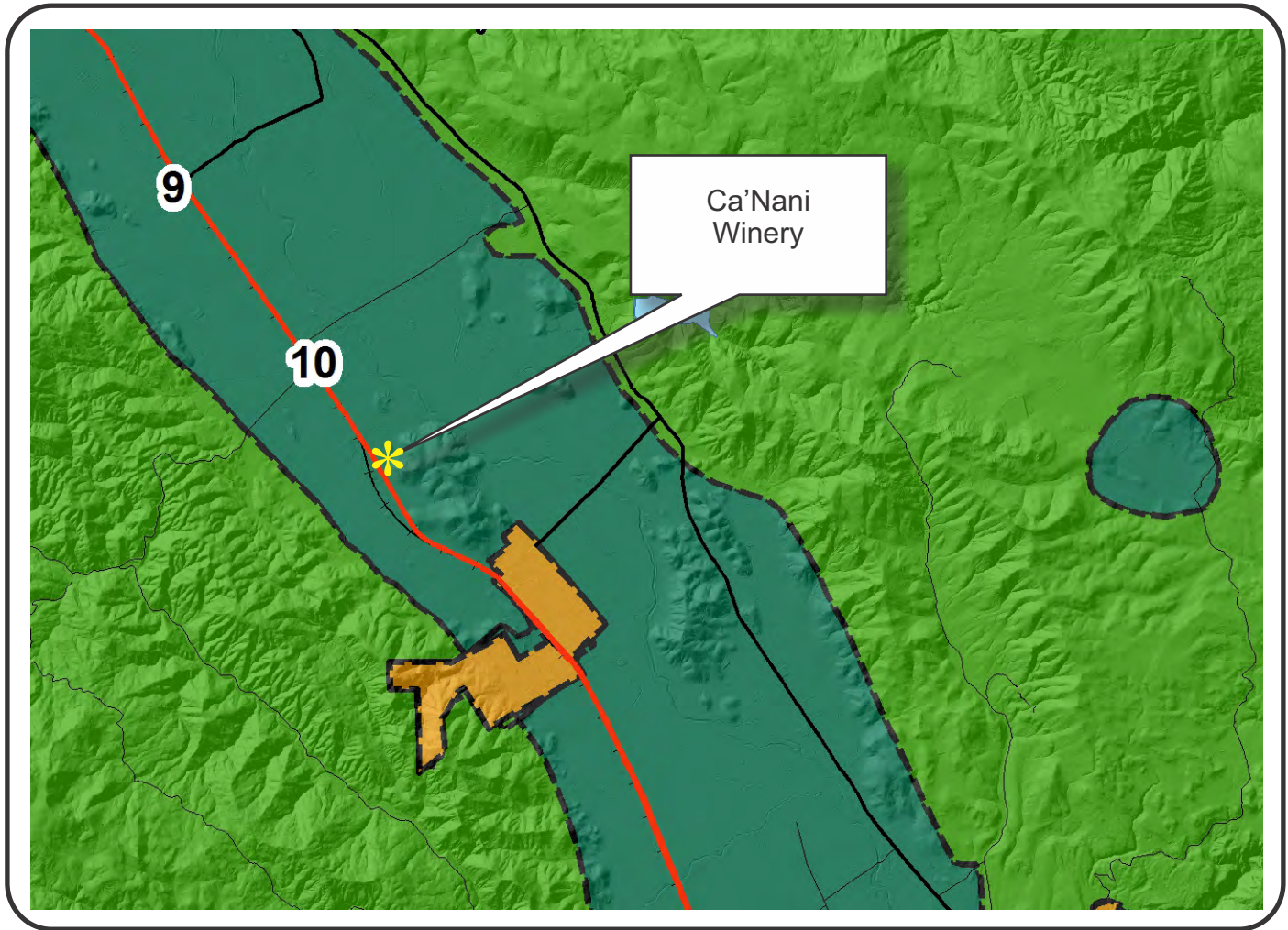


# NAPA COUNTY LAND USE PLAN 2008 - 2030



## LEGEND



### URBANIZED OR NON-AGRICULTURAL

- Study Area
- Cities
- Urban Residential\*
- Rural Residential\*
- Industrial
- Public-Institutional
- Napa Pipe Mixed Use

### OPEN SPACE

- Agriculture, Watershed & Open Space
- Agricultural Resource

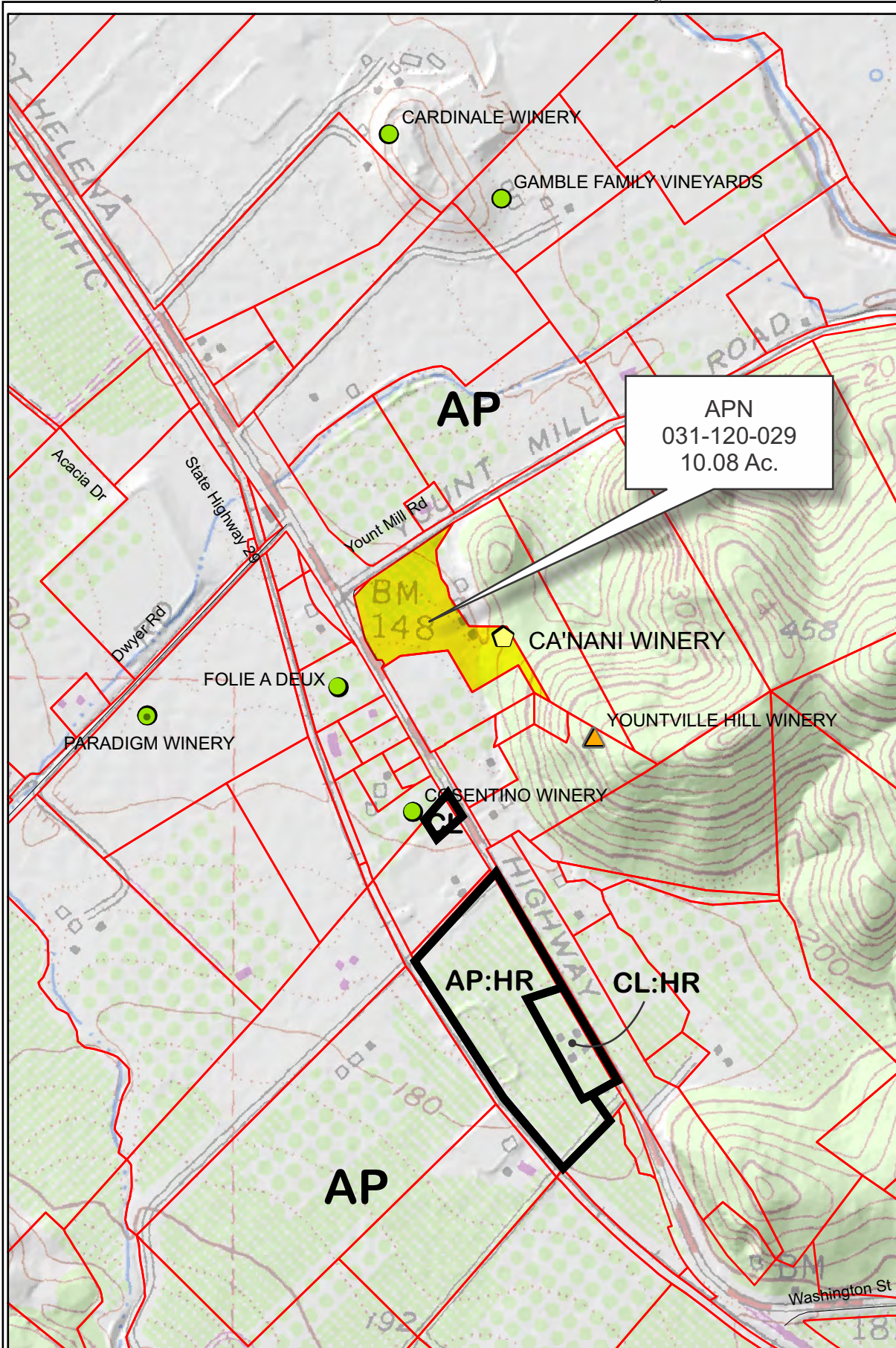
### TRANSPORTATION

- Mineral Resource
- Limited Access Highway
- Major Road
- American Canyon ULL
- City of Napa RUL
- Landfill - General Plan
- Secondary Road
- Airport
- Railroad
- Airport Clear Zone

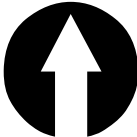
\* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations

APN  
031-120-029  
10-12-2015  
7B MOD

# Ca'Nani Winery



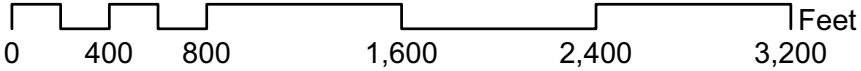
APN  
031-120-029  
10.08 Ac.



## Legend

### Wineries

- Status
- Producing
  - Producing, with pending major mod
  - ▭ Approved
  - ▴ Pending
  - Unknown
  - ▭ Zoning
  - ▭ Parcels

