

#4



PLANNING COMMISSION STAFF REPORT

Meeting Date May 22, 2008
Item Number 4
File Numbers CUP 07-10, DR 07-10

Application Powerscreen Facility
Project Location 5381 Broadway, APN 057-130-032
Applicant/Owner Sudhir Chaudhary, Chaudhary & Assoc./Paul Campbell
General Plan Designation Industrial (I)
Zoning District Light Industrial (LI)
Environmental Review Mitigated Negative Declaration
Staff Contact Sandra Cleisz, Senior Planner
Brent Cooper, AICP, Planning Director

Requested Actions

The following actions are requested of the Planning Commission:

- 1. Adopt a Mitigated Negative Declaration of Environmental Review for the project.
2. Approve a Conditional Use Permit to allow equipment sales, lease, & rental in the Light Industrial District.
3. Approve a Design Permit for the proposed site, architectural and landscape plans.

Project Setting

The 2.41 acre site is located on the west side of Highway 29/Broadway north of Green Island Road, and lies between the Doshier Gregson well and pump supply site and the Alcan building, in a Light Industrial area. The property is relatively flat, draining toward the northwest and the railroad tracks that lie west of the site. The site once contained rock supply and landscaping materials facilities, and remnants of those uses remain on the site, including a small dilapidated building, and concrete and asphalt. The rest of the site consists of disturbed grasslands.

Project Description

The applicant requests approval to operate a large equipment sales, leasing and rental facility in the Light Industrial zone, and to construct an 18,900 square feet building containing offices in the front facing Highway 29, and a shop and parts storage in the rear. Large construction equipment used for crushing and recycling construction materials such as asphalt and concrete would be stored in the building and in the rear yard at the site. Maintenance and repair of the equipment would be an incidental, accessory use of the facility. The proposed hours of operation would be from 7:00 a.m. to 5:00 p.m. Monday through Friday.

Site Plan

The applicant proposes to construct a 18,923 square foot, two-story building along the northern portion of the property, which will include 4736 square feet of office and 11,325 square feet of shop area, plus miscellaneous areas. The shop area also includes 4595 square feet of parts area, about 400 square feet of employee lunch room and rest facilities, and 1200 square feet of roofed outdoor work area.

Access to the site will be provided from a driveway from Broadway/Highway 29, which is a divided highway in this location with a fenced median. The driveway is located in the center of the site's frontage on Highway 29, giving access to the parking lot and rear yard. Parking for customers and employees is located at the front of the site on both sides of the center drive.

The "rear yard" of the site will be a fenced and gated area behind the office portion of the building and the front parking lot and screening landscaping. This area will contain the shop portion of the building, 24,550 square feet of pavement in the center and rear of the site, a wash bay behind the building at the west end of the site, and a large area (approximately 22,500 square feet) of landscaped area in the southern part of the site where equipment in transition is proposed to be stored.

Fifty-one percent of the site will consist of impervious surfaces, such as structures and paving. The Floor Area Ratio for the building to the site is .18.

Architectural Design

The architecture for the building is a contemporary Spanish Colonial and Western style mix, with the dominant elements being two peaked clay-tiled roofs and a multiple-windowed building facing Broadway; with a western style false-front wall behind that screens a terra-cotta colored metal roof over the rear shop area. The front tile roof overhangs the building walls by three feet, and trellis and corbel structures overhang and enhance the windows on each wall face of the front office portion of the building. An eight foot wide awning matching the metal shop roof runs along the south side of the shop portion of the building, protecting the shop's "garage" doors. The tallest peak of the front portion of the building will be 34.5 feet high and the rear shop parapet will reach 40 feet in height, with the metal peaked roof behind reaching slightly less than 40 feet.

A three foot band of cultured "Ledgestone" is proposed at the base of the front building, and an 8 foot band of tan concrete block wainscoting is proposed at the base of the rear shop to protect it from potential damage by the large equipment. The upper building walls of both the front and rear shop of the building will be finished with stucco, with the front colored a light, yellowish gold and the rear a deeper gold. The shop doors will be a yellowish beige color, and the window trim is proposed to be green. The colors and materials board depicts the elevations with brown trellises and corbels, staircase, and front window wall trim, but the notes to the side (on that same board) state that those elements will all be painted green.

The rear yard will be separated from the front parking area and office building by a wrought iron gate and fence which runs across the property to the side property lines. A chain link fence is proposed along the south, west (rear) and north sides of parcel, adjoining the wrought-iron fence.

The trash enclosure is proposed to be constructed of split face block to match the rear shop's wainscoting, with metal doors.

Landscape Design

The proposal includes a 20 foot-wide strip of landscaping at the front of the site along Broadway/Highway 29, 20 feet of landscaping in front of the rear yard at the back of the parking lot, 5 feet of landscaping in front of the building, and screening landscaping along the sides of the site and to the rear. In addition, a large portion of the rear yard on the south side is proposed to be hydroseeded. Approximately 22% of the site is landscaped, including the hydroseeded area. 18% of the site is in more formal planted landscaping.

The trees along Highway 29 are proposed to be large canopy trees such as Valley oaks, in scale with Highway 29. Shrubs such as New Zealand flax, Indian Hawthorn, and carpet roses are proposed along the frontage, on either side of a small two-foot berm. Large screening shrubs and evergreen trees such as Carolina laurel, magnolias, and Deodar Cedars line the fencing that surrounds the rear yard area.

Applicable Provisions

General Plan

The project site is designated as Industrial on the General Plan Land Use map. This designation permits various industrial uses, with a maximum Floor Area Ratio (FAR) of .5 for labor-intensive uses. The goal of this designation is to:

“Ensure the development of industrial uses that provide employment for residents of American Canyon and the surrounding region and contribute significant revenue for the City.”

Applicable General Plan policies include the following:

- 1.22.1 Accommodate the continuation of existing and development of new manufacturing, research and development, warehouse and distribution, ancillary offices, and similar uses in areas designated as “Industrial (I)” on the Land Use Plan Map.
- 1.22.2 Allow for the inclusion of businesses that are ancillary to and support industrial uses such as related retail sales facilities for manufacturers, financial institutions, restaurants, photocopy shops, specialty recreational uses (batting cages and health clubs/spas) and similar uses.
- 1.22.4 Require that development be designed to achieve a high level of quality and compatibility with existing uses including the consideration of the following:
 - a. Architectural treatment of all building elevations.
 - b. Use of extensive landscape along the primary street frontages and parking lots; and
 - c. Enclosure of storage areas visible from principal highways (including Highway 29) and peripheral residential and commercial districts with decorative screening or other elements.
- 1.22.6 Prohibit the establishment of contractor storage yards and other outside industrial uses within areas where the principal industrial uses are located within buildings or outside storage is ancillary to a principal use within a building.
- 1.22.7 Require that truck access be controlled so that it is safe and efficient and minimizes exposure to adjacent residential neighborhoods.

- 1.22.9 Control, through the permit process, the development of industrial uses that use, store, produce, or transport hazardous materials in threshold planning quantities, generate unacceptable levels of noise or air emissions, or result in other impacts that adversely impact American Canyon.

The Land Use Element of the General Plan further designates all industrial land as being located in "Subarea S," which specifies the following design and development standards:

- Adherence to Industrial design Policies 1.22.4 through 1.22.9

Zoning Ordinance

The project site is zoned Light Industrial, which was established to accommodate the continuation of existing and the development of new light manufacturing uses, research and development, offices, and similar uses, including businesses that are ancillary to and support such uses, in locations that generally have high public visibility. Outdoor activities are limited and must be fully screened from off-site view.

Applicable development regulations for the LI district as specified in the Zoning Ordinance are as follows:

Development Standard	LI
Minimum area per lot	20,000 square feet
Minimum width per lot	100 feet
Minimum depth per lot	100 feet
Minimum front yard	20 feet
Minimum side yard	
One story	5 feet
Two story	10 feet
Street side of corner lot	15 feet
Minimum rear yard	10 feet
Minimum setback from Hwy. 29	40 feet 50-foot average
Maximum floor area ratio	
Labor-intensive uses	50%
Low-labor uses	70%
Maximum number of stories	3
Maximum building height	40 feet
Minimum vehicle parking spaces:	
Retail sales: vehicle/equipment sales	1 per 500 sf of gross floor area within any showroom, plus 1 per 1,000 sf of outdoor display or sales area for the first 10,000 sf, then 1 per 5,000 sf of outdoor display or sales area thereafter

Company-owned vehicles parked on premises	1 per truck, car or other vehicle
Minimum Loading Spaces	One
Minimum bicycle parking	3 for 30-44 vehicle parking spaces

Zoning Ordinance Section 19.14.040 provides performance standards for industrial districts with regard to Hazardous Materials, Noise, Vibrations, Airborne Emissions, Electrical Disturbance, Climate, and Lights. Landscaping requirements are found in Chapter 19.22, as well as in the Parking and Loading Chapter (19.21). In addition, the Design Permit chapter of the Zoning Ordinance contains a section (19.41.040) describing the scope of Design Permit review that includes Site Planning and Structural Design considerations.

