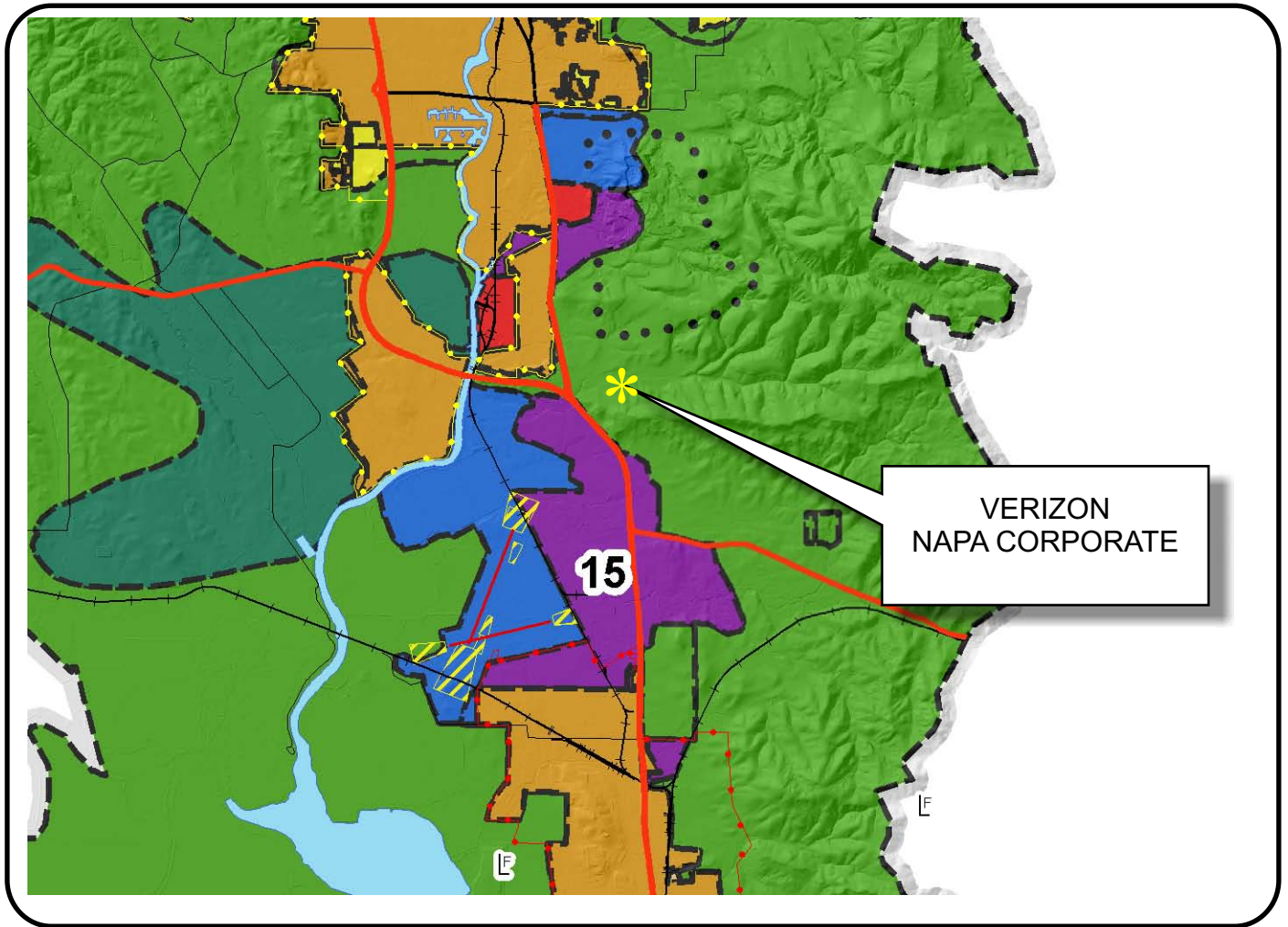








NAPA COUNTY LAND USE PLAN 2008 - 2030





LEGEND







URBANIZED OR NON-AGRICULTURAL

-  Cities
-  Urban Residential *
-  Rural Residential *
-  Industrial
-  Public-Institutional
-  Study Area