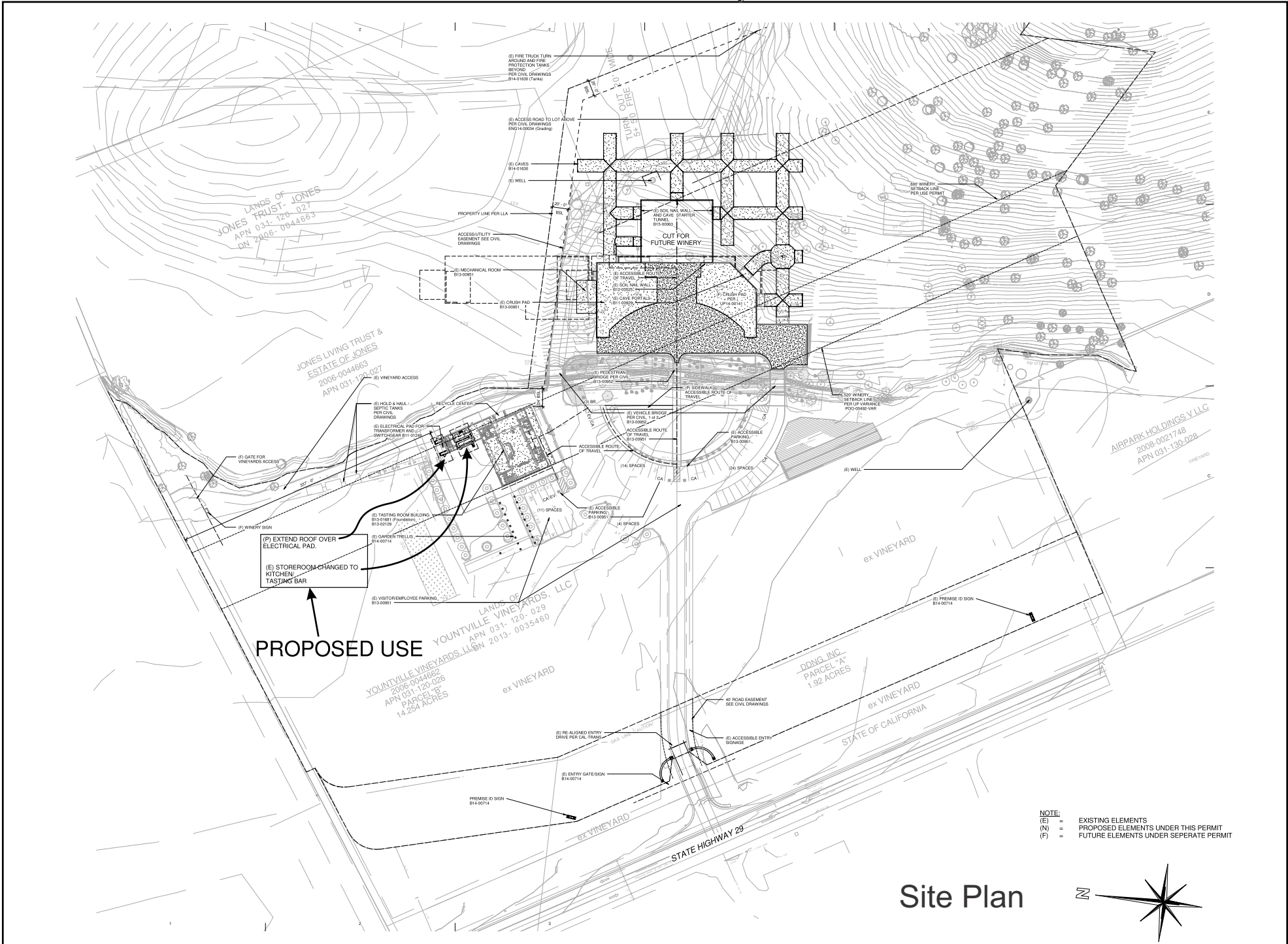


# Ca'Nani Winery



Existing Conditions

# Ca'Nani Winery

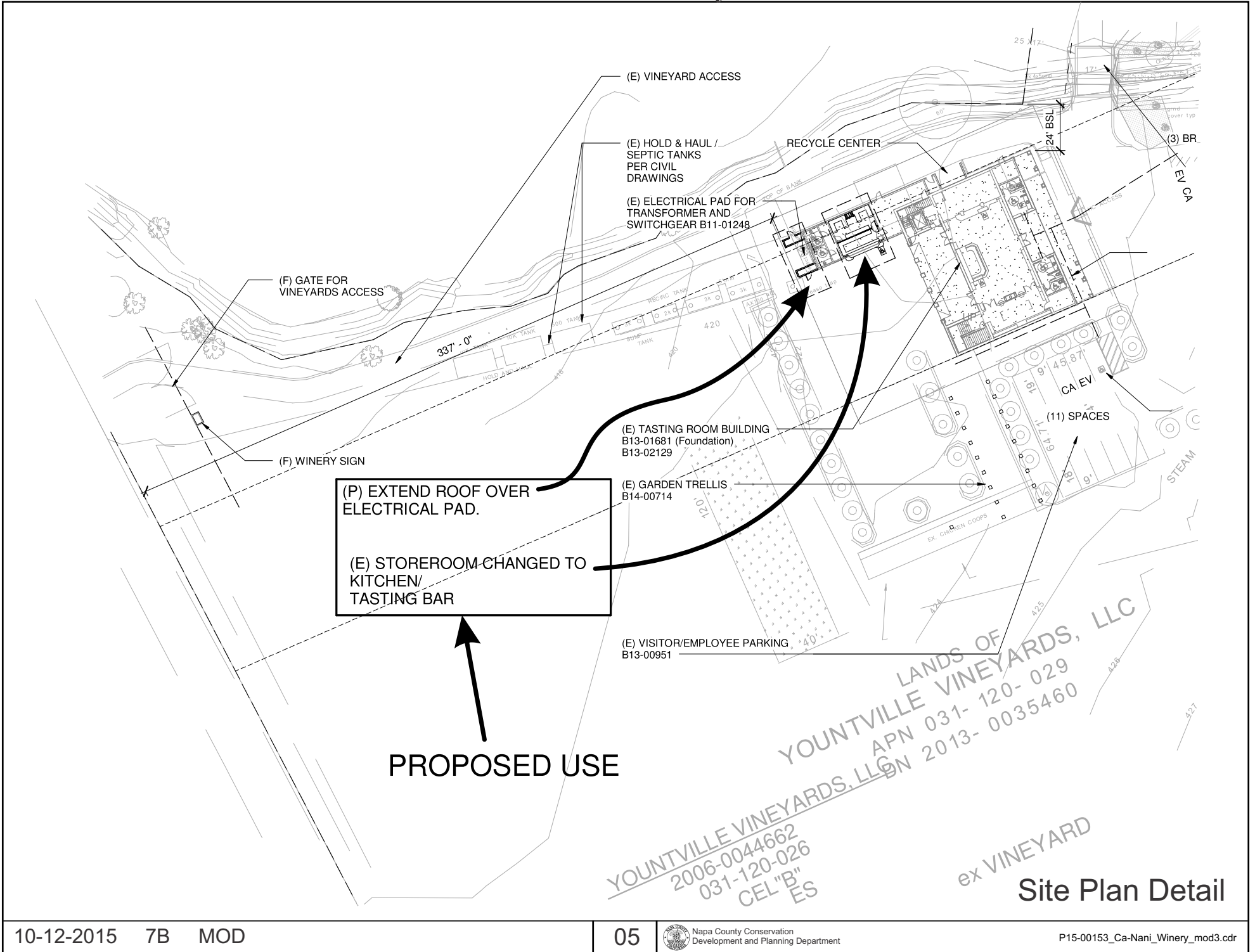


**NOTE:**  
 (E) = EXISTING ELEMENTS  
 (N) = PROPOSED ELEMENTS UNDER THIS PERMIT  
 (F) = FUTURE ELEMENTS UNDER SEPERATE PERMIT

