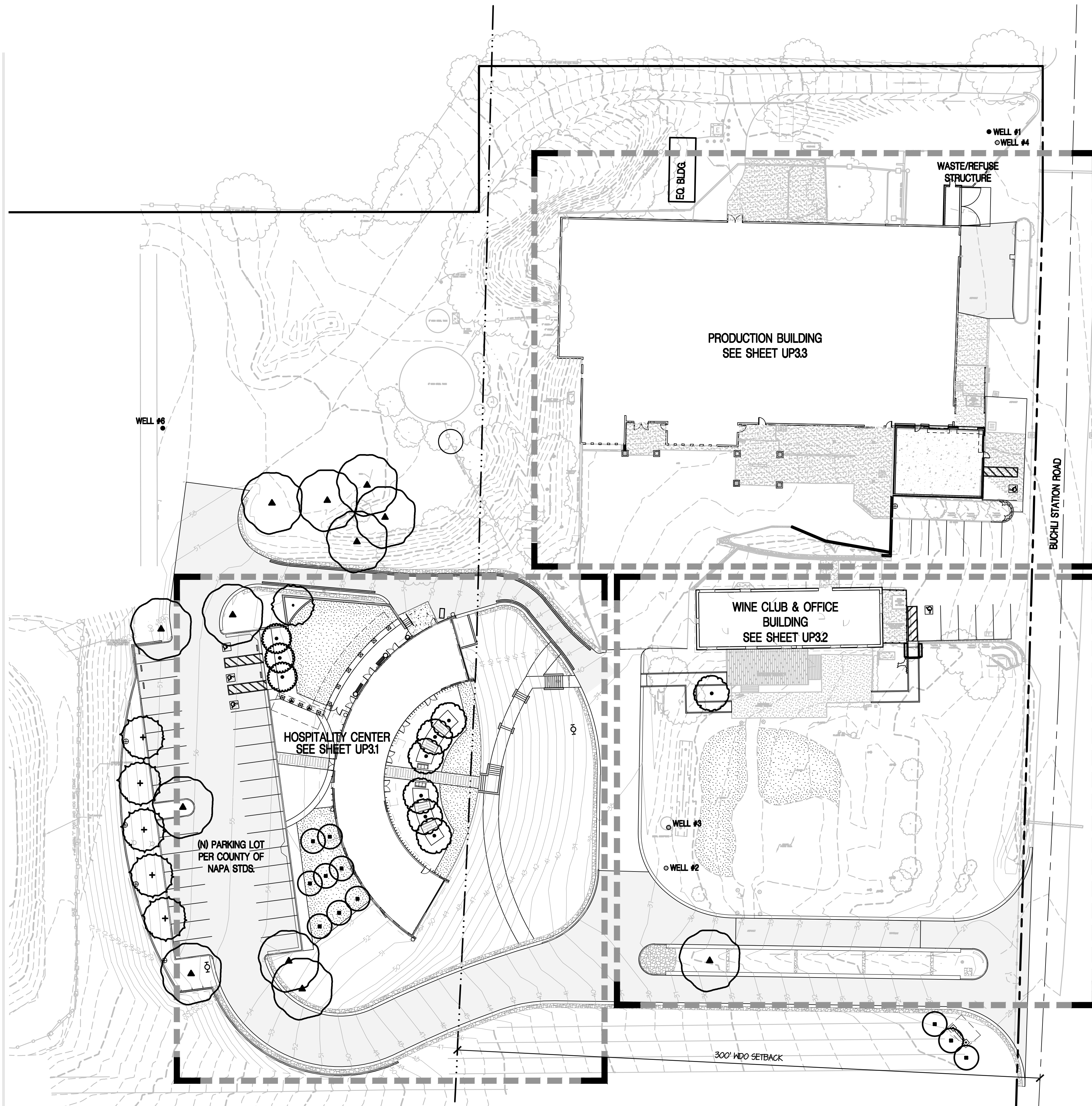


BOUCHAINE VINEYARDS, INC. APN 047-320-031  
1075 BUCHLI STATION ROAD, NAPA, CALIFORNIA 94559  
**USE PERMIT MODIFICATION**  
**PRODUCTION BUILDING-PROPOSED ELEVATIONS**

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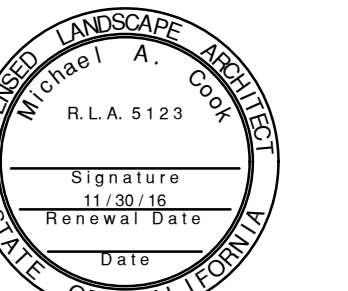