OPEN SPACE

-  Agriculture, Watershed & Open Space
-  Agricultural Resource

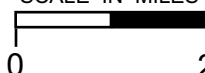
TRANSPORTATION

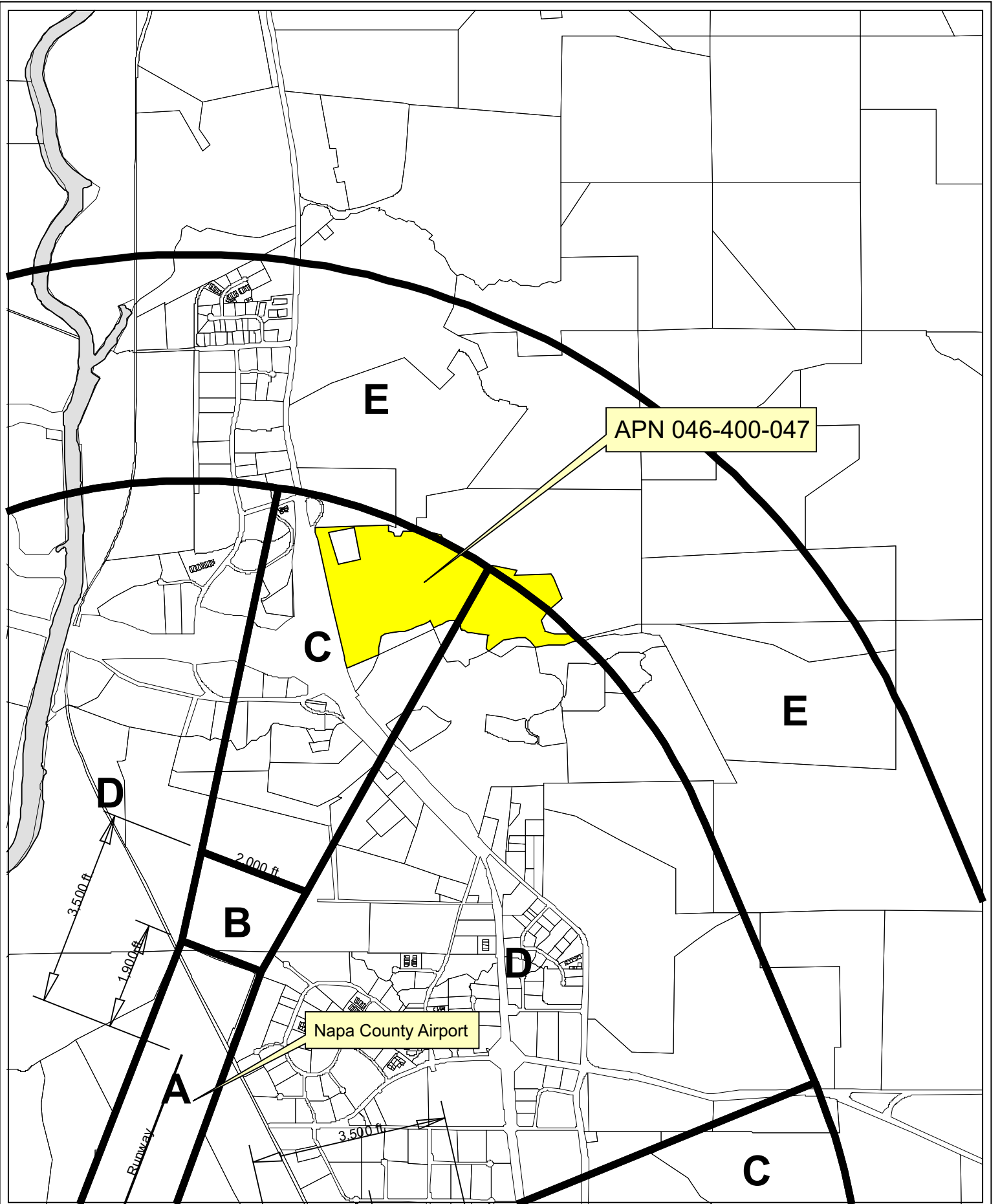
-  Mineral Resource
-  Railroad
-  Limited Access Highway
-  Major Road
-  Secondary Road
-  Airport
-  Airport Clear Zone
-  Landfill - General Plan

* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations

APN
046-400-047
05-26-2011
3C SPA

SCALE IN MILES





Horizontal Datum: NAD 83,
CA State Plane Coordinates,
Zone II, feet



Disclaimer: This map was prepared for informational purposes only. No liability is assumed for the accuracy of the data delineated hereon.

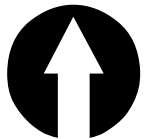
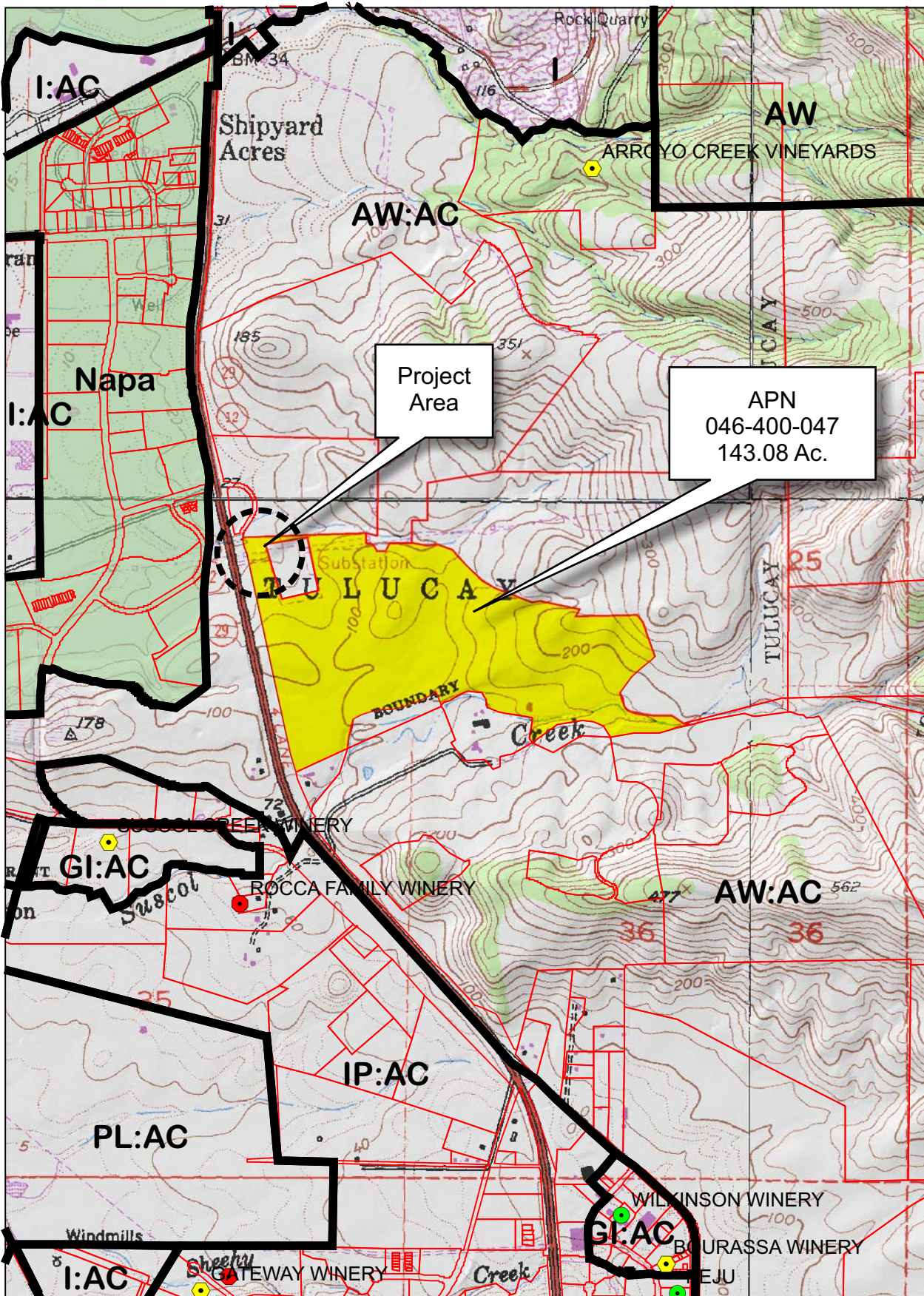
Compatibility Plan Napa County Airport



