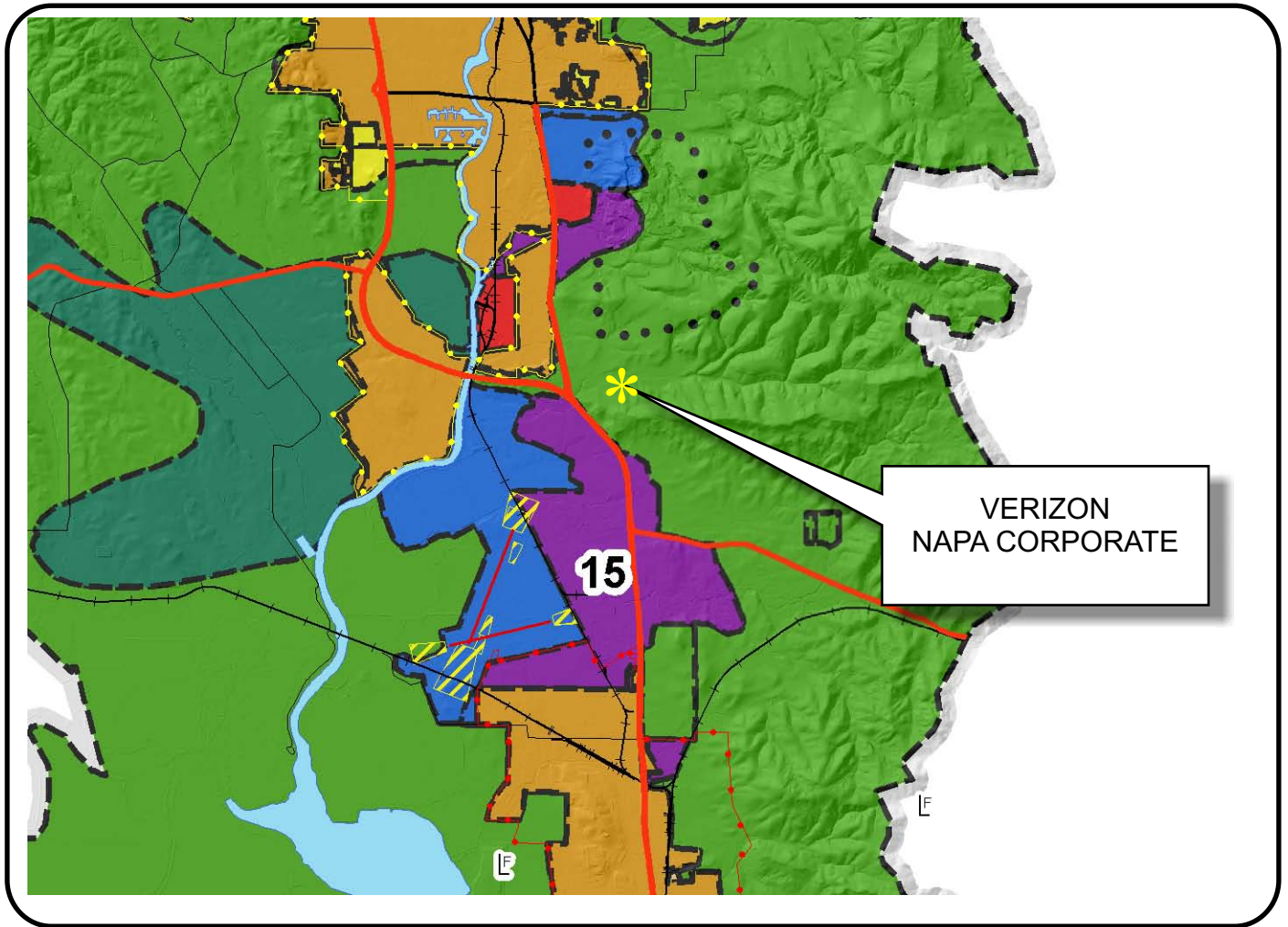








NAPA COUNTY LAND USE PLAN 2008 - 2030





LEGEND







URBANIZED OR NON-AGRICULTURAL

-  Cities
-  Urban Residential *
-  Rural Residential *
-  Industrial
-  Public-Institutional
-  Study Area

OPEN SPACE

-  Agriculture, Watershed & Open Space
-  Agricultural Resource

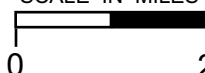
TRANSPORTATION

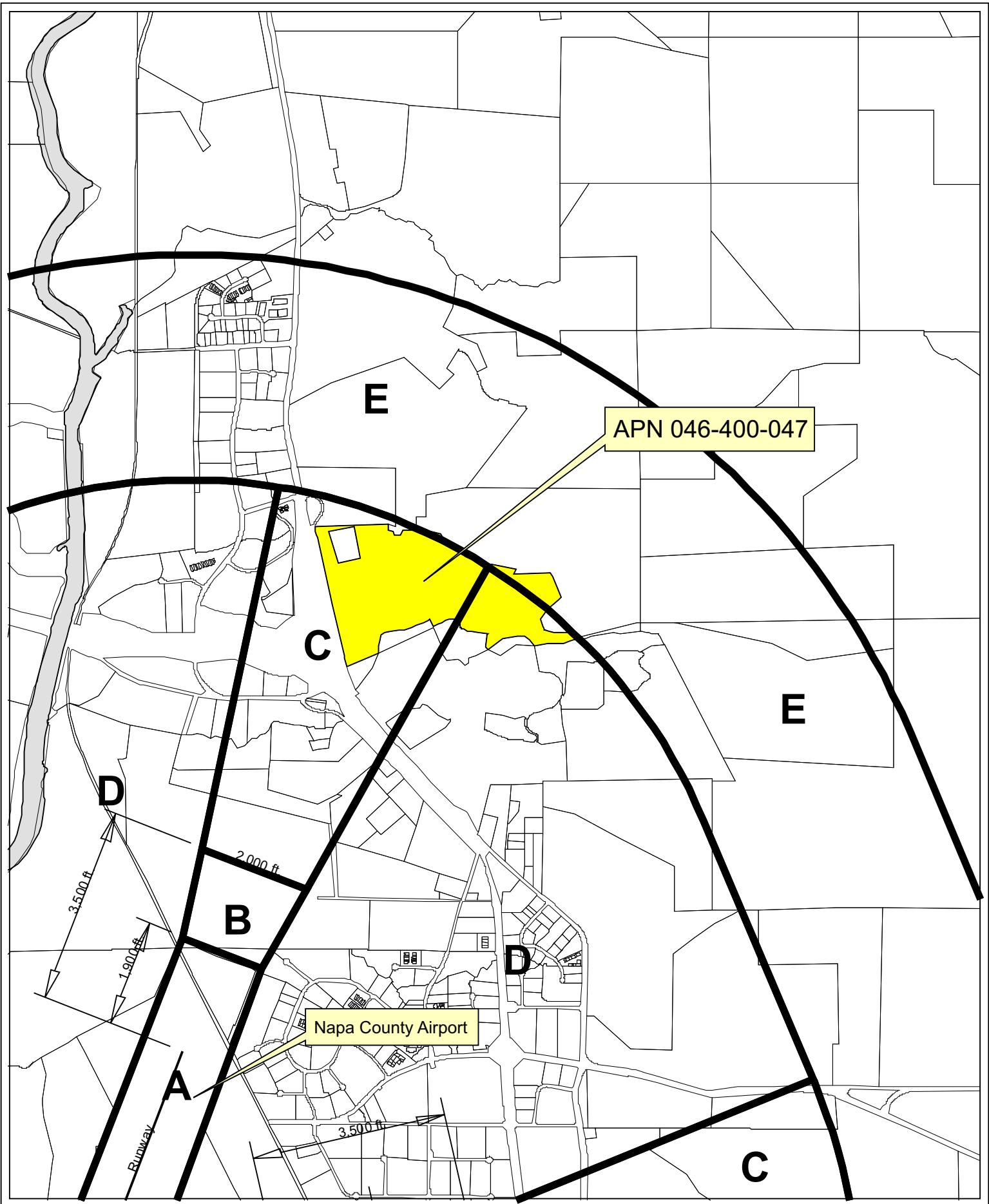
-  Mineral Resource
-  Railroad
-  Limited Access Highway
-  Major Road
-  Secondary Road
-  Airport
-  Airport Clear Zone
-  Landfill - General Plan

* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations

APN
046-400-047
05-26-2011
3C SPA

SCALE IN MILES





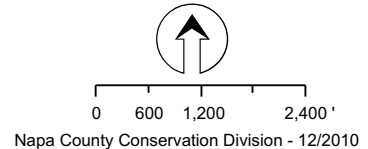
Horizontal Datum: NAD 83,
CA State Plane Coordinates,
Zone II, feet



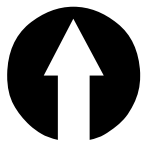
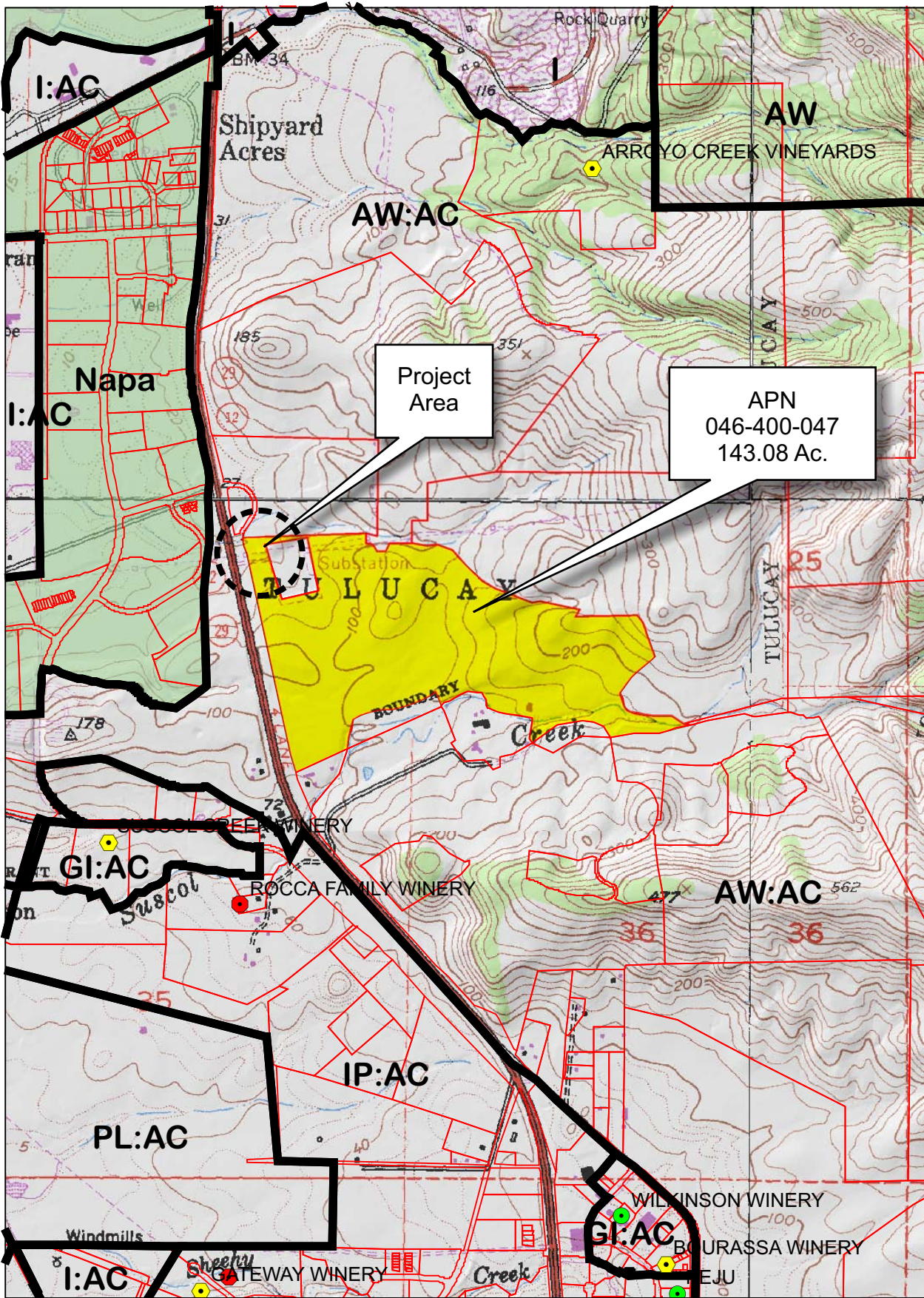
Compatibility Plan

Napa County Airport

Disclaimer: This map was prepared for informational purposes only. No liability is assumed for the accuracy of the data delineated hereon.

