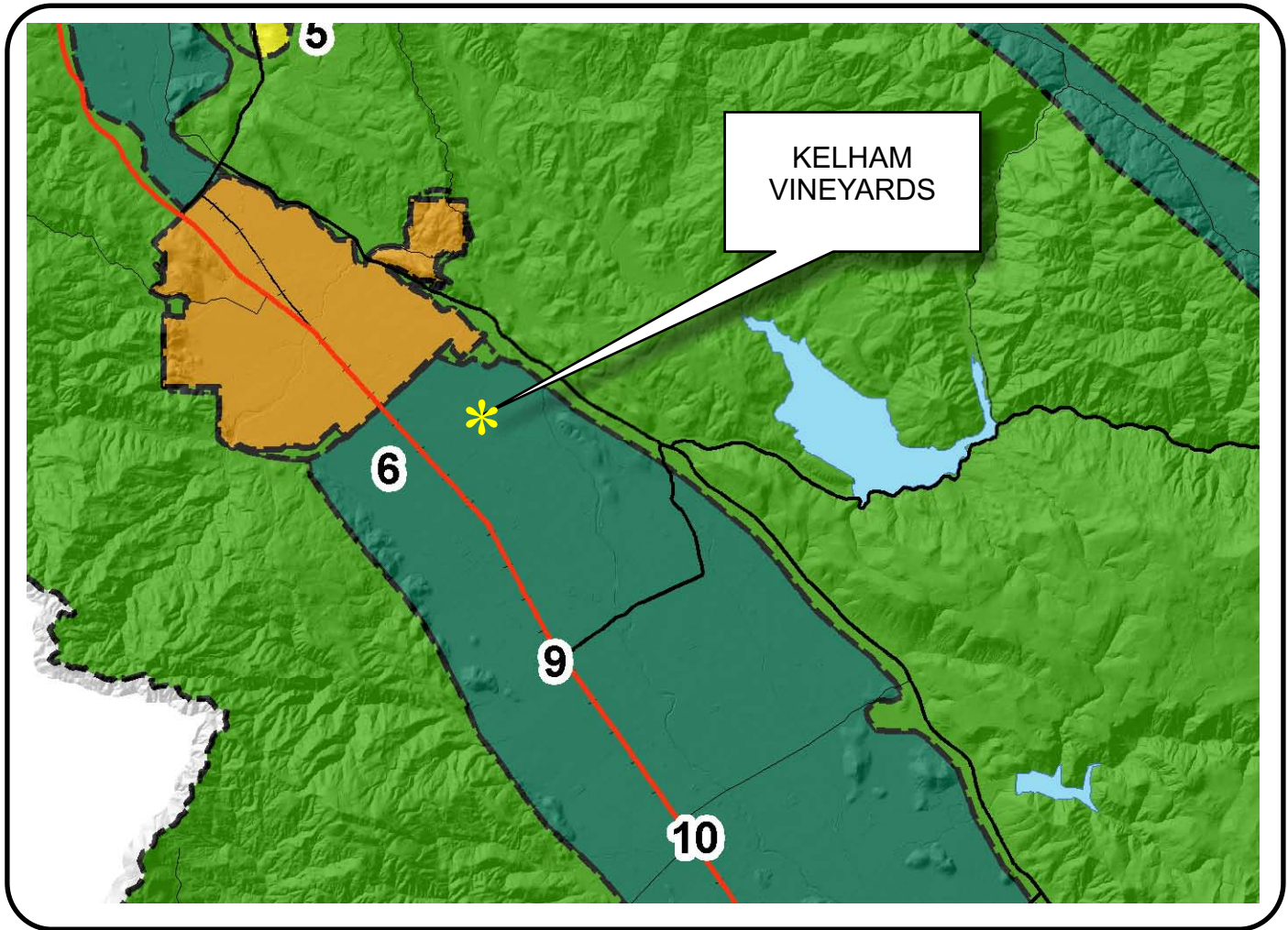








NAPA COUNTY LAND USE PLAN 2008 - 2030





LEGEND


URBANIZED OR NON-AGRICULTURAL

-  Cities
-  Urban Residential *
-  Rural Residential *
-  Industrial
-  Public-Institutional
-  Study Area

OPEN SPACE

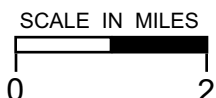
-  Agriculture, Watershed & Open Space
-  Agricultural Resource