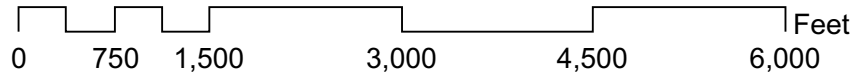
0 600 1,200 2,400'

Napa County Conservation Division - 12/2010

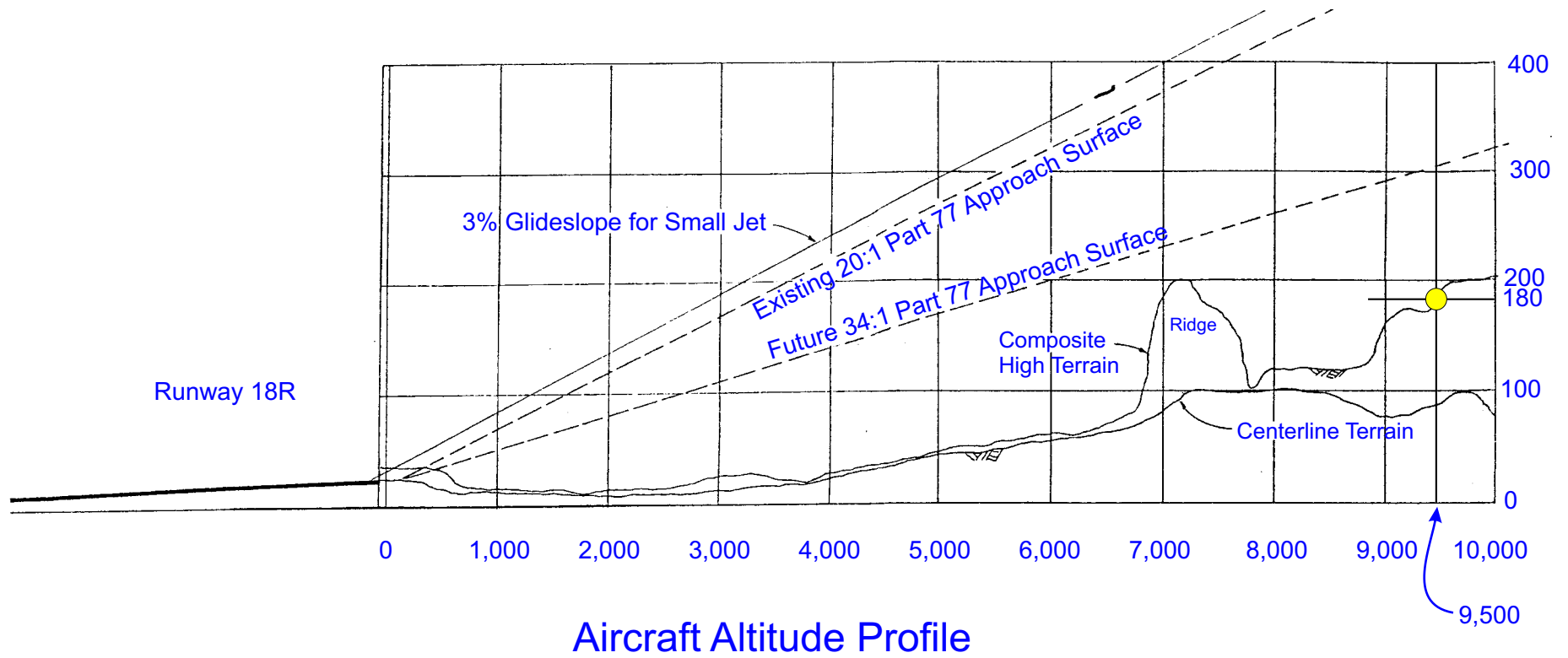
VERIZON - NAPA CORPORATE



- Legend**
- Wineries in Vicinity
 - Producing
 - Approved
 - Pending
 - Zoning
 - Parcels

