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FILE # P10-00206-MOD



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NAPA COUNTY

CONSERVATION, DEVELOPMENT & PLANNING DEPARTMENT

1195 Third Street, Suite 210, Napa, California, 94559 • (707) 253-4417

A Tradition of Stewardship
A Commitment to Growth

APPLICATION FORM

FOR OFFICE USE ONLY

ZONING DISTRICT: AP Date Submitted: 6/14/2010

TYPE OF APPLICATION: Major Mod Date Published: _____

REQUEST: CAREVAN SERIAL MAJ. MOD. Date Complete: _____

100,000 gpy "used" production remains, new 16,750 # + 7,285 # winery, increase TexT to 400/dzy, increase marketing, increase parking to 50 increase staff to 15 FT + 15 PT. COMM. KITCHEN, AND A NEW DRIVEWAY INTERSECTION AT HWY 29.

TO BE COMPLETED BY APPLICANT (Please type or print legibly)

PROJECT NAME: Carevan Serial

Assessor's Parcel #: 036-180-041 Existing Parcel Size: 30 acres

Site Address/Location: 4120 Howard Lane Napa CA. 94558

Property Owner's Name: Darioush Khaledi Winery, LLC

Mailing Address: 4240 Silverado Trail Napa CA. 94558

Telephone #: (707) 257-2345 Fax #: (707) 257-3132 E-Mail: _____

Applicant's Name: Darioush Khaledi Winery, LLC (310) 816-0200 x 430

Mailing Address: 4240 Silverado Trail Napa CA. 94558

Telephone #: (707) 257-2345 Fax #: (707) 257-3132 E-Mail: _____

Status of Applicant's Interest in Property: Owner

Representative Name: Charles W. Meibeyer

Mailing Address: 1236 Spring St. St. Helena, CA. 94574

Telephone #: (707) 963-7703 Fax #: (707) 963-4997 E-Mail: meibeyer.cw@aol.com

I certify that all the information contained in this application, including but not limited to the information sheet, water supply/waste disposal information sheet, site plan, floor plan, building elevations, water supply/waste disposal system site plan and toxic materials list, is complete and accurate to the best of my knowledge. I hereby authorize such investigations including access to County Assessor's Records as are deemed necessary by the County Planning Division for preparation of reports related to this application, including the right of access to the property involved.

DARIOUSH KHALEDI WINERY, LLC
N. Khaledi
Signature of Property Owner Date _____

DARIOUSH KHALEDI WINERY, LLC
N. Khaledi
Signature of Applicant Date _____

By: Darioush Khaledi
JOB: Manager Print Name

By: Darioush Khaledi
JOB: Manager Print Name

TO BE COMPLETED BY CONSERVATION, DEVELOPMENT AND PLANNING DEPARTMENT

*Application Fee Deposit: \$ 8,000.- Receipt No. 80891

Received by: TA Date: 6/14/2010

*Total Fees will be based on actual time and materials

**AMENDED AND RESTATED
PROJECT STATEMENT FOR CAREVAN SERAI WINERY
MARCH 11, 2011**

Darioush Khaledi Winery, LLC ("Winery") hereby submits its updated application to revise the site plan, enhance the visitation and marketing plans, increase the number of authorized full time and part-time employees, add case goods storage as a production activity, construct a prep kitchen, and remove former custom crush restrictions for a currently approved and vested 100,000 gallon per year winery located at 4120 Howard Lane, Napa, CA, commonly referred to as Napa County Assessor's Parcel Number 036-180-041 (the "Property"). This 100,000 gallon winery was originally approved and vested as a 2,000 gallon winery in June 1988. In April, 2000, the former owner received approval for an expansion of the winery to 100,000 gallons per year, together with additional marketing activities, on this 30.21 acre parcel zoned Agricultural Preserve, and that use permit modification was vested by construction of a foundation for a new winery building. The parcel currently contains a barn, Sprint wireless communication equipment and a single family residence.

Revised Site Plan

Currently, the winery consists of a barn, a partially built 40' x 60' barrel aging building, and a 570 sq. ft. crush pad. Winery proposes to remove the barn and crush pad and construct a new one story a new 16,750 +/- gross square foot winery I production building and an additional 7,285 sq. ft. +/- gross square foot winery hospitality building, which includes both wine storage and tasting and marketing areas. In addition, the Sprint wireless communication lease is set to expire in 2012 and if it is not renewed the communication equipment will be removed. In the event it is renewed, the communication equipment will be relocated on the Property.

The Winery has extensively studied the traffic circulation requirements at this site due to the fact that the Bistro Don Giovanni restaurant, and the La Residence Inn, are also located on Howard Lane, and all three properties shares the same connection to SR 29. A revised traffic study was previously submitted. The Winery currently proposes two new stop signs and striping at the winery's intersection with Howard Lane (as well as Bistro Don Giovanni's connection to Howard Lane), as well as striped left turn and right acceleration lane and stop sign where Howard Lane intersections with SR 29. These improvements will enhance circulation for all neighboring properties. In addition, the traffic study has identified roadway improvements, including a south-bound left turn lane on SR 29 that will provide substantially improved and safe ingress and egress for all users of this intersection. The new site plans enclosed show a longer south-bound left turn lane based on CalTrans standards. The new design is based on a 60 mile per hour speed limit rather than the 55 mph limit originally utilized, which addresses CalTrans supplemental comments received on February 23, 2011.

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In conjunction with this project, Winery proposes to construct a water feature along the private drive from Howard Lane into the site. Details regarding this architectural feature are set forth in the project's plans.

Parking Area

Winery requests approval to expand the number of approved parking spaces on-site from 16 to 50. This reflects an increase in employee parking from 7 to 22 spaces and an increase in visitor parking from 9 to 28. In addition, Winery has identified an additional twenty five (25) overflow valet parking spaces on the paved work areas around the barrel and production building. No striping will be installed in that area because only professional valets will park vehicles there during the eight times per year that the Winery has larger marketing events.

Private Tours and Tastings

Winery proposes to increase the number of visitors from a maximum of 25 on the busiest day to 400 for private tours and tastings. The maximum number of daily visitors will at all times also include the number of visitors who may attend marketing events at the Winery so there will never be more than 400 visitors to the Winery on any day. Winery proposes to increase the hours of operation of the private tasting room to close at 10 pm instead of 6 pm. Winery also intends to utilize wine and food pairing as a component of its regular tours and tasting activities. These activities will not be substantial in size or approach the intensity that would consent the serving of meals. Rather, Winery intends to focus heavily on wine education, including the pairing of wines with small tastes of various bites of food for the development of heightened sensory awareness. Winery intends to involve professional (outside) educators in aspects of this tour and tasting program.

Marketing Events

Winery is currently authorized to conduct the following marketing events:

1. Six annual events with a maximum attendance of 35 persons.
2. Two annual Wine Auction related events with a maximum attendance of 50 persons.
3. One meeting per month for various wine-related organizations with a maximum attendance of 35 persons.
4. Two events per year with a maximum attendance of 35 persons for each of the four entities associated with custom wine production activities on site.

In addition, the current marketing events shall not exceed six events in the month

of June and two events per month for the remainder of the year. All marketing events, including clean-up, shall end no later than 11 p.m.

Winery proposes to eliminate the above plan in its entirety and replace it with the following new marketing plan:

1. A maximum of fifteen (15) dinners per month after 6:00 p.m. (ending no later than 10 p.m. and served only inside the winery) with a **maximum of twelve (12) people** in attendance on any day. The meals shall be prepared in the Winery's on-site kitchen.
2. A maximum of twenty (20) lunches per month between the hours and 10:00 a.m. and 4:00 p.m., with a **maximum of eight (8) people** in attendance on any day. Lunches also will be prepared on-site.
3. Eight (8) large events per year (educational events and releases) with a maximum of one hundred fifty (150) people in attendance, and an average of one hundred twenty (120) people per event. These larger events will be catered.

All of the foregoing marketing events will comply with the recently updated Napa County Ordinance Section 18.08.370. Portable toilets will be used for the eight (8) larger events. Also, as previously stated, the number of visitors to these marketing events will be included in the total daily count of visitors so that these marketing events will not cause the Winery to exceed the four hundred (400) daily tours and tastings visitors. Evening events hosted at the Winery will be scheduled to conclude by 10 p.m., with cleanup to be completed by 11 p.m.

Employees

Winery proposes to increase the number of full-time employees from 5 to 15 and the number of part-time employees from 2 to 15. The hours of operation for all employees in the office shall remain 8 a.m. to 6 p.m., with certain employees to be on-site for tasting and marketing activities from 6:00 p.m. to 11:00 p.m., and during crush operations to occur as necessary.

Case Goods

Under the current use permit, as amended, Winery did not request storage of any case goods on-site. Some case goods stage is requested in the newly configured winery.

Kitchen

Winery is currently approved to cater its marketing events. Winery requests approval to establish a 472.5 sq. ft. kitchen to prepare its proposed marketing lunches, dinners, and the small-bite educational food and wine pairings. For the larger marketing events the kitchen will solely be used by caterers, with all utensils and plates to be

provided by caterers and removed, unwashed, after the event. Due to the fact that Winery is proposing a commercial kitchen, Riechers and Spence prepared the enclosed Preliminary Water Technical Managerial and Financial Report to address effluent disposal requirements for the site.

Custom Crush Restrictions

Winery requests that the custom crush restrictions contained in Condition #1 of Use Permit #98425-UP be eliminated. At the time this modification was approved Napa County placed restrictions on the number of custom producers and the annual gallons that custom producers could utilize. Napa County has since changed its policy to eliminate the restrictions regarding custom producers and alternating proprietors and Winery wishes to conform with the new policy.

Water and Wastewater Analysis

The Phase 1 Water Analysis clearly shows there is more than enough water for the vineyards, production, events, visitors and single residence that will occur on the Property. The allowable water limit is 30.21 AF per year and the estimated proposed use is 26.65 ac-ft/yr AF per year.

Riechers and Spence prepared the enclosed wastewater analysis for the proposed project and the existing single family residence. The analysis includes a proposal to install a new subsurface pressure distribution leach field.

Traffic Analysis

Crane Transportation Group has extensively analyzed the traffic circulation issues on Highway 29 and its intersection with Howard Lane, as well as circulation on Howard Lane. The updated traffic study identifies the improvements required for better and safer circulation at the Howard Lane / SR 29 intersection by creating a properly configured left turn lane rather than the current inadequate turning pocket into Howard Lane from the north. The refuge lane for southbound turning traffic will also be enhanced. In addition, the new stop signs and striping at all driveway and roadway intersections, will clarify a currently confusing situation and provide clear channelization on Howard Lane and its intersection with SR 29.

Noise Study

The applicant previously submitted an Acoustical Noise Study to analyze the noise potential impacts on neighbors to the east and south of the site. That study determined there will be no significant effect from winery operations, including hospitality events and tours and tastings activities. One of the measures the Winery has proposed has been to restrict all hospitality dinners inside the hospitality building to ensure that the only activities in the evenings at the outside sitting areas would be

casual tasting activities. As a further noise limiting measure, the new plans show an "Acoustical Buffer" at the eastern edge of the parking lot, which will absorb and/or reflect car door noises during the evening hours. The Winery is agreeable to develop the plans for that Acoustical Buffer in conjunction with County staff (with input as desired from neighbors) among possibilities, such as an additional water feature, landscaping, or a masonry or stone wall.

Conclusion

Winery requests approval of this use permit application to revise the site plan, provide for the construction of a new winery production building with crush, fermentation, and bulk wine storage, along with a new hospitality building with visitor and wine storages facilities. In addition, Winery seeks an enhanced visitation and marketing plan, an increase the number of authorized full time and part-time employees, the addition of case goods storage as a production activity, the construction of a kitchen, and the removal of the former custom crush restrictions for a currently approved 100,000 gallon per year winery

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REVISED WINERY GRAPE AND WINE TRUCK ANALYSIS

At 100,000 gallons of production, Winery will need to process 650 tons of grapes to reach full production. The on-site vineyard (after removals of acreage for development of the winery) will produce approximately 110 tons. Winery's original plan was to harvest grapes on-site and deliver them to the existing Darioush facility on Silverado Trail, where those grapes, along with the balance of grapes from other vineyards needed for the wine program at this winery, would have been crushed. Based on discussions with County staff, Winery now will construct its crush pad simultaneous with the construction of the winery production building (the crush pad will be located in the covered overhang of the winery production building) so that crush, fermentation and barrel storage will all occur on-site. This revised truck traffic analysis has been based on this structure.

Importation of Grapes

110 tons grown on-site means Winery needs an additional 540 tons to reach full production of 100,000 gallons annually.

540 tons equals a total of 27 grape trucks over a 45-60 day harvest period. Due to the nature of Winery's viticultural efforts, Winery has calculated a maximum of one to two trucks per day of imported grapes.

Export of Wine

Winery anticipates on-site sales of approximately one-third or more of production. As a result, Winery will only need to export 66,000 gallons of wine, at 2.4 gallons per case equals 27,500 cases to off-site bottle storage facility in bulk. Each truck can handle 1,300 cases, for a total of 22 trucks annually, much less than one truck per day.

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**USE PERMIT APPLICATION
SUPPLEMENTAL INFORMATION SHEET
FOR WINERY USES**

1. **Operations.** (In the blank in front of each operation, place an "E" for Existing, a "P" for Proposed, an "X" for Expanding, or an "N" for None.)

- a. E crushing
- b. E fermentation
- c. E barrel ageing
- d. N bottling
- e. P case goods storage
- f. N caves:
 - use:
 - barrel storage
 - case goods storage
 - other _____
 - accessibility to public:
 - none – no visitors/tours/events
 - guided tours only
 - public access – no guides/unescorted
 - marketing events and/or temporary events
- g. E underground waste disposal
- h. N above-ground waste disposal
- i. E administration office
- j. E laboratories
- k. N daycare
- l. E tours/tastings:
 - public drop-in
 - public by appointment
 - wine trade
- m. E retail wine sales
 - public drop-in
 - public by appointment
- n. N public display of art or wine-related items
- o. P food preparation (prep kitchen)

2. **Marketing Activities.** (Describe the nature of any marketing or educational events not listed above including the type of events, whether public or private, frequency of events, average attendance, etc. Differentiate between existing and proposed activities. Attach additional sheets if necessary): Please refer to project statement.

3. **Food Service.** (Describe the nature of any food service including type of food, whether public or private, whether profit or non-profit, frequency of service, whether prepared on site or not, kitchen equipment, eating facilities, etc. Differentiate between existing and proposed food service. Attach additional sheets if necessary): Please refer to project statement.

