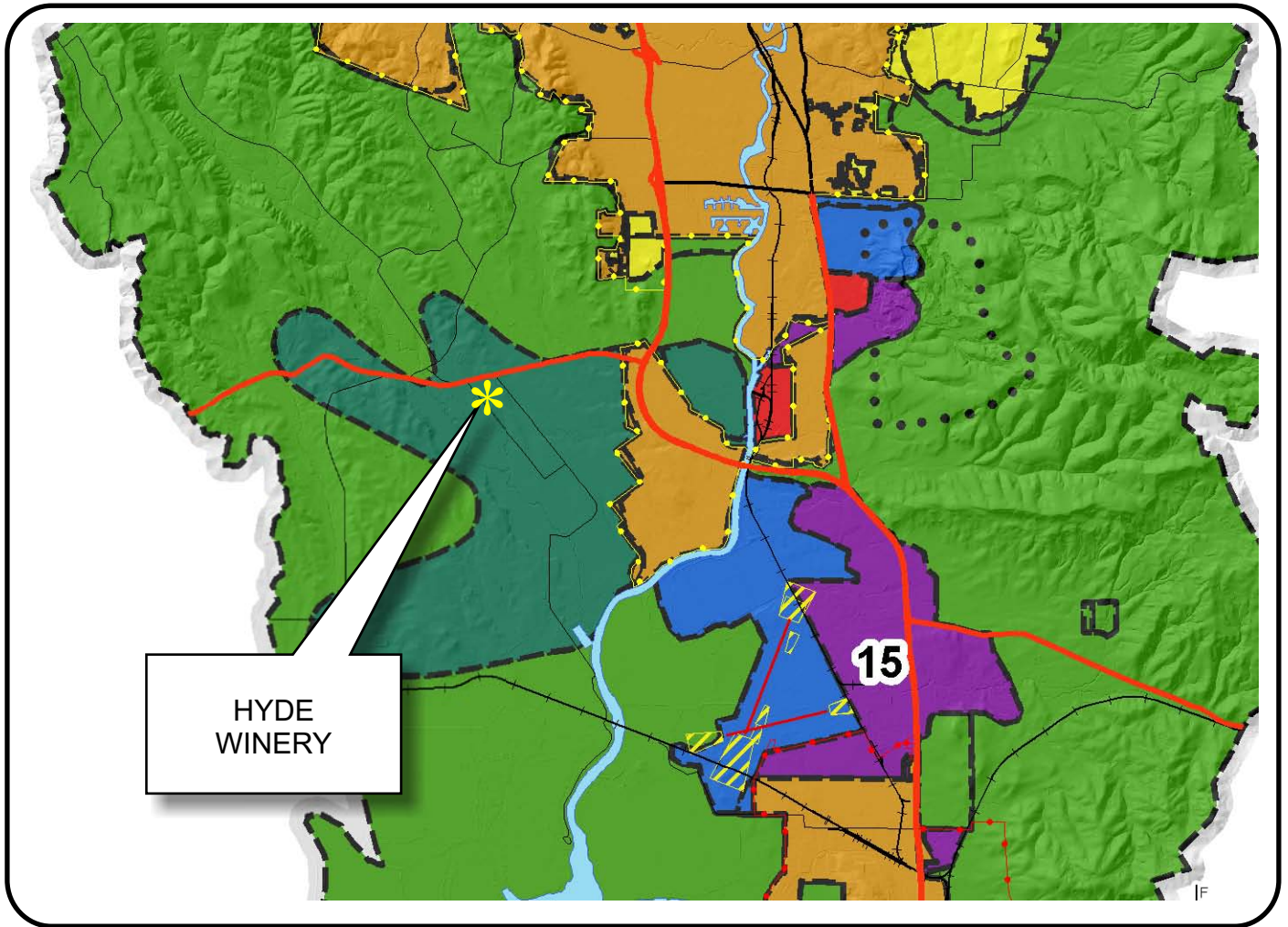


NAPA COUNTY LAND USE PLAN 2008 - 2030



LEGEND

URBANIZED OR NON-AGRICULTURAL

- Cities
- Urban Residential *
- Rural Residential *
- Industrial
- Public-Institutional
- Study Area

OPEN SPACE

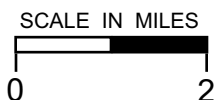
- Agriculture, Watershed & Open Space
- Agricultural Resource

