

- EROSION CONTROL PLAN NOTES**
1. GRADING ON THE SITE WILL BE LIMITED TO THE AREA OF EXCAVATION SHOWN ON THE PLAN.
 2. SILT FENCE OR STRAW BALE SEDIMENT BARRIERS WILL BE INSTALLED PRIOR TO ANY GRADING ON THE SITE AND WILL BE OPERABLE DURING RAINY WEATHER. DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15, PERIODIC INSPECTIONS AND MAINTENANCE OF EROSION CONTROL MEASURES WILL BE REQUIRED UNTIL VEGETATION IS FULLY RESTORED.
 3. ALL MOVEMENT OF EARTH SHALL COMPLY WITH NAPA COUNTY SPECIFICATIONS, AND THE GRADING AND DRAINAGE PLAN SHALL BE STRICTLY ADHERED TO.
 4. CHANGES TO THIS GRADING AND DRAINAGE PLAN TO MEET FIELD CONDITIONS WILL BE MADE ONLY WITH THE APPROVAL OF THE COUNTY INSPECTOR AND THE CIVIL ENGINEER.
 5. ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE WILL BE MAINTAINED SO THAT A MINIMUM OF SEDIMENT-LADEN RUNOFF LEAVES THE SITE.
 6. THE CONTRACTOR WILL INFORM ALL CONSTRUCTION SITE WORKERS ABOUT THE MAJOR PROVISIONS OF THIS PLAN PERTAINING TO EROSION AND SEDIMENT CONTROL, AND SEEK THEIR COOPERATION IN AVOIDING THE DISTURBANCE OF ALL EROSION CONTROL MEASURES.
 7. THE SOIL IS COMPOSED OF SOIL TYPE 136(FELTON GRAVELY LOAM 5-50% SLOPE) AND SOIL TYPE 157 (LODO-MAYMEN-FELTON ASSOCIATION 5-50% SLOPE) AS SHOWN ON SOIL SURVEY OF NAPA COUNTY, CALIFORNIA, DATED AUGUST 1978
 8. CONTOUR INTERVAL FOR THE SITE PLAN IS 5 FOOT.
- MAINTENANCE NOTES**
1. ALL SEDIMENT BARRIERS WILL BE INSPECTED AND REPAIRED AFTER EACH STORM, IN ADDITION AT THE END OF EACH WORKING DAY DURING THE RAINY SEASON (OCTOBER 15 TO APRIL 15).
 2. SEEDED AREAS WILL BE REPAIRED, RESEEDED AND MULCHED AS SOON AS POSSIBLE AFTER BEING DAMAGED.
- SEEDING SPECIFICATIONS AND SCHEDULES**
1. ALL GRADED OR DISTURBED AREAS SHALL BE SEEDED AS FOLLOWS:

INTERIM MEASURES: SPREAD STRAW MULCH OVER ALL EXPOSED EARTH SURFACES WHEN CHANCE OF RAIN IS OVER 70% AS DETERMINED BY THE NATIONAL WEATHER BUREAU, PER APPLICATION SCHEDULE.

WINTERIZING MEASURES: PLACE STRAW BALE DIKES AS SHOWN ON SITE PLAN PRIOR TO WINTER RAINS & NO LATER THAN NOV. 30. COVER NEWLY SEEDED AREAS WITH STRAW MULCH. CALL FOR INSPECTION TO CONFIRM WINTERIZING OF SITE. INSTALL VELOCITY CHECK DAMS AND WATER BARS PRIOR TO OCT. 7 th. FINISH WORK AT COMPLETION OF PROJECT.
 2. THE SEED, FERTILIZER AND MULCH MIXTURE WILL BE APPLIED HYDRAULICALLY OR BY HAND AT THE RATES SPECIFIED BELOW:

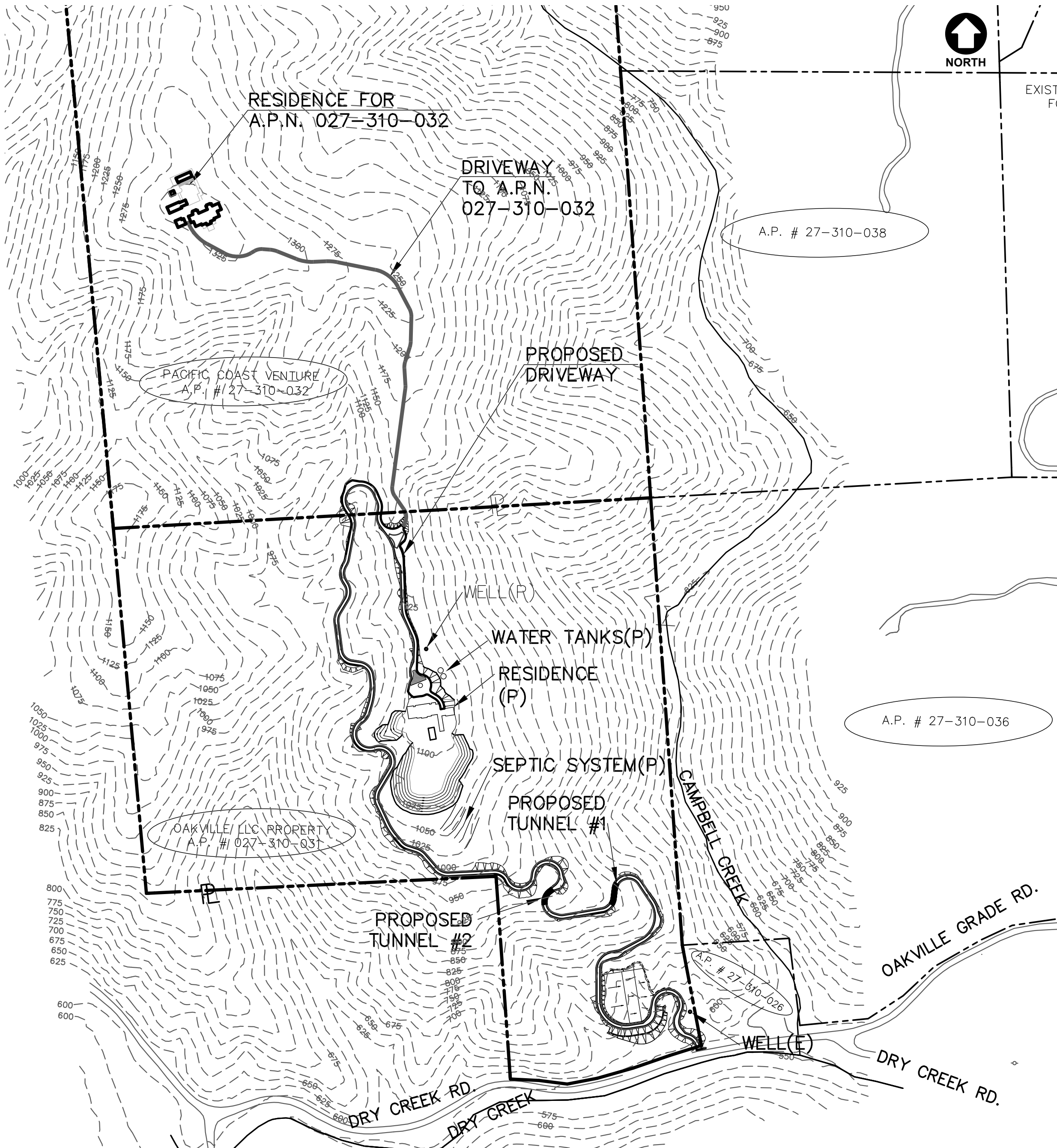
MATERIAL POUNDS PER ACRE
NAPA EROSION CONTROL MIX (NAPA VALLEY AGG. SUPPLY) 40
FERTILIZER (16-20-0) 200
STRAW MULCH 3000-4000

SEED SHALL NOT REMAIN IN THE SLURRY LONGER THAN 30 MINUTES. FERTILIZERS SHALL NOT REMAIN IN THE SLURRY LONGER THAN 2 HOURS. AREAS TO BE HYDROSEED SHALL BE SCARIFIED TO A DEPTH OF 4" TO 8" AND DRESSED TO PROVIDE A REASONABLY SMOOTH FIRM SURFACE. THE SLURRY SHALL BE APPLIED IN A UNIFORM MANNER AT A RATE THAT IS NON-EROSIVE AND MINIMIZES RUNOFF.

- GRADING NOTES**
1. SITE SHALL BE VISUALLY INSPECTED BY THE CONTRACTOR TO DETERMINE THE EXTENT OF CLEARING, GRUBBING AND GRADING WORK TO BE DONE PRIOR TO BEGINNING CONSTRUCTION.
 2. THE ELEVATIONS GIVEN ON THIS PLAN ARE APPROXIMATE ONLY, AND ARE FOR THE ROUGH LAYOUT OF DRIVEWAY AND DRAINAGE IMPROVEMENTS. SOIL REQUIREMENTS PERTAINING TO COMPACTION, CONSOLIDATION, CONSTRUCTION, AND STABILITY ARE PER SOILS ENGINEERS RECOMMENDATIONS. DISCREPANCIES BETWEEN THE SOILS ENGINEERS RECOMMENDATIONS AND THESE PLANS SHOULD BE BROUGHT TO THE ATTENTIONS OF THE PROJECT ENGINEER FOR CLARIFICATION IMMEDIATELY. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL TOPS AND TOES OF SLOPES AND RETAINING WALLS IN THE FIELD. IT MAY BE NECESSARY TO INSTALL ADDITIONAL RETAINING WALLS TO CATCH EXISTING SLOPES AND AVOID EXCESS GRADING BASED ON SITE CONDITIONS FOUND. RETAINING WALLS ARE TO BE DESIGNED BY OTHERS AND APPROVED BY THE NAPA COUNTY BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
 3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CONSISTENT GEOTECHNICAL REVIEW AND ENGINEERING INSPECTIONS DURING THE CONSTRUCTION AND PLACEMENT OF THE ROAD & FILL AREAS TO ENSURE STABILITY OF CONSTRUCTION. IT IS THE OWNER & CONTRACTORS RESPONSIBILITY TO HAVE WRITTEN VERIFICATION OF ALL INSPECTIONS BY THE SOILS ENGINEER TO CONFIRM THAT CUTS, FILLS, AND RETAINING WALLS MEET ENGINEERS REQUIREMENTS.
 4. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. IF THERE IS A CONFLICT, NOTIFY THE ENGINEER AND OBTAIN A CLARIFICATION. NO DEVIATIONS OR SUBSTITUTIONS SHALL BE ALLOWED WITHOUT OBTAINING WRITTEN APPROVAL FROM THE ENGINEER.
 5. SHOULD ANY CONTRACTOR OR SUBCONTRACTOR FIND ANY DEFICIENCIES, ERRORS, CONFLICTS OR OMISSIONS IN THESE PLANS AND SPECIFICATIONS OR SHOULD HE BE IN DOUBT AS TO THEIR MEANING OR INTENT, HE SHALL NOTIFY THE ENGINEER FOR A WRITTEN CLARIFICATION, ADDENDUM, ETC. SHOULD HE FAIL TO DO SO BEFORE SUBMITTING A PROPOSAL, HE CANNOT CLAIM ADDITIONAL COMPENSATION FROM OWNER FOR WORK REQUIRED TO COMPLETE THE WORK.
 6. CONTRACTOR WILL LEAVE THE CONSTRUCTION AREA IN AN ORDERLY CONDITION AT THE END OF EACH DAY.
 7. ALL WORK WILL BE CONDUCTED IN CONFORMANCE WITH CAL-OSHA REQUIREMENTS.
 8. CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (U.S.A.) AT 800-642-2444 PRIOR TO START OF ANY CONSTRUCTION.
 9. ALL MATERIAL WILL BE FURNISHED AND INSTALLED BY CONTRACTOR UNLESS OTHERWISE NOTED.
 10. CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT AND DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SURFCE WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL. IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE COUNTY INSPECTOR, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
 11. THE EARTH WORK DESIGNATED ON THESE PLANS IS FOR THE EXCAVATION OF A BUILDING SITE, INSTALLING A DRIVEWAY, DRAINAGE SYSTEMS, AND APPURTENANT REQUIREMENTS. ALL EXCAVATED SOILS ARE TO BE PROTECTED FROM EROSION AS SHOWN ON PLANS. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL SPOILS IN A MANNER APPROVED BY THE COUNTY OF NAPA.
 12. OWNER TO ACQUIRE A ROADWAY EASEMENT OVER PROPERTIES NOT OWNED BY OWNER PRIOR TO BEGINNING CONSTRUCTION, ON ANY ADJOINING PROPERTY.

GRADING & DRAINAGE PLAN

FOR
THE PROPOSED RESIDENCE
OF THE
OAKVILLE LLC
CAMPBELL CREEK RANCH – PARCEL #7 A.P.N. 027-310-031



PLOT PLAN
SCALE: 1" = 300'

LEGEND

P	PROPERTY LINE
C	CENTER LINE
F	FLOW LINE
F.G.	FINISH GRADE
O.C.	ON CENTERS
R/W	RIGHT OF WAY
STA	STATION
RSP	ROCK SLOPE PROTECTION
U.O.N.	UNLESS OTHERWISE NOTED
E.P.	EDGE OF PAVEMENT
O.G.	ORIGINAL GROUND
DWY	DRIVEWAY
(E)	EXISTING
(P)	PROPOSED
H.P.	HIGH POINT
L.P.	LOW POINT
DWG	DRAWING
ELEV.	ELEVATION

SHEET INDEX

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4.....	SITE PLAN
5.....	STRUCTURAL CROSS SECTIONS
6.....	PLAN AND PROFILE
7.....	PLAN AND PROFILE
8.....	PLAN AND PROFILE
9.....	PLAN AND PROFILE
10.....	MISCELLANEOUS DETAILS
11.....	ROAD CROSS SECTIONS
12.....	ROAD CROSS SECTIONS
13.....	ROAD CROSS SECTIONS
14.....	ROAD CROSS SECTIONS
15.....	ROAD CROSS SECTIONS
16.....	VEGETATION PLAN
17.....	RETAINING WALL DETAIL
18.....	NOTES AND DETAILS
19.....	CONSTRUCTION METHOD PLAN
20.....	WINTERIZATION SCHEDULE
21.....	DRIVEWAY TUNNEL PLAN
22.....	STORM WATER MANAGEMENT
23.....	C.D.F. INFORMATION SHEET

DESIGNED BY: RANDAL E. BRYANT
R.C.E. 45115 (EXP. 9/30/2008)
DATE: _____
APPROVED BY: _____
DATE: _____

TITLE

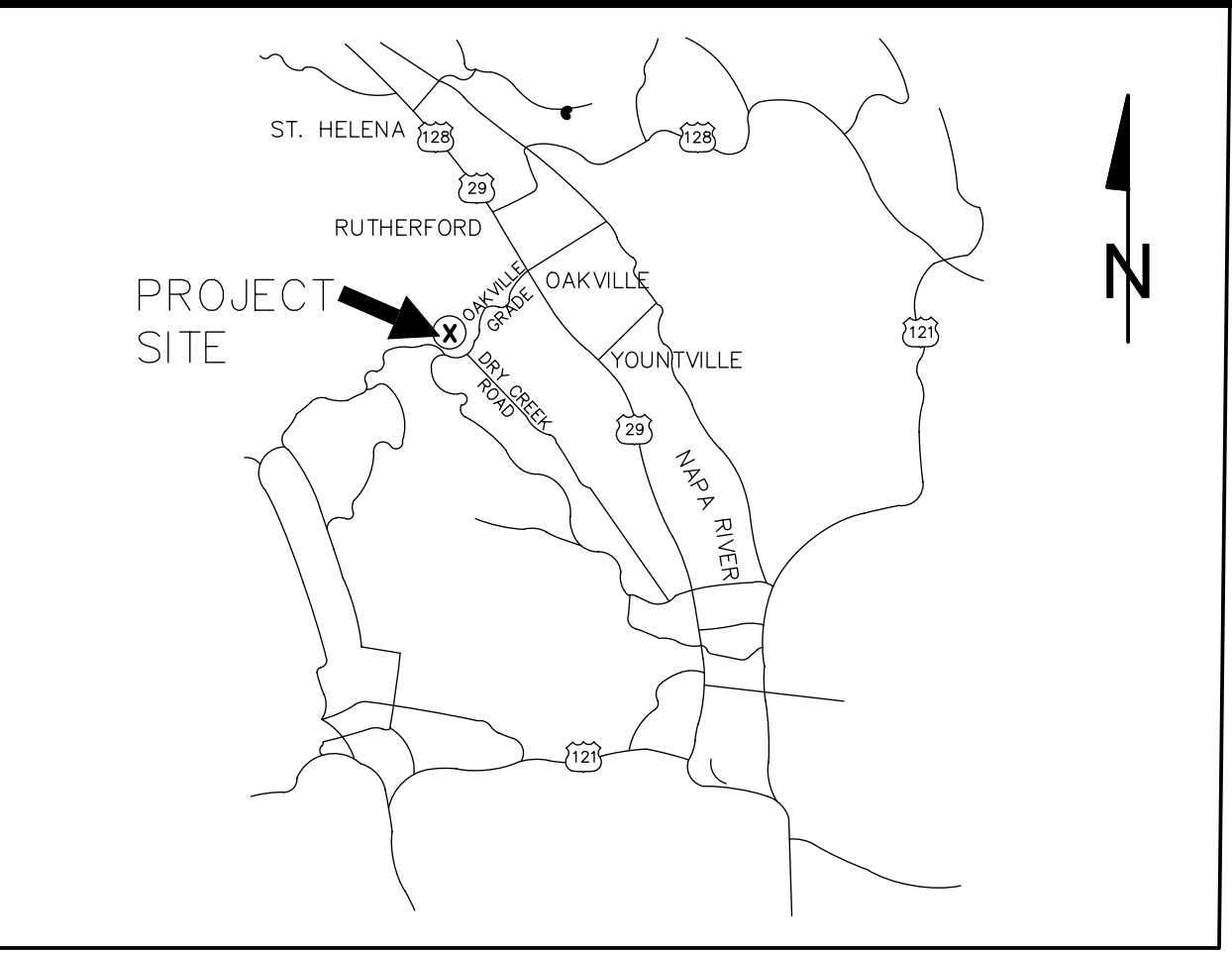
JOB NO: 2007-111G
DATE: 07/21/1999
SHEET NO: 1
OF 23 SHEETS

R.E.B. ENGINEERING, INC.	DESIGNED BY: R.E.B.								
	DRAFTED BY: B.E.C.								
	PROJECT NO: 2007-111G	2-25-08	ENTIRE SHEET.	REB					
	DATE: 07/21/1999	6-12-03	REALIGN DWY & SHT INDEX	REB					
	COMMENTS:	4-25-00	PLOT PLAN FOR DWY REALIGNMENT	REB					
	REV. NO.	REV. DATE	REVISIONS	BY	APPD.	APPD. DATE			

R.E.B. ENGINEERING, INC.
CIVIL & STRUCTURAL ENGINEERING, PLANNING, & SURVEYING
345 La Fata St, Suite B • P.O. Box 113
Saint Helena, CA 94574
tel: (707) 963-8638 fax: (707) 963-2346

RESIDENCE FOR: OAKVILLE LLC
CAMPBELL CREEK RANCH - PARCEL #7
A.P.N. 027-310-031
MAILING ADDRESS: 3082 White Sulphur Springs Road
ST. HELENA, CA 94574

TITLE
JOB NO: 2007-111G
DATE: 07/21/1999
SHEET NO: 1
OF 23 SHEETS



VICINITY MAP
N.T.S.

HORIZONTAL & VERTICAL DATUM:

THIS MAP IS BASED ON FIELD SURVEY INFORMATION PERFORMED BY *R.E.B. ENGINEERING, INC.* IN JUNE & JULY OF 2005. THE HORIZONTAL COORDINATES FOR THIS MAP ARE BASED ON NAD83-STATE PLANE ZONE II & THE NAVD88 FOR THE VERTICAL DATUM (SURVEY DATA POST-PROCESSED USING N.G.S. O.P.U.S.). CONTOURS ARE SHOWN EVERY 2 FEET IN AREAS SURVEYED BY *R.E.B. ENGINEERING, INC.* TOPOGRAPHIC MAPPING FOR AREAS NOT SURVEYED BY *R.E.B. ENGINEERING, INC.* WAS CREATED USING L.I.D.A.R. DATA FROM THE NAPA COUNTY 2002/2003 ORTHOPHOTOGRAPHY PROJECT, AND CONFORMS TO NATIONAL MAP ACCURACY STANDARDS AT A SCALE OF 1" = 200'.

PROPERTY LINES:

THE PROPERTY LINES SHOWN HEREON ARE BASED ON PRELIMINARY SURVEY DATA, AND ARE FOR REFERENCE ONLY. THIS IS NOT A BOUNDARY SURVEY MAP AND SHOULD NOT BE USED AS SUCH.

UNAUTHORIZED CHANGES & USES:

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

PROJECT INFORMATION:	
OWNER(S):	ROB YEAKY PACIFIC COAST VENTURE , CORP 3082 WHITE SULPHUR SPRING ROAD ST. HELENA, CA 94574
PLANNING CONSULTANT:	ALLAN E. MOORE, ESQ. GAGEN MCCOY CORPORATION 279 FRONT STREET DANVILLE, CA 94526 (925) 837-0585
CIVIL ENGINEER:	RANDAL E. BRYANT, P.E., P.L.S. R.E.B. ENGINEERING, INC. P.O. BOX 113 ST. HELENA, CA 94574 (707) 963-8638
SOILS ENGINEER:	PJC & ASSOCIATES, INC SONOMA BRANCH 141 EAST NAPA STREET SONOMA, CA 95476 (707) 935-3747 JOB #549.01 DATE: MARCH 29, 2007
LANDSCAPE ARCHITECT:	JONATHAN PLANT & ASSOCIATES, INC 1230 PINE STREET ST. HELENA, CA 94574 (707) 963-8313
BIOLOGICAL & BOTANICAL CONSALTANT:	STEVEN RAE MUSCI. 1130 CAYETANO COURT NAPA, CA 94559 (707) 257-2487



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R.E.B.
ENGINEERING, INC.

DESIGNED BY: **R.E.B.**
DRAFTED BY: **B.E.C.**
PROJECT NO: **2007-111G**
DATE: **07/21/1999**
COMMENTS:

2-25-08	NO CHANGE ON THIS SHEET	T.T.	
6-12-03	CADD FILE	REB	
4-25-00	NO CHANGES THIS SHEET	REB	4-25-00
REV. NO.	REV. DATE	BY	APPD. DATE
	REVISIONS		

R.E.B. ENGINEERING, INC.
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ENGINEERING, PLANNING, & SURVEYING
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A.P.N. 027-310-031
MAILING ADDRESS: 3082 White Sulphur Springs Road
ST. HELENA, CA 94574

SITE PLAN

JOB NO: **2007-111G**
DATE: **07/21/1999**
SHEET NO: **3**
OF **23** SHEETS

SPECIAL NOTES

- A) SEED AND MULCH ALL EXPOSED EARTH SURFACES PER THE SCHEDULE ON SHEET 1 AND REPEAT UNTIL 80% RE-VEGETATED UNLESS OTHERWISE NOTED.
- B) EXISTING VEGETATION AROUND THE BUILDING SITE SHALL BE HAND CUT BACK TO A 50 FOOT HORIZONTAL DISTANCE AND THE DEAD WOOD REMOVED TO REDUCE THE FIRE HAZARD RISK. THE PROPERTY OWNER SHOULD MAINTAIN A FIRE BREAK AROUND THE RESIDENCE WHICH MEETS OR EXCEEDS NAPA COUNTY FIRE REQUIREMENTS AND REGULATIONS.



PROPOSED WELL

14' PAVED DWY.
(SEE SHEETS 6-9)

TOP OF CUT(TYP)

40 FOOT CIRCLE
PROPOSED PAVEMENT (TYP)

10,000 GALLON WATER
TANKS BTM. TANK
ELEV.=1113.0'±

FIRE TRUCK
TURN AROUND

FIRE HYDRANT

INSTALL 6"x18" ROCK
RIP RAP ENERGY
DISSIPATOR @ OUTFALL

ROCK LINED SWALE
@ S = 0.02 MIN.

DAYLIGHT CUT TO
EXISTING GRADE
(TYP)

PROPOSED
MAIN RESIDENCE
COMPLEX
(BY OTHERS)

PROPOSED RESIDENCE COMPLEX
PAD ELEV.= 1105.0

SEE SHEET 5 FOR PAD SECTIONS AND SEE
SHEET 4 FOR ADDITIONAL SITE IMPROVEMENTS

PROPOSED
POOL
(BY OTHERS)

DAYLIGHT CUT TO
EXISTING GRADE (TYP)

INSTALL SILT FENCE AT
BELOW PROJECT SITE (TYP)

INSTALL SILT FENCE
BELOW SPOIL SITE

EARTH SPOILS AREA
(APPROX. FG. CONTOURS SHOWN)

DAYLIGHT CUT TO
EXISTING GRADE
(TYP)

FILL SLOPE

14' PAVED DWY.
(SEE SHEETS 6-9)

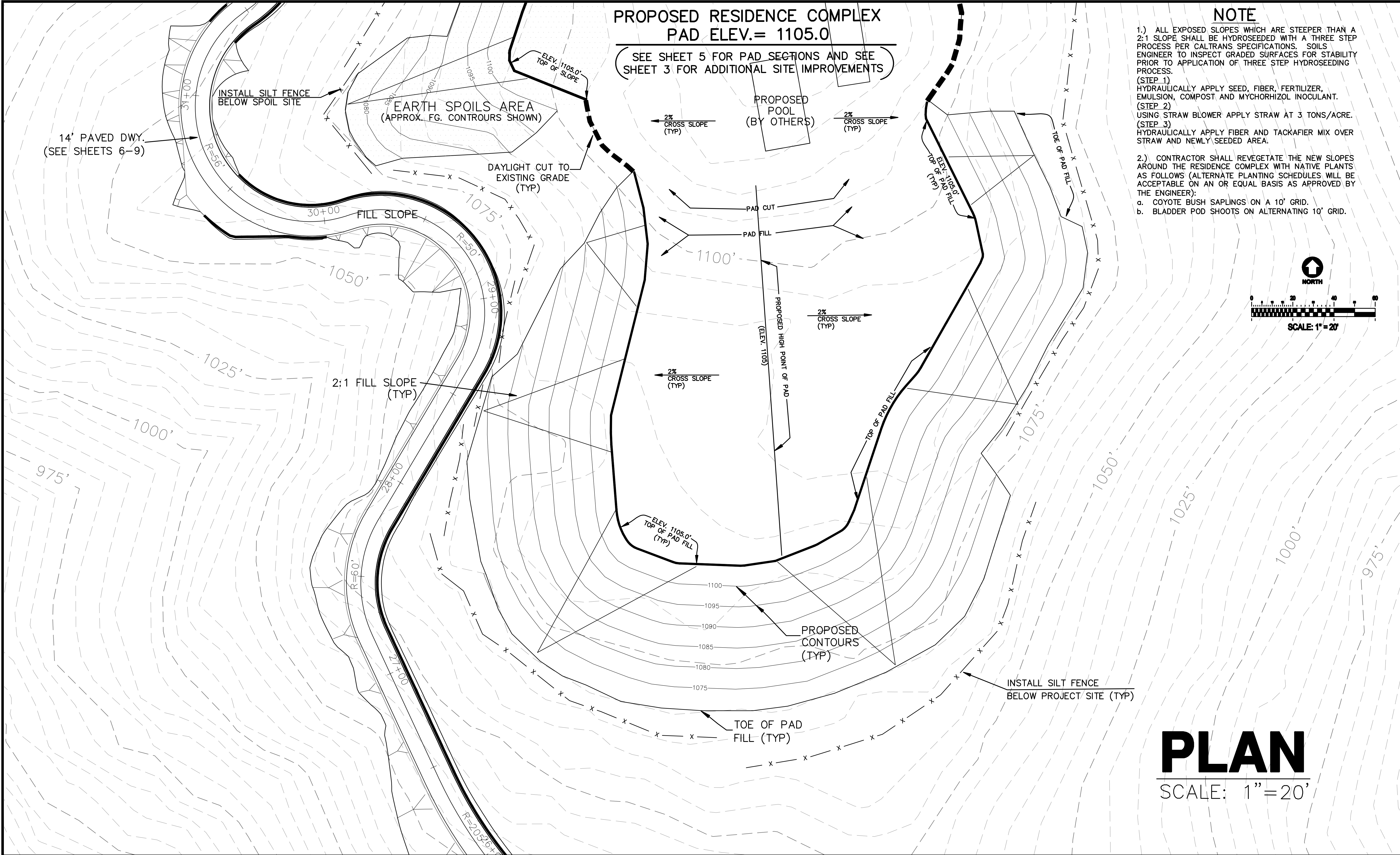
PLAN

SCALE: 1"=20'

NOTE

- 1.) ALL EXPOSED SLOPES WHICH ARE STEEPER THAN A 2:1 SLOPE SHALL BE HYDROSEEDING WITH A THREE STEP PROCESS PER CALTRANS SPECIFICATIONS. SOILS ENGINEER TO INSPECT GRADED SURFACES FOR STABILITY PRIOR TO APPLICATION OF THREE STEP HYDROSEEDING PROCESS.
- (STEP 1)
HYDRAULICALLY APPLY SEED, FIBER, FERTILIZER, EMULSION, COMPOST AND MYCORRHIZOL INOCULANT.
- (STEP 2)
USING STRAW BLOWER APPLY STRAW AT 3 TONS/ACRE.
- (STEP 3)
HYDRAULICALLY APPLY FIBER AND TACKAFIER MIX OVER STRAW AND NEWLY SEEDED AREA.
- 2.) CONTRACTOR SHALL REVEGETATE THE NEW SLOPES AROUND THE RESIDENCE COMPLEX WITH NATIVE PLANTS AS FOLLOWS (ALTERNATE PLANTING SCHEDULES WILL BE ACCEPTABLE ON AN OR EQUAL BASIS AS APPROVED BY THE ENGINEER):
- COYOTE BUSH SAPLINGS ON A 10' GRID.
 - BLADDER POD SHOOTS ON ALTERNATING 10' GRID.

FOR PERMIT ONLY NOT FOR CONSTRUCTION



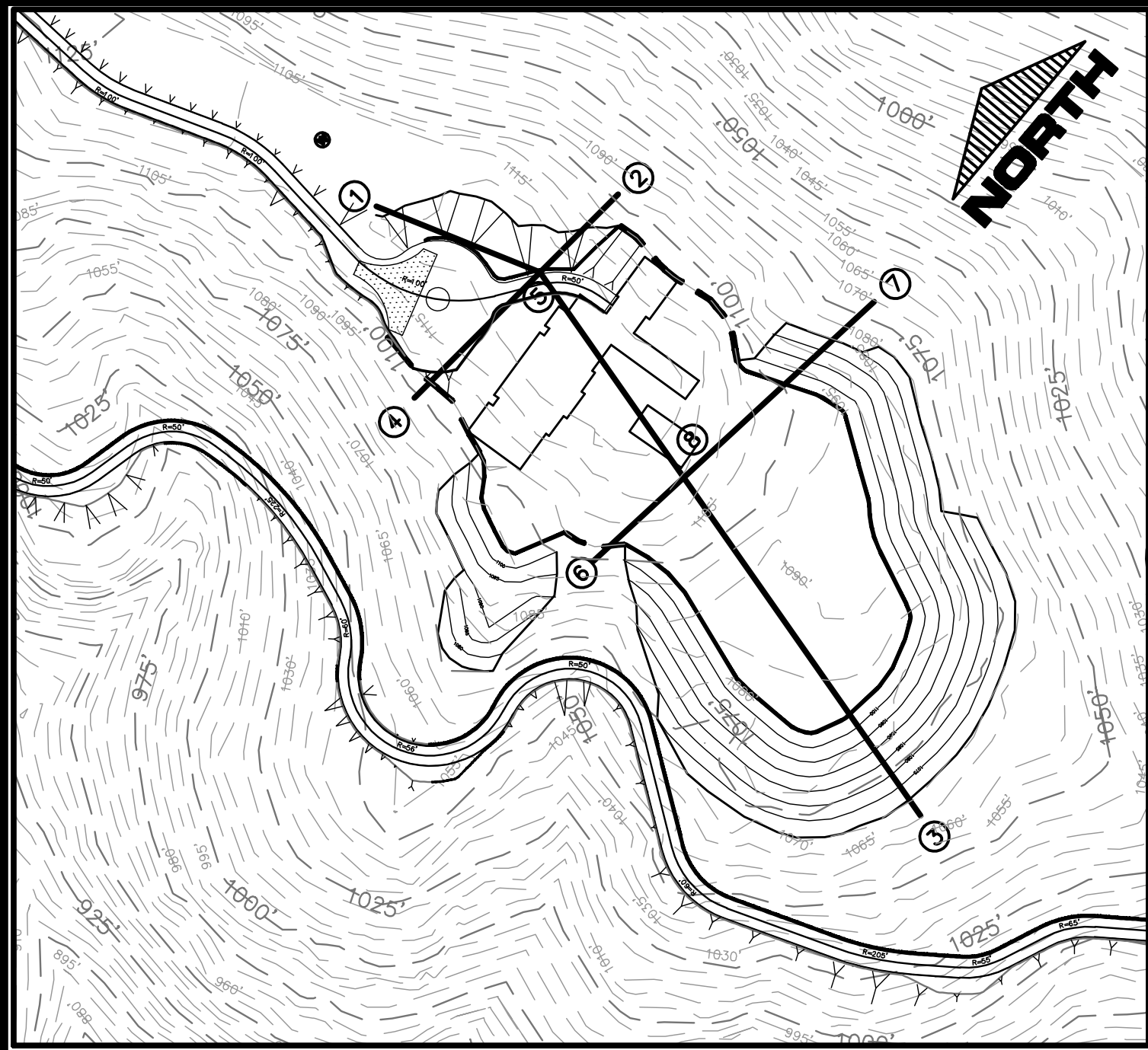
PLAN
SCALE: 1"=20'

NOTE

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a. COYOTE BUSH SAPPLINGS ON A 10' GRID.
b. BLADDER POD SHOOTS ON ALTERNATING 10' GRID.