## Site Plan

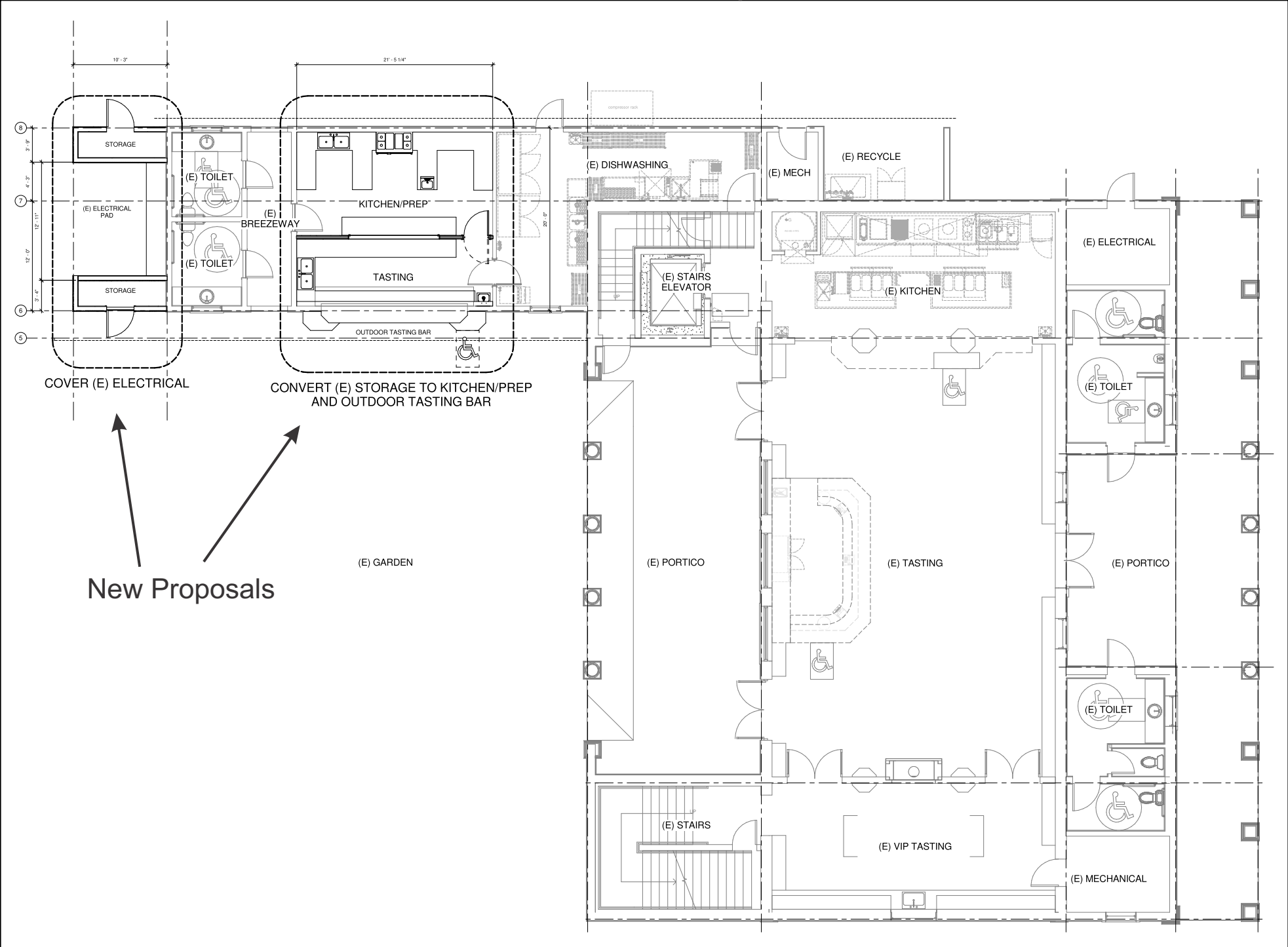


# Ca'Nani Winery



Site Plan Detail

# Ca'Nani Winery

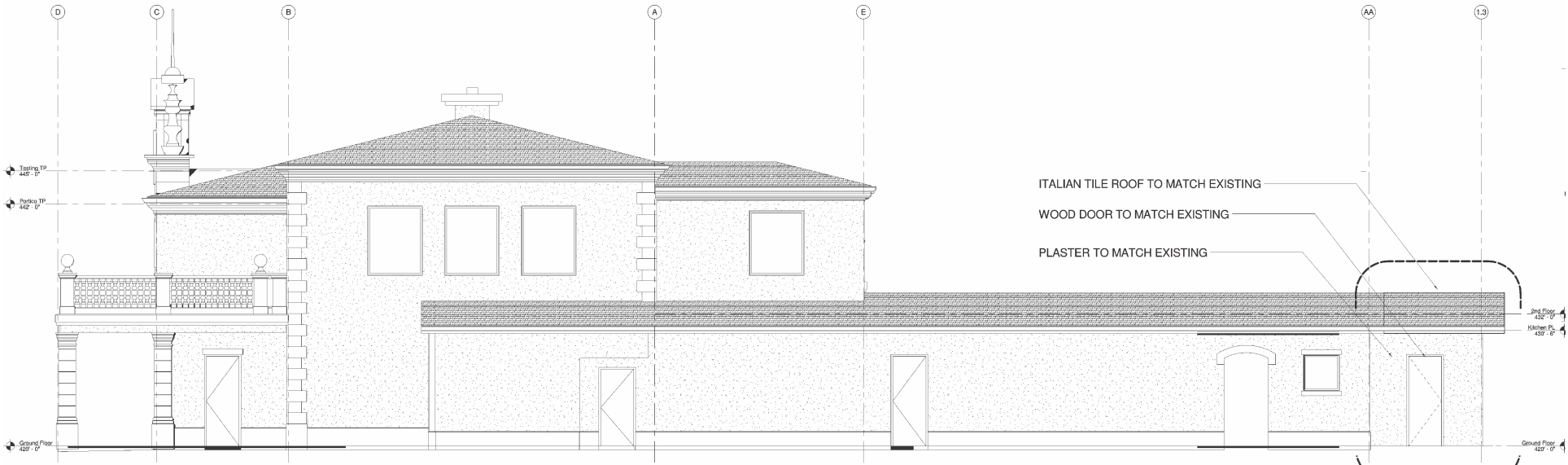


# Ca'Nani Winery



EXISTING TASTING ROOM

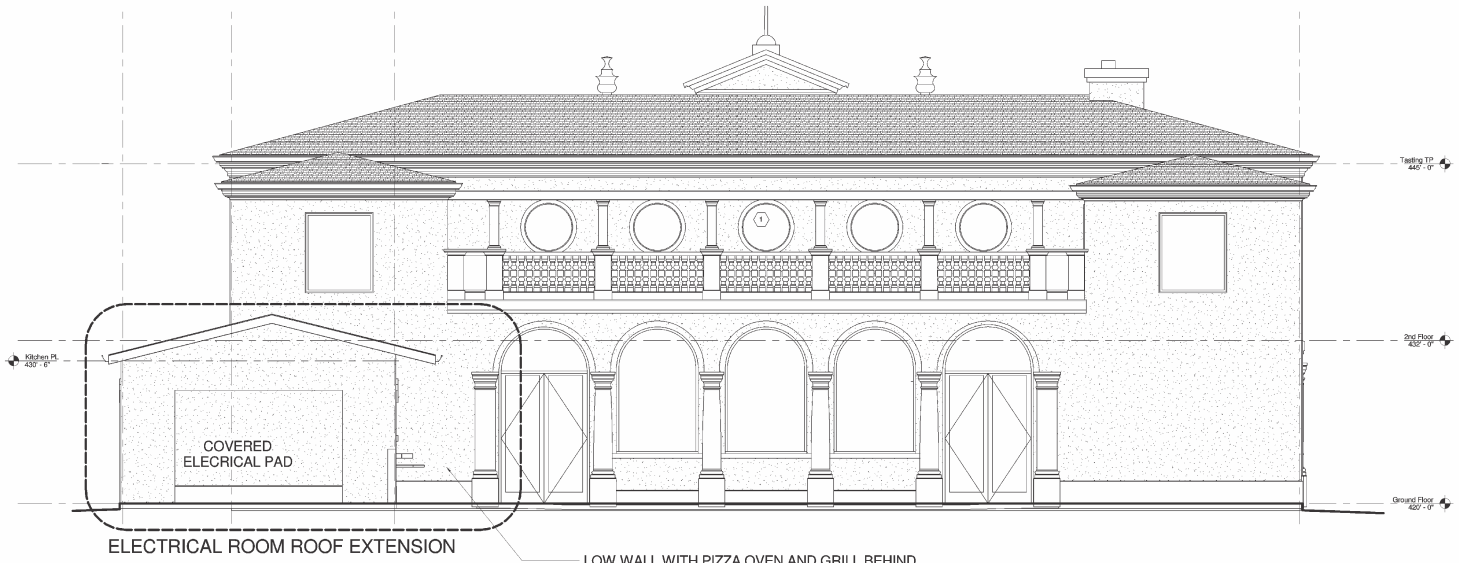
South Elevation



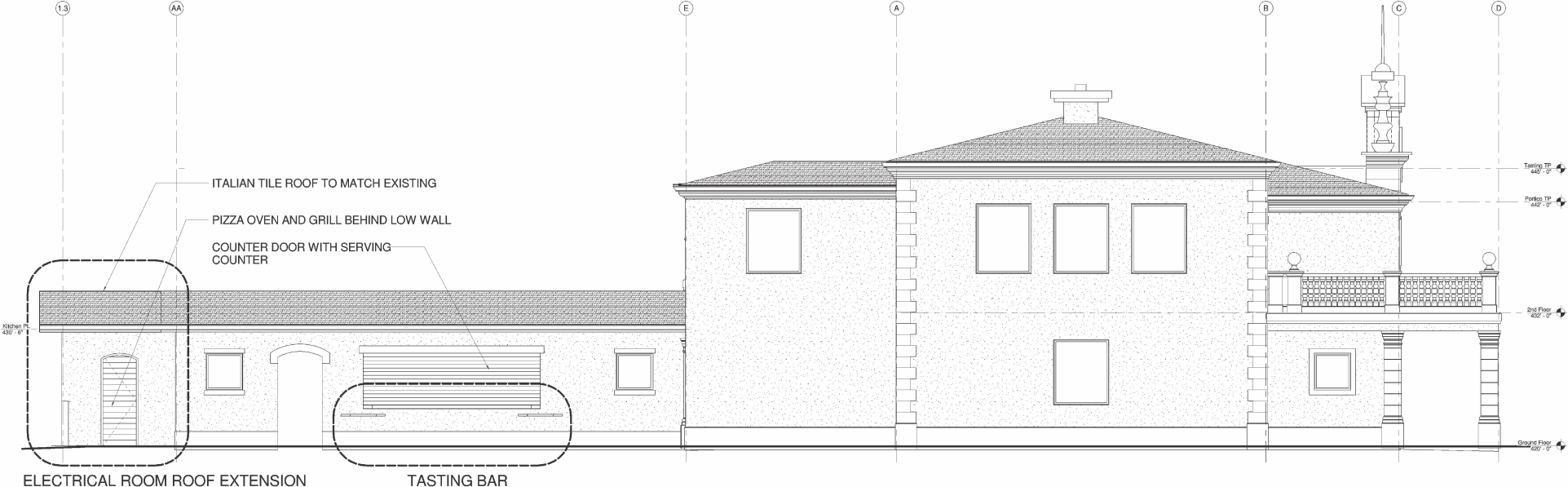
East Elevation

ELECTRICAL ROOM ROOF EXTENSION

# Ca'Nani Winery



North Elevation



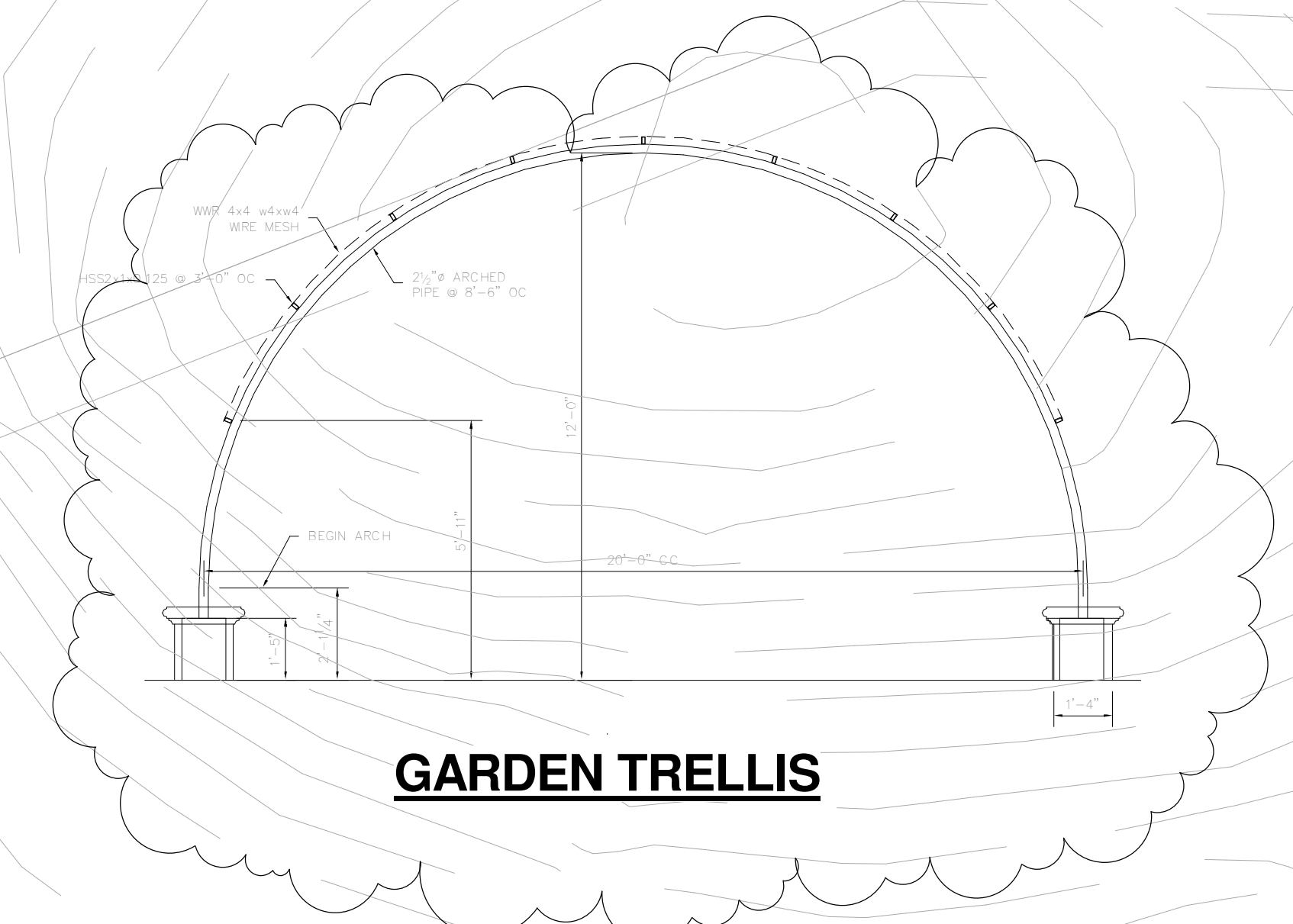
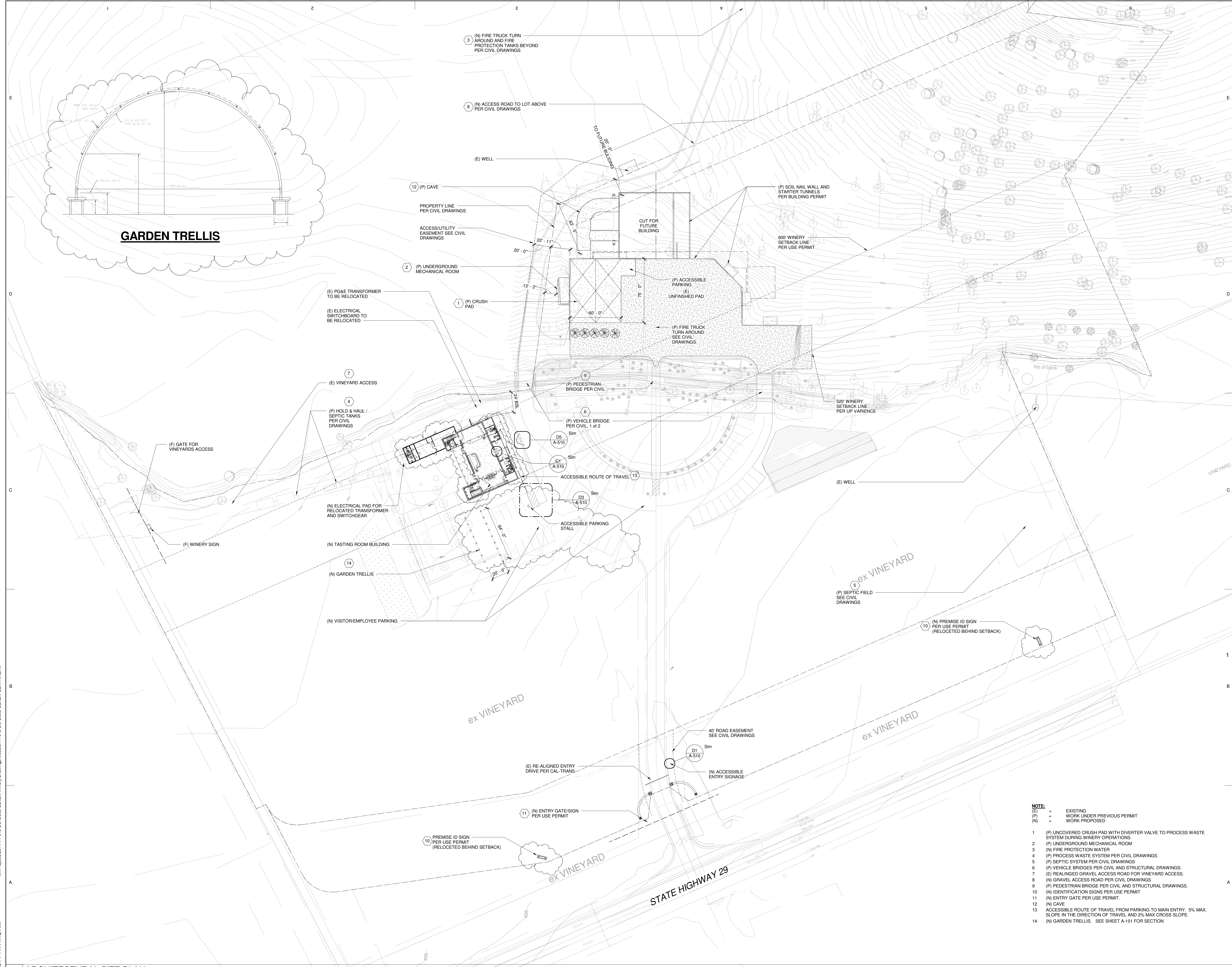
West Elevation