Project Evaluation

Conditional Use Permit

Vehicle/Equipment Sales, Lease & Rental is a conditionally permitted use in the Light Industrial District. The proposal for a large equipment sales and rental facility in this area north of Green Island Road is consistent with the Light Industrial district allowable uses (by CUP) of the Zoning Ordinance, and with the General Plan goal for the Industrial designation to provide employment and contribute significant revenue for the City. Large equipment that is "in transition" (before sales or rental) will be stored both inside the shop building and outside in the rear yard area. The rear yard area will be fully screened from Highway 29 by substantial landscaping, in keeping with General Plan policy 1.22.4 c. Because the outdoor use is for retail purposes, part of the principal use at this site and will be fully screened, the Planning Department has determined that it would not be in conflict with General Plan policy 1.22.6. The maintenance and repair services that are an ancillary use to the principal use are permitted in the LI zone.

Design Review

Site plan

The site plan is consistent with the General Plan and Zoning Ordinance Development Standards. At .18 FAR, the proposal complies with the maximum 50% FAR for labor-intensive (non-warehouse) uses in the Industrial designation and LI district. The project is consistent with the General Plan's requirements for "architectural treatment of all building elevations" and "enclosure of storage areas visible from principal highways (including Highway 29)". The lot meets the minimum requirements for area, width and depth. The proposal contains appropriate setbacks, with the building set back 94 feet from the highway, 20 feet of landscaping buffering the parking lot from the highway, and 10 feet of screening landscaping along the sides and rear of the site. The building height and size is in scale with the highway, and the proposal presents a new, attractive appearance for the Light Industrial area in this location, upgrading the surrounding locale with quality design. The use of landscaping and outdoor lighting is in keeping with the context, providing adequate screening and enhancing the site.

With regard to truck access (GP policy 1.22.7), the project has been conditioned (Mitigation Measure TR.1) to work with Caltrans to ensure that an accessory lane for slow-moving trucks is provided to ensure safe access to and from the site. The Powerscreen project has also been conditioned to ensure safety regarding any potential Hazardous Materials stored at the site, as well as for noise and dust controls during construction and control of lighting onsite, and it appears that the use will meet all performance standards of the zoning district (for noise, vibration, airborne emissions, electrical disturbance, and climate).

The project complies with the minimum vehicle parking requirements for vehicle/equipment sales by proposing more than the 26 required (counting the shop as "showroom", and the outdoor "gravel area" on the landscape drawings as "outdoor display or sales area"). The architect has used an alternative method of determining the parking requirement by breaking down the uses onsite to office, shop, and warehouse, and has provided adequate parking for all uses. All of the proposed parking spaces will be full-sized; no compact spaces are proposed, and a loading space lies in the rear yard area. The proposed parking space dimensions and aisle width meet minimum Zoning Ordinance requirements.

Architecture

The proposed architecture for the building conforms to the General Plan's industrial design policy (GP policy 1.22.4), and the Zoning Ordinance Development Standards and Design Permit review standards. The front portion of the building will have a maximum height of 34.5 feet and the rear shop building and its western-style false front will be 40 feet high, the maximum height in the zone. The building is well-suited to the site in terms of scale, mass, and proportion. Visual interest is provided by the variety of materials, the multiple windows on the front façade, the articulation of the front portion of the building, the double peaked roof, and the western false front to the rear shop portion of the building. The front building's materials include cultured stone, stucco, wood trellis and corbels, and clay-tile roof, all compatible materials and consistent with industrial policies requiring development to be designed to achieve a high level of quality, and architectural treatment of all building elevations. The design of the building fits well within its context in the Light Industrial area north of Green Island road, as well as providing an enhanced architecture that relates well to the Hess Vineyards across the highway.

The rear shop portion of the building is less detailed in appearance, especially on its northern face, but will not be highly visible as it lies behind the more detailed and attractive front office portion. Landscaping will screen the rear portion from all directions. Mechanical and other utilities are conditioned to be fully screened by rooftop structures or landscaping, depending on location, and a portion of the roof has been designed to accommodate a screened area for the location of such equipment. The front fence and gate are an enhanced wrought iron, in keeping with the architecture, while the less visible sides and rear yard will be chain link.

Landscaping

The proposal complies with Zoning Code requirements for a landscaped area equal to a minimum of 10% of the parking and circulation area, with 40% landscaping provided adjacent to the parking area. The proposal also complies with the requirement to evenly distribute landscaping in parking areas, provide a minimum of one tree for every six parking spaces, the use of foreground landscaping, and the use of large scale landscaping to complement large-scale buildings. Landscaping has been used to separate parking and vehicle circulation areas from the building and enhance the perimeter of the project, and the frontage landscaping provides large scale street trees to complement the major street (Broadway/Highway 29) on which it is located.

Although 20 feet of front landscaping is proposed along the highway frontage, consistent with past practice in the City of American Canyon, landscaping standard 19.22.020 E.1 states that setbacks from streets "shall be fully landscaped". The required setback from Highway 29 is 40 feet, yet staff has continued to accept past practice for this location (minimum of 20 feet of landscaping) because of its location north of Green Island Road.

In addition, although the minimum required landscaping area width is five feet, in two locations onsite (at the north and south ends of the parking lot where no landscaping was proposed at all

in order to provide a back-up area), staff requested that a minimum 2-foot landscaping area be provided in order to accommodate vines or other screening materials in these areas. In reviewing the latest set of plans in more detail, it appears that the south end of the parking area could easily accommodate the minimum 5-foot width and still have adequate back up space. In addition, it is recommended that the northernmost two parking spaces be eliminated to provide adequate side-yard landscaping width at the northern end of the parking lot, providing a minimum width of five feet at the back-up area. Because the site contains adequate parking according to the parking requirements for the use, losing two spaces should not cause any adverse impacts, while permitting further enhancement of the site. Condition #25.g. under "Landscaping" has been modified to require a minimum five foot width in the north and south areas of the parking lot.

Conditions of approval have been included to ensure that landscaping is enhanced sufficiently to adequately screen the rear yard and shop portion of the building from the highway, to provide large scale canopy trees at the front of the project, and to meet remaining Zoning Ordinance requirements for adequate installation, maintenance, and irrigation.

Environmental Review

The potential environmental impacts associated with the project have been evaluated in an Initial Study and Mitigated Negative Declaration. The more notable potential impacts of the project appear to be those pertaining to geology, hazardous materials, and possibly hydrology, with summaries of these sections described below. Please refer to the MND for details on all identified impacts and mitigation measures.

Geology/Soils and Hazardous Materials

Although there are no faults associated with the site, there is approximately two feet of fill onsite from previous uses that needs to be removed. The fill is potentially contaminated with hazardous substances, therefore a mitigation measure has been included to ensure that when the fill is removed, it is hauled to an appropriate facility (or tested, and then dealt with as permitted by the geologic consultant).

Hydrology and Water Quality

As a light industrial site being developed with impervious surfaces and proposing equipment and vehicle sales, runoff and water quality are issues that are examined closely and highly regulated. Mitigation measures have been included to ensure that the project is designed and implemented appropriately.

The Mitigated Negative Declaration was distributed for public review on April 21, 2008, and was sent to the State Clearinghouse for the required 30-day period. No comments have yet been received as of the writing of this report, however standard comments from Caltrans are expected. The MND included in the Commission's packet is the draft version distributed to agencies and the public for comments, with minor corrections made to reflect finalization of Public Works Water Report.

Required Findings

Mitigated Negative Declaration Findings

The following findings for the environmental document are required to be made by the Planning Commission prior to adoption of the Mitigated Negative Declaration.

1. An Initial Study was prepared for the project and proper notice was provided in accordance with CEQA and local guidelines.
An Initial Study/Mitigated Negative Declaration was prepared and circulated with a 30-day review period, and proper notice was provided.
2. Based upon the Initial Study, there is no substantial evidence that supports a fair argument that the project, as conditioned, would have a significant effect on the environment.
There is no substantial evidence that the project, as conditioned, would have a significant effect.
3. The project does not have the potential to have a significant adverse impact on wildlife resources as defined in the State Fish and Game Code, either individually or cumulatively as a result of mitigation measures that are agreed to.
No wildlife or sensitive habitats have been identified on the project site.
4. The project is not located on a site listed on any Hazardous Waste Site List compiled by the State pursuant to Section 65962.5 of the California Government Code.
The project is not on such a site, but due to precaution as the result of the Phase I analysis, a mitigation measure requires testing and clearance.
5. The Planning Commission has reviewed the Initial Study and considered public comments before making a decision on the project.
The Planning Commission has reviewed the document and will consider public comments prior to making a decision.
6. The record of proceedings of the decision on the project is available for public review at the City of American Canyon Planning Department, 3423 Broadway, Suite D-2, American Canyon, CA.
The administrative record is available for public review at the above address.

Conditional Use Permit Findings

Zoning Ordinance Section 19.42.020 requires the Planning Commission to make the following findings in approving a conditional use permit application. Based on the information presented in this report, the suggested basis for making each of these findings follows.