**PLANTING NOTES**

- Contractor shall bid and install planting materials per these plans and specifications, unless given further written instructions, or written instruction by Landscape Architect. Work includes, but is not limited to all labor, general liability insurance, workman's compensation, equipment, and materials necessary to furnish, install and guarantee planting, as shown on the drawings and specified herein.
- Coordinate field observations with Landscape Architect (minimum 2 visits), call to provide 48 hour notice. A. Review finished grade w/ Landscape Architect prior to plant placement. All plants shall be inspected by arborist/ Landscape Architect for health, pests and size prior to layout. B. Layout plantings for approval in full quantities, prior to digging holes. Adjust layout as directed by Landscape Architect.
- Contractor shall provide submittals/samples to Landscape Architect of all specimen trees (photographs with human scale), soil, mulch, stakes, ties, organic fertilizer tablets, grass pave materials, steel edging, and other materials.
- All work shall conform to the latest applicable Sonoma County Water Agency ordinances relating to planting and irrigation. All plant materials to be installed per County of Sonoma standards and planting details. The plant materials shall conform to the plant legend specification for size & latest edition of the American nurseryman standards.
- Prior to removing any plants, contractor shall obtain approval of owner and Landscape Architect to determine specimens to remain or be transplanted. All planting areas are to be free of deleterious materials and weeds prior to planting.
- All planting areas to be sheet mulched for weed suppression and water retention. Planting beds to be prepared by excavating soil 4" below existing grade at curb and existing utilities at grade. Excavate 12" minimum width around perimeter of planting beds. Excavated soil to be placed in center of planting bed and graded to the satisfaction of the landscape architect. Contractor to install 5 gallon and larger containers before sheet mulching landscape areas. After the 5 gallon and larger plant materials have been planted the sheet mulch shall be installed.
  - Refer to sheet mulch application detail on sheet L3.
  - Apply two layers of 100% recycled 6 flute cardboard as a bio-degradable weed barrier to the entire planting area, completely covering all existing soil and vegetation.
  - Wet cardboard with hose while applying to prevent it from blowing away.
  - Sheets of cardboard shall overlap a minimum of 8".
  - Cardboard shall abut directly against edge of pavement, curbs, boulders and existing utilities.
  - Cardboard shall be applied to the edge of installed plant root balls without covering any part of the rootball/root crown area.
  - Excess cardboard shall be folded under itself when abutting against hardscape objects or root crown areas, as opposed to being cut, to avoid excessive cardboard scraps. This folding under process is greatly aided when the cardboard is wet.
  - All cardboard scraps shall remain separated from other construction debris and shall be deposited at a local recycling facility.
  - Apply 1"-2" of organic compost on top of the cardboard layer in all planting areas. Reduce organic compost application to 1/2" when 6" or less from the edge of curb.
  - Apply 1"-2" of recycled mulch on top of the compost in all planting areas to protect compost during the planting of 1 gallon and 4" pots and the laying out of drip lines.
  - Install all 4" and 1 gallon containers and drip irrigation.
  - Keep root crowns of all plants clear of compost, mulch.
  - Cover planting bed with 3" of recycled mulch.
- A soil fertility test shall be required for review by the Landscape Architect after grading is complete and before any plant work. A soil test shall be performed to determine the final amendment and fertilizer formula. The soil report conducted by Soils & Plant Laboratory, (408) 727-0330, unless otherwise approved must contain the following information:
  - Soil permeability rate in inches per hour
  - Soil texture test
  - Cation exchange capacity
  - Soil fertility including tests for nitrogen, potassium, phosphorus, pH, organic matter
  - Contractor to request a "Boy-Friendly" Recommendation for amendments to the planting area soil
- Within the limits of new planting areas, the top 12" of existing soil or to the extent of existing topsoil, which ever is less, shall be stripped and stockpiled on the site for re-use. All planting areas to be tilled so that soil is loose and not compacted. All planting beds to receive a minimum of 12" of approved topsoil. To prepare planting beds and lawn areas, cultivate into top 12" of soil, 6 cubic yards of organic compost per 1,000 square feet. Compost is to have the US Composting Council's Seal of Testing Assurance (STA) and the Organic Materials Review Institute (OMRI) listing. Any additional amendments shall be certified organic by OMRI, and incorporated into the planting beds at the rate determined by the soils fertility report.
- All plant locations to be confirmed in the field by the Landscape Architect. Contractor is to coordinate all planting with utility locations not shown on this plan. Any conflicts between locations of proposed planting and site utilities or lighting to be called to the attention of the Landscape Architect.
- Layout of plantings is diagrammatic and may need field adjustment for existing site conditions not shown on plans, or as directed by the Landscape Architect. Adjustments will be made for views, access, etc. All plantings shall be field adjusted to meet the minimum state regulations for planting and maintaining a fire defensible space, Dept. of Forestry. Plant quantities are for informational use only. Any discrepancies shall be brought to the attention of the Landscape Architect. The contractor shall be responsible for all plants as shown on the drawings.
- Plants shall be sufficiently rooted to the edge of the container and to an extent sufficient to hold the container in place when removed from the container. No plants shall be acceptable that show signs of circling or girdling of roots, or any other root-bound condition. Plants shall be free from all pests and diseases.
- All plants shall be placed in a triangular spaced pattern, unless otherwise specified.
- Excavate planting pits 1" less than the depth of the plant container and two times the width of the plant container. Prepare hole backfill material by using 1 part existing soil to 1 part organic compost. Thoroughly mix this combination before backfilling. Set plant plants in planting pit and brace rigidly in position, tamping backfill mix solidly around the ball and roots. Place top rootball 1" above surrounding grade. (See planting details for trees, shrubs and groundcovers on this sheet). Do not over compact soil.
- All trees are to be staked and trees and shrubs are to have watering basins. All trees closer than 8'-0" to buildings, walks, curbs or footings shall be installed with a deep root barrier. Use Deep Root barrier, type UB 24-2 per manufacturer's recommendations.
- After planting, water new plantings deeply and thoroughly.
- All planting areas to receive groundcover and shrubs shall have 3" minimum depth of United Forest Products (707-585-6056) recycled wood mulch (Recycle #5), color natural.
- Pots and planters shall have "Crown's Choice Plus" professional quality soil from Sequoia Landscape Materials (Santa Rosa #707-527-5512). Potting soil alternative must be organic, and approved by Landscape Architect.
- The Contractor shall maintain the planting and irrigation installations for 60 days from the date of final acceptance. All plant materials shall be guaranteed for a minimum period of 6 months from date of final acceptance.

