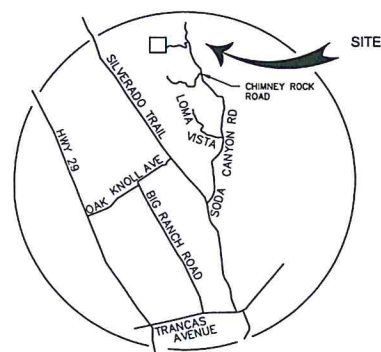


NAPA CUSTOM CRUSH WINE CAVES

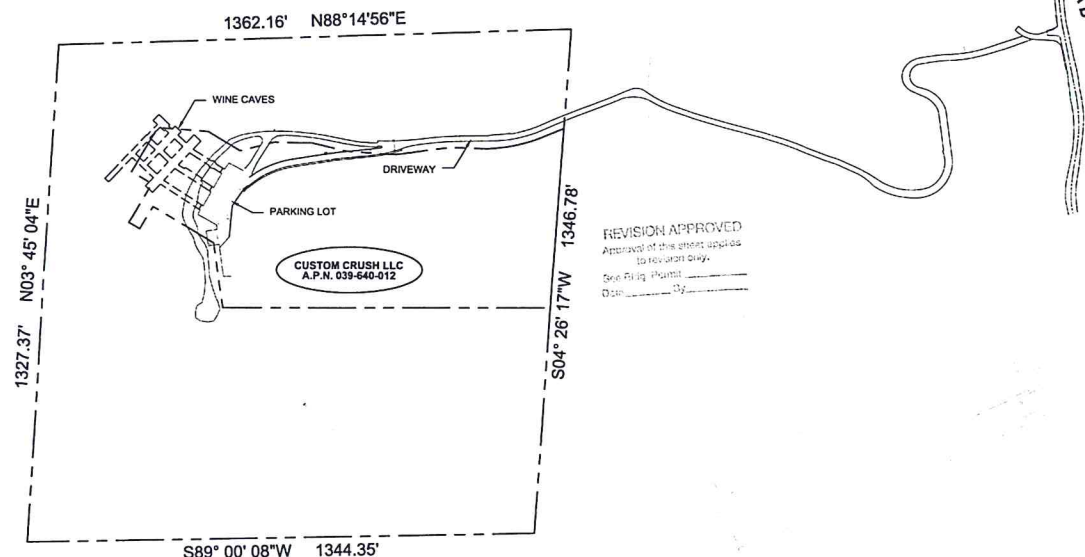
2275 SODA CANYON ROAD
NAPA, CA 94559



VICINITY MAP



PROJECT LOCATION



PLOT PLAN

WVZ
Green Valley Executive C
5030 Business Center D
Suite 150
Fairfield, CA 94534
Phone: (707)759-5260
Fax: (707)759-5905
www.mk2eng.com



CONSULTANTS

REVISION APPROVED
Approval of this sheet applies
to revision only.
See Bldg. Permit #
Date: 05/06/14
By: [Signature]

13-00372

OFFICE SET

REVIEWED FOR CODE COMPLIANCE
Approval of these plans does not authorize or
imply any omission or deviation from the
requirements of state laws or local ordinances.
Approval of alternate plans shall be available on
the project site at all times. FEB 25 2014
By: [Signature] Date:
13-00372
Napa County Planning, Building
& Environmental Services
Reg. Div.