R.E.B. ENGINEERING, INC.	DESIGNED BY:	R.E.B.						R.E.B. ENGINEERING, INC. CIVIL & STRUCTURAL ENGINEERING, PLANNING, & SURVEYING 345 La Fata St., Suite B • P.O. Box 113 Saint Helena, CA 94574 tel: (707) 963-8638 fax: (707) 963-2346	RESIDENCE FOR: OAKVILLE LLC CAMPBELL CREEK RANCH - PARCEL #7 A.P.N. 027-310-031 MAILING ADDRESS: 3082 White Sulphur Springs Road ST. HELENA, CA 94574	SITE PLAN	JOB NO:	2007-111G
	DRAFTED BY:	B.E.C.					DATE:				07/21/1999	
	PROJECT NO:	2007-111G	2-25-08	NO CHANGE ON THIS SHEET	T.T.		SHEET NO:				4	
	DATE:	07/21/1999	6-12-03	CADD FILE	REB		OF				23	
	COMMENTS:		4-25-00	NO CHANGES THIS SHEET	REB	REB	4-25-00				SHEETS	
	REV. NO.	REV. DATE	REVISIONS	BY	APPD.	APPD. DATE						



PLAN

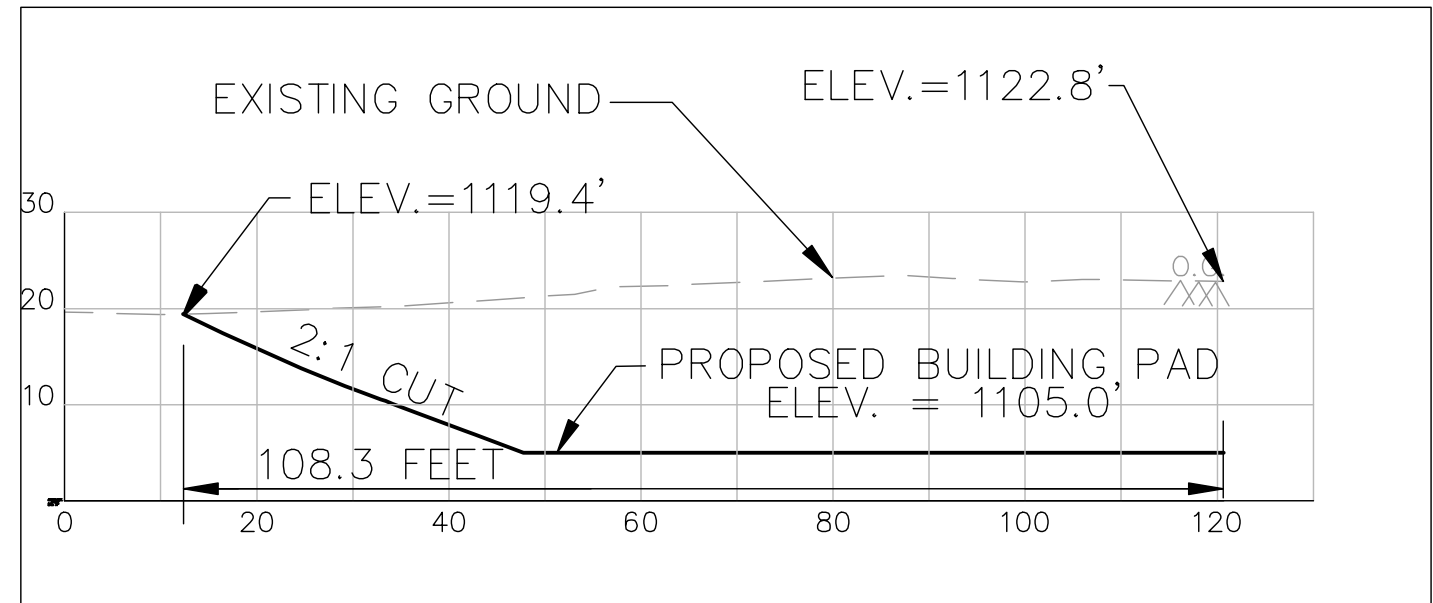
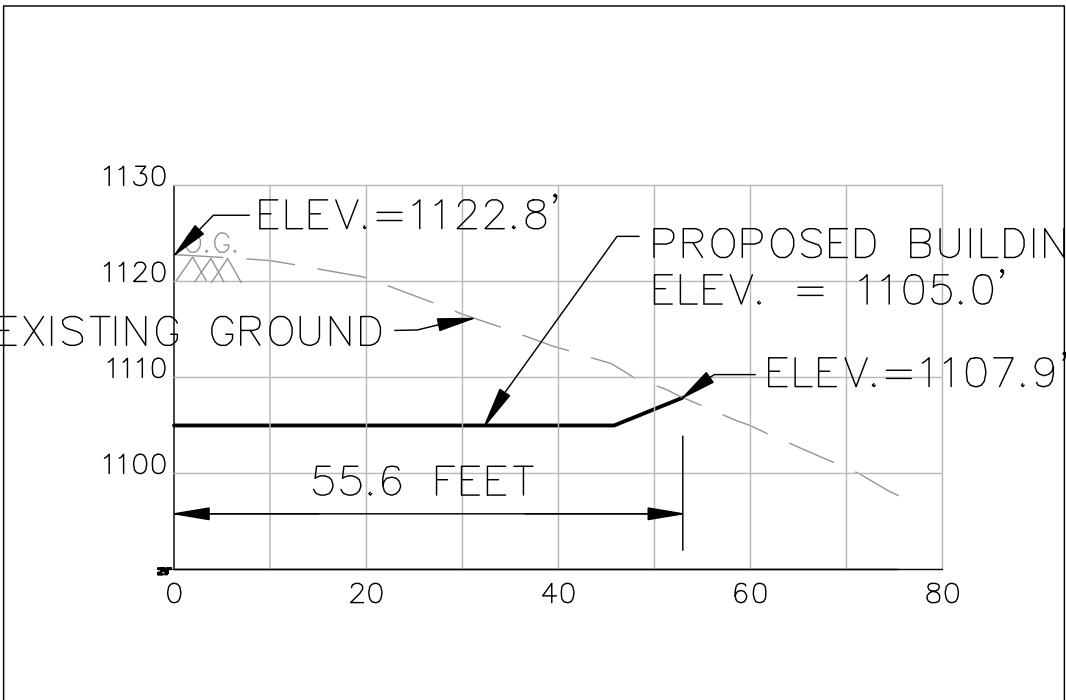
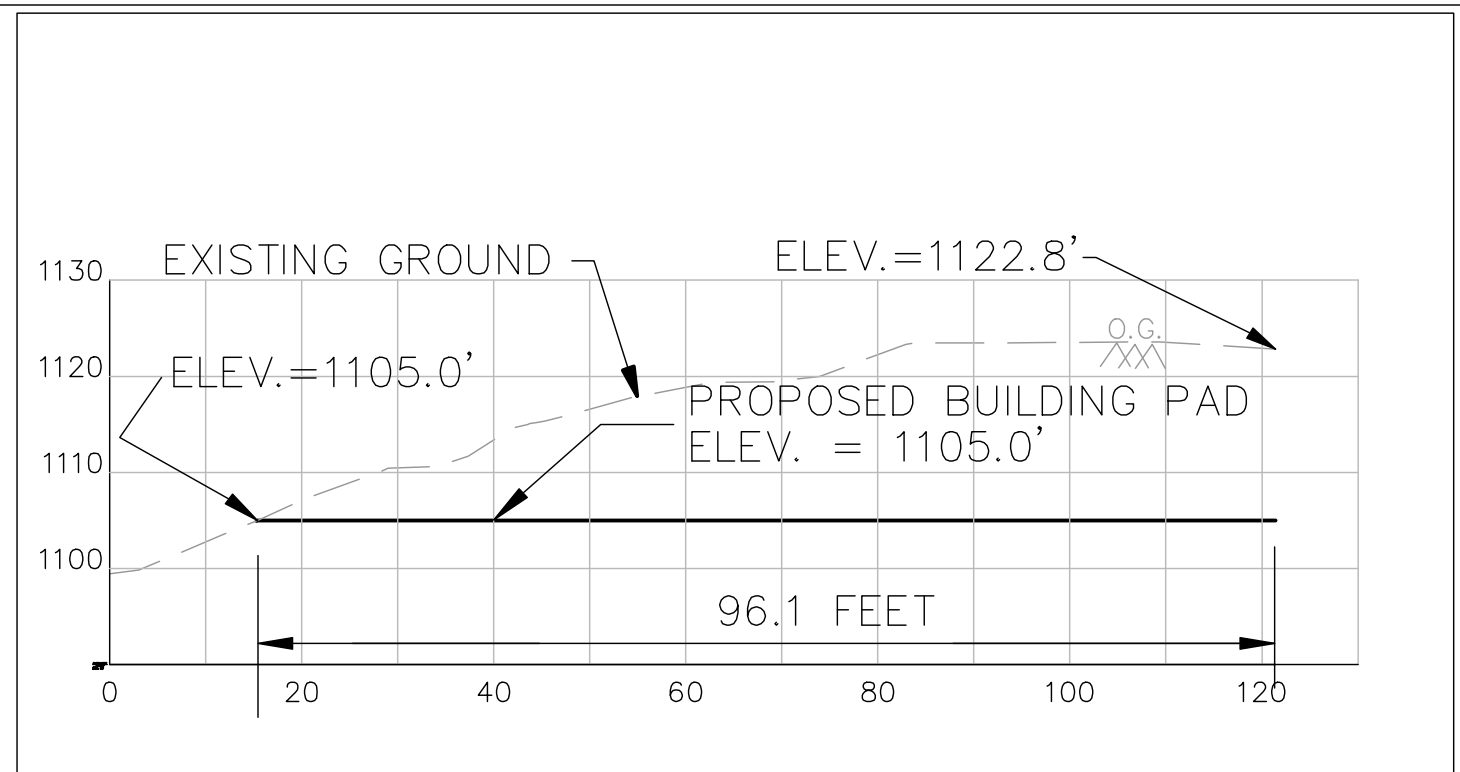
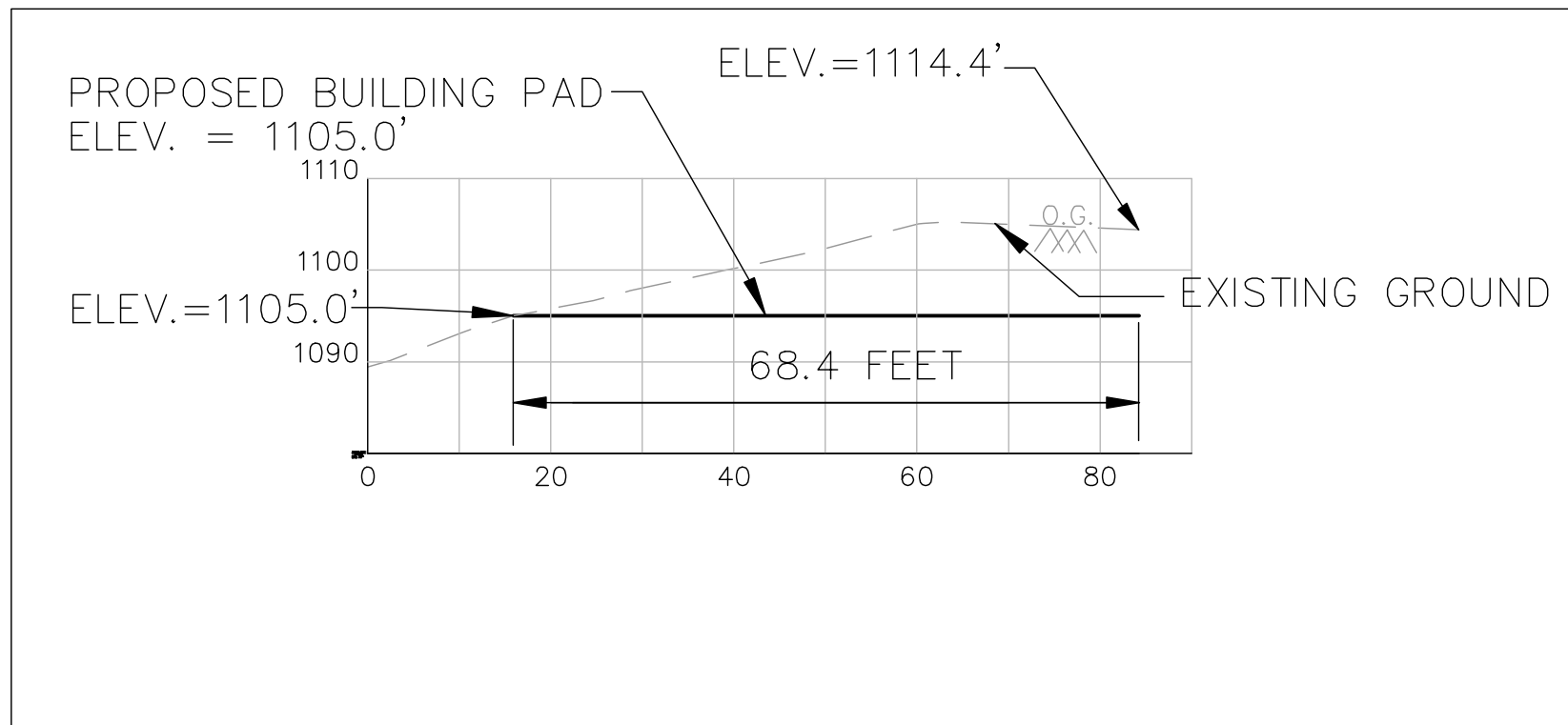
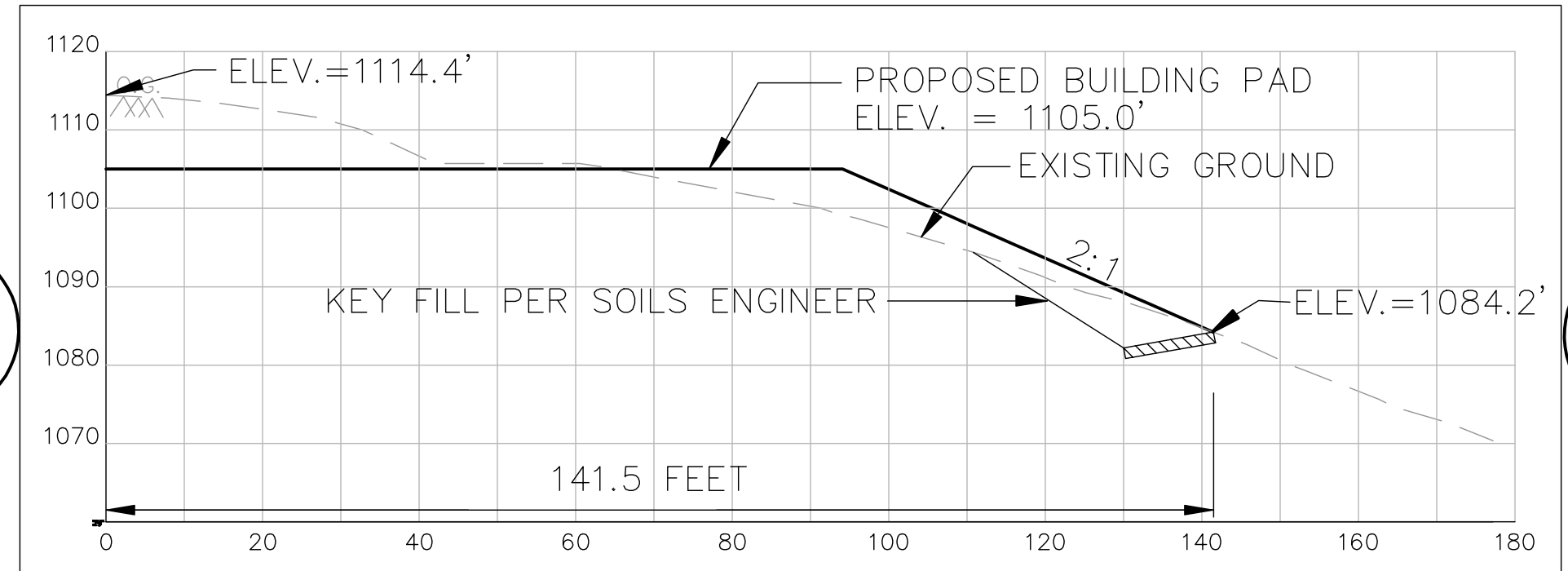
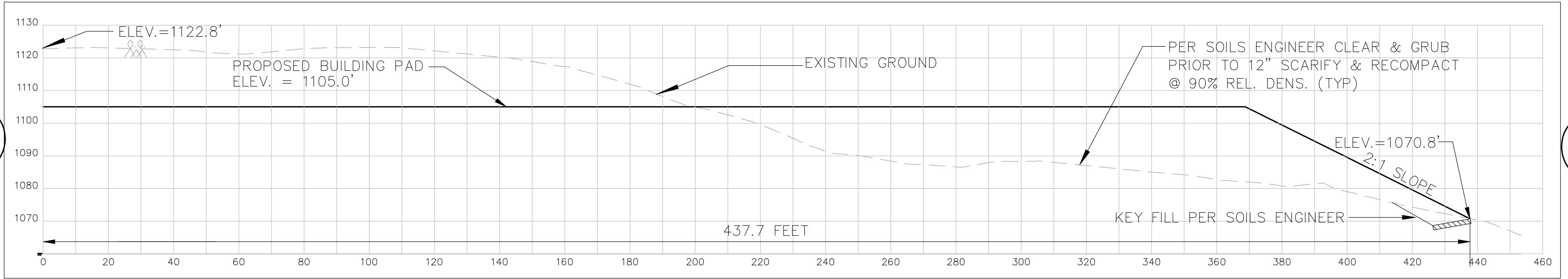
SCALE: 1"=100'

PROPERTY LINES:

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SECTION ① - ⑤ :
SLOPE = $\frac{1122.8' - 1119.4'}{108.3'}$
% SLOPE = 3.2%

SECTION ⑤ - ② :
SLOPE = $\frac{1122.8' - 1107.9'}{52.9'}$
% SLOPE = 28.2%

SECTION ⑤ - ③ :
SLOPE = $\frac{1122.8' - 1070.8'}{437.7'}$
% SLOPE = 11.9%

SECTION ⑥ - ⑧ :
SLOPE = $\frac{1114.4' - 1102.5'}{68.4'}$
% SLOPE = 17.4%

SECTION ④ - ⑤ :
SLOPE = $\frac{1122.8' - 1105.0'}{106.1'}$
% SLOPE = 16.8%

SECTION ⑧ - ⑦ :
SLOPE = $\frac{1114.4' - 1084.2'}{141.5'}$
% SLOPE = 21.4%

SECTION DESC.	LENGTH=L	SLOPE=S	S x L
SECTION ① - ⑤ :	108.3'	3.2%	346.6'
SECTION ⑤ - ③ :	437.7'	11.9%	5,208.6'
SECTION ④ - ⑤ :	106.1'	16.8%	1,782.5'
SECTION ⑤ - ② :	52.9'	28.2%	1,491.8'
SECTION ⑥ - ⑧ :	68.4'	17.4%	1,190.2'
SECTION ⑧ - ⑦ :	141.5'	21.4%	3,028.1'
Σ	$\Sigma L = 914.9'$		$\Sigma LxS = 13,047.8'$
AVERAGE PAD SLOPE = $\frac{\Sigma LxS}{\Sigma L} = \frac{13,047.8'}{914.9'}$			
TOTAL AVERAGE SLOPE = <u>14.3%</u>			

R.E.B.
ENGINEERING, INC.

DESIGNED BY: **R.E.B.**
DRAFTED BY: **B.E.C.**
PROJECT NO: **2007-111G**
DATE: **07/21/1999**
COMMENTS:

2-25-08 NO CHANGE ON THIS SHEET
6-12-03 CADD FILE
4-25-00 NO CHANGES THIS SHEET

T.T.
REB
REB
BY
APPD.
APPD. DATE

R.E.B. ENGINEERING, INC.
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RESIDENCE FOR: OAKVILLE LLC
CAMPBELL CREEK RANCH - PARCEL #7
A.P.N. 027-310-031
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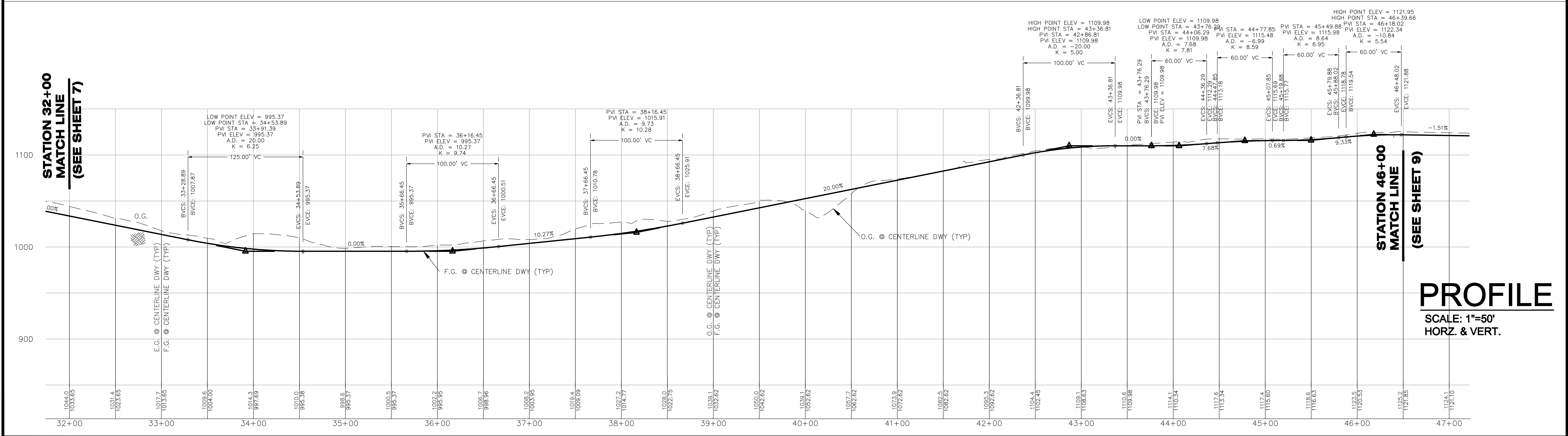
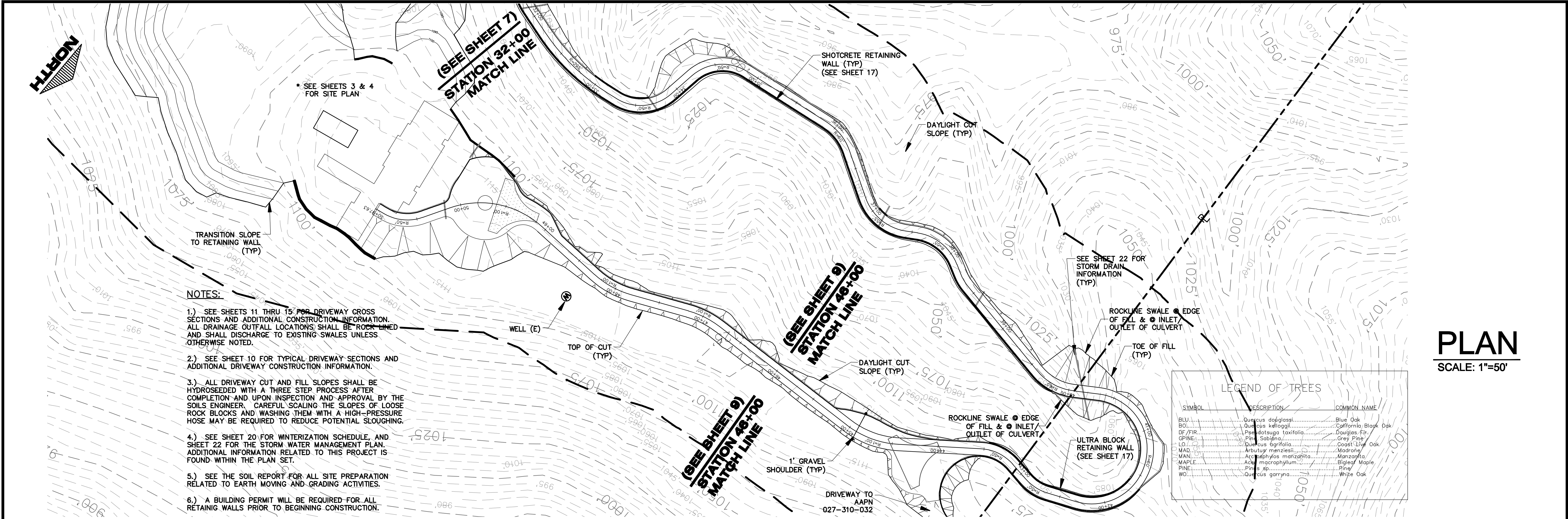
STRUCTURAL
CROSS SECTIONS

JOB NO: **2007-111G**
DATE: **07/21/1999**
SHEET NO: **5**
OF **23** SHEETS

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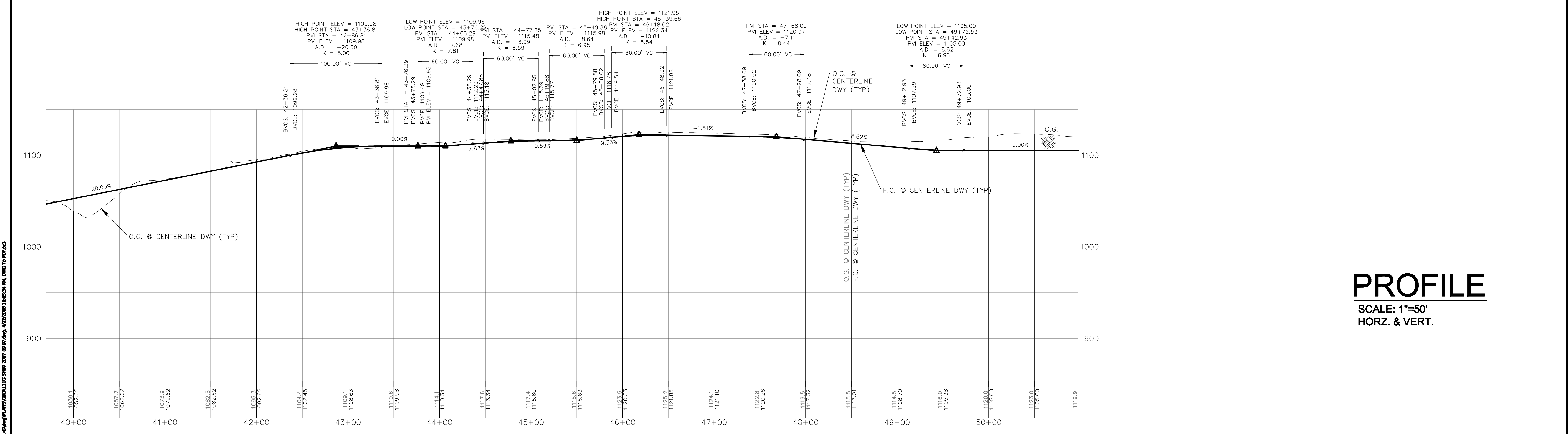
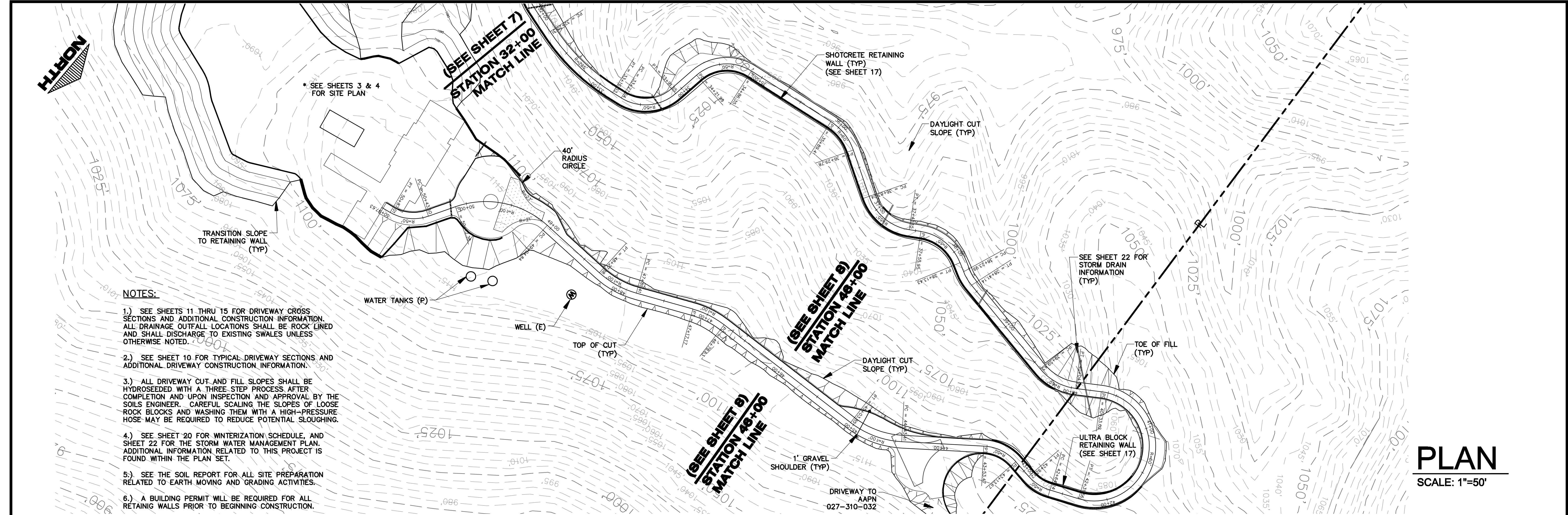
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R.E.B. ENGINEERING, INC.	DESIGNED BY:	R.E.B.								R.E.B. ENGINEERING, INC. CIVIL & STRUCTURAL ENGINEERING, PLANNING, & SURVEYING 345 La Fata St, Suite B • P.O. Box 113 Saint Helena, CA 94574 tel: (707) 963-8638 fax: (707) 963-2346	RESIDENCE FOR: OAKVILLE LLC CAMPBELL CREEK RANCH - PARCEL #7 A.P.N. 027-310-031 MAILING ADDRESS: 3082 White Sulphur Springs Road ST. HELENA, CA 94574	PLAN AND PROFILE	JOB NO: 2007-111G DATE: 07/21/1999 SHEET NO: 8 OF 23 SHEETS
	DRAFTED BY:	B.E.C.											
	PROJECT NO:	2007-111G	2-25-08	ENTIRE SHEET.	REB								
	DATE:	07/21/1999	6-12-03	ENTIRE SHEET.	REB								
	COMMENTS:		4-25-00	ENTIRE SHEET.	REB								
	REV. NO.	REV. DATE	REVISIONS	BY	APPD.	APPD. DATE							

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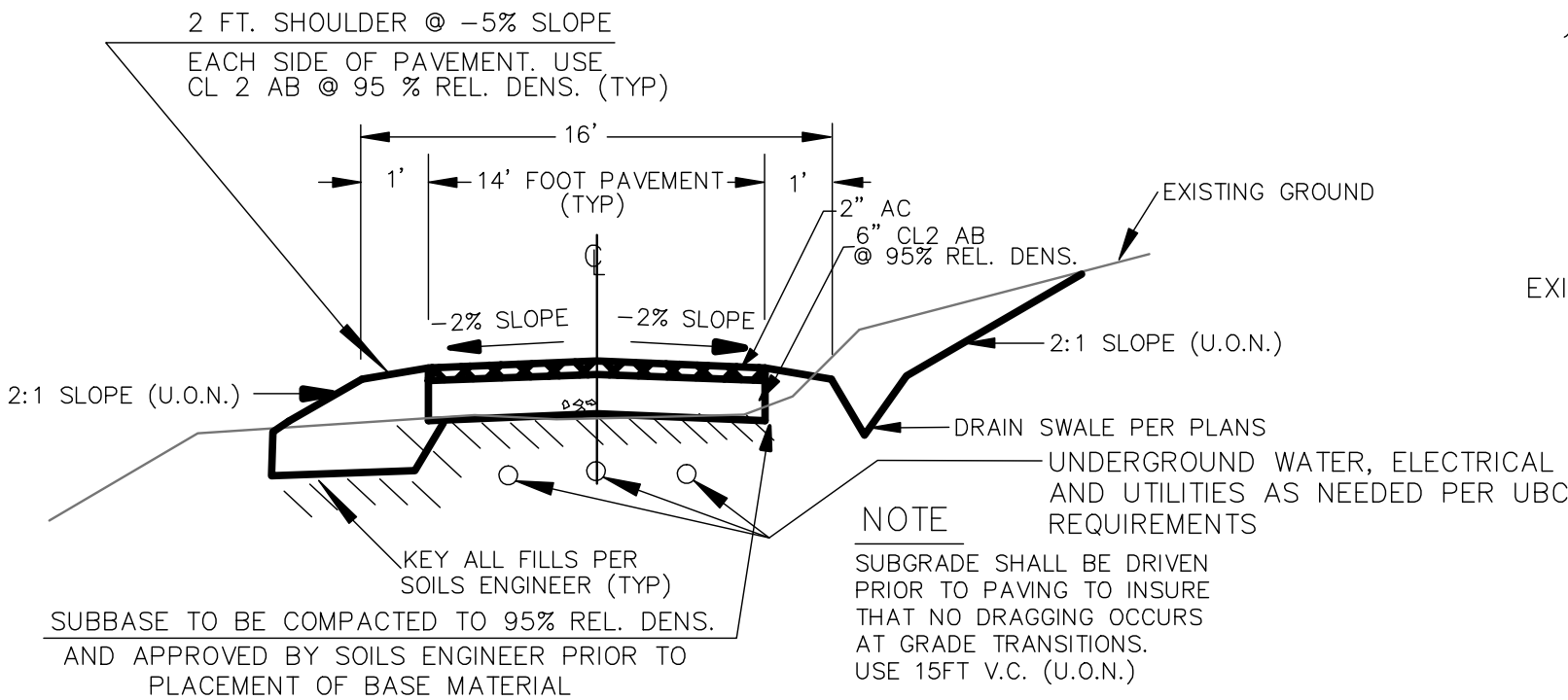