# P14-00141-Minor Mod

USE PERMIT

EXISTING DRAWINGS



o'malleywilsonwestphal  
 DANIEL A. WESTPHAL  
 EDWIN E. WILSON III  
 San Jose, California  
 Lic. No. 51486  
 Lic. No. 51487  
 Lic. No. 51488

CONSULTANTS

SEAL

Yountville Vineyards

**Ca' Nani Winery Tasting Room Phase 2**  
 7466 State Highway 29  
 Yountville, California 94559

No.	Description	Date
1	Revision 1	Date 1

DATE: 4/29/14  
 PROJECT NUMBER: 11-046  
 PROJECT PHASE: CD  
 DRAWN BY: DAW  
 CHECKED BY: DAW  
 Copyright 2014  
 O'Malley Wilson Westphal, Inc.  
**SHEET TITLE**  
**ARCHITECTURAL SITE PLAN**  
**SHEET NUMBER**  
 A-101

- NOTE:**  
 (E) = EXISTING  
 (P) = WORK UNDER PREVIOUS PERMIT  
 (N) = WORK PROPOSED
- (P) UNCOVERED CRUSH PAD WITH DIVERTER VALVE TO PROCESS WASTE SYSTEM DURING WINERY OPERATIONS.
  - UNDERGROUND MECHANICAL ROOM
  - (N) FIRE PROTECTION WATER
  - (P) PROCESS WASTE SYSTEM PER CIVIL DRAWINGS
  - (P) SEPTIC SYSTEM PER CIVIL DRAWINGS
  - (P) VEHICLE BRIDGES PER CIVIL AND STRUCTURAL DRAWINGS.
  - (E) REALIGNED GRAVEL ACCESS ROAD FOR VINEYARD ACCESS.
  - (N) GRAVEL ACCESS ROAD PER CIVIL DRAWINGS
  - (P) PEDESTRIAN BRIDGE PER CIVIL AND STRUCTURAL DRAWINGS.
  - (N) IDENTIFICATION SIGNS PER USE PERMIT
  - (N) ENTRY GATE PER USE PERMIT.
  - (N) CAVE
  - ACCESSIBLE ROUTE OF TRAVEL FROM PARKING TO MAIN ENTRY. 5% MAX. SLOPE IN THE DIRECTION OF TRAVEL AND 2% MAX CROSS SLOPE.
  - (N) GARDEN TRELLIS. SEE SHEET A-101 FOR SECTION

5/2/2014 11:41:12 AM M:\Projects\201111-046-Daw-Debbi-Callan-Winery Drawings\Modell\11-046-Daw-Debbi-Callan-CENTRAL.rvt

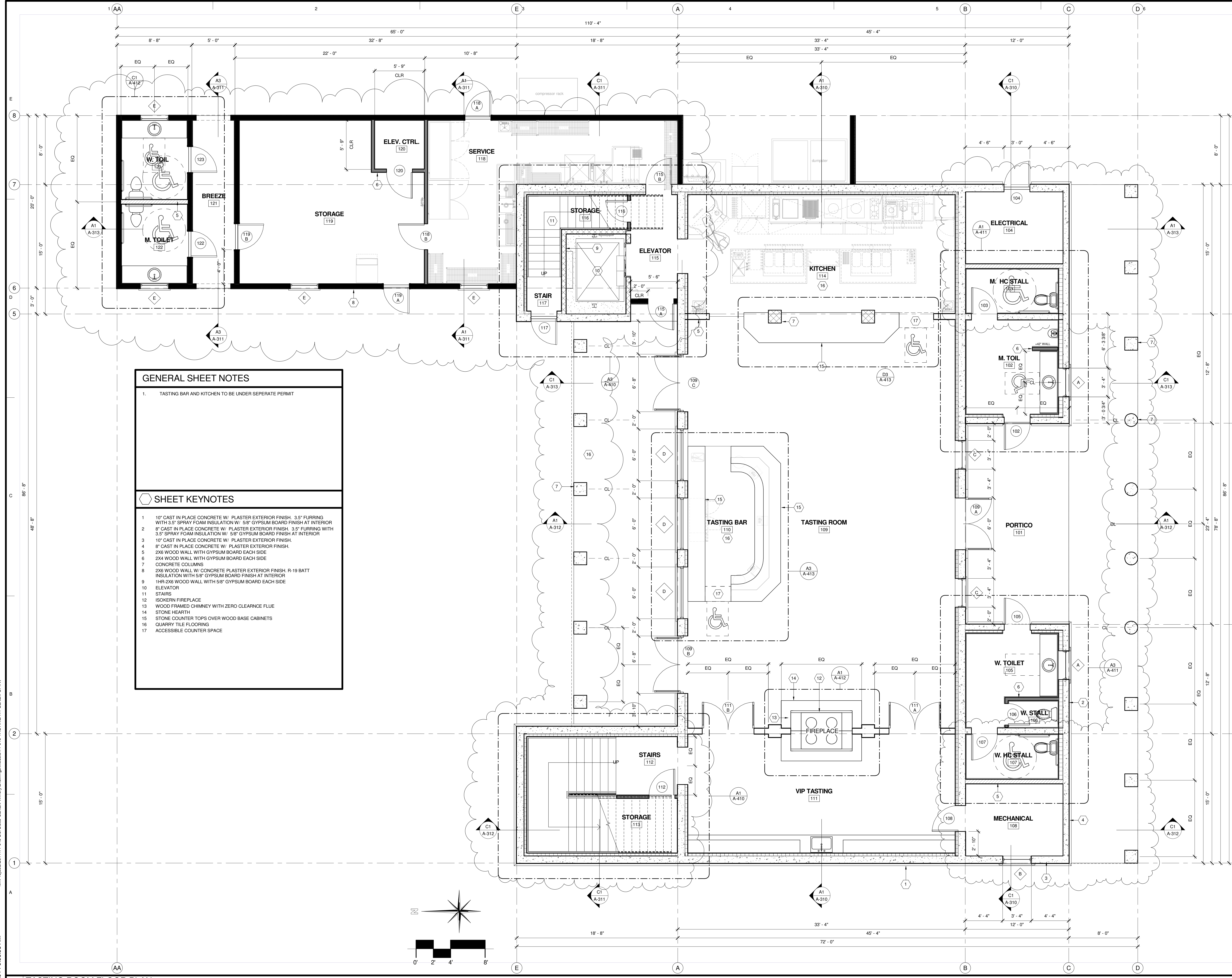
**A1 ARCHITECTURAL SITE PLAN**  
 1" = 40'-0"

No.	Description	Date
1	Revision 1	Date 1

DATE: 4/22/14  
 PROJECT NUMBER: 11-046  
 PROJECT PHASE: CD  
 DRAWN BY: DAW  
 CHECKED BY: DAW

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 SHEET TITLE  
**GROUND FLOOR PLAN**

SHEET NUMBER  
**A-110**



**GENERAL SHEET NOTES**

1. TASTING BAR AND KITCHEN TO BE UNDER SEPERATE PERMIT

---

**SHEET KEYNOTES**

1 10" CAST IN PLACE CONCRETE W/ PLASTER EXTERIOR FINISH. 3.5" FURRING WITH 3.5" SPRAY FOAM INSULATION W/ 5/8" GYPSUM BOARD FINISH AT INTERIOR  
 2 8" CAST IN PLACE CONCRETE W/ PLASTER EXTERIOR FINISH. 3.5" FURRING WITH 3.5" SPRAY FOAM INSULATION W/ 5/8" GYPSUM BOARD FINISH AT INTERIOR  
 3 10" CAST IN PLACE CONCRETE W/ PLASTER EXTERIOR FINISH  
 4 8" CAST IN PLACE CONCRETE W/ PLASTER EXTERIOR FINISH  
 5 2X6 WOOD WALL WITH GYPSUM BOARD EACH SIDE  
 6 2X4 WOOD WALL WITH GYPSUM BOARD EACH SIDE  
 7 CONCRETE COLUMNS  
 8 2X6 WOOD WALL W/ CONCRETE PLASTER EXTERIOR FINISH R-19 BATT INSULATION WITH 5/8" GYPSUM BOARD FINISH AT INTERIOR  
 9 1HR-2X6 WOOD WALL WITH 5/8" GYPSUM BOARD EACH SIDE  
 10 ELEVATOR  
 11 STAIRS  
 12 ISOKERN FIREPLACE  
 13 WOOD FRAMED CHIMNEY WITH ZERO CLEARANCE FLUE  
 14 STONE HEARTH  
 15 STONE COUNTER TOPS OVER WOOD BASE CABINETS  
 16 QUARRY TILE FLOORING  
 17 ACCESSIBLE COUNTER SPACE