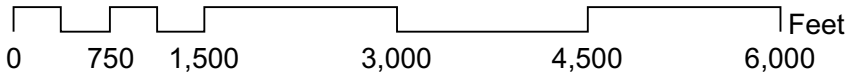


VERIZON - NAPA CORPORATE

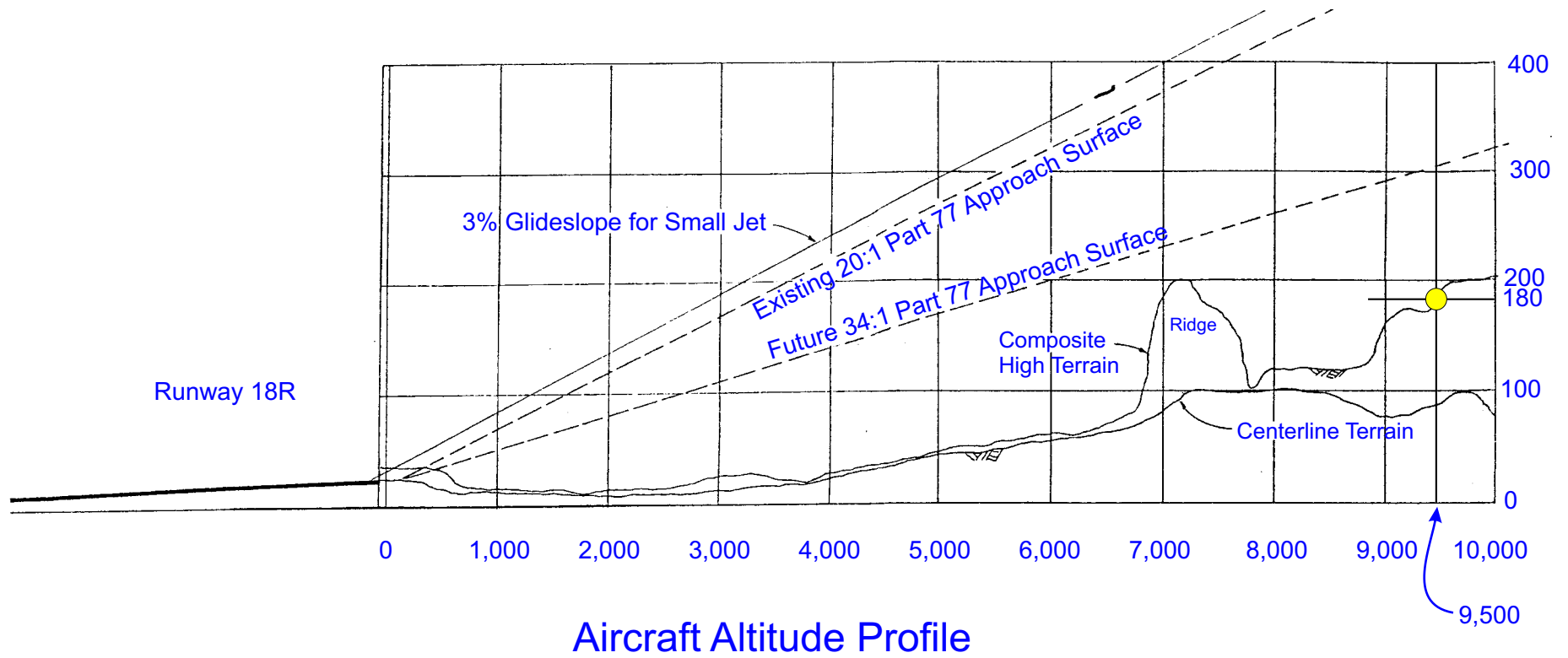


Legend

- Wineries in Vicinity**
- Producing
 - Approved
 - Pending
 - Zoning
 - Parcels

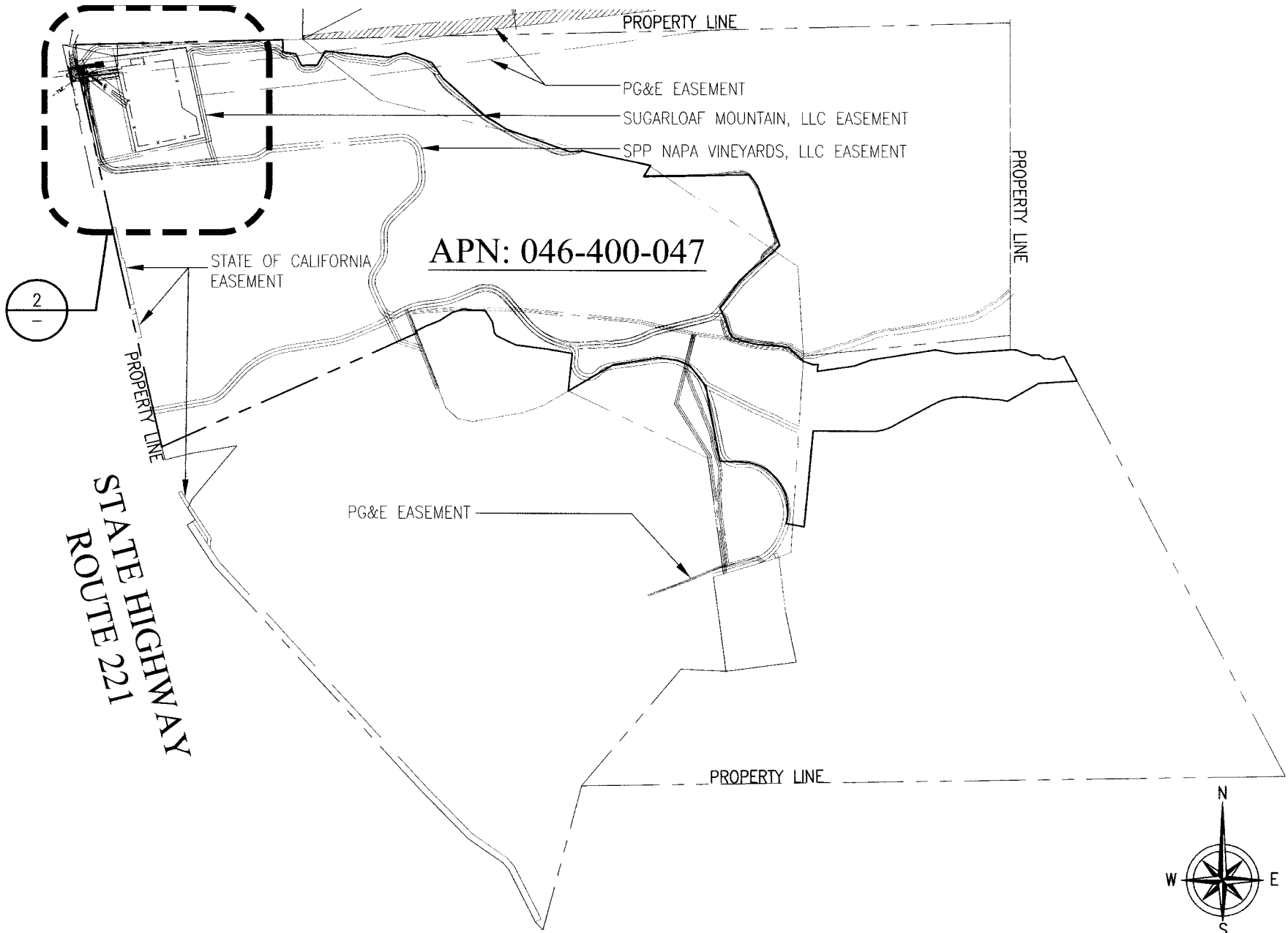


VERIZON - NAPA CORPORATE



