

**USE PERMIT: PROJECT STATEMENT, Sawyer Cellars
759 Technology Way, Napa**

APPLICANT:

Sawyer Cellars
Att: Charles Sawyer
P.O. Box 550658
Jacksonville, FL 34295

APPLICANT REPRESENTATIVE:

Beth Painter
Balanced Planning
1455 First Street, Suite 217
Napa, CA 94559

APN: 057-330-005 **ACREAGE:** 3,743 sf (condo. Unit)

GENERAL PLAN MAP DESIGNATION: IP, Industrial Park

ZONING DESIGNATION: IP, Industrial Park
AC, Airport Compatibility

GENERAL PROJECT DESCRIPTION:

The project is located at 759 Technology Way, within the Industrial Area of the Napa County Airport Industrial Park. The property was developed with 14 industrial condominium units approved under Use Permit P06-0038-UP. The applicant's principal, Charles Sawyer, is in the process of purchasing 4 units within this condominium development. Three of the units will be used for permitted warehouse use. The fourth unit will be used for production of Sawyer Cellars wines, a small brand established in 2006. Maximum annual production will be 10,000 gallons. The winery production area is 2,875 square feet in size (barrel storage, crush area, tank area, barrel washing). Another 868 square feet will be office, tasting room, restroom and break room. The restroom and break room will be used by the adjacent warehouse employees and the winery employees. Therefore, the total winery area is 3,743 sf. The majority of the space (77%) will be production area and the remaining 23% is accessory area.

The original Use Permit was provided a Will Serve for water from the City of American Canyon. A new request was made to American Canyon for water supply and a new Will Serve letter was issued by American Canyon on February 17, 2015. Napa Sanitation District (NSD) provides domestic sewer service. A request was filed with NSD to install a "Hold and Haul" system to collect winery wastewater and truck it to the East Bay Municipal Utility District (Hold and Haul Feasibility Report prepared by RSA+). NSD approved the hold and haul request on January 7, 2015.

The winery will be operated by 1 full time and 1 part time employee. Retail sales and tours and tasting will be a minor component of the winery as described in the application materials. There is no outside storage or need for external changes to the building. The only interior change is to disconnect the existing floor drain from the NSD and install the tank required for Hold and Haul. Traffic from the winery use will generate a very low number of vehicle trips, consistent with the surrounding warehouse and industrial uses.

BALANCED PLANNING, INC

TO: EMILY HEDGE **BP**
FROM: BETH PAINTER
SUBJECT: SAWYER CELLARS, P14-00353
DATE: APRIL 10, 2015
CC:

RECEIVED
R.E.B.

APR 10 2015

Napa County Planning, Building
& Environmental Services

Emily:

Enclosed are clarifications outlined in your March 27, 2014 letter.

1. Updated site plan listing equipment rental use and re-labeling winery area.
2. Updated project description to clarify the square footage of production and accessory space, consistent with the updated site plan.
3. Supporting site plan showing 1,024 sf of indoor area available for the one annual event requested for 100 persons. The traffic form has not been updated, pending the ability to allow for the one larger annual event.

Balanced Planning, Inc. 1455 First Street, Suite 217
Napa, CA 94559

Phone: (707) 287-9089
e-mail: beth@bnapa.com

January 13, 2015

Emily Hedge
1195 Third Street, Suite 210
Napa, CA 94559

SUBJECT: SAWYER CELLARS, 759 TECHNOLOGY WAY
APN: 057-330-005, P14-00353

Dear Emily:

RECEIVED

JAN 13 2015

Napa County Planning, Building
& Environmental Services


*AmCan Will Serve
received 2/27/15 -e.h.*

The following information is provided in response to your November 26 letter to supplement the October 31, 2014 request for a Winery Use Permit at 759 Technology Way.

1. The Will Serve letter from American Canyon is in process and we will provide you with a copy as soon as it is available. Because there is only one meter for the building, the building owner must file this request.
2. Napa Sanitation District has issued a Will Serve letter. A copy is attached for your records.
3. Tastings would take place in one of the office spaces. The site plan has been modified to include this information. The occasional event would include use of the barrel storage area.
4. The square footage of the office, bathrooms, break room has been added and the project description updated. Both the project description and site plan are attached.
5. The current waste flow listed in the application of 45 GPD is for all seven units based upon actual water use records. The anticipated future domestic waste flows of 45 GPD is for the winery area only. Hold and haul is not included in this calculation.
6. The project was constructed as a part of two buildings, each with 7 condominium spaces. A total of 96 parking spaces were included in the total project. Of that 53 are for the building that is associated with this project and 43 are for the sister building. Therefore there are 7.5 spaces per unit or 30 spaces for the 4 units. A site plan showing the existing parking is enclosed.
7. Page 15 of the application has been updated to include traffic calculations for the one 100 person marketing event.

8. The traffic associated with hold and haul is 20 trucks per year. It is a higher volume during crush, but would not exceed 2 trucks per week and well under one truck per day.
9. Sawyer Cellars intends to install tenant identification signs as described in Napa Zoning Code Section 18.116.045 B(3)(a and b). *All tenant identification signs shall be wall-mounted near the tenant's public entry door and shall be standardized to the extent possible to conform to other tenant identification signs on the same building, and to reflect the proportional occupancy of space in the same building. Tenant sign text shall be limited to address, name, and symbol/logo.*
10. The current use is storage of finished wine and its' distribution and office functions.
11. There is no kitchen and there will be no meals prepared for the public at this facility. There is only an existing break room for employees. The break room has a sink and refrigerator and counter space.
12. Since the building is already constructed and the construction is recent, voluntary measures for Greenhouse Gas reductions are limited. Both energy efficiencies and use of recycled water are already included for this building. The applicant shall make improvements to the energy efficiencies by adding insulation and will use low flow water nozzles for barrel washing. In addition, the cooling and refrigeration systems will be run predominantly during off-peak hours. A copy of the Voluntary Best Management Practices Checklist is enclosed, that focuses on available measures associated with the efficiency of operations.

Sawyer Cellars would appreciate your assistance in moving this forward. Please contact me if you need additional information


Beth Painter

Cc: Charles Sawyer
Mathew Eisenberg
Hugh Linn

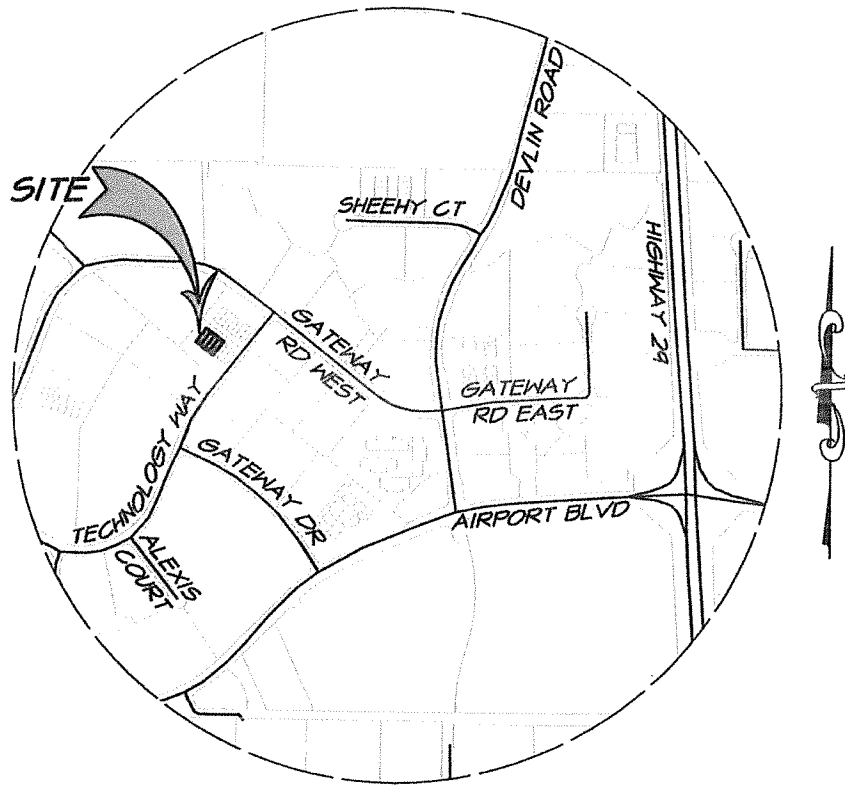
Enclosures

Updated application materials
NSD Will Serve letter, dated January 7, 2015
Parking Site Plan
Updated Site Plan
Voluntary Best Management Practices form