SCOPE OF WORK	PROJECT DATA	SHEET INDEX															
<p>SCOPE OF WORK INCLUDES TWO (2) PHASES OF INTERIOR AND EXTERIOR MECHANICAL, PLUMBING, ELECTRICAL, AND ARCHITECTURAL WORK FOR INTERIOR OF WINE CAVES AND ASSOCIATED SITE WORK.</p> <p>PHASE I SCOPE OF WORK INCLUDES THE CONSTRUCTION OF 8,460 SQUARE FEET OF WINE CAVE AS INDICATED ON SHEET A0.1.</p> <p>PHASE II SCOPE OF WORK INCLUDES THE CONSTRUCTION OF AN ADDITIONAL 9,318 SQUARE FEET OF WINE CAVE AS INDICATED ON SHEET A0.1.</p>	<p>TOTAL AREA OF WINE CAVES: 17,778 SF</p> <p>PHASE I: 8,460 SF</p> <p>PHASE II: 9,318 SF</p> <p>OCCUPANCY GROUPS: F-2, S-2, B</p> <p>TYPE OF CONSTRUCTION: V-B</p> <p>WINE CAVE TYPE: TYPE III CAVE</p> <p>FIRE SPRINKLERS: YES</p> <p>NUMBER OF STORIES: ONE (UNDERGROUND)</p>	<p>PROJECT TITLE</p> <p>T0.1 PROJECT TITLE SHEET</p> <p>ARCHITECTURAL</p> <p>A0.1 ARCHITECTURAL COVER SHEET</p> <p>A0.2 EGRESS SITE PLAN & ACCESSIBLE PARKING PLAN</p> <p>A0.3 ACCESSIBILITY NOTES & DETAILS</p> <p>A0.4 CALGREEN REQUIREMENTS</p> <p>A2.1 WINE CAVE PLAN</p> <p>A2.2 WINE CAVE REFLECTED CEILING PLAN</p> <p>A3.1 WINE CAVE SECTIONS</p> <p>A4.1 ENLARGED PLANS & INTERIOR ELEVATIONS</p> <p>A6.1 DOOR SCHEDULE & INTERIOR DETAILS</p>	<p>SITE DEVELOPMENT</p> <p>SD0.1 SITE DEVELOPMENT COVER SHEET & SCHEDULES</p> <p>SD0.2 SITE DEVELOPMENT PLAN</p> <p>SD0.3 UTILITY PLANS</p> <p>SD0.4 ENLARGED EQUIPMENT PAD PLAN</p> <p>SD0.5 DETAILS</p>	<p>MECHANICAL</p> <p>M0.1 MECHANICAL COVER SHEET</p> <p>M0.2 MECHANICAL SCHEDULES</p> <p>M2.1 WINE CAVE PLAN - VENTILATION</p> <p>M3.1 WINE CAVE PLAN - PROCESS PIPING</p> <p>M4.1 ENLARGED PLANS</p> <p>M5.1 PIPING DIAGRAMS</p> <p>M7.1 DETAILS</p> <p>M7.2 DETAILS</p> <p>M8.1 TITLE 24 COMPLIANCE</p> <p>M8.2 TITLE 24 COMPLIANCE</p>	<p>PLUMBING</p> <p>P0.1 PLUMBING COVER SHEET AND SCHEDULES</p> <p>P2.1 WINE CAVE PLAN - WASTE & VENT UNDER SLAB</p> <p>P2.2 WINE CAVE PLAN - WASTE & VENT ABOVE SLAB</p> <p>P3.1 WINE CAVE PLAN - WATER, AIR & GAS UNDER SLAB</p> <p>P3.2 WINE CAVE PLAN - WATER, AIR & GAS ABOVE SLAB</p> <p>P4.1 ENLARGED PLANS</p> <p>P7.1 DETAILS</p> <p>P7.2 DETAILS</p> <p>P7.3 DETAILS</p>	<p>ELECTRICAL</p> <p>E0.1 ELECTRICAL COVER SHEET</p> <p>E0.2 ELECTRICAL SCHEDULES</p> <p>E2.1 WINE CAVE PLAN - LIGHTING</p> <p>E3.1 WINE CAVE PLAN - POWER</p> <p>E4.1 ENLARGED PLANS</p> <p>E5.1 SINGLE LINE DIAGRAM</p> <p>E7.1 DETAILS</p> <p>E7.2 DETAILS</p>											
<p>REFERENCE NUMBERS</p> <p>ASSESSOR'S PARCEL NUMBERS (APN): 039-640-011 & 039-640-012</p> <p>CURRENT APPLICATION NUMBER: B13-00372</p> <p>REDLINED DRAWING SET PERMIT NUMBER: B12-1516</p>	<p>BUILDING CODES</p> <p>ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES & REGULATIONS:</p> <ul style="list-style-type: none"> 2010 BUILDING STANDARDS ADMINISTRATIVE CODE PART 1, TITLE 24 2010 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 (2009 INTERNATIONAL BUILDING CODE WITH CALIFORNIA AMENDMENTS) 2010 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 (2009 INTERNATIONAL ELECTRICAL CODE WITH CALIFORNIA AMENDMENTS) 2010 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 (2009 INTERNATIONAL MECHANICAL CODE WITH CALIFORNIA AMENDMENTS) 2010 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 (2009 INTERNATIONAL PLUMBING CODE WITH CALIFORNIA AMENDMENTS) 2010 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24 (2009 INTERNATIONAL FIRE CODE WITH CALIFORNIA AMENDMENTS) 2010 CALIFORNIA REFERENCE STANDARDS CODE, PART 12, TITLE 24 2010 CALIFORNIA ENERGY CODE, PART 6, TITLE 24 C.C.R. TITLE 19, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS - NATIONAL REFERENCE STANDARDS - LATEST EDITION NFPA 72, 2010 FIRE ALARM CODE AMERICANS WITH DISABILITIES ACT (ADA) - CURRENT EDITION, FEDERAL ADA STANDARDS NFPA 13, 2010 EDITION STATE FIRE MARSHAL (CSFM) 03-03-44-0002-000-330-1 	<p>DIRECTORY OF CONTACTS</p> <table border="1"> <thead> <tr> <th>ARCHITECT</th> <th>MECHANICAL ENGINEER</th> <th>PLUMBING ENGINEER</th> <th>ELECTRICAL ENGINEER</th> <th>OWNER</th> <th>CONTRACTOR</th> </tr> </thead> <tbody> <tr> <td> <p>MK2 ENGINEERS</p> <p>GREEN VALLEY EXECUTIVE CENTER 5030 BUSINESS CENTER DRIVE SUITE 150 FAIRFIELD, CA 94534 TELEPHONE: (707) 759-5260</p> </td> <td> <p>MK2 ENGINEERS</p> <p>GREEN VALLEY EXECUTIVE CENTER 5030 BUSINESS CENTER DRIVE SUITE 150 FAIRFIELD, CA 94534 TELEPHONE: (707) 759-5260 EMAIL: MKiani@mk2eng.com</p> <p>MIKE KIANI, PE</p> </td> <td> <p>MK2 ENGINEERS</p> <p>GREEN VALLEY EXECUTIVE CENTER 5030 BUSINESS CENTER DRIVE SUITE 150 FAIRFIELD, CA 94534 TELEPHONE: (707) 759-5260 EMAIL: MKiani@mk2eng.com</p> <p>MIKE KIANI, PE</p> </td> <td> <p>MK2 ENGINEERS</p> <p>GREEN VALLEY EXECUTIVE CENTER 5030 BUSINESS CENTER DRIVE SUITE 150 FAIRFIELD, CA 94534 TELEPHONE: (707) 759-5260 EMAIL: TDordea@mk2eng.com</p> <p>TOMA P. DORDEA, PE</p> </td> <td> <p>NAPA CUSTOM CRUSH LLC</p> <p>4290 KINGSFORD DRIVE NAPA, CA 94558</p> </td> <td> <p>KELVIN MORASCH CONSULTING</p> <p>1962 WISE DRIVE NAPA, CA 94558 TELEPHONE: (707) 738-6278 EMAIL: K.Morasch@yahoo.com</p> <p>KELVIN MORASCH</p> </td> </tr> </tbody> </table>				ARCHITECT	MECHANICAL ENGINEER	PLUMBING ENGINEER	ELECTRICAL ENGINEER	OWNER	CONTRACTOR	<p>MK2 ENGINEERS</p> <p>GREEN VALLEY EXECUTIVE CENTER 5030 BUSINESS CENTER DRIVE SUITE 150 FAIRFIELD, CA 94534 TELEPHONE: (707) 759-5260</p>	<p>MK2 ENGINEERS</p> <p>GREEN VALLEY EXECUTIVE CENTER 5030 BUSINESS CENTER DRIVE SUITE 150 FAIRFIELD, CA 94534 TELEPHONE: (707) 759-5260 EMAIL: MKiani@mk2eng.com</p> <p>MIKE KIANI, PE</p>	<p>MK2 ENGINEERS</p> <p>GREEN VALLEY EXECUTIVE CENTER 5030 BUSINESS CENTER DRIVE SUITE 150 FAIRFIELD, CA 94534 TELEPHONE: (707) 759-5260 EMAIL: MKiani@mk2eng.com</p> <p>MIKE KIANI, PE</p>	<p>MK2 ENGINEERS</p> <p>GREEN VALLEY EXECUTIVE CENTER 5030 BUSINESS CENTER DRIVE SUITE 150 FAIRFIELD, CA 94534 TELEPHONE: (707) 759-5260 EMAIL: TDordea@mk2eng.com</p> <p>TOMA P. DORDEA, PE</p>	<p>NAPA CUSTOM CRUSH LLC</p> <p>4290 KINGSFORD DRIVE NAPA, CA 94558</p>	<p>KELVIN MORASCH CONSULTING</p> <p>1962 WISE DRIVE NAPA, CA 94558 TELEPHONE: (707) 738-6278 EMAIL: K.Morasch@yahoo.com</p> <p>KELVIN MORASCH</p>
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<p>SEPARATE PERMITS</p> <p>THE FOLLOWING ITEMS ARE SEPARATE PERMITS AND ARE NOT A PART OF THIS BUILDING PERMIT. SOME ITEMS RELATED TO THESE SEPARATE PERMITS ARE SHOWN THROUGHOUT THE DRAWINGS FOR REFERENCE ONLY:</p> <ul style="list-style-type: none"> FIRE SPRINKLER SYSTEM: B13-376 FIRE ALARM SYSTEM: B13-375 FIRE PUMP: B13-480 CAVE PORTAL: B09-141 THREE (3) 10,000 GALLON WATER TANKS. 																	