4. **Production Capacity.**

- a. existing capacity: 100,000 date authorized: April 2000
- b. current maximum actual production (year): 0 (_____)
- c. proposed capacity: 100,000

5. **Grape Origin.** (Fill out a "Initial Statement of Grape Source" form if establishing a new winery or expanding an existing winery development area and include with application form.)

6. **Winery Development Area.** (see a below - for existing winery facilities)
Will the project involve construction of additional facilities beyond the winery development area? Yes
7. **Total Winery Coverage.** (see b below – maximum 25% of parcel or 15 acres, whichever is less)
a. square feet/acres: 98,845.25 sq. ft. / 2.27 acres
b. percent of total parcel 7.6%
8. **Production Facility.** (see c below – include the square footage of all floors for each structure)
a. square feet: 16,545.5 sq. ft.
9. **Accessory Use.** (see d below – maximum permitted 40% of the production facility)
a. square feet: 6,125.25 sq. ft.
b. percent of production facility 37%

Marketing Definition: (County Code 18.08.370)

Marketing of Wine – "Marketing of wine" means any activity of a winery which is conducted at the winery on a prearranged basis for the education and development of customers and potential customers with respect to wine which can be sold at the winery on a retail basis pursuant to Chapters 18.16 and 18.20. Marketing of wine may include cultural and social events directly related to the education and development of customers and potential customers provided such events are clearly incidental, related and subordinate to the primary use of the winery. Marketing of wine may include food service, including food and wine pairings, where all such food service is provided without charge except to the extent of cost recovery.

Business events are similar to cultural and social events, in that they will only be considered as "marketing of wine" if they are directly related to the education and development of customers and potential customers of the winery and are part of a marketing plan approved as part of the winery's use permit. Marketing plans in their totality must remain "clearly incidental, related and subordinate to the primary operation of the winery as a production facility" (subsection (G)(5) of Sections 18.16.030 and subsection (I)(5) of 18.20.030). To be considered directly related to the education and development of customers or potential customers of the winery, business events must be conducted at no charge except to the extent of recovery of variable costs, and any business content unrelated to wine must be limited. Careful consideration shall be given to the intent of the event, the proportion of the business event's non-wine-related content, and the intensity of the overall marketing plan.

Coverage and Use Definitions: (paraphrased from County Code)

- a. **Winery Development Area** – All aggregate paved or impervious or semi-permeable ground surface areas of the production facility which includes all storage areas (except caves), offices, laboratories, kitchens, tasting rooms and paved parking areas for the exclusive use of winery employees.
- b. **Winery Coverage** – The total square foot area of all winery building footprints, all aggregate paved or impervious ground surface areas of the production facility which includes all outside work, tank and storage areas (except caves); all paved areas including parking and loading areas, walkways, and access driveways to public or private roads or rights-of-way; and all above-ground wastewater and run-off treatment systems.
- c. **Production Facility** – (For the purpose to calculate the maximum allowable accessory use) The total square footage of all winery crushing, fermenting, bottling, bulk and bottle storage, shipping, receiving, laboratory, equipment storage and maintenance facilities, and employee-designated restrooms but does not include wastewater treatment or disposal areas which cannot be used for agricultural purposes.
- d. **Accessory Use** - The total square footage of area within winery structures used for accessory uses related to a winery that are not defined as "production facility" which would include offices, lobbies/waiting rooms, conference/meeting rooms, non-production access hallways, kitchens, tasting rooms (private and public areas), retail space areas, libraries, non-employee designated restrooms, art display areas, or any area within winery structures not directly related to wine production.

WINERY CALCULATION WORKSHEET

1. WINERY COVERAGE

All paved or impervious ground surface areas of the production facility:	
Footprint of all winery structures	31,791.75 sq. ft.
Outside work areas	8,394 sq. ft.
Tank areas	0
Storage areas (excluding caves)	0
All paved areas:	
Parking areas	13,640.55 sq. ft.
Loading areas	11,855 sq. ft.
Walkways	4,120.35 sq. ft.
Access driveways to the public or private rd	23,772.81 sq. ft.
Above-ground wastewater and run-off treatment systems: water entry & entry walls = 5,270.79 sq. ft.	
Wastewater pond or SDSD	0
Spray disposal field	0
Parcel size: <u>30</u> acres	Percent of winery coverage of parcel size:
Total winery coverage: <u>2,27</u> acres	<u>7.6</u> %

2. PRODUCTION FACILITY

Total square footage within structures and caves utilized for the following:	
Crushing	468 sq. ft.
Fermenting	370.5 sq. ft.
Bottling	487.5 sq. ft.
Bulk & bottle storage	12,159 sq. ft.
Shipping	171 sq. ft.
Receiving	175.75 sq. ft.
Laboratory	97.5 sq. ft.
Equipment storage & maintenance facilities (excludes fire protection facilities)	2,335.75 sq. ft.
Employee-designated restrooms	280.5 sq. ft.
Total square footage of production facility:	<u>16,545.5 sq. ft.</u>

3. ACCESSORY USE

Total square footage within structures and caves utilized for the following:	
Office space	1098.5 sq. ft.
Lobbies/waiting rooms	0
Conference/meeting rooms	414 sq. ft.
Non-production access hallways	465.5 sq. ft.
Kitchens	472.5 sq. ft.
Tasting rooms (private & public areas)	2724.25 sq. ft.
Retail space areas	692.5 sq. ft.
Libraries	0
Visitor restrooms	148 sq. ft.
Art display areas	110 sq. ft.
Any other areas within the winery structure not directly related to production	0
Total square footage of accessory use space:	<u>6125.25 sq. ft.</u>
Percent of accessory use to production use:	<u>37</u> %

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INFORMATION SHEET

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I. USE

A. Description of Proposed Use (attached detailed description as necessary) (including where appropriate product/service provided): Please refer to attached project statement.

B. Project Phases: [] one [X] two [] more than two (please specify): _____

C. Estimated Completion Date for Each Phase: Phase 1: _____ Phase 2: _____

D. Actual Construction Time Required for Each Phase: less than 3 months
 More than 3 months

E. Related Necessary On- And Off-Site Concurrent or Subsequent Projects: N/A

F. Additional Licenses/Approval Required:

District: N/A Regional: N/A
State: AEC Federal: TIB

II. BUILDINGS/ROADS/DRIVEWAY/LEACH FIELD, ETC.

A. Floor Area/Impervious area of Project (in square ft): 96,535.06 sq. ft.
Proposed total floor area on site: 22,751 sq. ft.
Total development area (building, impervious, leach field, driveway, etc.): 98,845.25 sq. ft.
New construction: Yes

existing structures or portions thereof to be utilized: N/A

existing structures or portions thereof to be moved: 3000 sq. ft. barn to be removed

B. Floor Area devoted to each separate use (in square ft):

living: 0 storage/warehouse: 12,159 offices: 1098.5
sales: 692.5 caves: 0 other: 13,520
septic/leach field: 12,500 roads/driveways: 23,772.81

C. Maximum Building Height: existing structures: 30' new construction: 29'6"

D. Type of New Construction (e.g., wood-frame): wood-frame

E. Height of Crane necessary for construction of new buildings (airport environs): N/A

F. Type of Exterior Night Lighting Proposed: LED Lighting

G. Viewshed Ordinance Applicable (See County Code Section 18.106): Yes No

H. Fire Resistivity (check one; If not checked, Fire Department will assume Type V - non rated):

Type I FR Type II 1 Hr Type II N (non-rated) Type III 1 Hr Type III N
 Type IV H.T. (Heavy Timber) Type V 1 Hr. Type V (non-rated)
(Reference Table 6 A of the 2001 California Building Code)

III. PARKING

	Existing	Proposed
A. Total On-Site Parking Spaces:	<u>16</u>	<u>47</u>
B. Customer Parking Spaces:	<u>9</u>	<u>28</u>
C. Employee Parking Spaces:	<u>7</u>	<u>19</u>
D. Loading Areas:	<u>1</u>	<u>1</u>

IV. TYPICAL OPERATION	Existing	Proposed
A. Days of Operation:	<u>7 days</u>	<u>no change</u>
B. Expected Hours of Operation:	<u>8 to 6 pm</u>	<u>8 to 10 pm</u>
C. Anticipated Number of Shifts:	<u>1</u>	<u>1</u>
D. Expected Number of Full-Time Employees/Shift:	<u>5, plus 5 for crush</u>	<u>15</u>
E. Expected Number of Part-Time Employees/Shift:	<u>2</u>	<u>15</u>
F. Maximum Number of Visitors		
• busiest day:	<u>25</u>	<u>400</u>
• average/week:	<u>75</u>	<u>2800</u>
G. Anticipated Number of Deliveries/Pickups		
• busiest day:	<u>3</u>	<u>5</u>
• average/week:	<u>8</u>	<u>15</u>

V. SUPPLEMENTAL INFORMATION FOR SELECTED USES

A. Commercial Meeting Facilities Food Serving Facilities		
• restaurant/deli seating capacity:	<u>N/A</u>	
• bar seating capacity:	<u>N/A</u>	
• public meeting room seating capacity:	<u>N/A</u>	
• assembly capacity:	<u>N/A</u>	
B. Residential Care Facilities (6 or more residents) Day Care Centers	<u>Existing</u>	<u>Proposed</u>
• type of care:	<u>N/A</u>	<u>N/A</u>
• total number of guests/children:	<u>N/A</u>	<u>N/A</u>
• total number of bedrooms:	<u>N/A</u>	<u>N/A</u>
• distance to nearest existing/approved facility/center:	<u>N/A</u>	<u>N/A</u>

Existing Traffic Information for Carevan Serai
Table 1 - Project Trip Information

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	Personnel/ Visitors	Personnel/ Visitors	Personnel/ Visitors		Vehicle Trips	Vehicle Trips	Vehicle Trips
	Operations Daily M-F	Marketing Events ¹ Minimum Weekends	Marketing Events Maximum Weekends		Operations Daily M-F	Marketing Events Minimum Weekends	Marketing Events Maximum Weekends
	8 am to 5 pm (office) 10 am to 6 pm (tasting room)	10 am to 11 pm	10 am to 11 pm		8 am to 5 pm (office) 10 am to 6 pm (tasting room)	10 am to 11 pm	10 am to 11 pm
Employees				Employee Trips			
Full time ²	5	2	3	Full time	16 (5 X 3.2/day)	6 (2X3.2/day)	10 (3X3.2/day)
Seasonal Peak	5 (crush) 2 (part time)	2 (part time)	5 (crush) 2 (part time)	Seasonal Peak	10 (5 x2/day) 4(2 x 2/day)	4 (2 x 2/day)	10(5X2/day) 4 (2 x 2/day)
Peak Hours	0	0	0	Peak Hours	0	0	0
Total Employees	12	4	10	Total Employee Trips	30	10	24
Event Support Staff				Event Support Staff			
Full time	0	0	0	Full time	0	0	0
Part time ³	2	2	3	Part time	4 (2 x 2/day)	4 (2 x 2/day)	6 (3 x 2/day)
Total Support Staff	2	2	3	Total Support Staff Trips	4	4	6
Visitors	22/day	54/day	68/day	Visitor Trips	8 (22/2.8)	19 (54/2.8)	24 (68/2.8)
Peak Hours	3/day ⁴	8/day	7/day	Peak Hours	1 (3/2.8 X 0.57)	1 (8/2.8 X 0.57)	1 (7/2.8 X 0.57)
Total Visitors	25/day	60/day ⁵	75/day ⁶	Total Visitor Trips	9	20	25
				Truck Trips ⁷	6 (3 deliveries per day X 2)	2 (1 delivery per day X 2)	6 (3 deliveries per day X 2)
Grand Total	39	66	88		49	36	61

¹ Includes tours and tastings.

² Assumes some full time employees during these marketing event hours.

³ Assumes catering staff.

⁴ Based on 25 visitors divided by 8 hours.

⁵ Assumes 25 max for tours and tastings and 35 minimum for a marketing event.

⁶ Assumes 25 max for tours and tastings and 50 maximum for a marketing event.

⁷ Based on an average of 8 deliveries per week and 3 on the busiest day.

Table 2 - Number of People Onsite (Seasonal)

	Full-Time	Peak	Marketing Events
No. Employees	5	12	10
Support Staff	0	3	3
Visitors		25	Minimum: 60 Maximum: 75
Residents	0	0	0
Grand Total	5	40	73-88

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COUNTY of NAPA



ROBERT J. PETERSON, P.E.
Director of Public Works
County Surveyor-County-Engineer
Road Commissioner

DONALD G. RIDENHOUR, P.E.
Assistant Director of Public Works

WATER AVAILABILITY ANALYSIS

PHASE 1 STUDY

Introduction: As an applicant for a permit with Napa County, it has been determined that Chapter 13.15 of the Napa County Code is applicable to approval of your permit. One step of the permit process is to adequately evaluate the amount of water your project will use and the potential impact your application might have on the static groundwater levels within your neighborhood. The public works department requires that a Phase 1 Water Availability Analysis (WAA) be included with your application. The purpose of this form is to assist you in the preparation of this analysis. You may present the analysis in an alternative form so long as it substantially includes the information required below. Please include any calculations you may have to support your estimates.

The reason for the WAA is for you, the applicant, to inform us, to the best of your ability, what changes in water use will occur on your property as a result of an approval of your permit application. By examining the attached guidelines and filling in the blanks, you will provide the information we require to evaluate potential impacts to static water levels of neighboring wells.

Step #1:

Provide a map and site plan of your parcel(s). The map should be an 8-1/2"x11" reproduction of a USGS quad sheet (1:24,000 scale) with your parcel outlined on the map. Include on the map the nearest neighboring well. The site plan should be an 8-1/2"x11" site plan of your parcel(s) with the locations of all structures, gardens, vineyards, etc in which well water will be used. If more than one water source is available, indicate the interconnecting piping from the subject well to the areas of use. Attach these two sheets to your application. If multiple parcels are involved, clearly show the parcels from which the fair share calculation will be based and properly identify the assessors parcel numbers for these parcels. Identify all existing or proposed wells

Step #2: Determine total parcel acreage and water allotment factor. If your project spans multiple parcels, please fill a separate form for each parcel.

Determine the allowable water allotment for your parcels:

Parcel Location Factors

The allowable allotment of water is based on the location of your parcel. There are 3 different location classifications. Valley floor areas include all locations that are within the Napa Valley, Pope Valley and Carneros Region, except for areas specified as groundwater deficient areas. Groundwater

deficient areas are areas that have been determined by the public works department as having a history of problems with groundwater. All other areas are classified as Mountain Areas. Please circle your location classification below (Public Works can assist you in determining your classification if necessary):

Valley Floor 1.0 acre feet per acre per year
 Mountain Areas 0.5 acre feet per acre per year
 MST Groundwater Deficient Area 0.3 acre feet per acre per year

Assessors Parcel Number(s)	Parcel Size (A)	Parcel Location Factor (B)	Allowable Water Allotment (A) X (B)
036-180-041	30.21	1.0	30.21

Step #3:

Using the guidelines in Attachment A, tabulate the existing and projected future water usage on the parcel(s) in acre-feet per year (af/yr). Transfer the information from the guidelines to the table below.