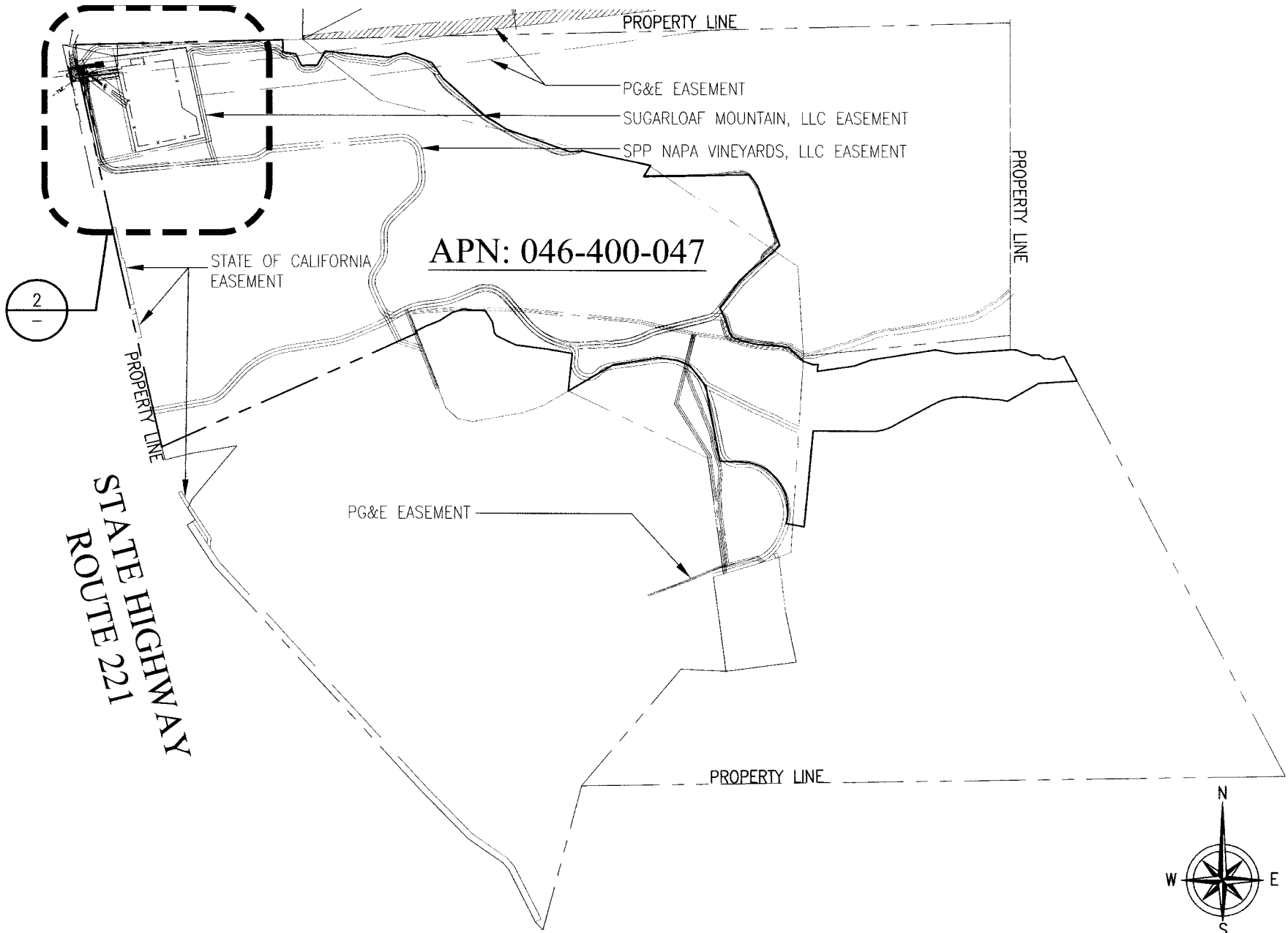


VERIZON - NAPA CORPORATE



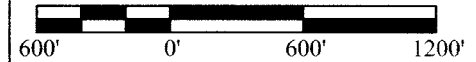
● = Project Location

VERIZON - NAPA CORPORATE



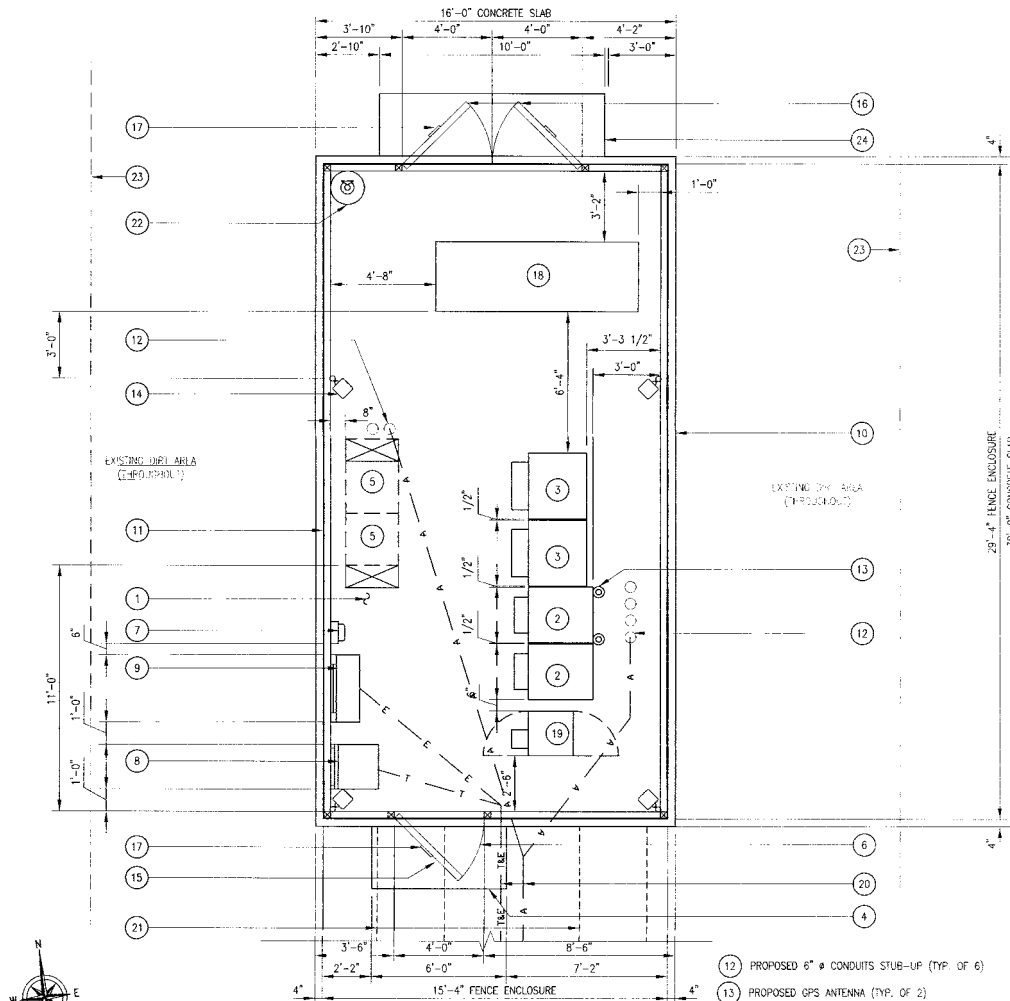
APN: 046-400-047

OVERALL SITE PLAN



1

VERIZON - NAPA CORPORATE



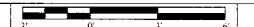
PROJECT NOTE:
 1. ALL TREE TRIMMINGS AND TRASH GENERATED BY CONSTRUCTION OF THE FACILITY SHALL BE REMOVED FROM THE PROPERTY AND PROPERLY DISPOSED OF PRIOR TO BUILDING PERMIT FINALIZATION OR COMMENCEMENT OF OPERATION, WHICHEVER OCCURS FIRST.