NO.	REVISION
△	CLOSE OUT REVISION
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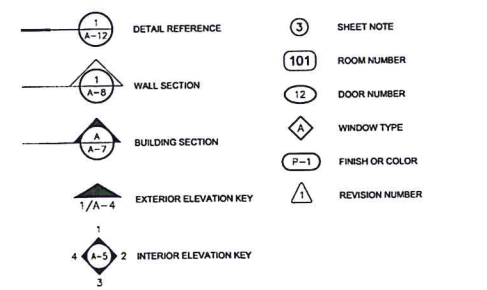
PROJECT
NAPA CUSTOM CRUSH WINE CAVES

2275 SODA CANYON ROAD
NAPA, CA 94559

ISSUED FOR PLAN REVIEW

PROJECT TITLE SHEET	
SCALE	AS NOTED
DATE	MAY 6, 2013
DRAWN BY	CC/AH/SD
CHECKED BY	
JOB NO.	1308
SHEET NO.	T0.1





ACCESSORY BUILDING CODE
 BLDG CALIFORNIA BUILDING CODE
 CEC CALIFORNIA ELECTRICAL CODE
 CMC CALIFORNIA MECHANICAL CODE
 CPC CALIFORNIA PLUMBING CODE
 CHP CHAPTER
 CLR CLEAR
 DIA DIAMETER
 DWG DRAWING
 DWGS DRAWINGS
 ELEC ELECTRIC OR ELECTRICAL
 EQ EQUAL
 FT FOOT OR FEET
 GA GAGE OR GAUGE

- SPRINKLER SYSTEM SHALL CONFORM TO NFPA 13, 2010 EDITION.
- A MANUAL ALARM FIRE SYSTEM SHALL BE INSTALLED THROUGHOUT THE WINE CAVES. FIRE ALARM SYSTEM SHALL CONFORM TO NFPA72, 2010 EDITION.
- PROVIDE 2A10BC FIRE EXTINGUISHERS THROUGHOUT THE WINE CAVES WHICH ARE LOCATED WITHIN 75 FEET OF TRAVEL DISTANCE FROM ANY PORTION OF THE CAVES. FIRE EXTINGUISHERS SHALL BE MOUNTED 42"-60" ABOVE THE FLOOR TO THE TOP OF THE EXTINGUISHER AND SHALL BE CURRENTLY SERVICED AND TAGGED.
- AN APPROVED KEY BOX SHALL BE PROVIDED TO ENSURE BUILDING ACCESS BY THE FIRE DEPARTMENT. VERIFY EXACT LOCATION AND TYPE WITH THE FIRE DEPARTMENT PRIOR TO INSTALLATION.
- TEMPORARY CONSTRUCTION OFFICE (MODULAR BUILDING/TRAILER) SHALL BE PROVIDED WITH AT LEAST ONE 2A10BC FIRE EXTINGUISHER IN A READILY ACCESSIBLE LOCATION ADJACENT TO THE PRIMARY EXIT TO THE UNIT. PROVIDE A MINIMUM OF ONE BATTERY-OPERATED SMOKE DETECTOR. IF THE CONSTRUCTION TRAILER IS DIVIDED INTO MULTIPLE AREAS SUCH AS OFFICE(S) AND STORAGE AREA(S), A SMOKE DETECTOR SHALL BE INSTALLED IN EACH AREA.
- NO WELDING/CUTTING OPERATIONS SHALL BE CONDUCTED UNLESS A PERMIT HAS BEEN OBTAINED AND/OR APPROVAL HAS BEEN GRANTED BY THE FIRE DEPARTMENT.
- VERIFY WITH FIRE DEPARTMENT IF NEW FIRE HYDRANTS AND ACCESS ROADS ARE REQUIRED BY THE FIRE PROTECTION DISTRICT PRIOR TO THE START OF COMBUSTIBLE CONSTRUCTION.
- CONTACT THE FIRE PROTECTION DISTRICT, MINIMUM 24 HOUR NOTICE, FOR FINAL INSPECTION OF THE BUILDING PRIOR TO OCCUPANCY.

- BUILDING CODE AS WELL AS ALL REFERENCED DOCUMENTS.
- THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, LOCATION OF NEW FRAMING MEMBERS, LINES OF SUPPORT, LOCATIONS OF ANCHOR BOLTS, HOLD-DOWNS, EXISTING SITE CONDITIONS, AND UTILITIES PRIOR TO CONSTRUCTION.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, ADEQUACY, AND SAFETY OF ERECTION BRACING, TEMPORARY SUPPORTS, ETC.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, FLOOR SHEATHING, STRUCTURAL ELEMENTS AND FINISH MATERIALS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION, DEMOLITION MEANS AND METHODS ON THE PROJECT.
- THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL MATERIALS, AS REQUIRED BY CODE, ARE TESTED BY INDEPENDENT LABORATORIES AND THAT RESULTS ARE FURNISHED TO LOCAL BUILDING AUTHORITIES, OWNER, AND PROJECT CONSULTANTS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, MAINTAINING, RELOCATING AND/OR REMOVAL OF EXISTING UTILITIES AS NOTED ON THE PLANS.
- GENERAL CONTRACTOR SHALL VERIFY ALL MATERIAL SECTIONS, THICKNESS, AND DESIGN WITH THE SOILS REPORT.
- GENERAL CONTRACTOR SHALL VERIFY THE ALLOWABLE HOURS OF CONSTRUCTION WITH THE PLANNING AND BUILDING DEPARTMENTS PRIOR TO COMMENCEMENT OF WORK.
- ADDITIONAL ON-SITE FIRE PROTECTION DURING CONSTRUCTION TO BE PROVIDED AS REQUIRED BY FIRE MARSHAL.
- ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR HOW THE WORK IS PERFORMED, SAFETY, OR NEGLIGENT ACTS OR OMISSIONS BY THE OWNER, GENERAL CONTRACTOR, OR THEIR SUB-CONTRACTORS.
- DOCUMENTS MARKED "BID DOCUMENTS" SHALL NOT BE USED FOR CONSTRUCTION.
- ANY CHANGES TO THESE DOCUMENTS OR THE DESIGN AFTER THE ISSUANCE OF A BUILDING PERMIT SHALL BE SUBMITTED BY THE GENERAL CONTRACTOR TO THE PRESIDING BUILDING AGENCY FOR APPROVAL.