**PLANTING LEGEND**

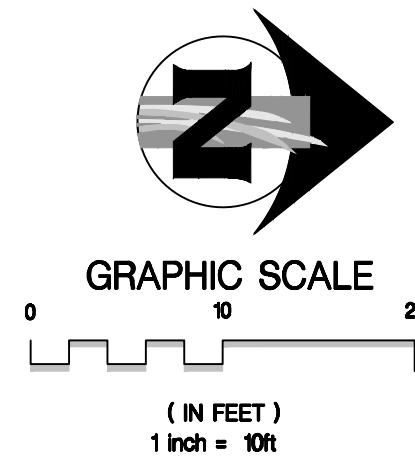
KEY	BOTANICAL NAME	WUCOLS	COMMON NAME	SIZE	QTY	REMARKS
<b>TREES</b>						
AP	ACER PALMATUM	L	JAPANESE MAPLE	15 G.C.	-	MULTI-TRUNKED FORM
AM	ARBUTUS MARINA	L	STRANBERRY TREE	24" BOX	-	MULTI-TRUNKED FORM
CL	CHILOPSIS LINEARIS	VL	DESERT WILLOW	15 G.C.	-	MULTI-TRUNKED FORM
CH	XCHITALPA 'MORNING CLOUD'	L	MORNING CLOUD CHITALPA	15 G.C.	-	MULTI-TRUNKED FORM
CF	CORNUS 'DOBIE'S WHITE WANDER'	M	DOORWOOD	15 G.C.	-	STANDARD TREE FORM
FR	FRAXINUS 'AUTUMN PURPLE'	M	AUTUMN PURPLE ASH	24" BOX	-	STANDARD TREE FORM
GB	GINKGO BILOBA	M	MADENHAIR TREE	24" BOX	-	STANDARD TREE FORM
LS	LAGERSTROEMIA SPP.	L	GRAPE MYRTLE	15 G.C.	-	STANDARD TREE FORM
MS	MAGNOLIA SOULANGEANA	M	SAUGER MAGNOLIA	24" BOX	-	STANDARD TREE FORM
MS	MALUS 'SPRING SNOW'	M	ORAB APPLE	24" BOX	-	STANDARD TREE FORM
PP	PARROTIA PERSICA	M	PERSIAN IRONWOOD	15 G.C.	-	STANDARD TREE FORM
QL	QUERCUS LOBATA	L	VALLEY OAK	15 G.C.	-	STANDARD TREE FORM
QP	QUERCUS PALUSTRIS	M	PIN OAK	15 G.C.	-	STANDARD TREE FORM
ZE	ZELKOVIA 'GREEN VASE'	M	GREEN VASE ZELKOVIA	24" BOX	-	STANDARD TREE FORM
<b>SHRUBS/GROUNDCOVERS</b>						
ES	ERYSIMUM SPP.	L	WALL FLOWER	1 G.C.	-	2.5' O.C. Δ SPACING
FI	FESTUCA L. 'SISKIYOU BLUE'	L	SISKIYOU BLUE FESCUE	1 G.C.	-	2' O.C. Δ SPACING
HS	HELICTOTRICHON SEMPERVIRENS	L	BLUE OAT GRASS	1 G.C.	-	3' O.C. Δ SPACING
NF	NETPETA FAASSENI 'WALKER'S LOW'	L	CATMINT	1 G.C.	-	3' O.C. Δ SPACING
PM	PENSTEMON 'MARGARITA BOP'	L	MARGARITA BOP PENSTEMON	1 G.C.	-	3' O.C. Δ SPACING
PV	PEROVSKIA ANTRIFOLIOLIA	L	RUSSIAN SAGE	1 G.C.	-	3' O.C. Δ SPACING
PJ	PHORMIUM TENAX 'JESTER'	L	JESTER FLAX	5 G.C.	-	3' O.C. Δ SPACING
PT	PHORMIUM TENAX 'MAKORI MAIDEN'	L	MAKORI MAIDEN FLAX	5 G.C.	-	3' O.C. Δ SPACING
RP	ROSMARINUS 'PROSTRATUS'	L	TRAILING ROSEMARY	1 G.C.	-	4' O.C. Δ SPACING
RS	ROSMARINUS 'SPICE ISLAND'	L	SPICE ISLAND ROSEMARY	1 G.C.	-	3' O.C. Δ SPACING
SG	SALVIA GREGGII	L	AUTUMN SAGE	1 G.C.	-	3' O.C. Δ SPACING
SL	SALVIA LUDICANTHA	L	MEXICAN SAGE	1 G.C.	-	3' O.C. Δ SPACING
SI	SALVIA Q. 'TICERINA'	L	GOLDEN VAREGATED SAGE	1 G.C.	-	2' O.C. Δ SPACING
TC	TEUCRIUM CHAMAEDRYS	L	GERMANDER	1 G.C.	-	2' O.C. Δ SPACING
TC	THYMUS X CITRIDOROUS	L	LEMON THYME	1 G.C.	-	18" O.C. Δ SPACING
ZC	ZAUSCHNERIA 'CALISTOGA'	L	CALIFORNIA FUCHSIA	1 G.C.	-	2' O.C. Δ SPACING
<b>WINES</b>						
CR	CAMPISIS RADICANS	L	TRUMPET VINE	5 G.C.	-	TRAIN TO GROW ON TRELLIS
HV	HARDENBERGIA VIOLEACEA	M	LILAC VINE	5 G.C.	-	TRAIN TO GROW ON TRELLIS
JP	JASMINE POLYANTHUM	M	PINK JASMINE	5 G.C.	-	TRAIN TO GROW ON TRELLIS
LS	LOEWNERIA 'GOLDFLAME'	M	GOLDFLAME HONEYSUCKLE	5 G.C.	-	TRAIN TO GROW ON TRELLIS
RS	ROSA SPP.	M	ROSE	5 G.C.	-	TRAIN TO GROW ON TRELLIS
TJ	TRACHELOSPERMUM JASMINODES	M	STAR JASMINE	5 G.C.	-	TRAIN TO GROW ON TRELLIS
<b>HYDROSEED</b>						
CALIFORNIA NATIVE WILDFLOWER BLEND						