TRANSPORTATION

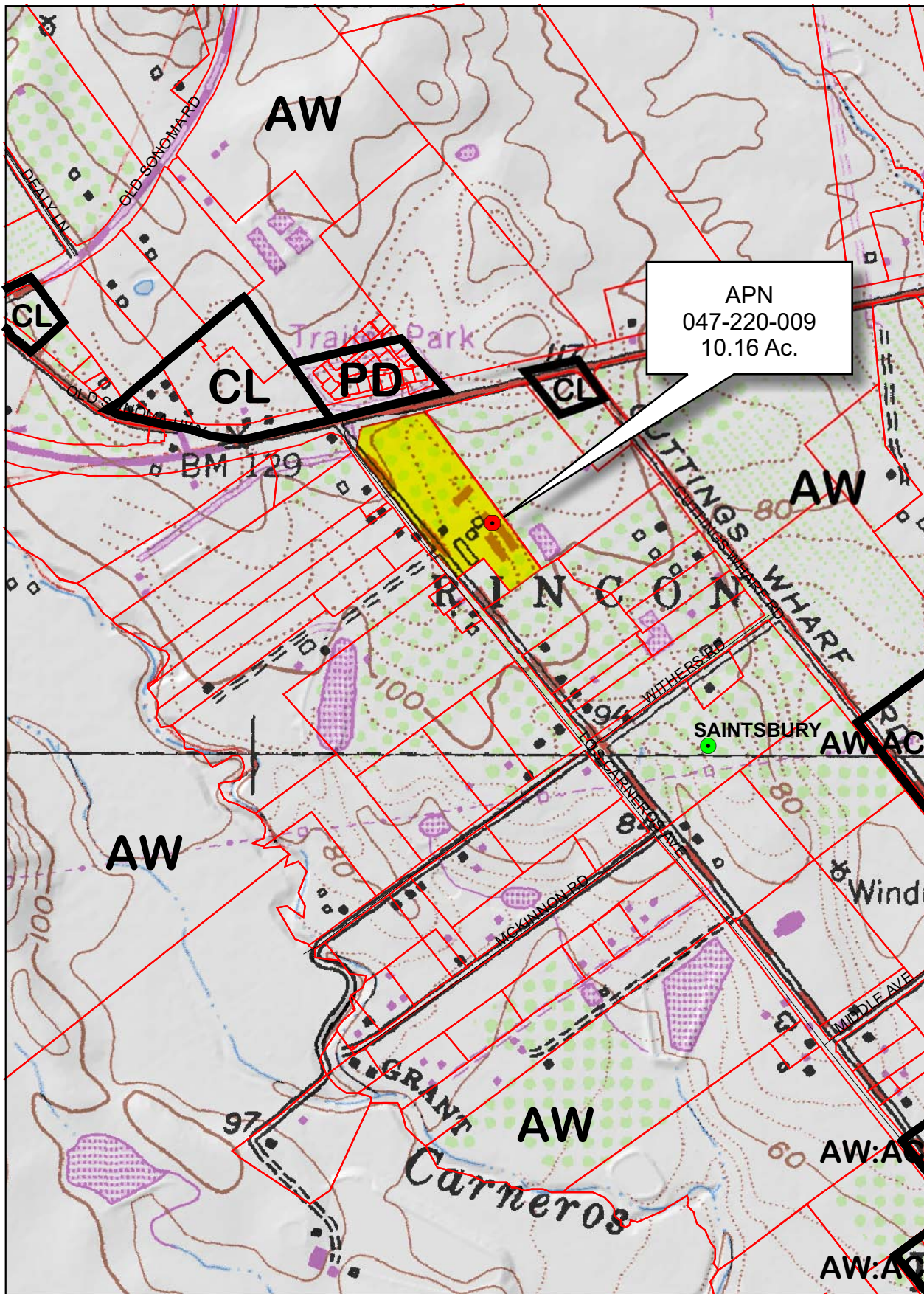
- Mineral Resource
- Railroad
- Limited Access Highway
- Major Road
- Secondary Road
- Airport
- Airport Clear Zone
- Landfill - General Plan

* See Action Item AG/LU-114.1 regarding agriculturally zoned areas within these land use designations