EGRESS SITE PLAN & ACCESSIBLE PARKING PLAN

A0.2 EGRESS SITE PLAN & ACCESSIBLE PARKING PLAN

A0.3 ACCESSIBILITY NOTES & DETAILS

A0.4 CALGREEN REQUIREMENTS

A2.1 WINE CAVE PLAN

A2.2 WINE CAVE REFLECTED CEILING PLAN

A3.1 WINE CAVE SECTIONS

A4.1 ENLARGED PLANS & INTERIOR ELEVATIONS

A6.1 DOOR SCHEDULE & INTERIOR DETAILS

REVISION PROFESSIONAL ENGINEER

MIKE KWAN

12-31-11

STATE OF CALIFORNIA

Green Valley Executive Cent
 5030 Business Center Drive
 Suite 150
 Fairfield, CA 94534
 Phone: (707)759-5260
 Fax: (707)759-5905
 www.mk2eng.com

SANITARY FACILITY REQUIREMENTS

PLUMBING FIXTURE CALCULATIONS

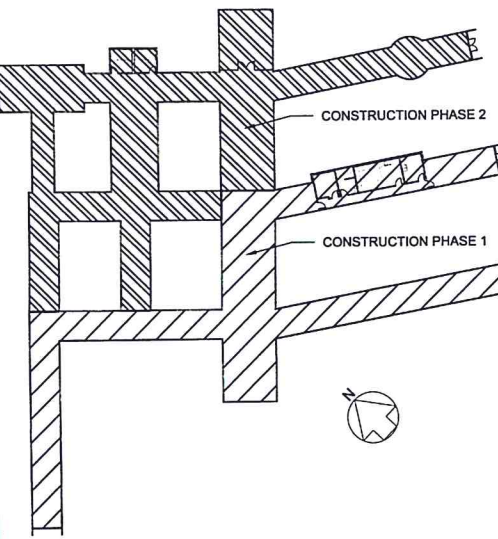
NAME OF SPACE	AREA (SF)	GROUP	LOAD FACTOR (CPC TABLE A)	NUMBER OF OCCUPANTS
PRESS AREA	750	F	2,000	1
FERMENTATION	1,088	F	2,000	1
HOSPITALITY	957	F	2,000	1
OFFICE ENTRY CIRCULATION	408	ACC.	0	0
CIRCULATION NEAR TASTING ROOM	393	ACC.	0	0
MISC CIRCULATION	227	ACC.	0	0
WINE LAB	300	F	2,000	1
BARREL STORAGE & CIRCULATION	9,763	S	5,000	2
STORAGE ROOM	713	S	5,000	1
TASTING ROOM & WINE BAR	880	B	200	5
OFFICE AREA	279	B	200	2
BREAK ROOM	144	B	200	1
DOME / GUEST ENTRY TUNNEL	1,348	ACC.	0	0
RESTROOMS	264	ACC.	0	0
SHOWER ROOM	120	ACC.	0	0
ELECTRICAL ROOM	144	ACC.	0	0
TOTAL	17,778			15

PLUMBING FIXTURE QUANTITIES

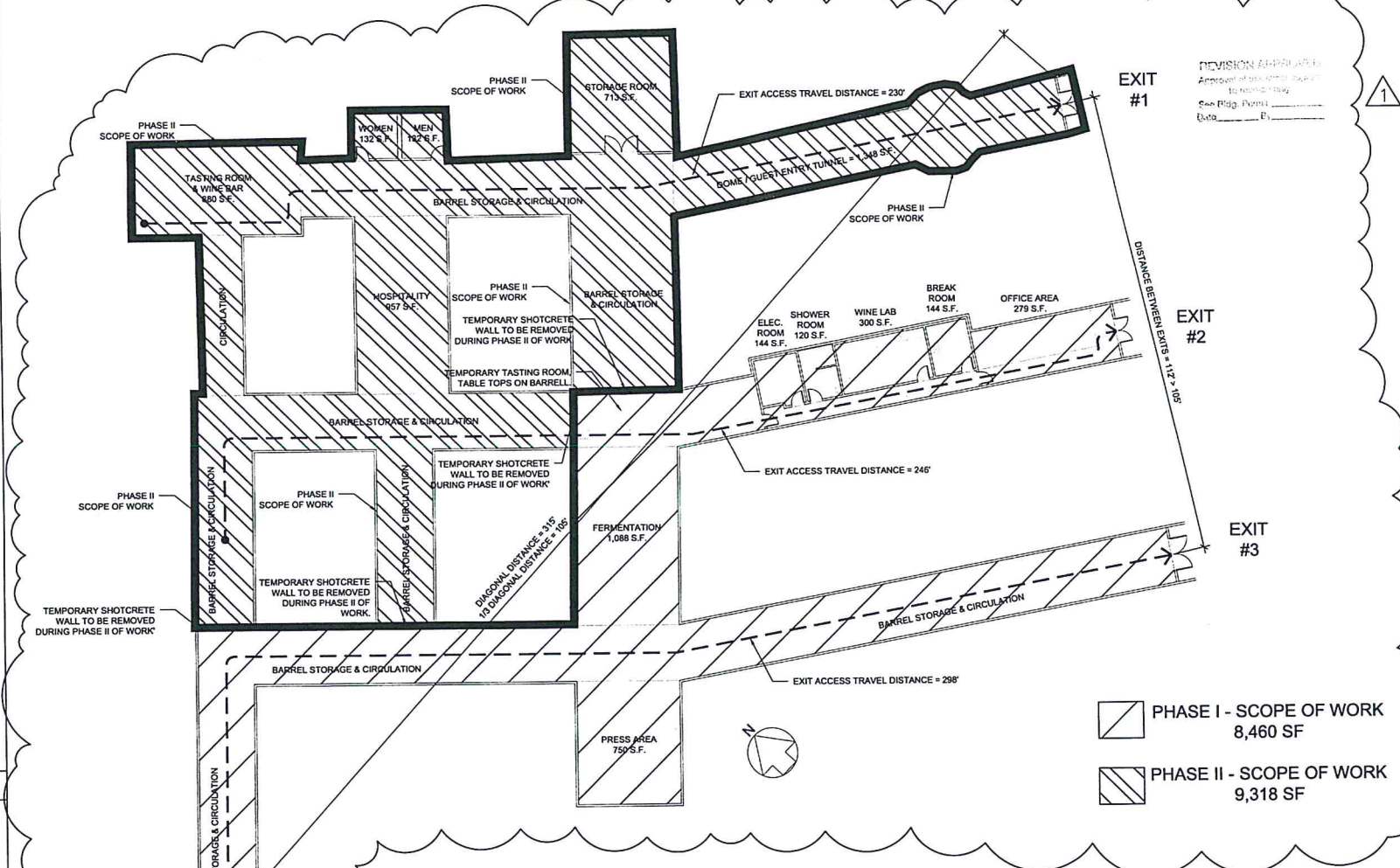
(CPC TABLE 4-1)	REQUIRED				PROVIDED			
	MEN	WOMEN	MEN	WOMEN	UNISEX	TOTAL		
WATER CLOSETS	1	1	1	1	1	1	3	
URINALS	0	0	0	0	0	0	0	
LAVATORIES	1	1	1	1	1	1	3	
SHOWERS	0	0	0	0	0	1	1	
DRINKING FOUNTAINS	0	0	0	0	0	0	0	