1. The proposed use is consistent with the policies and programs of the General Plan and any applicable master or specific plan.
The proposed use is consistent with the General Plan's Industrial land use designation.
2. The proposed use is consistent with the purposes and standards of the applicable zoning district.
The proposed use is consistent with the Light Industrial zoning district and, as conditioned, meets all requirements of the zone.
3. The project site is physically suitable for the type and intensity of land use being proposed.
The project site is essentially flat, of an appropriate size, and is physically suitable for the proposed use.
4. The proposed use will not be a nuisance or materially detrimental to the general health, safety, and welfare of the public or to property and residents in the vicinity.
The proposed use, as conditioned and mitigated, is compatible with and will not have detrimental effects on surrounding uses, or the general public.

5. The site for the proposed use has adequate access, and meets parking and circulation standards and criteria.

The proposal has adequate access, complies with the Zoning Code's Parking and Loading Standards, and is conditioned to provide safe ingress and egress for trucks.

6. There are adequate provisions for water and sanitary services, and other public utilities to ensure that the proposed use would not be detrimental to public health and safety.

Public utilities, including sewer and water, are available to serve the site and the project minimizes both water and sewer use by incorporating water conserving features.

Design Review Permit Findings

Zoning Ordinance Section 19.41.050 requires the Planning Commission to make the following findings in approving a design review permit application. Based on the information presented in this report, the suggested basis for making each of these findings follows.

1. The project complies with all applicable provisions of the Zoning Ordinance and any applicable approvals granted for the project by any decision-making authority.

The proposed project, as conditioned, complies with applicable development and design standards as established in the Zoning Ordinance. The proposal meets the minimum setbacks, maximum height, maximum FAR, and parking and landscaping requirements.

2. The project and its design comply with any applicable design guidelines.

The design of the project is consistent with General Plan policies on design and sections of the Zoning Ordinance that address design, as specified in the analysis presented in the staff report.

3. The project and its design comply with all applicable General Plan policies.

The project and its design comply with applicable General Plan policies as discussed in the staff report.

4. The project's quality and character are compatible with the surrounding area, unless physically deteriorated or blighted, and will not be materially detrimental to existing development.

The project's quality and character will improve the visual character of the surrounding area.

5. The proposed design is compatible with existing development in the area in terms of scale, height, bulk, proportion, materials, cohesiveness, color, and the preservation of privacy.

The proposed design is compatible with existing development.

6. The design improves the community's appearance by avoiding both excessive variety and monotonous repetition.

The project is well-designed and improves the community's appearance.

7. The proposed design promotes a harmonious transition in terms of scale and character between areas of different General Plan land use designations and zoning districts.

The parcel is surrounded by Light Industrial zoning, and is compatible with the agricultural parcel on the opposite side of the divided highway.

8. The proposed design provides for adequate and safe on-site vehicular and pedestrian circulation.

The City Engineer has provided a mitigation measure that ensures that adequate and safe vehicular circulation will be provided. A condition ensures safe pedestrian circulation.

Public Notice

Notice of the public hearing for this application was given in accordance with state law and Zoning Ordinance Chapter 19.40.

Staff Recommendations

Staff supports the application for a Conditional Use Permit and Design Permit for the Powerscreen Facility north of Green Island Road.

Based on the findings of this report, Staff recommends that the Commission:

1. Open the public hearing and take all relevant testimony from those in attendance.
2. Review the Mitigated Negative Declaration, Conditional Use Permit, project design, and all issues raised in the staff report and during the public hearing.
3. Adopt Resolution 2008-07, approving the Mitigated Negative Declaration (MND) and Mitigation Monitoring and Reporting Program (MMRP) for the Powerscreen Facility.
4. Adopt Resolution 2008-08, approving Conditional Use Permit CUP 07-10 and Design Permit DR 07-10 for the Powerscreen Equipment Sales and Rental Facility with the Conditions of Approval.

Attachments:

1. PC Resolution 2008-07 for the MND, with MMRP attached
2. PC Resolution 2008-08 approving CUP 07-10 & DR 07-10, with Conditions of Approval
3. Applicant's project narrative
4. Location Map
5. Mitigated Negative Declaration

Exhibits

- A Architectural Site Plan
- B Architectural Elevations (2 sheets)
- C Colors & Materials Board
- D Civil Plans (4 sheets)
- E Landscape Plans (3 sheets)
- F Lighting/Photometric Plan
- G Floor Plan
- H Roof Plan

Copies:

Paul Campbell, owner
Sudhir Chaudhary, Chaudhary & Associates, Applicant and Civil Engineer
Daniel Westphal, Architect
Mike Mikolajcik, Mid-City Designs, landscape designer



City of American Canyon

**PLANNING COMMISSION
RESOLUTION NO. 2008-07**

**ADOPTING A MITIGATED NEGATIVE DECLARATION
FOR THE POWERSCREEN FACILITY**

**5381 Broadway
APN 057-130-032**

WHEREAS, an application for a Conditional Use Permit and Design Permit was filed by Chaudhary & Associates on behalf of Paul Campbell to permit the development of the Powerscreen Facility, a Light Industrial retail use, on a 2.4 acre property located in the Light Industrial District north of Green Island Road, at 5381 Broadway, APN 057-130-032; and

WHEREAS, pursuant to the California Environmental Quality Act, an Initial Study was prepared for the project which concluded that no significant adverse environmental impacts would occur as a result of the project because revisions to the project have been made and/or conditions of approval and mitigation measures have been agreed to by the applicant, and a Mitigated Negative Declaration was prepared and circulated for public review; and

WHEREAS, after holding a duly-noticed public hearing on May 22, 2008 at which time all those in attendance were given the opportunity to speak, the City of American Canyon Planning Commission determined that the project would not have a significant effect on the environment.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of American Canyon hereby finds as follows:

1. An Initial Study was prepared for the project and proper notice was provided in accordance with CEQA and local guidelines.
An Initial Study/Mitigated Negative Declaration was prepared and circulated with a 30-day review period, and proper notice was provided.
2. Based upon the Initial Study, there is no substantial evidence that supports a fair argument that the project, as conditioned, would have a significant effect on the environment.
There is no substantial evidence that the project, as conditioned, would have a significant effect.
3. The project does not have the potential to have a significant adverse impact on wildlife resources as defined in the State Fish and Game Code, either individually or cumulatively as a result of mitigation measures that are agreed to.
No wildlife or sensitive habitats have been identified on the project site.
4. The project is not located on a site listed on any Hazardous Waste Site List compiled by the State pursuant to Section 65962.5 of the California Government Code.
The project is not on such a site, but due to precaution as the result of the Phase I analysis, a mitigation measure requires testing and clearance.

5. The Planning Commission has reviewed the Initial Study and considered public comments before making a decision on the project.

The Planning Commission has reviewed the document and has considered all public comments prior to making a decision.

6. The record of proceedings of the decision on the project is available for public review at the City of American Canyon Planning Department, 3423 Broadway, Suite D-2, American Canyon, CA.

The administrative record is available for public review at the above address.

NOW, THEREFORE, BE IT FURTHER RESOLVED, that the Planning Commission of the City of American Canyon does hereby accept the Initial Study and Mitigated Negative Declaration, including all mitigation measures, for the Powerscreen Facility as complete and adequate; and

BE IT FURTHER RESOLVED that the Planning Commission of the City of American Canyon does hereby adopt and approve the Initial Study and Mitigated Negative Declaration for the Powerscreen Facility; and

BE IT FURTHER RESOLVED that the Planning Commission of the City of American Canyon does hereby adopt the Mitigation Monitoring and Reporting Program for the Powerscreen Facility, finding that the development of the site and facility is subject to the mitigation measures set forth in the attached Exhibit A, which is hereby incorporated by reference into the Conditions of Approval for the project.

PASSED AND ADOPTED at a regular meeting of the American Canyon Planning Commission on May 22, 2008, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Michele Castagnola, Chairperson

ATTEST:

APPROVED AS TO FORM:

Taresa Murphy
Administrative Assistant

William Ross
City Attorney



City of American Canyon

PLANNING COMMISSION
RESOLUTION NO. 2008-08

APPROVING A CONDITIONAL USE PERMIT (CUP 07-10)
AND DESIGN REVIEW PERMIT (DR 07-10)
FOR THE POWERSCREEN FACILITY

5381 Broadway
APN 057-130-032

WHEREAS, an application for a Conditional Use Permit and Design Permit was filed by Chaudhary & Associates on behalf of Paul Campbell to permit the development of the Powerscreen Facility, a Light Industrial retail use, on a 2.4 acre property located in the Light Industrial District north of Green Island Road, at 5381 Broadway, APN 057-130-032; and

WHEREAS, pursuant to the California Environmental Quality Act, a Mitigated Negative Declaration was prepared and circulated for the project; and the Planning Commission of the City of American Canyon approved the Mitigated Negative Declaration as complete and adequate and adopted the MND for the project; and

WHEREAS, a duly-noticed public hearing was held by the City of American Canyon Planning Commission on May 22, 2008 on the subject application, at which time all those in attendance were given the opportunity to speak on this proposal; and,

WHEREAS, the Planning Commission has considered all of the written and oral testimony presented at the public hearing in making its decision.