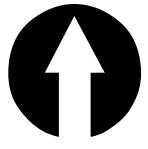
APN
047-220-009
06-17-2010
3B UP



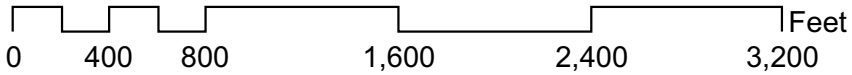
HYDE WINERY



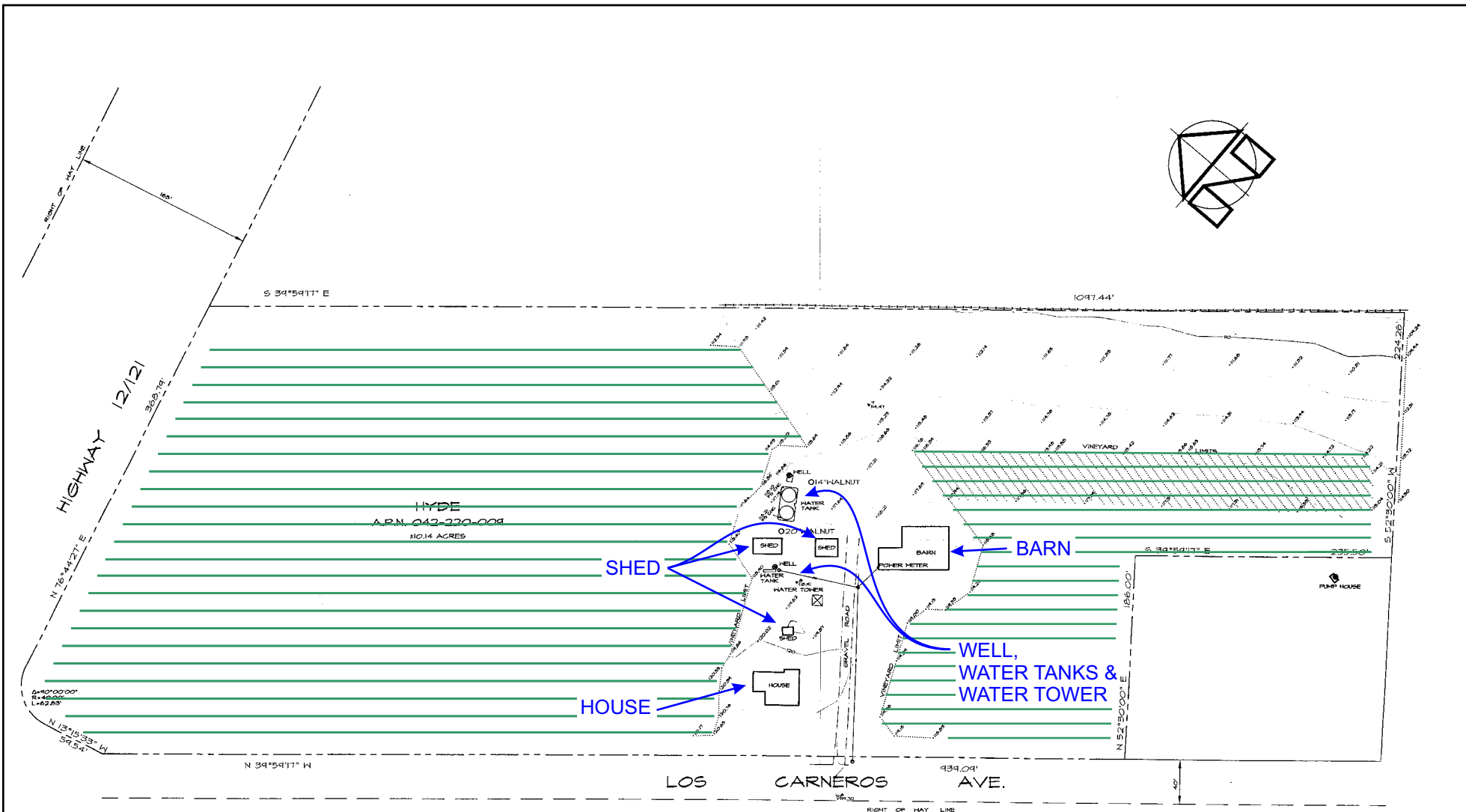
APN
047-220-009
10.16 Ac.



- Legend**
- Wineries in Vicinity
 - Producing (Green dot)
 - Approved (Yellow dot)
 - Pending (Red dot)
 - Zoning (Black outline)
 - Parcels (Red outline)



HYDE WINERY



LEGEND

- △ SURVEY CONTROL STATION
- 14" WALNUT TREE (AS NOTED)
- x—x—x— FENCE
- - - - - PROPERTY LINE

NOTES

1. BENCHMARK CITY OF NAPA # A2 150400. ELEVATION = 126.02'
2. CONTOURS ARE SHOWN EVERY 140 FEET (2'), HIGHLIGHTED EVERY TEN FEET (10').

SITE PLAN EXISTING CONDITIONS

TOPOGRAPHIC MAP

OF A PORTION OF THE LANDS OF

HYDE

A.P.N. 042-220-009

NAPA COUNTY, CALIFORNIA

PREPARED BY:



MICHAEL W. BROOKS & ASSOCIATES, INC.