EXISTING USE:

Residential 0.75 af/yr
 Farm Labor Dwelling _____ af/yr
 Winery 2.15 af/yr
 Commercial _____ af/yr
 Vineyard* 14 af/yr
 Other Agriculture _____ af/yr
 Landscaping _____ af/yr
 Other Usage (List Separately):
Studios - 6 1.8 af/yr
 _____ af/yr
 _____ af/yr

PROPOSED USE:

Residential 0.75 af/yr
 _____ af/yr Farm Labor Dwelling _____ af/yr
 Winery 2.65 af/yr
 Commercial _____ af/yr
 Vineyard* 12.6 af/yr
 Other Agriculture _____ af/yr
 Landscaping 1.0 af/yr
 Other Usage (List Separately):
Studios - 5 1.8 af/yr
 _____ af/yr
 _____ af/yr

TOTAL: 18.7 af/yr
 TOTAL: 6,092,853 gallons**

TOTAL: 18.8 af/yr
 TOTAL: 6,125,435 gallons**

*Water use for vineyards should be no lower than 0.2 AF—unless irrigation records are available that show otherwise.

**To determine your existing and proposed total water use in gallons, multiply the totals (in acre-feet) by 325,821 gal/AF.

Is the proposed use less than the existing usage () Yes (x) No () Equal

Step #4:

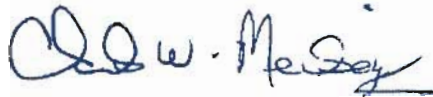
Provide any other information that may be significant to this analysis. For example, any calculations supporting your estimates, well test information including draw down over time, historical water data,

visual observations of water levels, well drilling information, changes in neighboring land uses, the usage of other water sources such as city water or reservoirs, the timing of the development, etc. Use additional sheets if necessary.

Existing vineyard is approx 28 acres. Proposed vineyard is approx 25 acres. Winery is 100,000 gpy.

Conclusion: Congratulations! Just sign the form and you are done! Public works staff will now compare your projected future water usage with a threshold of use as determined for your parcel(s) size, location, topography, rainfall, soil types, historical water data for your area, and other hydrogeologic information. They will use the above information to evaluate if your proposed project will have a detrimental effect on groundwater levels and/or neighboring well levels. Should that evaluation result in a determination that your project may adversely impact neighboring water levels, a phase two water analysis may be required. You will be advised of such a decision.

Signature: _____



Date: 3-31-11

Phone: 707.963.7703

Attachment A: Estimated Water Use Guidelines

Typical Water Use Guidelines:

Primary Residence	0.5 to 0.75 acre-feet per year (includes some landscaping)
Secondary Residence	0.20 to 0.30 acre-feet per year
Farm Labor Dwelling	0.06 to 0.10 acre-feet per person per year

Non-Residential Guidelines:

Agricultural:

Vineyards	
Irrigation only	0.2 to 0.5 acre-feet per acre per year
Heat Protection	0.25 acre feet per acre per year
Frost Protection	0.25 acre feet per acre per year
Farm Labor Dwelling	0.06 to 0.10 acre-feet per person per year
Irrigated Pasture	4.0 acre-feet per acre per year
Orchards	4.0 acre-feet per acre per year
Livestock (sheep or cows)	0.01 acre-feet per acre per year

Winery:

Process Water	2.15 acre-feet per 100,000 gal. of wine
Domestic and Landscaping	0.50 acre-feet per 100,000 gal. of wine

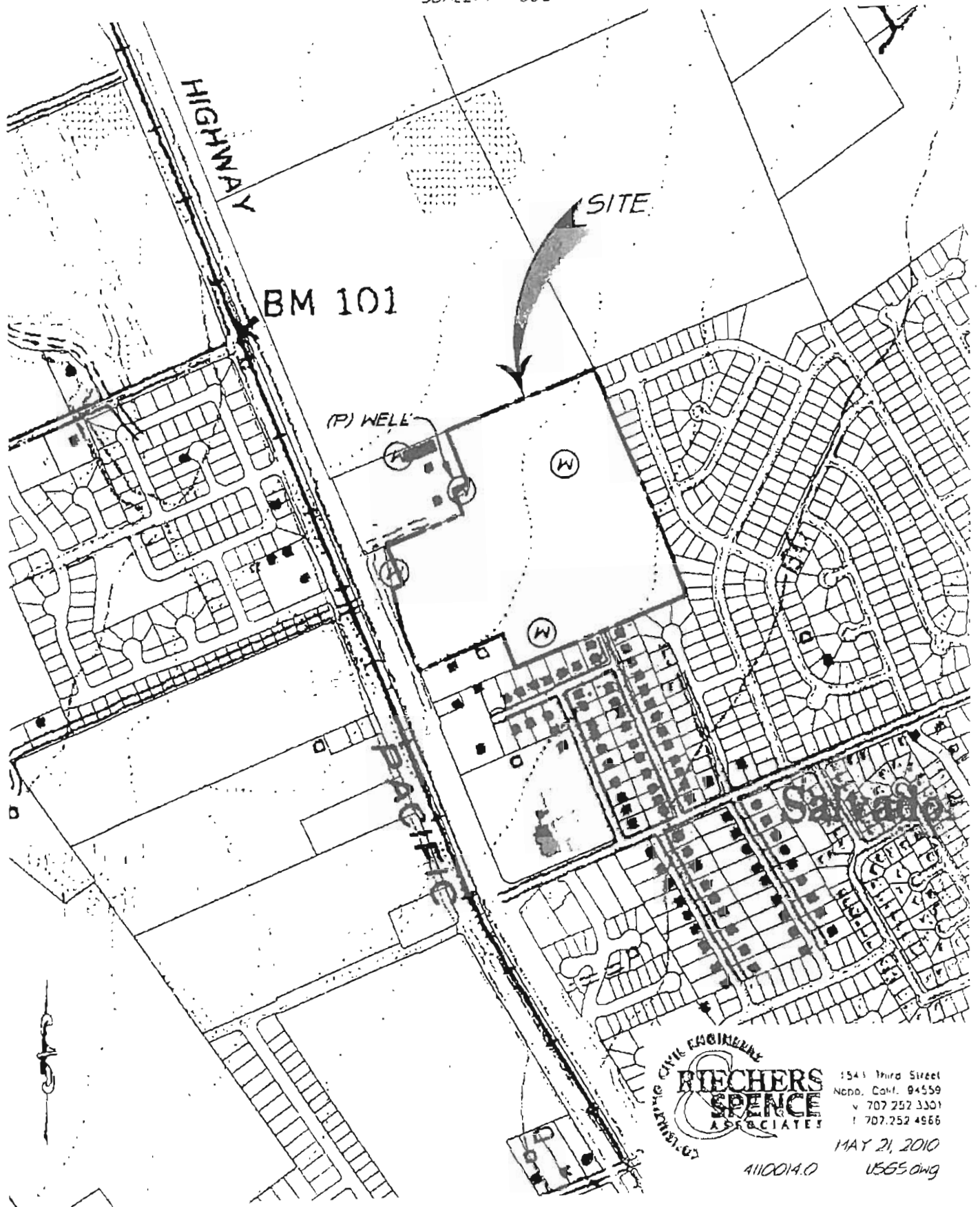
Industrial:

Food Processing	31.0 acre-feet per employee per year
Printing/Publishing	0.60 acre-feet per employee per year

Commercial:

Office Space	0.01 acre-feet per employee per year
Warehouse	0.05 acre-feet per employee per year

USGS MAP
CAREVAN SERAI WINERY
SCALE: 1" = 600'



REGISTERED CIVIL ENGINEERS
**RIECHERS
SPENCE
ASSOCIATES**
1545 Third Street
Napa, Calif. 94559
v 707.252.3301
f 707.252.4666
MAY 21, 2010
USGS dwg

4110014.0

Water Impact Analysis

Vineyard

According to the Napa County Phase 1 Water Availability Analysis Attachment A: Estimated Water Use Guidelines, each acre of vineyard will use between 0.25 and 0.5 AF of water per year not including frost and heat protection. Frost protection is provided by wind machines, so the water use for the 28 acres of existing vineyards is currently 14 acre feet per year.

The annual water use associated with these vines will be approximately **4,561,494 gallons**.

Tasting Room Visitors

The winery will expect a maximum of 400 tasting room visitors per day. According to Table 6 of the Napa County Department of Environmental Management Alternative Sewage Treatment System Design Guidelines a tasting room guest will use approximately 3 gallons of water per day. On a daily basis tasting room visitors will consume 1200 gallons of water.

Since the tasting room is open 7 days per week, 365 days per year, the water use by these visitors is approximately **438,000 gallons**, assuming there are 400 visitors per day every day of the year (which does not occur due to lower levels of visitation on weekdays and off-peak tourism time periods).

Marketing Events

The winery will prepare 15 lunches for 12 people and 20 dinners for 8 people each month. According to Table 6 of the Napa County Department of Environmental Management Alternative Sewage Treatment System Design Guidelines conventional sit down meals using multi use utensils can be expected to consume 15 gallons of water. For the purposes of this study all meals will be considered to use equal water and the winery will be assumed to have prepared all meals for that particular time period. Each month a maximum of 340 meals will be prepared and served resulting in a monthly maximum water use of 5,100 gallons. The water usage calculated here addresses all marketing events at the winery, not just the increase in the number of marketing events previously approved, so the water use calculated here overstates the impact of the expanded marketing program, particularly when the base water use for all marketing event

attendees is already calculated as tasting room visitors because marketing event attendees are included within the 400 person maximum daily visitation.

The annual water used to prepare meals at the winery is approximately **61,000 gallons**.

Future Water Use

Additional water use associated with this plan beyond the previous permit is 499,000 gallons per year. However, this use is offset through the elimination of vineyard due to a larger winery footprint. The portion of the property that cannot be used for vineyard, due to the winery development area, the underground leach field and necessary buffer areas for vine turn arounds results in a net loss of 2.8 acres of vineyard on the property. Based on vineyard usage rates specified above the savings in irrigation water amounts to 912,320 gallons. The additional water use (under these assumptions) is 499,000 gallons. As a result, the savings more than compensates for the additional use. Moreover, as set forth in the Phase I Water Availability Analysis, under County guidelines, the allowable threshold for this 30.21 acre valley floor parcel is 30.21 ac-ft/yr. Under the County guidelines, current use is calculated as 18.7 ac-ft based on the approved 100,000 gallon winery and current 28 acres of vines. After construction of the project, and the removal of vines, the proposed use will be 18.8 ac-ft/yr, effectively the same usage, and well below the Phase I threshold.

Checklist of Voluntary Greenhouse Gas Emission Reduction Measures



A Tradition of Stewardship
A Commitment to Service

An addendum to the Entitlement Application and a supplement for Initial Studies as required by CEQA

PROJECT NAME	CAPAVAN SERAI	
PROJECT ADDRESS	4210 HOWARD LN	
APPLICANT	KURT KRUEGER	
CONTACT INFO	Kurt.Krueger@napa.gov	(30)446-7000
	email	phone

	yes	no	I don't know
1 Have you designed to U.S.G.B.C.™ LEED™ or Build It Green™ standards? If yes, please include a copy of their required spreadsheets	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2 Do you have an integrated design team? if yes, please list: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3 SITE DESIGN			
3.1 Does your design encourage community gathering and is it pedestrian friendly?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3.2 Are you building on existing disturbed areas?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3.3 Landscape Design			
3.3.1 native plants?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3.3.2 drought tolerant plants?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3.3.3 Pierce Disease resistant planting?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.3.4 Fire resistant planting?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.3.5 Are you restoring open space and/or habitat?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3.3.6 Are you harvesting rain water on site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.3.7 planting large trees to act as carbon sinks?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3.3.8 using permeable paving materials for drive access and walking surfaces?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3.4 Does your parking lot include bicycle parking?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.5 Do you have on-site waste water disposal?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.6 Do have post-construction stormwater on site detention/filtration methods designed?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.7 Have you designed in harmony with existing natural features, such as preserving existing trees or rock outcroppings?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3.8 Does the project minimize the amount of site disturbance, such as minimizing grading and/or using the existing topography in the overall site design (such as cave design)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3.9 Is the structure designed to take advantage of natural cooling and passive solar aspects?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4 ENERGY PRODUCTION & EFFICIENCY			
4.1 Does your facility use energy produced on site? If yes, please explain the size, location, and percentage of off-set: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.2 Does the design include thermal mass within the walls and/or floors?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.3 Do you intend to commission the performance of the building after it is built to ensure it performs as designed?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.4 Will your plans for construction include:			
4.4.1 High density insulation above Title 24 standards?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.4.2 Zones for heating and cooling to provide for maximum efficiency?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.4.3 Energy Star™ or ultra energy efficient appliances?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.4.4 A "cool" (lightly colored or reflective) or a permeable/living roof?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.4.5 Timers/time-outs installed on lights (such as the ballrooms)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(If yes, please explain: _____)			
5 WATER CONSERVATION			
5.1 Does your landscape include high-efficiency irrigation?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5.2 Does your landscape use zero potable water irrigation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5.3 Is your project in the vicinity to connect to the Napa Sanitation reclaimed water?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5.4 Will your facility use recycled water?			
5.4.1 If no, will you prepare for it by pre-installing dual pipes and/or purple lines?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5.5 Will your plans for construction include:			
5.5.1 a meter to track your water usage?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5.5.2 ultra water efficient fixtures and appliances?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5.5.3 a continuous hot water distribution method, such as an on-demand pump?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5.5.4 a timer to ensure that the systems are run only at night/early morning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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yes no I don't know

6 MATERIAL RECYCLING

- 6.1 Are you using reclaimed materials? yes no I don't know
 If yes, what and where: _____
- 6.2 Are you using recycled construction materials:
 6.2.1 finish materials? yes no I don't know
 6.2.2 aggregate/concrete road surfaces? yes no I don't know
 6.2.3 fly ash/slag in foundation? yes no I don't know
- 6.3 Will your contractor be required to recycle and reuse construction materials as part of your contract? yes no I don't know
- 6.4 Does your facility provide access to recycle:
 6.4.1 Kitchen recycling center? yes no I don't know
 6.4.2 Recycling options at all trash cans? yes no I don't know
 6.4.3 Do you compost green waste? yes no I don't know
 6.4.4 Provide recycling options at special events? yes no I don't know