NOW, THEREFORE, BE IT RESOLVED that the American Canyon Planning Commission hereby approves the Conditional Use Permit (CUP 07-10) for the Powerscreen Facility based on the following findings and subject to the conditions of approval set forth in the attached Exhibit A hereto and incorporated herein by reference.

1. The proposed use is consistent with the policies and programs of the General Plan and any applicable master or specific plan.
The proposed use is consistent with the General Plan's Industrial land use designation.
2. The proposed use is consistent with the purposes and standards of the applicable zoning district.
The proposed use is consistent with the Light Industrial zoning district and, as conditioned, meets all requirements of the zone.
3. The project site is physically suitable for the type and intensity of land use being proposed.
The project site is essentially flat, of an appropriate size, and is physically suitable for the proposed use.
4. The proposed use will not be a nuisance or materially detrimental to the general health, safety, and welfare of the public or to property and residents in the vicinity.
The proposed use, as conditioned and mitigated, is compatible with and will not have detrimental effects on surrounding uses, or the general public.

5. The site for the proposed use has adequate access, and meets parking and circulation standards and criteria.

The proposal has adequate access, complies with the Zoning Code's Parking and Loading Standards, and is conditioned to provide safe ingress and egress for trucks.

6. There are adequate provisions for water and sanitary services, and other public utilities to ensure that the proposed use would not be detrimental to public health and safety.

Public utilities, including sewer and water, are available to serve the site and the project minimizes both water and sewer use by incorporating water conserving features.

NOW, THEREFORE, BE IT FURTHER RESOLVED that the American Canyon Planning Commission hereby approves the Design Review permit (DR 07-10) for the Powerscreen Facility based on the following findings and subject to the conditions of approval set forth in the attached Exhibit A hereto and incorporated herein by reference.

1. The project complies with all applicable provisions of the Zoning Ordinance and any applicable approvals granted for the project by any decision-making authority.

The proposed project, as conditioned, complies with applicable development and design standards as established in the Zoning Ordinance. The proposal meets the minimum setbacks, maximum height, maximum FAR, and parking and landscaping requirements.

2. The project and its design comply with any applicable design guidelines.

The design of the project is consistent with General Plan policies on design and sections of the Zoning Ordinance that address design, as specified in the analysis presented in the staff report.

3. The project and its design comply with all applicable General Plan policies.

The project and its design comply with applicable General Plan policies as discussed in the staff report.

4. The project's quality and character are compatible with the surrounding area, unless physically deteriorated or blighted, and will not be materially detrimental to existing development.

The project's quality and character will improve the visual character of the surrounding area.

5. The proposed design is compatible with existing development in the area in terms of scale, height, bulk, proportion, materials, cohesiveness, color, and the preservation of privacy.

The proposed design is compatible with existing development.

6. The design improves the community's appearance by avoiding both excessive variety and monotonous repetition.

The project is well-designed and improves the community's appearance.

7. The proposed design promotes a harmonious transition in terms of scale and character between areas of different General Plan land use designations and zoning districts.

The parcel is surrounded by Light Industrial zoning, and is compatible with the agricultural parcel on the opposite side of the divided highway.

8. The proposed design provides for adequate and safe on-site vehicular and pedestrian circulation.

The City Engineer has provided a mitigation measure that ensures that adequate and safe vehicular circulation will be provided. A condition ensures safe pedestrian circulation.

PASSED AND ADOPTED by the Planning Commission of the City of American Canyon at a regular meeting on May 22, 2008, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Michele Castagnola, Chairperson

ATTEST:

APPROVED AS TO FORM:

**Taresa Murphy
Administrative Assistant**

**William Ross
City Attorney**

EXHIBIT A

CONDITIONS OF APPROVAL
Powerscreen Facility
CONDITIONAL USE PERMIT (CUP 07-10) AND
DESIGN PERMIT (DP 07-10)
5381 Broadway
APN 057-130-032

Planning Department

Sandra Cleisz, Senior Planner – (707) 647-4337

1. Approval is granted to allow the construction of a 18,600 square foot two-story building housing offices, a large "shop", and a parts warehouse for use as a rental and sales facility for large equipment, with maintenance and repair of such equipment as an incidental accessory use. The use includes an equipment/vehicle washing station and an exterior service bay.
2. Within five days of project approval, the applicant shall submit to the Planning Department a check made payable to the Napa County Clerk in the amount of \$1926.75, which covers the filing fees for the Notice of Determination for the environmental document, including \$50 for the Napa County Clerk, and \$1876.75 for the California Department of Fish & Game.
3. This approval shall become effective ten days after Planning Commission action unless an appeal is filed.
4. The approval of the CUP shall become null and void and of no effect if the project has not been inaugurated within one year of the approval date. An extension of time may be granted by the Planning Director upon the written request by a responsible party before the expiration of the one-year period.
5. The approval of the Design Permit shall become null and void and of no effect if the project has not been inaugurated within two years of the approval date. An extension of time may be granted by the Planning Director upon the written request by a responsible party before the expiration of the two-year period.
6. The facility shall substantially conform with the following exhibits, except as modified by the conditions of approval:

Exhibit A	Powerscreen Architectural Site Plan A101, dated 5/8/08
Exhibit B	Powerscreen Architectural Elevations (2 sheets: A210, A211) dated 5/8/08
Exhibit C	Powerscreen Civil Plans (4 sheets: C1-4) dated 5/8/08
Exhibit D	Powerscreen Preliminary Landscape Drawings (3 sheets: L-1, 3, 4, date stamped May 9, 2008 by the Planning & Building Dept.)
Exhibit E	Powerscreen Lighting Diagram/Photometric Plan
Exhibit F	Powerscreen Floor Plans
Exhibit G	Powerscreen Roof Plans
7. All development shall be and shall remain in substantial conformance with the approved exhibits, except where modified by a condition of approval. In the event the Planning Director determines that the plans submitted for building permits are not in substantial

conformance with the approved plans, the Planning Director shall refer the revised plans to the appropriate review process for approval of any modifications.

Timing: Prior to building permit issuance and ongoing

8. The project sponsor and/or owner shall indemnify, hold harmless and defend the City, its elected officials, officers, employees and agents from any lawsuit associated with any claim of illegality or legal inadequacy associated with the approval of this project's application for discretionary permits. If separate counsel is deemed appropriate, the project sponsor/owner shall execute a joint defense agreement with the City with respect to any matter concerning the project approvals that results in a claim or litigation challenging those approvals. The City shall select legal counsel that is satisfactory to both parties.

Timing: After approval of the project and ongoing

9. All mitigation measures in the Mitigated Negative Declaration for this project and its Mitigation Monitoring and Reporting Program (MMRP) are hereby incorporated into the Conditions of Approval for this project and shall be implemented and signed off according to the timing and responsibilities outlined in the MMRP. Where any mitigation measures conflict or differ from measures in this document, the mitigation measures shall supersede the conditions and be implemented to the satisfaction of the responsible enforcing party.

Timing: As specified in the MMRP

10. This approval is subject to all applicable requirements of the City, County, State, Federal and other affected agencies. The applicant shall be responsible for determining applicable requirements and providing documentation to the City that compliance has been obtained.

Timing: Prior to site disturbance, grading and building permit issuances and ongoing

11. There shall be no outdoor storage of materials or equipment, including vehicles, unless screened from view to staff satisfaction. All outdoor mechanical equipment, satellite dishes, fire mains, backflow preventers, electrical and other enclosures, and all rooftop equipment shall be fully visually screened upon installation subject to the approval of the Planning Director. Screening devices shall be shown on construction and/or landscape plans.

Timing: Prior to building permit issuance and ongoing

12. The fence surrounding the "rear yard" of the property shall be of a style and design acceptable to the Planning Director, such as a dark, vinyl-coated chain link, a wooden fence, or a stucco wall. No barbed or razor-type wire shall be permitted.

Timing: Prior to building permit issuance and ongoing

13. Non-reflective glass, building materials and rooftop equipment shall be used for all sides, of all structures onsite, including roofs, to comply with the Airport Land Use Commission's requirements.

Timing: Prior to building permit issuance and ongoing

14. Vehicle washing, vehicle storage, and trash storage areas shall comply with all requirements of the San Francisco Bay Regional Water Quality Control Board and shall use Best Management Practices such as those provided by the California Stormwater Quality Association's for prevention and reduction of contaminated runoff, as determined by the City's Environmental Specialist.

Timing: Prior to building permit issuance and ongoing

15. The concrete swale in the rear yard shall be replaced with a filtering bioswale or other filtering drainage system that captures and directs water to the detention basin using Best Management Practices acceptable to the City Planning Department, City Engineer, and the Regional Water Quality Control Board.

Timing: Prior to building permit issuance and ongoing

16. Catchment pans strategically and appropriately located to catch any potential oil or lubricant drips shall be placed under all equipment and vehicles stored on the site, and especially for all equipment stored in the unpaved landscaped area.