Professional Land Surveyors

Suite 103 Vintage 1870 Yountville, CA 94599 (707) 944-8743

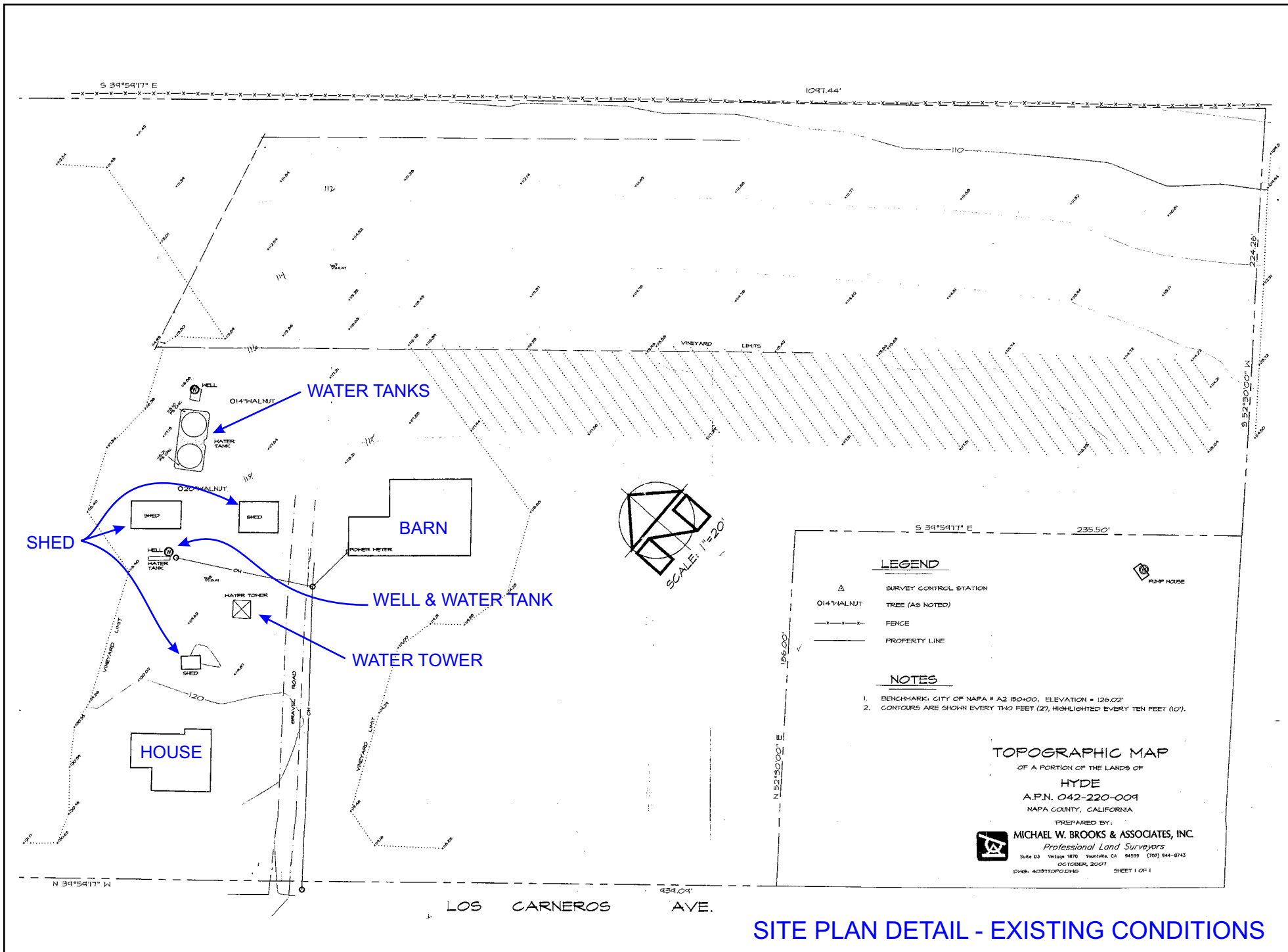
OCTOBER 2007

DWG: 408T090-0A.DWG

SHEET 1 OF 1

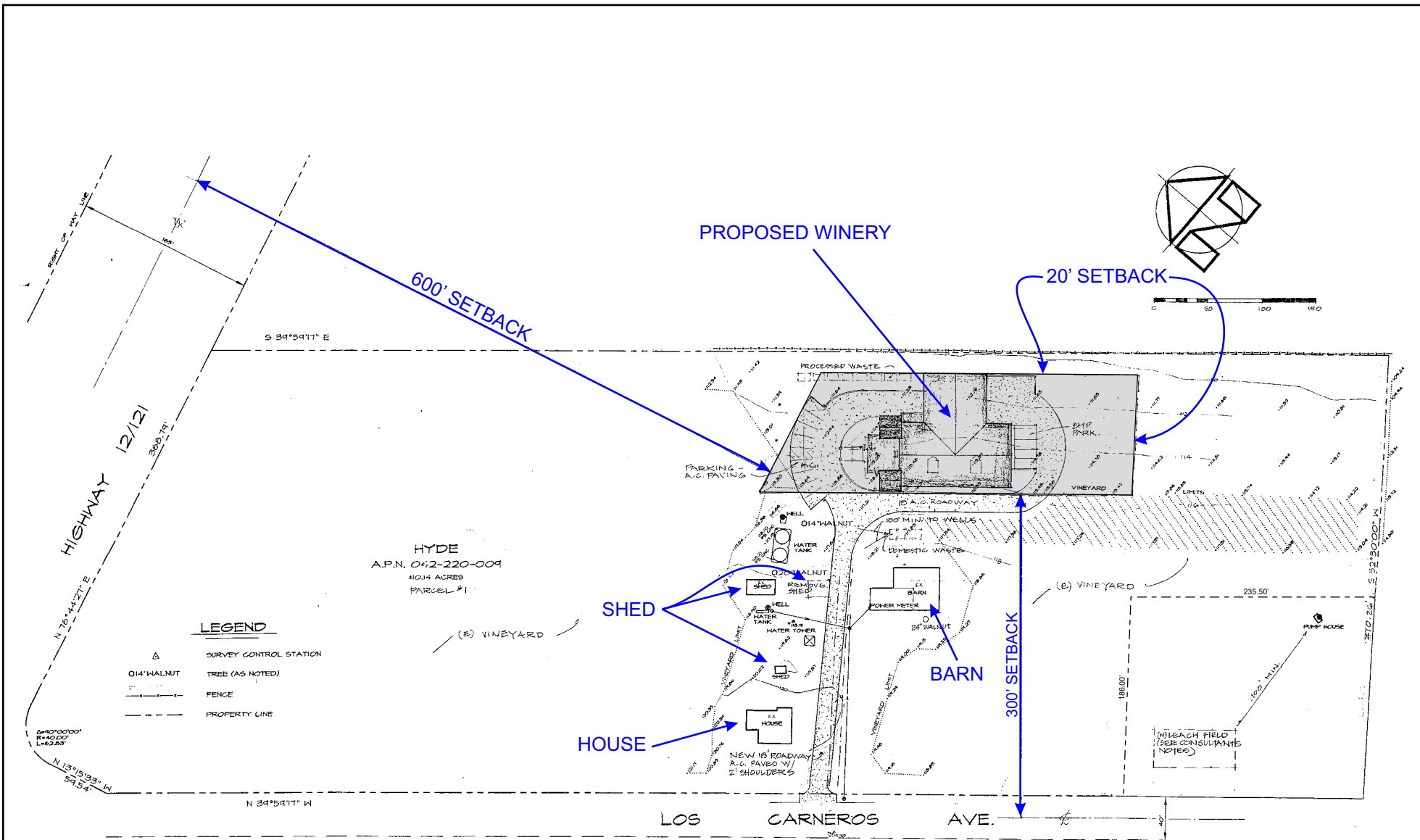