M:\Projects\2011\11-046-Daw-Dette-Ca'Nani Winery\Drawings\Mode\11-046-TASTING-RM-Ca'Nani-UP.rvt  
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A1 TASTING ROOM FLOOR PLAN  
 1/4" = 1'-0"

CONSULTANTS

SEAL

Yountville Vineyards

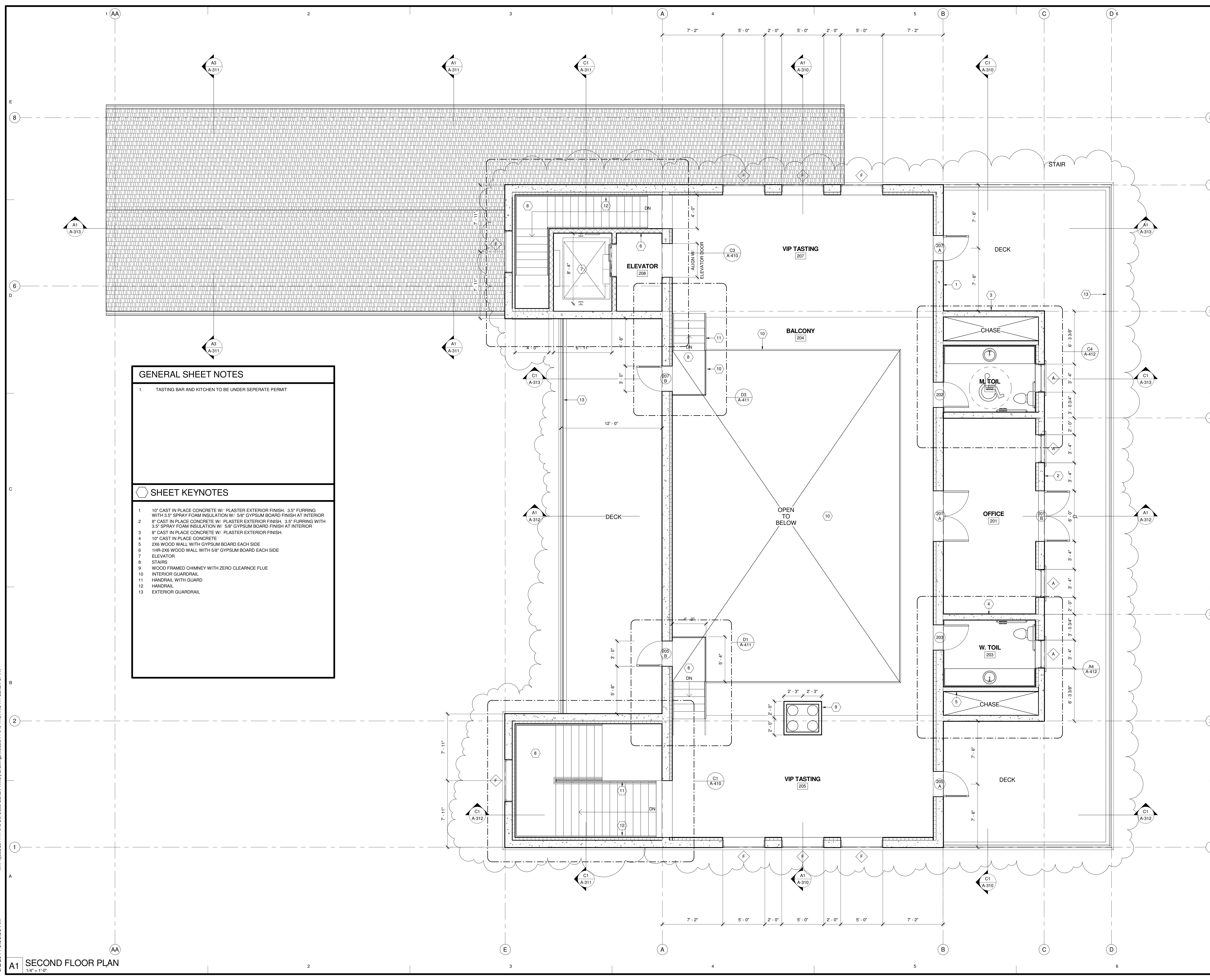
Ca' Nani Winery  
Tasting Room  
Phase 2  
7466 State Route 29  
Yountville, CA

No.	Description	Date
1	Revision 1	Date 1

DATE: 4/22/14  
PROJECT NUMBER: 11-046  
PROJECT PHASE: CD  
DRAWN BY: Author  
CHECKED BY: Checker

SHEET TITLE  
SECOND FLOOR PLAN

SHEET NUMBER  
A-120



**GENERAL SHEET NOTES**

1. TASTING BAR AND KITCHEN TO BE UNDER SEPERATE PERMIT

**SHEET KEYNOTES**

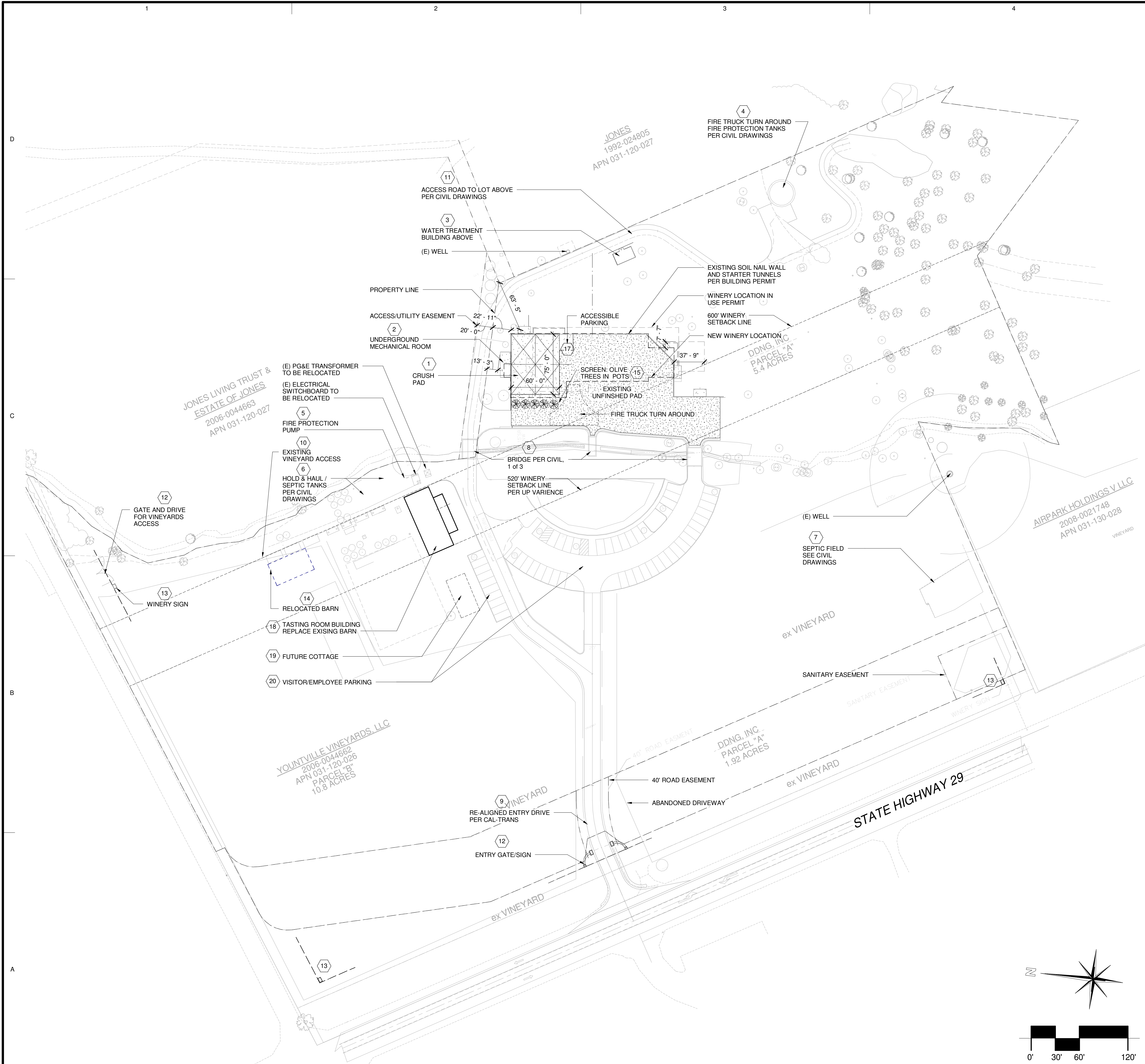
- 1 10" CAST IN PLACE CONCRETE W/ PLASTER EXTERIOR FINISH. 3.5" FURRING WITH 3.5" SPRAY FOAM INSULATION W/ 5/8" GYPSUM BOARD FINISH AT INTERIOR
- 2 8" CAST IN PLACE CONCRETE W/ PLASTER EXTERIOR FINISH. 3.5" FURRING WITH 3.5" SPRAY FOAM INSULATION W/ 5/8" GYPSUM BOARD FINISH AT INTERIOR
- 3 8" CAST IN PLACE CONCRETE W/ PLASTER EXTERIOR FINISH.
- 4 10" CAST IN PLACE CONCRETE
- 5 2X6 WOOD WALL WITH GYPSUM BOARD EACH SIDE
- 6 1XR2X6 WOOD WALL WITH 5/8" GYPSUM BOARD EACH SIDE
- 7 ELEVATOR
- 8 STAIRS
- 9 WOOD FRAMED CHIMNEY WITH ZERO CLEARANCE FLUE
- 10 INTERIOR GUARDRAIL
- 11 HANDRAIL WITH GUARD
- 12 HANDRAIL
- 13 EXTERIOR GUARDRAIL

M:\Projects\2011\11-046-046-046-D06-Ca'Nani Winery\Drawings\Modals\11-046-TASTING-R4-Ca'Nani-UP.rvt  
5/2/2014 9:55:39 AM

# P13-00054-Minor Mod

USE PERMIT

EXISTING DRAWINGS



GENERAL SHEET NOTES

- 1. ELEMENTS UNDER KEYNOTE ARE PART OF THE PROPOSED WORK. OTHER ELEMENTS ARE EXISTING.
- 2. SEE CIVIL DRAWINGS FOR PROPERTY LINES, SITE FEATURES, UTILITES, PARKING, ETC.