TRANSPORTATION

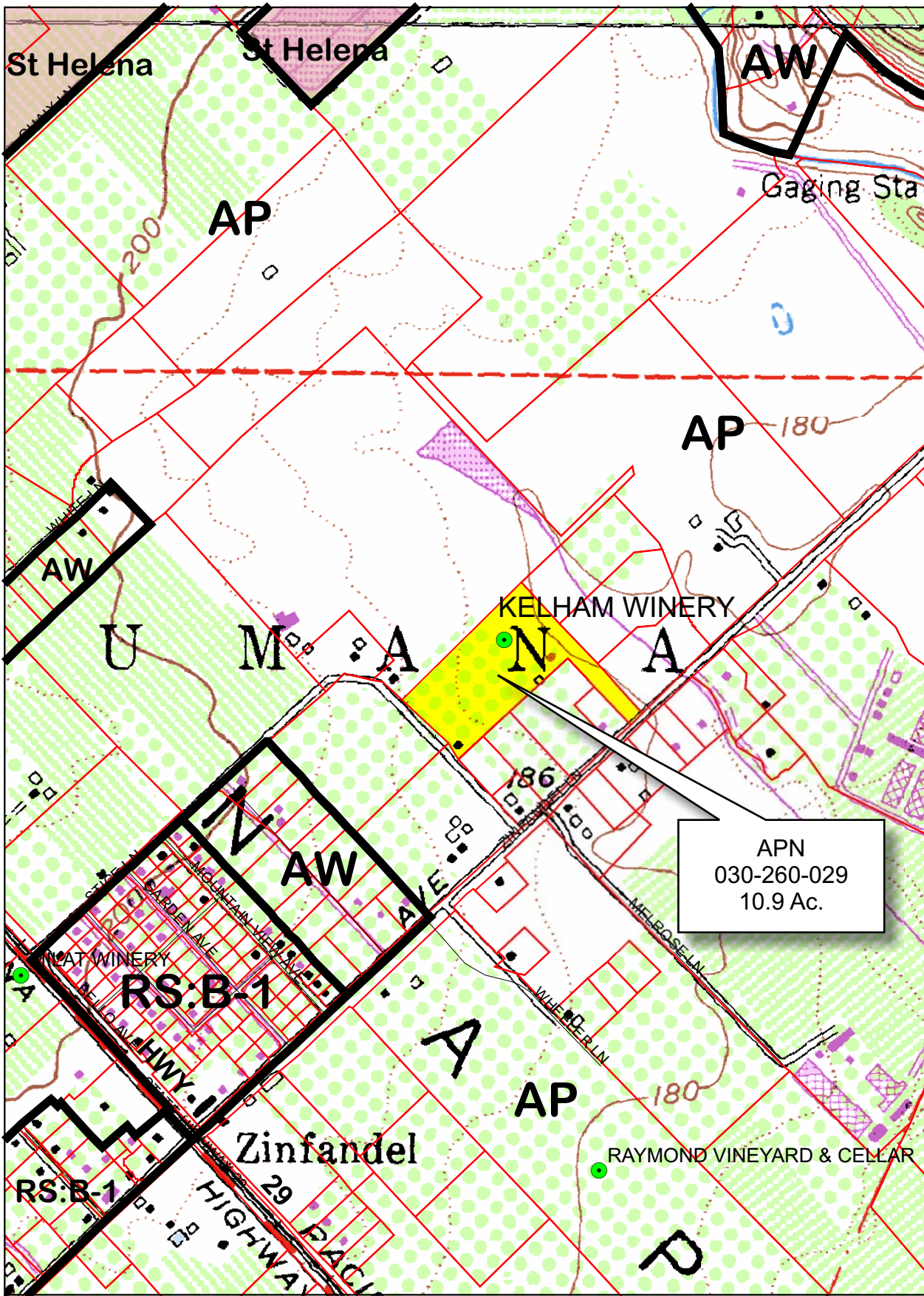
-  Mineral Resource
-  Railroad
-  Limited Access Highway
-  Major Road
-  Secondary Road
-  Airport
-  Airport Clear Zone
-  Landfill - General Plan

* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations

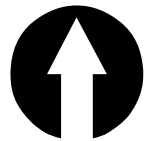
APN
030-260-029
08-06-2010
8B MOD



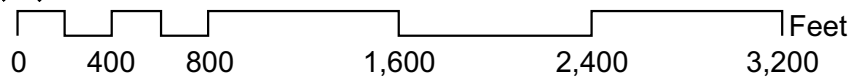
KELHAM VINEYARDS



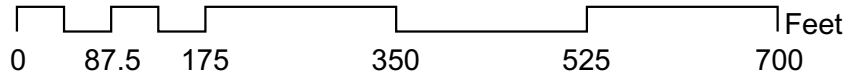
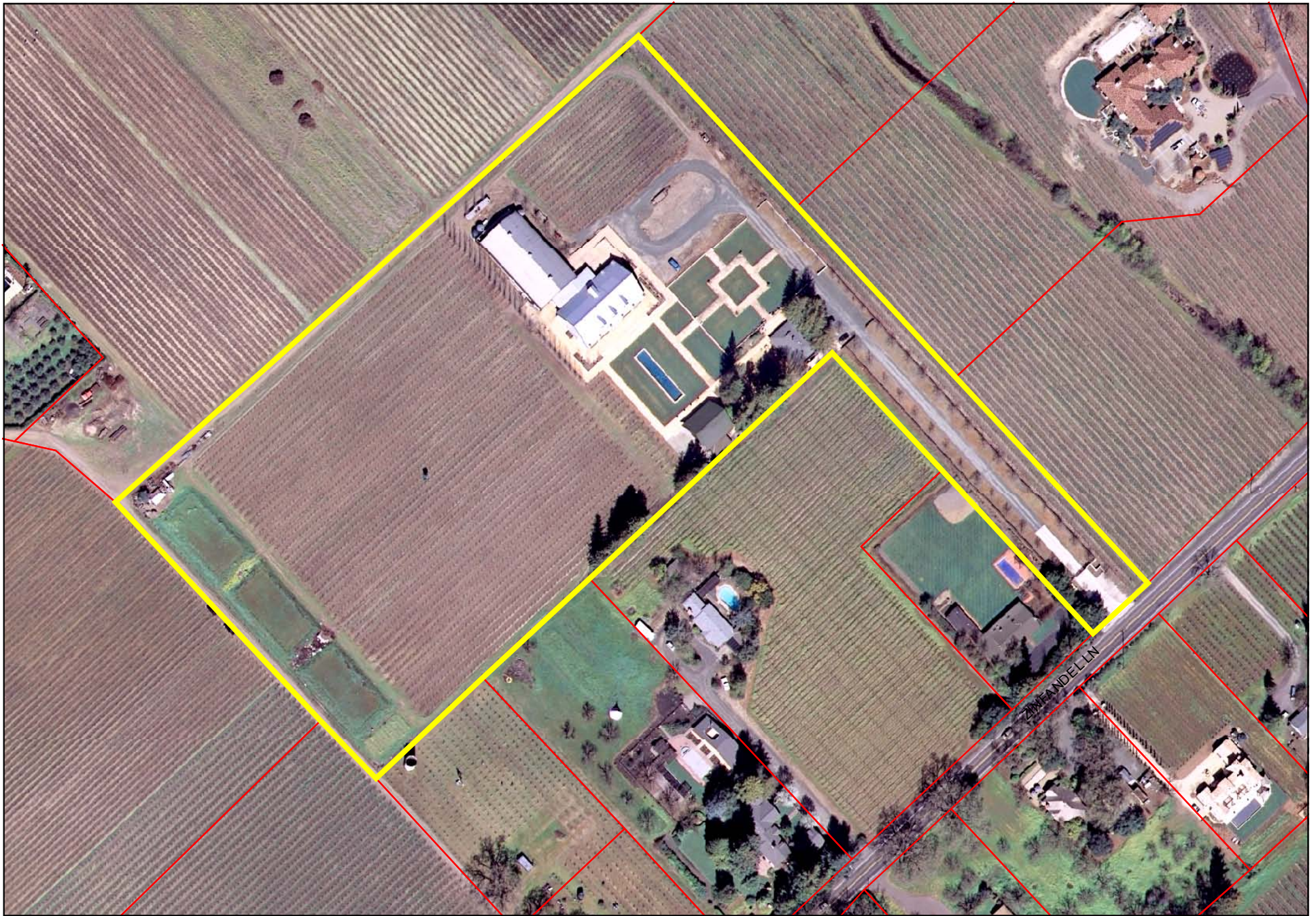
APN
030-260-029
10.9 Ac.