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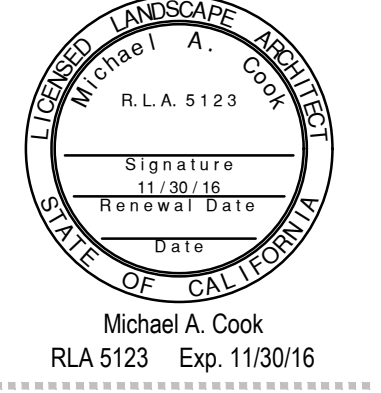




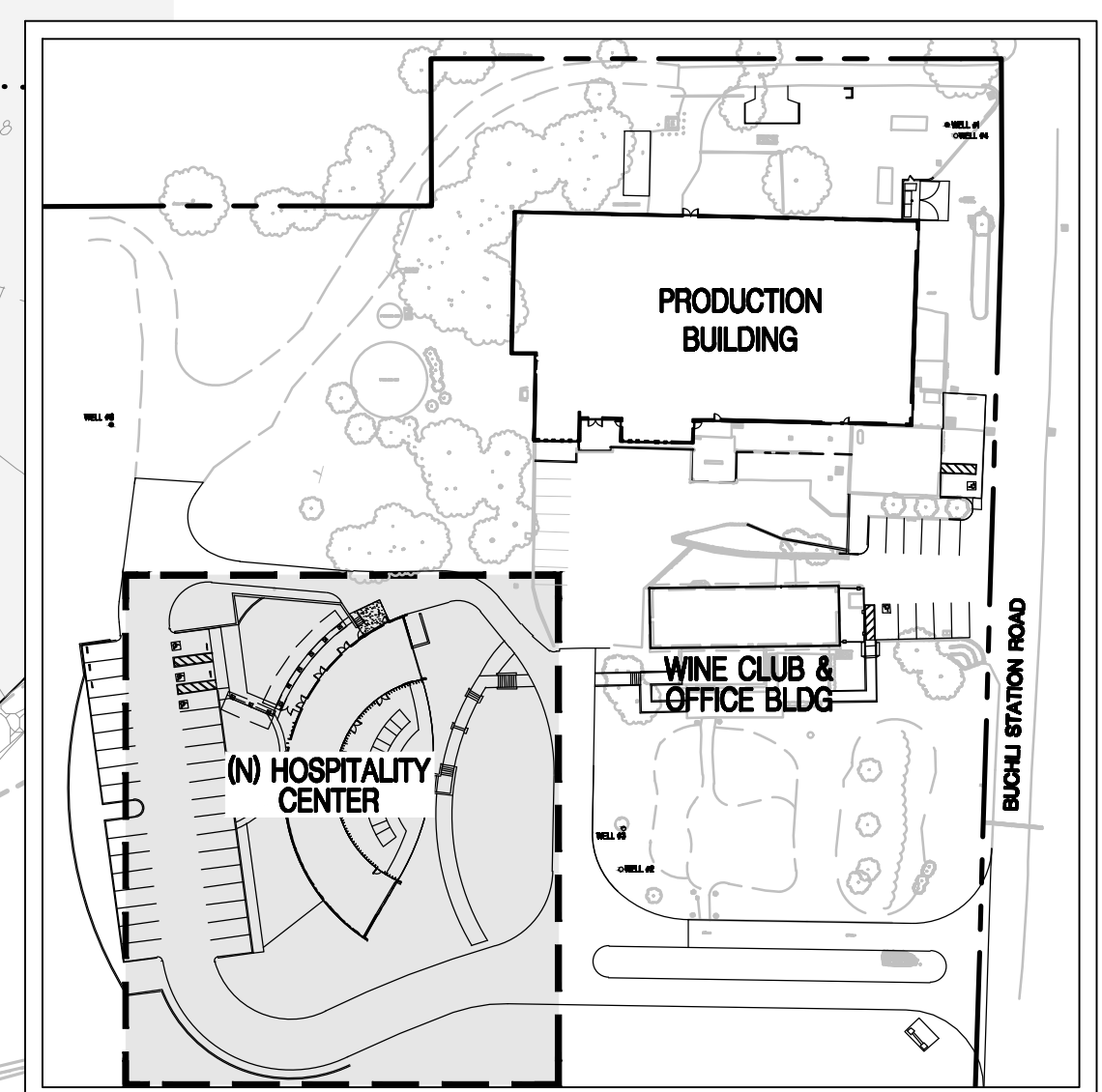
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Prepared Under the Direction of:



BOUCHAINE VINEYARDS, INC. APN 047-320-031  