R.E.B. ENGINEERING, INC.	DESIGNED BY:	R.E.B.	<div>2-25-08 NEW SHEET</div> <div>6-12-03 NA</div> <div>4-25-00 NA</div>	REB	REB	REB	BY	APPD.	APPD. DATE	R.E.B. ENGINEERING, INC. CIVIL & STRUCTURAL ENGINEERING, PLANNING, & SURVEYING 345 La Fata St., Suite B • P.O. Box 113 Saint Helena, CA 94574 tel: (707) 963-8638 fax: (707) 963-2346	RESIDENCE FOR: OAKVILLE LLC CAMPBELL CREEK RANCH - PARCEL #7 A.P.N. 027-310-031 MAILING ADDRESS: 3082 White Sulphur Springs Road ST. HELENA, CA 94574	PLAN AND PROFILE	JOB NO: 2007-111G DATE: 07/21/1999 SHEET NO: 9 OF 23 SHEETS
	DRAFTED BY:	B.E.C.											
	PROJECT NO:	2007-111G											
	DATE:	07/21/1999											
	COMMENTS:												

TYPICAL DRIVEWAY SECTIONS

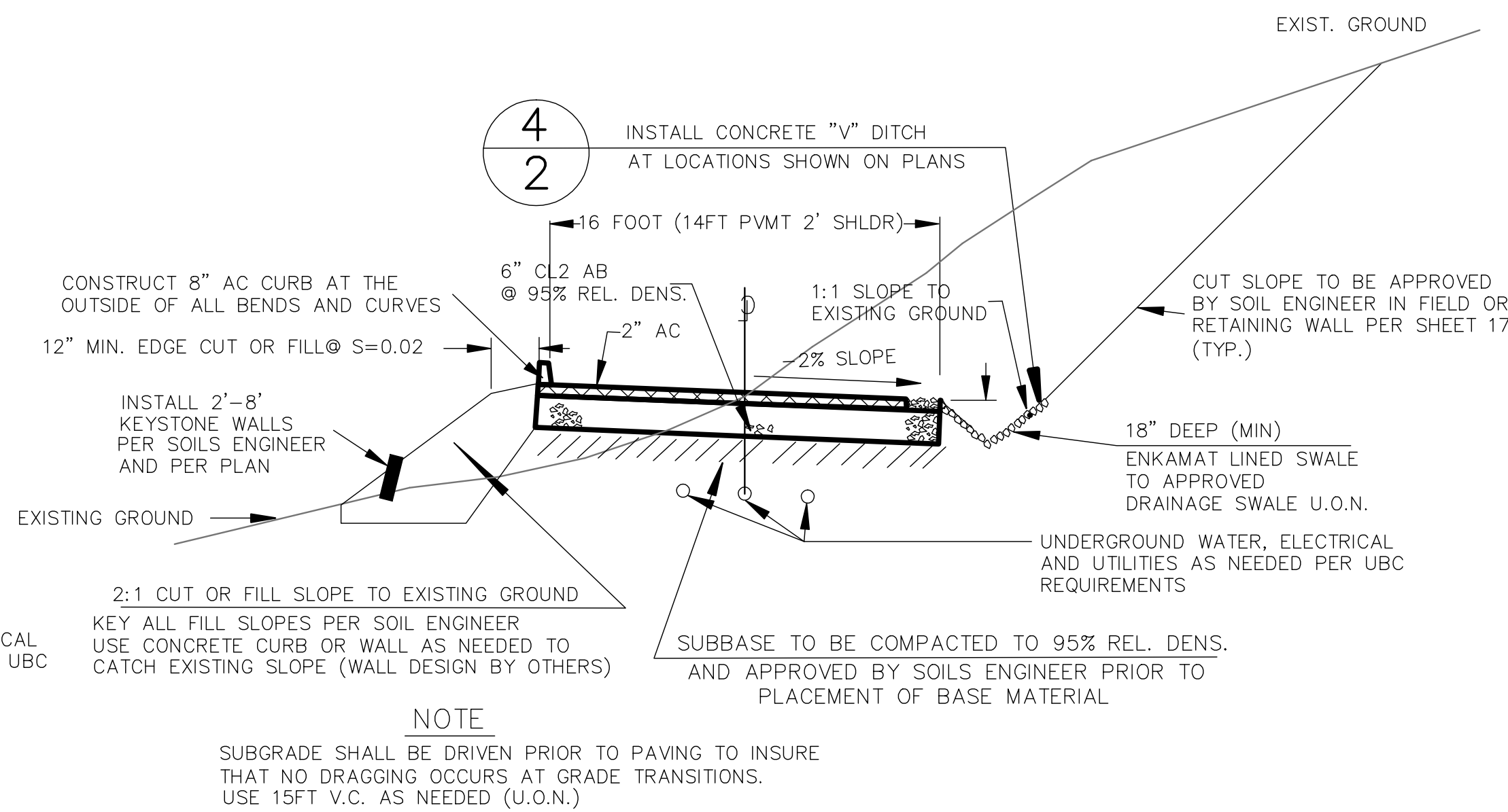
NOTES

CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER OR AS DIRECTED BY THE SOILS ENGINEER. SOFT OR SLIDING AREAS SHALL BE REPAIRED PER SOILS ENGINEERS RECOMMENDATIONS PRIOR TO CONTINUING CONSTRUCTION. SEE SOILS ENGINEER FOR ADDITIONAL EROSION CONTROL MEASURES AND CONSULT PROJECT ENGINEER IF EXISTING GRADES PROHIBIT DESIGN SLOPES. USE 2% MIN CROSS SLOPE SUPER ELEVATION AT ALL TURNS AND BENDS WHEN RADIUS IS 100 FEET OR LESS.



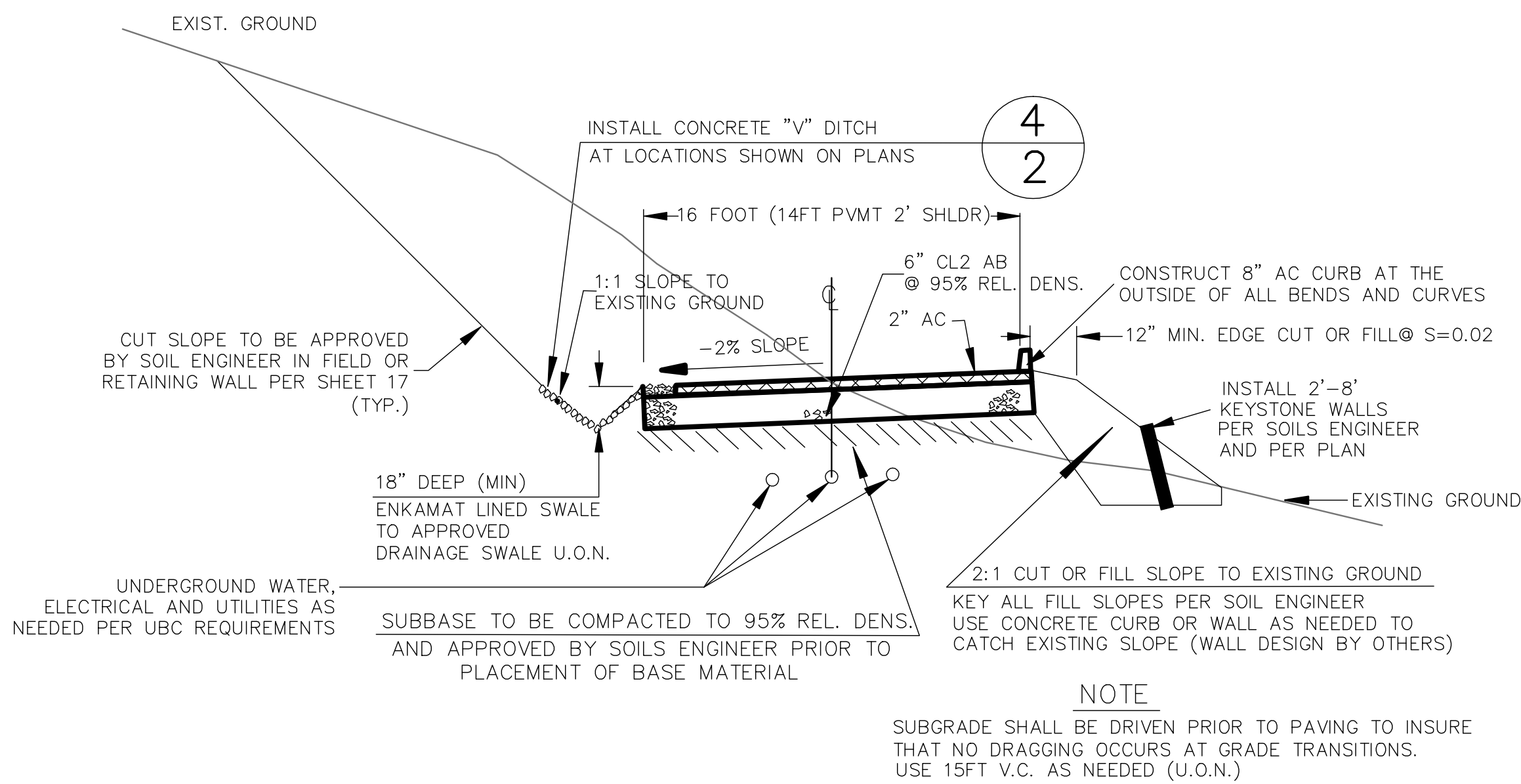
TYPICAL 14' CROWN

NOT TO SCALE



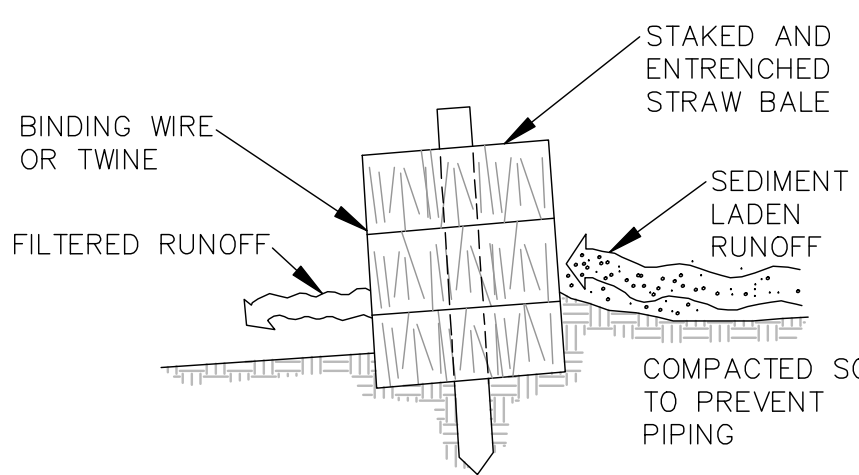
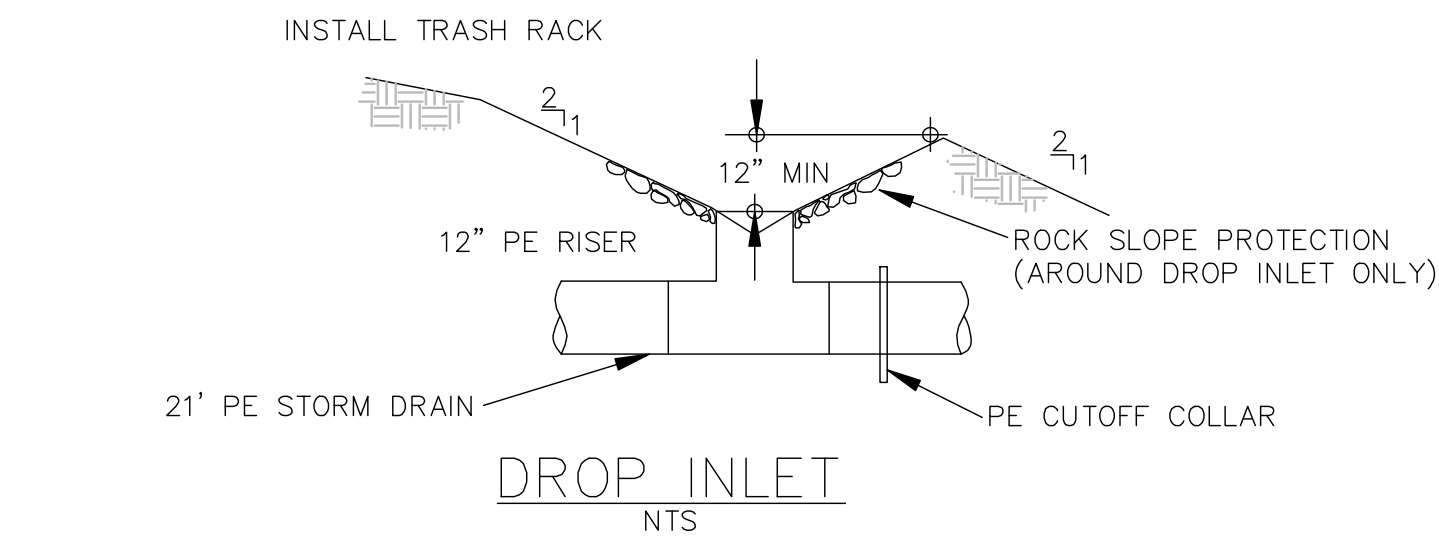
TYPICAL SLOPE-RIGHT

NOT TO SCALE

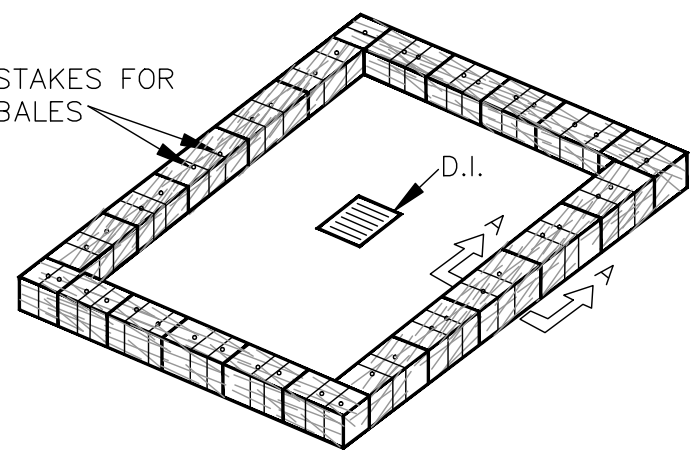


TYPICAL SLOPE-LEFT

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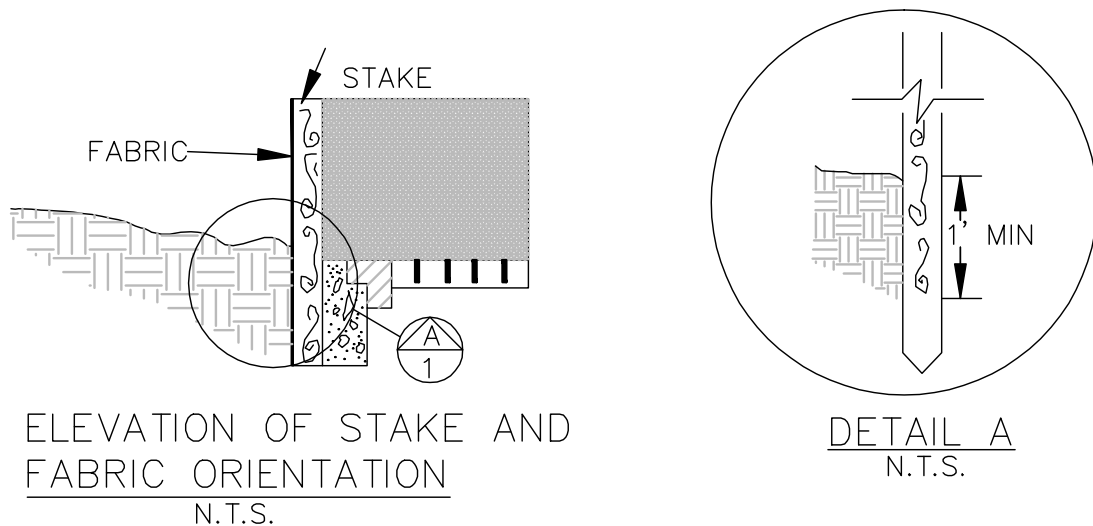
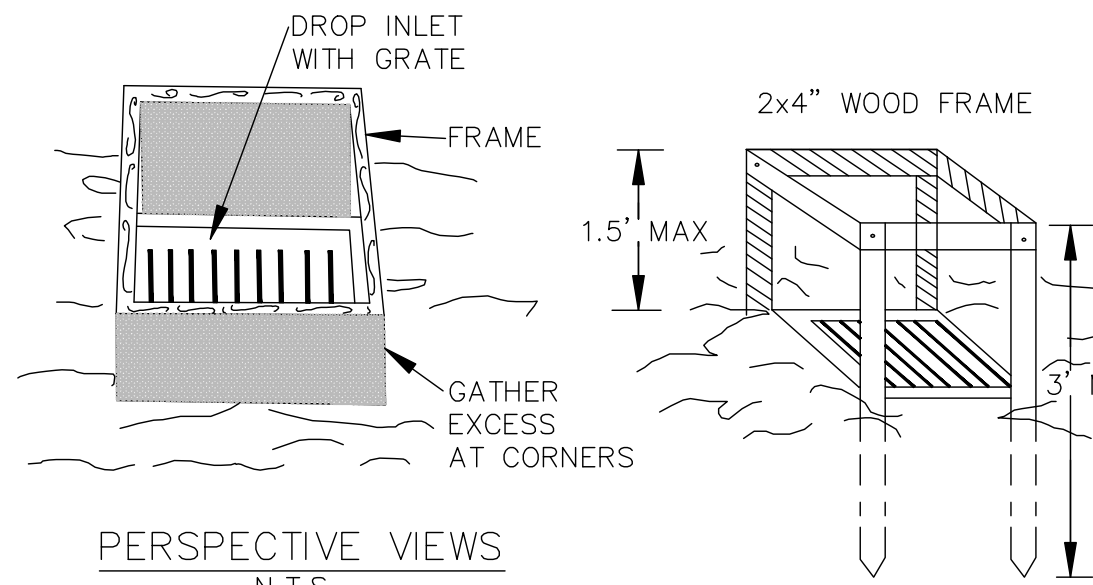


SECTION A-A



TEMPORARY SEDIMENT TRAP

N.T.S.



NOTE

ENGINEERED FILLS:

ALL FILL SHOULD BE PLACED ON LEVEL BENCHES CUT INTO UNDISTURBED ROCK AS ACCEPTED BY THE ENGINEER IN THE FIELD. BACK DRAINAGE MAY BE REQUIRED AT THE DISCRETION OF THE ENGINEER. THE FACE OF ANY UNREINFORCED FILL SLOPE SHOULD NOT EXCEED AN ANGLE OF 2:1 (VERTICAL TO HORIZONTAL). UNCLASSIFIED FILLS SHOULD BE COMPACTED TO 90 PERCENT OF THE MAXIMUM DRY DENSITY OF THE MATERIALS AS DETERMINED BY ASTM D-1557 TEST PROCEDURES. SOIL AND FILL SERVING AS PAVEMENT SUB-BASES SHOULD HAVE THE TOP TWELVE INCHES COMPACTED TO 95 PERCENT MAXIMUM DENSITY. ALL FILL DENSITIES SHOULD BE VERIFIED BY TESTING PROCEDURES ASTM D-1556 AND D-1557, OR ASTM D-2292 AND D-3017 (NUCLEAR METHOD). FILL SPECIFICATIONS WILL BE PROVIDED IF REQUIRED.

THREE STEP HYDROSEED PROCESS

ALL EXPOSED SLOPES ALONG THE PROPOSED DRIVEWAY WHICH ARE STEEPER THAN A 3:1 SLOPE SHALL BE HYDROSEED WITH A THREE STEP PROCESS PER CALTRANS SPECIFICATIONS. SOILS ENGINEER TO INSPECT GRADED SURFACES FOR STABILITY PRIOR TO APPLICATION OF THREE STEP HYDROSEEDING PROCESS.

- (STEP 1) HYDRAULICALLY APPLY SEED, FIBER, FERTILIZER, EMULSION, COMPOST AND MYCORRHIZOL INOCULANT.
- (STEP 2) USING STRAW BLOWER APPLY STRAW AT 3 TONS/ACRE.
- (STEP 3) HYDRAULICALLY APPLY FIBER AND TACKAFIER MIX OVER STRAW AND NEWLY SEEDED AREA.

UNAUTHORIZED CHANGES AND USES: The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing, and must be approved by the preparer of these plans.

△ TYPICAL DRIVEWAY SECTION LOCATIONS

STATION NUMBER	DRIVEWAY SECTION	STATION NUMBER	DRIVEWAY SECTION
00+00-00+25	CROWN	TRANSITION	
TRANSITION		31+60-32+00	LEFT-SLOPED
00+40-00+65	LEFT-SLOPED	TRANSITION	
TRANSITION		32+30-33+00	CROWN
00+80-01+65	RIGHT-SLOPED	TRANSITION	
TRANSITION		33+25-34+00	LEFT-SLOPED
01+85-03+65	LEFT-SLOPED	TRANSITION	
TRANSITION		34+25-35+00	RIGHT-SLOPED
03+85-09+50	RIGHT-SLOPED	TRANSITION	
TRANSITION		35+25-35+70	CROWN
09+75-11+00	LEFT-SLOPED	TRANSITION	
TRANSITION		35+95-36+35	RIGHT-SLOPED
11+15-12+20	CROWN	TRANSITION	
TRANSITION		36+50-36+75	CROWN
12+35-13+60	LEFT-SLOPED	TRANSITION	
TRANSITION		36+90-37+50	LEFT-SLOPED
14+00-14+65	RIGHT-SLOPED	TRANSITION	
TRANSITION		37+65-38+20	RIGHT-SLOPED
15+00-15+50	LEFT-SLOPED	TRANSITION	
TRANSITION		38+50-39+45	CROWN
16+00-17+45	RIGHT-SLOPED	TRANSITION	
TRANSITION		39+60-40+10	LEFT-SLOPED
17+75-19+70	LEFT-SLOPED	TRANSITION	
TRANSITION		40+30-43+00	RIGHT-SLOPED
19+85-21+05	RIGHT-SLOPED	TRANSITION	
TRANSITION		43+20-43+60	LEFT-SLOPED
21+20-21+75	LEFT-SLOPED	TRANSITION	
TRANSITION		43+80-44+30	CROWN
22+00-23+00	CROWN	TRANSITION	
TRANSITION		44+50-45+10	RIGHT-SLOPED
23+40-24+00	RIGHT-SLOPED	TRANSITION	
TRANSITION		45+30-46+50	CROWN
24+25-25+25	LEFT-SLOPED	TRANSITION	
TRANSITION		47+70-47+20	LEFT-SLOPED
25+80-26+90	CROWN	TRANSITION	
TRANSITION		47+35-47+70	CROWN
27+20-27+80	RIGHT-SLOPED	TRANSITION	
TRANSITION		47+85-48+35	RIGHT-SLOPED
28+10-28+40	CROWN	TRANSITION	
TRANSITION		48+50-50+20	CROWN
28+70-29+85	LEFT-SLOPED	TRANSITION	
TRANSITION		50+40-50+80	RIGHT-SLOPED
30+10-31+35	RIGHT-SLOPED		

EROSION CONTROL NOTES

1. TEMPORARY EROSION CONTROL DEVICES, SHOWN ON THESE PLANS SHALL BE RELOCATED OR MODIFIED AS THE WORK PROGRESSES, ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF THE NAPA CONSERVATION, DEVELOPMENT AND PLANNING DEPARTMENT.

2. ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER ON A DAILY BASIS AND AS DIRECTED BY THE COUNTY INSPECTOR AND/OR THE ENGINEER.

3. CONTRACTOR SHALL PROVIDE WATER BARS IN THE UNPAVED PATHWAY AS SHOWN ON THE PLANS.

4. CONTRACTOR SHALL PROVIDE VELOCITY CHECK DAMS OF SANDBAGS OR STAKED HAY BALES IN ALL UNLINED GRADED CHANNELS AT THE INTERVALS INDICATED BELOW:

GRADE OF CHANNEL	INTERVAL
LESS THAN 3%	100 FT.
3% TO 6%	50 FT.
OVER 6%	25 FT.

5. EXCEPT AS OTHERWISE DIRECTED BY THE COUNTY INSPECTOR, ALL TEMPORARY EROSION CONTROL DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FORECAST OF RAIN PROBABILITY EXCEEDS 40% AS DETERMINED BY THE NATIONAL WEATHER BUREAU OR THE COUNTY INSPECTOR. THESE DEVICES SHALL BE MAINTAINED CONTINUOUSLY AS REQUIRED DURING THE RAINY SEASON (OCTOBER 15 TO APRIL 1).

6. ALL BASINS AND CHECK DAMS SHALL HAVE BEEN PUMPED DRY, AND ALL DEBRIS AND SILT REMOVED WITHIN 48HRS AFTER EACH STORM.

7. ALL PERMANENT STORM DRAINAGE DEVICES (eg. ROCK LINED SWELLS, ENERGY DISSIPATORS, ETC.) SHALL BE INSTALLED BEFORE OCTOBER 15 OF EACH YEAR.

8. HAND BROADCAST OR HYDRATED ALL FILL AND CUT SLOPES AND EXPOSED EARTH SURFACES ACCORDING TO THE APPLICATION SCHEDULE ATTACHED AND THE COUNTY.

9. SANDBAGS AND/OR HAY BALES SHALL BE STOCKPILED ADJACENT TO EACH POINT OF USE AS SHOWN ON THESE PLANS, READY TO BE PLACED IN POSITION WHEN THE RAIN FORECAST IS 40% OR GREATER, OR WHEN DIRECTED BY THE COUNTY INSPECTOR.

10. THE EROSION AND SEDIMENT CONTROL MEASURES WILL BE OPERABLE DURING THE RAINY SEASON (OCTOBER 15 TO APRIL).

12. ADJACENT PROPERTIES SHALL BE PROTECTED FROM STORM WATERS, MUD, SILT, ETC., THAT ARE A DIRECT RESULT OF THE CONSTRUCTION ASSOCIATED WITH THIS PROJECT.

13. ALL WORK WILL BE CONSTRUCTED IN CONFORMANCE WITH CAL-OSHA REQUIREMENTS AND CURRENT COUNTY REGULATIONS.

△ KEYSTONE WALL DETAIL

NOT TO SCALE

KEYSTONE RETAINING WALL NOTES

- DESIGN TO BE PROVIDED BY VENDOR BASED ON DESIGN CRITERIA PROVIDED BY PROJECT GEOTECHNICAL ENGINEER UPON REQUEST.
- A FINAL DESIGN SHALL BE SUBMITTED TO THE ENGINEER AND TO THE DEPARTMENT OF BUILDING INSPECTION. CONSTRUCTION OF THE KEYSTONE WALL SHALL NOT COMMENCE UNTIL THE FINAL DESIGN IS APPROVED BY BOTH PARTIES.
- FOR ESTIMATING PURPOSES THE BEDROCK SHALL BE ASSUMED TO BE 2'-3' BELOW THE SURFACE.

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R.E.B. ENGINEERING, INC.

DESIGNED BY:	R.E.B.								
DRAFTED BY:	B.E.C.								
PROJECT NO:	2007-111G	△	2-25-08	SHEET NUMBER & SECTION LOCATIONS	CBS				
DATE:	07/21/1999	△	6-12-03	CADD FILE & DRIVEWAY SECTION LOCATIONS	REB				
COMMENTS:		△	4-25-00	ADD KEYSTONE WALL DETAIL & SECTION LOCATIONS	DAS				
		REV. NO.	REV. DATE	REVISIONS	BY	APPD.	APPD. DATE		

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Saint Helena, CA 94574
tel: (707) 963-8638 fax: (707) 963-2346

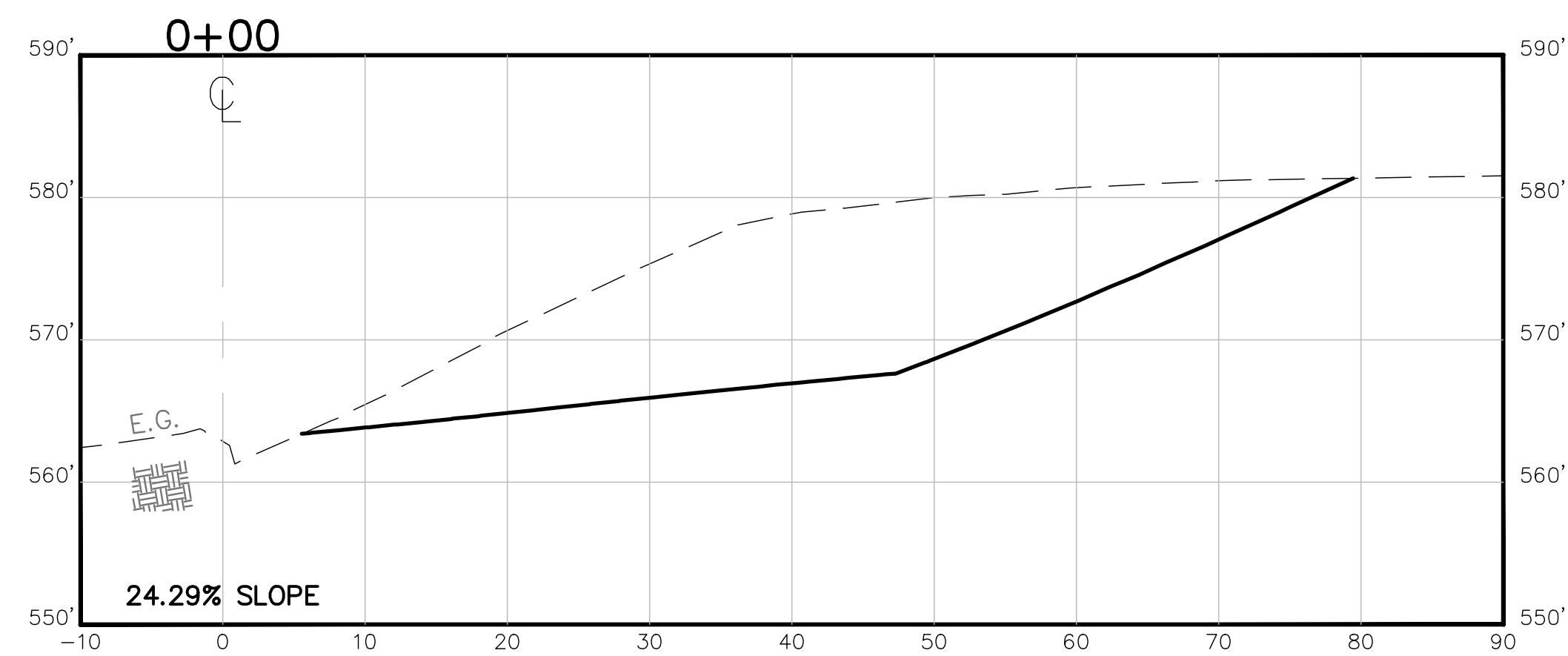
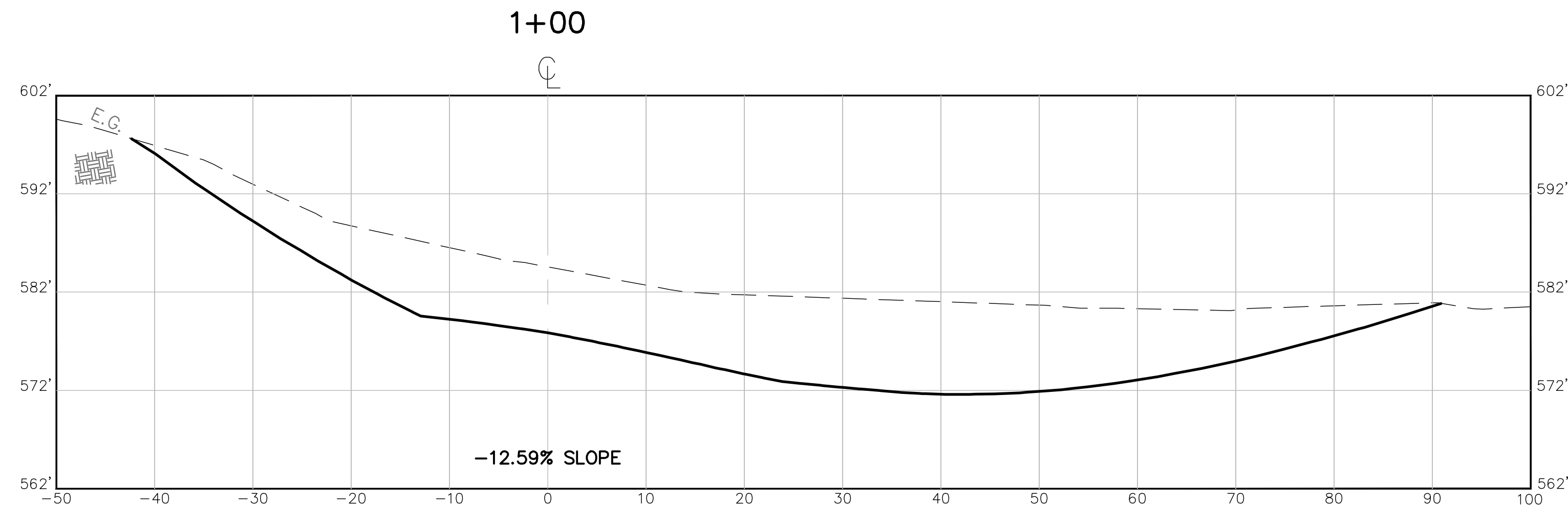
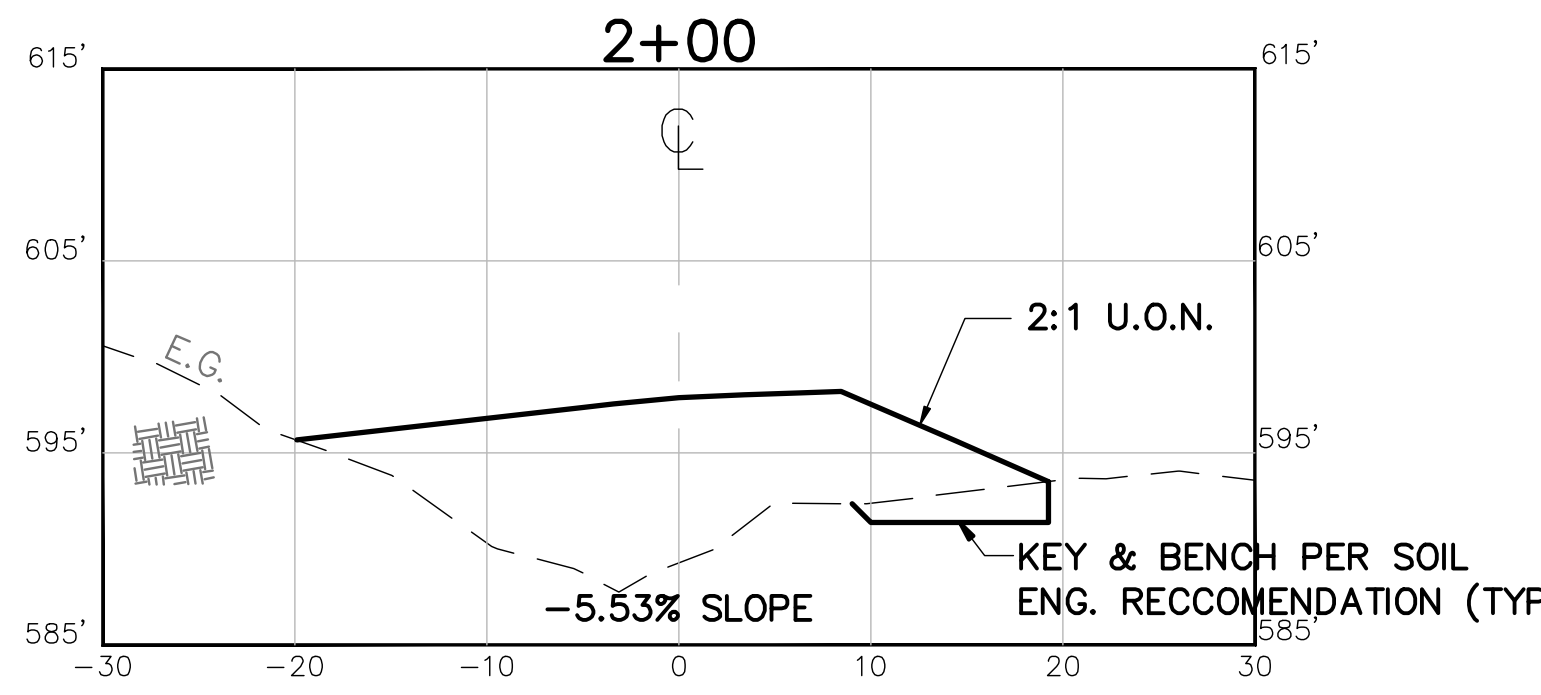
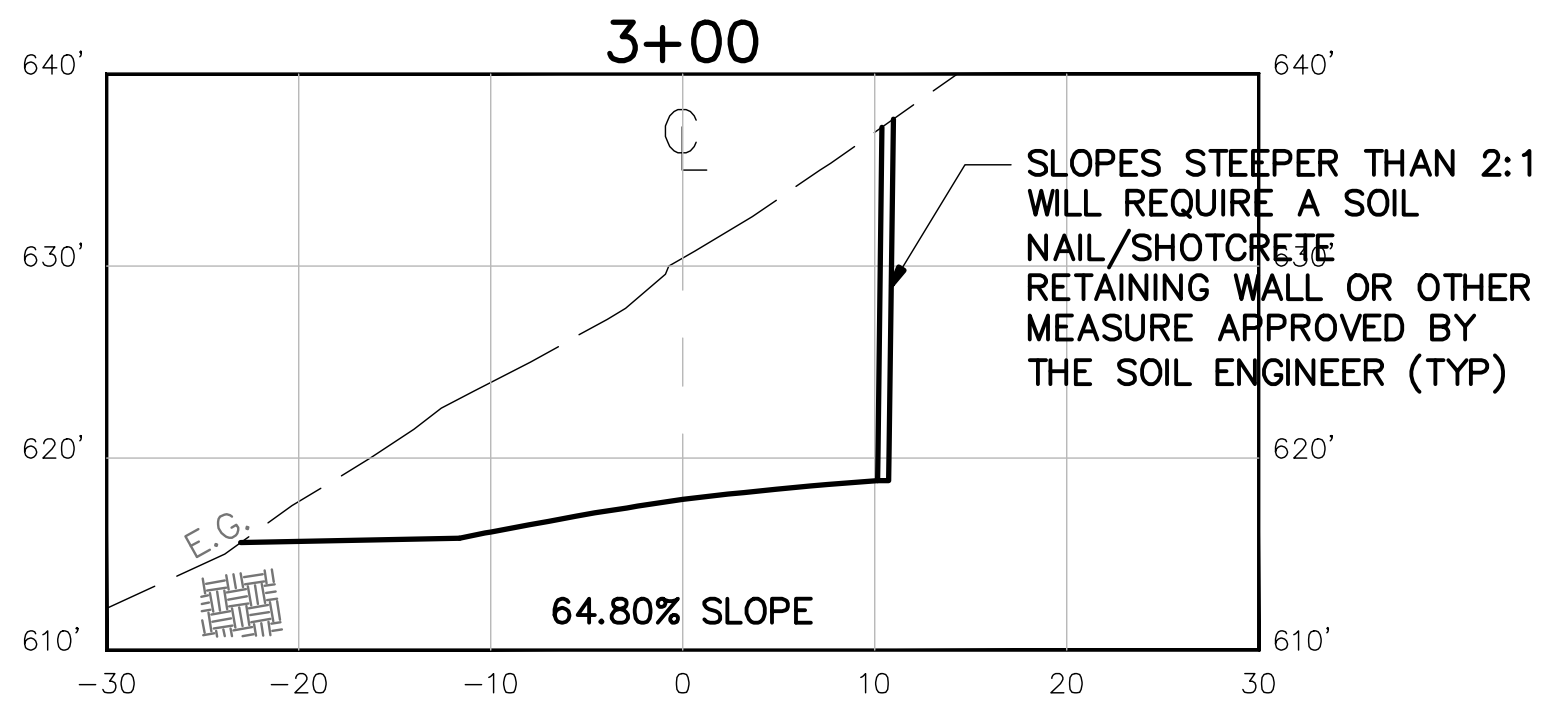
RESIDENCE FOR: OAKVILLE LLC
CAMPBELL CREEK RANCH - PARCEL #7
A.P.N. 027-310-031
MAILING ADDRESS: 3082 White Sulphur Springs Road
ST. HELENA, CA 94574