Timing: After approval of the project and ongoing

17. The bioswale on the north side of the site shall not contain a drainpipe, but shall be designed to adequately handle and filter stormwater prior to it draining into the detention basin.

Timing: Prior to approval of improvement plans

18. Pedestrian walkways within the parking lot shall be clearly defined with stripes or accent pavers. Such a pedestrian walkway shall be provided to connect the sidewalk across the center drive.

Timing: Prior to building permit issuance and ongoing

19. The fencing connecting the northeast corner of the shop portion of the building to the northern edge of the property shall be modified to provide a larger gate (minimum 10 feet wide) to provide Fire Department access to the northern side of the building.

Timing: Prior to building permit issuance and ongoing

20. Prior to occupancy, a minimum of three (3) lockable bicycle parking spaces (or rack) shall be provided. The location and design of the bicycle parking spaces shall be subject to the approval of the Planning Department, and shall not interfere with required access to the north side of the building for the Fire Department.

Timing: Prior to building permit issuance and ongoing

21. No signs are included in this approval. Sign permit(s) shall be applied for and approved prior to installation of any signs on the property.

Timing: Prior to any sign being installed on the property

22. Should hazardous materials be encountered during site disturbance and/or construction, the Napa County Environmental Management Department shall be notified and appropriate remediation measures shall be undertaken. Mitigation Measure HAZ.1 shall be implemented.

Timing: Throughout site disturbance, grading, and construction of project

23. The contractor on site shall be responsible for notifying the City Planning Department immediately upon finding any potential cultural resource during site disturbance or construction. Cultural resources may consist of, but are not limited to: dark, friable soils, chert or obsidian flakes, heat-affected rock, projectile points, mortars, pestles, shell fragments, deposits of bone, glass, metal, ceramics or wood, stone or adobe foundations or walls, structures or remains with square nails, or human burials. Should any Native American or historic-period cultural resources be discovered, work within 100 feet of the find shall be halted until the findings can be fully investigated, and a professional archaeologist qualified to evaluate both prehistoric and historic archaeological remains shall be retained. The find(s) shall be recorded on a Department of Parks & Recreation

523 (A-J) historic recordation form (available from the State Office of Historic Preservation), and proper protection measures as recommended by the expert shall be fully implemented to the satisfaction of the City Planning Department prior to continuation of work.

Timing: Throughout site disturbance, grading, and construction of project

24. Should human remains be discovered at the project site during project site preparation, grading, construction, or ground breaking, all operations within 25 feet of the remains shall be suspended and the City of American Canyon Planning Department and the Napa County Coroner shall be immediately notified. If the remains are determined by the County Coroner to be Native American, the Native American Heritage Commission (NAHC) shall be notified within 24 hours, and the guidelines of the NAHC shall be adhered to in the treatment and disposition of the remains.

Timing: Throughout site disturbance, grading, and construction of project

25. Any potentially hazardous materials such as fuel, oil, lubricants, etc. shall be stored to minimize risk to people or the environment from accidental spills or fire. A clear, written accident procedure shall be developed and posted in conjunction with the Fire District's requirement to submit Material Safety Data Sheets (MSDS) for all hazardous materials used and stored on the site (indoors and outdoors) prior to occupancy. The business owner shall register with the Napa County Department of Environmental Management (local CUPA) prior to occupancy, and shall comply with all state and local regulations pertaining to hazardous materials.

Timing: Prior to occupancy and ongoing, with annual updates

26.

An application shall be submitted to the County Airport Land Use Commission (ALUC) for a "consistency determination" with the Napa County Airport Land Use Compatibility Plan for the project prior to building permit issuance. The ALUC's written determination shall be submitted to the Planning Department, and all ALUC requirements or conditions shall be complied with prior to occupancy. Should the ALUC request that the skylights be deleted from the plans, the City will require as an alternative that the skylights be provided with opaque coverings that automatically close at dusk. An aviation easement shall be recorded over the property prior to occupancy as or if required by the ALUC.

Timing: As specified above—prior to building permit issuance, and prior to occupancy

Landscaping

27. Prior to the issuance of any building permit, three sets of final landscape and irrigation plans shall be submitted to the Planning Department for approval. The final landscape plan shall be in substantial conformance with the approved Landscape Plan, except that the following modifications shall be incorporated:
- a) No Planting, Irrigation or Landscape Notes may authorize the owner, applicant, or contractor to modify the landscaping or irrigation at will after the approval of the Design Permit, building permits and/or these conditions of approval. A modification to the permit and/or approval of the Planning Director shall be required for modifications.
 - b) Large canopy trees shall be provided along Highway 29. Trees such as Valley Oak, Sycamores, or other large scale trees that are native or well-adapted to this climate and region are strongly suggested.
 - c) Tall and large evergreen trees and shrubs shall be planted surrounding the "rear yard" to fully screen equipment and vehicles located on the site. Such plants shall

be planted with adequate spacing to accomplish screening to the satisfaction of the Planning Director within one year of occupancy, and shall fully screen the east, west, and south sides of the property.

- d) The location of exterior lights and all above ground and underground utilities shall be shown on the landscape plan to prevent conflicts with trees and promote adequate screening of lights from offsite.
- e) Landscaping (including trees and shrubs) along the site's property lines adjoining or near Highway 29 shall be of adequate size and be situated to minimize the potential effects of lights or glare shining out to Highway 29, including lights from vehicles in the parking area, and all exterior lights.
- f) All parking lot peninsulas (except the northwestern-most peninsula) shall contain a parking lot tree to provide canopy and shade. All parking lot peninsulas shall be fully landscaped, leaving none paved.
- g) The parking lot shall contain adequate landscape screening at the north and south ends of the parking area in planters that meet at least the minimum five-foot width. The northernmost two parking spaces shall be eliminated, with the northeastern space providing a parking lot peninsula with a tree, and the northwestern space containing groundcover and landscaping compatible with providing Fire Department access to the north side of the building.
- h) Landscaping between the northwestern end of the parking lot and the gate and fence shall be compatible with providing Fire Department access to the north side of the building.
- i) The north face of the building shall be screened with landscaping that varies in height and interest to reduce any potential impacts of the blank wall face on the public right of way and highway.
- j) The 20 foot north-side setback and easement area shall be landscaped with a minimum 8 foot wide strip of screening shrubs and trees (which can overlap the bioswale if necessary), a minimum 6 foot wide bioswale containing plant materials appropriate to its filtering function (sedges, native grasses, and native riparian shrubs that need little to no water during the dry season) and a gravel access path.
- k) The 10 foot rear setback area shall be fully landscaped, including screening trees and shrubs.
- l) The proposed non-paved area of the rear yard shall either be fully landscaped and/or maintain acceptable ground cover that adequately filters stormwater runoff, and meets all requirements of the City's and the project's San Francisco Bay Regional Water Quality Control Board permits.
- m) All plants and hydroseed used onsite shall consist of drought-tolerant species found in and/or consistent with the plant lists and design guidelines of the East Bay Municipal Utility District's *Plants and Landscapes for Summer-Dry Climates of the San Francisco Bay Region*.

Timing: Prior to building permit issuance, occupancy, and ongoing

28. All plant material shall be served by a city-approved automatic irrigation system and the irrigation system shall be designed to use, and shall utilize recycled water when it becomes available. Evapotranspiration-based self-adjusting irrigation timers for automatic irrigation systems and the use of a water efficient irrigation system for irrigating plant areas shall be incorporated into the landscape construction plans. Required irrigation

systems shall be fully maintained in sound operating condition with heads periodically cleaned and replaced when missing to insure continued regular watering of landscape areas, and health and vitality of landscape materials.

Timing: Prior to building permit issuance and ongoing

29. All planting shall be maintained in good growing condition. Such maintenance shall include, where appropriate, pruning, mowing, weeding, cleaning of debris and trash, fertilizing and regular watering. Whenever necessary, planting shall be replaced with other plant materials to insure continued compliance with applicable landscaping requirements.

Timing: Ongoing, throughout operation of use, facility, and site

30. Prior to the issuance of a certificate of occupancy, the project's landscape architect or landscape contractor shall certify that all plant materials have been installed in accordance with the approved landscape plan.

Timing: Prior to occupancy

31. All tree stakes and ties shall be removed within one year following installation or as soon as trees are able to stand erect without support.

Timing: After occupancy, ongoing

32. All landscaped areas shall be protected by six-inch concrete curbing, except where sheet flow is designed to carry stormwater runoff into bio-filtration swales intended to promote filtering of runoff. In such areas, where parking or driving areas adjoin landscaped areas without curbs, wheel stops and/or other methods shall prevent vehicles from entering landscaped areas.

Timing: Prior to building permit issuance, occupancy, and ongoing

Exterior Lighting

33. An Exterior Lighting Plan and specifications shall be submitted with building permits and shall be subject to the approval of the Planning Director. The Exterior Lighting Plan shall accomplish the following objectives:

- a) Parking lot and building light fixtures shall be oriented downward and shall be shielded, either architecturally or with hooded coverings, to reduce potential off-site impacts from light and glare.
- b) The light sources for all light fixtures shall not be visible from off-site, nor shed light on adjacent properties. Further, the wattage used shall be the lowest possible to ensure public safety and shall not over-illuminate the site or produce glare.
- c) Pole lights shall be limited to a maximum 18-foot height and shall be located so as to avoid conflicts with tree canopies.