SAWYER CELLARS VICINITY MAP

NAPA COUNTY

CALIFORNIA



VICINITY MAP

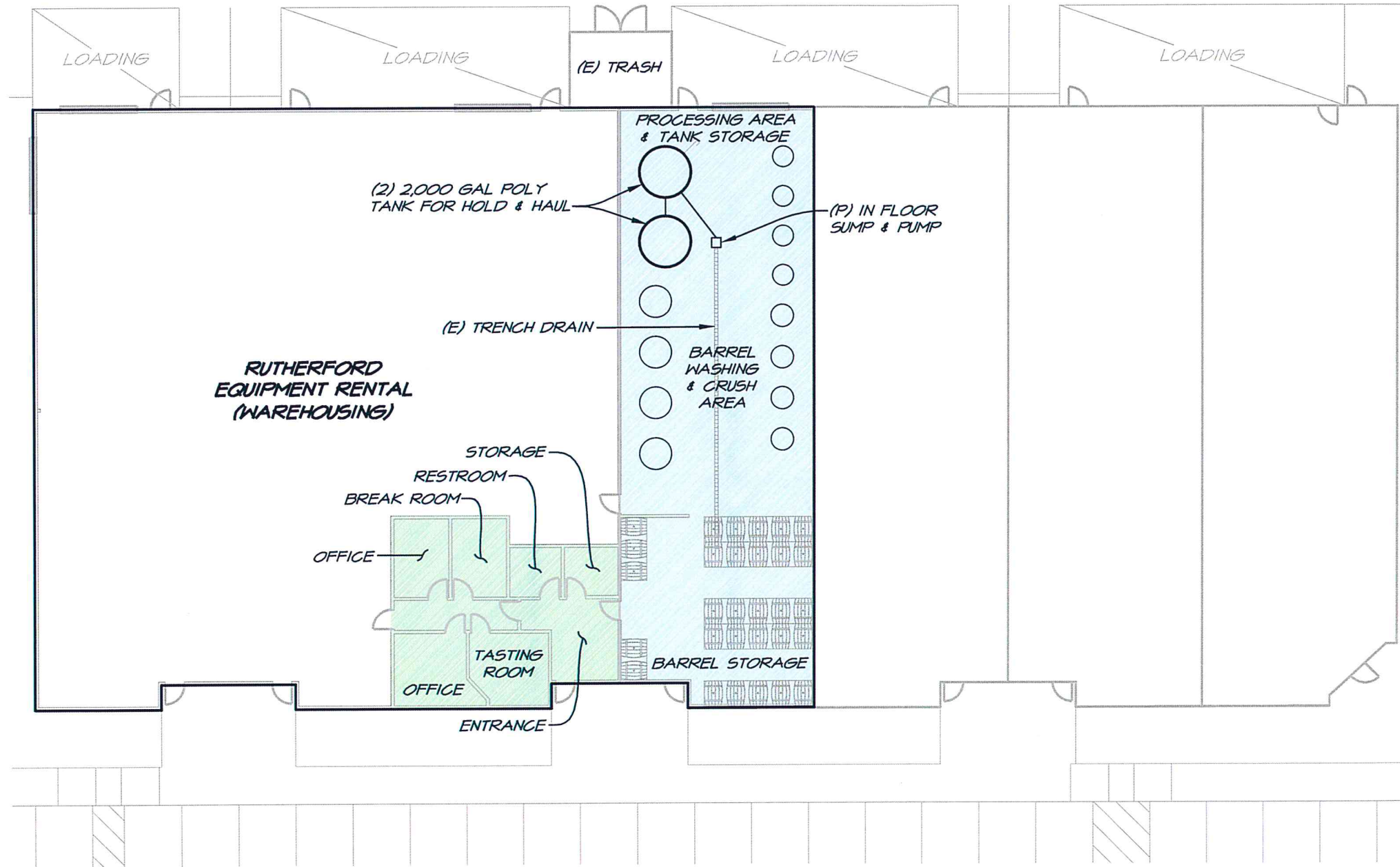
SCALE: 1" = 1000'

RSA⁺	1515 FOURTH STREET
	NAPA, CALIF. 94559
	OFFICE 707.252.3301 + www.RSAcivil.com +

RSA⁺ | CONSULTING CIVIL ENGINEERS + SURVEYORS + EST. 1980

SEPTEMBER 15, 2014 4114058.0 Exh-Vicinity Map.dwg

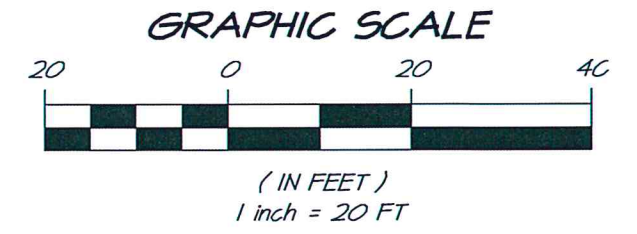
SAWYER CELLARS SITE PLAN



SAWYER CELLARS

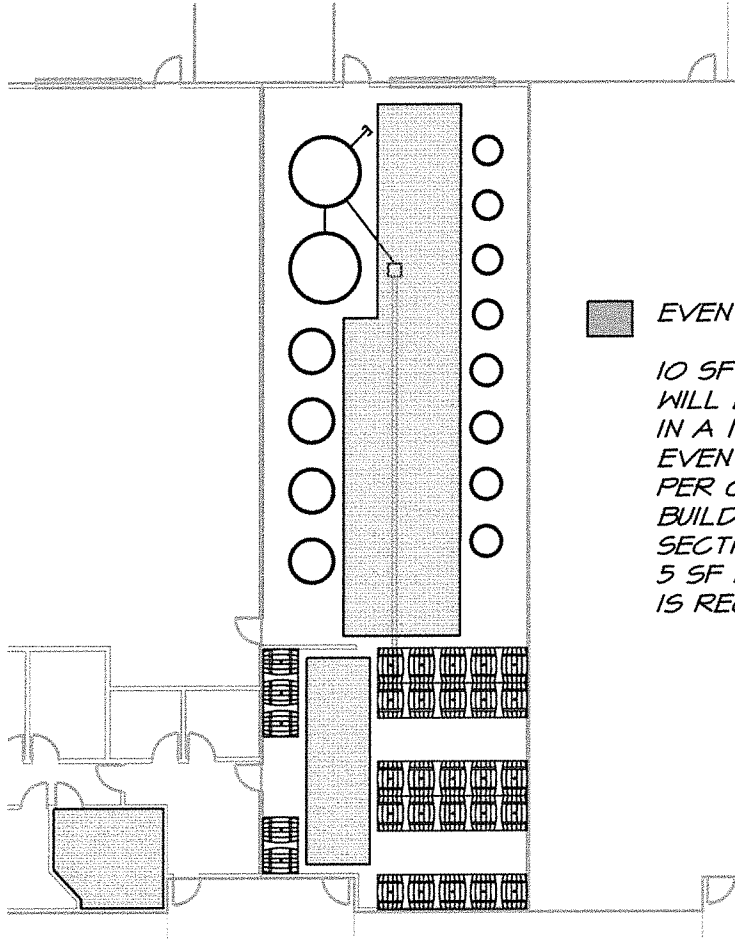
- PRODUCTION = 2,875 SF**
 - BARREL STORAGE = 884 SF
 - PROCESSING AREA = 1,991 SF