7 NATURAL RESOURCES

- 7.1 Will you be using certified wood that is sustainably harvested in construction? yes no I don't know
- 7.2 Will you be using regional (within 500 miles) building materials? yes no I don't know
- 7.3 Will you be using rapidly renewable materials, such as bamboo? yes no I don't know
- 7.4 Will you apply optimal value engineering (studs & rafters at 24" on center framing)? yes no I don't know
- 7.5 Have you considered the life-cycle of the materials you chose? yes no I don't know

8 INDOOR AIR QUALITY

- 8.1 Will you be using low or no emitting finish and construction materials indoors:
 8.1.1 Paint? yes no I don't know
 8.1.2 Adhesives and Sealants? yes no I don't know
 8.1.3 Flooring? yes no I don't know
 8.1.4 Framing systems? yes no I don't know
 8.1.5 Insulation? yes no I don't know
- 8.2 Does the design allow for maximum ventilation? yes no I don't know
- 8.3 Do you plan for a wood burning fireplace (US EPA Phase II certified)? yes no I don't know
- 8.4 Does your design include daylight, such as skylights? yes no I don't know

9 TRANSPORTATION DEMAND MANAGEMENT

- 9.1 After your project is complete, will you offer your employees incentives to carpool, bike, or use transit? yes no I don't know
- 9.2 After your project is complete, will you allow your employees to telecommute or have alternative work schedules? yes no I don't know
- 9.3 Does your project include design features that encourage alternative modes of transportation such as:
 preferred parking for carpooling, ridesharing, electric vehicles?
 secured bicycle parking, safe bicycle access?
 loading zones for buses/range taxi services?
 yes no I don't know
- 9.4 How close is your facility to public transportation? 3.3 miles

10 Are there any superior environmental/sustainable features of your project that should be noted?
LARGE OVERHANGS FOR SHADING WINDOWS & DOORS, PASSIVE COOLING TECHNIQUES OF USING WATER FEATURES AS BREEZES, PASS THROUGH LARGE DOORS & WINDOWS, AMPLE NATURAL VENTILATION, MINIMIZING OF ARTIFICIAL LIGHTING

- 11 What other studies or reports have you done as part of preparing this application?
 1 _____
 2 _____
 3 _____
 4 _____

12 If your project involves an addition or modification to an existing building, are you planning to improve energy conservation of existing space (such as insulation, new windows, HVAC, etc.)?
 If yes, please describe: NA

- 13 Once your facility is in operation, will you:
 13.1 calculate your greenhouse gas emissions? yes no I don't know
 13.2 implement a GHG reduction plan? yes no I don't know
 13.3 have a written plan to reduce your vehicle miles traveled of your operations and employee's commute? yes no I don't know

14 Does your project provide for education of green/sustainable practices?
 If yes, please describe: _____

15 Any comments, suggestions, or questions in regards to the County's efforts to reduce greenhouse gases?

Form filled out by: KURT KRUEGER
ARYA GROUP, INC.



**Napa County Department of Environmental Management
CUPA-Related Business Activities Form**

Business Name: Darioush Khaledi Winery, LLC

Business Address: 4120 Howard Lane Napa Ca. 94558

Contact: Steve Devitt **Phone #:** 707.257.2345

A. HAZARDOUS MATERIALS

Have on site (for any purpose) hazardous materials at or above 55 gallons for liquids, 500 pounds for solids, or 200 cubic feet for compressed gases (include liquids in AST's and UST's or handle radiological materials in quantities for which an emergency plan is required pursuant to 10 CFR Parts 30, 40 or 70?)

YES NO

B. UNDERGROUND STORAGE TANKS (UST's)

1. Own or operate underground storage tanks?

YES NO

2. Intend to upgrade existing or install new UST's?

YES NO

C. ABOVE GROUND STORAGE TANKS (AST's)

Own or operate AST's above these thresholds.

- Any tank capacity with a capacity greater than 660 gallons, or
- The total capacity for the facility is greater than 1,320 gallons?
water tanks

YES NO

D. HAZARDOUS WASTE

1. Generate hazardous waste?

YES NO

2. Recycle more than 220 lbs/month of excluded or exempted recyclable materials (per H&SC §25143.2)?

YES NO

3. Treat hazardous waste on site?

YES NO

4. Treatment subject to financial assurance requirements (for Permit by Rule and Conditional Authorization)?

YES NO

5. Consolidate hazardous waste generated at a remote site?

YES NO

E. OTHER

1. Does the business activity include car/fleet washing, mobile detailing, auto-body related activities?

YES NO

2. Does the business handle Extremely Hazardous Substances in amounts that would qualify for the Risk Management Program? Some examples and their thresholds common to Napa County include: Ammonia - 500 lbs, Sulfur Dioxide - 500 lbs, Chlorine - 500 lbs.

YES NO

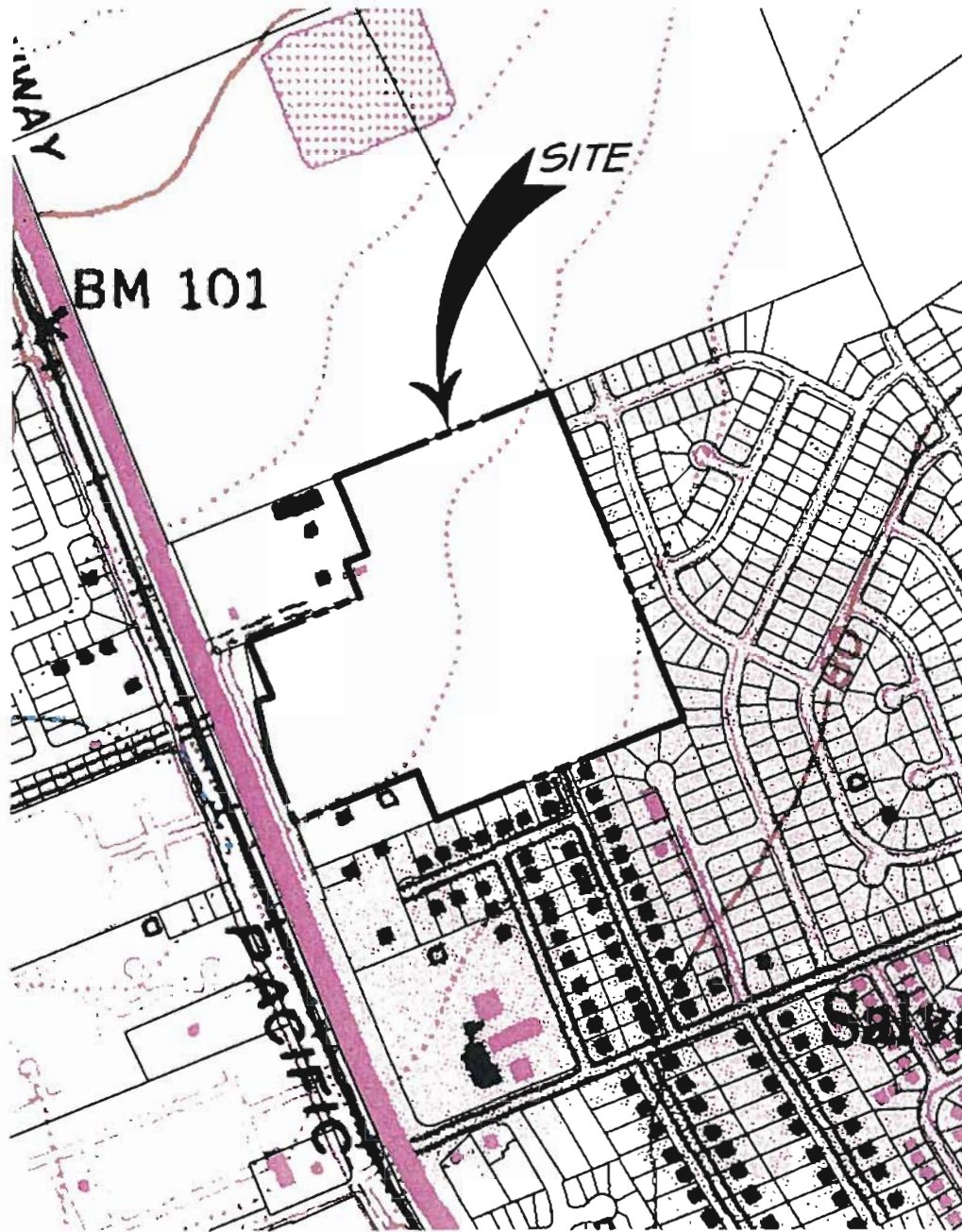
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JUN 14 2010

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DEVELOPMENT & PLANNING DEPT.

SITE LOCATION MAP CAREVAN SERAI WINERY

SCALE: 1" = 600'

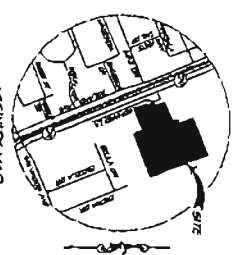
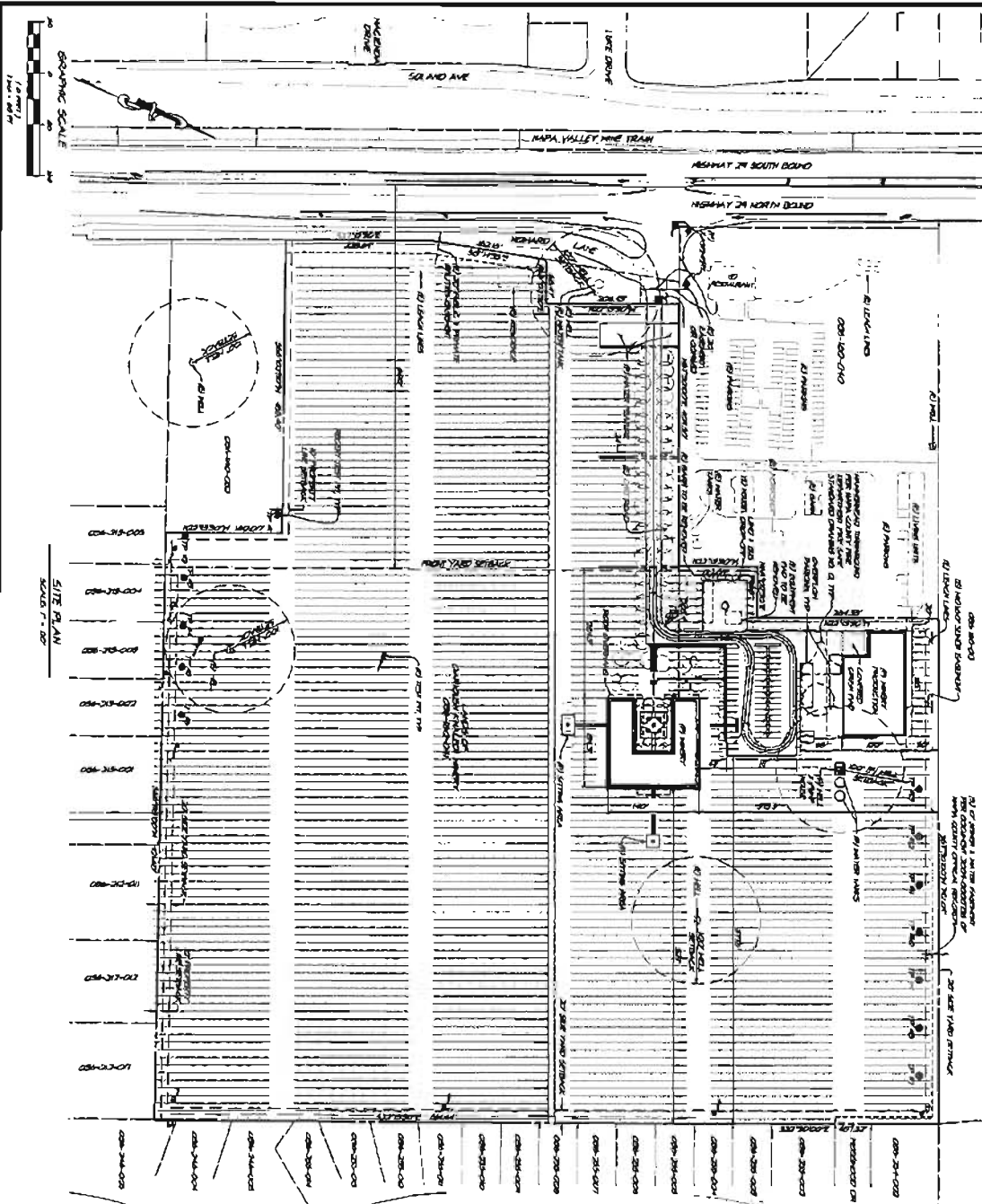