CONSTRUCTION PHASING

BUILDING PERMIT IS FOR THE ENTIRE SCOPE OF WORK, INCLUDING BOTH CONSTRUCTION PHASES. THE DIAGRAM BELOW REPRESENTS THE CONTRACTOR'S OPTION FOR CONSTRUCTION PHASING.



OCCUPANCY & EGRESS ANALYSIS



CODE ANALYSIS

PROJECT INFORMATION:

TOTAL AREA OF WINE CAVES: 17,778 S.F.

OCCUPANCY GROUPS: F-2, S-2, B

TYPE OF CONSTRUCTION: V-8

WINE CAVE TYPE: TYPE III CAVE

FIRE SPRINKLERS: YES

NUMBER OF STORES: ONE (UNDERGROUND)

BUILDING HEIGHTS AND AREAS

OCC. GROUP	ALLOWABLE			PROPOSED		
	AREA (SF)	STORIES	HEIGHT (FT)	AREA (SF)	STORIES	HEIGHT (FT)
F-2	13,000	2	40	4,123	1	N/A
S-2	13,500	2	40	10,476	1	N/A
B	9,000	2	40	3,179	1	N/A

ALLOWABLE AREA PER STORY (CBC 506.1):

$A_a = A_l + (A_l \times l_f) + (A_l \times l_b)$

F-2 OCCUPANCY:

$A_a = 13,000 + (13,000 \times 0.75) + (13,000 \times 2)$

$A_a = 13,000 + 9,750 + 26,000$

$A_a = 48,750$

S-2 OCCUPANCY:

$A_a = 13,500 + (13,500 \times 0.75) + (13,500 \times 2)$

$A_a = 13,500 + 10,125 + 27,000$

$A_a = 50,625$

B OCCUPANCY:

$A_a = 9,000 + (9,000 \times 0.75) + (9,000 \times 2)$

$A_a = 9,000 + 6,750 + 18,000$

$A_a = 33,750$

NONSEPARATED OCCUPANCIES (CBC 506.2):

THE TOTAL PROPOSED AREA OF 17,778 SF IS LESS THAN THE MOST RESTRICTIVE ALLOWABLE AREA PER STORY OF 33,750 SF (B OCCUPANCY). THEREFORE, THIS FACILITY COMPLIES WITH THE REQUIREMENTS FOR NONSEPARATED OCCUPANCIES.

FRONTAGE INCREASE (CBC 506.2):

FACILITY IS UNDERGROUND AND ALL PORTIONS OF FACILITY ARE MORE THAN 60 FEET FROM THE PROPERTY LINE IN ALL DIRECTIONS AND ON ALL SIDES. THEREFORE, THE MAXIMUM ALLOWED VALUE OF 0.75 FOR FRONTAGE INCREASE (if) IS USED IN THE CALCULATIONS ABOVE.

SPRINKLER SYSTEM INCREASE (CBC 506.3):

FACILITY IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM. THEREFORE, A VALUE OF 2 FOR SPRINKLER INCREASE (is) IS USED IN THE CALCULATIONS ABOVE.

REVISION APPROVED

Approval of this sheet applies to revision only. See Eng. Permit 13-00372

MIKE KWAN

13-00372

OFFICE SET

REVIEWED FOR CODE COMPLIANCE

Approval of these plans does not constitute or imply any endorsement or approval of the quality of work, materials, or construction methods shown on these plans. The responsibility of the contractor is to verify the accuracy of all information on these plans. No responsibility shall be assumed for any errors or omissions in these plans, or for any consequences arising therefrom.

DATE: FEB 25 2014

By: [Signature]

Date: [Date]

13-00372

Retiree County Planning, Building & Environmental Services

Blgg, Inc.

AREA & OCCUPANCY CALCULATIONS

NAME OF SPACE	AREA (SF)	OCCUPANCY (CBC CHAPTER 3)	FUNCTION OF SPACE (CBC TABLE 1004.1.1)	LOAD FACTOR (CBC TABLE 1004.1.1)	NUMBER OF OCCUPANTS	REQUIRED EXITS	PROVIDED EXITS
PRESS AREA	750	F-2	EQUIPMENT	300	3	1	1
FERMENTATION	1,088	F-2	EQUIPMENT	300	4	1	1
HOSPITALITY	957	F-2	BUSINESS	100	10	1	1
OFFICE ENTRY CIRCULATION	408	F-2	CIRCULATION	0	0	0	1
CIRCULATION NEAR TASTING ROOM	393	F-2	CIRCULATION	0	0	0	1
MISC CIRCULATION	227	F-2	CIRCULATION	0	0	0	1
WINE LAB	300	F-2	BUSINESS	100	3	1	1
BARREL STORAGE & CIRCULATION	9,763	S-2	WAREHOUSE	500	20	1	3
STORAGE ROOM	713	S-2	WAREHOUSE	500	2	1	1
TASTING ROOM & WINE BAR	880	B	BUSINESS	100	9	1	1
OFFICE AREA	279	B	BUSINESS	100	3	1	1
BREAK ROOM	144	B	BUSINESS	100	2	1	1
DOME / GUEST ENTRY TUNNEL	1,348	B	ACCESSORY USE	0	0	1	1
RESTROOMS	264	B	ACCESSORY USE	0	0	1	1
SHOWER ROOM	120	B	ACCESSORY USE	0	0	1	1
ELECTRICAL ROOM	144	B	ELECTRICAL ROOM	300	1	1	1
TOTAL	17,778				57	2	3

EXIT ACCESS TRAVEL DISTANCE

MAXIMUM EXIT ACCESS TRAVEL DISTANCE ALLOWED = 400' FOR F-2 AND S-2 OCCUPANCIES WITH SPRINKLER SYSTEM.