- Legend**
- Wineries in Vicinity
 - Producing
 - Approved
 - Pending
 - Zoning
 - Parcels

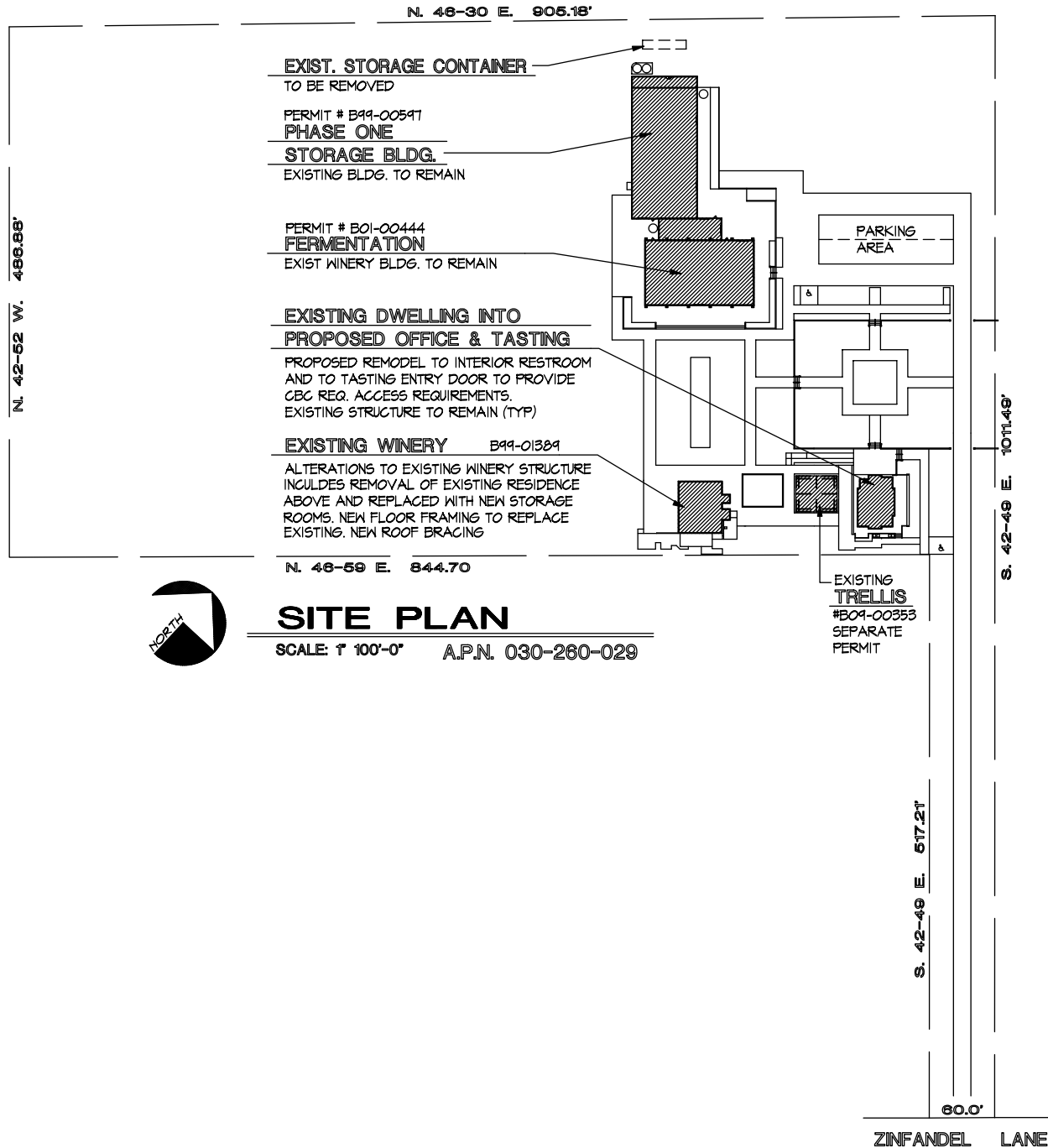


KELHAM VINEYARDS



08-06-2010 8B MOD