MISCELLANEOUS DETAILS

JOB NO: 2007-111G
DATE: 07/21/1999
SHEET NO: 10
OF 23 SHEETS

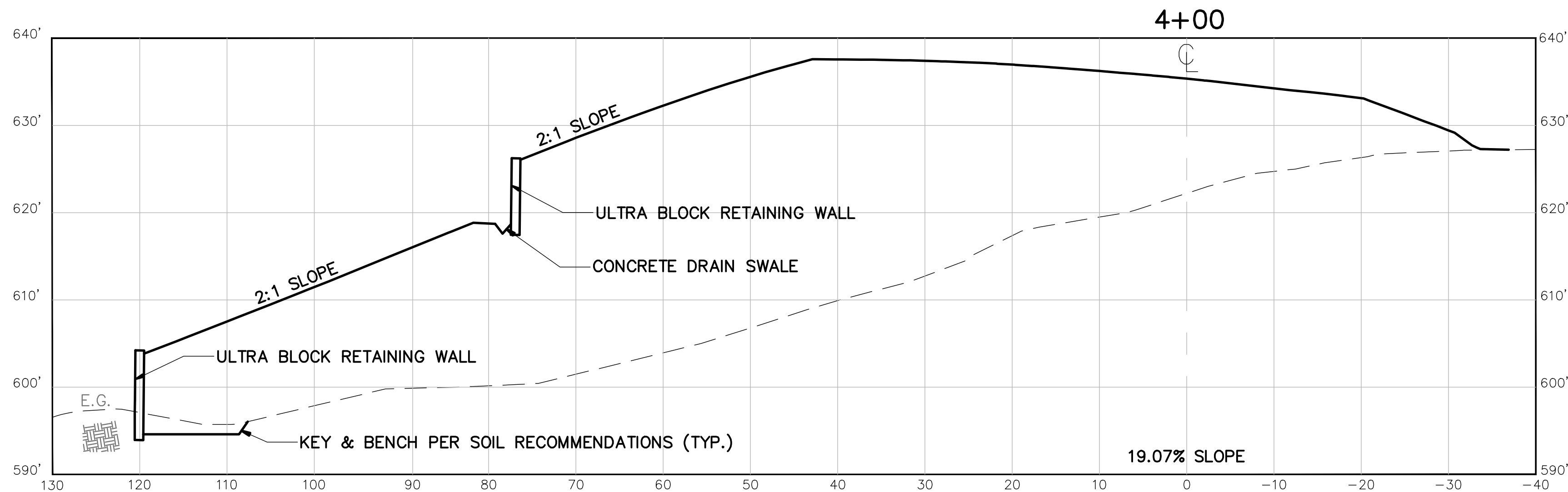
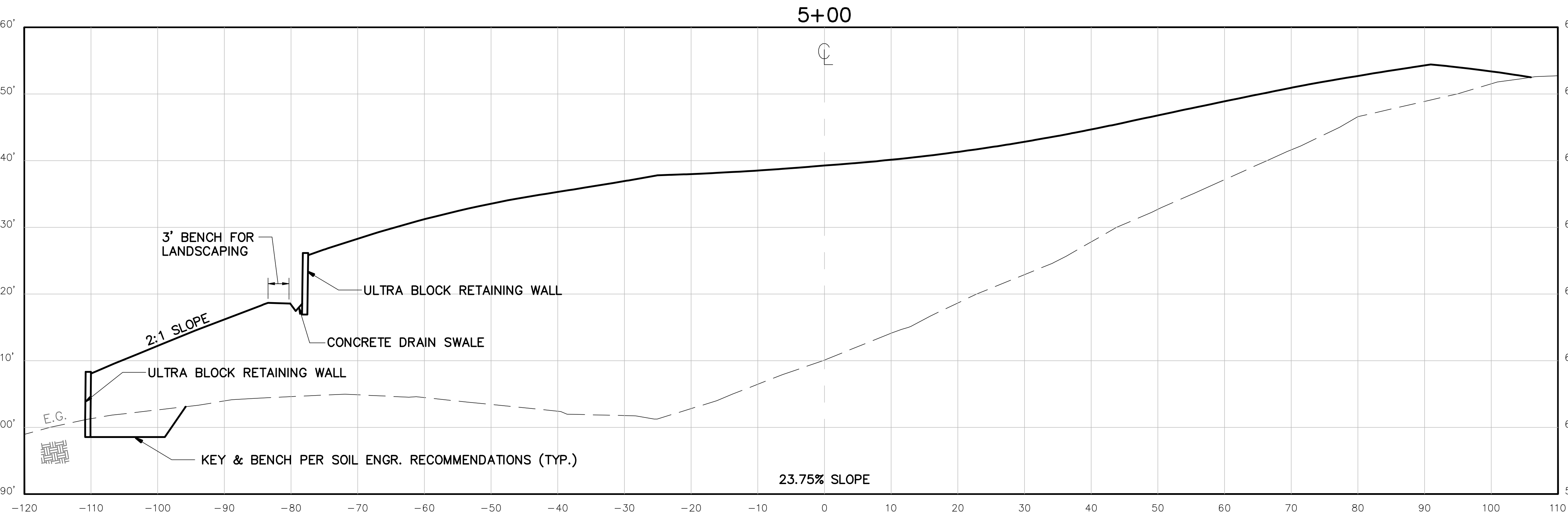
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NOTES:
PLACE ALL FILL @ 90% SLOPE REL. DENS. PER SOILS ENGINEER'S RECOMMENDATIONS. FILLS ARE TO BE CREATED WITH 10 INCH MAXIMUM LIFTS AND SHALL BE MONITORED BY SOILS ENGINEER DURING CONSTRUCTION. SEE SOILS REPORT FOR CLEARING & GRUBBING, SCARIFY & RECOMPACT AND THE KEYING & BENCHING OF ALL FILLS (TYP.).

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UNAUTHORIZED CHANGES & USES
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SCALE: 1" = 10' HORZ. & VERT.

R.E.B. ENGINEERING, INC.	DESIGNED BY:	R.E.B.							
	DRAFTED BY:	B.E.C.							
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	DATE:	07/21/1999	6-12-03	CADD FILE	REB				
	COMMENTS:		4-25-00	NO CHANGES THIS SHEET	REB	REB	4-25-00		
			REV. NO.	REV. DATE	REVISIONS				
			BY	APPD.	APPD.	DATE			

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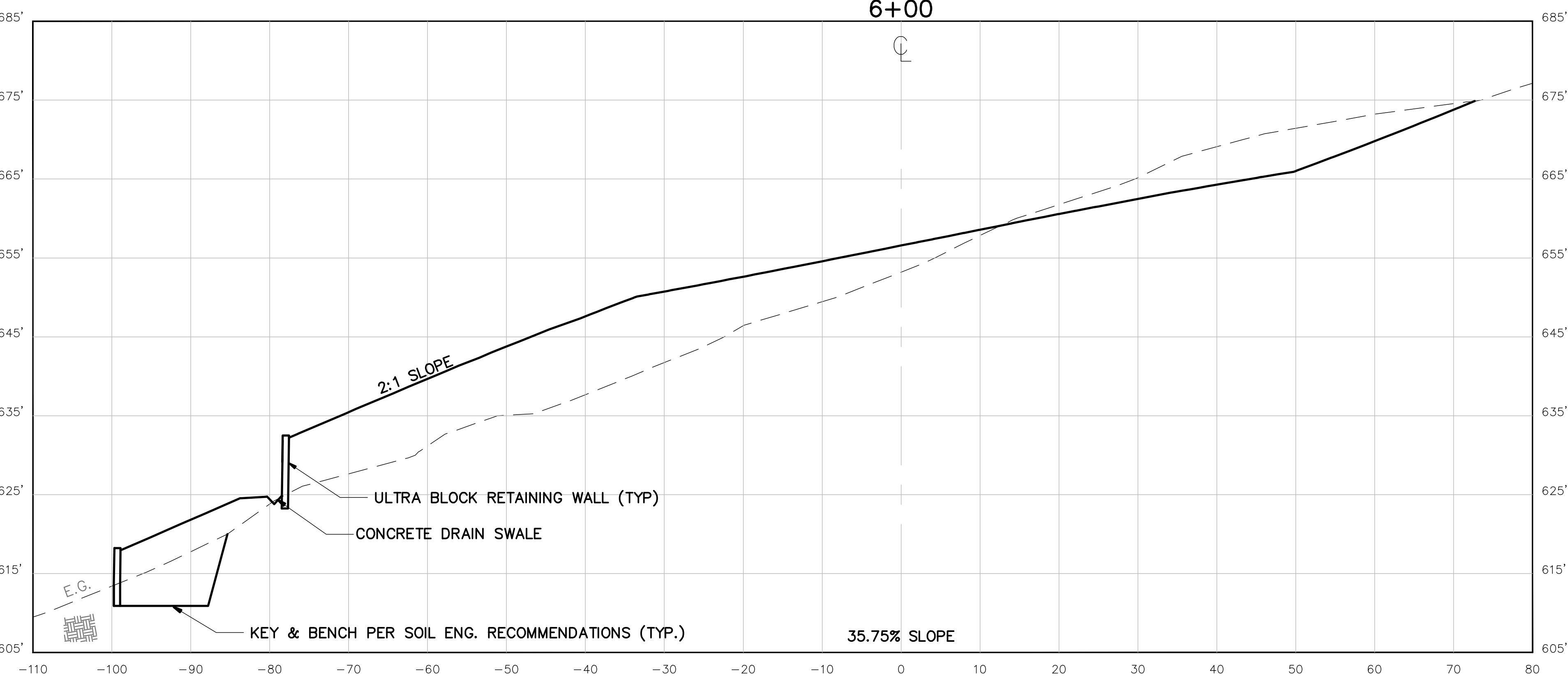
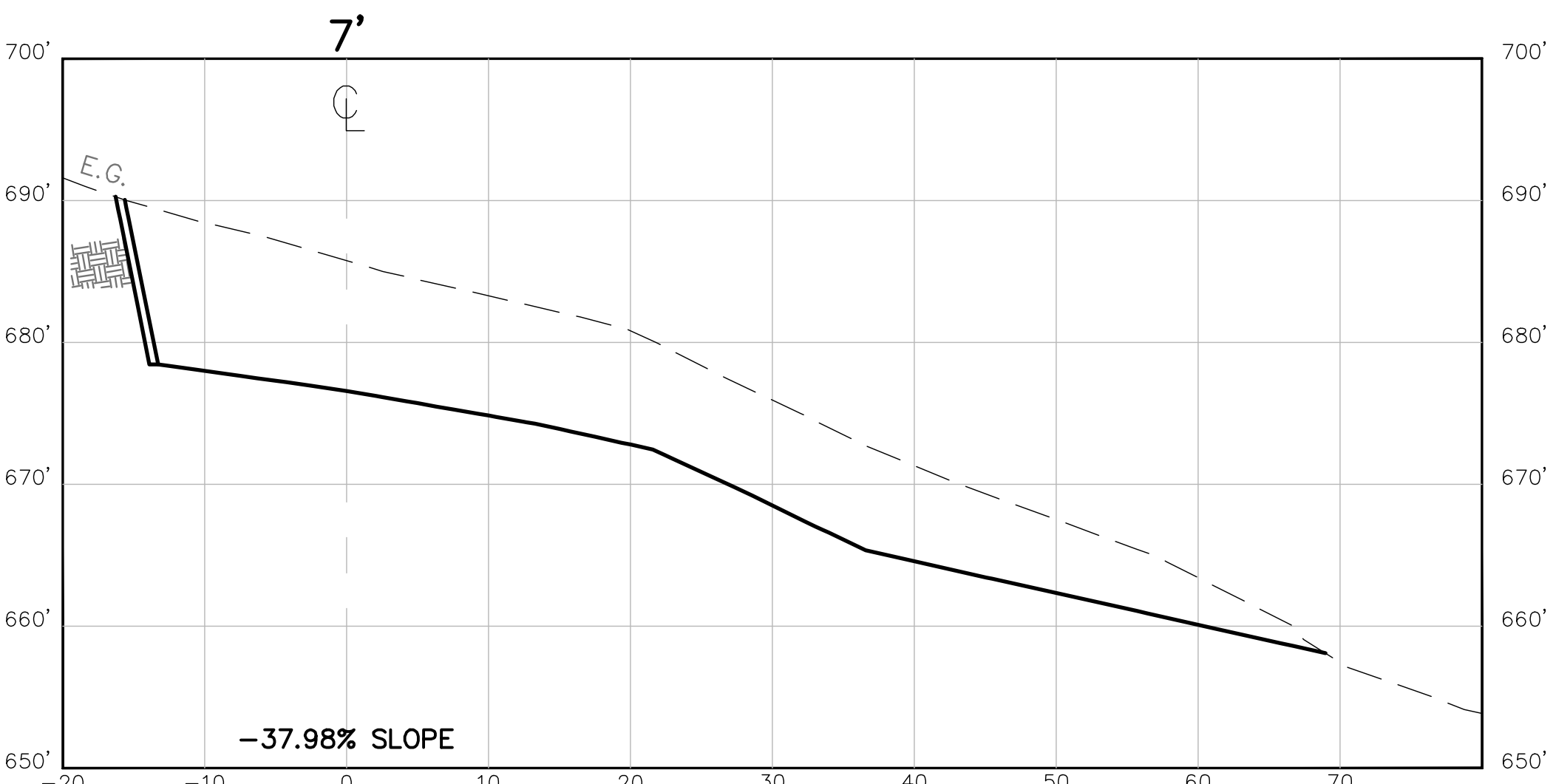
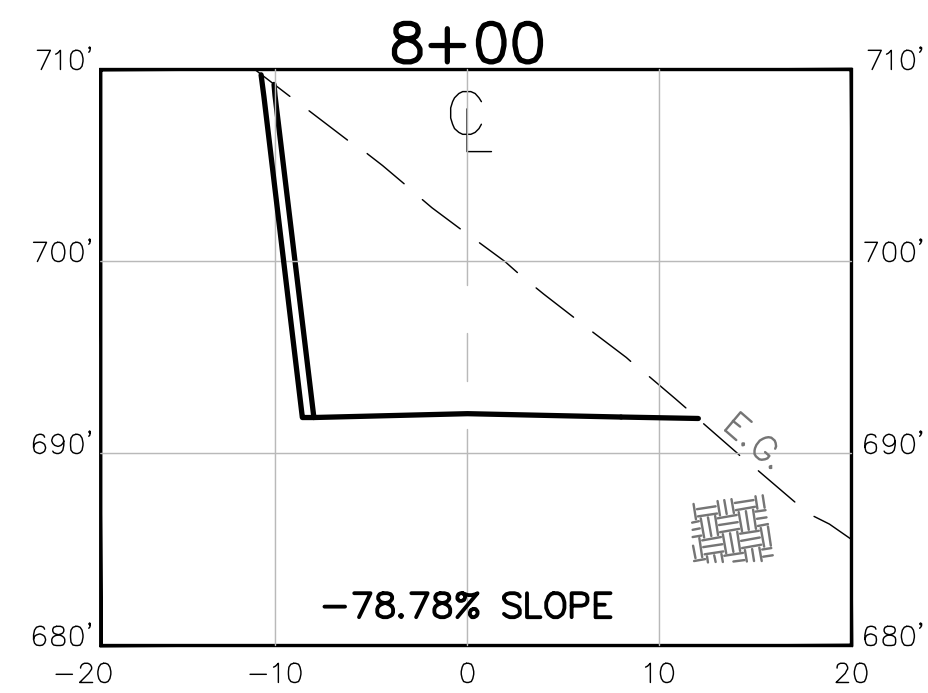
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A.P.N. 027-310-031
MAILING ADDRESS: 3082 White Sulphur Springs Road
ST. HELENA, CA 94574