- ACCESSORY = 868 SF**
 - OFFICE = 108 SF
 - BREAK ROOM = 108 SF
 - RESTROOM = 64 SF
 - STORAGE = 64 SF
 - OFFICE = 138 SF
 - TASTING ROOM = 135 SF
 - ENTRANCE = 158 SF
 - HALL = 93 SF

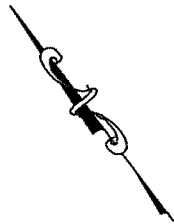


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SAWYER CELLARS TOTAL EVENT AREA



■ EVENT AREA = 1024 SF
10 SF PER PERSON
WILL BE AVAILABLE
IN A 100 PERSON
EVENT
PER CALIFORNIA
BUILDING CODE
SECTION 1005
5 SF PER PERSON
IS REQUIRED



GRAPHIC SCALE

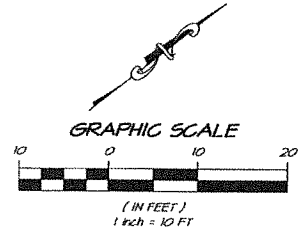
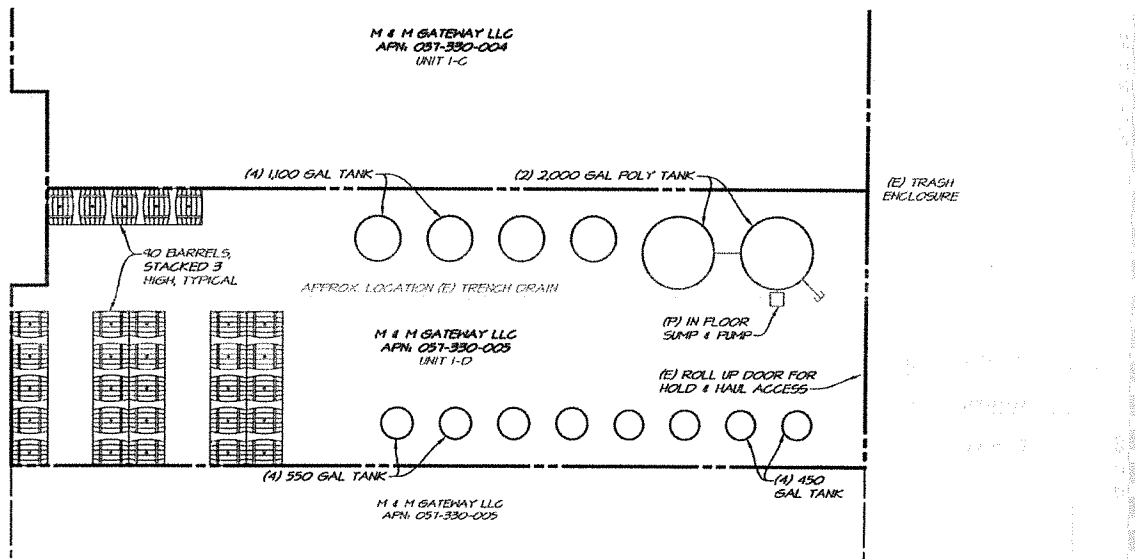


(IN FEET)
1 inch = 1 FT

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SAWYER CELLARS HOLD & HAUL PLAN

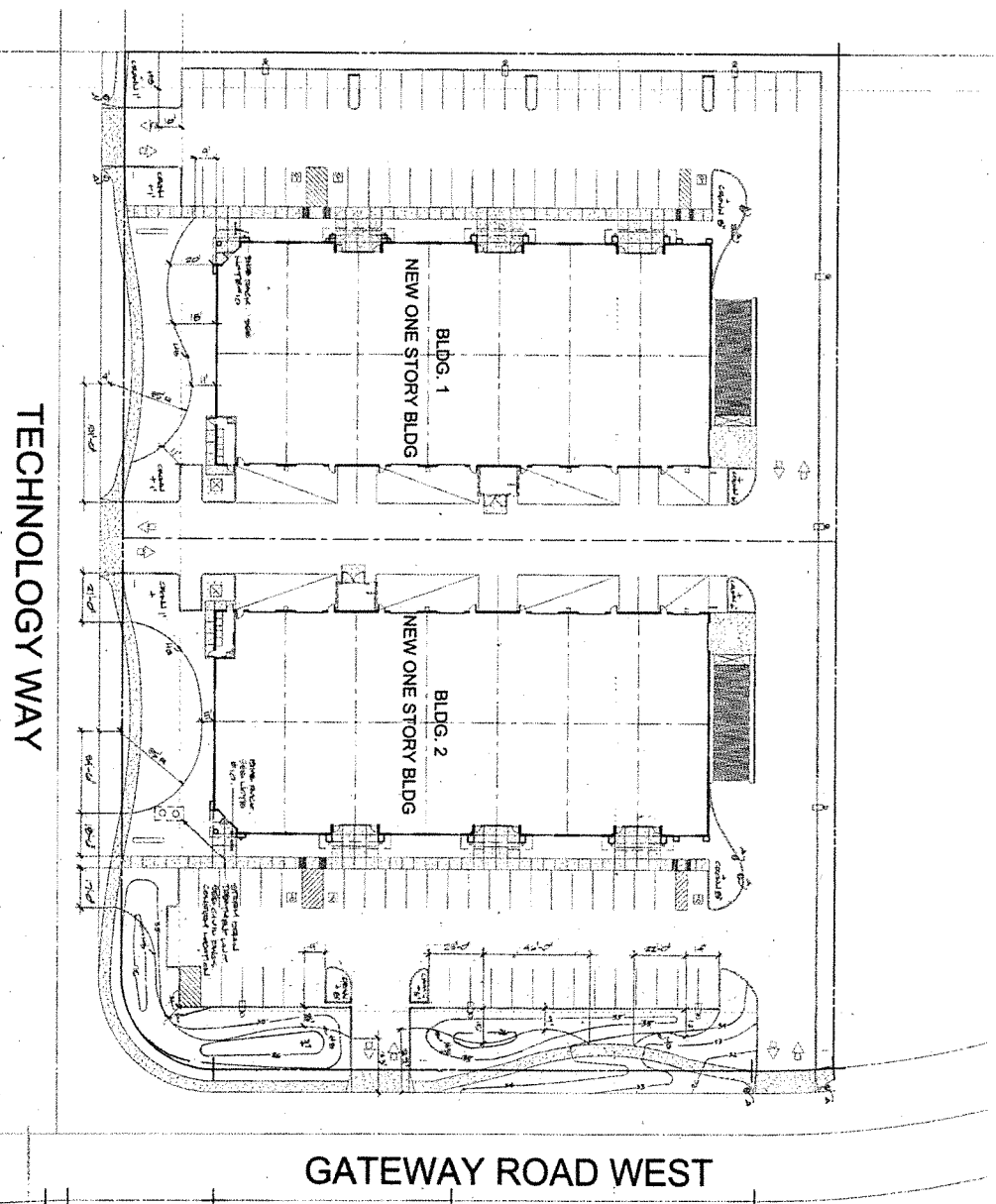


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	18

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SEPTEMBER 15, 2014 4114058.0 2-M.H.H.dwg 2 OF 2