1075 BUCHLI STATION ROAD, NAPA, CALIFORNIA 94559  
**USE PERMIT MODIFICATION**  
**HOSPITALITY CENTER-PRELIMINARY PLANTING PLAN**

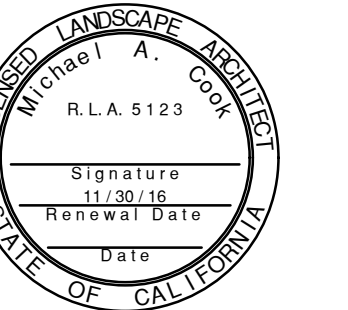


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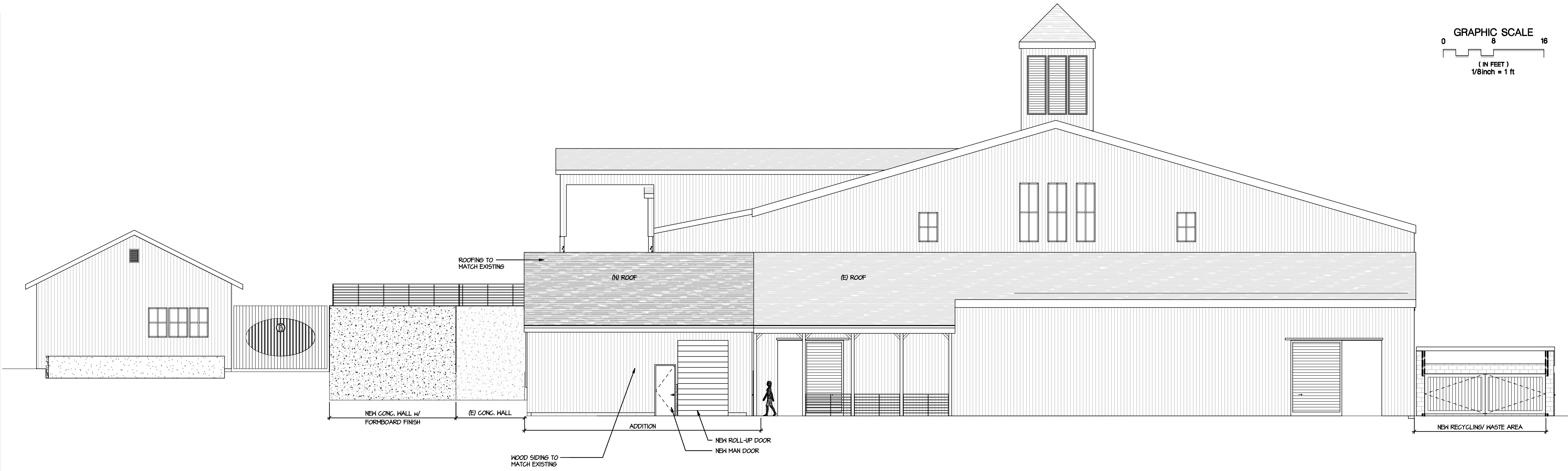
**UP3.1**  
of 34 Sheets  
Job No. 0460-020