Timing: Prior to building permit issuance, occupancy, and ongoing

Trash Enclosures and Recycling

34. All trash enclosures shall be designed to be architecturally compatible with the proposed building. All trash and recycling bin enclosures shall be fully screened from view by fencing, walls, and doors, or other appropriate methods. Final details for trash enclosures shall be submitted to the Planning Department prior to building permit issuance.

Timing: Prior to building permit issuance, occupancy, and ongoing

35. Trash enclosures shall be sized to accommodate both regular trash bins and recycling containers and shall be located as specified by the trash hauler. All containers and enclosures shall be designed and constructed to prevent leakage to the environment.

Timing: Prior to building permit issuance

36. The project sponsor shall include secure recycling containers in all of its trash enclosures and/or areas to reduce solid waste in accordance with the General Plan and the State of California's Solid Waste regulations. Cardboard waste, green waste, and mixed recyclables such as paper, metals, cans, and glass, shall be separated from other solid wastes on the project site and recycled. All owners and subsequent owners of this property shall continue to provide secure bins to contain the waste stream produced on the site, and shall continue to meet all updated state and/or locally-mandated requirements related to solid waste. Trash bins, recycling containers, and trash enclosures shall be reviewed by the City's Environmental Specialist prior to Occupancy.

Timing: Prior to occupancy, and ongoing

Building Department

Dennis Corbett, Building Official – (707) 647-4339

37. The project shall incorporate measures as listed in Mitigation Measure AIR.3.b. to reduce the potential effects of greenhouse gas emissions.

Timing: Prior to building permit issuance

38. All construction plans and buildings onsite shall conform to the California Code of Regulations, Title 24. All building plans shall include all necessary recommendations from the Geotechnical Report for the site, to be superceded by the California Code if any conflicts arise.

Timing: Prior to building permit issuance

39. As-built construction plans of the building and site shall be submitted in an acceptable digital format prior to final occupancy

Timing: Prior to occupancy

40. The project shall incorporate low-flow devices for water conservation purposes into the toilets and faucets. Hot water shall be provided by under-sink heaters.

Timing: Prior to building permit issuance

Public Works Department

Cheryl Braulik, Senior Engineer – (707) 647-4588

Dedications, Easements and Access

41. The Developer shall dedicate a 25' easement to the City of American Canyon for the purpose of a public water mains (potable and reclaimed) and street improvements including sidewalks, lights. The easement shall be adjacent and parallel to the east property line of parcel 057-130-032.

Timing: Prior to improvement plan approval

42. The owner shall agree to enter into a reciprocal access agreement with neighboring properties in the future if the City requires limited or shared access to Highway 29 from this and neighboring properties.

Timing: After occupancy, ongoing

Streets

43. The Powerscreen Project Mitigation Measure TR.1 is incorporated into these conditions of approval.
Timing: Prior to Occupancy
44. The design and construction of all street improvements shall conform to the City of American Canyon Public Works Department Standard Plans and Specifications for Public Improvements, latest edition, unless otherwise approved by the City Engineer.
Timing: Prior to improvement plan approval
45. Vertical curb and gutter shall be constructed along the frontages of all public streets.
Timing: Prior to improvement plan approval
46. Curb ramps shall be constructed in accordance with the American Disability Act requirements.
Timing: Prior to improvement plan approval
47. Streetlights shall be installed along the frontages of all public streets within and along the periphery of the project.
Timing: Prior to improvement plan approval
48. Pavement structural section for streets and paved areas shall be designed in accordance with City Standards and based on the geotechnical report prepared for the project.
Timing: Prior to improvement plan approval
49. The Developer shall pay traffic impacts fees in accordance with City Ordinance 2006 -10.
Timing: Prior to issuance of a building permit.
50. Unless needed improvements to the SR 29 Corridor are included in a traffic impact fee update prior to building permit issuance, the project shall be subject to a SR 29 south Corridor Capacity Mitigation fee in an amount determined by the City Engineer based on the City's standard procedure used to determine said fee.
Timing: Prior to issuance of a building permit.

Water System Improvements

51. The Powerscreen Project Mitigation Measures UT.1 through UT.5 are incorporated into these conditions of approval.
52. The design and construction of all water system improvements shall conform to the City of American Canyon Public Works Department Standard Plans and Specifications for Public Improvements, latest edition, unless otherwise approved by the City Engineer.
53. The location and number of fire hydrants shall be installed in compliance with the American Canyon Fire Protection regulations.
Timing: During grading and construction of improvements
54. Water services shall be provided by the Developer to the project in accordance with City Ordinance.
Timing: During grading and construction of improvements
55. All proposed water improvements, including the connection to the existing or proposed water system shall be shown on the improvement plans and constructed as part of the project improvements.

*Timing: Improvement plan approval prior to issuance of building permit
Construction prior to certificate of occupancy*

56. The Developer shall submit final hydraulic calculations to the City Engineer to prove adequacy, size, and location of all proposed water system facilities. Final sizing of the water lines shall be reviewed by the City Engineer during the plan check process and shall be revised at the direction of the City Engineer.

Timing: Prior to improvement plan approval

57. The project shall be required to comply with provisions of the Draft Water Shortage Emergency Plan in the Urban Water Management Plan until such time as a permanent ordinance is adopted. (MM UT.6)

Timing: Compliance after occupancy

58. The Developer shall pay water connection fees in accordance with the City of American Canyon Municipal Code, Chapter 13.06.

Timing: Prior to building permit issuance

Sanitary Sewer System Improvements

59. The design and construction of all sanitary sewer improvements shall conform to the City of American Canyon Public Works Department Standard Plans and Specifications for Public Improvements, latest edition, unless otherwise approved by the City Engineer.

*Timing: Improvement plan approval prior to issuance of building permit
Construction prior to certificate of occupancy*

60. All proposed sewer improvements, including the connection to the existing or proposed sewer system shall be shown on the improvement plans and constructed as part of the project improvements.

*Timing: Improvement plan approval prior to issuance of building permit
Construction prior to certificate of occupancy*

61. Clean-outs shall be installed at property lines for all sewer laterals.

Timing: During grading and construction of improvements

62. The Developer shall submit final sanitary sewer calculations to the City Engineer to prove adequacy, size, and location of all proposed sewer system facilities. Final sizing of the sewer lines shall be reviewed by the City Engineer during the plan check process and shall be revised at the direction of the City Engineer.

Timing: Prior to improvement plan approval

63. The Developer shall pay wastewater connection fees in accordance with the City of American Canyon Municipal Code, Chapter 14.04.

Timing: Prior to building permit issuance

Recycled Water System Improvements

64. The project shall connect to, and install purple pipe for reclaimed water use for landscaping purposes in the future at such a time, and in the event that reclaimed water is made available to this site.

Timing: Compliance after occupancy

Storm Drainage System Improvements

65. The Powerscreen Project Mitigation Measures HYD.1 through HYD.3 are incorporated into these conditions of approval.
66. The design and construction of all storm drainage improvements shall conform to the City of American Canyon Public Works Department Standard Plans and Specifications for Public Improvements, latest edition, unless otherwise approved by the City Engineer.
67. The Developer shall submit a final drainage study, including calculations, to the City Engineer to prove adequacy, size and location of all proposed storm drain system facilities. The final design of the storm drain system facilities shall be reviewed by the City Engineer during the plan check process and shall be revised at the direction of the City Engineer.

Timing: Prior to grading permit issuance

68. All proposed storm drain improvements, including the connection to the existing or proposed sewer system shall be shown on the improvement plans and constructed as part of the project improvements.

*Timing: Improvement plan approval prior to grading permit issuance.
Construction prior to certificate of occupancy*

69. The developer shall submit a final Storm Water Management Plan that incorporates construction and post construction Best Management Practices (BMPs). The final Storm Water Management Plan shall be reviewed by the City Engineer during the plan check process and shall be revised at the direction of the City Engineer.

Timing: Prior to grading permit issuance or improvement plan approval, whichever comes first

70. The Owner shall prepare a Stormwater Control Operations and Maintenance Plan for all treatment and flow control facilities. The plan shall be reviewed and approved by the City Engineer.

Timing: Prior to occupancy

71. The Owners shall inspect and maintain all post-construction BMPs, and treatment and flow control facilities in accordance with the approved Stormwater Control Operations and Maintenance Plan. A yearly inspection and maintenance report shall be prepared by the Owners and submitted to the Public Works Director by October 15th of each year.

Timing: Ongoing compliance after occupancy

Utilities

72. The developer shall dedicate any necessary land for utility company facilities as may be necessary to serve the project.

Timing: Prior to improvement plan approval

73. Any existing overhead utility lines shall be placed underground within and along the periphery of the project site. All proposed utilities shall be placed underground.

Timing: Prior to certificate of occupancy.