LANDSCAPE LAYOUT & MOUNDING NOTES

1. It is the Contractor's responsibility to assure that the final mounding and landscape plan is being installed in the form of the landscape construction. Contact the Landscape Architect for confirmation of current location, number and date. Also the Contractor is responsible to coordinate the mounding and landscape plan with the construction schedule.
2. All mounding and landscape work shall be completed within the time frame specified in the contract documents. The Contractor shall be responsible for the mounding and landscape work. The Contractor shall be responsible for the mounding and landscape work. The Contractor shall be responsible for the mounding and landscape work.
3. Contact the architect regarding any additional material to be added to the mounding and landscape plan.
4. Landscape mounding and landscape work shall be completed in accordance with the landscape construction plan. The Contractor shall be responsible for the mounding and landscape work. The Contractor shall be responsible for the mounding and landscape work.
5. Mounding shall not exceed 4:1 slopes in front areas and 3:1 slopes in background drive areas.
6. Clear all existing trees, stumps, limbs, and debris greater than 1" in diameter, less than 10' in height. Contact the architect regarding any additional material to be added to the mounding and landscape plan.
7. The ground shall be 1" to 1 1/2" below top of curb and inside of parking area.
8. Unless noted otherwise, all mounding shall be 10' high of curb or inside of parking area.
9. The mounding shall be 10' high of curb or inside of parking area. The mounding shall be 10' high of curb or inside of parking area.
10. The mounding shall be 10' high of curb or inside of parking area. The mounding shall be 10' high of curb or inside of parking area.
11. Erosion and Sedimentation Control Plan shall be submitted to the local authority having jurisdiction.



TECHNOLOGY WAY

GATEWAY ROAD WEST

SCALE: 1" = 20'-0"



<p>WILSON & ASSOCIATES LANDSCAPE ARCHITECTS 1000 15th Street, Suite 100 Denver, CO 80202 Tel: 303.733.1111 Fax: 303.733.1112 www.wilsonandassociates.com</p>	<p>DRIVING KORZA & ASSOCIATES, INC. ARCHITECTS 1000 15th Street, Suite 100 Denver, CO 80202 Tel: 303.733.1111 Fax: 303.733.1112 www.drivingkorza.com</p>	<p>REVISION 1 REVISION 2 REVISION 3 REVISION 4 REVISION 5 REVISION 6</p>	<p>NVG LOT NO. 2 UNIT 3 - PHASE 5 NORTH VALLEY COMMUNITY CENTER NORTH VALLEY COMMUNITY CENTER NORTH VALLEY COMMUNITY CENTER NORTH VALLEY COMMUNITY CENTER NORTH VALLEY COMMUNITY CENTER</p>	<p>DATE: 01/27/2011 DESIGNED BY: [Name] DRAWN BY: [Name]</p>	<p>SHEET NO.: L-1</p>
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A Tradition of Stewardship
A Commitment to Service

Napa County
Conservation, Development, and Planning Department
1195 Third Street, Suite 210, Napa, California, 94559 phone (707) 253-4417
web www.countyofnapa.org/cdp/ email cdp@countyofnapa.org

file No RY-00353

Use Permit Application

To be completed by Planning staff...

Application Type: Use Permit

Date Submitted: 10/31/14 Resubmittal(s): _____ Date Complete: _____

Request: _____

*Application Fee Deposit: \$ 9287.04 Receipt No. 104936 Received by: KC Date: 10/31/14

*Total Fees will be based on actual time and materials

To be completed by applicant...

Project Name: Sawyer Cellars

Assessor's Parcel No: 057-330-005 Existing Parcel Size: condo unit ac.

Site Address/Location: 759 Technology Way Napa CA 94558
No. Street City State Zip

Primary Contact: Owner Applicant Representative (attorney, engineer, consulting planner, etc.)

Property Owner: Cory and Kristen Phillips

Mailing Address: P.O. Box 26 Englewood FL 34295
No. Street City State Zip

Telephone No: (941) 875 - 4318 E-Mail: www.phillipsbuildings.com@gmail.com

Applicant (if other than property owner): Charles Sawyer

Mailing Address: P. O. Box 550658 Jacksonville FL 32255
No. Street City State Zip

Telephone No: (904) 571 - 2606 E-Mail: charles@sawyer-cellars.com

Representative (if applicable): Beth Painter

Mailing Address: 1455 First Street, Suite 217 Napa CA 94559
No. Street City State Zip

Telephone No: (707) 287 - 9089 E-Mail: beth@bnpapa.com

Use Permit Information Sheet

Use

Narrative description of the proposed use (please attach additional sheets as necessary):

To produce 10,000 gallons of wine annually within a 2,790 square foot industrial condominium unit. The condominiums were constructed under Use Permit P06-0038-UP.

What, if any, additional licenses or approvals will be required to allow the use?

District NSD (Hold and Haul) Regional _____

State ABC Federal TTB

Improvements

Narrative description of the proposed on-site and off-site improvements (please attach additional sheets as necessary):

The building is existing. No external changes are proposed. No external storage is proposed. An existing floor drain will be modified to disconnect it from the Napa Sanitation District. A tank will be located inside the building to collect the winery wastewater for delivery to the East Bay Municipal Utility District (East Bay MUD) for processing at their facility.

Improvements, cont.

Total on-site parking spaces: _____ existing _____ proposed

Loading areas: _____ existing _____ proposed

Fire Resistivity (check one; if not checked, Fire Marshal will assume Type V – non rated):

- Type I FR
 Type II 1 Hr
 Type II N (non-rated)
 Type III 1 Hr
 Type III N
 Type IV H.T. (Heavy Timber)
 Type V 1 Hr.
 Type V (non-rated)
(for reference, please see the latest version of the California Building Code)

Is the project located in an Urban/Wildland Interface area? Yes No

Total land area to be disturbed by project (include structures, roads, septic areas, landscaping, etc): _____ acres

Employment and Hours of Operation

Days of operation: _____ existing 7 days _____ proposed

Hours of operation: _____ existing 7 a.m - 6 p.m. _____ proposed

Anticipated number of employee shifts: _____ existing 1 FT/ 1 PT _____ proposed

Anticipated shift hours: _____ existing n/a _____ proposed

Maximum Number of on-site employees:

- 10 or fewer
 11-24
 25 or greater (specify number) _____

Alternately, you may identify a specific number of on-site employees:

- other (specify number) 1 FT/ 1 PT

Certification and Indemnification

Applicant certifies that all the information contained in this application, including all information required in the Checklist of Required Application Materials and any supplemental submitted information including, but not limited to, the information sheet, water supply/waste disposal information sheet, site plan, floor plan, building elevations, water supply/waste disposal system site plan and toxic materials list, is complete and accurate to the best of his/her knowledge. Applicant and property owner hereby authorize such investigations including access to County Assessor's Records as are deemed necessary by the County Planning Division for preparation of reports related to this application, including the right of access to the property involved.