**DRIVEWAY
CROSS SECTIONS**

JOB NO: **2007-111G**
DATE: **07/21/1999**
SHEET NO:
11
OF **23** SHEETS

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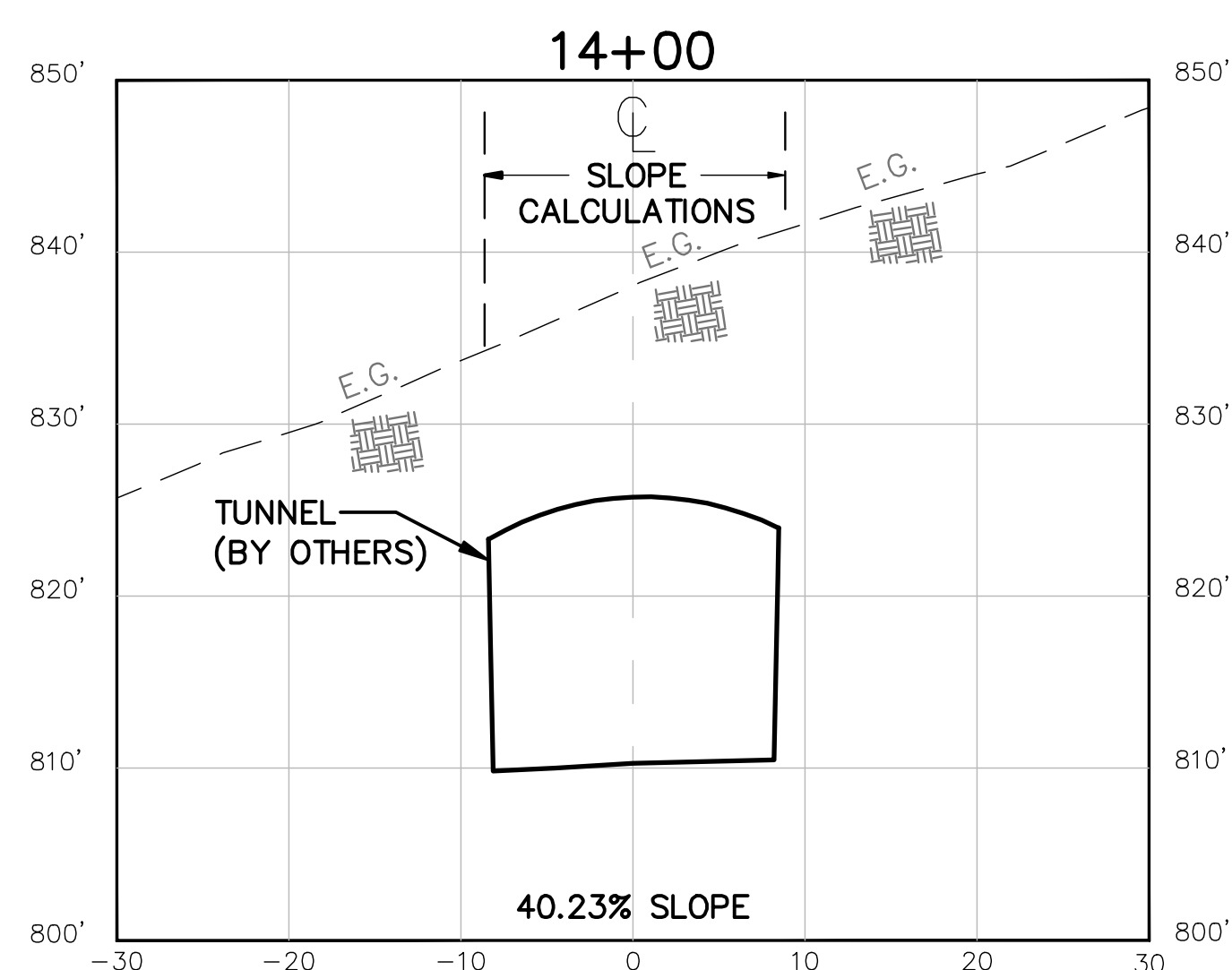
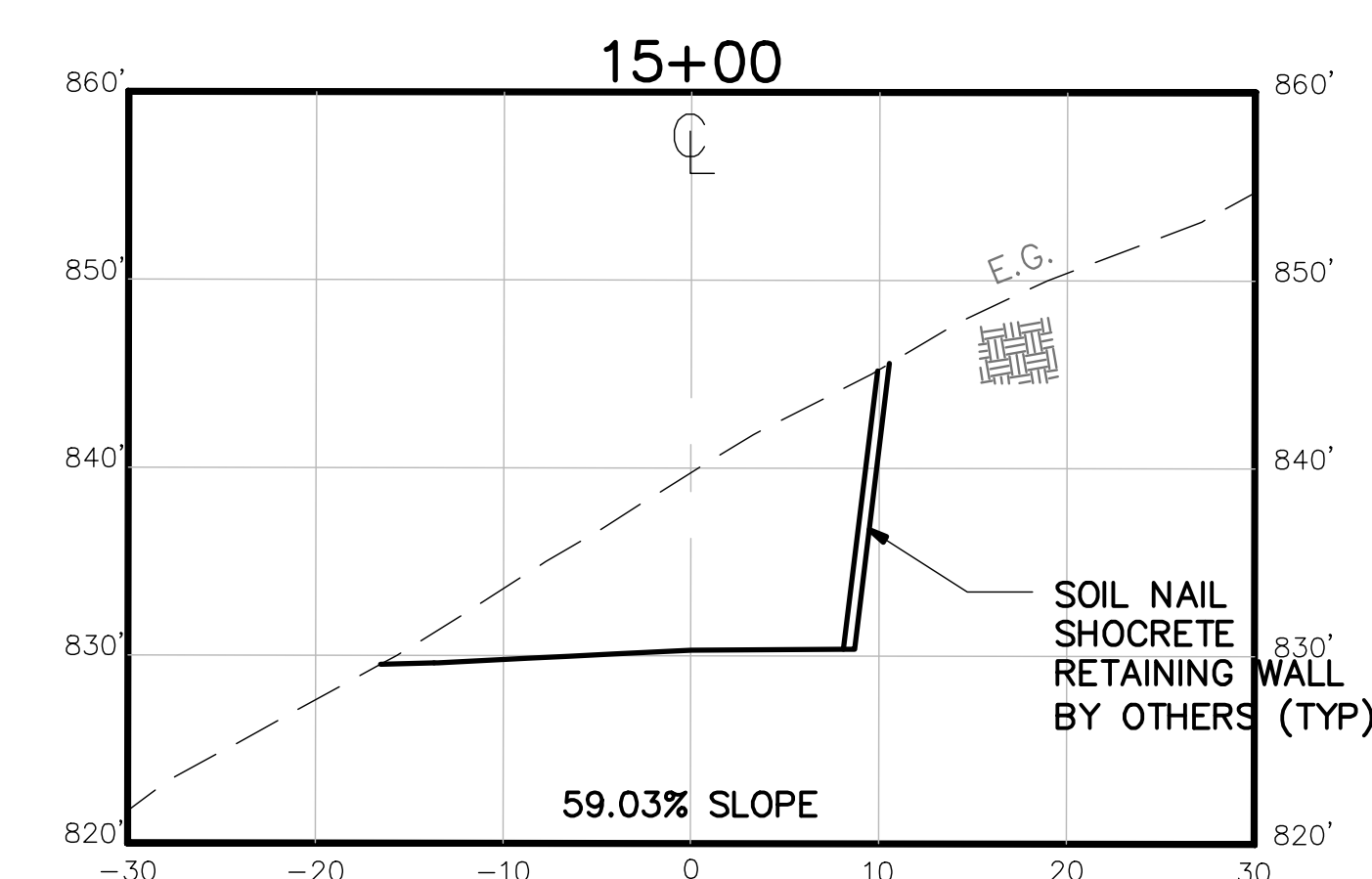
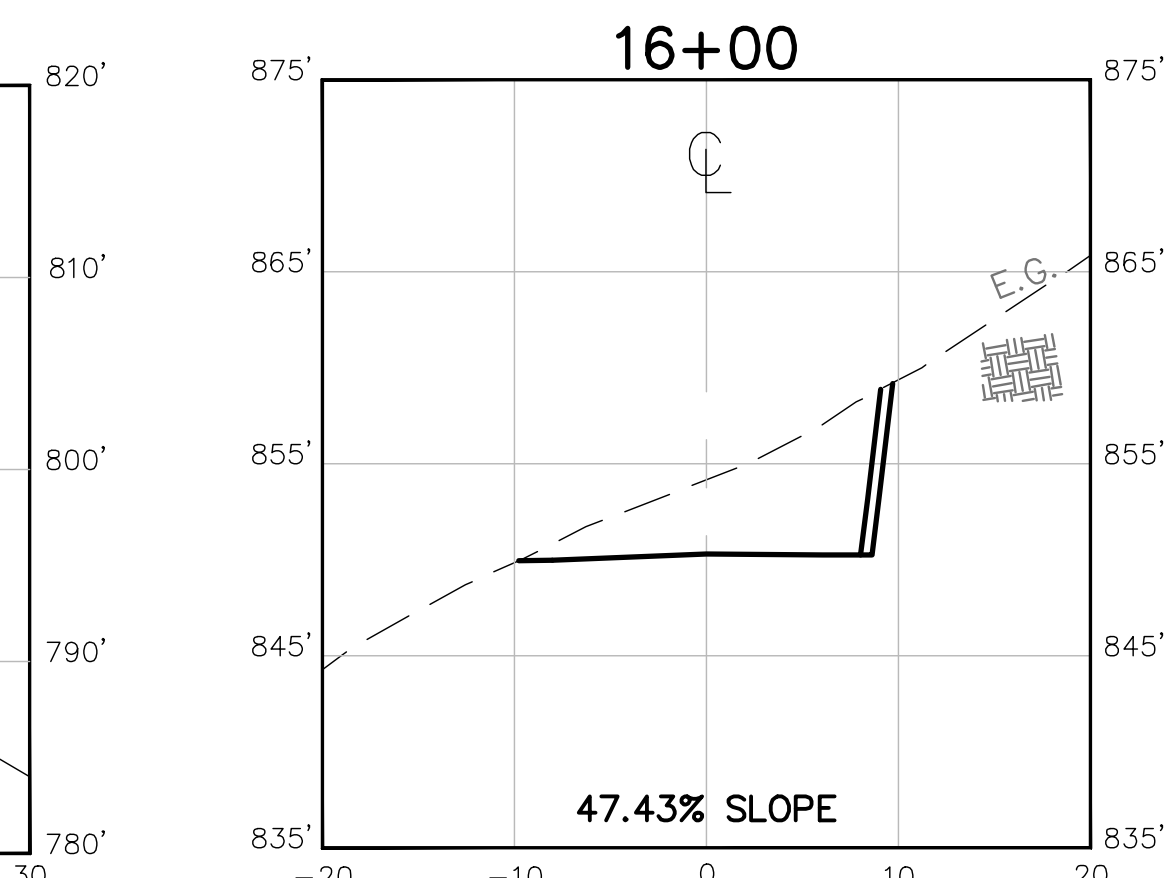
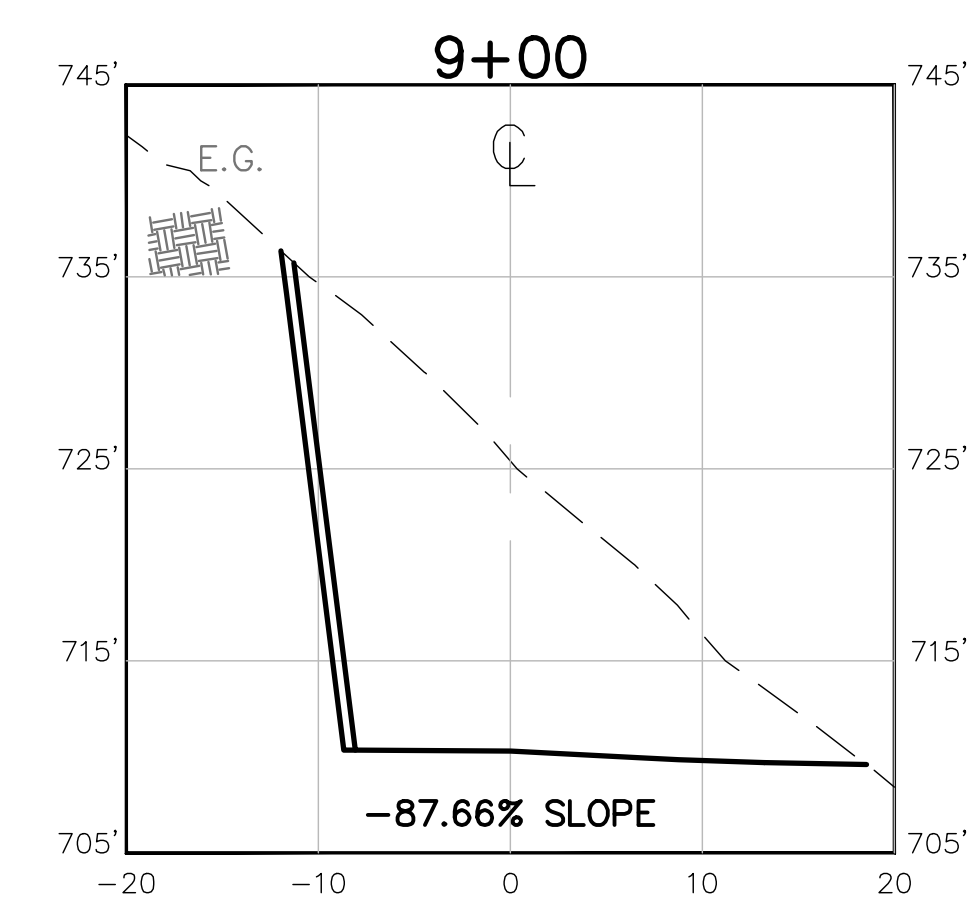
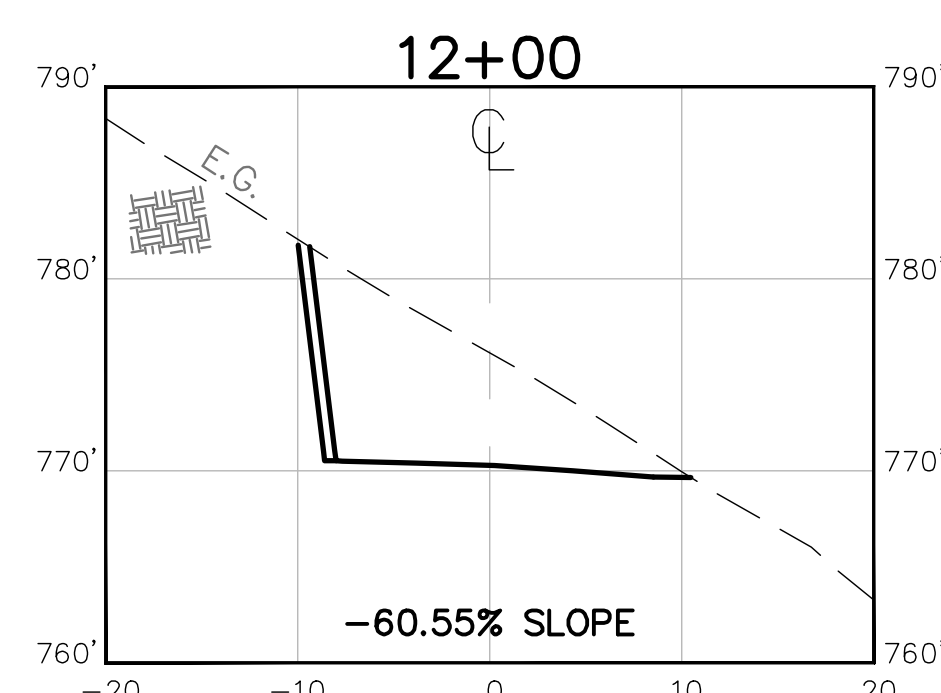
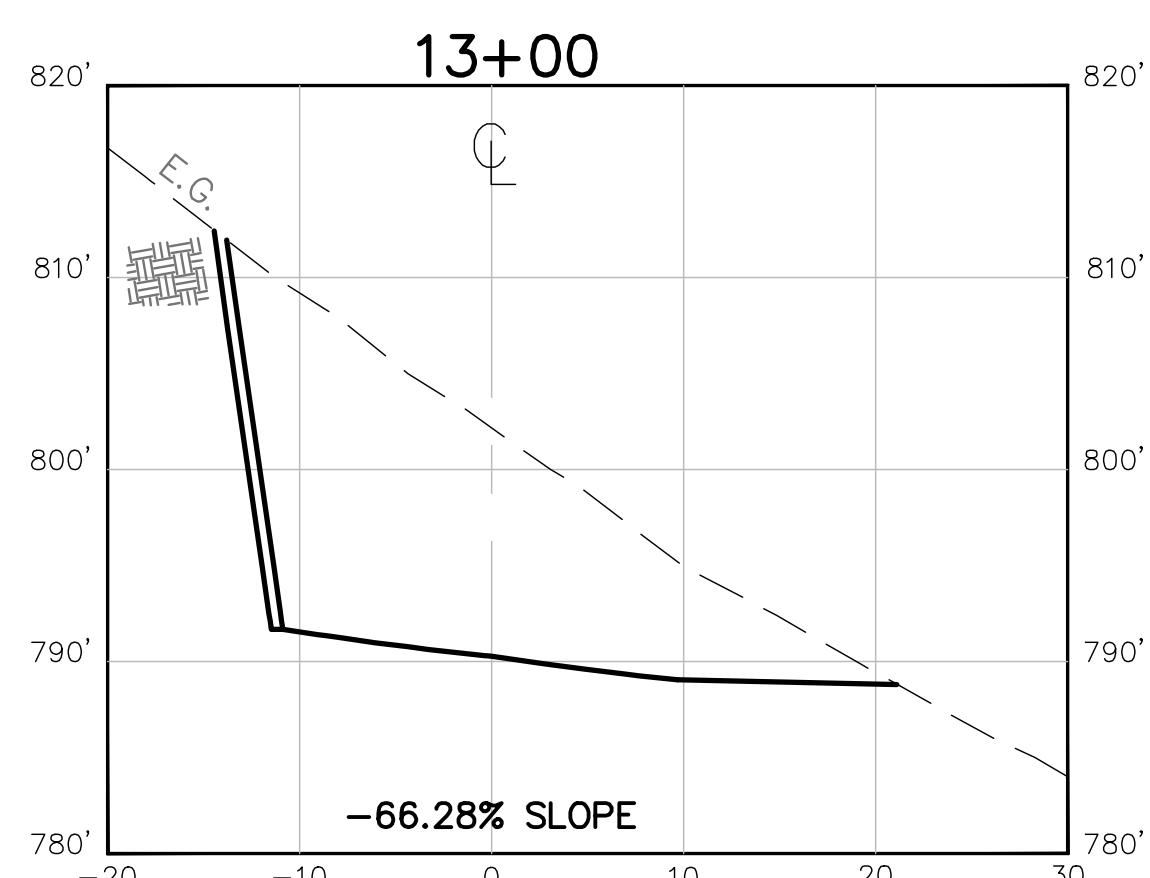
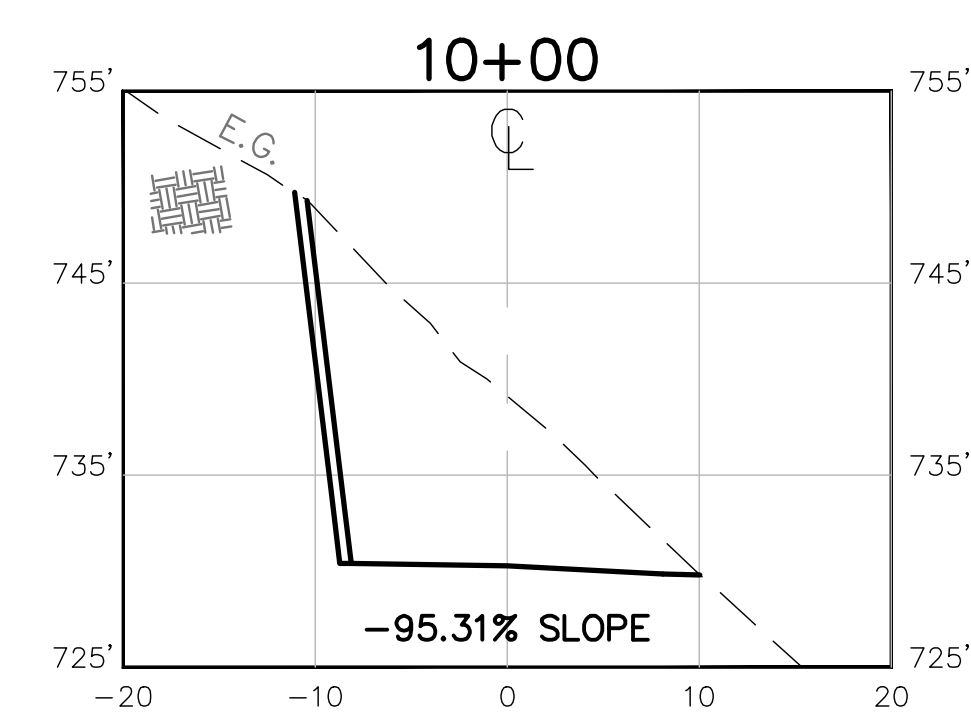
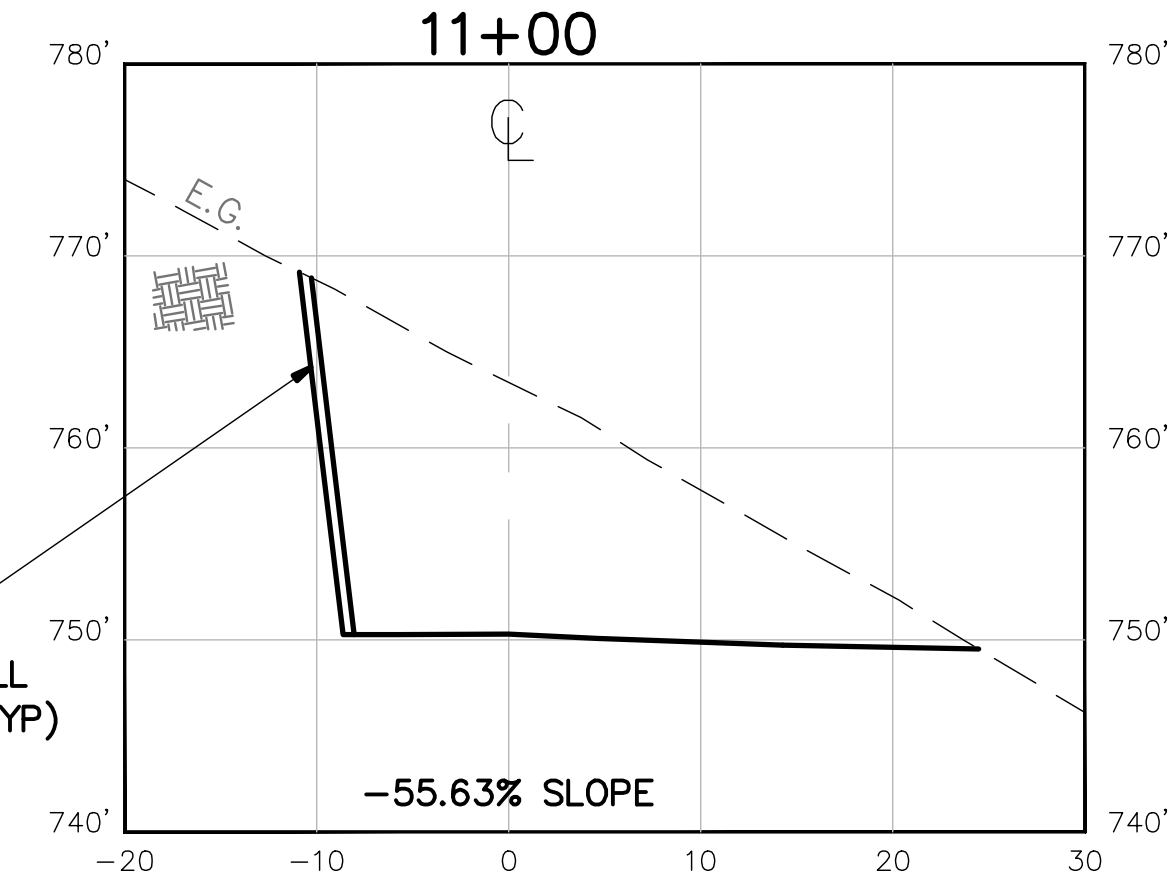
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	DRAFTED BY:	B.E.C.									
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	DATE:	07/21/1999									
	COMMENTS:										
	REV. NO.	REV. DATE									
	2-25-08		NO CHANGE ON THIS SHEET								
	6-12-03		CADD FILE								
	4-25-00		NO CHANGES THIS SHEET								
	BY	APPD.	APPD. DATE								

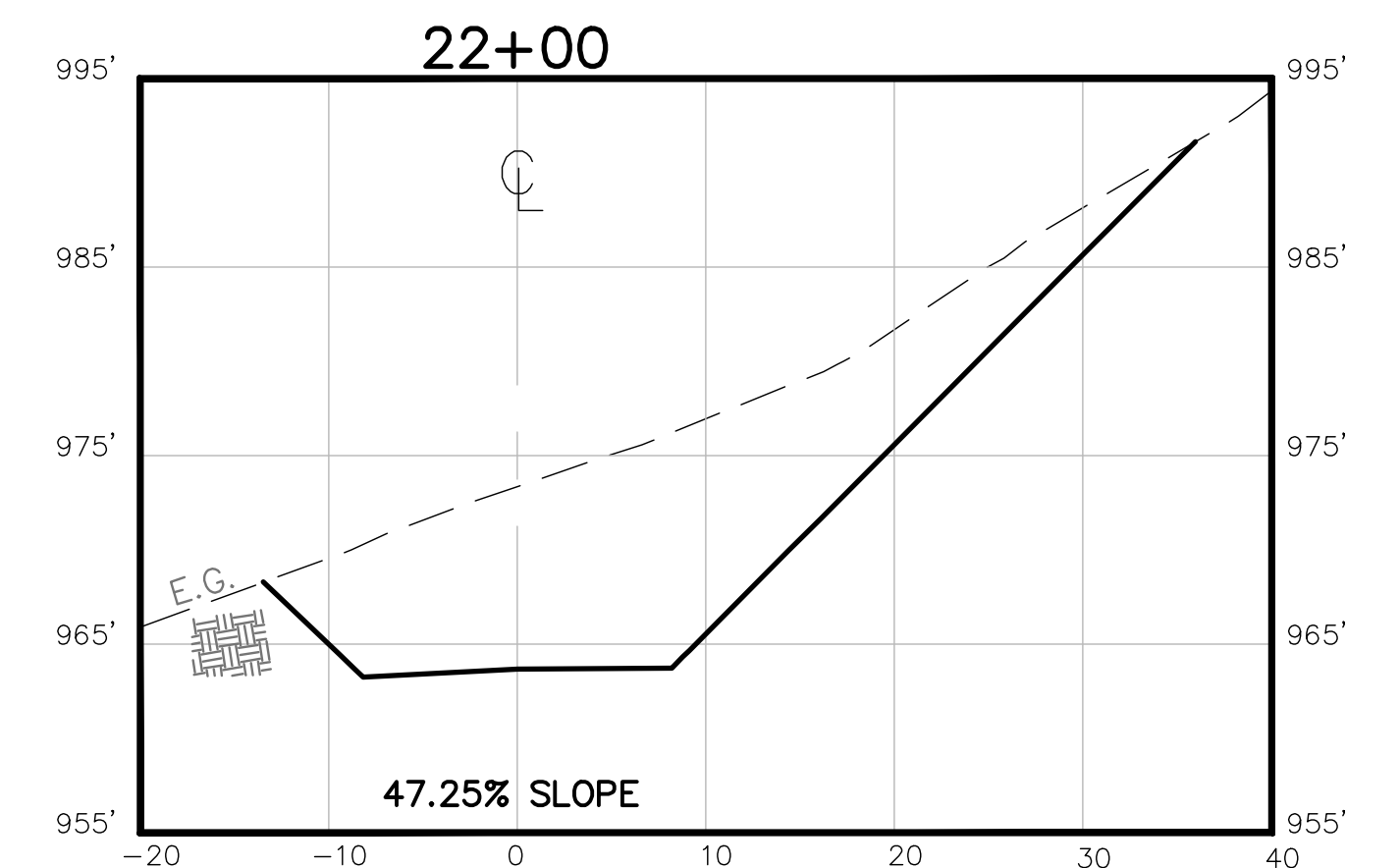
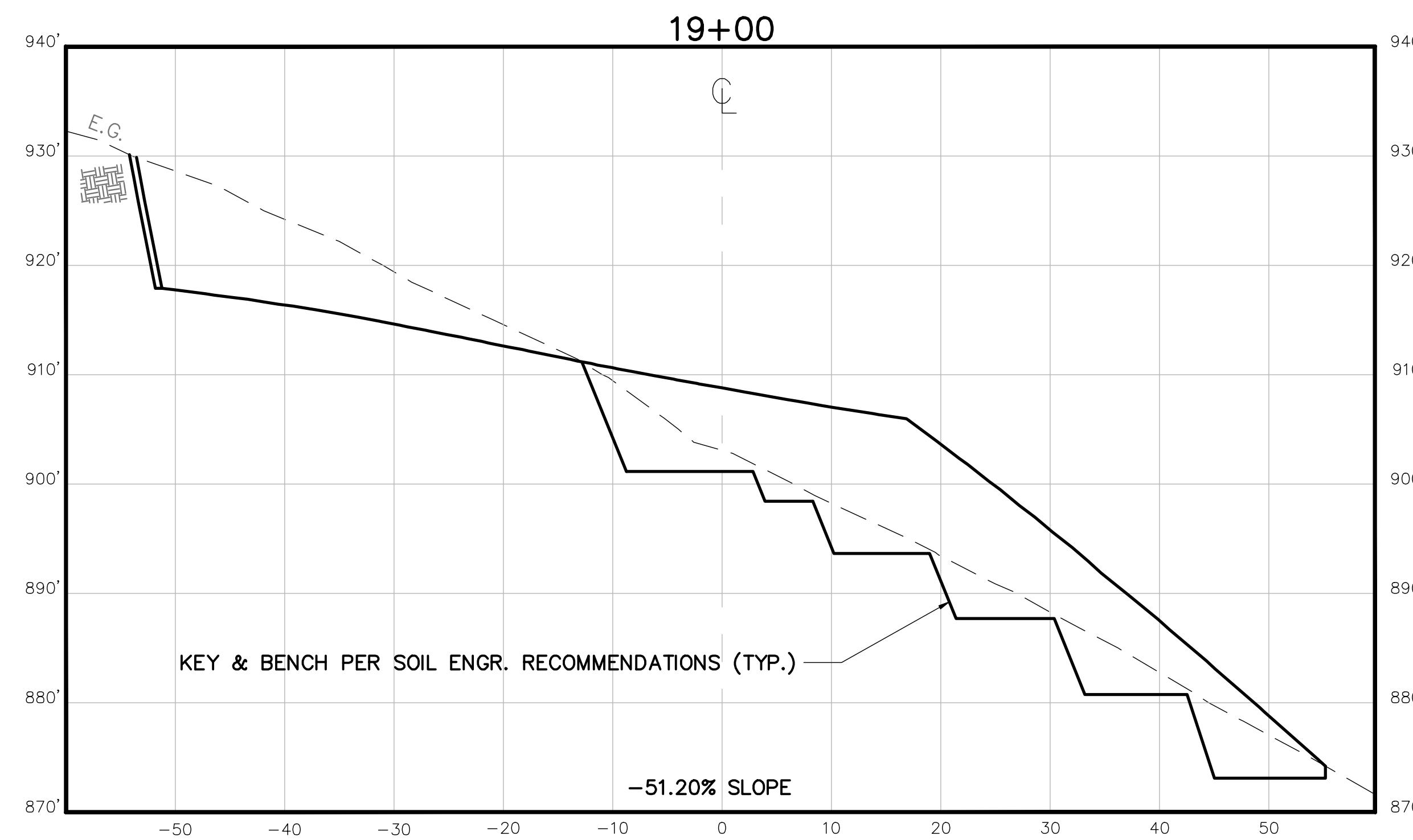
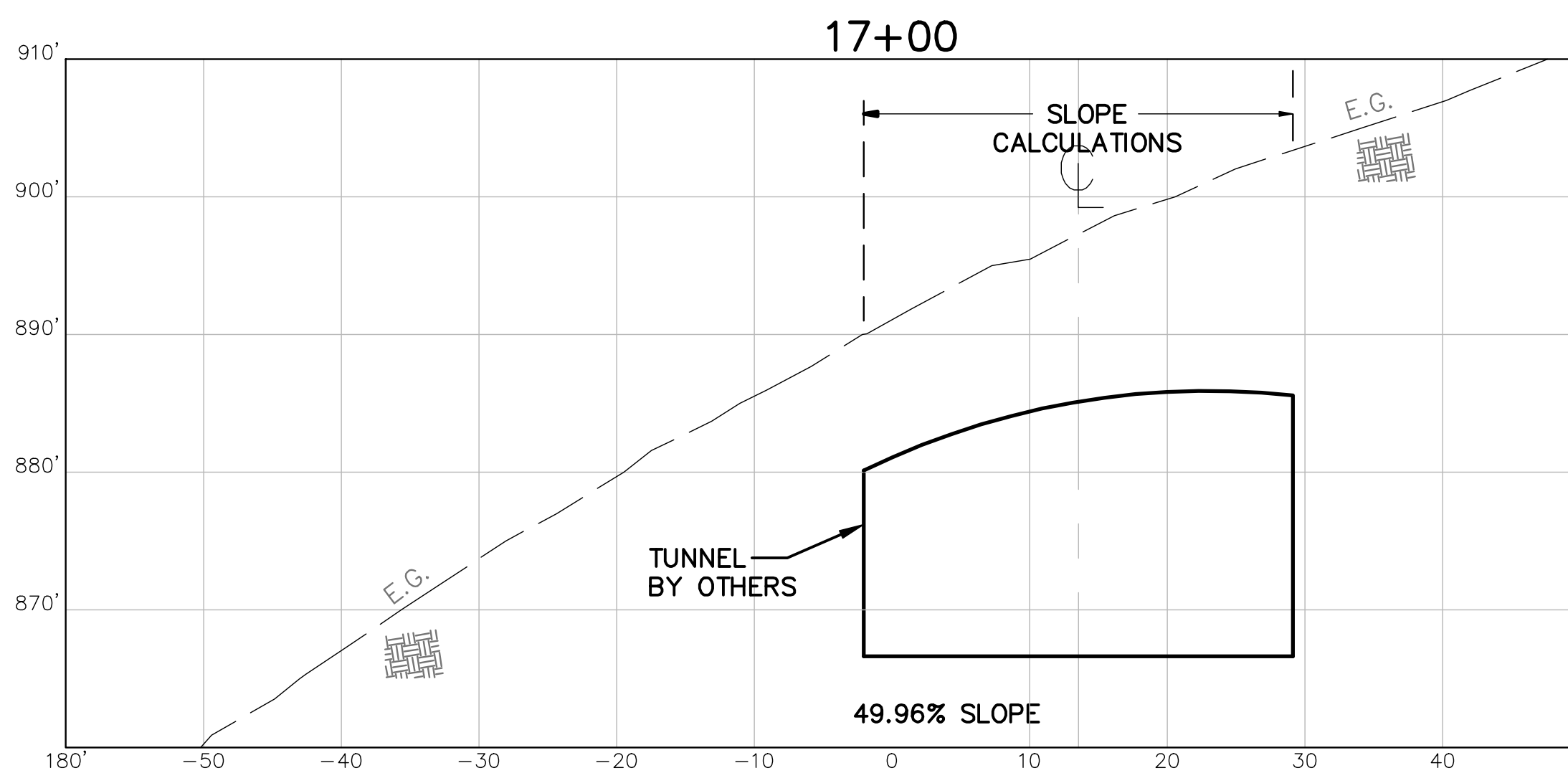
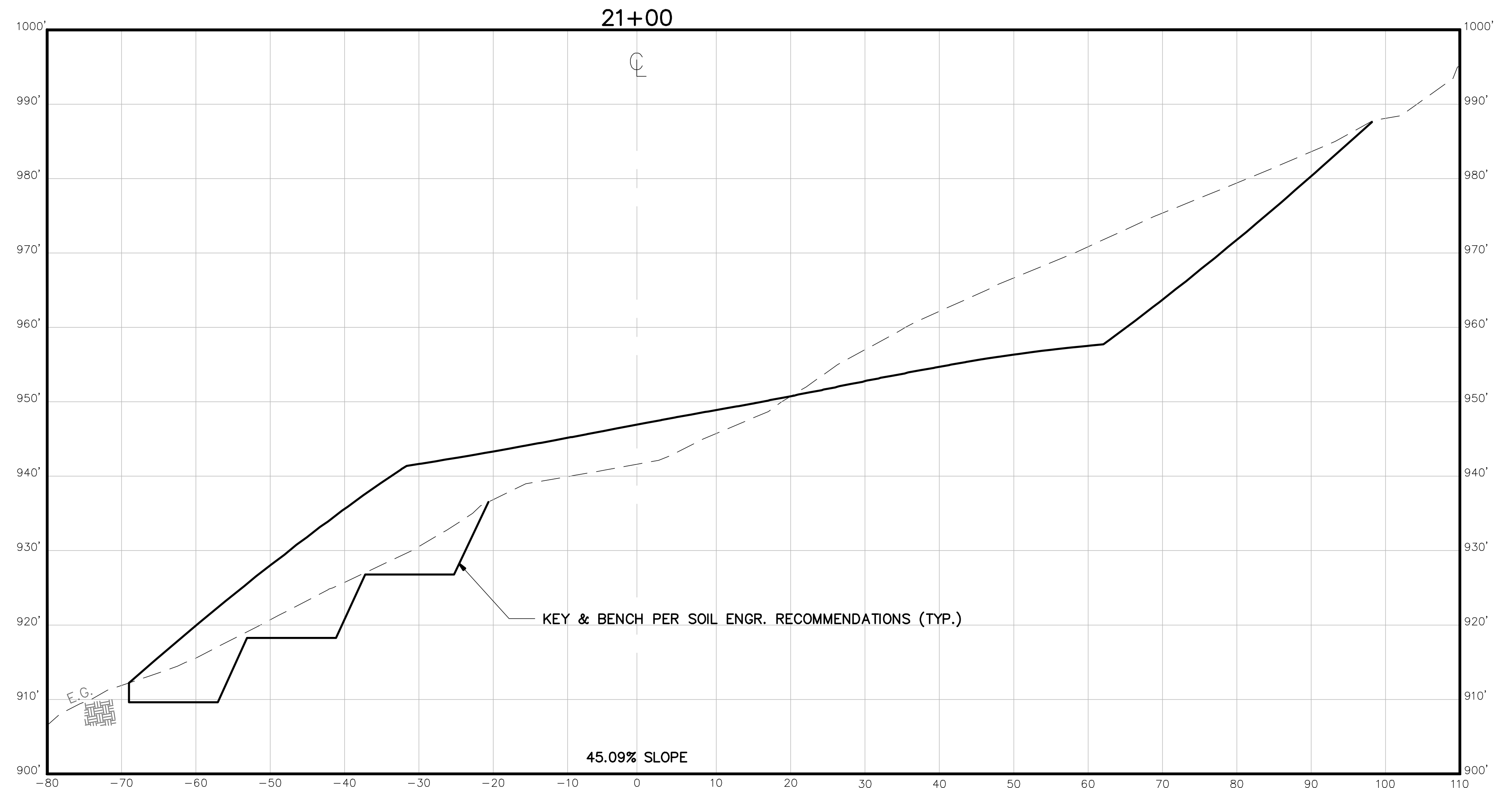
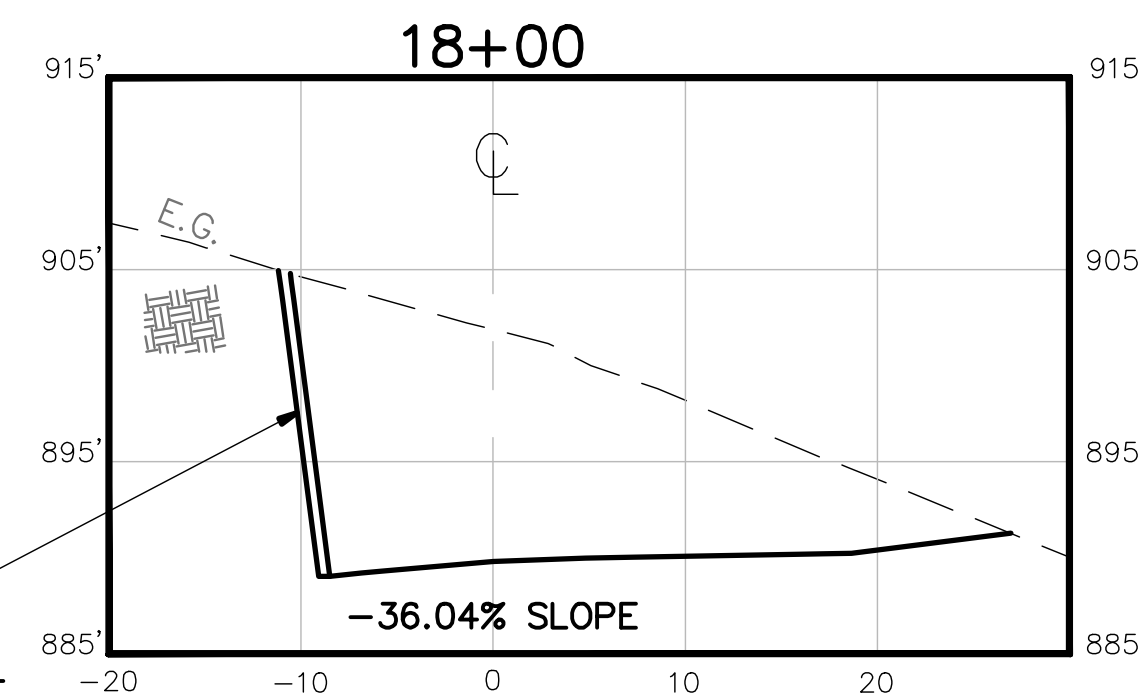
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RESIDENCE FOR: OAKVILLE LLC
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A.P.N. 027-310-031
MAILING ADDRESS: 3082 White Sulphur Springs Road
ST. HELENA, CA 94574