HYDE WINERY



SITE PLAN DETAIL - EXISTING CONDITIONS

HYDE WINERY



LEGEND

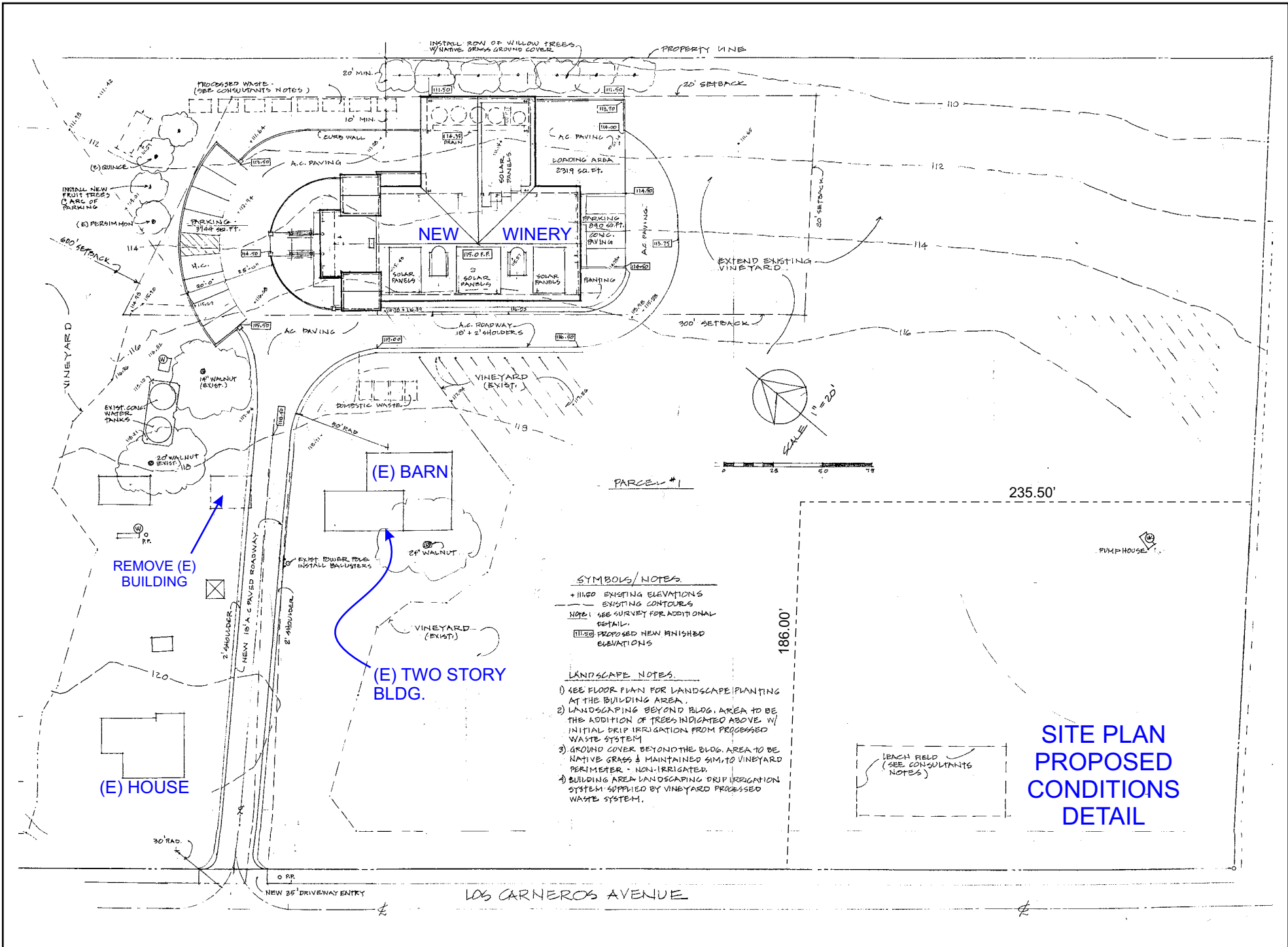
△	SURVEY CONTROL STATION
○14" WALNUT	TREE (AS NOTED)
— — — — —	FENCE
- - - - -	PROPERTY LINE

NOTES

1. BENCHMARK, CITY OF NAPA # A2 150-00. ELEVATION = 126.02'
2. CONTOURS ARE SHOWN EVERY TWO FEET (2'), HIGHLIGHTED EVERY TEN FEET (10').
3. NEW FACILITIES SUPERIMPOSED ON SURVEY DWG. SEE ORIG. FOR EXISTING CONDITIONS.