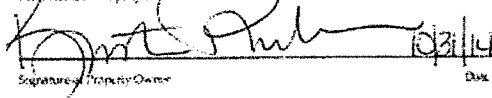
Pursuant to Chapter 1.30 of the Napa County Code, as part of the application for a discretionary land use project approval for the project identified below, Applicant agrees to defend, indemnify, release and hold harmless Napa County, its agents, officers, attorneys, employees, departments, boards and commissions (hereafter collectively "County") from any claim, action or proceeding (hereafter collectively "proceeding") brought against County, the purpose of which is to attack, set aside, void or annul the discretionary project approval of the County, or an action relating to this project required by any such proceeding to be taken to comply with the California Environmental Quality Act by County, or both. This indemnification shall include, but not be limited to damages awarded against the County, if any, and cost of suit, attorneys' fees, and other liabilities and expenses incurred in connection with such proceeding that relate to this discretionary approval or an action related to this project taken to comply with CEQA whether incurred by the Applicant, the County, and/or the parties initiating or bringing such proceeding. Applicant further agrees to indemnify the County for all of County's costs, attorneys' fees, and damages, which the County incurs in enforcing this indemnification agreement.

Applicant further agrees, as a condition of project approval, to defend, indemnify and hold harmless the County for all costs incurred in additional investigation of or study of, or for supplementing, redrafting, revising, or amending any document (such as an EIR, negative declaration, specific plan, or general plan amendment) if made necessary by said proceeding and if the Applicant desires to pursue securing approvals which are conditioned on the approval of such documents.

In the event any such proceeding is brought, County shall promptly notify the Applicant of the proceeding, and County shall cooperate fully in the defense. If County fails to promptly notify the Applicant of the proceeding, or if County fails to cooperate fully in the defense, the Applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the County. The County shall retain the right to participate in the defense of the proceeding if it bears its own attorneys' fees and costs, and defends the action in good faith. The Applicant shall not be required to pay or perform any settlement unless the settlement is approved by the Applicant.

Kristen Phillips

Print Name of Property Owner



Signature of Property Owner

J Charles Sawyer

Print Name Signature of Applicant (if different)



Signature of Applicant

1222

Supplemental Application for Winery Uses

Operations

Please indicate whether the activity or uses below are already legally **EXISTING**, whether they exist and are proposed to be **EXPANDED** as part of this application, whether they are **NEWLY PROPOSED** as part of this application, or whether they are neither existing nor proposed (**NONE**).

Retail Wine Sales	<input type="checkbox"/> Existing	<input type="checkbox"/> Expanded	<input checked="" type="checkbox"/> Newly Proposed	<input type="checkbox"/> None
Tours and Tasting- Open to the Public	<input type="checkbox"/> Existing			
Tours and Tasting- By Appointment	<input type="checkbox"/> Existing	<input type="checkbox"/> Expanded	<input checked="" type="checkbox"/> Newly Proposed	<input type="checkbox"/> None
Food at Tours and Tastings	<input type="checkbox"/> Existing	<input type="checkbox"/> Expanded	<input checked="" type="checkbox"/> Newly Proposed	<input type="checkbox"/> None
Marketing Events*	<input type="checkbox"/> Existing	<input type="checkbox"/> Expanded	<input checked="" type="checkbox"/> Newly Proposed	<input type="checkbox"/> None
Food at Marketing Events	<input type="checkbox"/> Existing	<input type="checkbox"/> Expanded	<input checked="" type="checkbox"/> Newly Proposed	<input type="checkbox"/> None
Will food be prepared...		<input type="checkbox"/> On-Site?	<input checked="" type="checkbox"/> Catered?	
Public display of art or wine-related items	<input type="checkbox"/> Existing	<input type="checkbox"/> Expanded	<input type="checkbox"/> Newly Proposed	<input type="checkbox"/> None

* For reference please see definition of "Marketing," at Napa County Code §18.08.370 - <http://library.municode.com/index.aspx?clientId=16513>

Production Capacity *

Please identify the winery's...

Existing production capacity: _____ gal/y Per permit No: _____ Permit date: _____

Current maximum actual production: _____ gal/y For what year? _____

Proposed production capacity: 10,000 gal/y

* For this section, please see "Winery Production Process," at page 11.

Visitation and Hours of Operation

Please identify the winery's...

Maximum daily tours and tastings visitation: _____ existing 8 persons/day proposed

Average daily tours and tastings visitation¹: _____ existing 6 persons/day proposed

Visitation hours (e.g. M-Sa, 10am-4pm): _____ existing 10 a.m. - 6 p.m. proposed

Non-harvest Production hours²: _____ existing 7 a.m.-6 p.m. proposed

¹ Average daily visitation is requested primarily for purposes of environmental review and will not, as a general rule, provide a basis for any condition of approval limiting allowed winery visitation.

² It is assumed that wineries will operate up to 24 hours per day during crush.

Grape Origin

All new wineries and any existing (pre-WDO) winery expanding beyond its winery development area must comply with the 75% rule and complete the attached "Initial Statement of Grape Source". See Napa County Code §18.104.250 (B) & (C).

Marketing Program

Please describe the winery's proposed marketing program. Include event type, maximum attendance, food service details, etc. Differentiate between existing and proposed activities. (Attach additional sheets as necessary.)

The winery production is a very small program within an industrial building. The primary use is for production only. Marketing and visitation is requested to accommodate a small number of wine buyers and trade associations that may be interested in seeing the facility.

There is not a planned "tour" program or dedicated hospitality employee. Tasting would be by appointment only for a maximum of 8 persons per day. A reasonable average would be 6 persons per day or 42 persons per week.

Marketing would include an occasional event for no more than 30 persons with a maximum of 10 such events per year. One larger event for up to 100 persons is also requested. Catered food may be served at these events.

Food Service

Please describe the nature of any proposed food service including type of food, frequency of service, whether prepared on site or not, kitchen equipment, eating facilities, etc. Please differentiate between existing and proposed food service. (Attach additional sheets as necessary.)

See above.

Catered food at the occasional marketing event.

Water Supply/ Waste Disposal Information Sheet

Water Supply

Please attach completed Phase I Analysis sheet.

	Domestic	Emergency
Proposed source of water (e.g., spring, well, mutual water company, city, district, etc.):	<u>City of American Canyon</u>	<u>City of American Canyon</u>
Name of proposed water supplier (if water company, city, district):	<u>City of American Canyon</u>	<u>City of American Canyon</u>
Is annexation needed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Current water use:	<u>10</u> gallons per day (gal/d)	
Current water source:	<u>City of American Canyon</u>	<u>City of American Canyon</u>
Anticipated future water demand:	<u>190*</u> gal/d	<u>N/A</u> gal/d
Water availability (in gallons/minute):	<u>N/A</u> gal/m	<u>N/A</u> gal/m
Capacity of water storage system:	<u>N/A</u> gal	<u>N/A</u> gal
Type of emergency water storage facility if applicable (e.g., tank, reservoir, swimming pool, etc.):	<u>N/A</u>	

* will serve request
filed with American
Canyon

Liquid Waste

Please attach Septic Feasibility Report

	Domestic	Other
Type of waste:	<u>sewage</u>	<u>winery wastewater</u>
Disposal method (e.g., on-site septic system, on-site ponds, community system, district, etc.):	<u>Sewer</u>	<u>Hold and Haul</u>
Name of disposal agency (if sewage district, city, community system):	<u>NSD</u>	<u>EBMUD</u>
Is annexation needed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Current waste flows (peak flow):	<u>45</u> gal/d	<u>0</u> gal/d
Anticipated future waste flows (peak flow):	<u>45</u> gal/d	<u>500</u> gal/d
Future waste disposal design capacity:	<u>N/A</u> gal/d	<u>500</u> gal/d

Solid Waste and Recycling Storage and Disposal

Please include location and size of solid waste and recycling storage area on site plans in accordance with the guidelines available at www.countyofnapa.org/dem.