MAXIMUM EXIT ACCESS TRAVEL DISTANCE ALLOWED = 300' FOR B OCCUPANCY WITH SPRINKLER SYSTEM. (CBC 1014 & TABLE 1016.1)

EXIT DISCHARGE

SEE SITE PLAN AND ACCESSIBILITY PLAN, NOTES, AND DETAILS FOR INFORMATION REGARDING THE EXIT DISCHARGE. (CBC 1027)

NOTE: TWO EXITS ARE REQUIRED WHEN THE NUMBER OF OCCUPANTS EXCEEDS 49.

SHEET CONTENTS

ARCHITECTURAL COVER SHEET

SCALE AS NOTED

DATE MAY 6, 2013

DRAWN BY CC/4H/SD

CHECKED BY

JOB NO. 1308

SHEET NO. A0.1

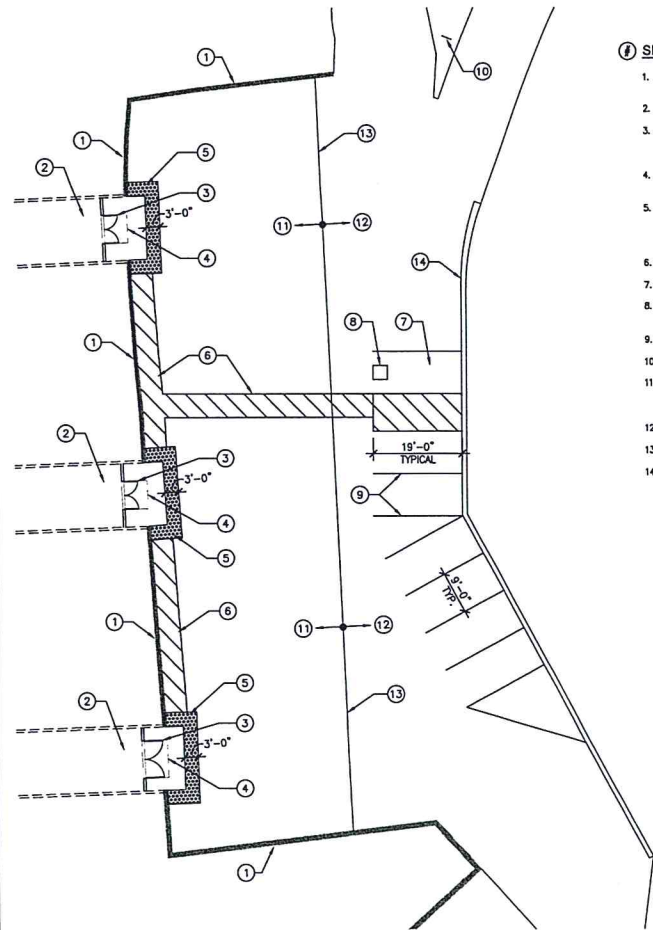
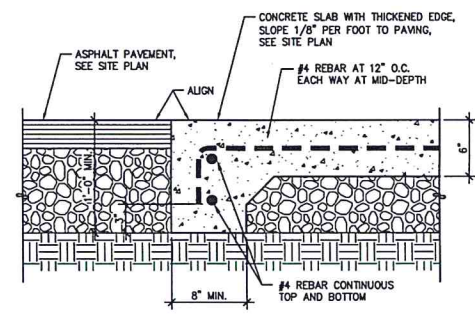
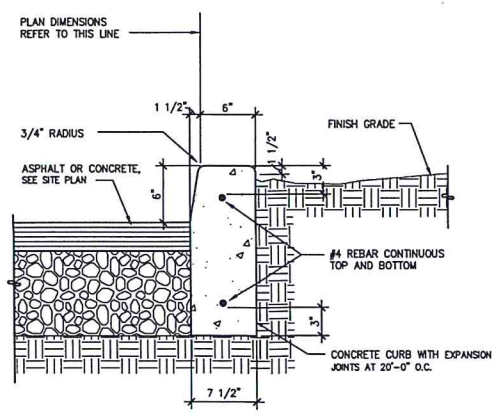
ISSUED FOR PLAN REVIEW

13-00372

SEE SHEET A0.3 FOR TYPICAL ACCESSIBILITY NOTES AND DETAILS.