NOTES:
 1. DO NOT SCALE DRAWINGS. ALL DIMENSIONS OF AND BETWEEN EXISTING BUILDINGS/STRUCTURES, OR RELATIVE DISTANCES AS SHOWN BETWEEN EXISTING BUILDINGS/STRUCTURES AND THE TRUE NORTH ARE TO BE CONFIRMED BY THE SURVEYOR.
 2. POWER/TELCO ROUTING AND DESIGN ARE PRELIMINARY AND MUST BE VERIFIED WITH LOCAL UTILITY COMPANIES.
 3. EQUIPMENT DESCRIPTIONS AND LOCATIONS ARE ESTIMATES ONLY. EXACT EQUIPMENT SPECIFICATIONS AND LOCATIONS TBD BY VERIZON WIRELESS.

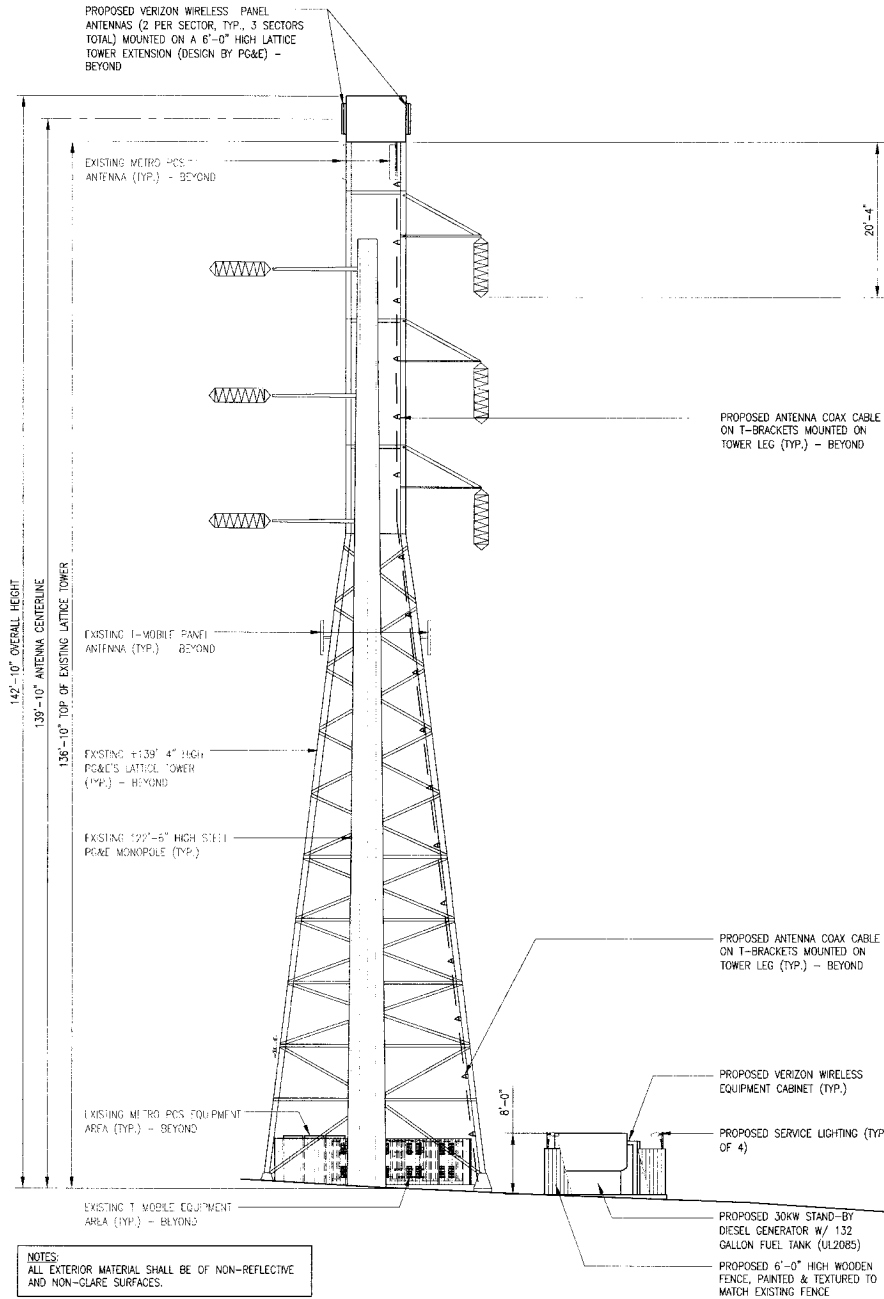
KEY NOTES:

- 1 PROPOSED 16'-0"x30'-0" VERIZON WIRELESS EQUIPMENT LEASE AREA (480 SQ. FT. TOTAL) ON PROPOSED CONCRETE PAD
- 2 PROPOSED BATTERY CABINET
- 3 PROPOSED MODELL EQUIP. CABINET
- 4 PROPOSED 4' X 6' CONCRETE STOOP
- 5 FUTURE EQUIP. CABINET
- 6 PROPOSED 4'-0" WIDE ACCESS DOOR WITH SHERIFF/FIRE DEPARTMENT RAPID ENTRY (KNOX) SYSTEM AS REQUIRED BY THE FIRE CHIEF
- 7 PROPOSED 200A METER W/ MAIN DISCONNECT
- 8 PROPOSED FIBER BOX
- 9 PROPOSED INTERSECT BOX
- 10 PROPOSED 16'-0"x30'-0" CONCRETE PAD (TYP.)
- 11 PROPOSED 6'-0" HIGH WOODEN FENCE, PAINTED & TEXTURED TO MATCH EXISTING FENCE
- 12 PROPOSED 6" Ø CONDUITS STUB-UP (TYP. OF 6)
- 13 PROPOSED GPS ANTENNA (TYP. OF 2)
- 14 PROPOSED SERVICE LIGHTING (TYP. OF 4)
- 15 PROPOSED 16" X 32" PERMANENT WEATHER-PROOF FACILITY IDENTIFICATION SIGN
- 16 PROPOSED (2) 4'-0" WIDE ACCESS DOOR
- 17 PROPOSED SITE SIGN & SAFETY SIGNAGE (TYP.)
- 18 PROPOSED 30KW STAND-BY DIESEL GENERATOR W/ 132 GALLON FUEL TANK (UL2085)
- 19 PROPOSED MISC. CABINET
- 20 PROPOSED JOINT COAXIAL CABLE/POWER/TELCO UNDERGROUND ROUTING WITHIN A 6'-0" WIDE VERIZON WIRELESS UTILITY EASEMENT - SEE SHEET 1/A2 FOR CONTINUATION
- 21 PROPOSED 12'-0" WIDE ACCESS EASEMENT OVER EXISTING ACCESS ROAD - SEE SHEET 1/A2 FOR CONTINUATION
- 22 PROPOSED MONITORED FIRE EXTINGUISHING SYSTEM
- 23 OUTLINE OF PROPOSED 10' WIDE GRAVEL AREA AROUND THE PROPOSED EQUIPMENT AREA - SEE SHEET 1/A2 FOR PARTICULARS
- 24 PROPOSED 4' X 10' CONCRETE STOOP