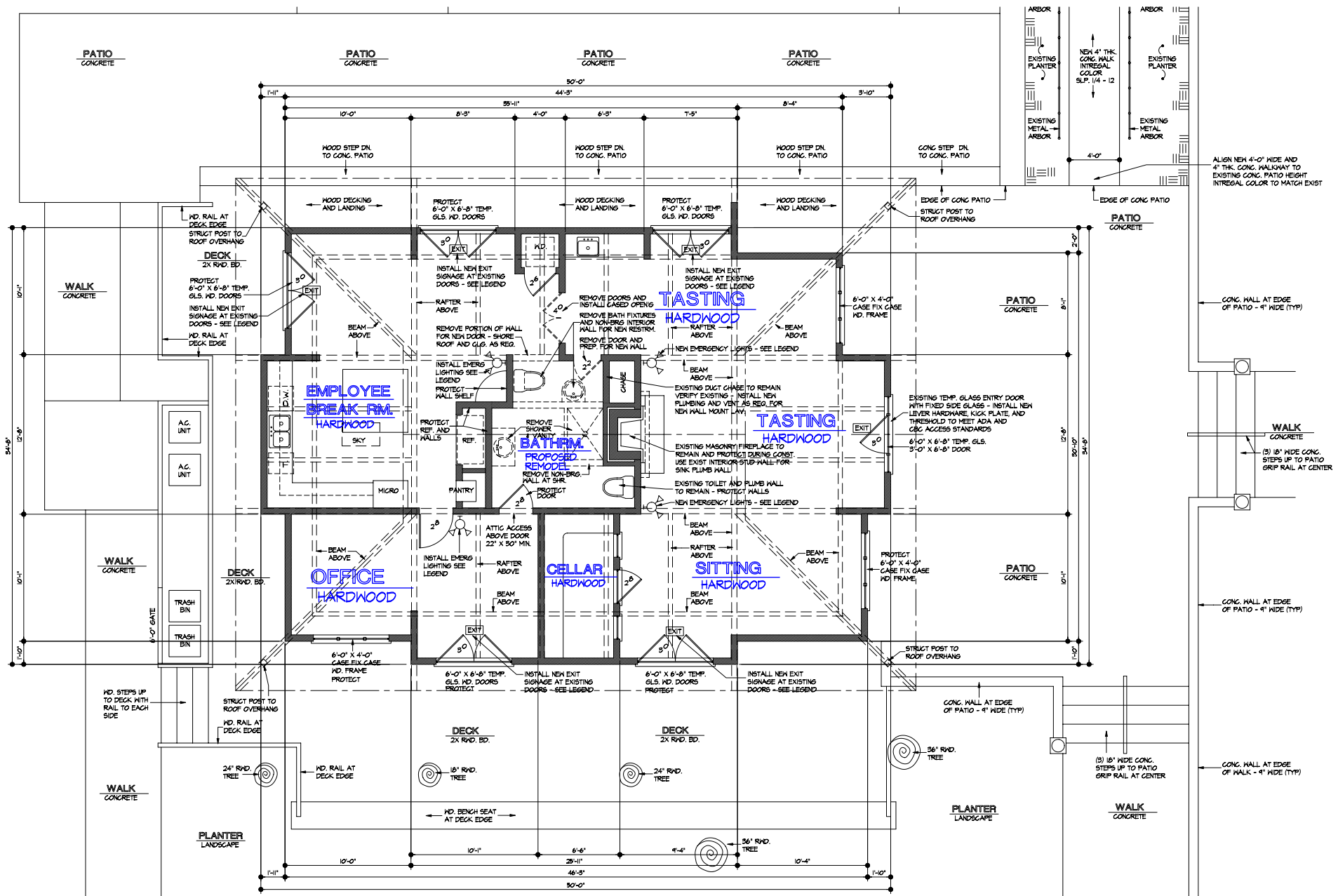
KELHAM VINEYARDS



SITE PLAN

SCALE: 1" = 100'-0" A.P.N. 030-260-029

KELHAM VINEYARDS

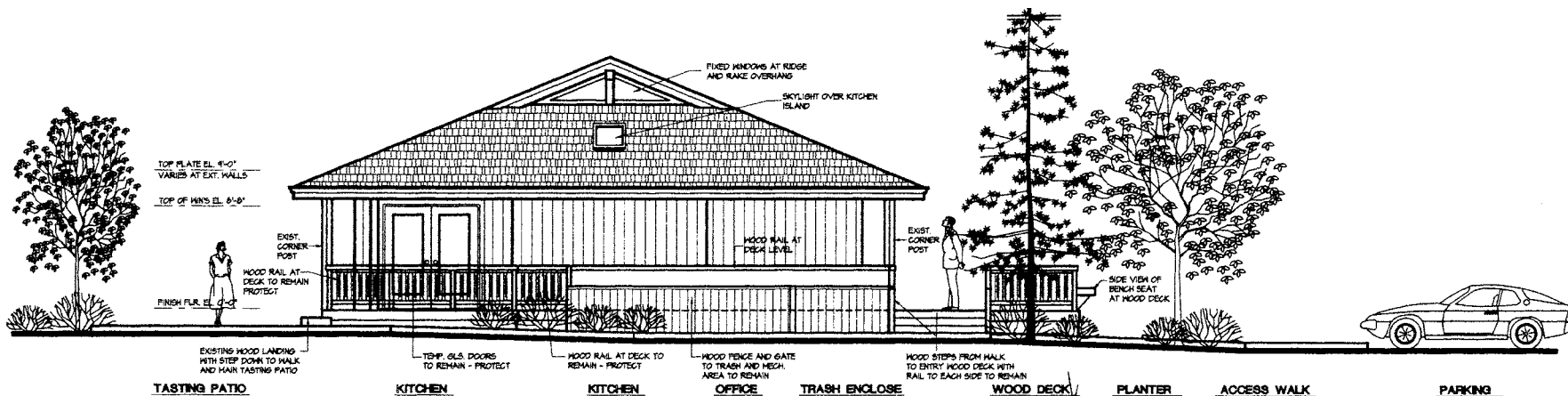


EXISTING FLOOR PLAN - A

1,576 SQ. FT.