1 SITE NOTES:

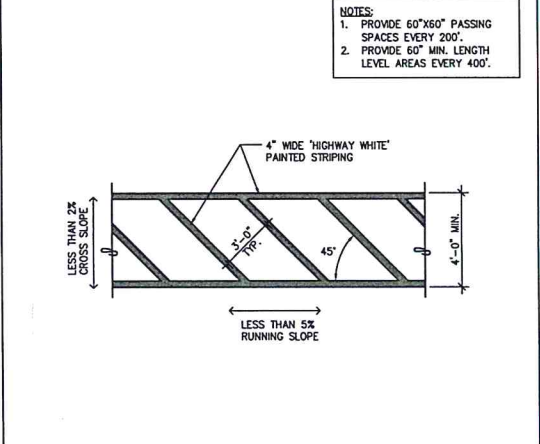
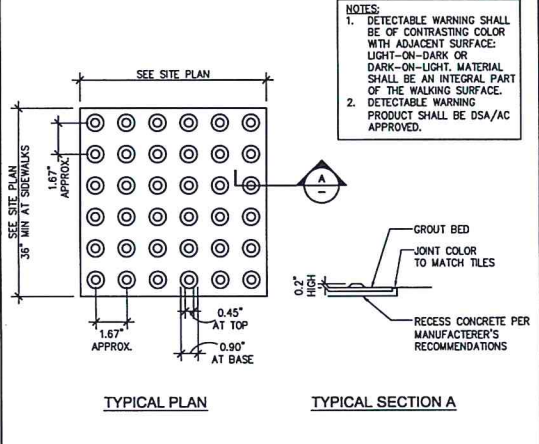
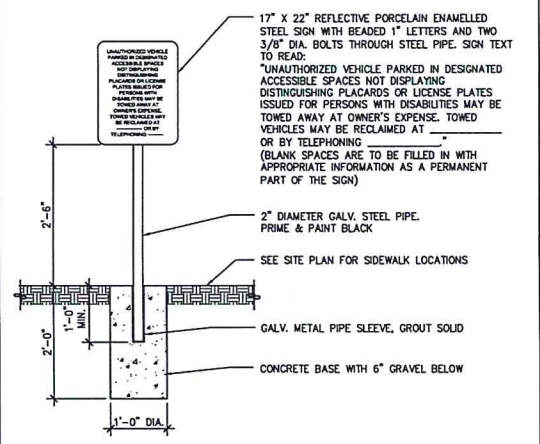
- EXISTING RETAINING WALL. SEE PROJECT TITLE SHEET, T1, FOR OTHER PERMIT NUMBERS THAT ARE NOT A PART OF THIS PERMIT.
- WINE CAVE ENTRANCE TUNNEL.
- ENTRY/EXIT DOORS. SEE DOOR SCHEDULE. PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY AT THE EXTERIOR NEAR THE ACCESSIBLE ENTRANCES. SEE DETAIL 9/A0.1.
- 60" DEEP LEVEL LANDING AT EACH EXTERIOR DOOR LESS THAN 2% SLOPE IN BOTH DIRECTIONS.
- 3'-0" WIDE CONTINUOUS DETECTABLE WARNING SURFACE TO WARN OCCUPANTS OF THE HAZARDOUS VEHICULAR AREA AS THEY EXIT THE FACILITY. SEE ACCESSIBILITY NOTES ON SHEET A0.3 AND DETAIL 6/A0.2.
- ACCESSIBLE PATH STRIPING. SEE DETAIL 2/A0.2.
- VAN ACCESSIBLE PARKING STALL. SEE DETAIL 1/A0.2.
- PAINTED INTERNATIONAL SYMBOL OF ACCESSIBILITY ON PAVEMENT. SEE DETAILS 1 & 5/A0.2.
- 4-INCH WIDE "HIGHWAY WHITE" PARKING STRIPING, TYPICAL.
- ACCESSIBLE SIGN AT PARKING LOT ENTRANCE. SEE DETAIL 10/A0.2.
- CONCRETE PAVING WITH MEDIUM BROOM FINISH. PROVIDE EXPANSION JOINTS AT 20'-0" MAXIMUM SPACING. SEE CIVIL DRAWINGS (SEPARATE PERMIT).
- ASPHALT PAVING. SEE CIVIL DRAWINGS (SEPARATE PERMIT).
- CONCRETE TRANSITION TO ASPHALT PAVING. SEE DETAIL 11/A0.2.
- CONCRETE CURB. SEE DETAIL 12/A0.2. SEE CIVIL DRAWINGS (SEPARATE PERMIT).



CONCRETE CURB (12)
SCALE: 1-1/2" = 1'-0"

CONCRETE TRANSITION TO ASPHALT PAVEMENT (11)
SCALE: 1-1/2" = 1'-0"

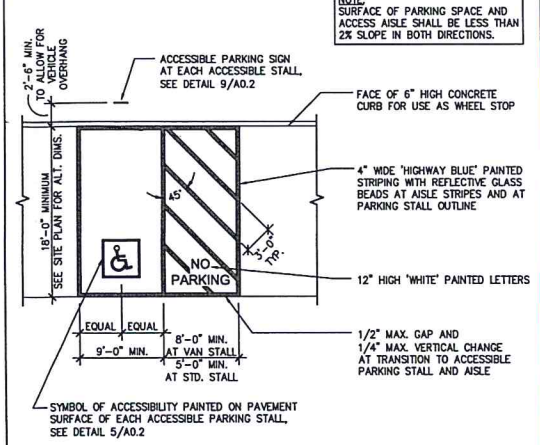
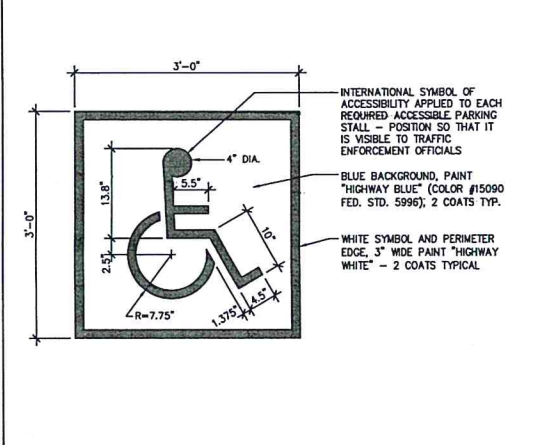
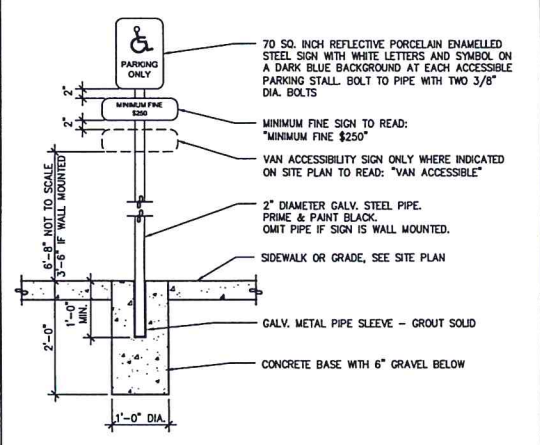
PARTIAL SITE PLAN - ACCESSIBLE PARKING (3)
SCALE: 1/16" = 1'-0"



ACCESSIBLE SIGN AT SITE ENTRANCE (10)
SCALE: 3/4" = 1'-0"

DETECTABLE WARNING SURFACE (6)
SCALE: 3" = 1'-0"

ACCESSIBLE PATH STRIPING (2)
SCALE: 1/4" = 1'-0"



REVIEWED FOR CODE COMPLIANCE

Approval of these plans does not authorize or constitute any opinion or declaration from the reviewer as to the accuracy or completeness of the information provided on these plans. The reviewer shall be available on the project site for any questions.

By: _____ Date: _____
Napa County Planning, Building & Environmental Services
Reg. Div.