**DRIVEWAY
CROSS SECTIONS**

JOB NO: 2007-111G
DATE: 07/21/1999
SHEET NO:
12
OF 23 SHEETS

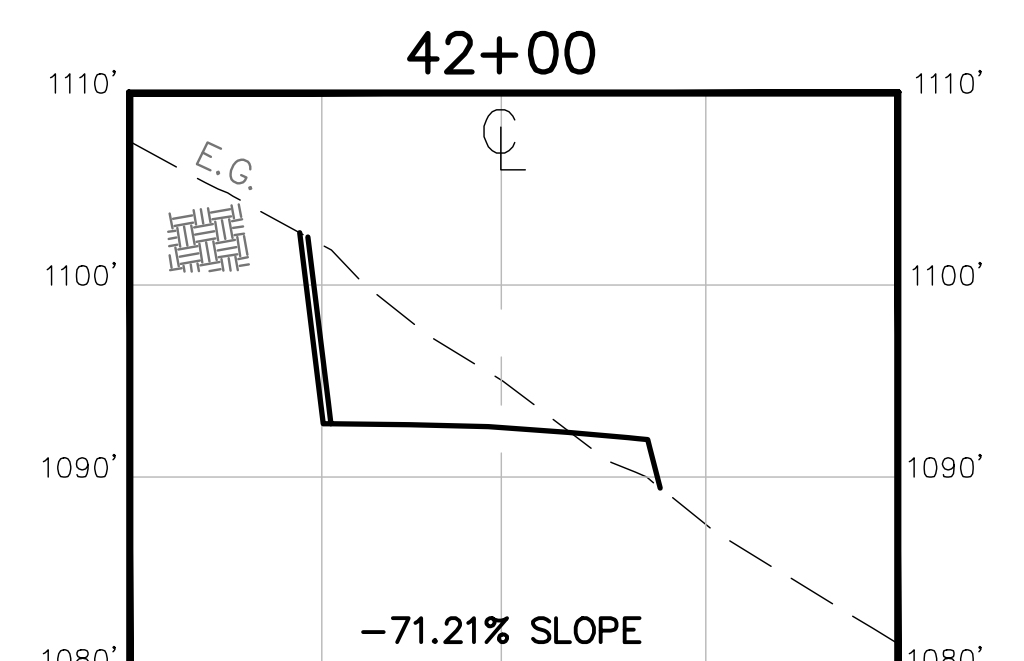
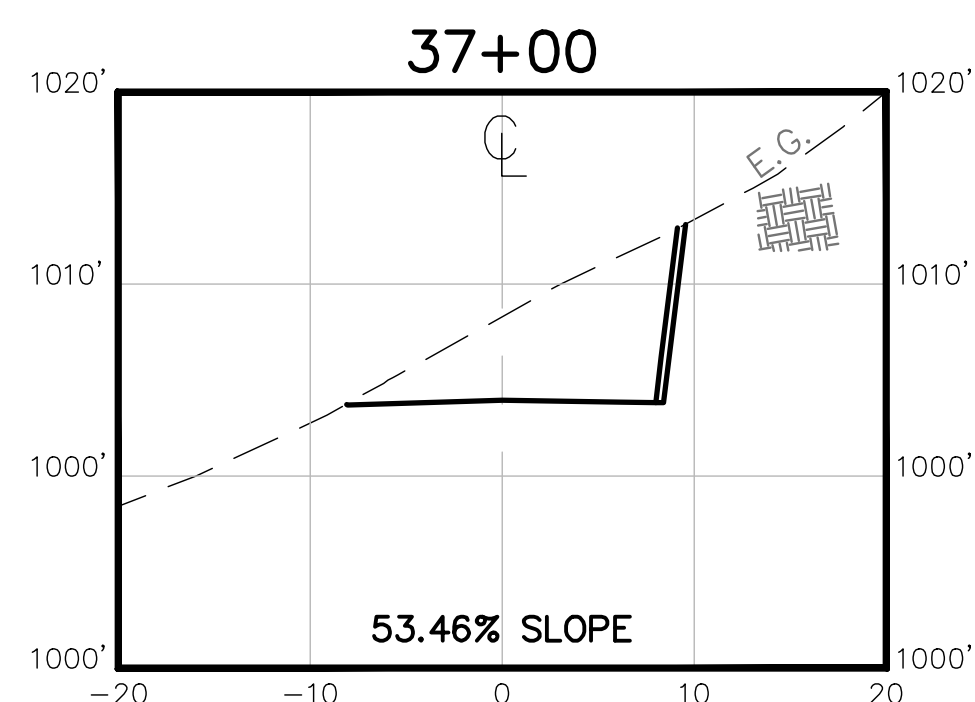
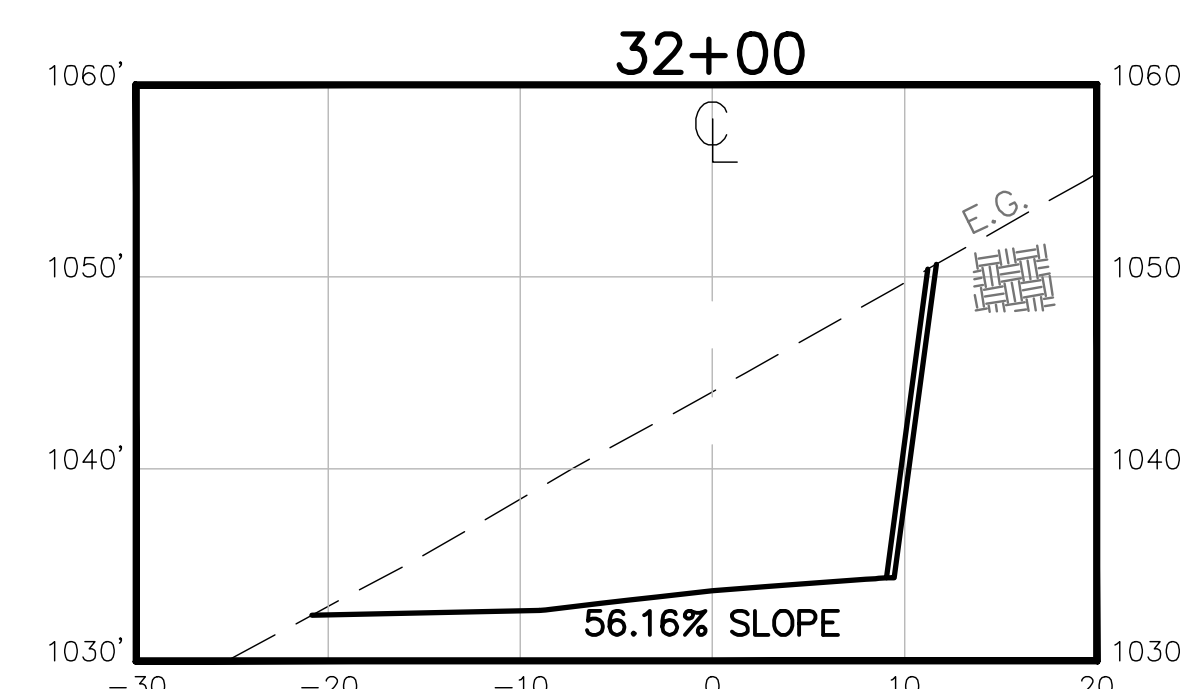
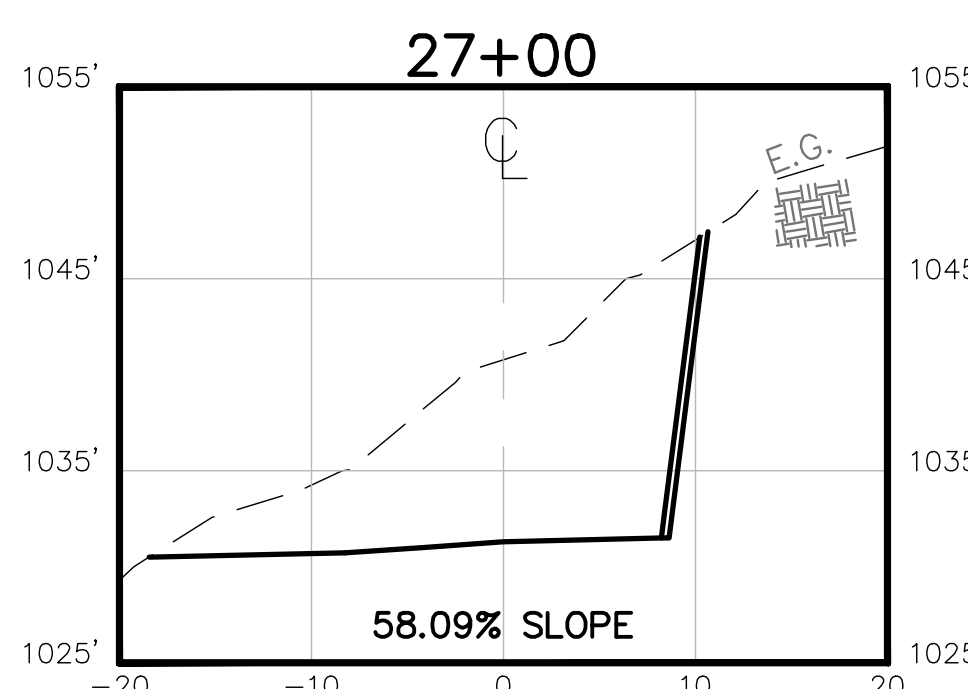
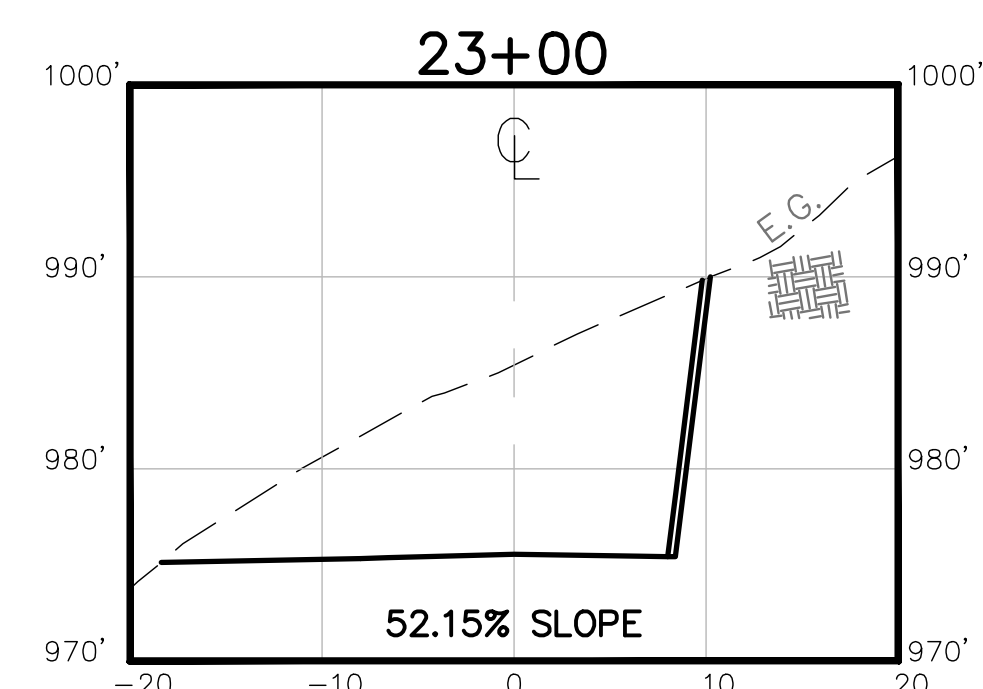
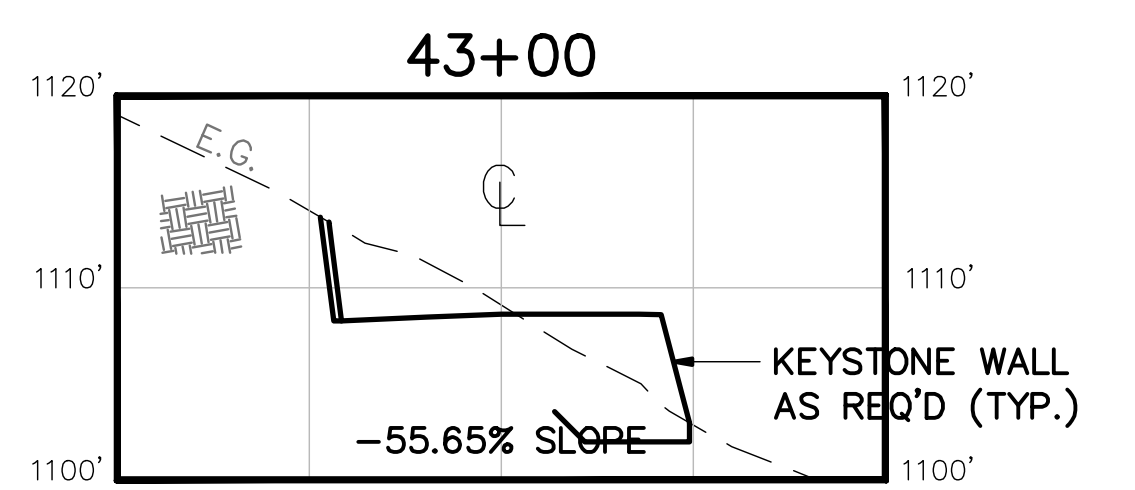
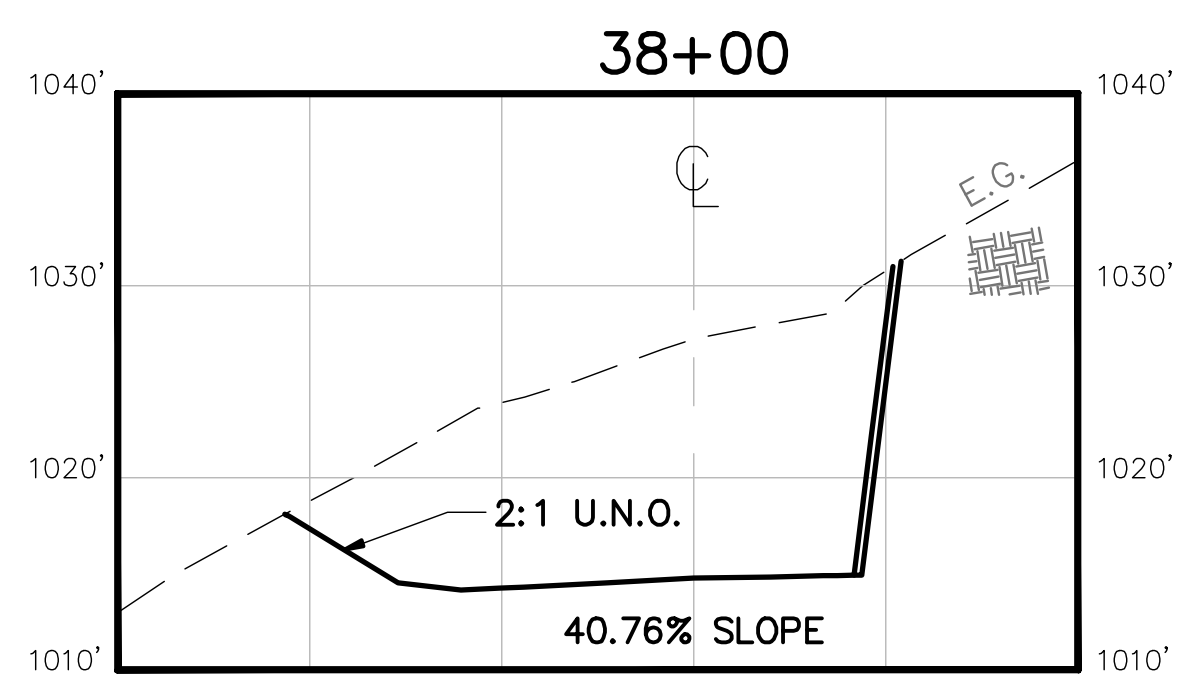
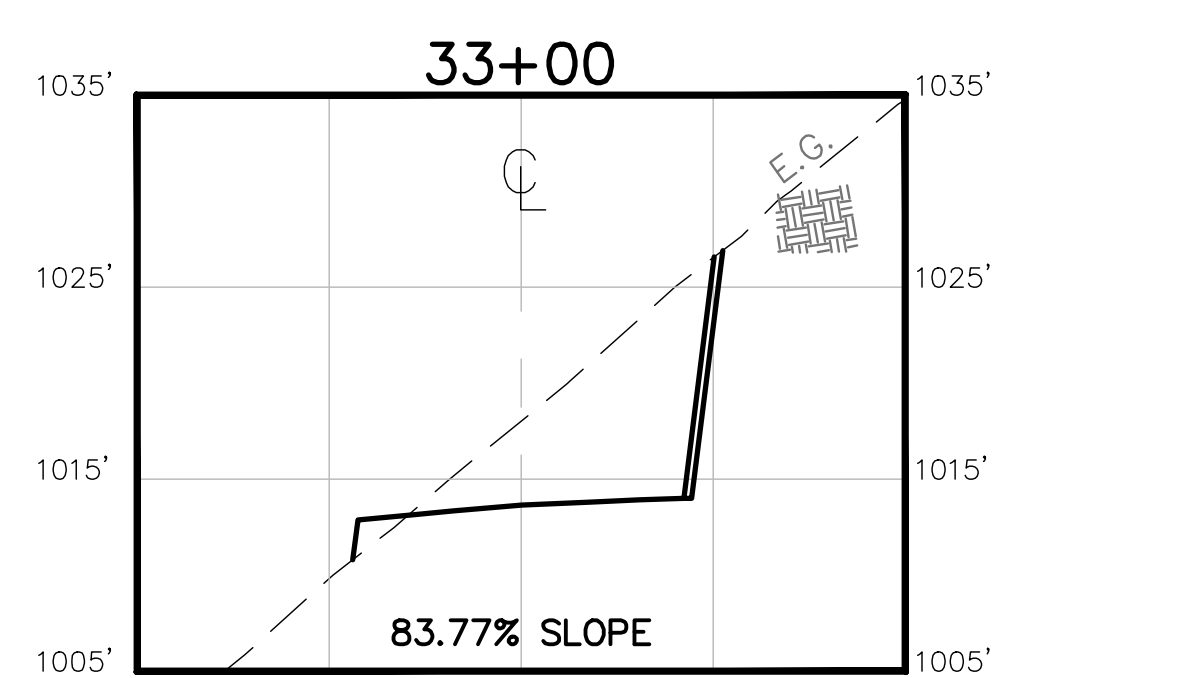
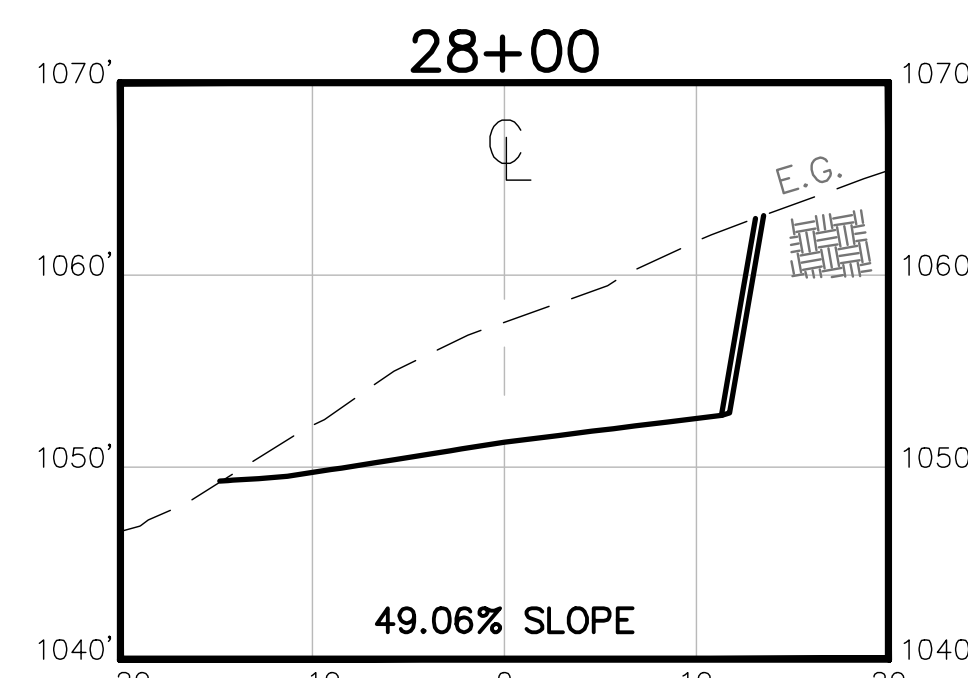
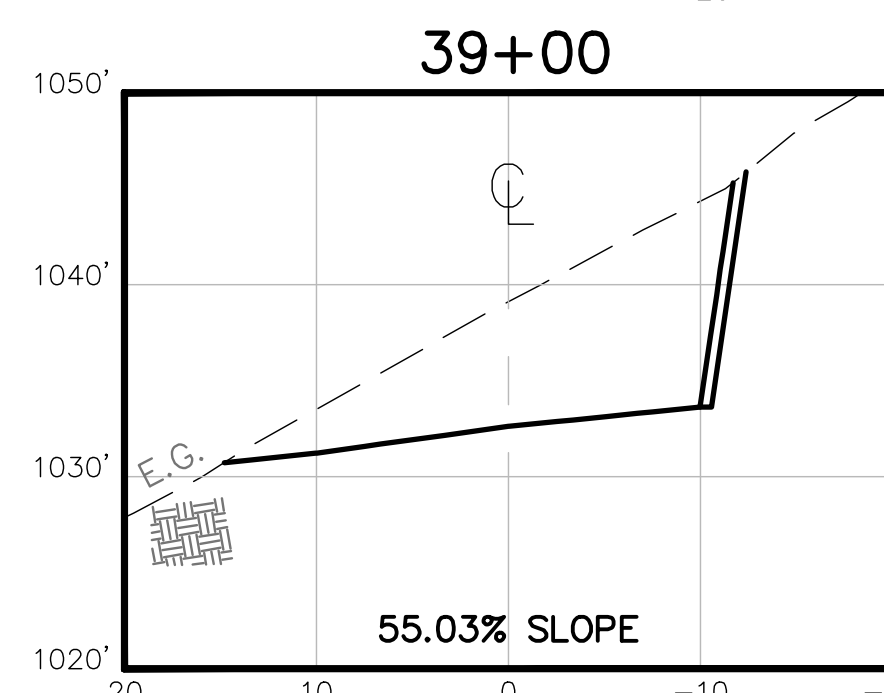
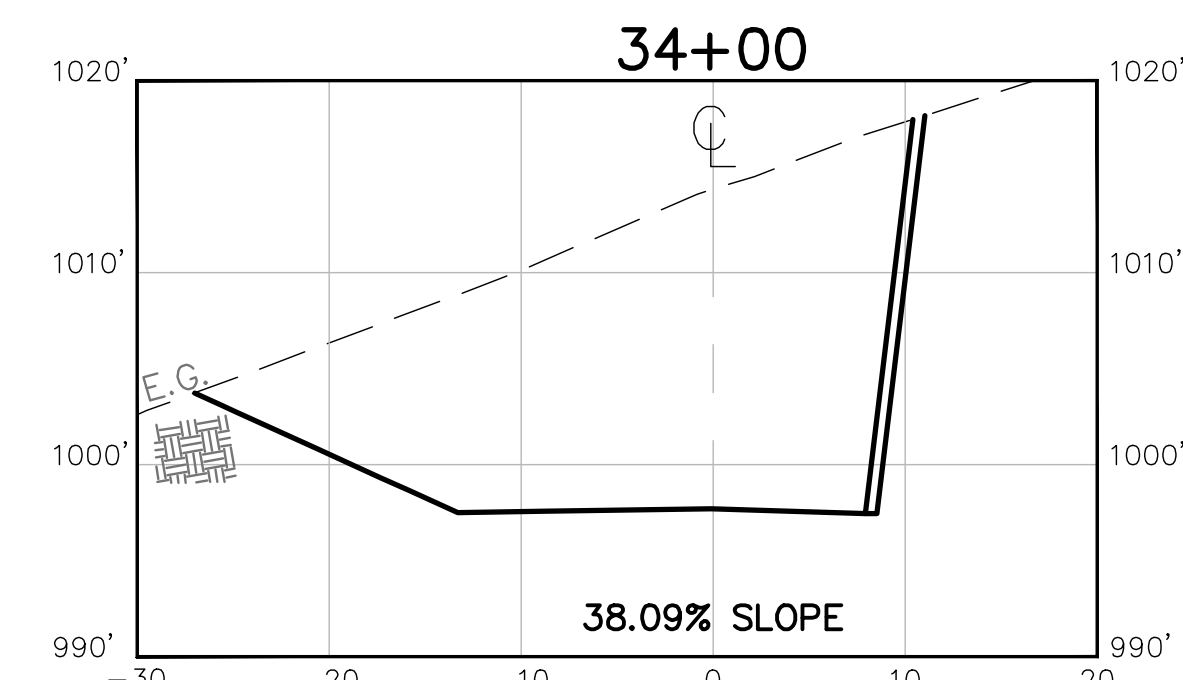
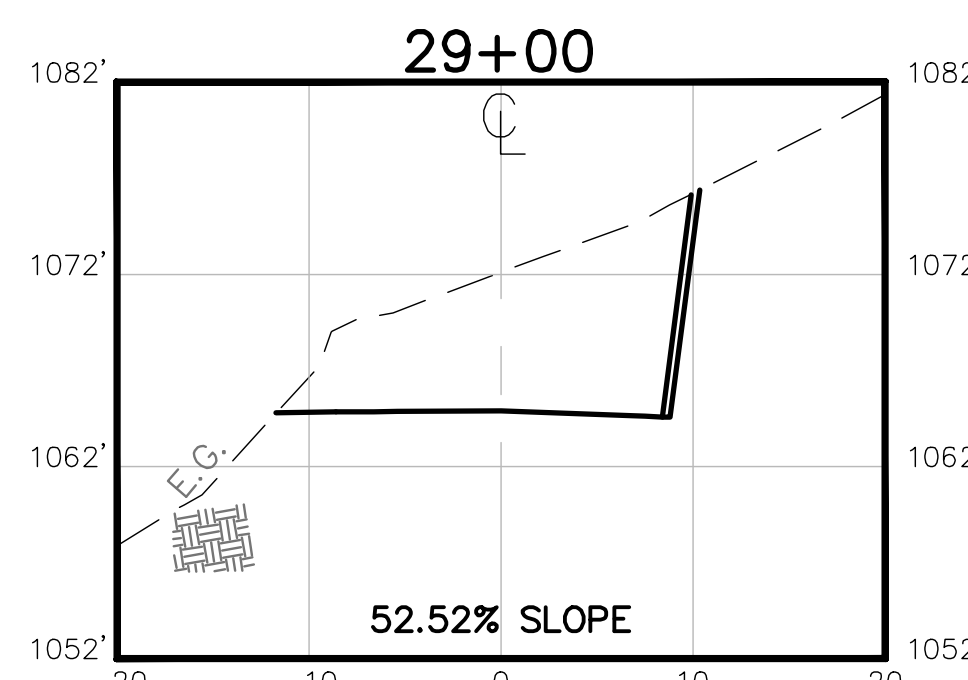
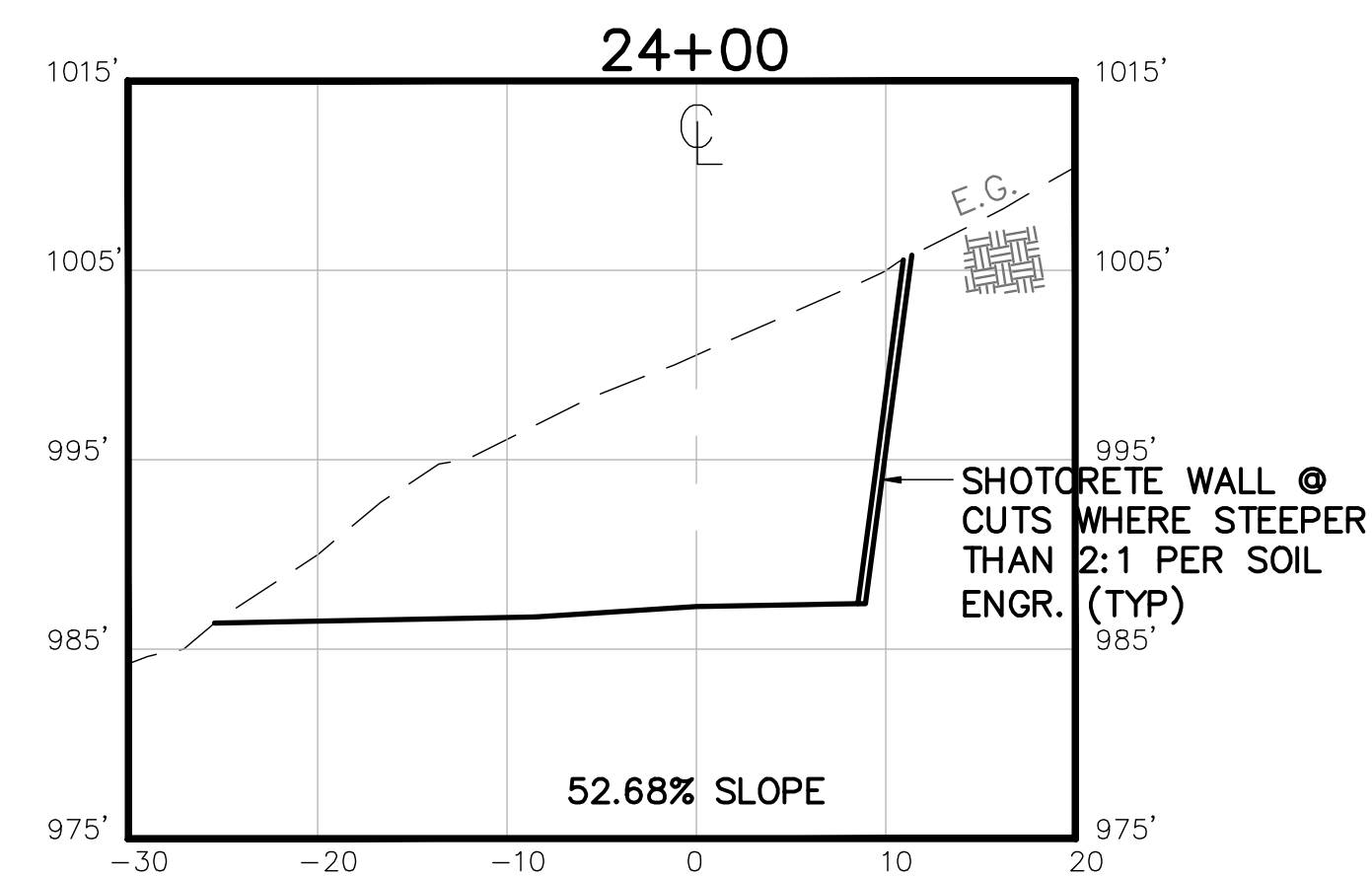
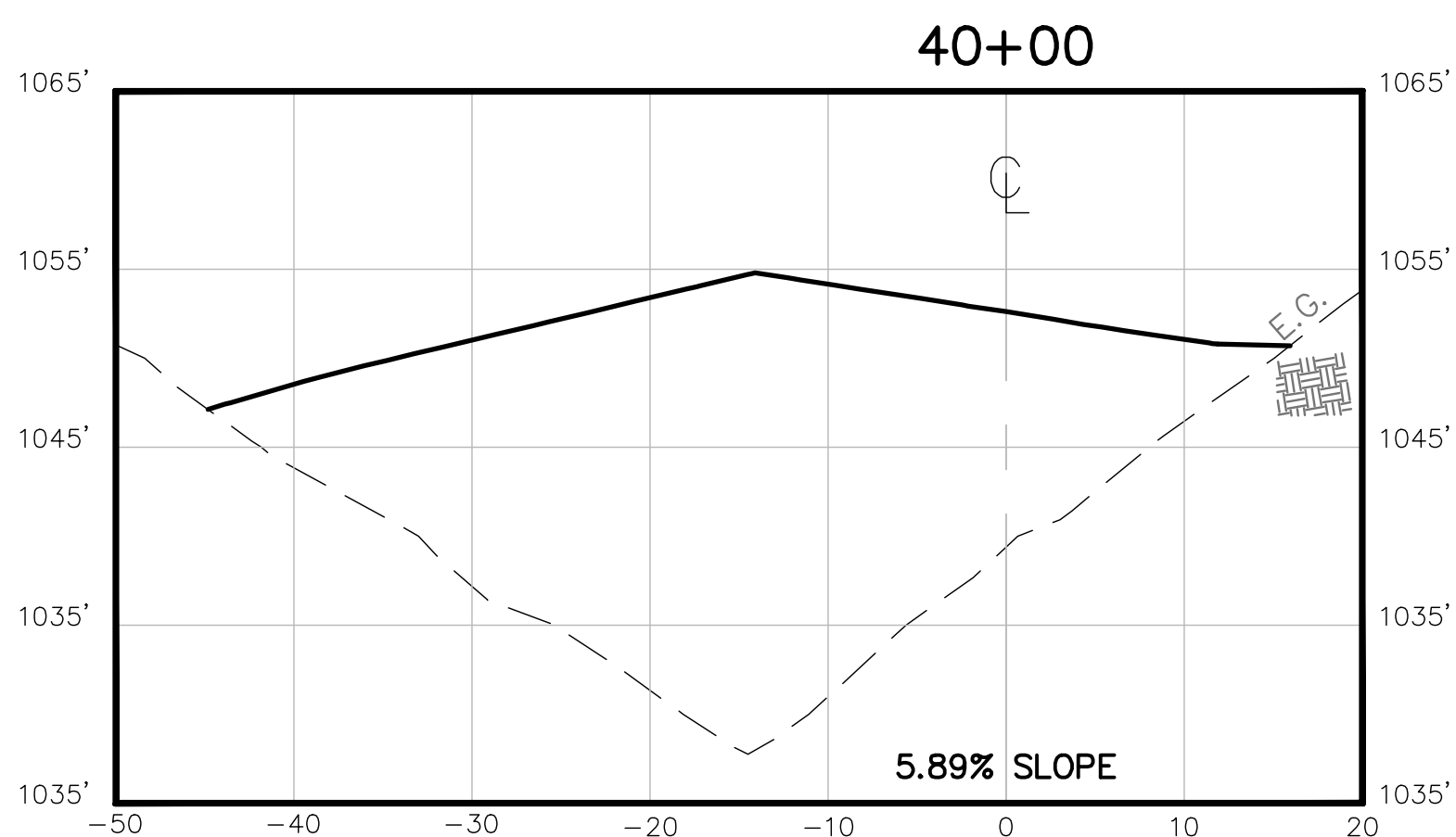
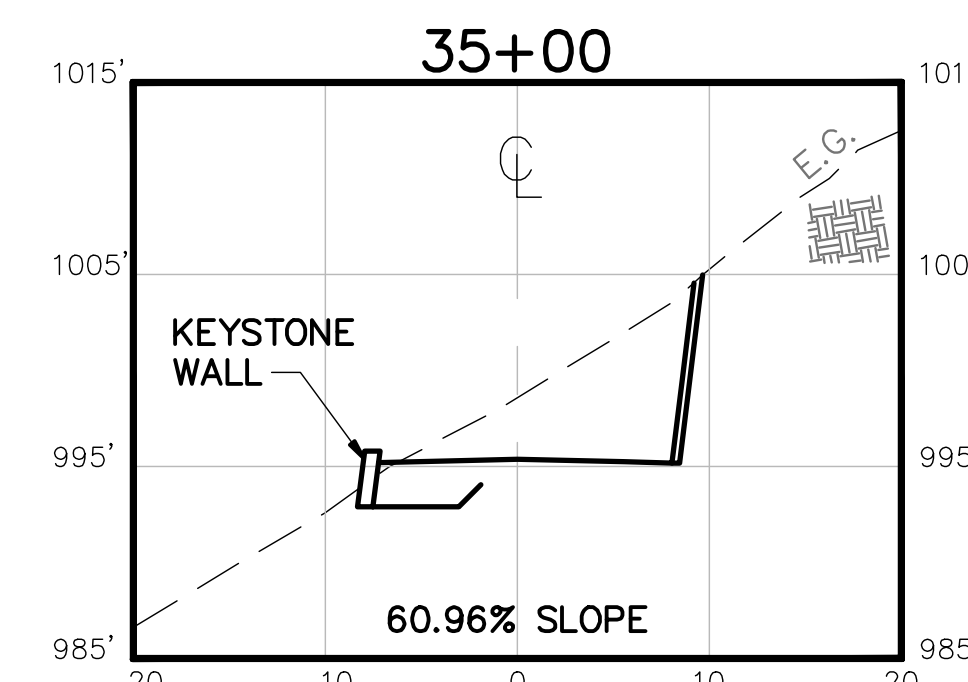
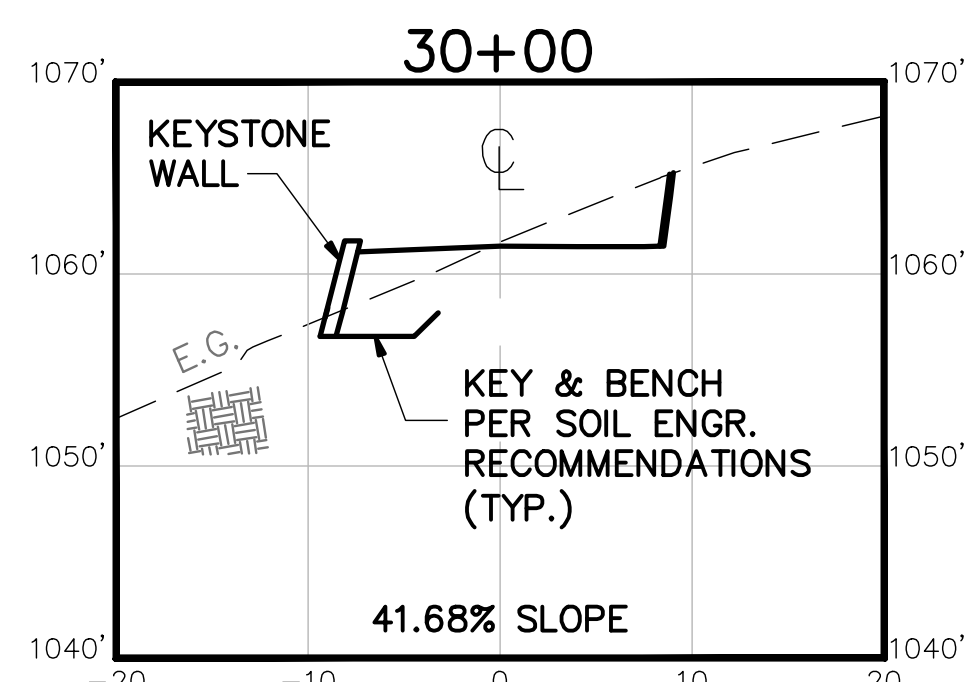
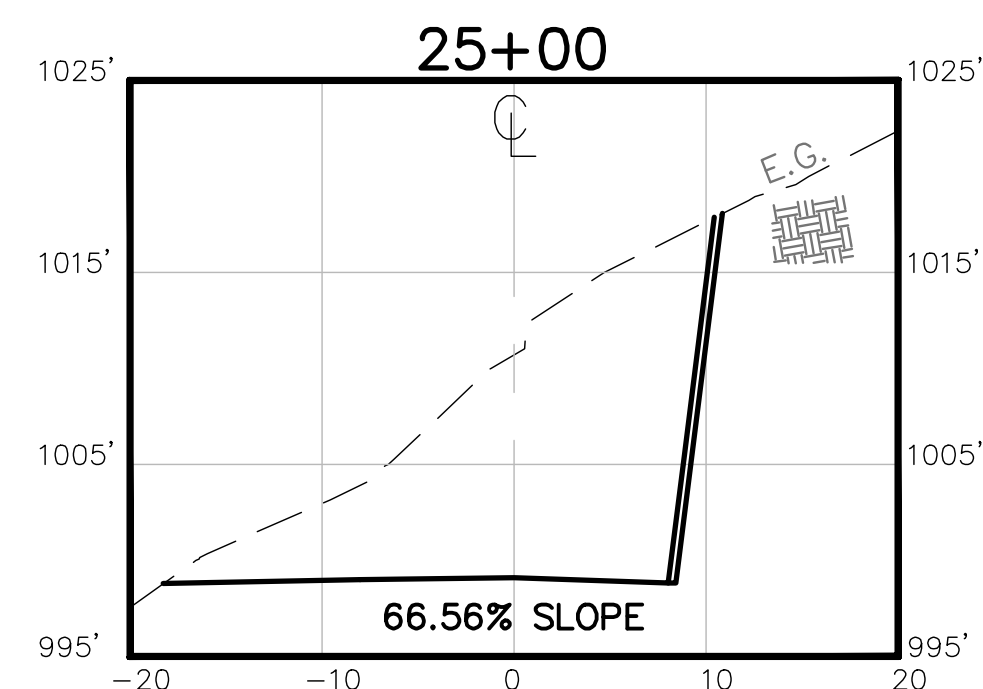
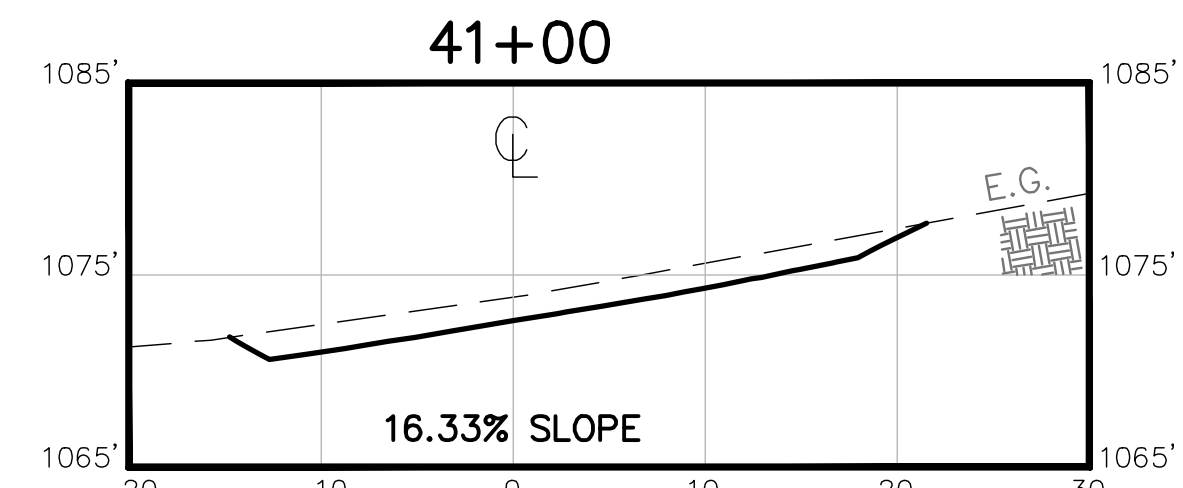
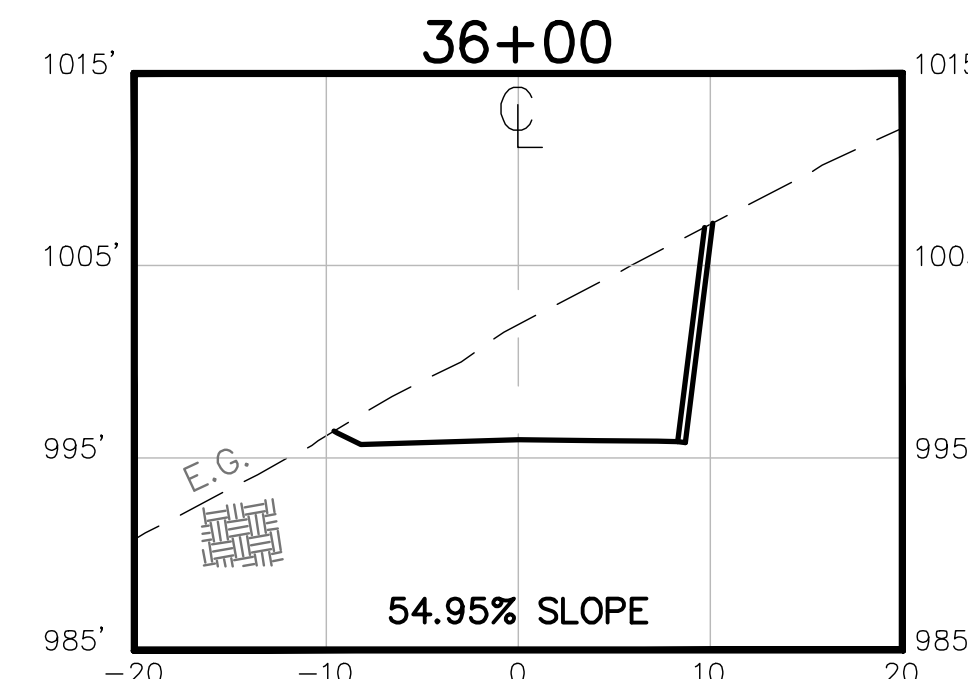
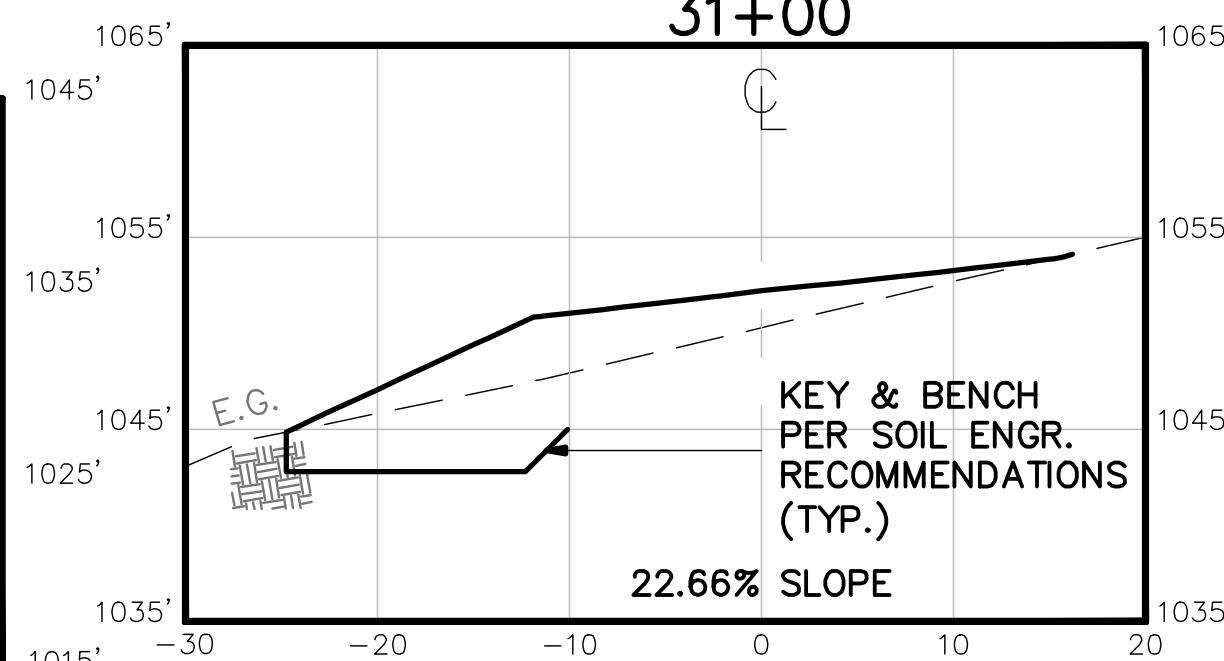
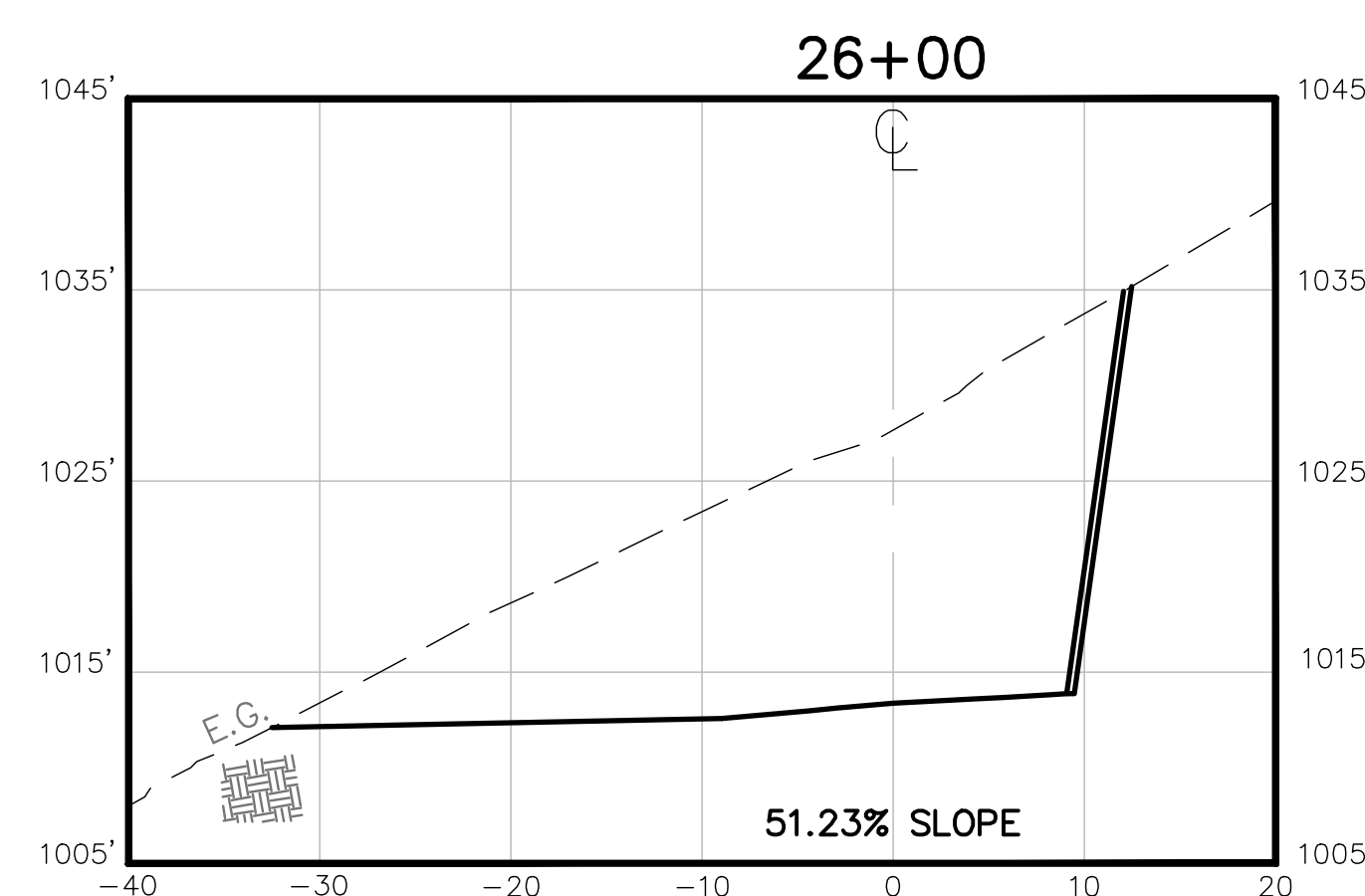
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UNAUTHORIZED CHANGES & USES
THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