1541 Third Street
Napa, Calif. 94559
v 707.252.3301
f 707.252.4966

MAY 21, 2010

4110014.0 site_location.dwg

CAREVAN SERAI WINERY USE PERMIT MODIFICATION NAPA COUNTY CALIFORNIA



PROJECT INFORMATION

OWNER: DANIELSON-CARVER WINE & VINEYARD, LLC
 10000 CARVER WAY, SUITE 200
 NAPA, CALIFORNIA 94950

DESIGNER: GUYER ASSOCIATES
 201 ALTA VISTA DRIVE
 NAPA, CALIFORNIA 94950

SITE ADDRESS: 4551 HOWARD LANE
 NAPA, CALIFORNIA 94950

DATE OF PERMIT: 08/11/2010

PROJECT NO.: 10000 CARVER WINE & VINEYARD, LLC
 10000 CARVER WAY, SUITE 200
 NAPA, CALIFORNIA 94950

PROJECT NO.: 10000 CARVER WINE & VINEYARD, LLC
 10000 CARVER WAY, SUITE 200
 NAPA, CALIFORNIA 94950

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 NAPA, CALIFORNIA 94950

PROJECT NO.: 10000 CARVER WINE & VINEYARD, LLC
 10000 CARVER WAY, SUITE 200
 NAPA, CALIFORNIA 94950

SHEET INDEX

NO.	DESCRIPTION	DATE
1	GENERAL NOTES	08/11/2010
2	FOUNDATION AND EROSION CONTROL	08/11/2010
3	WATER PLUMBING	08/11/2010
4	SEWER PLUMBING	08/11/2010
5	ELECTRICAL	08/11/2010
6	Mechanical	08/11/2010
7	Structural	08/11/2010
8	Grading	08/11/2010
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10	Site Plan	08/11/2010
11	Site Plan	08/11/2010
12	Site Plan	08/11/2010
13	Site Plan	08/11/2010
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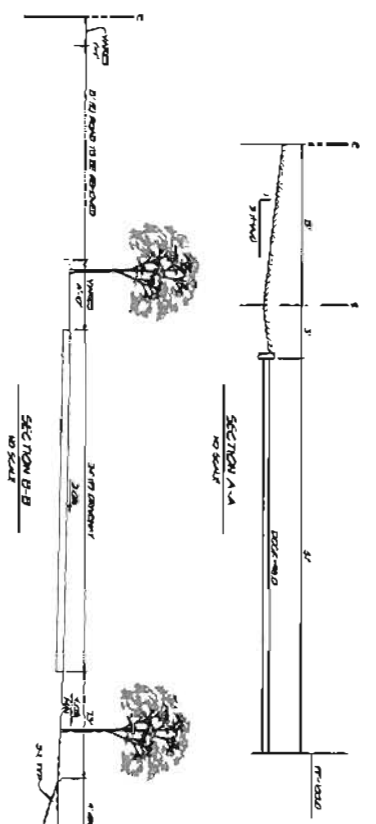
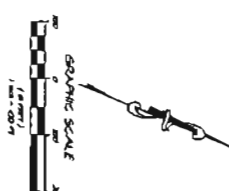
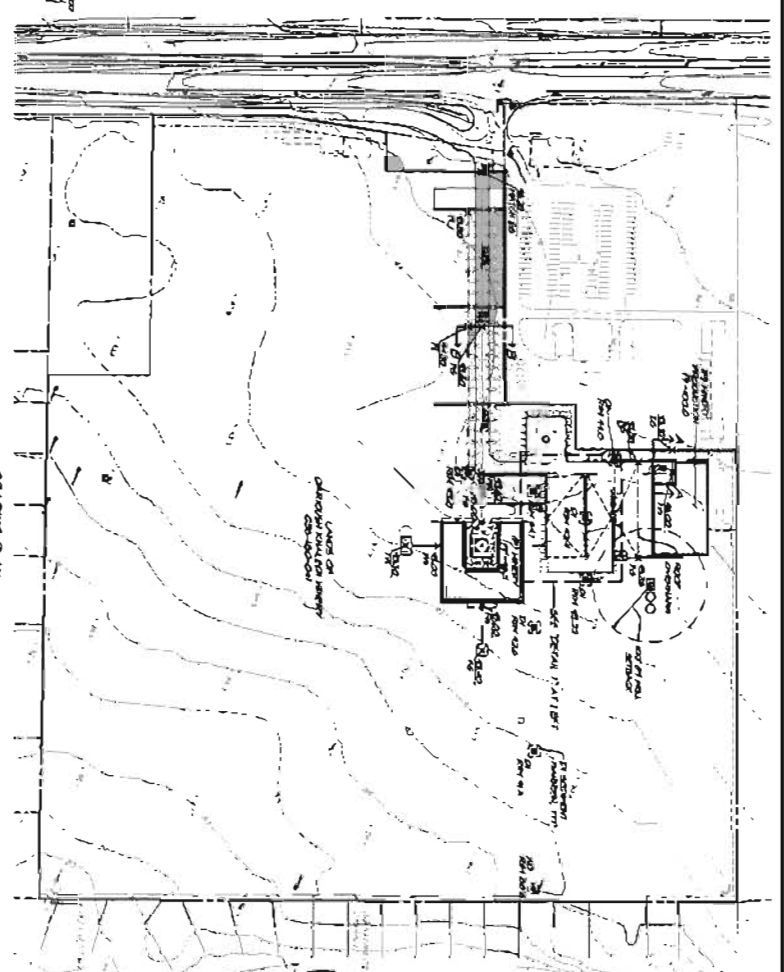
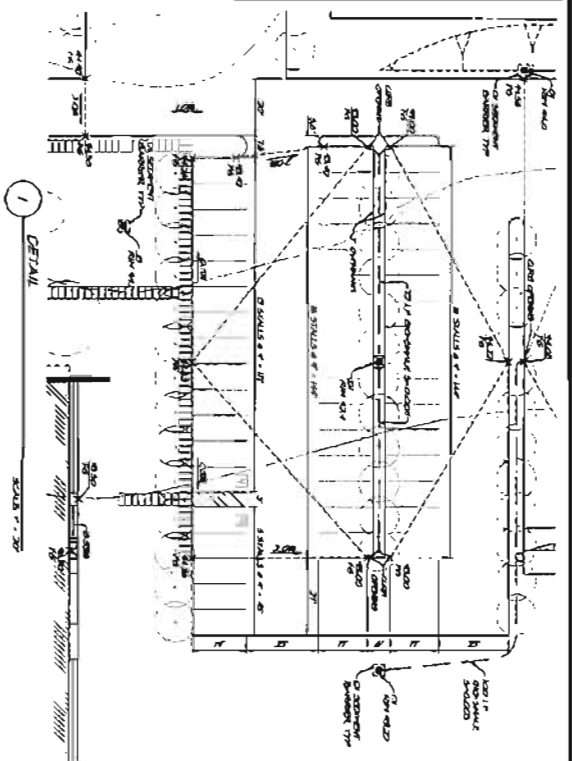
APR 04 2011

NAPA CO. CONSERVATION
DEVELOPMENT & PLANNING DEPT.

CAREVAN SERAI WINERY
COVER SHEET
NAPA COUNTY CALIFORNIA



UP1
OF 2 SHEETS



EARTHWORK QUANTITIES	
CUT	8026.67
FILL	1023.67
NET	1023.67



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Project as Shown on Plans. Please Contact the City.

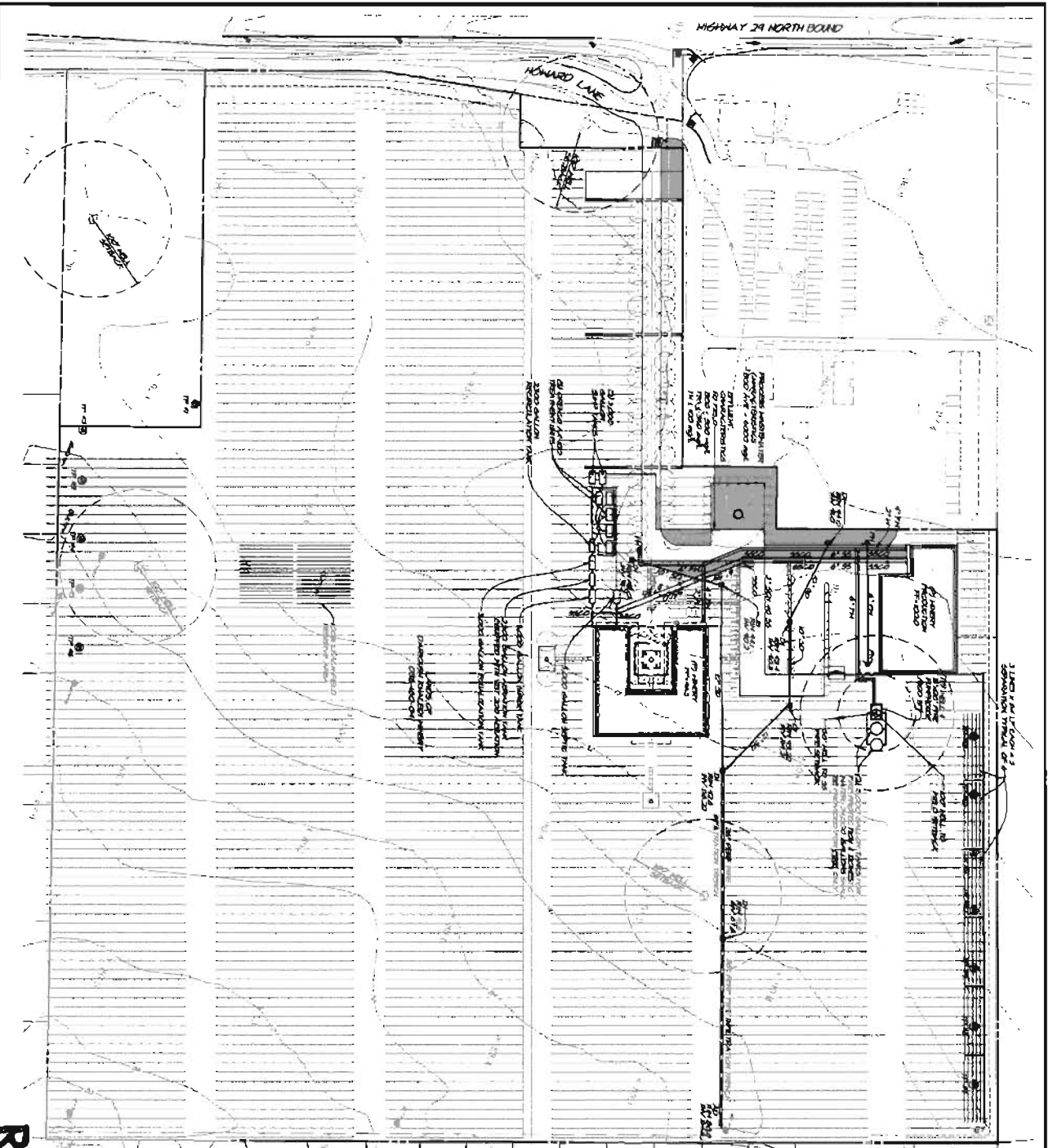
RESUBMITAL - NOT FOR CONSTRUCTION

NAPA CO. CONSERVATION
DEVELOPMENT & PLANNING DEPT.

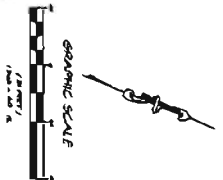
**CAREVAN SERAI WINERY
GRADING AND EROSION CONTROL PLAN**
NAPA COUNTY CALIFORNIA



DATE	04/04/2011
BY	UP2
FOR	10236
PROJECT	CAREVAN SERAI WINERY
LOCATION	NAPA COUNTY, CALIFORNIA
SCALE	AS SHOWN



Printed on Standard Paper (9) Please Observe the Code



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 DEVELOPMENT & PLANNING DEPT.

APR 04 2011

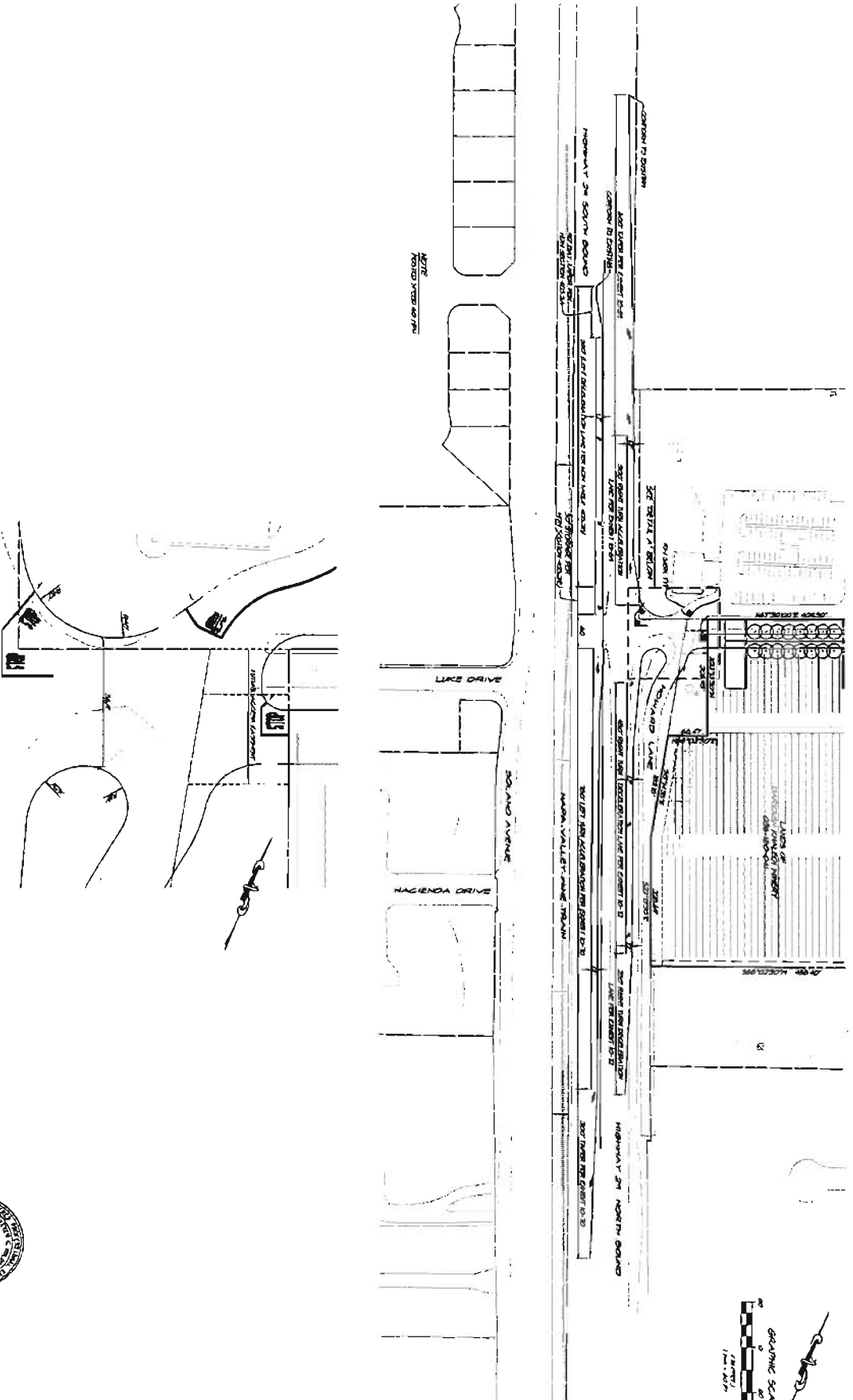
PRELIMINARY - NOT FOR CONSTRUCTION

**CAREVAN SERAI WINERY
 UTILITY PLAN**
 NAPA COUNTY CALIFORNIA



DATE	BY	DESCRIPTION
03/15/11	UP3	REVISED
03/15/11	UP3	REVISED
03/15/11	UP3	REVISED
03/15/11	UP3	REVISED
03/15/11	UP3	REVISED