NO.	REVISION
△	
△	
△	
△	
△	
△	

PROJECT
NAPA
CUSTOM CRUS
WINE CAVES
2275 SODA CANYON RD.
NAPA, CA 94559

SHEET CONTENTS

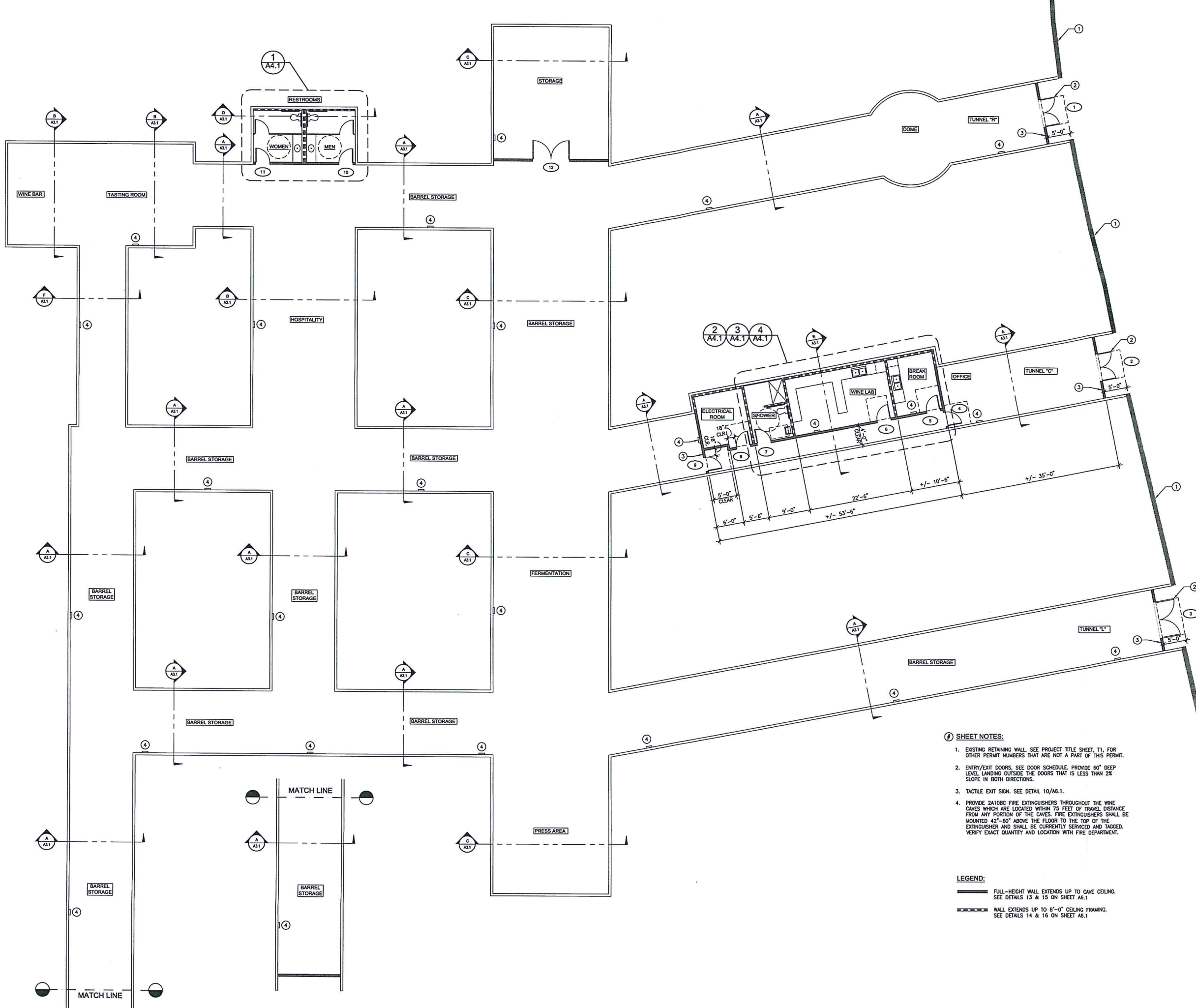
EGRESS SITE PL & ACCESSIBLE PARKING PLAN

SCALE	AS NOTED
DATE	MAY 6, 2013
DRAWN BY	CC/JH/SD
CHECKED BY	CC
JOB NO.	1308
SHEET NO.	A0.2

DATE: 04/23/2013 09:58:00 AM FILE: I:\2013\1308\1308-A0.2.DWG PLOTTED BY: CHRIS CURTIS ON: 5/6/2013 10:56:06 AM



CONSULTANTS



- 1 SHEET NOTES:**
- EXISTING RETAINING WALL. SEE PROJECT TITLE SHEET, T1, FOR OTHER PERMIT NUMBERS THAT ARE NOT A PART OF THIS PERMIT.
 - ENTRY/EXIT DOORS. SEE DOOR SCHEDULE. PROVIDE 60" DEEP LEVEL LANDING OUTSIDE THE DOORS THAT IS LESS THAN 2% SLOPE IN BOTH DIRECTIONS.
 - TACTILE EXIT SIGN. SEE DETAIL 10/A6.1.
 - PROVIDE 2A10BC FIRE EXTINGUISHERS THROUGHOUT THE WINE CAVES WHICH ARE LOCATED WITHIN 75 FEET OF TRAVEL DISTANCE FROM ANY PORTION OF THE CAVES. FIRE EXTINGUISHERS SHALL BE MOUNTED 42"-60" ABOVE THE FLOOR TO THE TOP OF THE EXTINGUISHER AND SHALL BE CURRENTLY SERVICED AND TAGGED. VERIFY EXACT QUANTITY AND LOCATION WITH FIRE DEPARTMENT.

- LEGEND:**
- FULL-HEIGHT WALL EXTENDS UP TO CAVE CEILING. SEE DETAILS 13 & 15 ON SHEET A6.1.
 - WALL EXTENDS UP TO 8'-0" CEILING FRAMING. SEE DETAILS 14 & 16 ON SHEET A6.1.

REVIEWED FOR CODE COMPLIANCE
Approval of these plans does not constitute approval or endorsement or opinion from the undersigned. It is the responsibility of the applicant to obtain all necessary permits and approvals from the appropriate agencies. The undersigned is not responsible for any errors or omissions on the plans or for any delays.

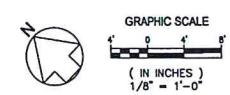
By: _____
Napa County Planning, Building & Environmental Services
May 2013

NO.	REVISION

PROJECT
NAPA CUSTOM CRUS WINE CAVES
2275 SODA CANYON RD
NAPA, CA 94559

ISSUED FOR PLAN REVIEW

SHEET CONTENTS	
WINE CAVE PLA	
SCALE	AS NOTED
DATE	MAY 6, 2013
DRAWN BY	CC/H/SD
CHECKED BY	CC
JOB NO.	1308
SHEET NO.	A2.1



13X A08 - NAPA CUSTOM CRUS WINE CAVES DRAWING 2-FLOOR PLAN-A2-1000 PLOTTED BY CHRIS COLEMAN ON 5/15/2013 10:57:57 AM