Group "M" Occupancy 1,576 S.F. 1 occ. per 60 s.f.
27 Design Occupancy

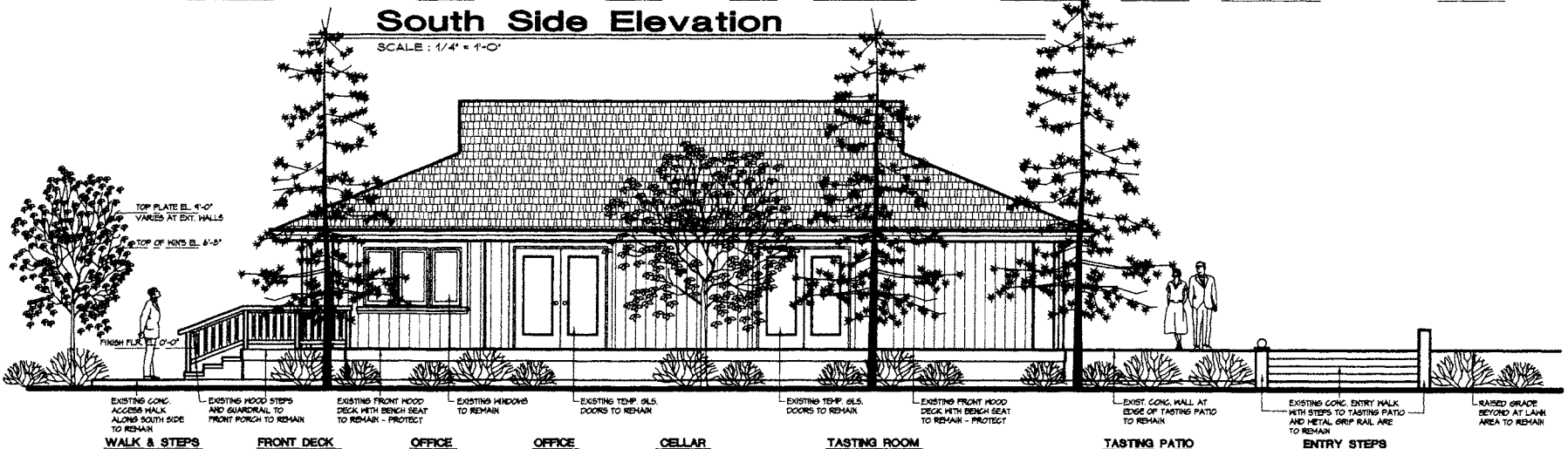
KELHAM VINEYARDS



TASTING PATIO KITCHEN KITCHEN OFFICE TRASH ENCLOSE WOOD DECK PLANTER ACCESS WALK PARKING

South Side Elevation

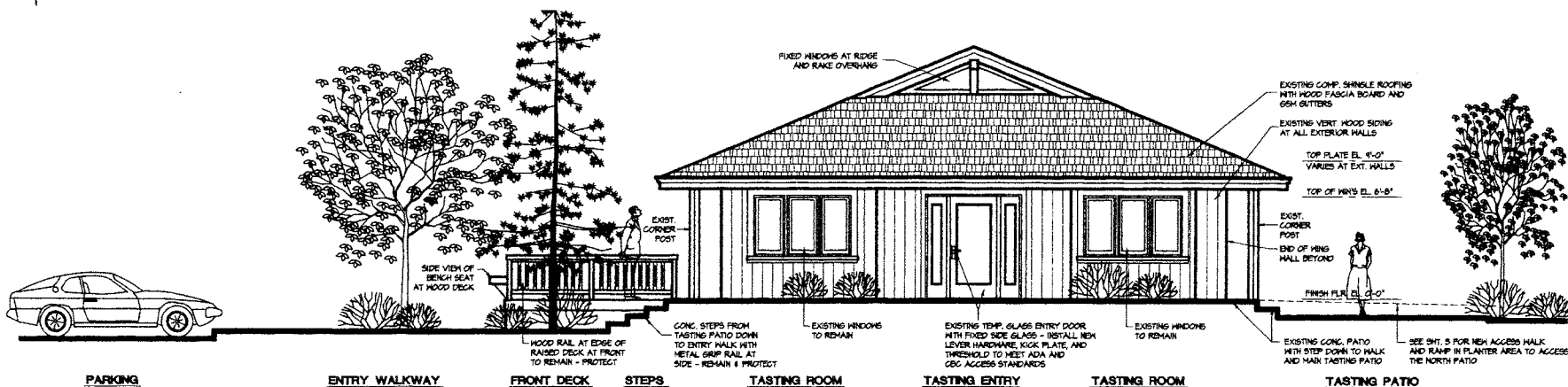