NO.	DATE	REVISION
1		
2		
3		
4		
5		



DETAIL A
AS SHOWN

RECEIVED



APR 04 2011

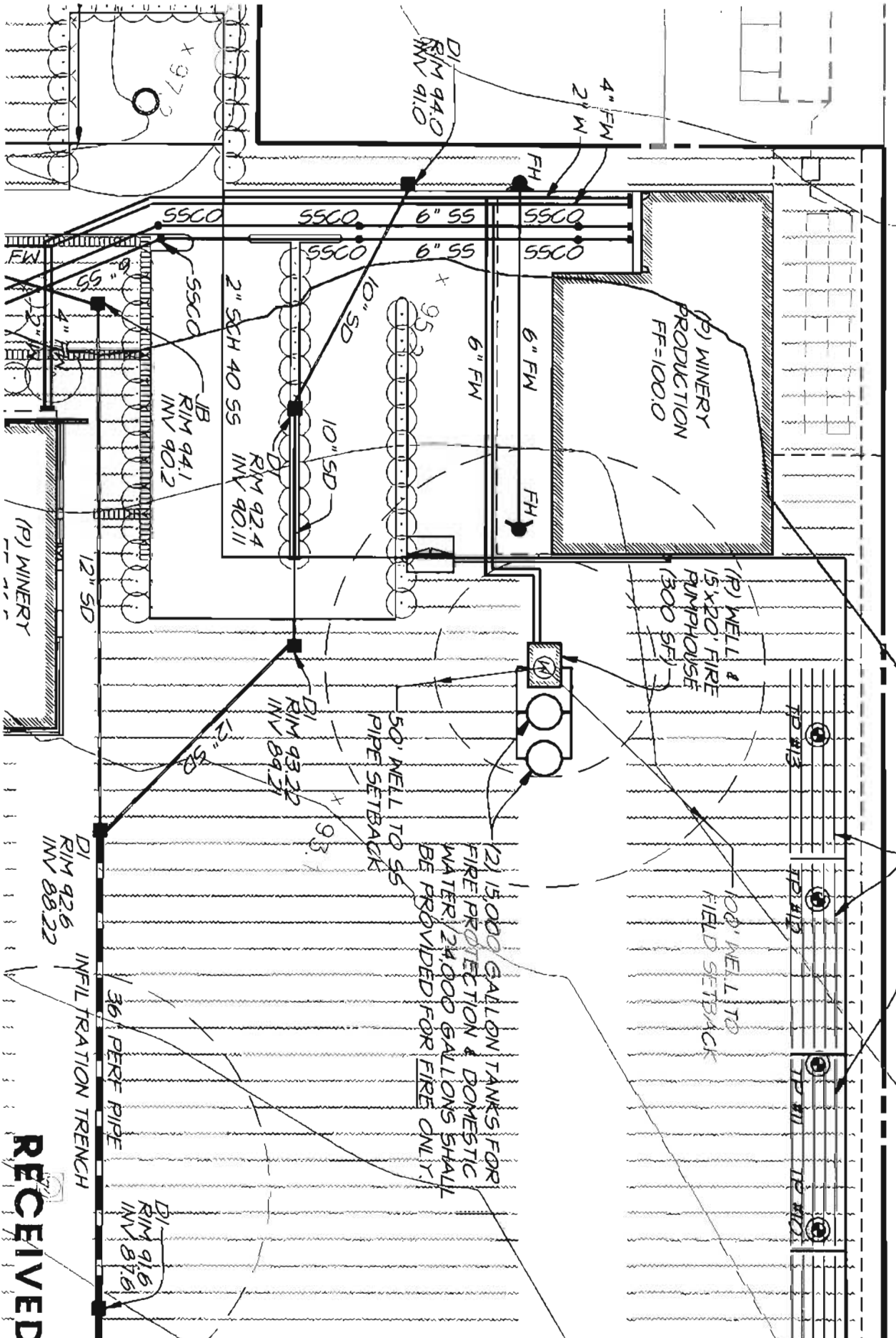
NAPA CO. CONSERVATION
DEVELOPMENT & PLANNING DEPT.

REBARBARY - NOT FOR CONSTRUCTION

DATE	BY	DESCRIPTION

**CAREVAN SERAI WINERY
OFF-SITE IMPROVEMENTS**
NAPA COUNTY CALIFORNIA





5 LINES x 84 LB EACH @ 5'
SEPARATION TYPICAL OF 6'

SCALE: 1" = 60'

(2) 15,000 GALLON TANKS FOR
FIRE PROTECTION & DOMESTIC
WATER / 24,000 GALLONS SHALL
BE PROVIDED FOR FIRE ONLY

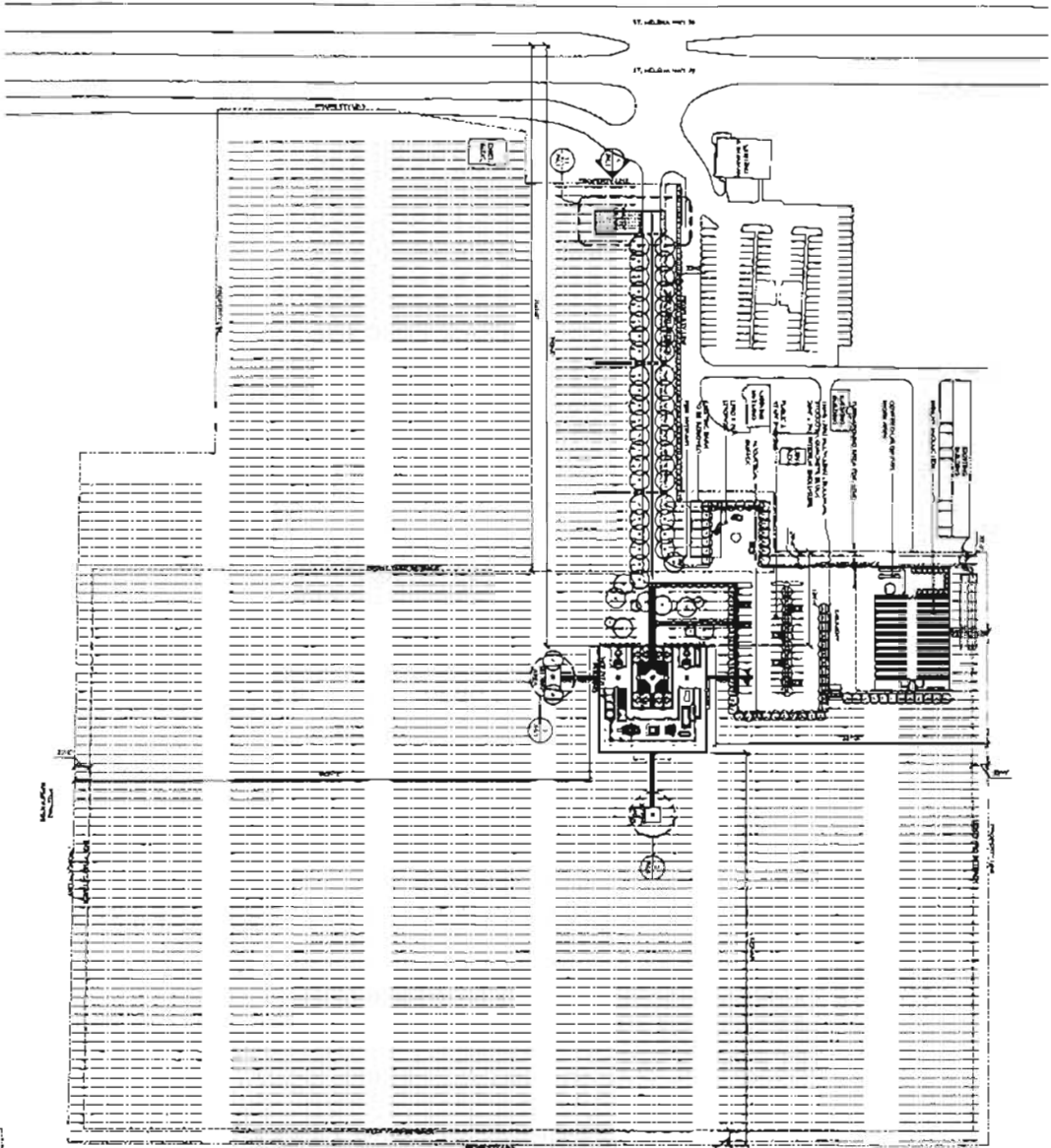
100' WELL TO
FIELD SETBACK

50' WELL TO 55
PIPE SETBACK

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NAPA CO. CONSERVATION
DEVELOPMENT & PLANNING DEPT.



RECEIVED



SCALE

SCALE

NAPA CO. CONSERVATION
DEVELOPMENT & PLANNING DEPT.

SITE PLAN	
NO.	DESCRIPTION
1	EXISTING
2	PROPOSED
3	REMOVED
4	ADDED
5	CHANGED
6	OTHER

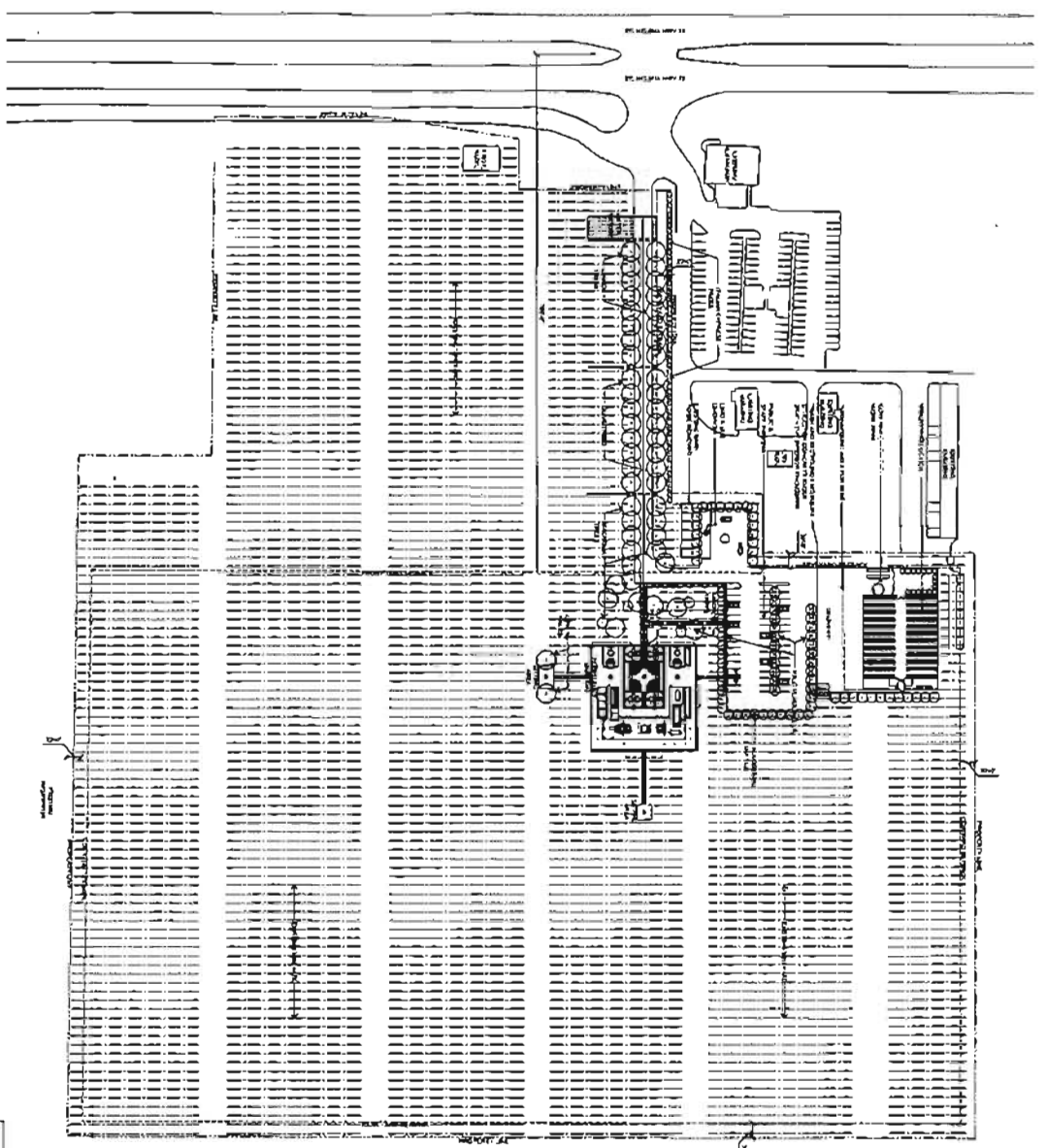
PROPERTY OWNER: DARIOUSH KHALEDI
 ASSESSOR PARCEL NO. 035-180-041
 DATE OF DRAWING: OCT. 1, 2010

CARAVAN SERAI
 4210 Howard Ln
 Napa, CA 94558-1324

Professional
 Seal
 No. 10000
 State of California
 License No. 10000
 Date of Issue: 10/1/2010
 Expiration Date: 10/1/2015

ARVA
 Architectural
 Services
 10000
 State of California
 License No. 10000
 Date of Issue: 10/1/2010
 Expiration Date: 10/1/2015

SHEET
 A1.0



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LEGEND

SCALE
1" = 10'

NAPA CO. CONSERVATION
DEVELOPMENT & PLANNING DEPT.