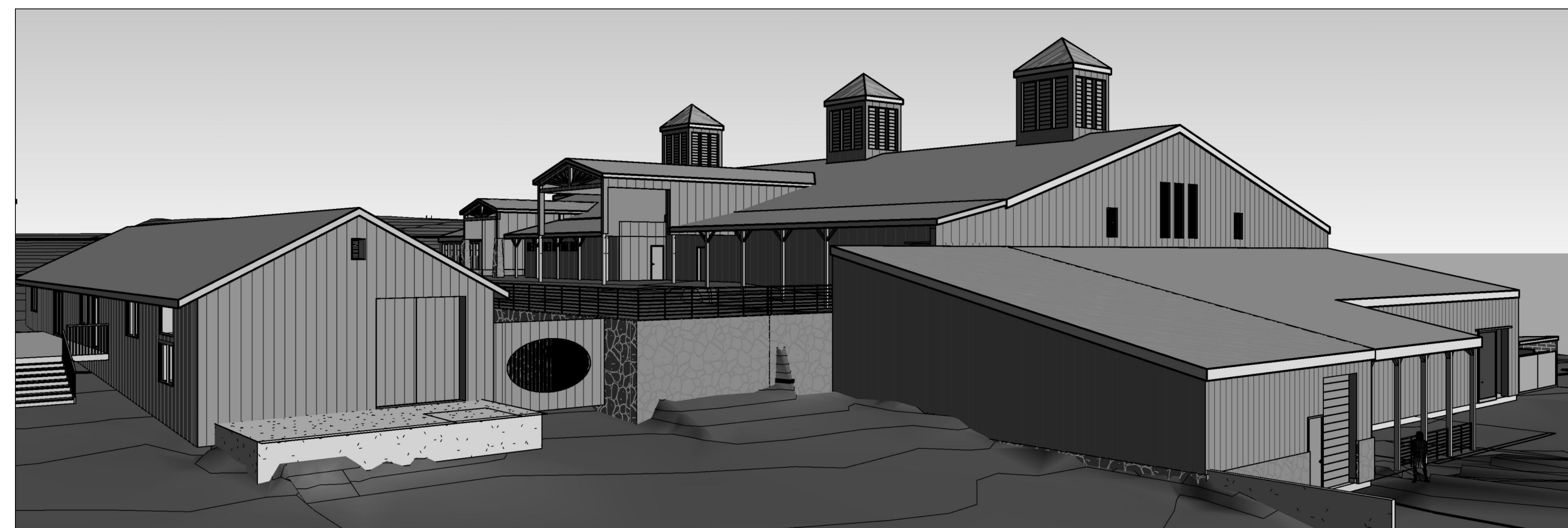


BOUCHAINE VINEYARDS, INC. APN 047-320-031  
1075 BUCHLI STATION ROAD, NAPA, CALIFORNIA 94559  
**USE PERMIT MODIFICATION  
STREET VIEW ELEVATIONS**