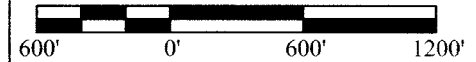
● = Project Location

VERIZON - NAPA CORPORATE



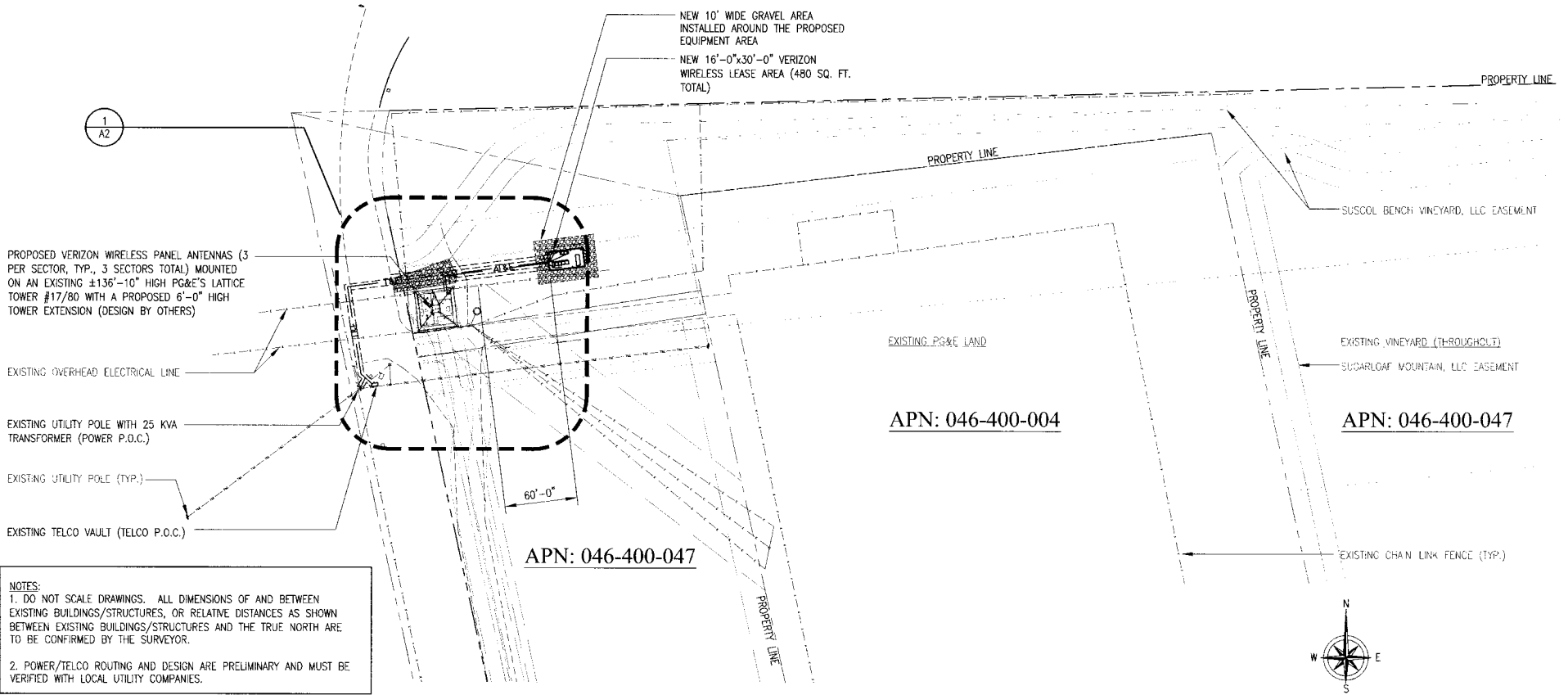
APN: 046-400-047

OVERALL SITE PLAN



1

VERIZON - NAPA CORPORATE



PARTIAL SITE PLAN

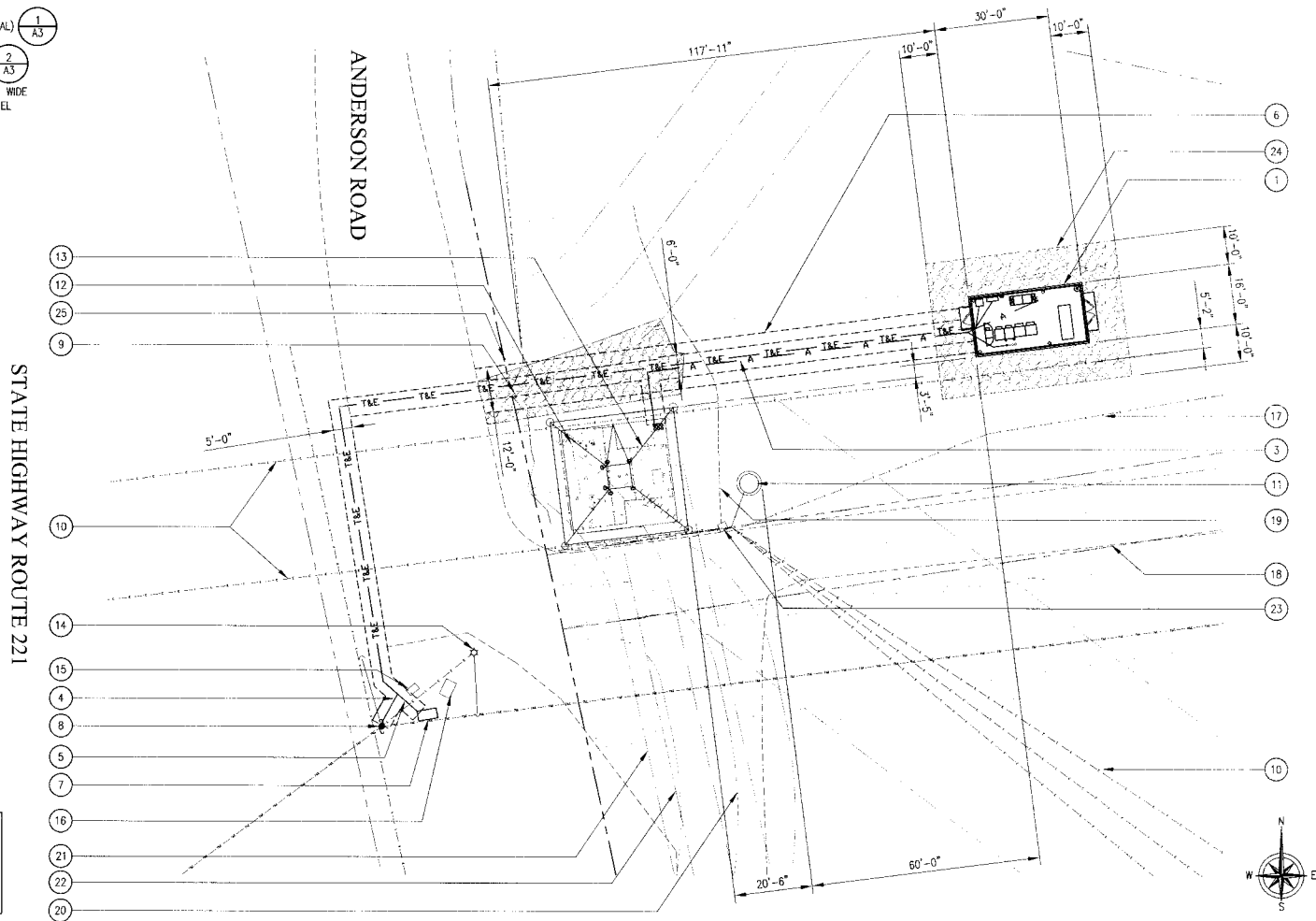


VERIZON - NAPA CORPORATE

KEY NOTES:

- 1 PROPOSED 16'-0" x 30'-0" VERIZON WIRELESS EQUIPMENT LEASE AREA (480 SQ. FT. TOTAL) 1
A3
- 2 PROPOSED VERIZON WIRELESS PANEL ANTENNAS (2 PER SECTOR, TYP., 3 SECTORS TOTAL) MOUNTED ON AN EXISTING ±136'-10" HIGH PG&E'S LATTICE TOWER #17/80 WITH A PROPOSED 6'-0" HIGH TOWER EXTENSION (DESIGN BY OTHERS) 2
A3
- 3 PROPOSED JOINT COAXIAL CABLE/POWER/TELCO UNDERGROUND ROUTING WITHIN A 6'-0" WIDE VERIZON WIRELESS CABLE EASEMENT (APPROX. 250 L.F. FROM EQUIPMENT AREA TO PANEL ANTENNA @ LATTICE TOWER)
- 4 PROPOSED POWER UNDERGROUND ROUTING WITHIN A 5'-0" WIDE VERIZON WIRELESS UTILITY EASEMENT (APPROX. 235 L.F. FROM POWER P.O.C. TO EQUIPMENT AREA)
- 5 PROPOSED TELCO UNDERGROUND ROUTING WITHIN A 5'-0" WIDE VERIZON WIRELESS UTILITY EASEMENT (APPROX. 220 L.F. FROM TELCO P.O.C. TO EQUIPMENT AREA)
- 6 PROPOSED 12'-0" WIDE ACCESS EASEMENT OVER EXISTING ACCESS ROAD (APPROX. 110 L.F. FROM EQUIPMENT AREA TO PUBLIC R.O.W. ALONG ANDERSON ROAD)
- 7 EXISTING TELCO VAULT (TELCO P.O.C.)
- 8 EXISTING UTILITY POLE WITH 25 KVA TRANSFORMER (POWER P.O.C.)
- 9 EXISTING MAIN ACCESS GATE (TYP.)
- 10 EXISTING OVERHEAD ELECTRICAL LINE
- 11 EXISTING 122'-6" HIGH STEEL PG&E MONOPOLE (TYP.)
- 12 EXISTING "MOBILE" EQUIPMENT AREA (TYP.)
- 13 EXISTING METRO PCS EQUIPMENT AREA (TYP.)
- 14 EXISTING UTILITY POLE W/ LIGHT (TYP.)
- 15 EXISTING ELECTRICAL VAULT
- 16 EXISTING METRO PCS TELCO PANEL (TYP.)
- 17 EXISTING 4'-0" HIGH BARBED WIRE FENCE (TYP.)
- 18 EXISTING 20' WIDE ACCESS ROAD (TYP.)
- 19 EXISTING DRAINAGE SWALE (TYP.)
- 20 SUGARLOAF MOUNTAIN, ECC EASEMENT
- 21 SUSCOL BLINCH VINEYARD, LOC & SPP NAPA VINEYARDS, LOC EASEMENT
- 22 DRIVEWAY EASEMENT
- 23 EXISTING STORM DRAIN INLET
- 24 PROPOSED 10' WIDE GRAVEL AREA AROUND THE PROPOSED EQUIPMENT AREA.
- 25 PROPOSED SITE ADDRESS INSTALLED IN CONFORMANCE WITH FIRE DEPARTMENT REQUIREMENTS

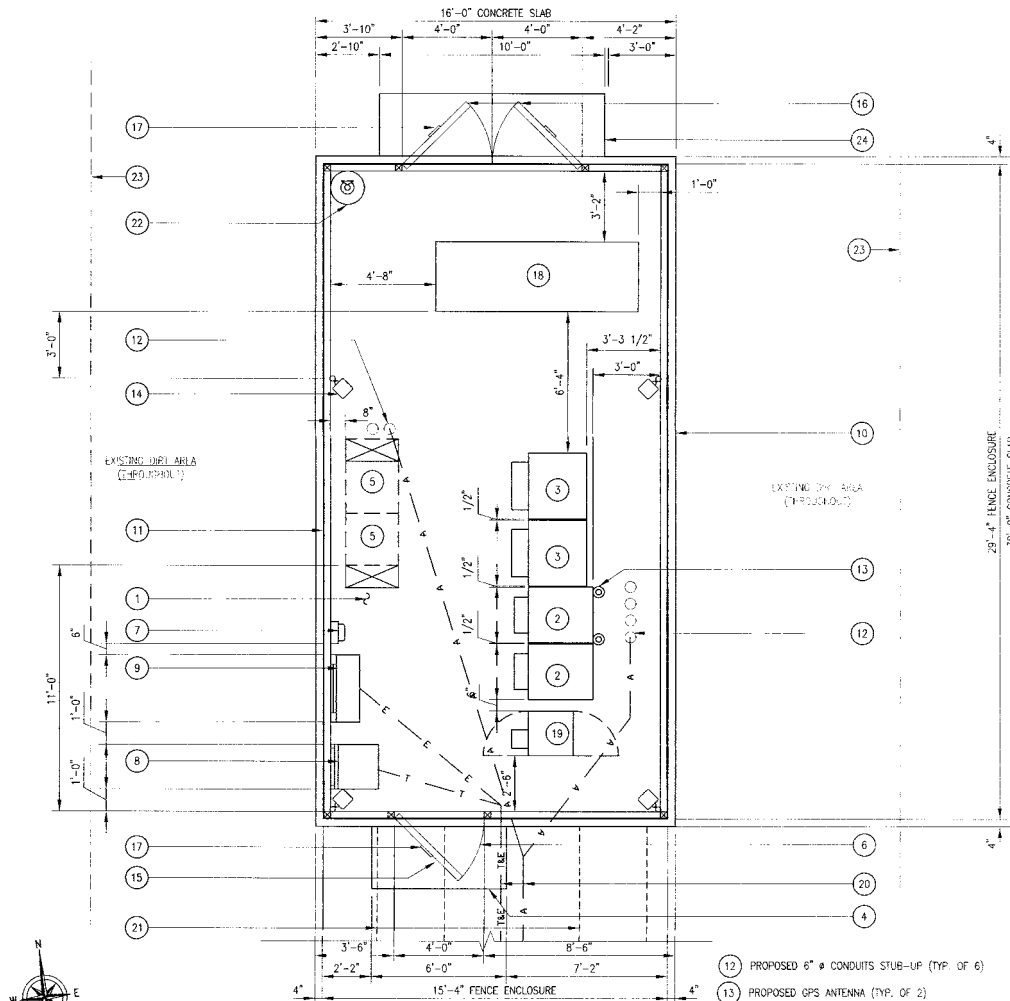
NOTES:
 1. DO NOT SCALE DRAWINGS. ALL DIMENSIONS OF AND BETWEEN EXISTING BUILDINGS/STRUCTURES, OR RELATIVE DISTANCES AS SHOWN BETWEEN EXISTING BUILDINGS/STRUCTURES AND THE TRUE NORTH ARE TO BE CONFIRMED BY THE SURVEYOR.
 2. POWER/TELCO ROUTING AND DESIGN ARE PRELIMINARY AND MUST BE VERIFIED WITH LOCAL UTILITY COMPANIES.



ENLARGED SITE PLAN

SCALE:
 1/8" inch = 1 ft

VERIZON - NAPA CORPORATE



KEY NOTES:

1. PROPOSED 16'-0"x30'-0" VERIZON WIRELESS EQUIPMENT LEASE AREA (480 SQ. FT. TOTAL) ON PROPOSED CONCRETE PAD
2. PROPOSED BATTERY CABINET
3. PROPOSED MODELL EQUIP. CABINET
4. PROPOSED 4' X 6' CONCRETE STOOP
5. FUTURE EQUIP. CABINET
6. PROPOSED 4'-0" WIDE ACCESS DOOR WITH SHERIFF/FIRE DEPARTMENT RAPID ENTRY (KNOX) SYSTEM AS REQUIRED BY THE FIRE CHIEF
7. PROPOSED 200A METER W/ MAIN DISCONNECT
8. PROPOSED FIBER BOX
9. PROPOSED INTERSECT BOX
10. PROPOSED 16'-0"x30'-0" CONCRETE PAD (TYP.)
11. PROPOSED 6'-0" HIGH WOODEN FENCE, PAINTED & TEXTURED TO MATCH EXISTING FENCE
12. PROPOSED 6" Ø CONDUITS STUB-UP (TYP. OF 6)
13. PROPOSED GPS ANTENNA (TYP. OF 2)
14. PROPOSED SERVICE LIGHTING (TYP. OF 4)
15. PROPOSED 16" X 32" PERMANENT WEATHER-PROOF FACILITY IDENTIFICATION SIGN
16. PROPOSED (2) 4'-0" WIDE ACCESS DOOR
17. PROPOSED SITE SIGN & SAFETY SIGNAGE (TYP.)
18. PROPOSED 30KW STAND-BY DIESEL GENERATOR W/ 132 GALLON FUEL TANK (UL2085)
19. PROPOSED MISC. CABINET
20. PROPOSED JOINT COAXIAL CABLE/POWER/TELCO UNDERGROUND ROUTING WITHIN A 6'-0" WIDE VERIZON WIRELESS UTILITY EASEMENT - SEE SHEET 1/A2 FOR CONTINUATION
21. PROPOSED 12'-0" WIDE ACCESS EASEMENT OVER EXISTING ACCESS ROAD - SEE SHEET 1/A2 FOR CONTINUATION
22. PROPOSED MONITORED FIRE EXTINGUISHING SYSTEM
23. OUTLINE OF PROPOSED 10' WIDE GRAVEL AREA AROUND THE PROPOSED EQUIPMENT AREA - SEE SHEET 1/A2 FOR PARTICULARS
24. PROPOSED 4' X 10' CONCRETE STOOP

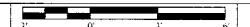
PROJECT NOTE:
1. ALL TREE TRIMMINGS AND TRASH GENERATED BY CONSTRUCTION OF THE FACILITY SHALL BE REMOVED FROM THE PROPERTY AND PROPERLY DISPOSED OF PRIOR TO BUILDING PERMIT FINALIZATION OR COMMENCEMENT OF OPERATION, WHICHEVER OCCURS FIRST.

NOTES:
1. DO NOT SCALE DRAWINGS. ALL DIMENSIONS OF AND BETWEEN EXISTING BUILDINGS/STRUCTURES, OR RELATIVE DISTANCES AS SHOWN BETWEEN EXISTING BUILDINGS/STRUCTURES AND THE TRUE NORTH ARE TO BE CONFIRMED BY THE SURVEYOR.

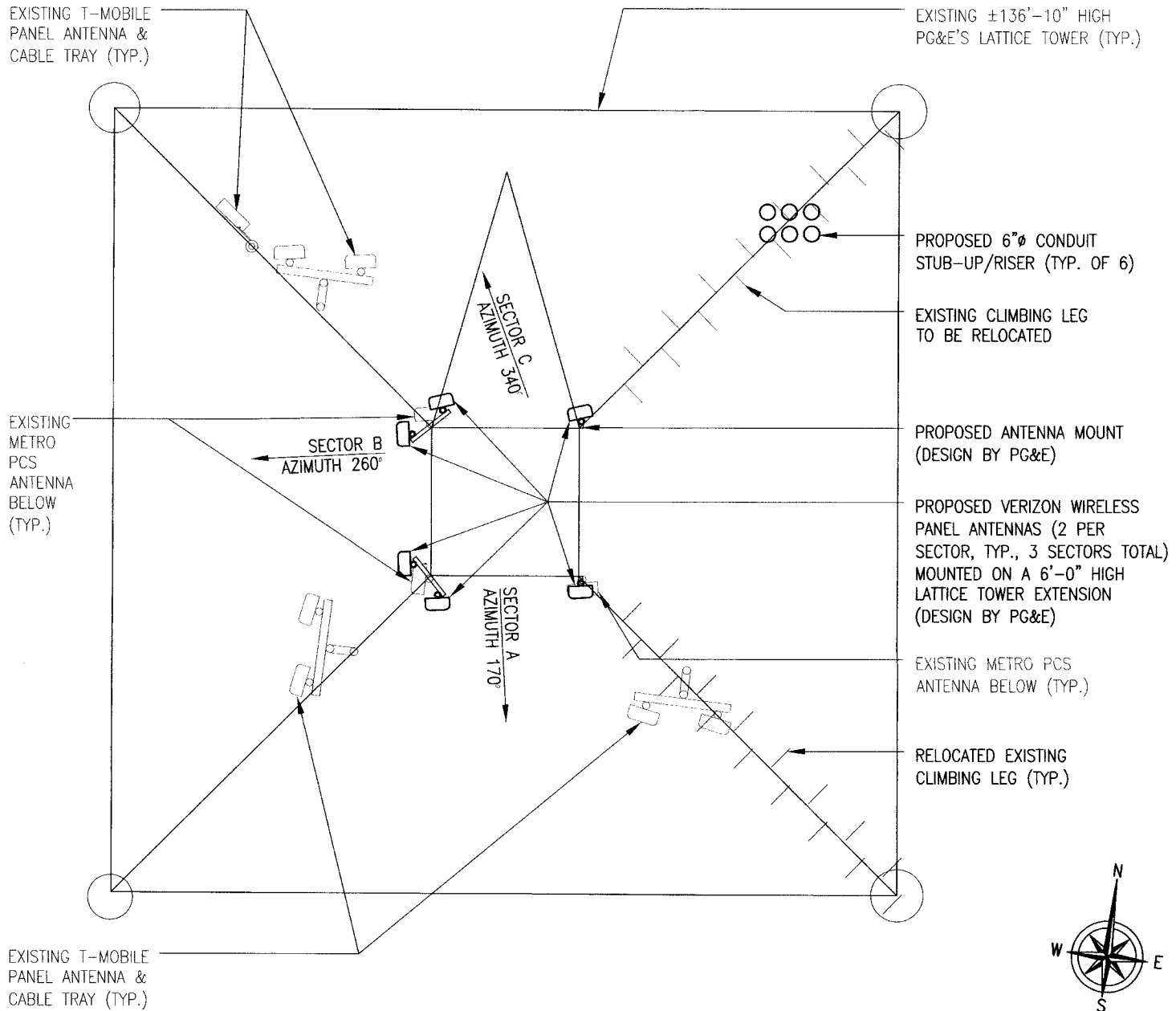
2. POWER/TELCO ROUTING AND DESIGN ARE PRELIMINARY AND MUST BE VERIFIED WITH LOCAL UTILITY COMPANIES.

3. EQUIPMENT DESCRIPTIONS AND LOCATIONS ARE ESTIMATES ONLY. EXACT EQUIPMENT SPECIFICATIONS AND LOCATIONS TBD BY VERIZON WIRELESS