EQUIPMENT AREA PLAN



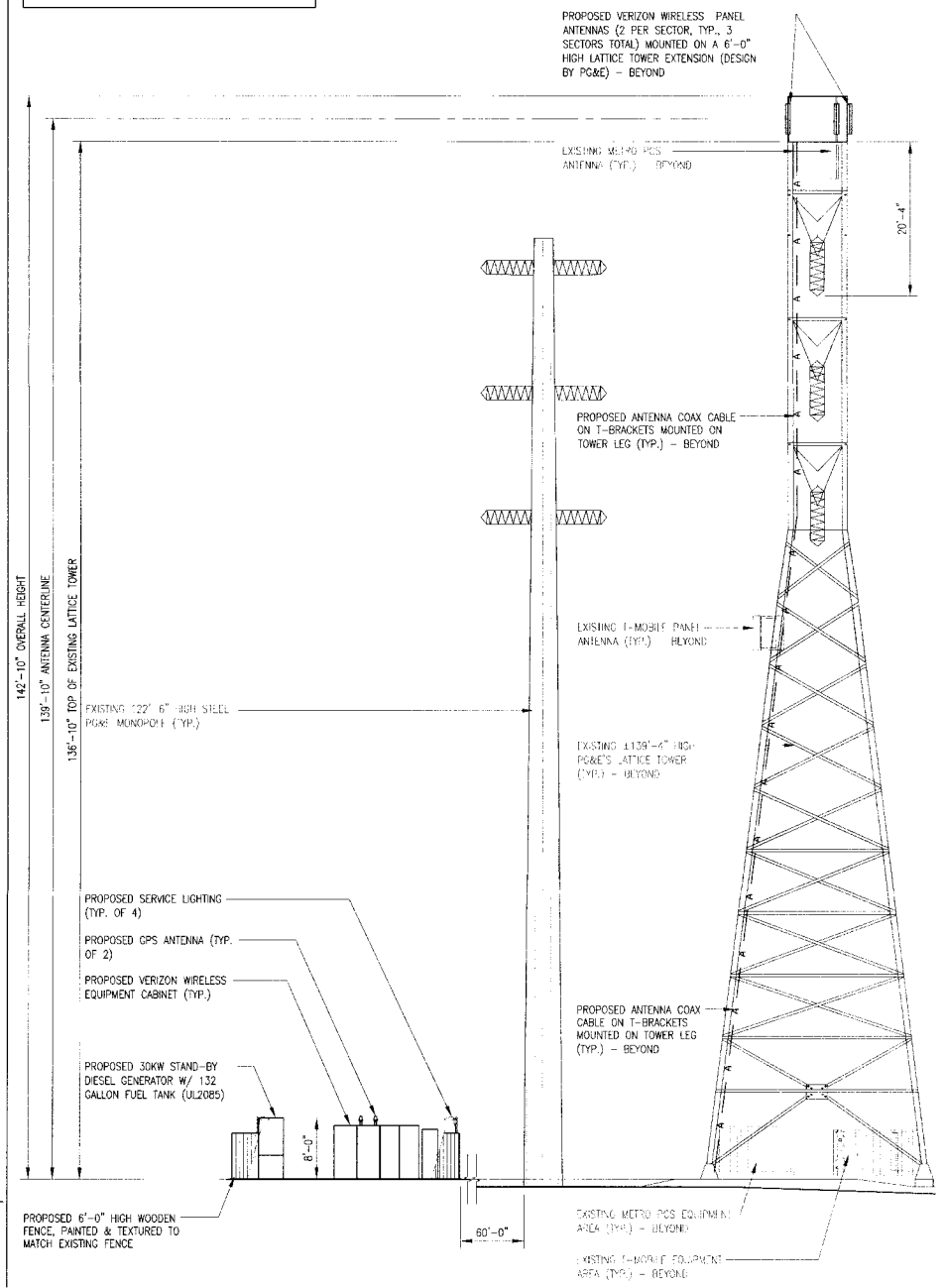
VERIZON - NAPA CORPORATE



EAST ELEVATION



NOTES:
ALL EXTERIOR MATERIAL SHALL BE OF NON-REFLECTIVE AND NON-GLARE SURFACES.