SHEET KEYNOTES

- 1 UNCOVERED CRUSH PAD WITH DIVERTER VALVE TO PROCESS WASTE SYSTEM DURING WINERY OPERATIONS. PAD TO BE RECONFIGURED WHEN WINERY BUILDING CONSTRUCTED.
- 2 UNDERGROUND MECHANICAL ROOM
- 3 WATER TREATMENT BUILDING
- 4 FIRE PROTECTION WATER
- 5 FIRE PROTECTION PUMP
- 6 PROCESS WASTE SYSTEM PER CIVIL DRAWINGS
- 7 SEPTIC SYSTEM PER CIVIL DRAWINGS
- 8 BRIDGE PER EXISTING GRADING PERMIT
- 9 REALIGNED PAVED DRIVEWAY. ACCESS FOR VINEYARD OPERATIONS, WINERY AND VISITORS.
- 10 REALIGNED GRAVEL ACCESS ROAD FOR VINEYARD ACCESS. NO WINERY OPERATIONS OR VISITORS TO ACCESS SITE FROM THIS DRIVEWAY.
- 11 GRAVEL ACCESS ROAD
- 12 ENTRY GATE PER USE PERMIT.
- 13 IDENTIFICATION SIGNS PER USE PERMIT
- 14 RELOCATED DEMOLISHED BARN.
- 15 OLIVE TREES IN LARGE PLANTERS TO SCREEN CRUSH PAD OPERATIONS.
- 16 (F) REPLACEMENT LOCATION OF GUEST COTTAGE PER USE PERMIT.
- 17 ACCESSIBLE PARKING STALL
- 18 TASTING ROOM BUILDING AT LOCATION OF EXISTING GARAGE
- 19 FUTURE REPLACEMENT LOCATION OF GUEST COTTAGE PER USE PERMIT.
- 20 CRUSHED GRANITE PARKING

A/E ALLIANCE

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EDWIN E. WILSON III

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California 95405  
tel 707 636 0828  
fax 707 636 0829

CONSULTANTS

--	--

SEAL

--	--

Yountville Vineyards

Ca' Nani Winery  
Crush Pad - Phase I

7466 State Highway 29  
Yountville, California 94559

No.	Description	Date

DATE:	6/12/13
PROJECT NUMBER:	11-046
PROJECT PHASE:	CD
DRAWN BY:	DAW
CHECKED BY:	DAW

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O'Malley Wilson Westphal, Inc.

SHEET TITLE

## ARCHITECTURAL SITE PLAN

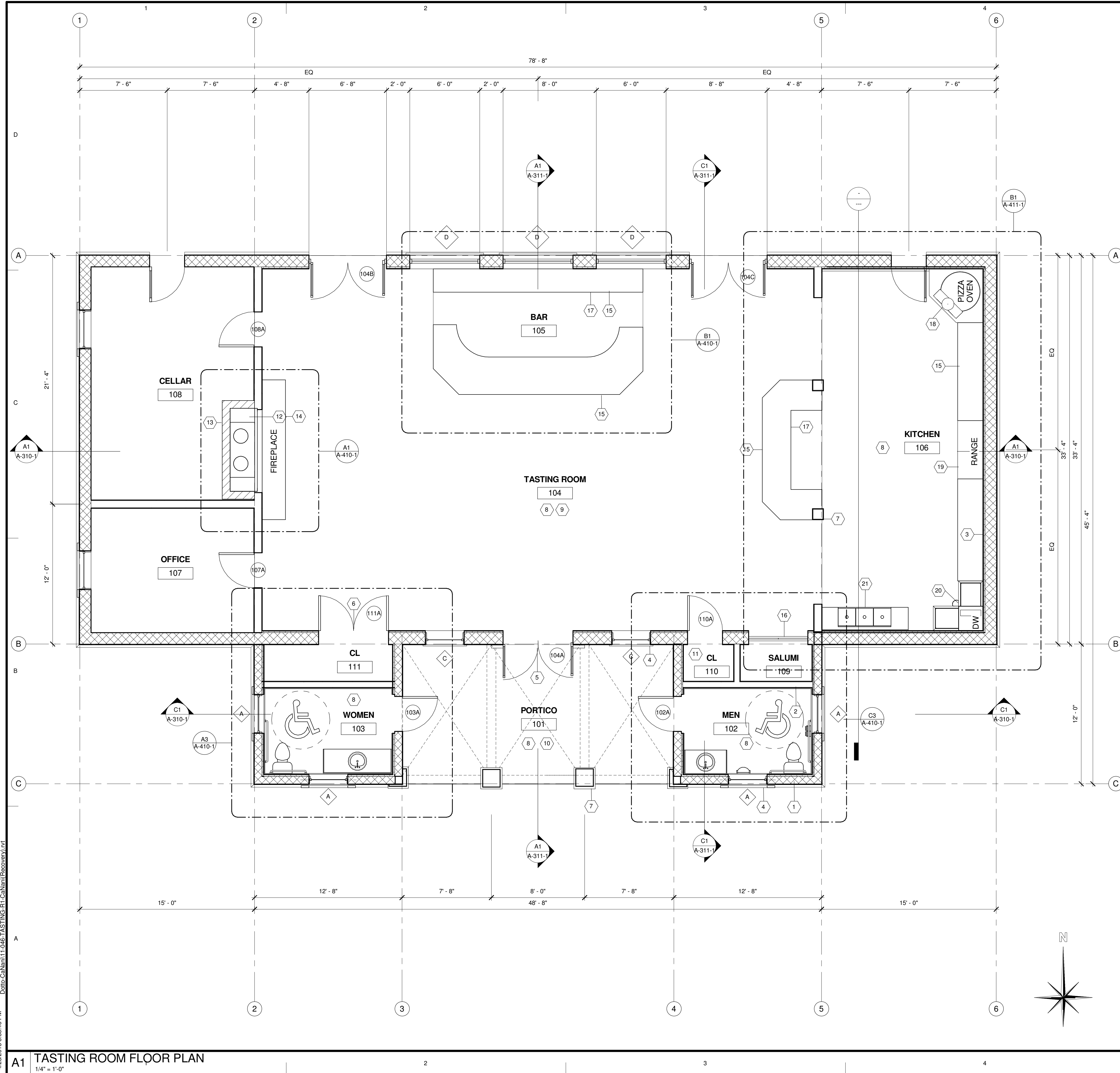
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**A1** ARCHITECTURAL SITE PLAN

1" = 60'-0"



**SHEET NOTES**

1. TASTING ROOM BUILDING REPLACING EXISTING BUILDING

**KEY NOTES**

- 1 8" CMU WITH PLASTER EXTERIOR. 2X FLAT WITH 1.5" RIGID INSULATION AND PLASTER FINISH AT INTERIOR.
- 2 2X6 WOOD WALL WITH PLASTER EACH SIDE
- 3 BRICK VENEER FINISH IN KITCHEN WHERE STAINLESS STEEL IS NOT REQUIRED.
- 4 STEEL FRAME WINDOW. THERMALLY BROKEN FRAME WITH DUAL PANE GLASS
- 5 STEEL FRAME DOOR. THERMALLY BROKEN FRAME WITH DUAL PANE GLASS
- 6 WOOD DOOR
- 7 CONCRETE COLUMNS
- 8 QUARRY TILE FLOORING
- 9 BARREL VAULT PLASTER CEILING
- 10 GROIN VAULT CEILING
- 11 HVAC EQUIPMENT ABOVE CEILING. PROVIDE ATTIC ACCESS AND LADDER IN CLOSET
- 12 ISOKERN FIREPLACE
- 13 BRICK CHIMNEY
- 14 STONE HEARTH
- 15 STONE COUNTER TOPS OVER WOOD BASE CABINETS
- 16 OPERABLE DISPLAY WINDOW
- 17 HAND WASH SINK LOCATION TO BE DETERMINED
- 18 PIZZA OVEN. VENT TO CHIMNEY
- 19 GAS RANGE. HOOD ABOVE TO VENT TO CHIMNEY
- 20 DISHWASHER
- 21 3 COMPARTMENT SINK

A/E ALLIANCE

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California 95405  
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fax 707 636 0829

**CONSULTANTS**

**SEAL**

**Yountville Vineyards**

**Ca' Nani Winery**

7466 State Route 29  
Yountville, CA

No.	Description	Date

DATE:	4/23/13
PROJECT NUMBER:	11-046
PROJECT PHASE:	DD
DRAWN BY:	DAW
CHECKED BY:	DAW
Copyright 2013 O'Malley Wilson Westphal, Inc.	

**SHEET TITLE**

**FLOOR PLAN**

**SHEET NUMBER**

**A-110-1**

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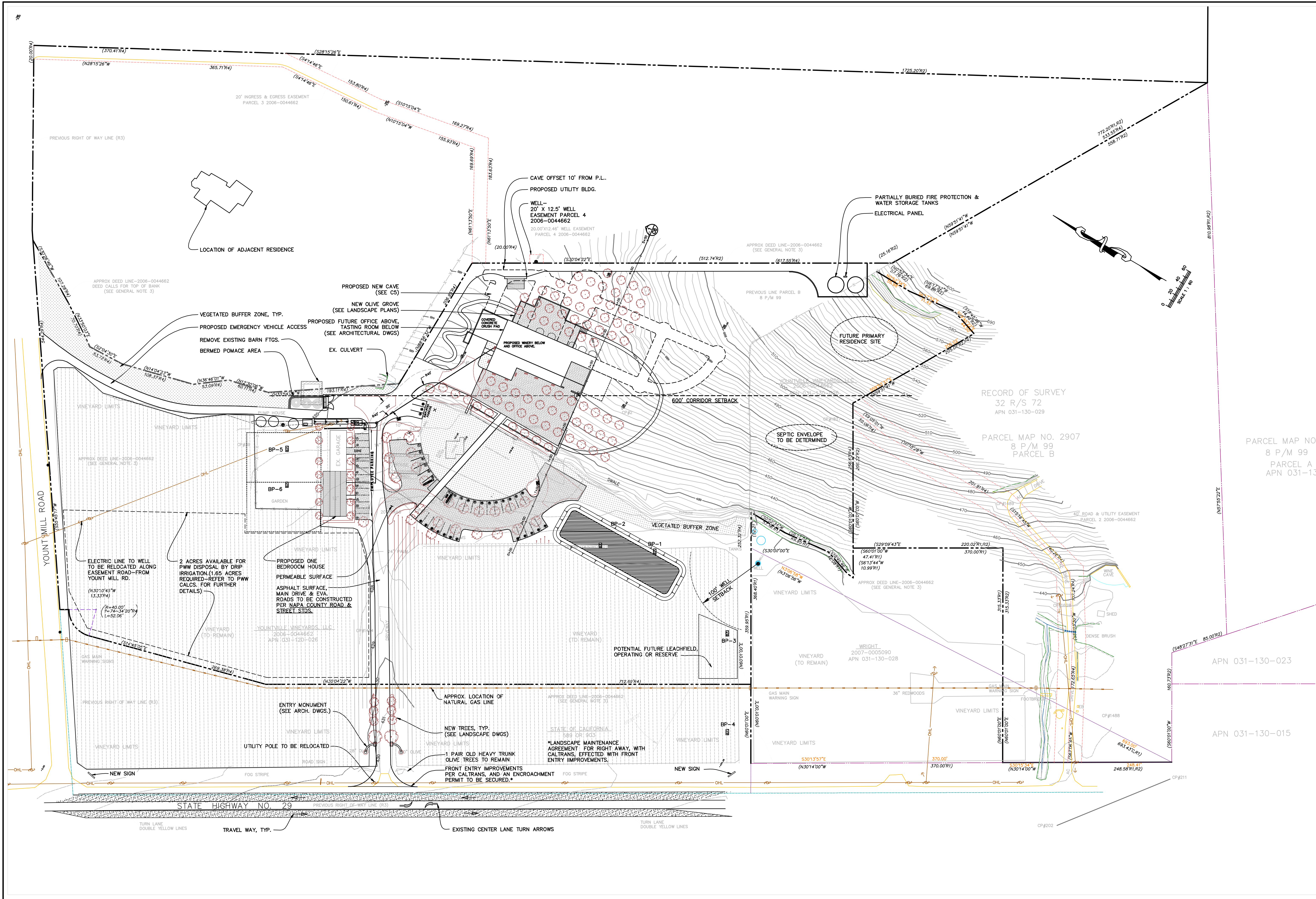
**A1 TASTING ROOM FLOOR PLAN**  
1/4" = 1'-0"