Hazardous and/or Toxic Materials

If your facility generates hazardous waste or stores hazardous materials above threshold planning quantities (55 gallons liquid, 500 pounds solid or 200 cubic feet of compressed gas) then a hazardous materials business plan and/or a hazardous waste generator permit will be required.

Grading Spoils Disposal

Where will grading spoils be disposed of?
(e.g. on-site, landfill, etc. If off-site, please indicate where off-site): N/A

Winery Traffic Information / Trip Generation Sheet

Traffic during a Typical Weekday

Number of FT employees: <u>1</u> x 3.05 one-way trips per employee	=	<u>3.05</u> daily trips.
Number of PT employees: <u>1</u> x 1.90 one-way trips per employee	=	<u>1.9</u> daily trips.
Average number of weekday visitors: <u>6</u> / 2.6 visitors per vehicle x 2 one-way trips	=	<u>4.6</u> daily trips.
Gallons of production: <u>10,000</u> / 1,000 x .009 truck trips daily ³ x 2 one-way trips	=	<u>.18</u> daily trips.
Total	=	<u>9.74</u> daily trips.
(No of FT employees) + (No of PT employees/2) + (sum of visitor and truck trips x .38)	=	<u>3.3</u> PM peak trips.

Traffic during a Typical Saturday

Number of FT employees (on Saturdays): <u>1</u> x 3.05 one-way trips per employee	=	<u>3.05</u> daily trips.
Number of PT employees (on Saturdays): <u>1</u> x 1.90 one-way trips per employee	=	<u>1.9</u> daily trips.
Average number of Saturday visitors: <u>6</u> / 2.8 visitors per vehicle x 2 one-way trips	=	<u>4.29</u> daily trips.
Total	=	<u>9.24</u> daily trips.
(No of FT employees) + (No of PT employees/2) + (visitor trips x .57)	=	<u>3.94</u> PM peak trips.

Traffic during a Crush Saturday

Number of FT employees (during crush): <u>1</u> x 3.05 one-way trips per employee	=	<u>3.05</u> daily trips.
Number of PT employees (during crush): <u>3</u> x 1.90 one-way trips per employee	=	<u>5.7</u> daily trips.
Average number of Saturday visitors: <u>6</u> / 2.8 visitors per vehicle x 2 one-way trips	=	<u>4.29</u> daily trips.
Gallons of production: <u>10,000</u> / 1,000 x .009 truck trips daily x 2 one-way trips	=	<u>.18</u> daily trips.
Avg. annual tons of grape on-haul: <u>65</u> / 144 truck trips daily ⁴ x 2 one-way trips	=	<u>.90</u> daily trips.
Total	=	<u>14.12</u> daily trips.

Largest Marketing Event- Additional Traffic

Number of event staff (largest event): <u>4</u> x 2 one-way trips per staff person	=	<u>8</u> trips.
Number of visitors (largest event): <u>100</u> / 2.8 visitors per vehicle x 2 one-way trips	=	<u>71.43</u> trips.
Number of special event truck trips (largest event): <u>2</u> x 2 one-way trips	=	<u>4</u> trips.

³ Assumes 1.47 materials & supplies trips + 0.8 case goods trips per 1,000 gallons of production / 250 days per year (see *Traffic Information Sheet Addendum* for reference).

⁴ Assumes 4 tons per trip / 36 crush days per year (see *Traffic Information Sheet Addendum* for reference).

**NAPA COUNTY UNIFIED PROGRAM CONSOLIDATED FORM
FACILITY INFORMATION
BUSINESS ACTIVITIES**

Page 1 of 2

I. FACILITY IDENTIFICATION

FACILITY ID # (Agency Use Only)		1	EPA ID # (Hazardous Waste Only)	2
BUSINESS NAME (Same as Facility Name of DBA-Doing Business As) Sawyer Cellars				
BUSINESS SITE ADDRESS 759 Technology Way				
BUSINESS SITE CITY Napa			CA	ZIP CODE 94558
CONTACT NAME Charles Sawyer			PHONE 904-571-2606	

II. ACTIVITIES DECLARATION

NOTE: If you check YES to any part of this list, please submit the Business Owner/Operator Identification page.

Does your facility...	If Yes, please complete these pages of the UPCF....	
A. HAZARDOUS MATERIALS Have on site (for any purpose) at any one time, hazardous materials at or above 55 gallons for liquids, 500 pounds for solids, or 200 cubic feet for compressed gases (include liquids in ASTs and USTs); or the applicable Federal threshold quantity for an extremely hazardous substance specified in 40 CFR Part 355, Appendix A or B; or handle radiological materials in quantities for which an emergency plan is required pursuant to 10 CFR Parts 30, 40 or 70?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	4
B. REGULATED SUBSTANCES Have Regulated Substances stored onsite in quantities greater than the threshold quantities established by the California Accidental Release prevention Program (CalARP)?	<input type="radio"/> YES <input checked="" type="radio"/> NO	4a
C. UNDERGROUND STORAGE TANKS (USTs) Own or operate underground storage tanks?	<input type="radio"/> YES <input checked="" type="radio"/> NO	5
D. ABOVE GROUND PETROLEUM STORAGE Own or operate ASTs above these thresholds: Store greater than 1,320 gallons of petroleum products (new or used) in aboveground tanks or containers.	<input type="radio"/> YES <input checked="" type="radio"/> NO	8
E. HAZARDOUS WASTE Generate hazardous waste?	<input type="radio"/> YES <input checked="" type="radio"/> NO	9
Recycle more than 100 kg/month of excluded or exempted recyclable materials (per HSC 25143.2)?	<input type="radio"/> YES <input checked="" type="radio"/> NO	10
Treat hazardous waste on-site?	<input type="radio"/> YES <input checked="" type="radio"/> NO	11
Treatment subject to financial assurance requirements (for Permit by Rule and Conditional Authorization)?	<input type="radio"/> YES <input checked="" type="radio"/> NO	12
Consolidate hazardous waste generated at a remote site?	<input type="radio"/> YES <input checked="" type="radio"/> NO	13
Need to report the closure/removal of a tank that was classified as hazardous waste and cleaned on-site?	<input type="radio"/> YES <input checked="" type="radio"/> NO	14
Generate in any single calendar month 1,000 kilograms (kg) (2,200 pounds) or more of federal RCRA hazardous waste, or generate in any single calendar month, or accumulate at any time, 1 kg (2.2 pounds) of RCRA acute hazardous waste; or generate or accumulate at any time more than 100 kg (220 pounds) of spill cleanup materials contaminated with RCRA acute hazardous waste.	<input type="radio"/> YES <input checked="" type="radio"/> NO	14a
Household Hazardous Waste (HHW) Collection site?	<input type="radio"/> YES <input checked="" type="radio"/> NO	14b

F. LOCAL REQUIREMENTS (You may also be required to provide additional information by your CUPA or local agency.)	15 UPCF Rev. (12/2007)
----------------------------------------------------------------------------------------------------------------------------	---------------------------



Planning, Building & Environmental Services - Hillary Gitelman, Director
1195 Third Street, Napa, CA 94559 - (707) 253-4417 - www.countyofnapa.org

Project name & APN: Sawyer Cellars 057-330-005
Project number if known: P14-00353
Contact person: BETH PAINTER
Contact email & phone number: 707-287-9089
Today's date:

A Tradition of Stewardship
A Commitment to Service

Voluntary Best Management Practices Checklist for Development Projects

Napa County General Plan Policy CON-65 (e) and Policy CON-67 (d) requires the consideration of Greenhouse Gas (GHG) emissions in the review of discretionary projects and to promote and encourage "green building" design. The below Best Management Practices (BMPs) reduce GHG emissions through energy and water conservation, waste reduction, efficient transportation, and land conservation. The voluntary checklist included here should be consulted early in the project and be considered for inclusion in new development. It is not intended, and likely not possible for all projects to adhere to all of the BMPs. Rather, these BMPs provide a portfolio of options from which a project could choose, taking into consideration cost, co-benefits, schedule, and project specific requirements. Please check the box for all BMPs that your project proposes to include and include a separate narrative if your project has special circumstances.