EQUIPMENT AREA PLAN

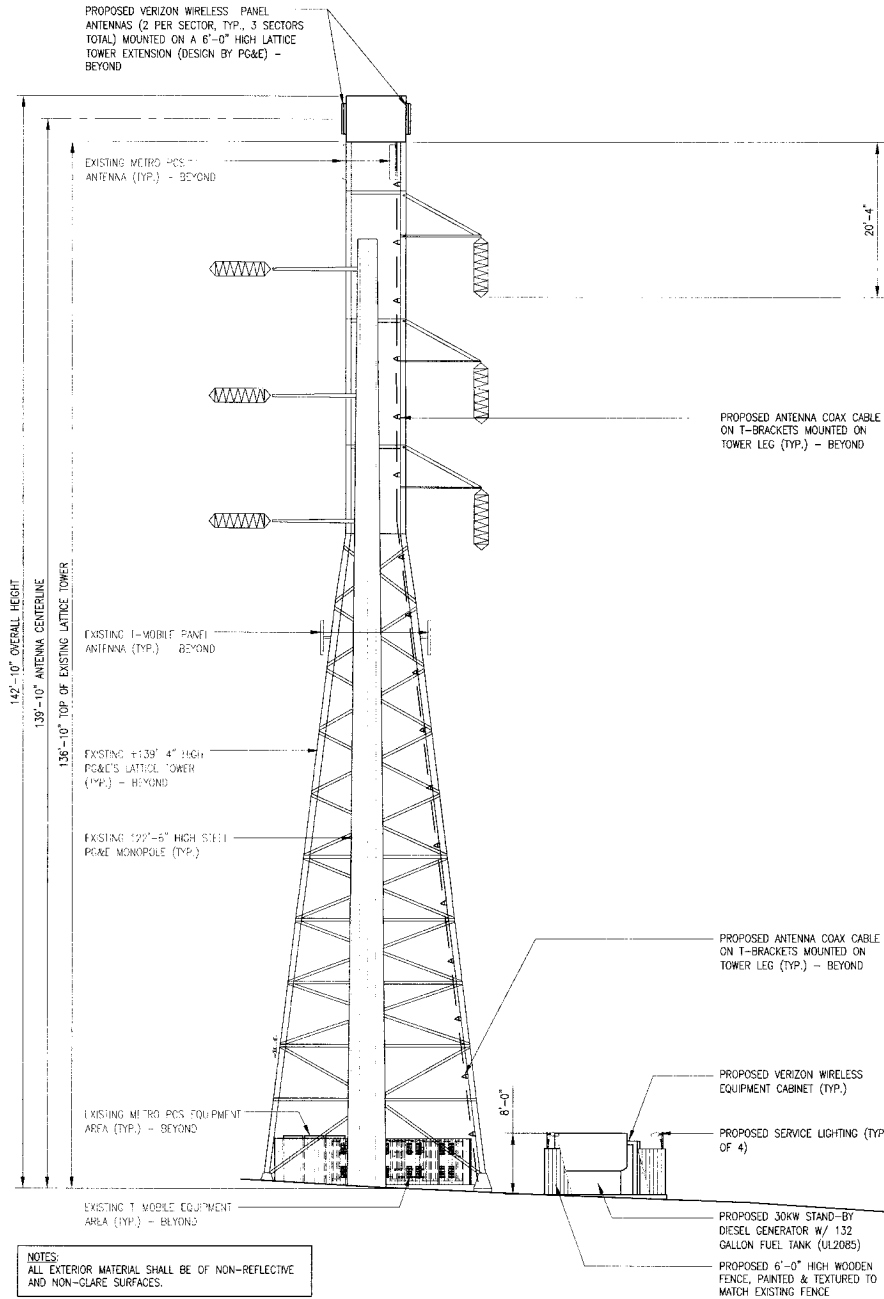


VERIZON - NAPA CORPORATE



ANTENNA LAYOUT

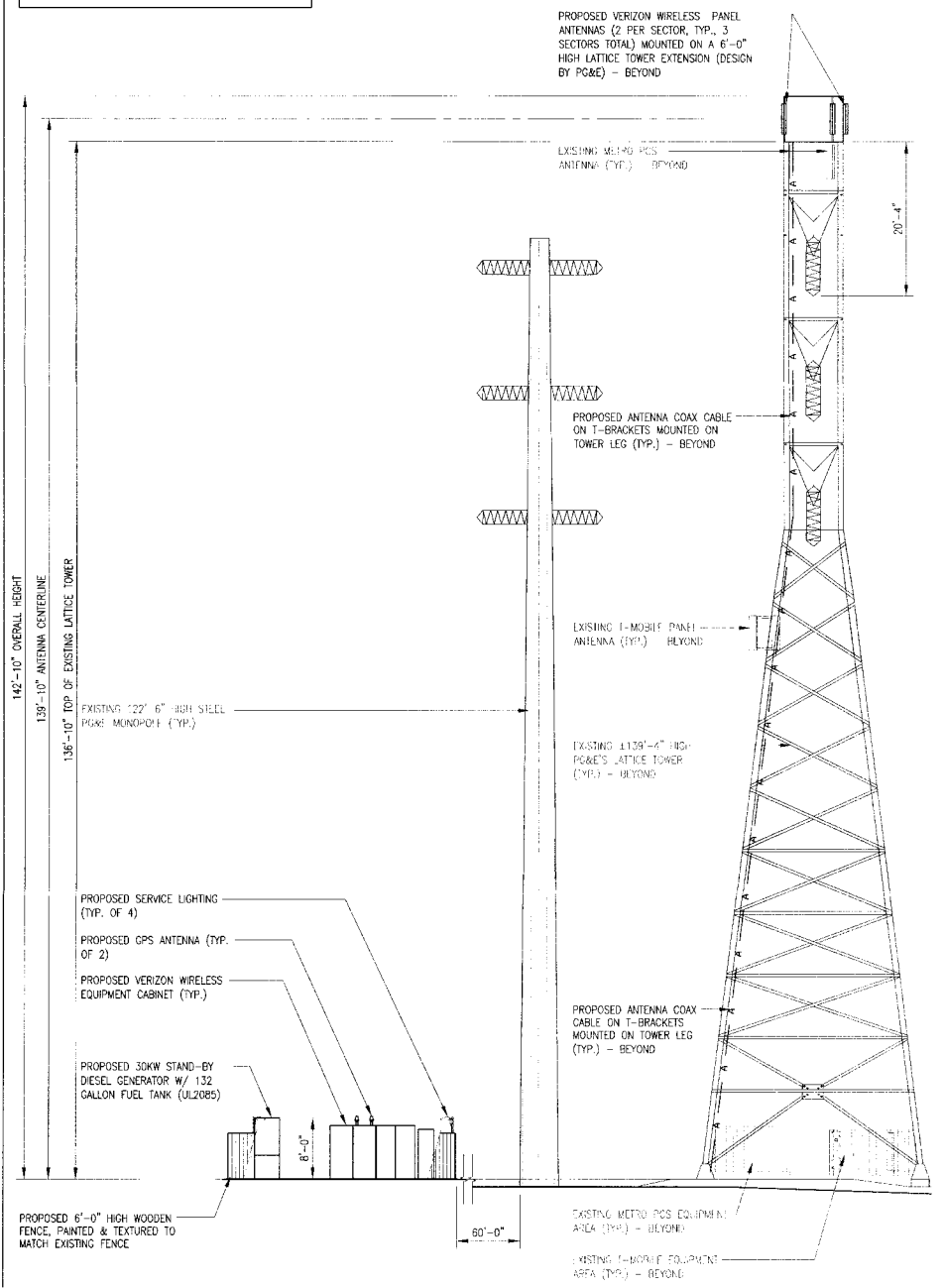
VERIZON - NAPA CORPORATE



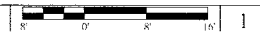
EAST ELEVATION



NOTES:
ALL EXTERIOR MATERIAL SHALL BE OF NON-REFLECTIVE AND NON-GLARE SURFACES.