SCALE: 1" = 10' HORZ. & VERT.

[illegible]



NOTES:
PLACE ALL FILL @ 90% SLOPE REL. DENS. PER SOILS ENGINEER'S
RECOMMENDATIONS. FILLS ARE TO BE CREATED WITH 10 INCH MAXIMUM
LIFTS AND SHALL BE MONITORED BY SOILS ENGINEER DURING
CONSTRUCTION. SEE SOILS REPORT FOR CLEARING & GRUBBING, SCARIFY
& RECOMPACT AND THE KEYING & BENCHING OF ALL FILLS (TYP).

ALL CUT & FILL SLOPES SHALL BE APPROVED BY THE SOILS ENGINEER PRIOR TO AND DURING CONSTRUCTION. MODIFICATIONS OF CUTS & FILLS MAY BE REQUIRED TO CONFORM TO FIELD CONDITIONS AND SOIL ENGINEER'S REQUIREMENTS (TYP).

UNAUTHORIZED CHANGES & USES

SCALE: 1" = 10' HORZ. & VERT.

<div style="display: flex; align-items: center;"> <div style="writing-mode: vertical-rl; transform: rotate(180deg); font-size: 8px; margin-right: 5px;"> 3-2014 PUBLIC RELEASE </div> <div style="text-align: center;"> <div style="font-size: 24px; font-weight: bold; margin: 0;">R.E.B.</div> <div style="font-size: 10px; font-weight: bold; margin: 0;">ENGINEERING, INC.</div> </div> </div>	DESIGNED BY:	R.E.B.							
	DRAFTED BY:	B.E.C.							
	PROJECT NO:	2007-111G	△	2-25-08	NO CHANGE ON THIS SHEET			T.T.	
	DATE:	07/21/1999	△	6-12-03	CADD FILE			REB	
			△	4-25-00	NO CHANGES THIS SHEET			REB	4-25-00
COMMENTS:			REV. NO.	REV. DATE	REVISIONS		BY	APPD.	APPD. DATE

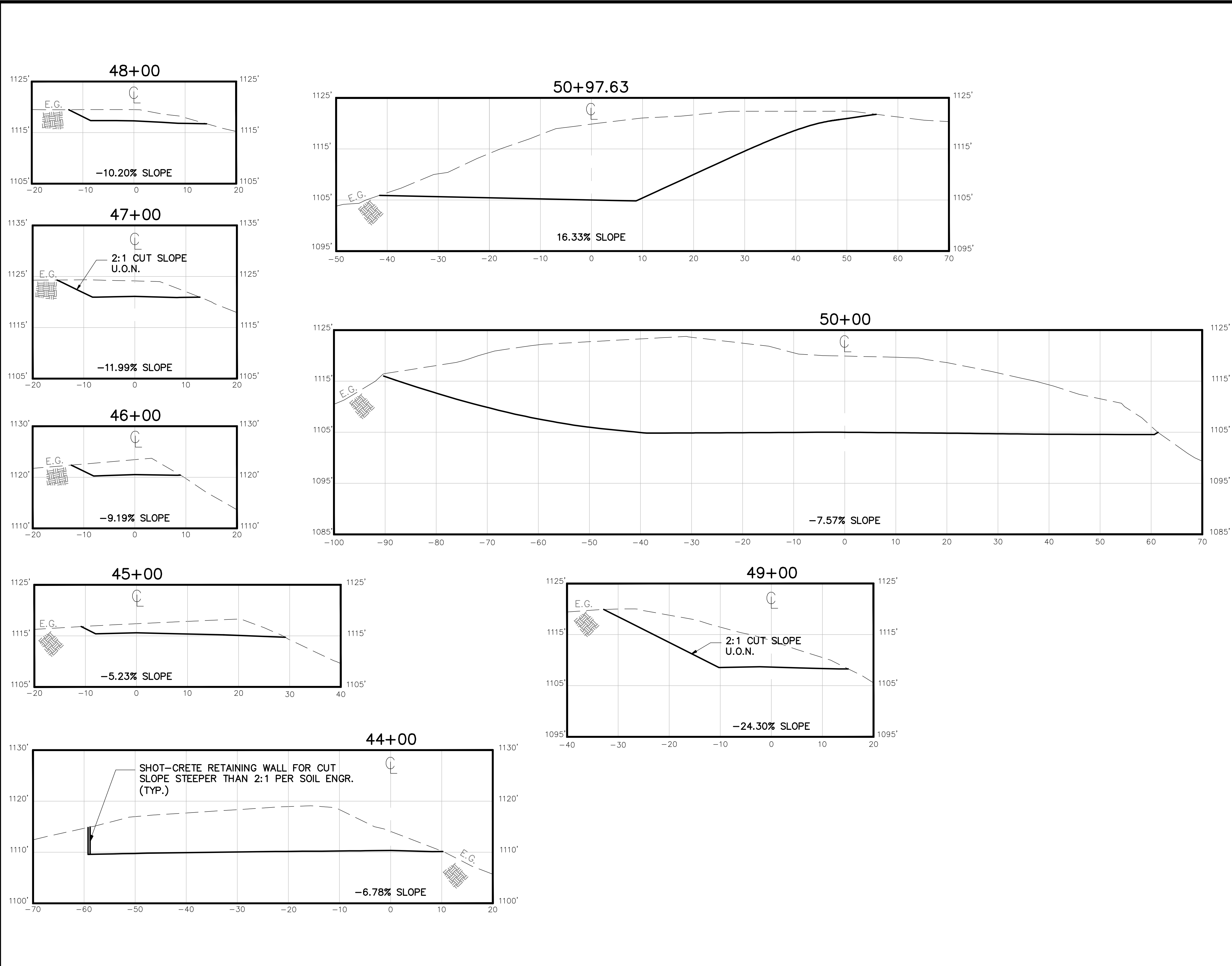
R.E.B. ENGINEERING, INC.
CIVIL & STRUCTURAL
ENGINEERING, PLANNING, & SURVEYING
 345 La Fata St., Suite B • P.O. Box 113
 Saint Helena, CA 94574
 tel: (707) 963-8638 fax: (707) 963-2346

RESIDENCE FOR: OAKVILLE LLC
CAMPBELL CREEK RANCH - PARCEL #7
A.P.N. 027-310-031
MAILING ADDRESS: 3082 White Sulphur Springs Road
ST. HELENA, CA 94574

DRIVEWAY CROSS SECTIONS

DRAWING NO: **2007-111G**
 DATE: **07/21/1999**
 SHEET NO: **14**
23 SHEETS

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SLOPE TABLE	
STATION	% SLOPE
0+00	24.29
1+00	12.59
2+00	5.53
3+00	64.8
4+00	19.07
5+00	23.75
6+00	35.75
7+00	37.98
8+00	78.78
9+00	87.66
10+00	95.31
11+00	55.63
12+00	60.55
13+00	66.28
14+00	40.23
15+00	59.03
16+00	47.43
17+00	49.96
18+00	36.04
19+00	51.20
20+00	27.76
21+00	45.09
22+00	47.25
23+00	52.15
24+00	52.68
25+00	66.56
26+00	51.23
27+00	58.09
28+00	49.06
29+00	52.52
30+00	41.68
31+00	22.66
32+00	56.16
33+00	83.77
34+00	38.09
35+00	60.96
36+00	54.95
37+00	53.46
38+00	40.76
39+00	55.03
40+00	5.89
41+00	16.33
42+00	71.21
43+00	55.65
44+00	6.78
45+00	5.23
46+00	9.19
47+00	11.99
48+00	10.20
49+00	24.3
50+00	7.57
50+97.63	16.33
NOTE: STATIONS UNDER 5% NOT APPLICABLE	
TOTAL SUM:	2202.44
TOTAL SUB STATIONS:	52
AVERAGE PROJECT SLOPE:	42%

NOTES:
PLACE ALL FILL @ 90% SLOPE REL. DENS. PER SOILS ENGINEER'S RECOMMENDATIONS. FILLS ARE TO BE CREATED WITH 10 INCH MAXIMUM LIFTS AND SHALL BE MONITORED BY SOILS ENGINEER DURING CONSTRUCTION. SEE SOILS REPORT FOR CLEARING & GRUBBING, SCARIFY & RECOMPACT AND THE KEYING & BENCHING OF ALL FILLS (TYP).

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SCALE: 1" = 10' HORZ. & VERT.

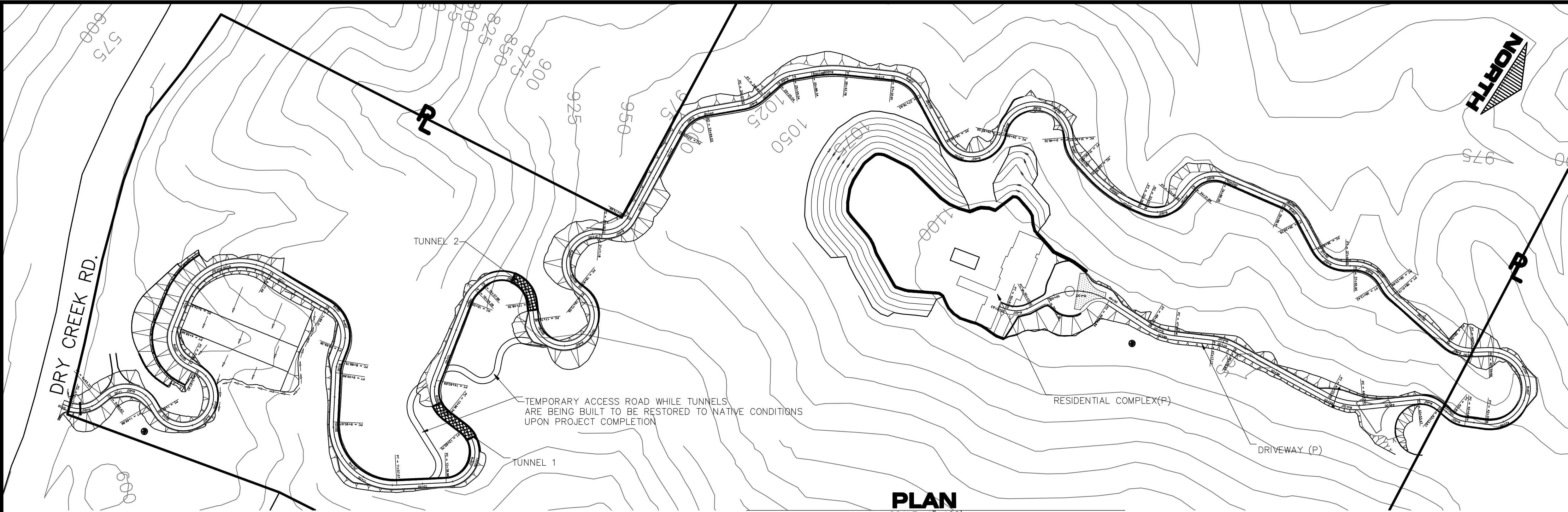
R.E.B. ENGINEERING, INC.	DESIGNED BY:	R.E.B.							R.E.B. ENGINEERING, INC. CIVIL & STRUCTURAL ENGINEERING, PLANNING, & SURVEYING 345 La Fata St., Suite B • P.O. Box 113 Saint Helena, CA 94574 tel: (707) 963-8638 fax: (707) 963-2346	RESIDENCE FOR: OAKVILLE LLC CAMPBELL CREEK RANCH - PARCEL #7 A.P.N. 027-310-031 MAILING ADDRESS: 3082 White Sulphur Springs Road ST. HELENA, CA 94574	DRIVEWAY CROSS SECTIONS	JOB NO:	2007-111G
	DRAFTED BY:	B.E.C.						DATE:				07/21/1999	
	PROJECT NO:	2007-111G		2-25-08	NO CHANGE ON THIS SHEET	T.T.		SHEET NO:				15	
	DATE:	07/21/1999		6-12-03	CADD FILE	REB		OF				23	
	COMMENTS:			4-25-00	NO CHANGES THIS SHEET	REB	REB	4-25-00				SHEETS	
	REV. NO.	REV. DATE		REVISIONS	BY	APPD.	APPD. DATE						

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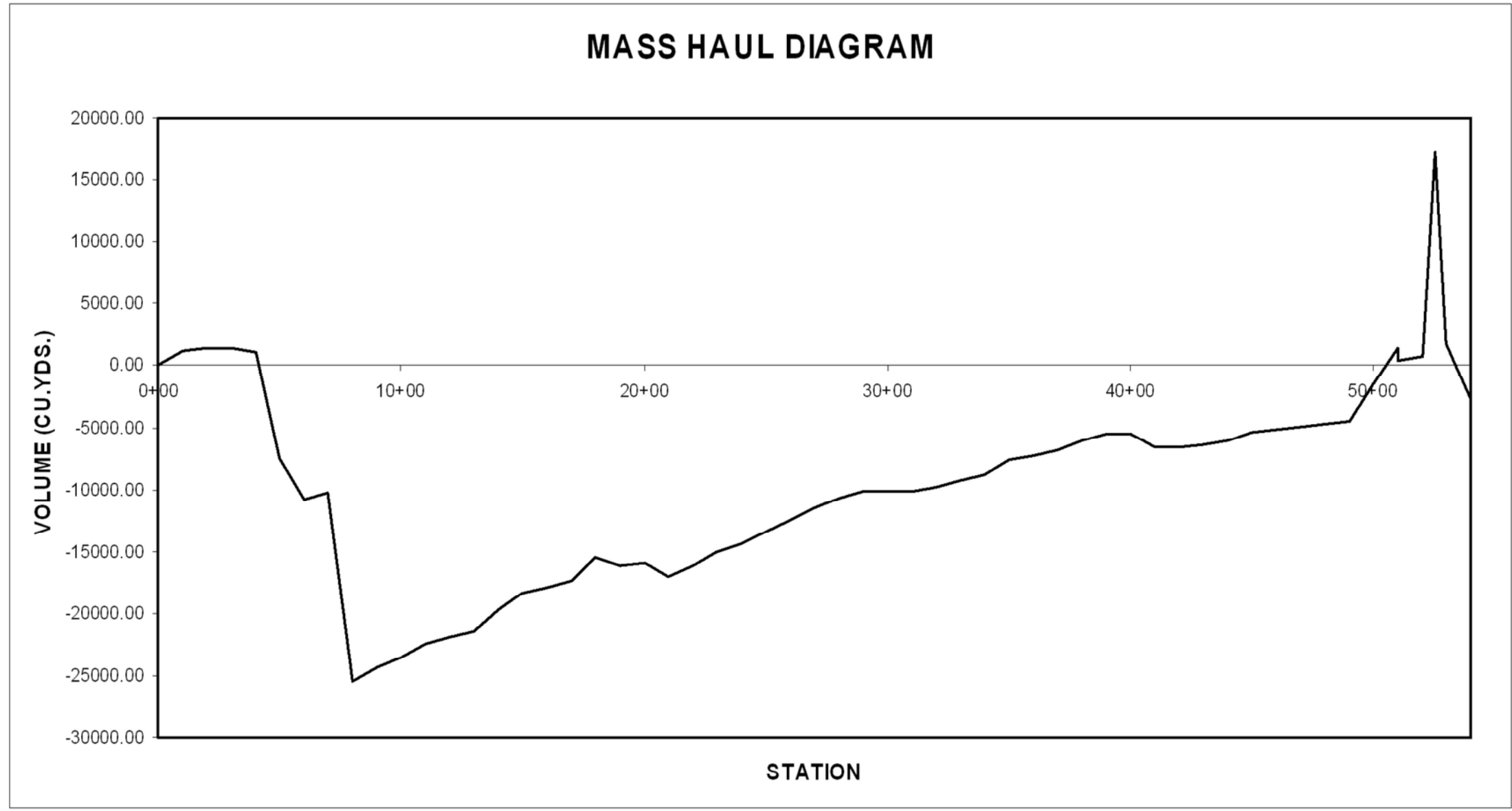
<div>R.E.B. ENGINEERING, INC. <small>SUNBELT PROJECTS, DIVISION</small></div>	DESIGNED BY:	R.E.B.																		JOB NO:	2007-111G
	DRAFTED BY:	B.E.C.																		DATE:	07/21/1999
	PROJECT NO:	2007-111G	△	2-25-08	ENTIRE SHEET.															SHEET NO:	16
	DATE:	07/21/1999	△	6-12-03	NEW SHEET															OF	23
			△	4-25--00	NO CHANGES THIS SHEET															SHEET	
	COMMENTS:																				
		REV. NO.	REV. DATE	REVISIONS				BY	APPD.	APPD. DATE											
<div>R.E.B. ENGINEERING, INC. CIVIL & STRUCTURAL ENGINEERING, PLANNING, & SURVEYING 345 La Fata St., Suite B • P.O. Box 113 Saint Helena, CA 94574 tel: (707) 963-8638 fax: (707) 963-2346</div>										<div>RESIDENCE FOR: OAKVILLE LLC CAMPBELL CREEK RANCH - PARCEL #7 A.P.N. 027-310-031 MAILING ADDRESS: 3082 White Sulphur Springs Road ST. HELENA, CA 94574</div>											
VEGETATION PLAN																					

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MASS HAUL DIAGRAM

CONSTRUCTION SEQUENCE
(INCLUDES SEQUENCE FOR BOTH APN 027-310-032 &031)



CONSTRUCTION ITEM	1Q '08	2Q '08	3Q '08	4Q '08	1Q '09	2Q '09	3Q '09	4Q '09	1Q '10	2Q '10	3Q '10	4Q '10	1Q '11	2Q '11	3Q '11	4Q '11
SURVEYING AND STEAKE OUT																
SURVEYING AND STAKE OUT OF ROAD BUILDING																
SET FINISH GRADE STAKE																
OPERATION AND INITIAL WORK																
TEMPORARY POWER / PERSONNEL PARKING																
JOB OFFICE AND COMMUNICATIONS																
TREE AND BRUSH REMOVAL																
DRIVEWAY ENTRANCE & GATE																
GRADING & EARTH MOVING																
ROAD EXCAVATION CUT & FILL TUNNELS																
TUNNEL CONSTRUCTION																
ROAD EXCAVATION CUT & FILL AFTER TUNNELS																
HOUSE LOAD & FOUNDATION EXCAVATION																
RESTORATION OF DESIGNATED AREAS																
UTILITY TRENCH / CONDUIT / BACKFILL																
SET CULVERTS / PULL BOXES / PULL WIRE																
SOIL NAILING AND RETAINING WALL																
ROAD WAY BASE /FINISH GRADE / AC PAVING																
EROSION CONTROL																
EROSION CONTROL MEASURES																
SWPPP IMPLEMENTATION																
BUILDING CONSTRUCTION																
FOUNDATION FOR BUILDINGS																
FRAMING																
ROOF																
EXTERIOR FINISH																
INTERIOR WALLS																
ELECTRICAL																
WATER SYSTEM																
WASTEWATER																

CONSTRUCTION METHODS NOTES

1. UPON OBTAINING THE BUILDING PERMIT, AND THE GRADING ENCROACHMENT PERMIT FOR THE DRIVEWAY, THE CONTRACTOR SHALL BEGIN CLEARING WORK ACCORDING TO THE PROJECT PLANS. A 3 ACRE EXEMPTION PERMIT IS REQUIRED FROM C.D.F. PRIOR TO REMOVING COMMERCIAL TIMBER.
2. VEGETATION REMOVAL, CLEARING, AND GRUBBING SHALL BE RESTRICTED TO THE IMPROVEMENTS SHOWN ON THE PLANS. ALL TREES AND VEGETATION SHALL BE REMOVED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. TOPSOIL SHALL BE STOCKPILED FOR USE AT THE RESIDENCE OR IN CONJUNCTION WITH THE INSTALLATION OF THE WASTEWATER DISPOSAL SYSTEM.
3. GRADING WORK SHALL PROCEED TO CREATE CUT AND FILLS FOR THE DRIVEWAY. THE FILLS FOR THE DRIVEWAY IN THE AREA OF STATION 28+00 WILL COME FROM THE EXCAVATION OF THE RESIDENCE COMPLEX FOUNDATION WITH THE APPROVAL OF THE SOILS ENGINEER.
4. RETAINING WALLS SHALL BE CONSTRUCTED AS NEEDED TO COMPLETE DRIVEWAY AND RESIDENCE ROUGH GRADING.
5. STORM DRAINAGE IMPROVEMENTS SHALL BE INSTALLED PRIOR TO OCT. OF THE CONSTRUCTION YEAR.
6. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PER THE PLAN AND SHEET 20 "WINTERIZATION SCHEDULE". EROSION CONTROL MEASURES SHOULD BE IN PLACE BY OCT. 1ST OF EACH YEAR.
7. SEE STORM WATER POLLUTION PREVENTION PLAN SWPPP FOR ADDITIONAL INFORMATION PERTAINING TO THIS PROJECT.
8. ALL GRADING AND EARTH MOVING SHALL BE FROM APRIL TO OCT. 15TH UNLESS APPROVED IN WRITING BY THE PLANNING DIRECTOR.
9. THE CONTRACTOR SHALL TAKE SPECIAL CARE TO REDUCE THE IMPACT OF CONSTRUCTION WORK TO THE NATURAL SURROUNDINGS ON THE PROPERTY. UPON COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT AND MATERIALS AND REJUVENATE AREAS AS NEEDED TO ENHANCE THE SITE AESTHETICS.