**P09-001985**

**USE PERMIT**

**EXISTING DRAWINGS**

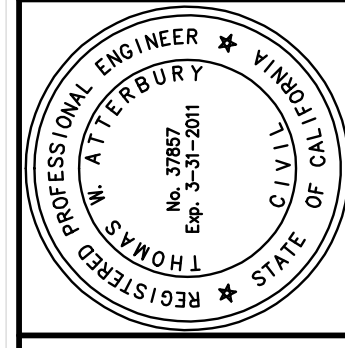




REVISION	DESCRIPTION	BY	DATE
Δ			

**ATTERBURY & ASSOCIATES, INC.**  
Civil Engineering - Land Planning  
16109 Healdsburg Avenue, Suite D, Healdsburg, CA 95448  
Phone: (707) 433-0134, Fax: (707) 433-0135

APN 031-120-026  
031-130-026



CA' NANI WINERY  
SITE PLAN

YOUNTVILLE VINEYARDS, LLC  
7466 STATE ROUTE 29  
YOUNTVILLE, CA 94559

Date: 05/11/10  
Scale: 1 : 60  
Drawn: DL  
Job: 09-25  
Sheet: C3

OWNER

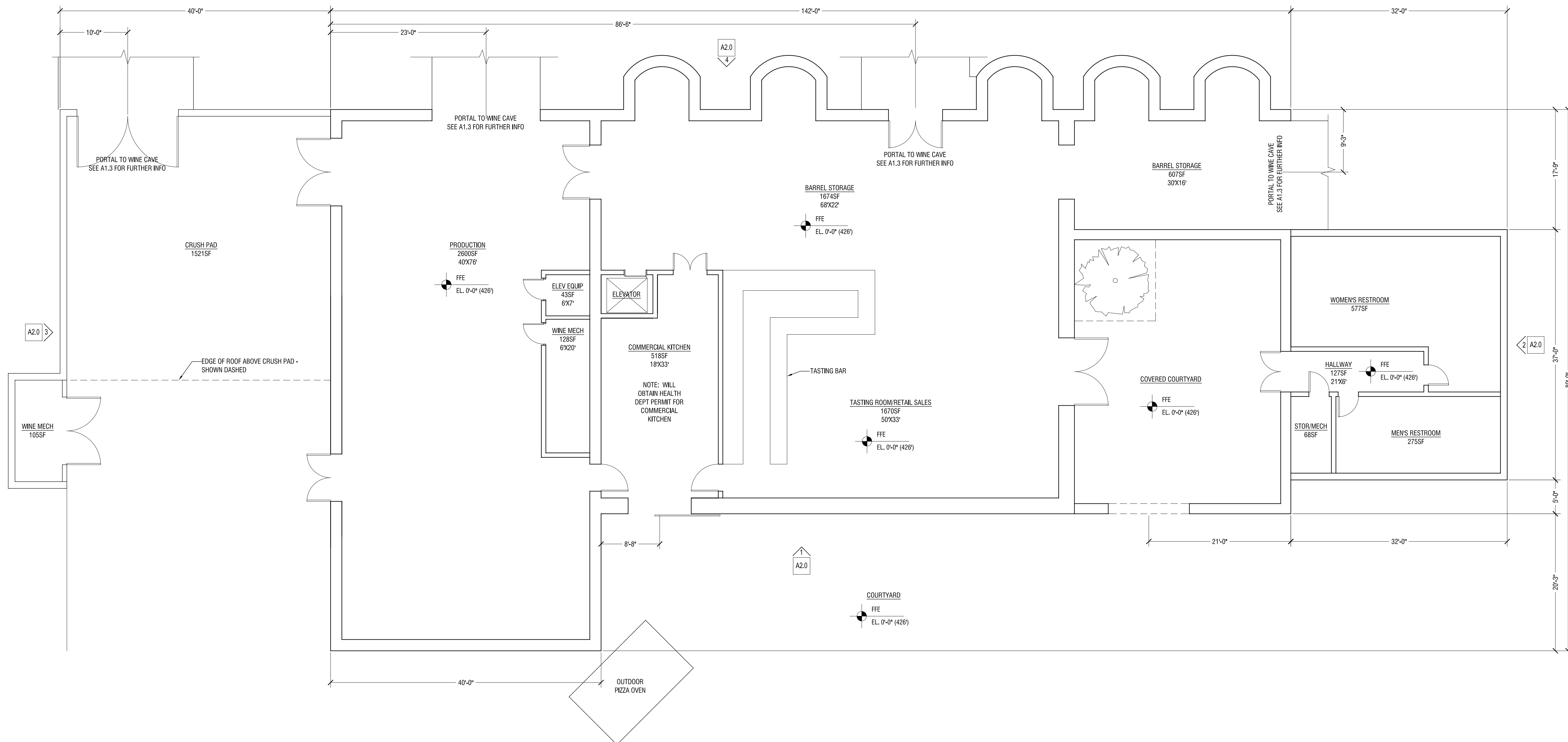
YOUNTVILLE VINEYARDS, LLC  
 1291 WEST ZINFANDEL LANE  
 ST HELENA CALIFORNIA 94574

ARCHITECT/LANDSCAPE ARCHITECT

CHANDLER,PAVLAK  
 PO BOX 648  
 GEYSERVILLE CALIFORNIA 95441  
 CONTACT: JOSH CHANDLER  
 TEL 707.857.1908  
 FAX 707.857.1935  
 CONTACT: PAUL PAVLAK  
 TEL 707.591.4119  
 FAX 707.824.8775

ARCHITECTURAL INTENT

PROPOSED STRUCTURE SITED BEHIND 600 FOOT SETBACK FROM ROAD, PARTIALLY BURIED IN HILLSIDE WITH SOLID MASONRY WALLS SHEATHED IN BOTH NATURAL STONE AND NATURAL TERRA COTTA TO BOTH AESTHETICALLY PLEASE YET BLEND INTO LANDSCAPE.  
 SETTING STRUCTURE INTO HILLSIDE REDUCES SCALE AND HEIGHT OF STRUCTURE.  
 SETTING STRUCTURE INTO HILLSIDE ALONG WITH MINIMAL FENESTRATION AND SOLID MASONRY WALLS ALLOWS FIRST LEVEL TO TAKE ADVANTAGE OF NATURAL INSULATION AND COOLING OF THE EARTH, THEREBY REDUCING ENERGY CONSUMPTION.  
 PARTIAL GREEN ROOF DECKS AT SECOND STORY WALK-OUT EXTERIOR SPACES TO MITIGATE STORMWATER RUN-OFF, ASSIST IN BUILDING COOLING AND REDUCTION OF ENERGY CONSUMPTION, AS WELL AS FURTHER BEAUTIFY AND MINIMIZE VISUAL SCALE OF STRUCTURE.  
 SOLID MASONRY WALLS WITH NATURAL STONE AND NATURAL TERRA COTTA PROVIDE AN EXTREMELY DURABLE, LOW MAINTENANCE BUILDING FINISH WITH HIGH AESTHETIC VALUE.  
 FLAT ROOF AND PARAPET ALLOW FOR DISCREET YET LARGE SOLAR PANEL INSTALLATION ON SECOND STORY ROOF SURFACE.  
 SETTING STRUCTURE INTO HILLSIDE ALLOWS FOR FIRE EXITING DIRECTLY TO GRADE ELIMINATING NEED FOR INTERIOR EXITS/EXIT STAIRS.



1 GROUND FLOOR PLAN  
 1/8"=1'-0"

DATE ISSUED	05.05.2010
JOB NUMBER	CP 02.09
FILENAME	-
SCALE	1/8"=1'-0"