SITE PLAN PROPOSED CONDITIONS

HYDE WINERY



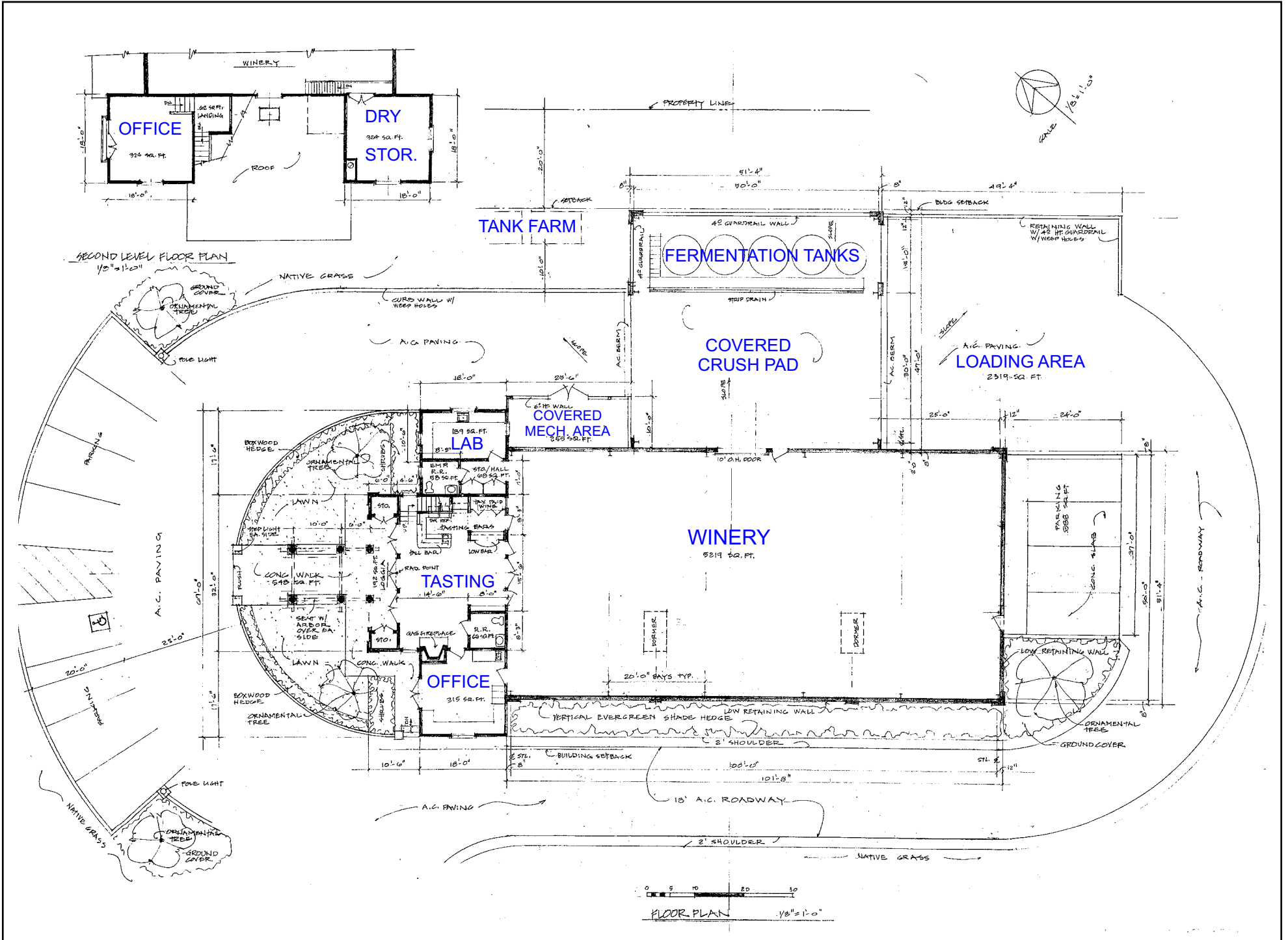
- SYMBOLS/NOTES**
- + 116.00 EXISTING ELEVATIONS
 - - - EXISTING CONTOURS
 - NOTE: SEE SURVEY FOR ADDITIONAL DETAILS.
 - 116.20 PROPOSED NEW FINISHED ELEVATIONS

- LANDSCAPE NOTES**
- 1) SEE FLOOR PLAN FOR LANDSCAPE PLANTING AT THE BUILDING AREA.
 - 2) LANDSCAPING BEYOND BLDG. AREA TO BE THE ADDITION OF TREES INDICATED ABOVE W/ INITIAL DRIP IRRIGATION FROM PROCESSED WASTE SYSTEM.
 - 3) GROUND COVER BEYOND THE BLDG. AREA TO BE NATIVE GRASS & MAINTAINED SIM TO VINEYARD PERIMETER - NON-IRRIGATED.
 - 4) BUILDING AREA LANDSCAPING DRIP IRRIGATION SYSTEM SUPPLIED BY VINEYARD PROCESSED WASTE SYSTEM.

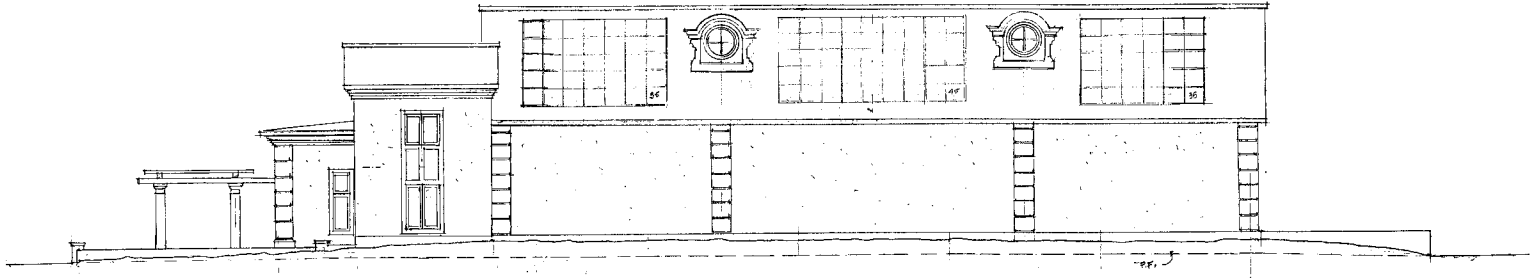
LEACH FIELD
(SEE CONSULTANTS NOTES)