Practices with Measurable GHG Reduction Potential

The following measures reduce GHG emissions and if needed can be calculated. They are placed in descending order based on the amount of emission reduction potential.

Already Plan
Doing To Do

ID # BMP Name

[] [] BMP-1 Generation of on-site renewable energy

If a project team designs with alternative energy in mind at the conceptual stage it can be integrated into the design. For instance, the roof can be oriented, sized, and engineered to accommodate photovoltaic (PV) panels. If you intend to do this BMP, please indicate the location of the proposed PV panels on the building elevations or the location of the ground mounted PV array on the site plan. Please indicate the total annual energy demand and the total annual kilowatt hours produced or purchased and the potential percentage reduction of electrical consumption. Please contact staff or refer to the handout to calculate how much electrical energy your project may need.

Four horizontal lines for notes or calculations.

[] [] BMP-2 Preservation of developable open space in a conservation easement

Please indicate the amount and location of developable land (i.e.: under 30% slope and not in creek setbacks or environmentally sensitive areas for vineyards) conserved in a permanent easement to prohibit future development.

Two horizontal lines for notes or calculations.

Already Plan
Doing To Do

BMP-3 Habitat restoration or new vegetation (e.g. planting of additional trees over 1/2 acre)

Napa County is famous for its land stewardship and preservation. Restoring areas within the creek setback reduces erosion potential while planting areas that are currently hardscape (such as doing a bio-retention swale rather than underground storm drains) reduces storm water and helps the groundwater recharge. Planting trees can also increase the annual uptake of CO₂e and add the County's carbon stock.

BMP-4 Alternative fuel and electrical vehicles in fleet

The magnitude of GHG reductions achieved through implementation of this measure varies depending on the analysis year, equipment, and fuel type replaced.

Number of total vehicles _____

Typical annual fuel consumption or VMT _____

Number of alternative fuel vehicles _____

Type of fuel/vehicle(s) _____

Potential annual fuel or VMT savings _____

BMP-5 Exceed Title 24 energy efficiency standards: Build to CALGREEN Tier 2

The California Building Code update effective January 1, 2011 has new mandatory green building measures for all new construction and has been labeled CALGREEN. CALGREEN provides two voluntary higher levels labeled CALGREEN Tier I and CALGREEN Tier II. Each tier adds a further set of green building measures that go above and beyond the mandatory measures of the Code. In both tiers, buildings will use less energy than the current Title 24 California Energy Code. Tier I buildings achieve at least a 15% improvement and Tier 2 buildings are to achieve a 30% improvement. Both tiers require additional non-energy prerequisites, as well as a certain number of elective measures in each green building category (energy efficiency, water efficiency, resource conservation, indoor air quality and community).

*Insulate Roll up door w/ R-22 fiber board
Insulate glass front on NW side w/ R-22 fiber board.*

BMP-6 Vehicle Miles Traveled (VMT) reduction plan

Selecting this BMP states that the business operations intend to implement a VMT reduction plan reducing annual VMTs by at least 15%.

Tick box(es) for what your Transportation Demand Management Plan will/does include:

- employee incentives
- employee carpool or vanpool
- priority parking for efficient transportation (hybrid vehicles, carpools, etc.)
- bike riding incentives
- bus transportation for large marketing events
- Other: _____

Estimated annual VMT _____

Potential annual VMT saved _____

% Change _____

Already
Doing

Plan
To Do

- BMP-7 Exceed Title 24 energy efficiency standards: Build to CALGREEN Tier 1**
See description below under BMP-5.
-
-

- BMP-8 Solar hot water heating**
Solar water heating systems include storage tanks and solar collectors. There are two types of solar water heating systems: active, which have circulating pumps and controls, and passive, which don't. Both of them would still require additional heating to bring them to the temperature necessary for domestic purposes. They are commonly used to heat swimming pools.
-
-

- BMP-9 Energy conserving lighting**
Lighting is approximately 25% of typical electrical consumption. This BMP recommends installing or replacing existing light bulbs with energy-efficient compact fluorescent (CF) bulbs or Light Emitting Diode (LED) for your most-used lights. Although they cost more initially, they save money in the long run by using only 1/4 the energy of an ordinary incandescent bulb and lasting 8-12 times longer. Typical payback from the initial purchase is about 18 months.
-
-

- BMP-10 Energy Star Roof/Living Roof/Cool Roof**
Most roofs are dark-colored. In the heat of the full sun, the surface of a black roof can reach temperatures of 158 to 194 °F. Cool roofs, on the other hand, offer both immediate and long-term benefits including reduced building heat-gain and savings of up to 15% the annual air-conditioning energy use of a single-story building. A cool roof and a green roof are different in that the green roof provides living material to act as a both heat sink and thermal mass on the roof which provides both winter warming and summer cooling. A green (living) roof also reduces storm water runoff.
-
-

- BMP-11 Bicycle Incentives**
Napa County Zoning Ordinance requires 1 bicycle rack per 20 parking spaces (§18.110.040). Incentives that go beyond this requirement can include on-site lockers for employees, showers, and for visitor's items such as directional signs and information on biking in Napa. Be creative!
-
-

- BMP-12 Bicycle route improvements**
Refer to the Napa County Bicycle Plan (NCPTA, December 2011) and note on the site plan the nearest bike routes. Please note proximity, access, and connection to existing and proposed bike lanes (Class I: Completely separated right-of-way; Class II: Striped bike lane; Class III: Signed Bike Routes). Indicate bike accessibility to project and any proposed improvements as part of the project on the site plan or describe below.
-
-

Already Plan
Doing To Do

BMP-13 Connection to recycled water

Recycled water has been further treated and disinfected to provide a non-potable (non-drinking water) water supply. Using recycled water for irrigation in place of potable or groundwater helps conserve water resources.

BMP-14 Install Water Efficient fixtures

WaterSense, a partnership program by the U.S. Environmental Protection Agency administers the review of products and services that have earned the WaterSense label. Products have been certified to be at least 20 percent more efficient without sacrificing performance. By checking this box you intend to install water efficient fixtures or fixtures that conserve water by 20%.

low flow water nozzles for barrel washing,

BMP-15 Low-impact development (LID)

LID is an approach to land development (or re-development) that works with nature to manage storm water as close to its source as possible. LID employs principles such as preserving and recreating natural landscape features, minimizing effective imperviousness to create functional and appealing site drainage that treat storm water as a resource rather than a waste product. There are many practices that have been used to adhere to these principles such as bioretention facilities, rain gardens, vegetated rooftops, rain barrels, and permeable pavements. By implementing LID principles and practices, water can be managed in a way that reduces the impact of built areas and promotes the natural movement of water within an ecosystem or watershed. Please indicate on the site or landscape plan how your project is designed in this way.

BMP-16 Water efficient landscape

If your project is a residential development proposing in excess of 5,000 sq. ft. or a commercial development proposing in excess of 2,500 sq. ft. The project will be required to comply with the Water Efficient Landscape Ordinance (WELO).