SHEET
A1.1

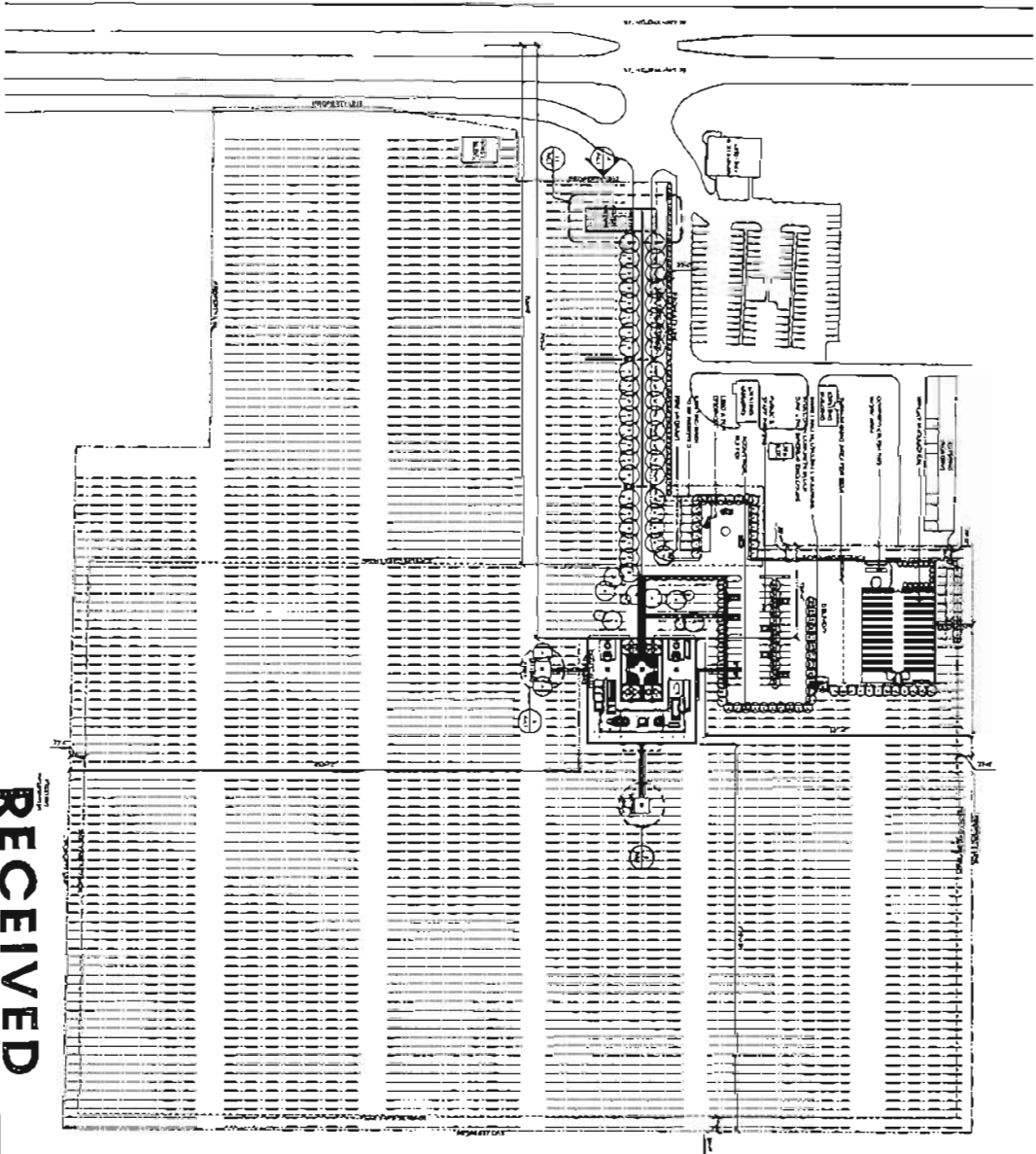
LANDSCAPE PLAN	
DATE	REVISION

PROPERTY OWNER: DARIDUSH KHALEDI
ASSESSOR PARCEL NO. 036-180-041
DATE OF DRAWING: OCT. 1, 2010

CARAVAN SERAI
4210 Howard Ln
Napa, CA 94558-1324

Professional Seal and Signature Area

ARVA
Professional Seal and Signature Area



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NAPA CO. CONSERVATION
DEVELOPMENT & PLANNING DEPT



LEGEND

SCALE

SHEET
A1.0

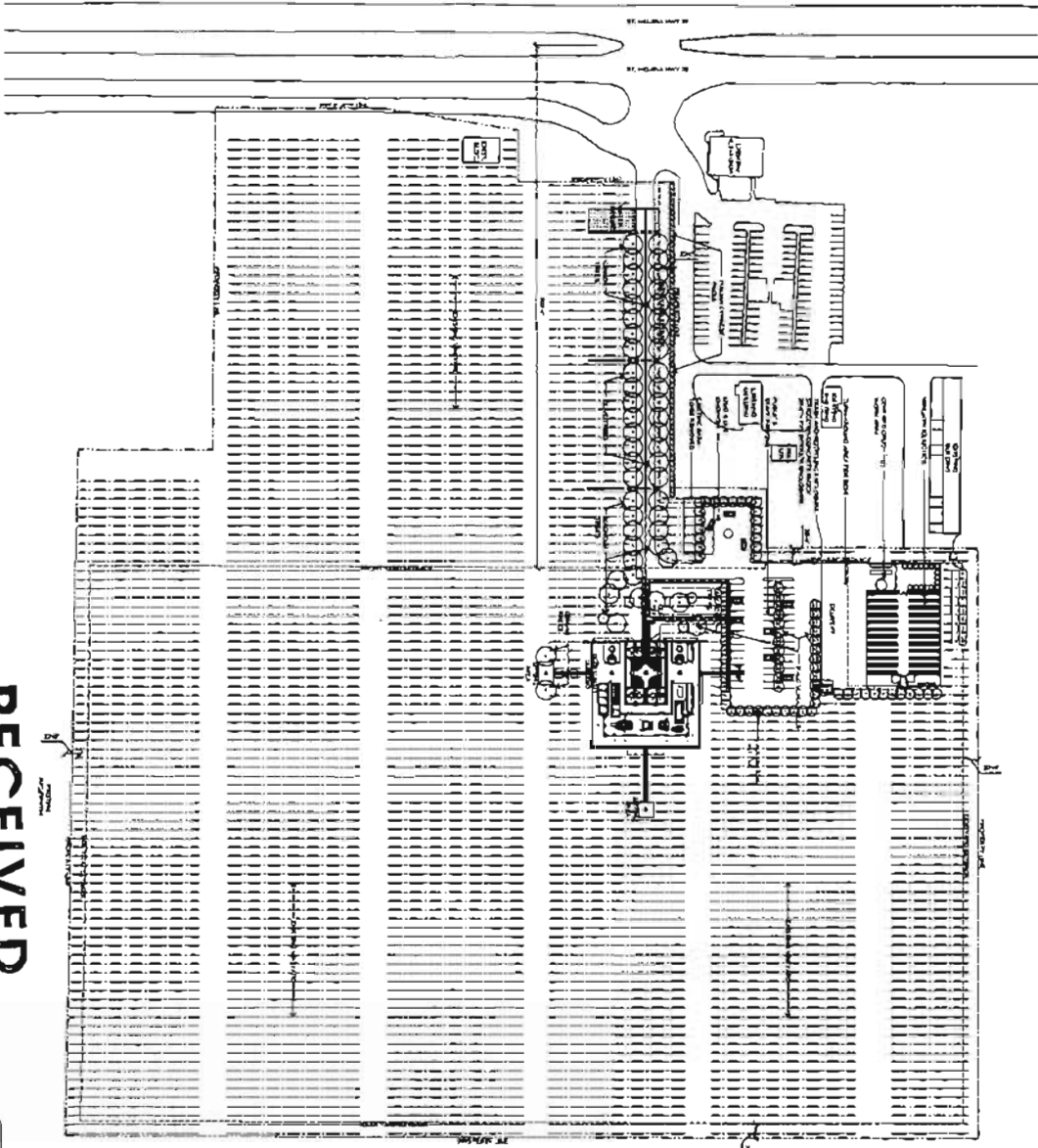
SITE PLAN	
NO.	DESCRIPTION
1	EXISTING
2	PROPOSED
3	REMOVED
4	ADJUSTED
5	AS SHOWN

PROPERTY OWNER: DARIOUSH KHALEDI
 ASSESSOR PARCEL NO. 038-186-641
 DATE OF DRAWING: OCT. 1, 2010

CARAVAN SERAI
 4210 Howard Ln
 Napa, CA 94558-1324

ARYA ARCHITECTURE
 4210 HOWARD LN
 NAPA, CA 94558-1324
 TEL: 707.255.1324
 FAX: 707.255.1325
 WWW.ARYAARCHITECTURE.COM

ARYA



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DEVELOPMENT & PLANNING DEPT.



SCALE

LEGEND

SCALE

LANDSCAPE PLAN

NO.	DESCRIPTION	DATE	BY	CHECKED

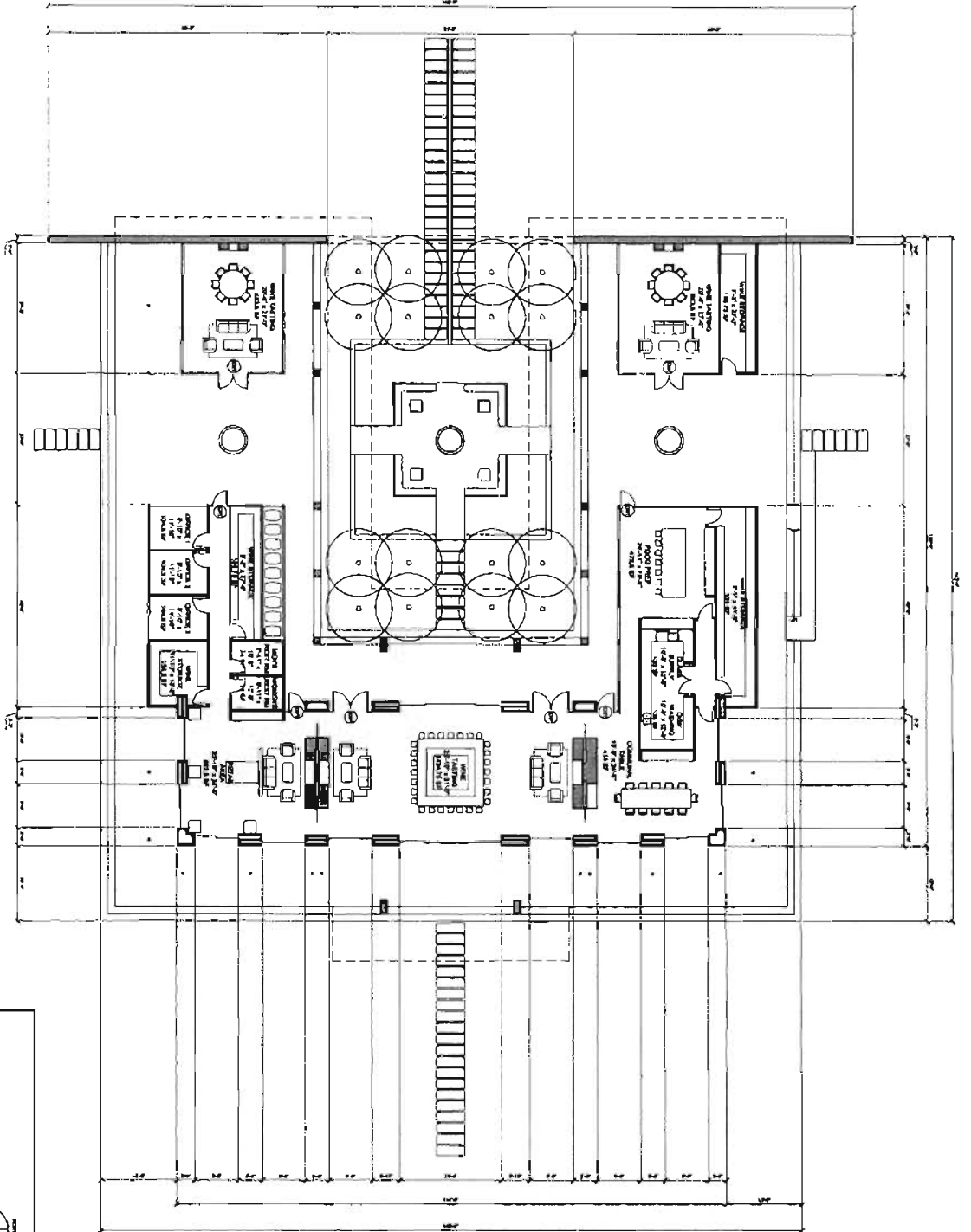
PROPERTY OWNER: DARIOUSH KHALEDI
 ASSESSOR PARCEL NO. 038-180-041
 DATE OF DRAWING: OCT. 1, 2010

CARAVAN SERAI
 4210 Howard Ln
 Napa, CA 94558-1324

PROJECT NO. 10-001
 SHEET NO. 1 OF 1
 DATE: 10/1/10

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 ARCHITECTURE
 4210 HOWARD LN
 NAPA, CA 94558-1324
 TEL: 707.255.1324
 FAX: 707.255.1325
 WWW.ARYAARCHITECTURE.COM

SHEET
A1.1



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MAR 14 2011

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DEVELOPMENT & PLANNING DEPT.

HOSPITALITY BUILDING FLOOR PLAN	
NO.	DESCRIPTION

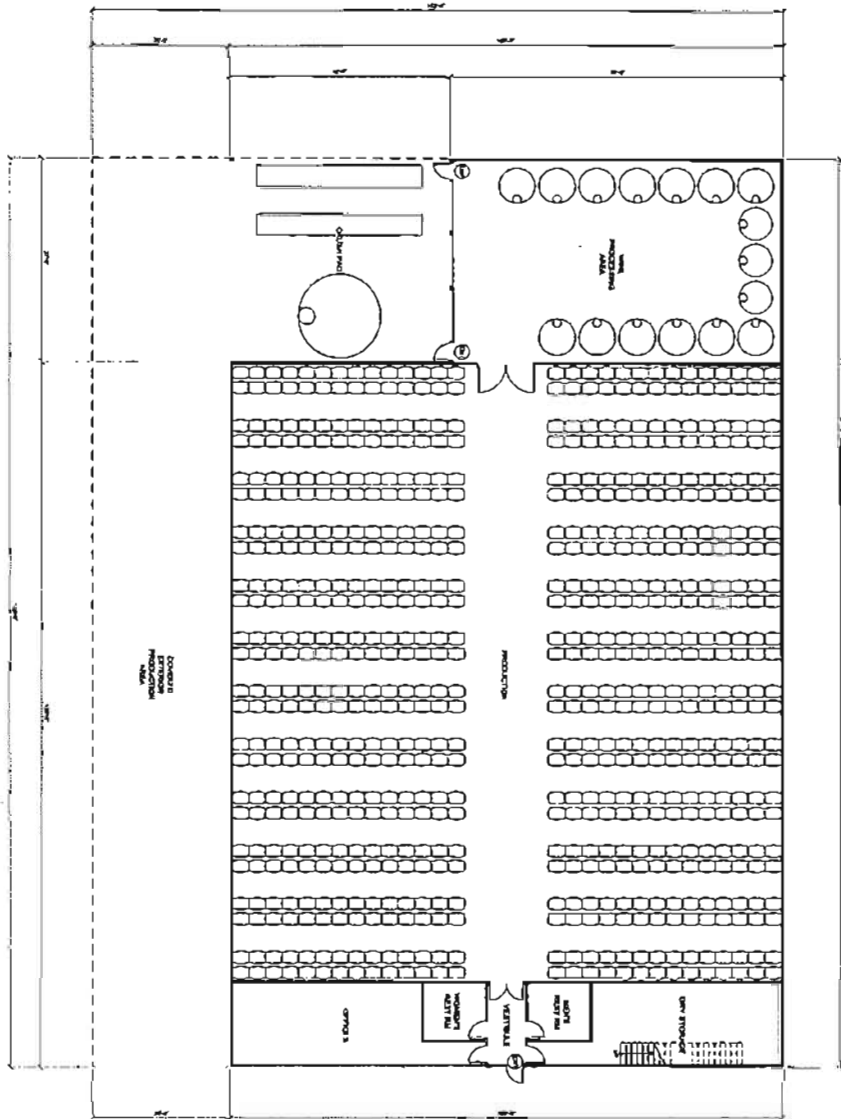
PROPERTY OWNER: DARILOUSH KHALEDI
 ASSESSOR PARCEL NO. 036-180-041
 DATE OF DRAWING: OCT. 1, 2010

CARAVAN SERAI
 4210 Howard Ln
 Napa, CA 94558-1324

DATE: 10/1/10
 1:10 PM
 1:10 PM
 1:10 PM

ARYA

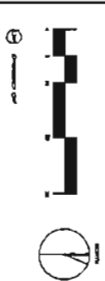
WINERY PRODUCTION - FLOOR PLAN



RECEIVED

MAR 14 2011

NAPA CO. CONSERVATION
DEVELOPMENT & PLANNING DEPT.