SITE PLAN PROPOSED CONDITIONS DETAIL

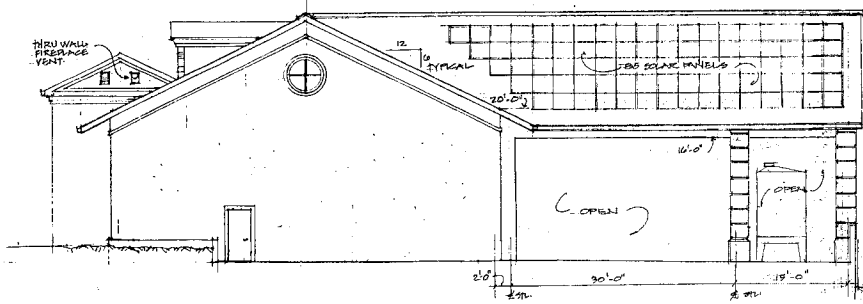
HYDE WINERY



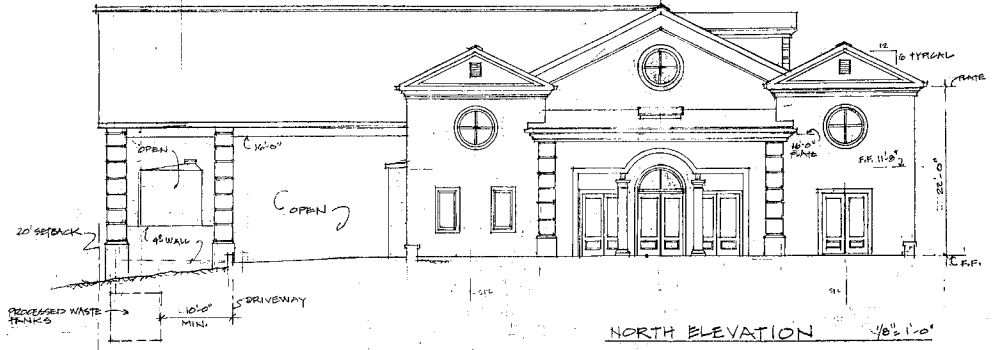
HYDE WINERY



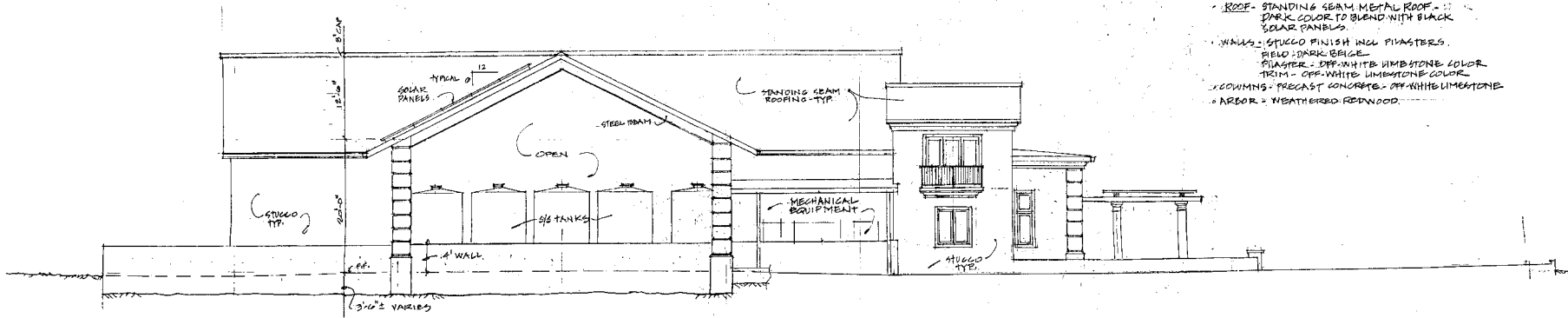
WEST ELEVATION 1/8" = 1'-0"



SOUTH ELEVATION 1/8" = 1'-0"



NORTH ELEVATION 1/8" = 1'-0"



EAST ELEVATION 1/8" = 1'-0"

- EXTERIOR FINISHES**
- ROOF - STANDING SEAM METAL ROOF - DARK COLOR TO BLEND WITH BLACK SOLAR PANELS.
 - WALLS - STUCCO FINISH INCL. FINESTERS. FIELD - DARK BRIDGE PLASTER - DIFF. WHITE LIMESTONE COLOR. TRIM - OFF-WHITE LIMESTONE COLOR.
 - COLUMNS - PRECAST CONCRETE - OFF-WHITE LIMESTONE.
 - ARBOR - WEATHERED REDWOOD.