Please check the box if you will be complying with WELO or If your project is smaller than the minimum requirement and you are still proposing drought tolerant, zeroscape, native plantings, zoned irrigation or other water efficient landscape.

BMP-17 Recycle 75% of all waste

Did you know that the County of Napa will provide recycling collectors for the interior of your business at no additional charge? With single stream recycling it is really easy and convenient to meet this goal. To qualify for this BMP, your business will have to be aggressive, proactive and purchase with this goal in mind.

Already Plan
Doing To Do

BMP-18 Compost 75% food and garden material

The Napa County food composting program is for any business large or small that generates food scraps and compostable, including restaurants, hotels, wineries, assisted living facilities, grocery stores, schools, manufacturers, cafeterias, coffee shops, etc. All food scraps (including meat & dairy) as well as soiled paper and other compostable - see <http://www.naparecycling.com/foodcomposting> for more details.

BMP-19 Implement a sustainable purchasing and shipping programs

Environmentally Preferable Purchasing (EPP) or Sustainable Purchasing refers to the procurement of products and services that have a reduced effect on human health and the environment when compared with competing products or services that serve the same purpose. By selecting this BMP, you agree to have an EPP on file for your employees to abide by.

BMP-20 Planting of shade trees within 40 feet of the south side of the building elevation

Well-placed trees can help keep your building cool in summer. If you choose a deciduous tree after the leaves drop in autumn, sunlight will warm your building through south and west-facing windows during the colder months. Well-designed landscaping can reduce cooling costs by 20%. Trees deliver more than energy and cost savings; they are important carbon sinks. Select varieties that require minimal care and water, and can withstand local weather extremes. Fruit or nut trees that produce in your area are great choices, providing you with local food as well as shade. Please use the site or landscape plan to indicate where trees are proposed and which species you are using.

BMP-21 Electrical Vehicle Charging Station(s)

As plug-in hybrid electric vehicles (EV) and battery electric vehicle ownership is expanding, there is a growing need for widely distributed accessible charging stations. Please indicate on the site plan where the station will be.

BMP-22 Public Transit Accessibility

Refer to <http://www.ridethevine.com/vine> and indicate on the site plan the closest bus stop/route. Please indicate if the site is accessed by transit or by a local shuttle. Provide an explanation of any incentives for visitors and employees to use public transit. Incentives can include bus passes, informational hand outs, construction of a bus shelter, transportation from bus stop, etc.

transit options to the area will be provided to employees

Already Plan
Doing To Do

BMP-23

Site Design that is oriented and designed to optimize conditions for natural heating, cooling, and day lighting of interior spaces, and to maximize winter sun exposure; such as a cave.

The amount of energy a cave saves is dependent on the type of soil, the microclimate, and the user's request for temperature control. Inherently a cave or a building burned into the ground saves energy because the ground is a consistent temperature and it reduces the amount of heating and cooling required. On the same concept, a building that is oriented to have southern exposure for winter warmth and shading for summer cooling with an east-west cross breeze will naturally heat, cool, and ventilate the structure without using energy. Please check this box if your design includes a cave or exceptional site design that takes into consideration the natural topography and sitting. Be prepared to explain your approach and estimated energy savings.

BMP-24 Limit the amount of grading and tree removal

Limiting the amount of earth disturbance reduces the amount of CO2 released from the soil and mechanical equipment. This BMP is for a project design that either proposes a project within an already disturbed area proposing development that follows the natural contours of the land, and that doesn't require substantial grading or tree removal.

BMP-25 Will this project be designed and built so that it could qualify for LEED?

BMP-25 (a)	<input type="checkbox"/>	LEED™ Silver (check box BMP-25 and this one)
BMP-25 (b)	<input type="checkbox"/>	LEED™ Gold (check box BMP-25, BMP-25 (a), and this box)
BMP-25 (c)	<input type="checkbox"/>	LEED™ Platinum (check all 4 boxes)

Practices with Un-Measured GHG Reduction Potential

BMP-26 Are you, or do you intend to become a Certified Green Business or certified as a "Napa Green Winery"?

As part of the Bay Area Green Business Program, the Napa County Green Business Program is a free, voluntary program that allows businesses to demonstrate the care for the environment by going above and beyond business as usual and implementing environmentally friendly business practices. For more information check out the Napa County Green Business and Winery Program at www.countyofnapa.org.

BMP-27 Are you, or do you intend to become a Certified "Napa Green Land"?

Napa Green Land, fish friendly farming, is a voluntary, comprehensive, "best practices" program for vineyards. Napa Valley vintners and growers develop farm-specific plans tailored to protect and enhance the ecological quality of the region, or create production facility programs that reduce energy and water use, waste and pollution. By selecting this measure either you are certified or you are in the process of certification.

Already Plan
Doing To Do

BMP-28 Use of recycled materials

There are a lot of materials in the market that are made from recycled content. By ticking this box, you are committing to use post-consumer products in your construction and your ongoing operations.

BMP-29 Local food production

There are many intrinsic benefits of locally grown food, for instance reducing the transportation emissions, employing full time farm workers, and improving local access to fresh fruits and vegetables.

BMP-30 Education to staff and visitors on sustainable practices

This BMP can be performed in many ways. One way is to simply put up signs reminding employees to do simple things such as keeping the thermostat at a consistent temperature or turning the lights off after you leave a room. If the project proposes alternative energy or sustainable winegrowing, this BMP could include explaining those business practices to staff and visitors.

BMP-31 Use 70-80% cover crop

Cover crops reduce erosion and the amount of tilling which is required, which releases carbon into the environment.

BMP-32 Retain biomass removed via pruning and thinning by chipping the material and reusing it rather than burning on-site

By selecting this BMP, you agree not to burn the material pruned on site.

BMP-33 Are you participating in any of the above BMPS at a 'Parent' or outside location?

BMP-34 Are you doing anything that deserves acknowledgement that isn't listed above?

operate cooling and refrigeration systems during off-peak hours to the best extent feasible.

Comments and Suggestions on this form?

Sources:

1. *Napa County Bicycle Plan, NCTPA, December 2011*
2. *California Air Pollution Control Officers Associate (CAPCOA). January 2008. CEQA and Climate Change*
3. *Napa County General Plan, June 2008.*
4. *California Office of the Attorney General. 2010. Addressing Climate Change at the Project Level available at http://ag.ca.gov/global_warming/pdf/GW_mitigation_measures.pdf*
5. *U.S. Green Building Council (2009). LEED 2009 for New Construction and Major Renovations Rating System. Washington, DC: United States Green Building Council, Inc.*
6. *California Energy Commission (2008). Title 24, Part 6, of the California Code of Regulations: California's Energy Efficiency Standards for Residential and Nonresidential Buildings. Sacramento, CA: California Energy Commission.*
7. *U.S. Department of Energy (2010). Cool roof fact sheet.*
8. <http://www1.eere.energy.gov/buildings/ssl/ledlightingfacts.html>
9. *Compact Fluorescent Light Bulbs". Energy Star. Retrieved 2013-05-01.*
10. <http://energy.gov/energysaver/articles/solar-water-heaters>. Retrieved 2013-05-02.
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12. http://www.bchydro.com/powersmart/residential/guides_tips/green-your-home/cooling_guide/shade_trees.html
13. <http://www.napagreen.org/about>. Retrieved 2013-05-09
14. <http://www.countyofnapa.org/pages/departmentcontent.aspx?id=4294971612>
15. <http://www.napasan.com/Pages/ContentMenu.aspx?id=109>
16. <http://water.epa.gov/polwaste/green/index.cfm>