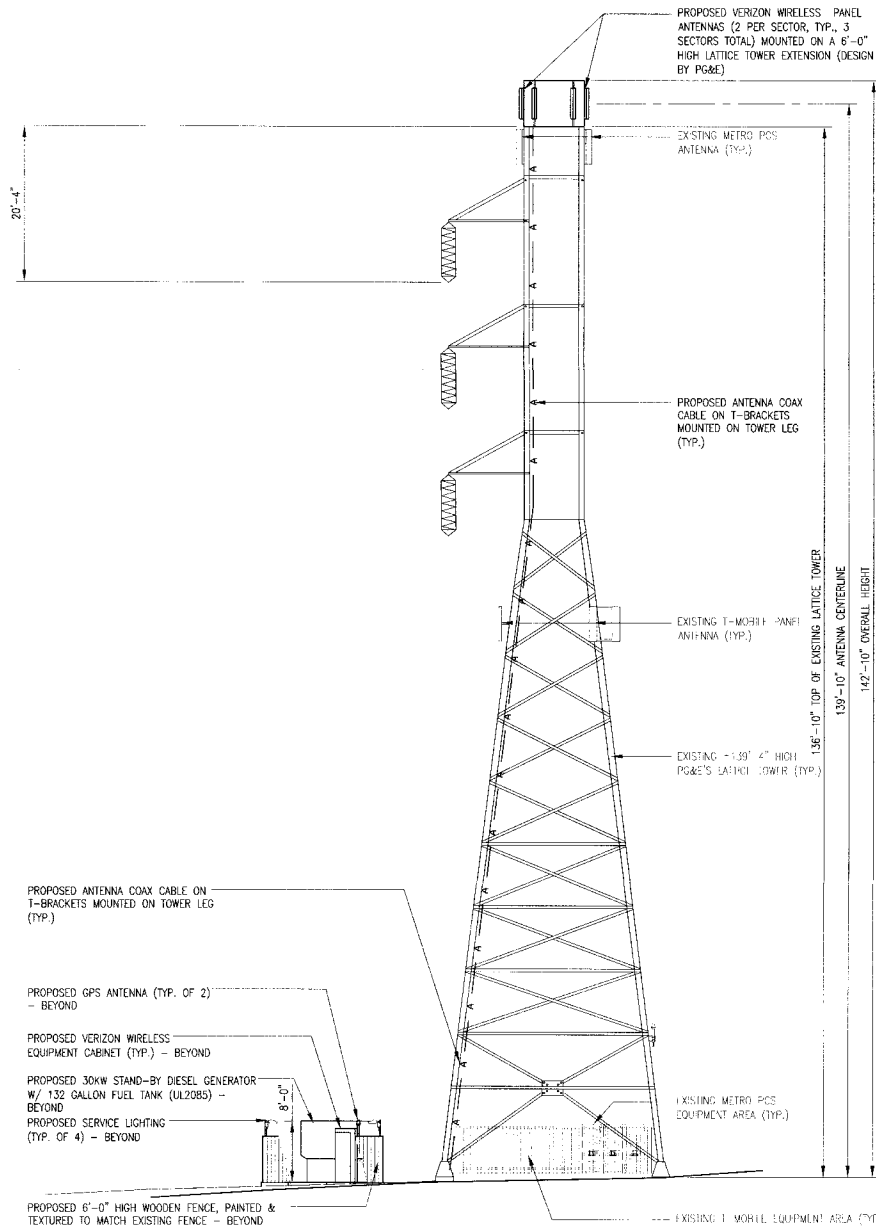


NORTH ELEVATION



VERIZON - NAPA CORPORATE

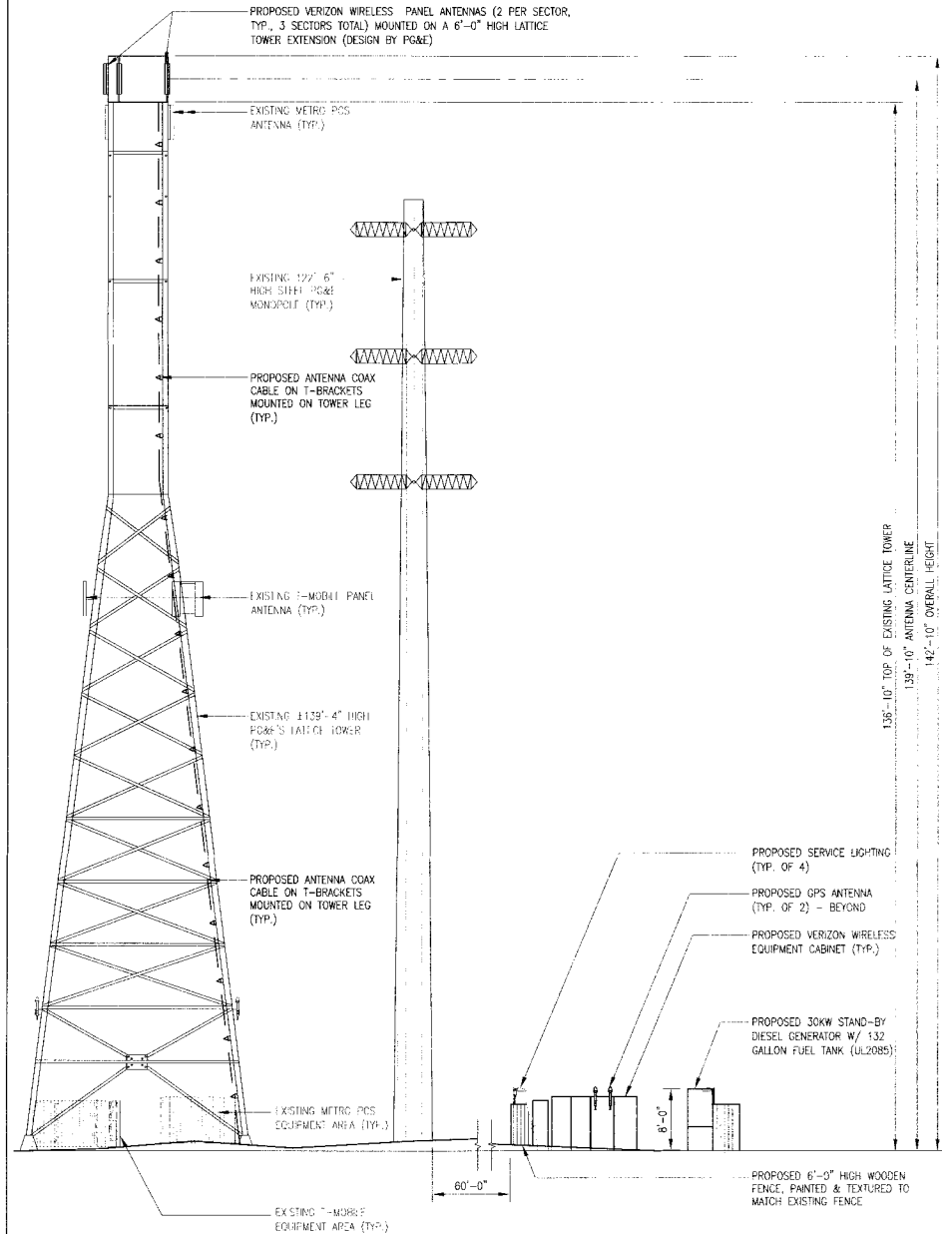
NOTES:
ALL EXTERIOR MATERIAL SHALL BE OF NON-REFLECTIVE
AND NON-GLARE SURFACES.



WEST ELEVATION



NOTES:
ALL EXTERIOR MATERIAL SHALL BE OF NON-REFLECTIVE
AND NON-GLARE SURFACES.



SOUTH ELEVATION