Geotechnical, Grading And Erosion Control

74. The Powerscreen Project Mitigation Measures GEO.1 and 2 and HAZ.1 are incorporated into these conditions of approval.
75. All grading work shall conform to the City of American Canyon Public Works Department

Standard Plans and Specifications for Public Improvements, latest edition, unless otherwise approved by the City Engineer.

76. A grading permit shall be obtained for the construction of the project in accordance with Chapter 33 of the Uniform Building Code.

77. Submission of a soils and geotechnical report shall be required as a condition of the improvement plan approval.

Timing: Prior to grading permit issuance

78. A grading, geotechnical and erosion and sediment control plan shall be included as part of the improvement plans. The improvement plans shall be signed by the soils engineer prior to approval by the City.

Timing: Prior to grading permit issuance

79. Grading shall be done in accordance with a grading plan prepared by the applicant's civil engineer and approved by the City Engineer. All grading work shall be performed in one continuous operation.

Timing: During grading and construction of improvements

80. Upon completion of the grading, the developer shall submit a compaction report from a geotechnical engineer stating the site, including the building pads, have been constructed in accordance with the approved plans.

Timing: During grading and construction of improvements

81. Upon completion of the grading, the developer shall submit a certification from a civil engineer or licensed land surveyor stating the site has been constructed in accordance with the approved plans.

Timing: During grading and construction of improvements

82. Reasonable measures shall be provided for and practiced to minimize any nuisance from dust during grading and construction operations, consistent with Mitigation Measures AIR.1 and 2.

Timing: During grading and construction of improvements

83. The developer shall be responsible for obtaining the necessary Regional Water Quality Control Board (RWQCB) storm water pollution permit for grading and construction activities. The developer shall submit 2 copies of the Notice of Intent (NOI) and the Storm Water Pollution Prevention Plan (SWPPP) to the City.

Timing: Prior to grading permit issuance

Landscaping and Irrigation

84. The design and construction of all irrigation and landscaping improvements shall conform to the City of American Canyon Public Works Department Standard Plans and Specifications for Public Improvements, latest edition, unless otherwise approved by the City Engineer.

85. The developer shall submit final irrigation and landscape plans to the City for approval. The irrigation system shall be designed and constructed to make use of reclaimed water when it becomes available.

Timing: Prior to improvement plan approval, and compliance after occupancy

86. The irrigation system shall have ET/SMART controllers.

Timing: Prior to occupancy

Miscellaneous

87. Existing public and private facilities damaged during the course of construction shall be repaired by the developer, at his sole expense, to the satisfaction of the City Engineer.

Timing: Prior to certificate of occupancy

88. The developer shall be responsible for obtaining all necessary permits from all applicable agencies prior to commencement of grading activities, unless otherwise approved by the City Engineer.

Timing: Prior to grading permit issuance.

89. Prior to the placement of building materials onsite, an all-weather surface road shall be constructed to the satisfaction of the Public Works Director and Fire Chief.

Timing: During grading and construction improvements

90. At the completion of the project the developer shall submit a set of as-built plans to the engineering division. The as-built plans shall be submitted both electronically and hard copy (mylar), with the digital plans to be in a format acceptable to the Engineering Division.

Timing: Prior to certificate of occupancy

91. The developer shall pay all fees, in the amounts in effect, at the time they are due and payable.

American Canyon Fire District

Glen Weeks, Fire Chief – (707) 642-2747

92. An approved on-site water supply capable of supplying the required fire flow for on-site fire protection shall be provided to all premises upon which buildings are constructed. When any portion of a building is in excess of 150 feet from a water supply on a public street, as measured by an approved route around the exterior of the building, on-site fire hydrants and mains capable of supplying the required fire flow shall be provided when required by the Fire Marshal.

Timing: Prior to improvement plan approval and prior to building permit issuance

93. Private on-site fire hydrants and mains capable of supplying 2,000 gallons per minute @ 20 p.s.i. residual pressure shall be provided in locations determined and approved by the Fire Marshal. On-site fire hydrants shall be located so vehicle travel is no greater than 250 ft. between hydrants. Fire Department connection shall be provided within 50 ft. of a public hydrant. A fire hydrant shall be located within 50 feet of the proposed Fire Department Connection (FDC), on the same side of the parking lot and access road(s)/entries as the FDC.

Timing: Prior to improvement plan approval, and prior to building permit issuance

94. Fire hydrants shall be installed by the developer and made serviceable prior to any combustible building materials being delivered or stored on the site and during the time of construction.

Timing: Prior to improvement plan approval and prior to building permit issuance

95. Access roads with a minimum unobstructed width of 20 feet shall be provided to the front and rear of structures. A minimum vertical clearance of 13 feet 6 inches shall be provided. Access roads shall be engineered to support the imposed load of the Fire District ladder truck, which weighs 35 tons and shall be designed per the City Public Work's Department

Standards. An access road shall be provided to within 150 feet of all exterior walls of the first floor of the buildings. The route of the access road shall be approved by the Fire Marshal. Dead-end access roads in excess of 150 feet in length shall be provided with an approved means for turning around the apparatus. The final design of the turnaround shall be reviewed and approved by the Fire Marshal prior to installation.

Note: Every building shall be accessible to Fire Department apparatus by way of all-weather access roadways during the time of construction. These roads shall have a minimum unobstructed width of 20' and shall be required to have a minimum 'first lift' of pavement applied which shall support the imposed load of a fire apparatus which is typically 25 tons (**no exceptions**). The developer shall be required to provide the Fire Marshal with a site plan showing the location, width, grades, and cross section of the proposed access roads to be used during construction. Permits shall not be issued and combustible construction shall not be allowed on the site until this site plan is reviewed and approved and stamped by the Fire Department.

Timing: Prior to improvement plan approval and prior to building permit issuance

96. The Fire Marshal shall identify on the final site development plans all Fire Lanes and areas where parking is to be restricted. The location of these lanes, signage, and curb painting shall be determined at the sole discretion of the Fire Marshal.

Timing: Prior to improvement plan approval and prior to building permit issuance

97. Subject to the review and approval of the Fire Marshal, an Automatic Fire Sprinkler System shall be installed in accordance with N.F.P.A. 13. Fire sprinklers meeting all Fire District specifications (as per NFPA 13 and 231 in all buildings exceeding 600 sq. ft. and/or rack sprinklers as per NFPA 231C.) shall be installed in all areas of the building and outdoor shop bay as required by Fire District standards and requirements. All void areas shall have fire sprinklers. Inch and one half or two and one half inch standpipes may be required. Any fire sprinkler system with over one-hundred (100) heads shall be monitored for water flow by a central station approved by the Fire Marshal.

Timing: Prior to issuance of a building permit.

98. An approved automatic fire extinguishing system shall be provided over all cooking appliances and within the associated exhaust hood plenum and duct piping. Plans and specifications shall be submitted to the Fire Department for review and approval prior to the issuance of any building permits.

Timing: Prior to issuance of a building permit.

99. The Fire Marshal shall approve the location, number, and sizes of all portable fire extinguishers prior to the issuance of any building permits.

Timing: Prior to issuance of a building permit and ongoing, with annual inspections.

100. The building shall be equipped with a fire alarm system monitored 24 hours a day by a private alarm company.

Timing: Prior to issuance of a building permit, prior to occupancy, and ongoing.

101. Alarm system: minimum installation includes smoke detector over the alarm panel and one manual pull station located in the office area. Each sprinkler riser must report individually. A minimum of one strobe and horn device shall be located in the office area and the warehouse/production area. All sprinkler valves must be monitored with tamper switches.

Timing: Prior to issuance of a building permit, and prior to occupancy

102. Smoke and heat ventilation system shall be as required per Article 81 of the International Fire Code; mechanical ventilation system may be installed per District approval if ESFR sprinklers are used.
Timing: Prior to issuance of a building permit.
103. Exit signs and emergency lighting shall be provided.
Timing: Prior to building permit issuance, and prior to occupancy.
104. All fire protection systems including, but not necessarily limited to, fire sprinkler systems, fire alarm systems, and fixed fire extinguishing systems shall comply with the latest standards published by the National Fire Protection Association, (NFPA), except where specifically amended modified by Fire Department policy or ordinance.
Timing: Prior to issuance of a building permit, prior to occupancy, and ongoing.
105. Plans and specifications for the installation of any new fire protection and/or detection systems or any modification to an existing system shall be submitted to the American Canyon Fire District for review and approval prior to installation. This includes all underground civil plans pertaining to all on-site fire protection.
Timing: Prior to improvement plan approval, issuance of a building permits, and ongoing.
106. All detailed plans and specifications for private fire protection and or detection systems shall be submitted separately to the Fire Marshal for review and approval. Prior to the issuance of any grading or Building Permits, the applicant shall integrate the approved plans for fire protection and detection systems into the plans submitted to the American Canyon Community Development Department for all civil improvements.
Timing: Prior to improvement plan approval, issuance of a building permits, and ongoing.
107. All dumpsters or trash containers with an individual capacity of 1.5 cubic yards or more shall not be stored in buildings or placed within five (5) feet of combustible walls, openings, or combustible roof eave lines unless protected by an automatic sprinkler system approved by the Fire Marshal.
Timing: Prior to issuance of a building permit.
108. An acceptable emergency access key box (Knox Model 3200) shall be located to the right side of the main entrance, no higher than six (6) feet from the ground. This key box shall be easily visible and accessible to the Fire Department. A Knox sticker shall be affixed on the door adjacent to the Knox Box. Obtain a Knox application from the Fire Administration offices.
Timing: Prior to issuance of a building permit.
109. All doors with keyed locks shall be keyed alike, including gates. (One key only)
Timing: Prior to occupancy.
110. Metal firefighting doors shall be installed with one provided for every 100 linear feet. Roll up doors are not acceptable.
Timing: Prior to issuance of a building permit.
111. All buildings must have Fire Department approval before any tenants, employees, vendors, or patrons can be allowed in the building or before any stocking can be done. All shell buildings must have final Fire Department approval before any occupancy.
Timing: Prior to occupancy.

112. Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Said numbers shall contrast with their background.

Timing: Prior to occupancy.

113. The project shall pay the fire mitigation fee prior to the issuance of any building permits. The developer shall pay all Fire District fees, in the amounts in effect, at the time they are due and payable.

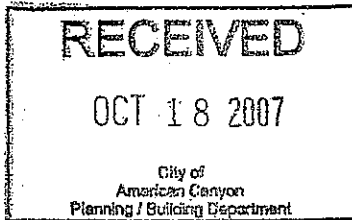
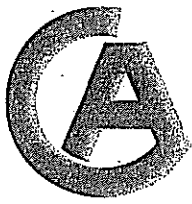
Timing: Prior to issuance of a building permit, and annually/ongoing.

114. All construction is subject to all other American Canyon Fire District codes, standards, requirements, and ordinances, including the International Fire Code, in place at the time of issuance of any building permit.

Timing: Prior to issuance of a building permit, and prior to occupancy

115. Prior to final approval for certificate of occupancy the as-built site and floor plans in an electronic/digital (auto-cad or arc-view) format shall be submitted to the Fire District.

Timing: Prior to occupancy.



#03-12-058(B)
October 18, 2007
Page 1 of 2

Project Description
POWERSCREEN FACILITY
In the City of American Canyon

The proposed project will consist of a specialized equipment sales, rental & maintenance facility approximately 15,000 sf± and corporate office approximately 4,000 sf±.

The project will be accessed from a relocated driveway off of southbound State Route 29 also known as Broadway Street.

SANITARY SEWER

The existing 10" sanitary sewer which is in a 20' existing easement on the west side of the project will serve this project with no offsite improvements required.

WATER

At the request of City of American Canyon Water Department a 12" public water main will be installed at the expense of City of American Canyon in the existing 20' easement on the west side of the project. The new 12" public water main will connect to existing 12" water main on Green Valley Road. A new 20' easement is being proposed along North property line for a 12" water main from Route 29. The new water mains will connect to the existing 14" water main in Route 29. One fire hydrant will be installed on the project site.

GRADING & DRAINAGE

Grading will consist primarily of lime treating the existing soils. The site as currently designed will result in approximately 2,000 cubic yards of material being moved around the site with approximately 500 cubic yards of excess. It is anticipated that the final design will result in a balanced site with no import or export other than clearing and grubbing material.

Currently storm drainage is carried overland to the northwest corner of the parcel where there is a 20" reinforced concrete pipe under the railroad tracks. There is also a swale that runs parallel to the tracks to the northwest which connects to 30" and 36" culverts under the tracks. This project will not change the existing offsite flow patterns. The storm drainage system will collect onsite runoff in an underground detention system and carry it through a onsite storm water treatment system to the northwest corner of the parcel at which point the flow will be carried through the existing 20" culvert under the tracks. Any excess flow would enter the existing swale and be carried to the 30" and 36" culverts.

ARCHITECTURAL PROJECT STATEMENT

The building is comprised of two main masses. The front portion of the building is a two story office building in support of the back maintenance portion of the building. The maintenance building height is a function of a crane in the service bays that require 30' high of clearance.



ENGINEERS
—
SURVEYORS
—
INSPECTORS

The office portion of the building is shifted south of the rear maintenance portion to break up the mass of the building, and to provide additional screening for the service bay doors from Broadway.

The office is broken into two masses separated by the entry on the first floor and second floor balcony. Behind the roof of the balcony is a mechanical well. The two main masses have a sloped hip roof to provide visual interest and in the foreground to screen the mass of the rear portion of the building.

The office has a wainscot of stone with stucco on the rest of the wall. There is a wood trellis above the first floor windows and a wood cornice at the eave line to soften up the elevations.

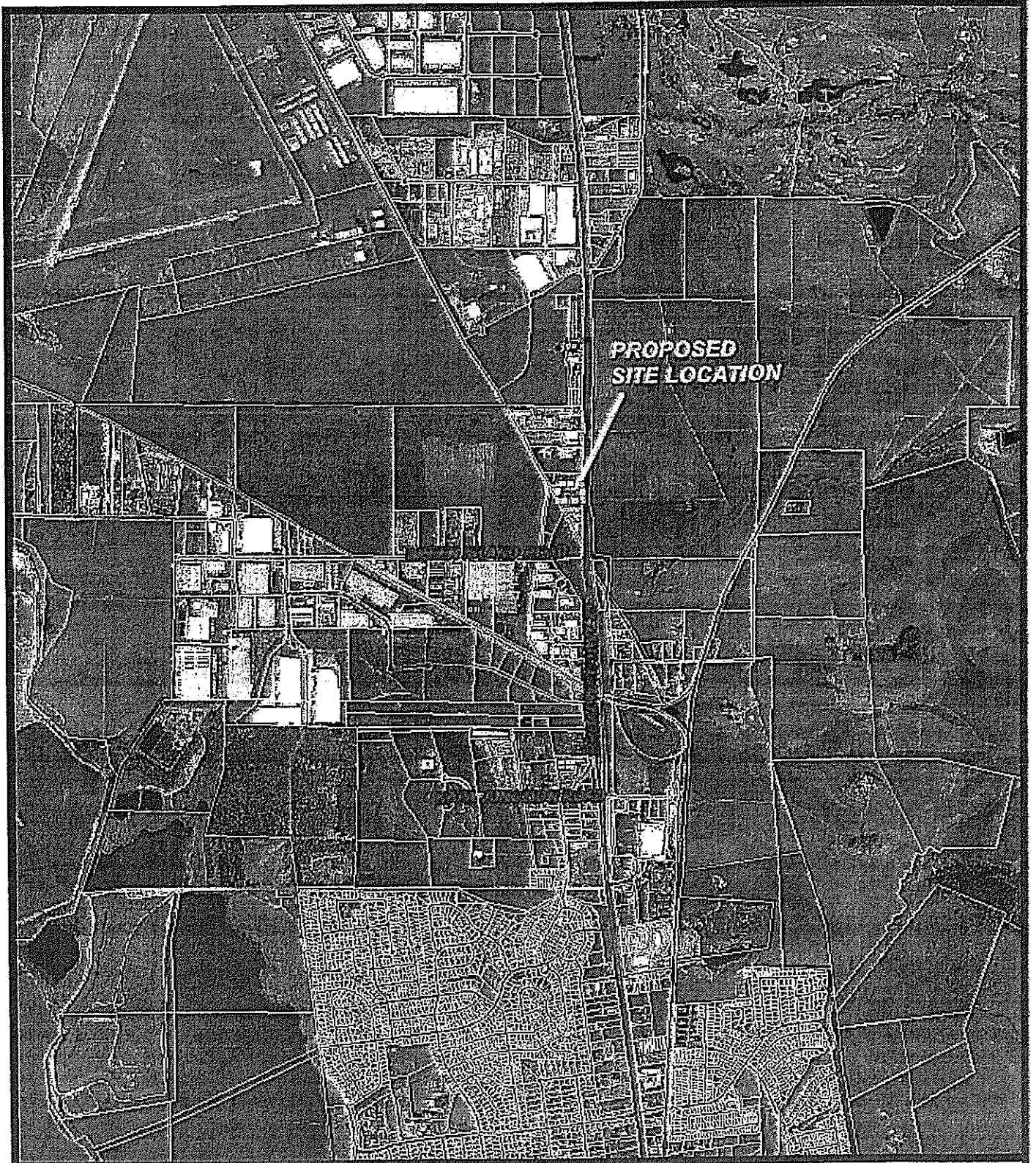
To the north of the office building is a low wall with a patio for employees outside the lunch room.

The rear building has a non-reflective, cool metal roof with a front and rear parapet to provide visual interest and help set the stage for the building in front.

There is an 8' high concrete block wall with intermittent accent bands in the block course. The block wall has two functions. One is to protect the building for maintenance equipment, and two is to give a visual break of the vertical mass.

The buildings walls are made of insulated textured metal panels.





**PROPOSED
SITE LOCATION**



NOT TO SCALE

**CITY OF AMERICAN CANYON
POWERSCREEN FACILITY
-APRIL 2008-**