LEGEND

SHEET
A2.2

WINERY PRODUCTION FLOOR PLAN		
NO.	REVISION	DATE

PROPERTY OWNER: DARIDUSH KHALEDI
 ASSESSOR PARCEL NO. 036-160-041
 DATE OF DRAWING: OCT. 1, 2010

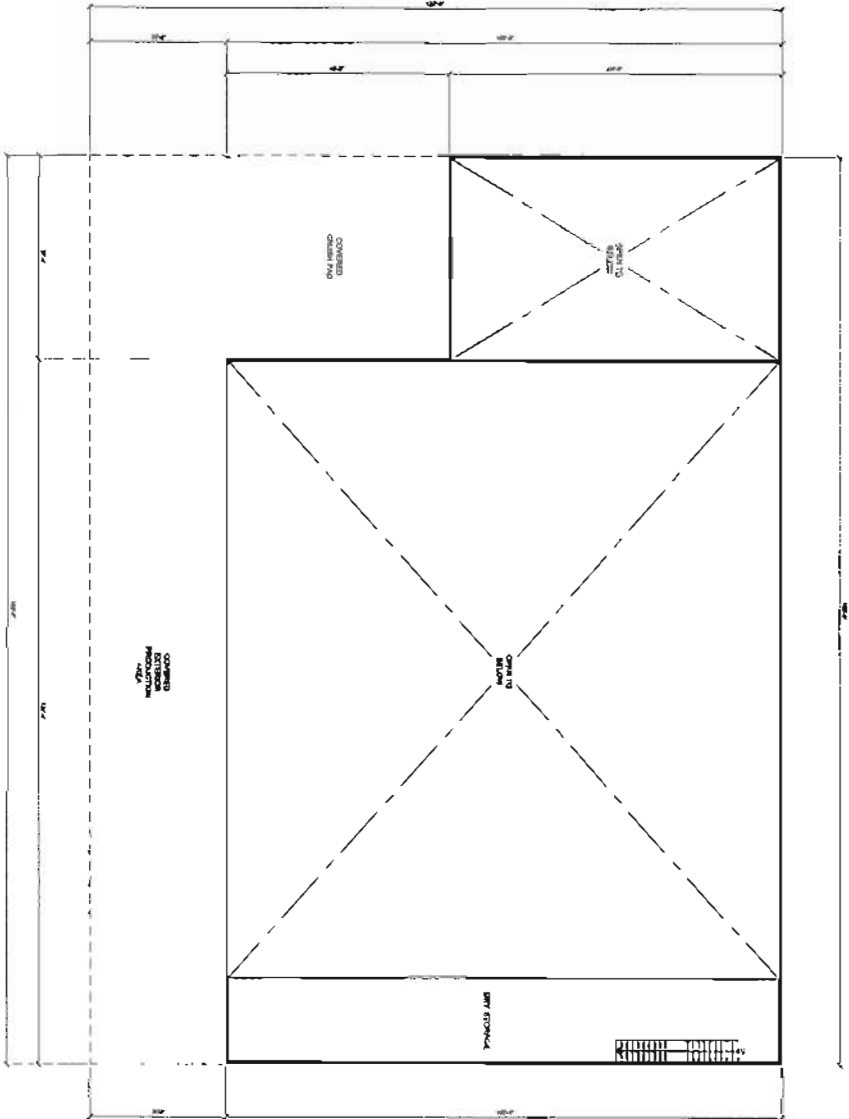
CARAVAN SERAI
 4210 Howard Ln
 Napa, CA 94568-1324

APPROVED FOR SUBMITTAL TO THE PLANNING DEPARTMENT

DATE: 10/1/10
 DRAWN BY: [Name]
 CHECKED BY: [Name]

ARVA

WINERY PRODUCTION - MEZZANINE LEVEL



RECEIVED

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NAPA CO. CONSERVATION
DEVELOPMENT & PLANNING DEPT.

SCALE 1" = 10'-0" 1 LEGEND 2 SCALE 1" = 10'-0" 1



SHEET
A2.3

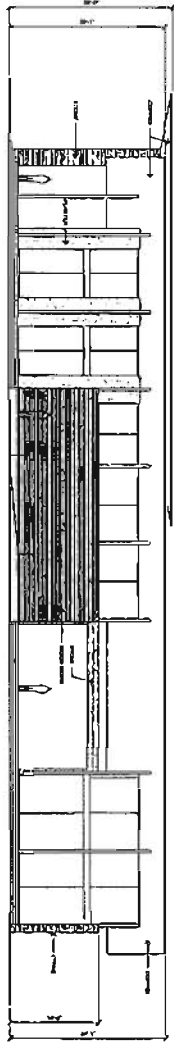
WINERY PRODUCTION FLOOR PLAN			
NO.	DESCRIPTION	DATE	BY

PROPERTY OWNER: DARIQUSH KHALEDI
ASSESSOR PARCEL NO. 036-180-041
DATE OF DRAWING: OCT. 1, 2010

CARAVAN BERA!
4210 Howard Ln
Napa, CA 94558-1324

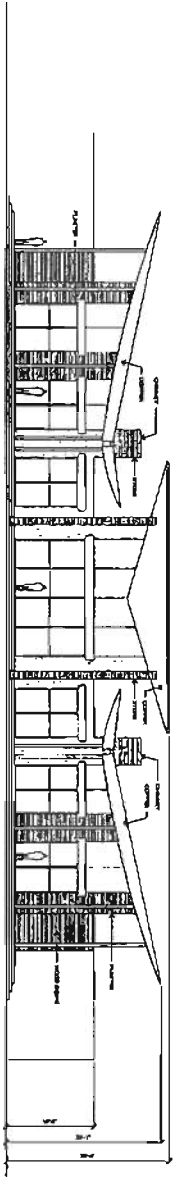
Project Name: Winery Production
Project No: 10-001
Drawing No: A2.3
Scale: 1" = 10'-0"
Date: 10/1/10
Author: [Name]
Checked: [Name]
Approved: [Name]

ARYA
Architectural Firm
1000 [Address]
[City, State, Zip]
Phone: [Number]
Fax: [Number]
Email: [Address]



HOSPITALITY BUILDING - NORTH ELEVATION

SHEET 2



HOSPITALITY BUILDING - EAST ELEVATION

SHEET 4



ARYA
 ARCHITECTS
 4210 HOWARD LN
 NAPA, CA 94558-1324
 TEL: 707.251.1111
 FAX: 707.251.1112
 WWW.ARYAARCHITECTS.COM
 DATE: 10/1/2010
 DRAWN BY: [Name]
 CHECKED BY: [Name]

CARAVAN SERAI
 4210 Howard Ln
 Napa, CA 94558-1324

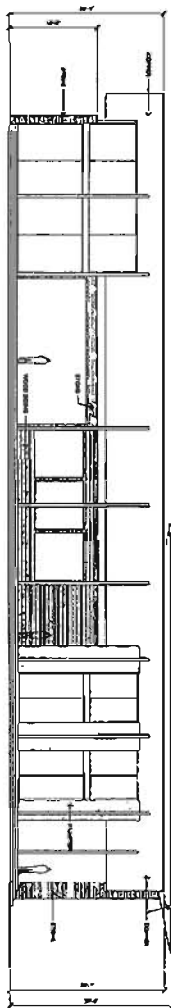
PROPERTY OWNER: DARIOUSH KHALEDI
 ASSESSOR PARCEL NO. 03F-180-041
 DATE OF DRAWING: OCT. 1, 2010

HOSPITALITY BUILDING ELEVATIONS			
NO.	DATE	BY	REVISION

SHEET
A3.1

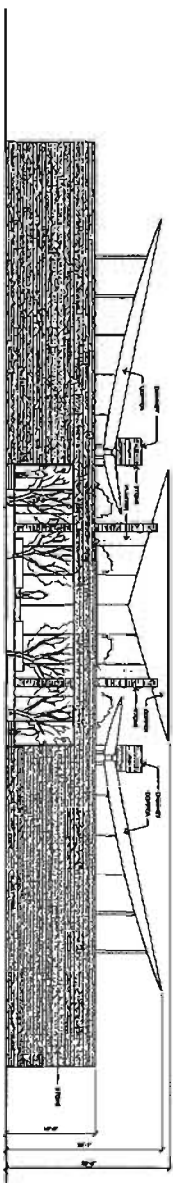
RECEIVED
 MAR 14 2011
 NAPA CO. CONSERVATION
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HOSPITALITY BUILDING - SOUTH ELEVATION



SCALE
1/8\"/>

HOSPITALITY BUILDING - WEST ELEVATION



SCALE
1/8\"/>



ARYA

Project No. 10-100
 Date: 10/1/10
 Scale: 1/8" = 1'-0"
 Drawing No. 10-100-01

CARAVAN SERAI
 4210 Howard Ln
 Napa, CA 94558-1324

PROPERTY OWNER: DARIOUSH KNALEBI
 ASSESSOR PARCEL NO. 035-182-045
 DATE OF DRAWING: OCT. 1, 2010

HOSPITALITY BUILDING ELEVATIONS				
No.	Description	DATE	BY	CHECKED

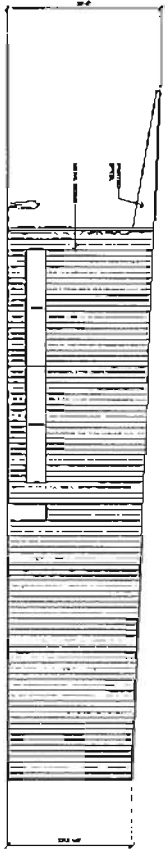
SHEET
 A3.2

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NAPA CO. CONSERVATION
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WINERY PRODUCTION - EAST ELEVATION



1/8" = 1'-0"

WINERY PRODUCTION - NORTH ELEVATION



1/8" = 1'-0"

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NAPA CO. CONSERVATION
DEVELOPMENT & PLANNING DEPT.

WINERY PRODUCTION ELEVATIONS			
NO.	DESCRIPTION	DATE	BY
1	WINERY PRODUCTION - EAST ELEVATION	10/1/2010	ARYA
2	WINERY PRODUCTION - NORTH ELEVATION	10/1/2010	ARYA

PROPERTY OWNER: DARIOUSH KHALED
ASSESSOR PARCEL NO. 026-188-041
DATE OF DRAWING: OCT. 1, 2010

CARAVAN SERAI
4210 Howard Ln
Napa, CA 94558-1324

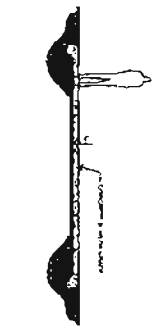
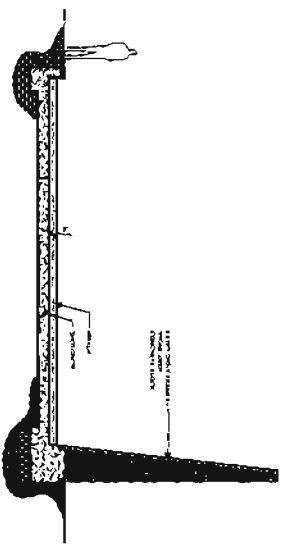
ARYA
ARCHITECTURE
1000 14th St
Napa, CA 94558
Tel: 707.253.1111
Fax: 707.253.1112
www.aryaarchitecture.com

3/11
A3.3
SHEET

ARVA
 4210 Howard Ln
 Napa, CA 94558-1324
 TEL: 707.251.1111
 FAX: 707.251.1112
 WWW.ARVA.COM

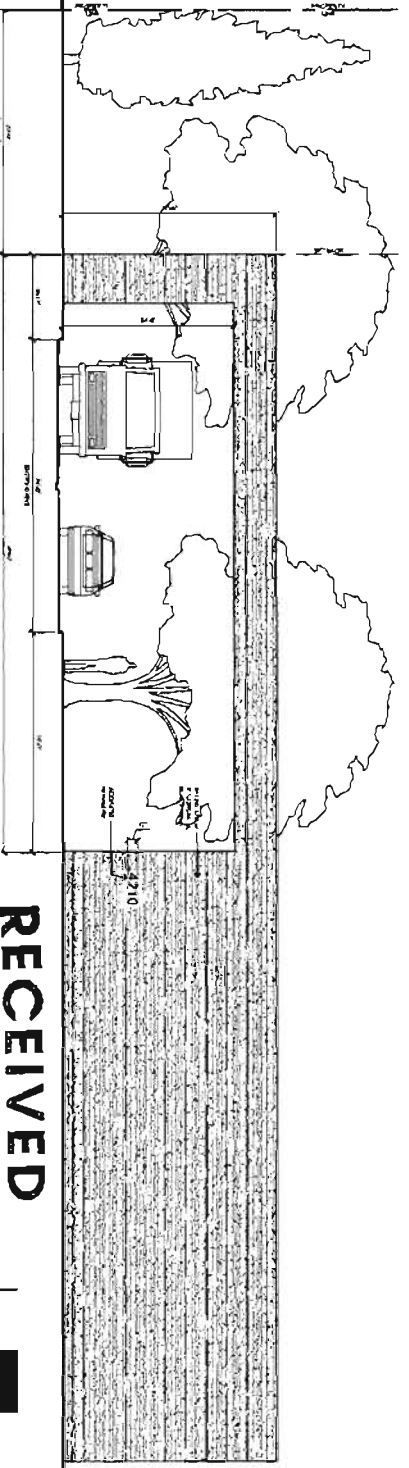
PROJECT: CARAVAN SERAI
 SHEET: A4.1
 DATE: OCT 1, 2010
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

PROPERTY OWNER: DARIOUSH KHALED
 ASSESSOR PARCEL NO. 028-180-041
 DATE OF DRAWING: OCT. 1, 2010



WATER FEATURE - SECTION DETAIL

SITTING AREA - SECTION DETAIL



ENTRY DRIVE FRAMES - WEST ELEVATION

RECEIVED

APR 08 2011



NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	10/1/10	[Name]
2	ISSUED FOR CONSTRUCTION		
3	ISSUED FOR RECORD		

SHEET
 A4.1

Caravan Serai



Materials

- *Teak Wood*
- *Laminated Panel*
- *Copper*
- *Straw Plaster*
- *Drapery*
- *Hide*
- *Teak Stone*

Caravan Serai

Production Facility



Materials

- *Metal Siding*
- *Concrete*
- *Corrugated Metal*
- *Metal Panels*
- *Painted Steel*