GRAPHIC SCALE  
0 8 16  
(IN FEET)  
1/8" = 1 ft



1 STREETScape ELEVATION ELEVATION 1/8"=1'-0"



2 PERSPECTIVE ALONG ROAD FROM SOUTH N.T.S.



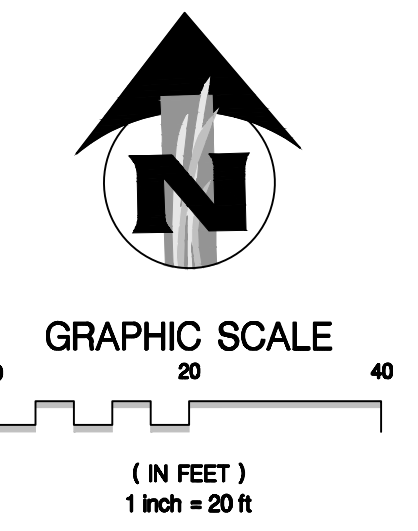
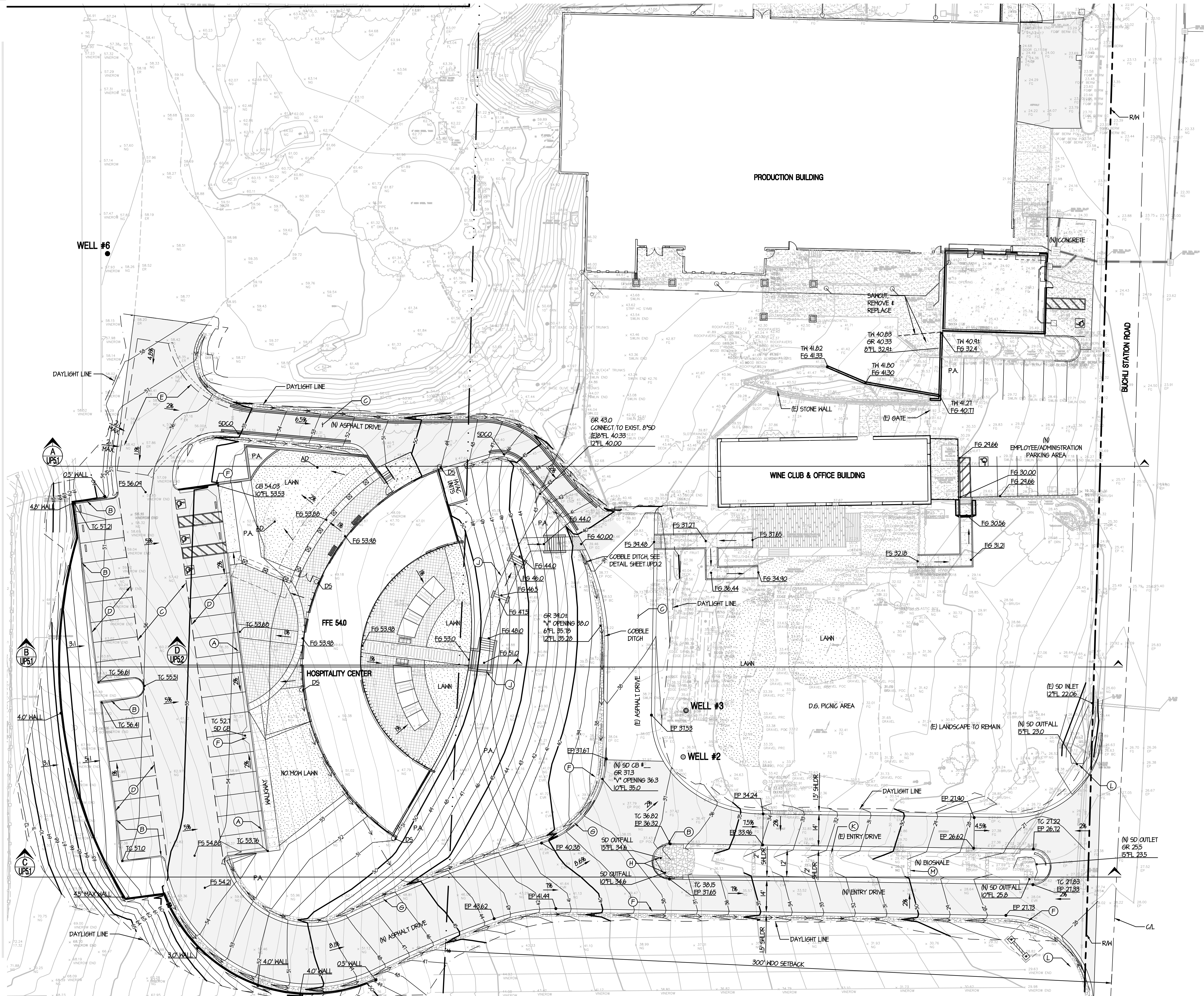
3 PERSPECTIVE ALONG ROAD FROM NORTH N.T.S.

#	Date	By	Revision
3	7/24/2015	KFW	Revised Per County Completeness Letter & Client Direction
2	4/15/2015	KFW	Revised Per County Completeness Letter & Client Direction
1	2/17/2015	INCC	Revised Per County comments

Designed MAC, NCC  
Checked MAC  
Date 02/18/15  
Sheet

**UP4.0**





- KEY NOTES**
- (A) INSTALL CONCRETE CURB & GUTTER
  - (B) INSTALL CONCRETE CURB ONLY
  - (C) FIRE LANE: PAVING SECTION (AC/AB)
  - (D) PARKING: PAVING SECTION (AC/AB)
  - (E) FIRE DEPARTMENT TURNAROUND
  - (F) STORMDRAIN CATCH BASIN
  - (G) INSTALL COBBLE STONE
  - (H) STORMDRAIN OUTFALL
  - (J) SITE RETAINING WALL, DESIGN BY OTHERS
  - (K) BIO-SWALE WALL DAM
  - (L) CONSTRUCT CULVERT HEADWALL
  - (M) ROCK CHECK DAM

**FIRMA**  
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planners • civil engineers • landscape architects

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Prepared Under the Direction of:



Vlad G. Iojica  
RCE 073861 Exp. 6/30/17

**BOUCHAINE VINEYARDS, INC. APN 047-320-031**  
**1075 BUCHLI STATION ROAD, NAPA, CALIFORNIA 94559**  
**USE PERMIT MODIFICATION**  
**PROJECT AREA-GRADING PLAN**