SCALE : 1/4" = 1'-0"



WALK & STEPS FRONT DECK OFFICE OFFICE CELLAR TASTING ROOM TASTING PATIO ENTRY STEPS

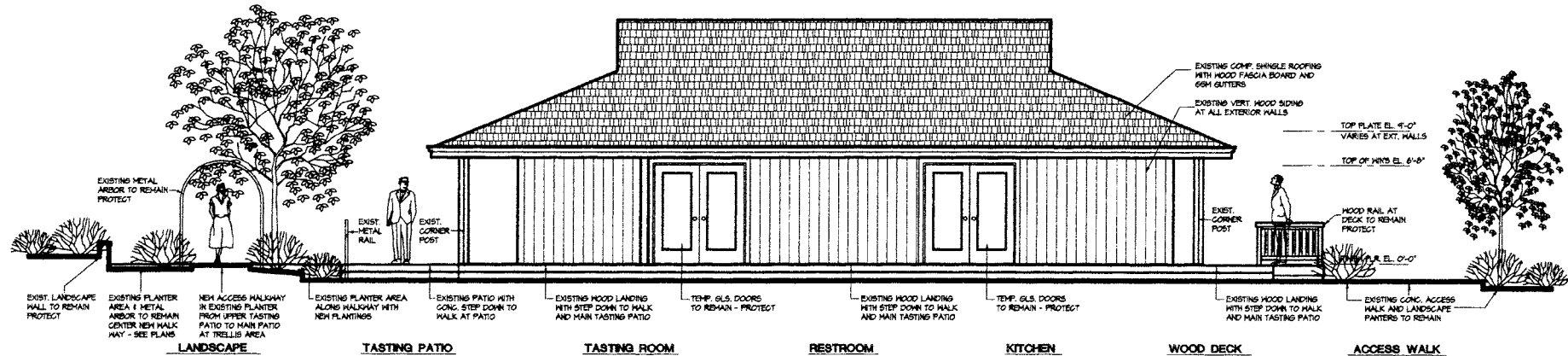
Front Elevation - East

KELHAM VINEYARDS



North Side Elevation

SCALE: 1/4" = 1'-0"



Rear Elevation - West