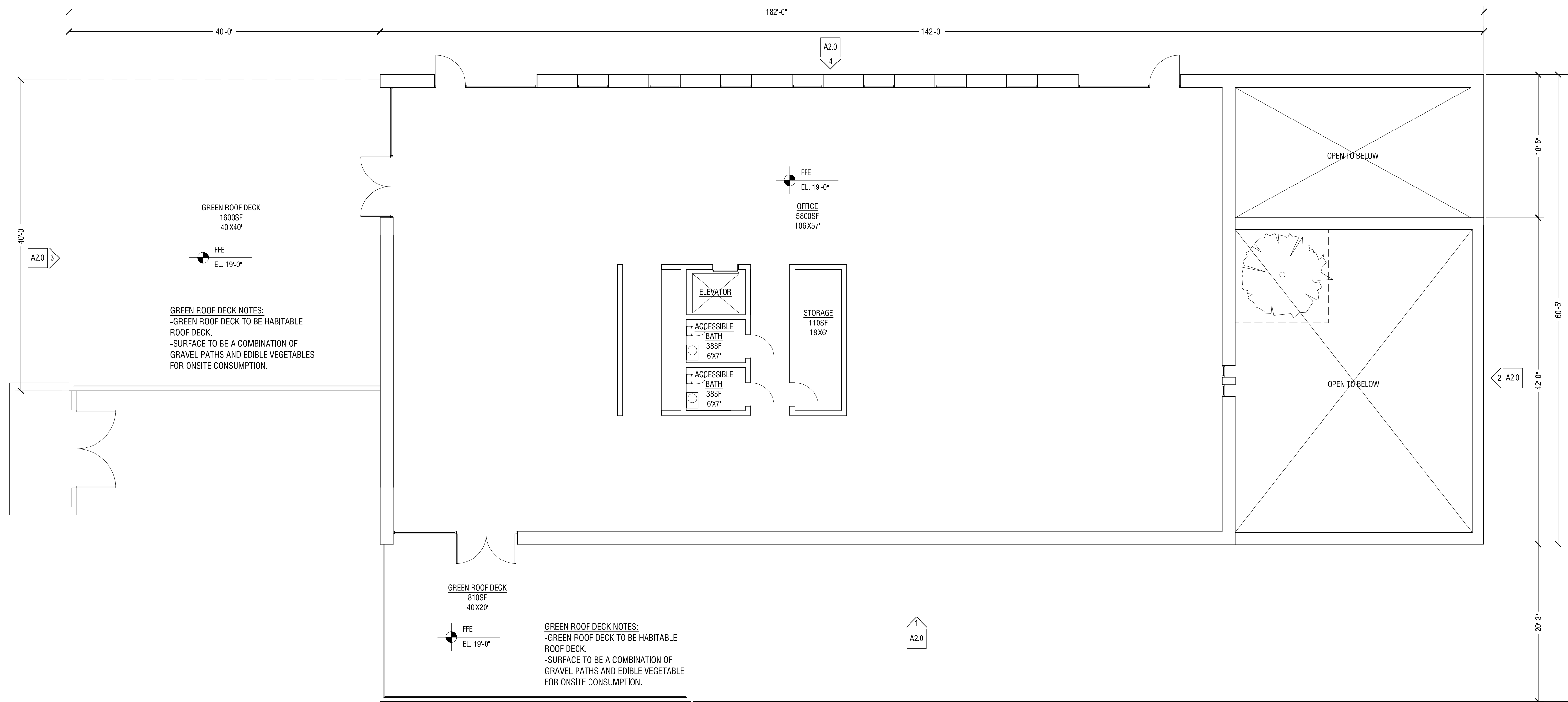
A1.0

OWNER

YOUNTVILLE VINEYARDS, LLC  
 1291 WEST ZINFANDEL LANE  
 ST HELENA CALIFORNIA 94574

ARCHITECT/LANDSCAPE ARCHITECT

CHANDLER, PAVLAK  
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 CONTACT: JOSH CHANDLER  
 TEL 707.857.1908  
 FAX 707.857.1935  
 CONTACT: PAUL PAVLAK  
 TEL 707.591.4119  
 FAX 707.824.8775



1 SECOND FLOOR PLAN  
 1/8"=1'-0"

DATE ISSUED	05.05.2010
JOB NUMBER	CP 02.09
FILENAME	-
SCALE	1/8"=1'-0"

# A1.1

FLOOR PLANS

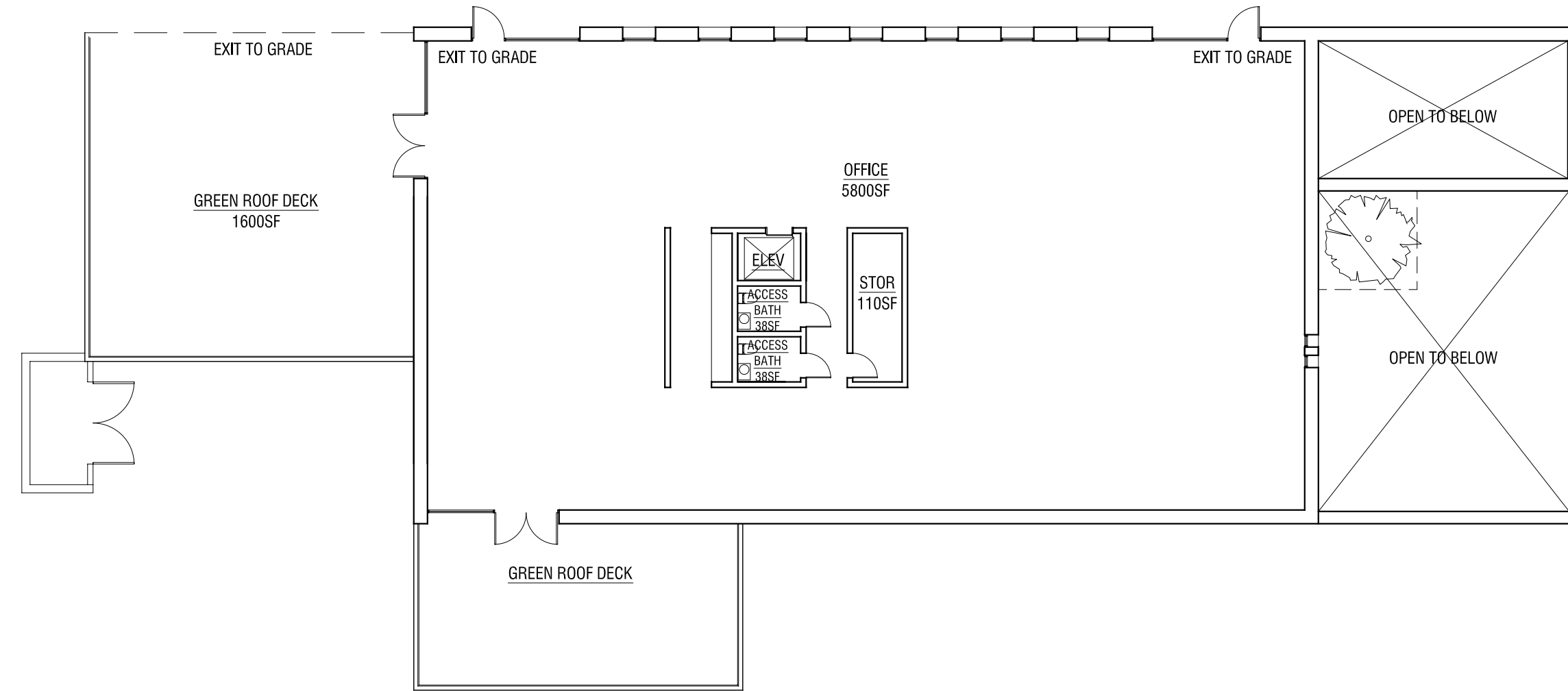
OWNER

YOUNTVILLE VINEYARDS, LLC  
 1291 WEST ZINFANDEL LANE  
 ST HELENA CALIFORNIA 94574

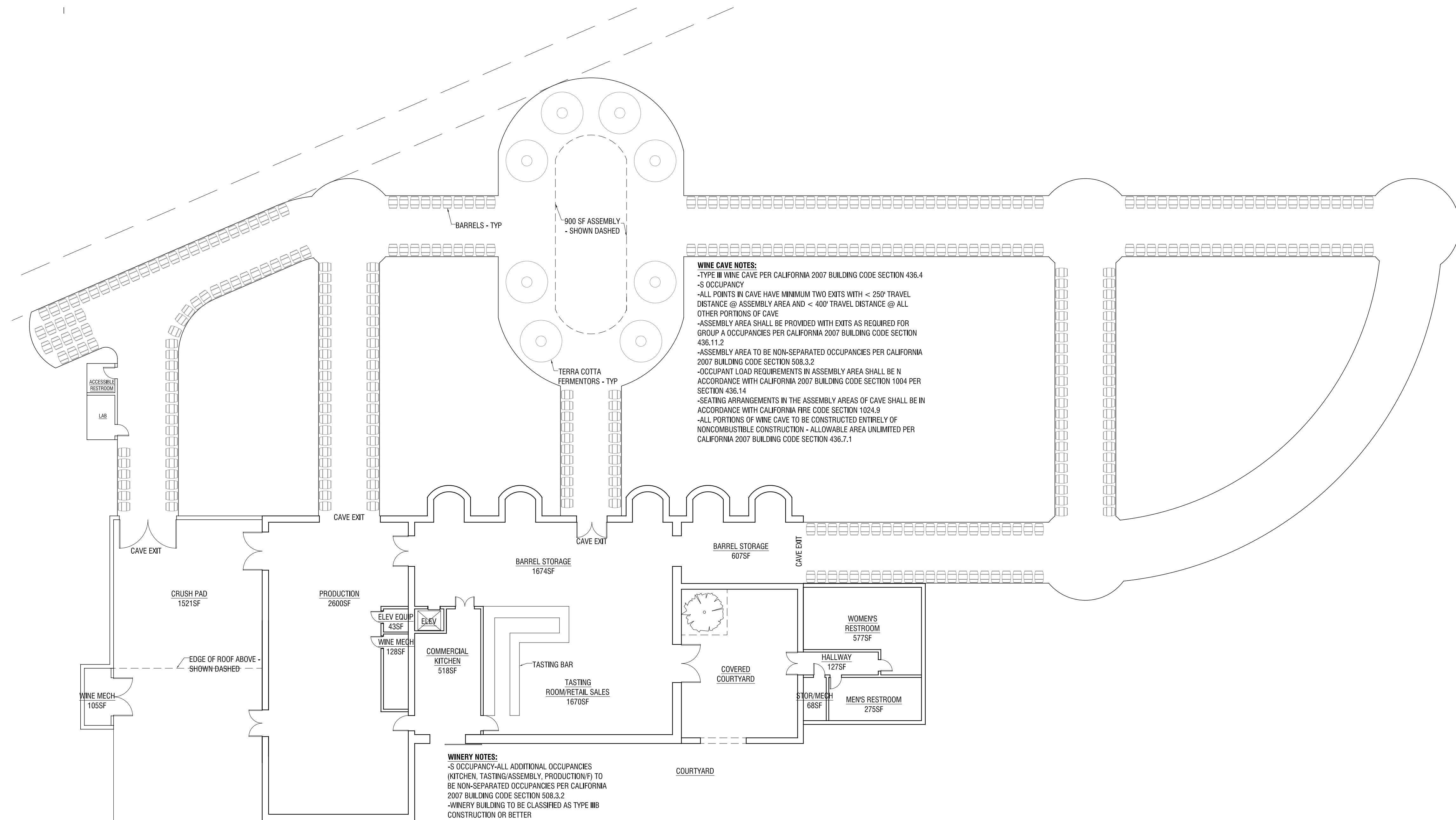
ARCHITECT/LANDSCAPE ARCHITECT

CHANDLER, PAVLAK  
 PO BOX 648  
 GEYSERVILLE CALIFORNIA 95441  
 CONTACT: JOSH CHANDLER  
 TEL 707.857.1908  
 FAX 707.857.1935  
 CONTACT: PAUL PAVLAK  
 TEL 707.591.4119  
 FAX 707.824.8775

**WINERY NOTES:**  
 -NO INTERNAL STAIRS TO SECOND STORY - ALL  
 EXITS DIRECTLY TO GRADE - SEE SITE PLAN AND  
 LANDSCAPE PLAN FOR FURTHER INFORMATION



2 SECOND STORY FLOOR PLAN  
 1/16"=1'-0"



1 FIRST STORY/CAVE FLOOR PLAN  
 1/16"=1'-0"

DATE ISSUED	05.05.2010
JOB NUMBER	CP 02.09
FILENAME	-
SCALE	1/16"=1'-0"

**A1.3**