Revision	Date	By
2	4/15/2015	KFW
1	2/17/2015	INCC

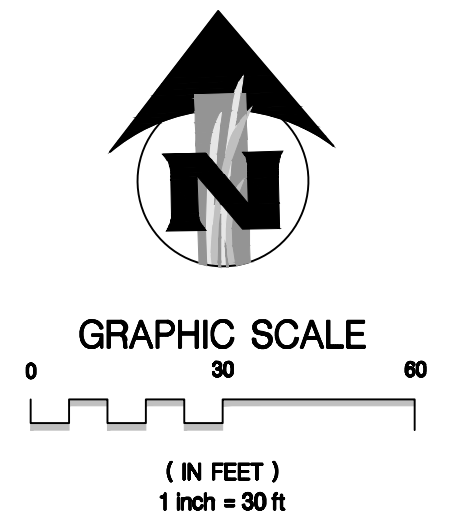
Designed KFW  
Checked MPG  
Date 02/18/15  
Sheet

**UP5.0**

of 34 Sheets  
Job No. 0460-020

CONTRACTOR TO VERIFY THE FINAL ARCHITECT BUILDINGS DIMENSIONS, UTILITY CONNECTIONS, DOWNSPOUT LOCATIONS, AND STRUCTURAL ELEMENTS OF THE BUILDINGS PRIOR TO CONSTRUCTION





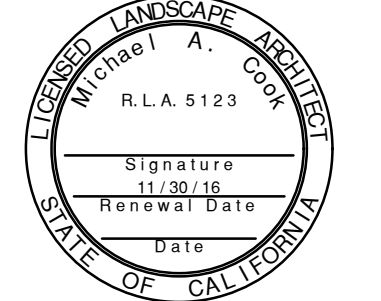
**LEGEND**

	PRODUCTION USE AREAS = 36,856 SF
	ACCESSORY USE AREAS = 3,409 SF
ACCESSORY/PRODUCTION RATIO = 3,409/36,856	
= 0.092	
= 9.2%	



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Prepared Under the Direction of:



Michael A. Cook  
 RLA 5123 Exp. 11/30/16

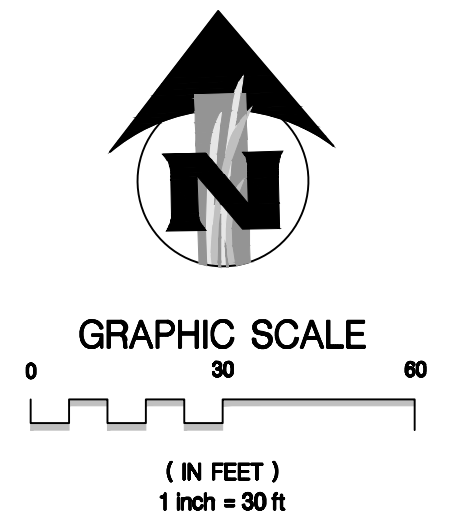
**BOUCHAINE VINEYARDS, INC. APN 047-320-031**  
**1075 BUCHLI STATION ROAD, NAPA, CALIFORNIA 94559**  
**USE PERMIT MODIFICATION**  
**WINERY DEVELOPMENT AREA DIAGRAM-EXISTING**

#	Date	By	Revision
3	7/24/2015	KFW	Revised Per County Completeness Letter & Client Direction
2	4/15/2015	KFW	Revised Per County Completeness Letter & Client Direction
1	2/17/2015	NCC	Revised Per County comments

Designed: MAC, NCC  
 Checked: MAC  
 Date: 02/18/15  
 Sheet

**UP8.0**  
 of 34 Sheets  
 Job No. 0460-020





**LEGEND**

PRODUCTION USE AREAS = 39,357 SF

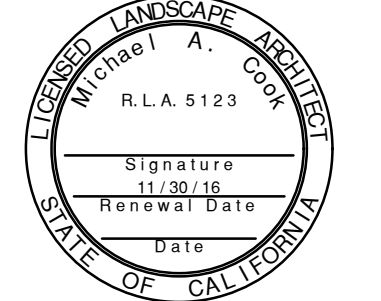
ACCESSORY USE AREAS = 8,698 SF

ACCESSORY/PRODUCTION RATIO = 8,698/39,357  
= 0.221  
= 22.1%



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RLA 5123 Exp. 11/30/16

**BOUCHAINE VINEYARDS, INC. APN 047-320-031**  
**1075 BUCHLI STATION ROAD, NAPA, CALIFORNIA 94559**  
**USE PERMIT MODIFICATION**  
**WINERY DEVELOPMENT AREA DIAGRAM-FUTURE**

#	Date	By	Revision
3	7/24/2015	KFW	Revised Per County Completeness Letter & Client Direction
2	4/15/2015	KFW	Revised Per County Completeness Letter & Client Direction
1	2/17/2015	NCC	Revised Per County comments

Designed: MAC, NCC  
 Checked: MAC  
 Date: 02/18/15  
 Sheet

**UP8.1**  
 of 34 Sheets  
 Job No. 0460-020

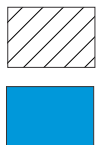


# BOUCHAINE VINEYARDS



Option #1

Option #2



Applicant Proposed Dry Storage

Options Allowed Without Variance

Alternate Enclosed Dry Storage Locations