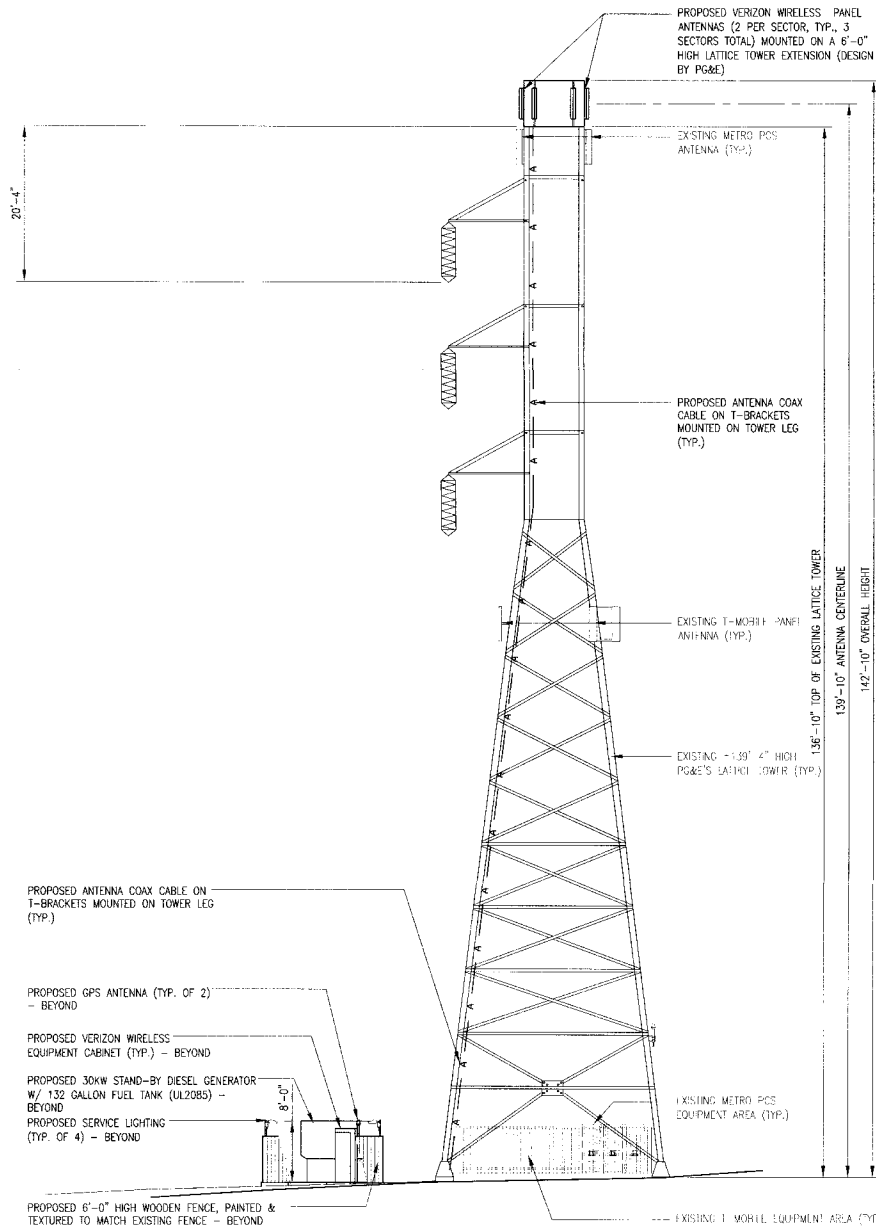


NORTH ELEVATION



VERIZON - NAPA CORPORATE

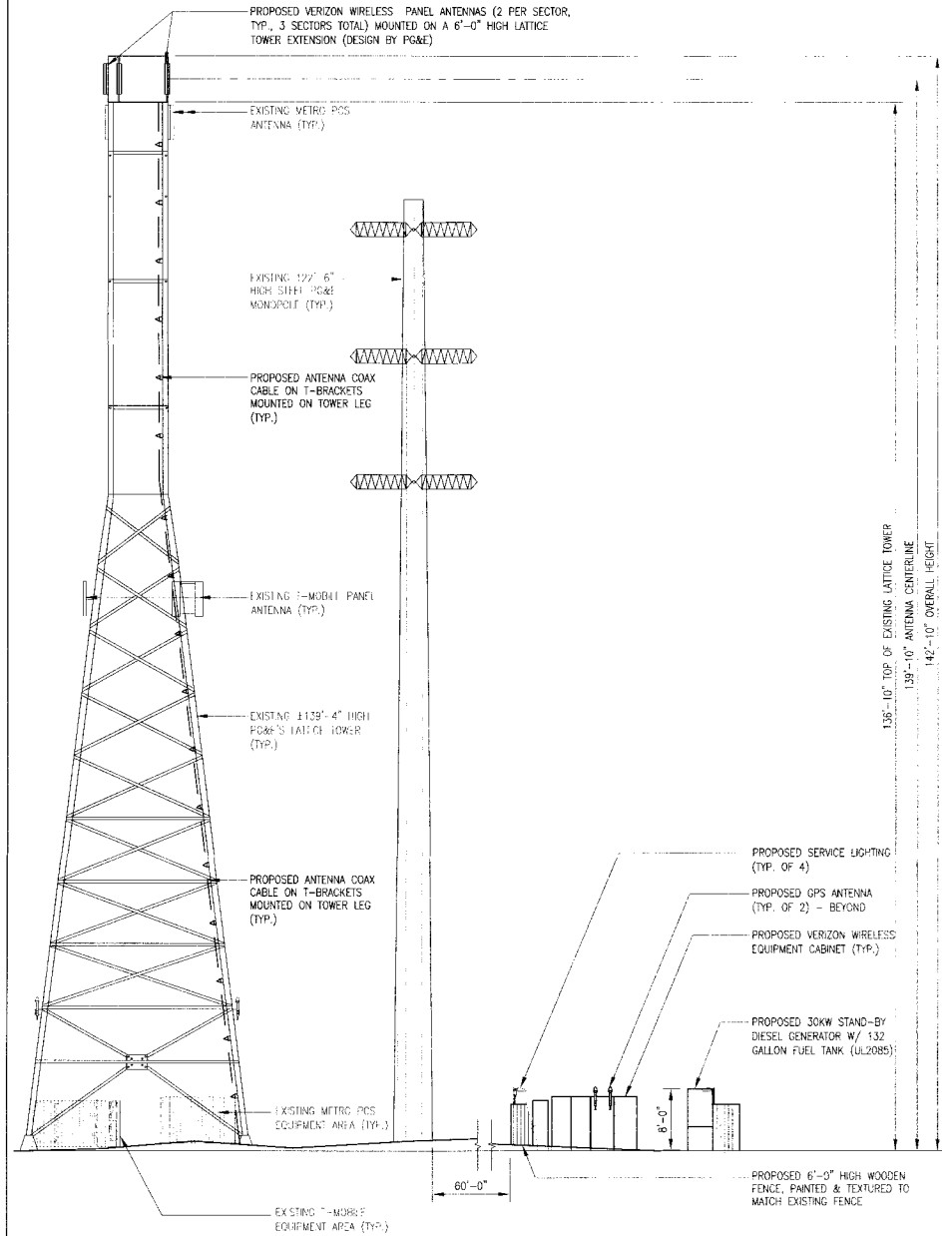
NOTES:
ALL EXTERIOR MATERIAL SHALL BE OF NON-REFLECTIVE
AND NON-GLARE SURFACES.



WEST ELEVATION



NOTES:
ALL EXTERIOR MATERIAL SHALL BE OF NON-REFLECTIVE
AND NON-GLARE SURFACES.



SOUTH ELEVATION