STATION	CUMULATIVE VOLUME	
	CUT	FILL
0+00	0.05	1.65
1+00	1124.51	4.90
2+00	1548.94	219.16
3+00	1898.90	482.20
4+00	2473.37	1463.66
5+00	2473.37	9945.07
6+00	2473.31	13236.86
7+00	2998.68	13312.73
8+00	3500.00	28900.00
9+00	4541.40	28900.00
10+00	5381.82	28900.00
11+00	6389.69	28900.00
12+00	6969.53	28900.00
13+00	7443.44	28900.00
14+00	9208.00	28900.00
15+00	10580.67	28900.00
16+00	11020.68	28900.00
17+00	11591.47	28905.17
18+00	13466.14	28905.17
19+00	13605.14	29763.59
20+00	13906.62	29802.63
21+00	13906.62	30925.09
22+00	14803.56	30984.38
23+00	15935.04	30984.51
24+00	16671.16	30984.51
25+00	17602.79	30984.76
26+00	18542.11	30984.76
27+00	19519.66	30984.76
28+00	20271.43	30984.76
29+00	20793.50	30984.76
30+00	20935.42	31085.62
31+00	20975.67	31178.98
32+00	21386.42	31222.02
33+00	21946.76	31222.49
34+00	22430.77	31246.66
35+00	23662.91	31247.32
36+00	23973.27	31247.87
37+00	24378.75	31248.12
38+00	25199.58	31248.49
39+00	25699.90	31248.49
40+00	26031.76	31568.68
41+00	26114.84	32762.24
42+00	26207.60	32768.95
43+00	26363.14	32801.76
44+00	26823.49	32874.71
45+00	27532.98	32875.34
46+00	27732.44	32875.59
47+00	27950.24	32884.52
48+00	28122.62	32884.77
49+00	28399.93	32888.76
50+00	31386.35	32888.76
50+98	34281.42	32888.88
51+00	37721.42	37368.88
52+00	41161.42	41848.88
53+00	44601.42	46328.88
54+00	48041.42	50808.88
54+96	51481.42	55288.88

R.E.B. ENGINEERING, INC.	DESIGNED BY:	R.E.B.									
	DRAFTED BY:	B.E.C.									
	PROJECT NO:	2007-111G	2-25-08	ENTIRE SHEET							
	DATE:	07/21/1999	6-12-03	CADD FILE							
	COMMENTS:		4-25-00	NO CHANGES THIS SHEET							
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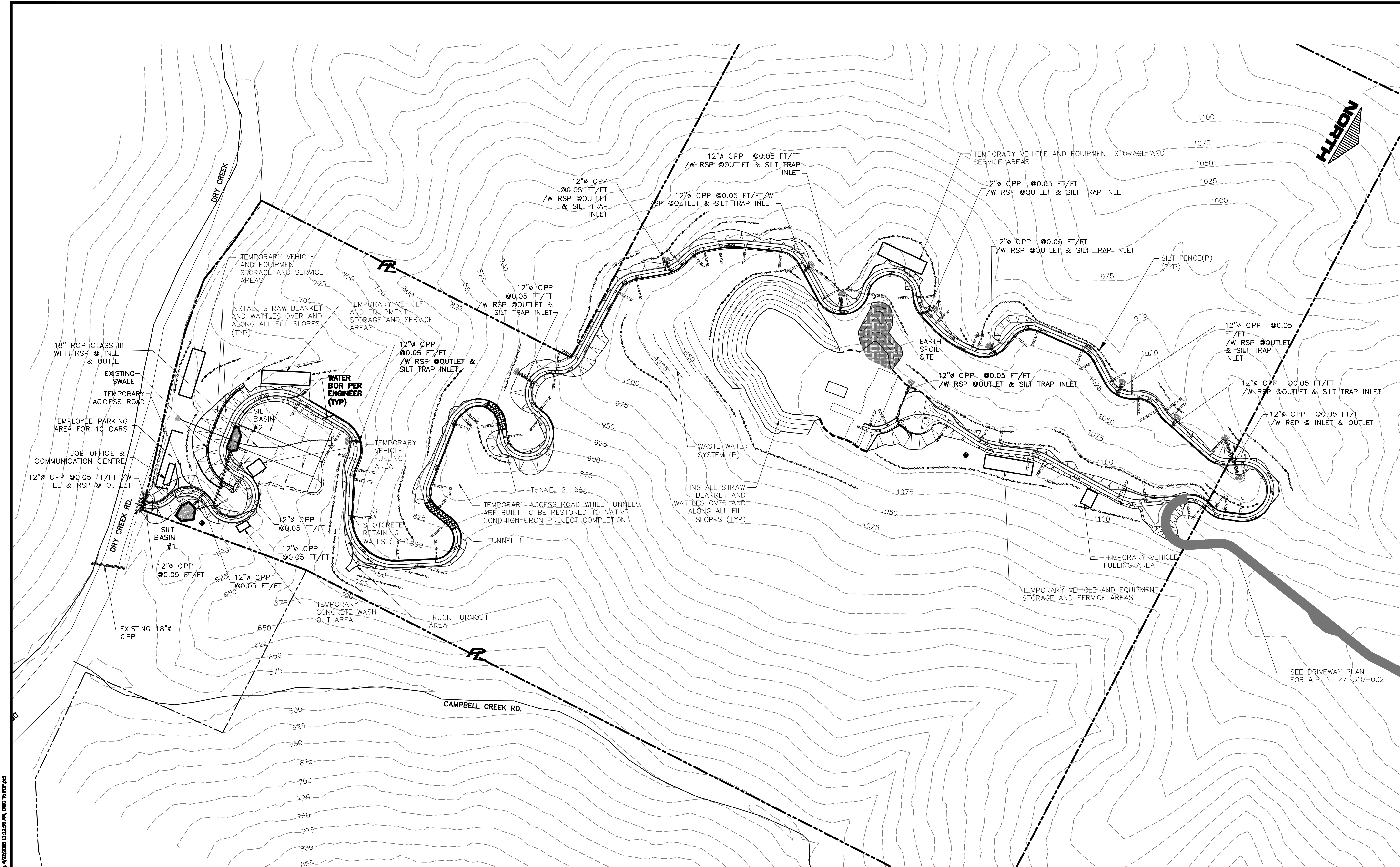
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A.P.N. 027-310-031
MAILING ADDRESS: 3082 White Sulphur Springs Road
ST. HELENA, CA 94574

CONSTRUCTION
METHOD PLAN

JOB NO: **2007-111G**
DATE: **07/21/1999**
SHEET NO:
19
OF **23** SHEETS

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WINTERIZING OF DRIVEWAY & EXPOSED EARTH AREAS

TEMPORARY INTERIM EROSION CONTROL MEASURES

1. BEGIN UPON RECEIVING PERMIT (JUNE 200±). END UPON COMPLETING CONSTRUCTION OF ALL PROJECT PHASES.
2. INSTALL SILT FENCES BELOW ALL CUT AND FILL AREAS AND ALL EXPOSED EARTH SURFACES. THIS WORK SHALL BEGIN UPON STARTING CONSTRUCTION TO CONTAIN SOIL ON THE SITE DURING CONSTRUCTION PER PLANS.
3. SPREAD STRAW MULCH OVER ALL EXPOSED EARTH SURFACES WHEN CHANCE OF RAIN IS OVER 70% AS DETERMINED BY THE NATIONAL WEATHER BUREAU, PER APPLICATION SCHEDULE ON SHEET 18.

WINTERIZATION EROSION CONTROL MEASURES

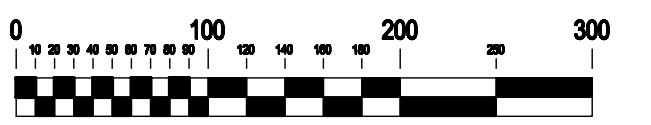
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2. SPREAD STRAW MULCH OVER ALL EXPOSED EARTH SURFACES WHEN CHANCE OF RAIN IS OVER 70% AS DETERMINED BY THE NATIONAL WEATHER BUREAU, PER APPLICATION SCHEDULE ON SHEET 18.
3. INSTALL WATER BARS AND CHECK DAMS PER PLAN IN THE EVENT PERMANENT EROSION MEASURES ARE NOT COMPLETED.

4. CHIPSEAL SURFACE OVER DRIVEWAY TO REDUCE THE NEED FOR WATER BARS.

PERMANENT EROSION CONTROL MEASURES

1. BEGIN UPON RECEIVING PERMIT (JUNE 2000±). END UPON COMPLETING CONSTRUCTION OF ALL PROJECT PHASES.
2. ROCK LINED DITCHES
3. CULVERTS WITH RSP @ INLET AND OUTLET
4. RETAINING WALLS TO REDUCE EXPOSED EARTH SURFACES
5. DRIVEWAY ASPHALT PAVEMENT UPON COMPLETION OF FOUNDATION AND FRAMING OF RESIDENCE.
6. SILT BASIN.

PLAN



SCALE: 1" = 100'

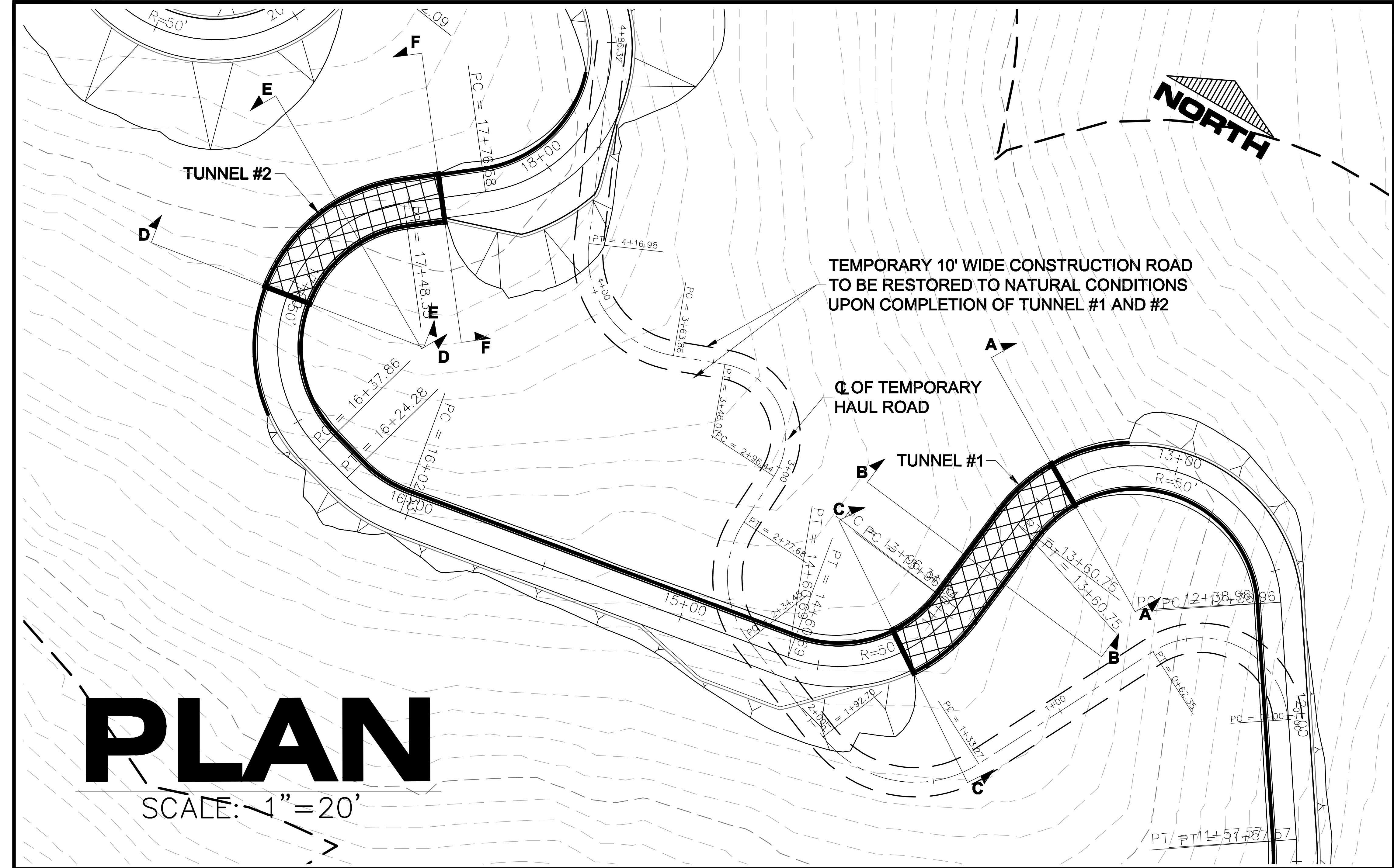
R.E.B. ENGINEERING, INC.	DESIGNED BY:	R.E.B.							
	DRAFTED BY:	B.E.C.							
	PROJECT NO:	2007-111G	2-25-08	NEW SHEET					
	DATE:	07/21/1999	6-12-03	NA					
	COMMENTS:		4-25-00	NA					
	REV. NO.		REV. DATE	REVISIONS	BY	APPD.	APPD. DATE		

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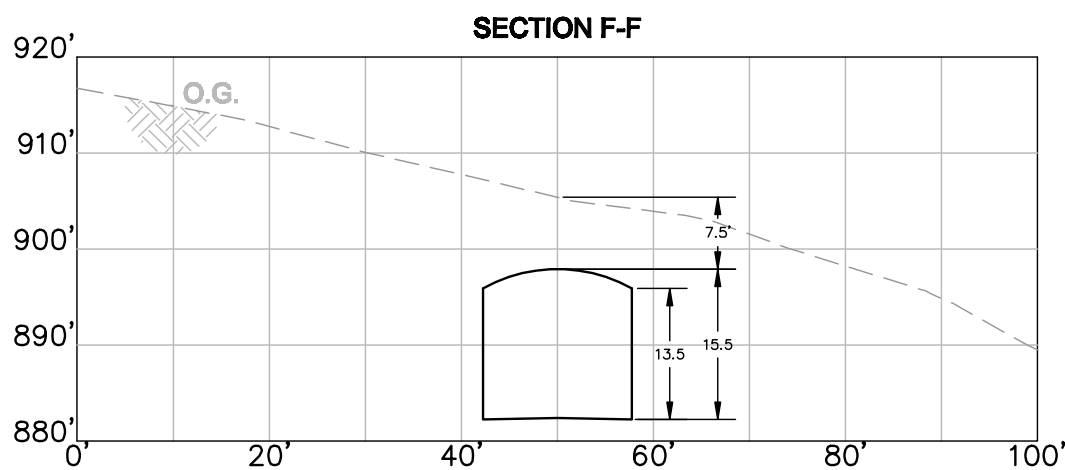
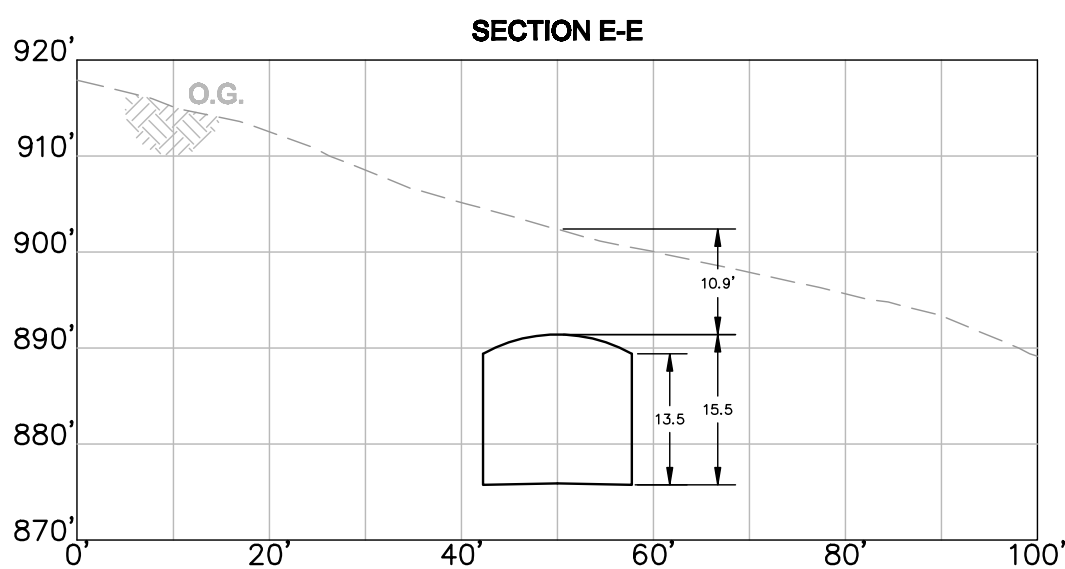
WINTERIZATION SCHEDULE

JOB NO: **2007-111G**
DATE: **07/21/1999**
SHEET NO: **20**
OF **23** SHEETS



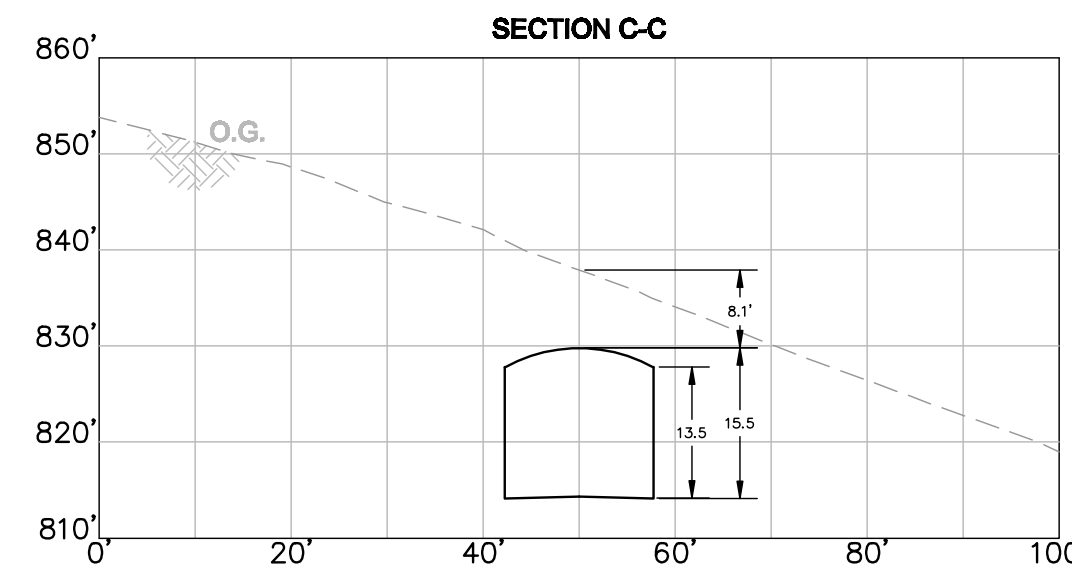
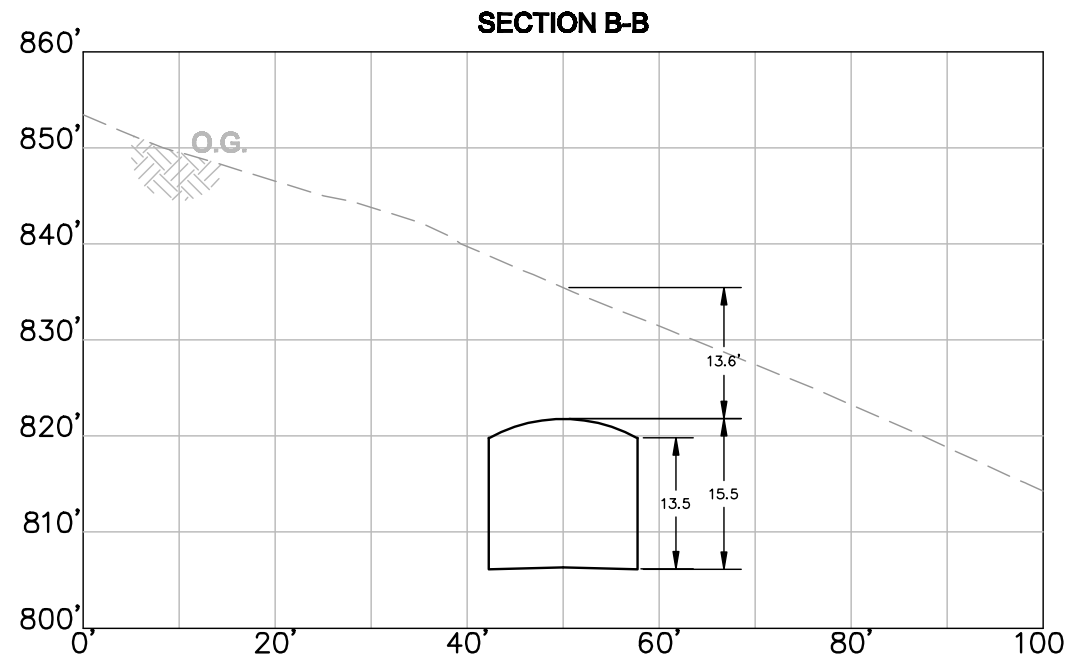
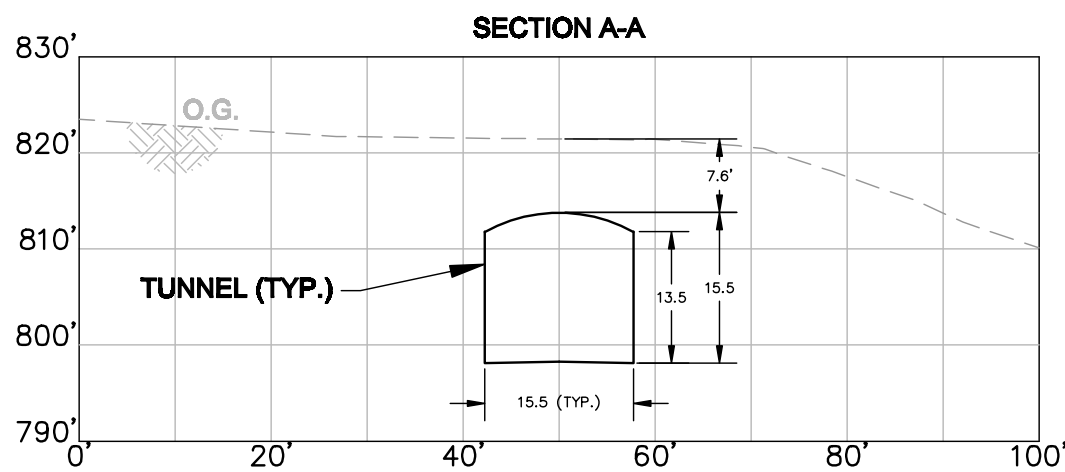
SECTIONS - TUNNEL #2

SCALE: 1"=20'

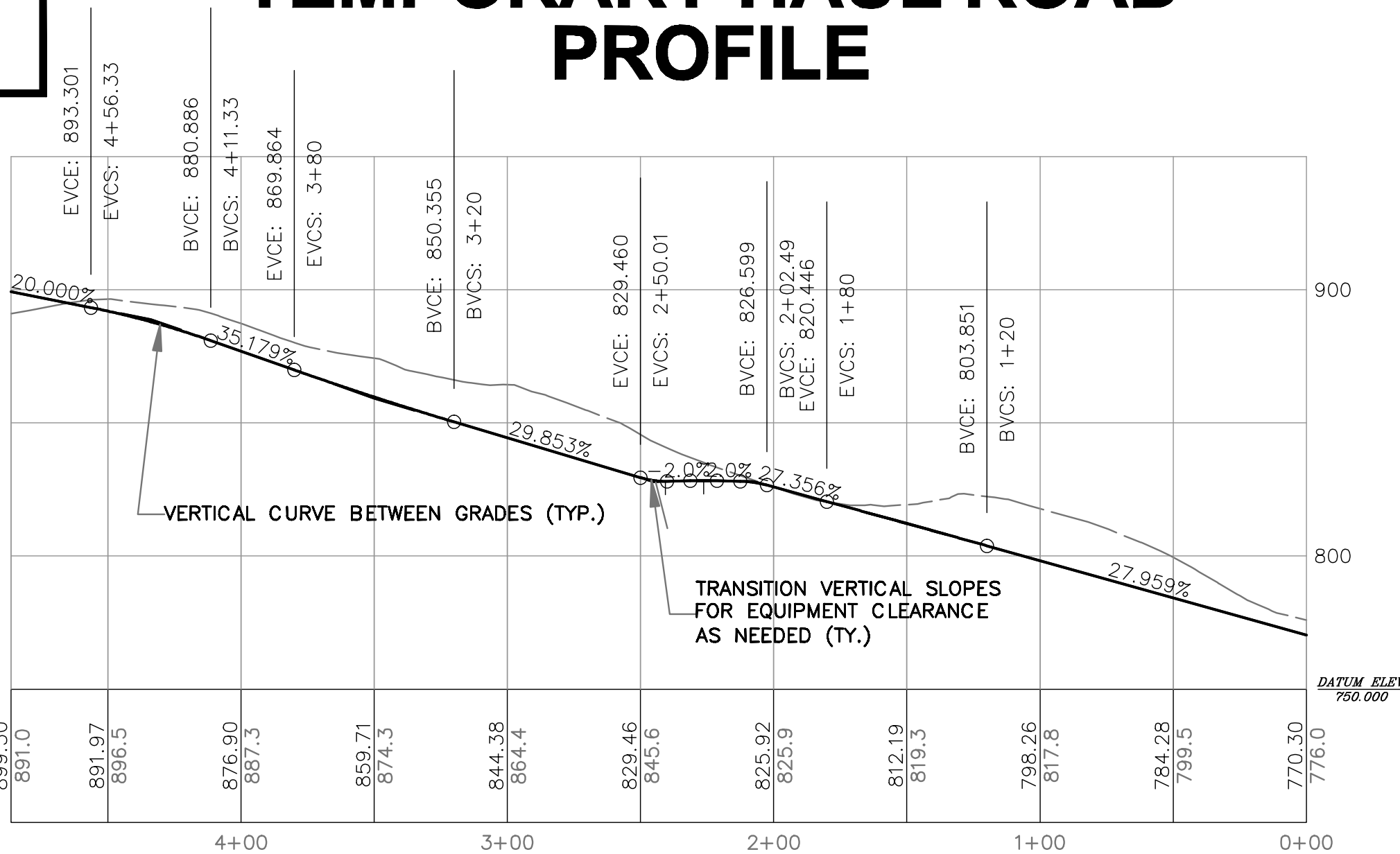


SECTIONS - TUNNEL #1

SCALE: 1"=20'



TEMPORARY HAUL ROAD PROFILE



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R.E.B. ENGINEERING, INC.	DESIGNED BY:	R.E.B.							
	DRAFTED BY:	B.E.C.							
	PROJECT NO:	2007-111G							
	DATE:	07/21/1999							
	COMMENTS:								
	REV. NO.	REV. DATE	REVISIONS	BY	APPD.	APPD. DATE			
			2-25-08 NEW SHEET	REB					
			6-12-03 NA	REB					
			4-25-00 NA	REB					

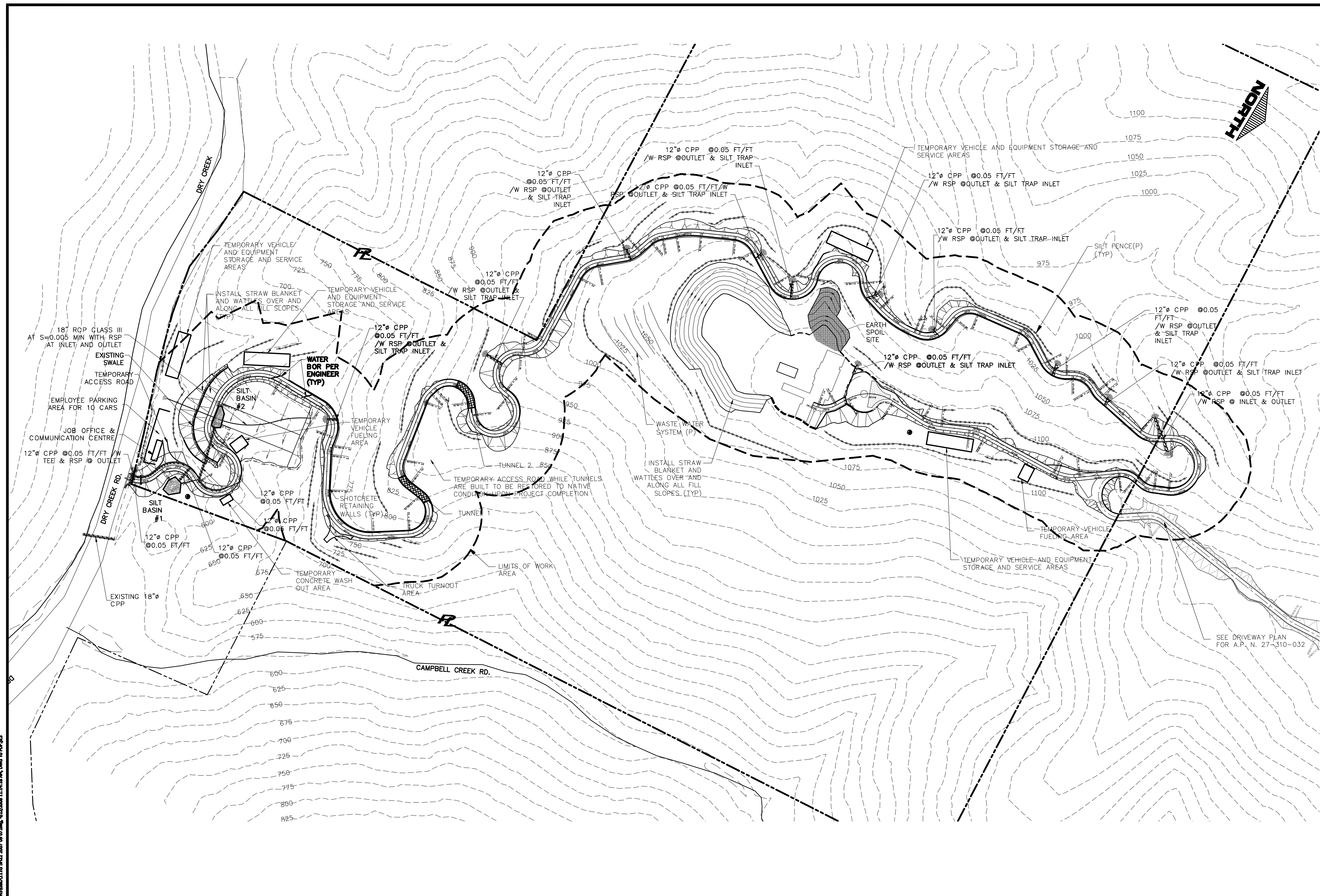
R.E.B. ENGINEERING, INC.
CIVIL & STRUCTURAL
ENGINEERING, PLANNING, & SURVEYING
345 La Fata St., Suite B • P.O. Box 113
Saint Helena, CA 94574
tel: (707) 963-8638 fax: (707) 963-2346

RESIDENCE FOR: OAKVILLE LLC
CAMPBELL CREEK RANCH - PARCEL #7
A.P.N. 027-310-031
MAILING ADDRESS: 3082 White Sulphur Springs Road
ST. HELENA, CA 94574

**DRIVEWAY
TUNNEL PLAN**

JOB NO: **2007-111G**
DATE: **07/21/1999**
SHEET NO: **21**
OF **23** SHEETS

FOR PERMIT ONLY NOT FOR CONSTRUCTION

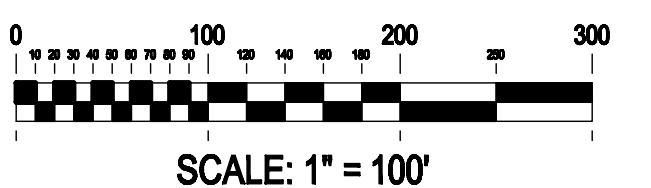


NOTES

- 1) REFER TO STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR ADDITIONAL INFORMATION PERTAINING TO STORM WATER
- 2) THE LOCATIONS OF TEMPORARY FACILITIES FOR THE CONSTRUCTION OF PHASE I ARE SHOWN FOR CONCEPTUAL PURPOSES. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD. TEMPORARY FACILITIES SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION AND DISTURBED SOILS SHALL BE REVEGETATED PER THE PROJECT RESTORATIONIST.
- 3) THE DISTURBANCE OF SITE SOILS AND VEGETATION SHALL BE LIMITED TO THE IMMEDIATE AREA OF THE PROPOSED ROAD, HOUSE, WASTE WATER SYSTEM AND PERMITTED IMPROVEMENTS SHOWN ON THESE PLANS. 4) THE CONTRACTOR SHALL REPLACE ALL TREES AND REVEGETATE ANY LOCATIONS OUTSIDE OF THE IMPROVEMENTS SHOWN THAT ARE DAMAGED DURING CONSTRUCTION.
- 4) A COPY OF THE SWPPP DOCUMENT / REPORT SHALL BE KEPT IN THE JOB OFFICE AND COMMUNICATION CENTER ON SITE AT ALL TIMES. THE EROSION CONTROL COMPLIANCE PERSON'S NAME AND PHONE NUMBER SHALL BE PROVIDED TO THE NAPA COUNTY DEPARTMENT OF PUBLIC WORKS FOR COMPLIANCE WITH THE SWPPP REQUIREMENTS.

FOR PERMIT ONLY NOT FOR CONSTRUCTION

PLAN



R.E.B. ENGINEERING, INC. <small>SUBMIT PRODUCT SELECTION</small>	DESIGNED BY:	R.E.B.																		JOB NO:	2007-111G																				
	DRAFTED BY:	B.E.C.																		DATE:	07/21/1999																				
	PROJECT NO:	2007-111G		2-25-08	NEW SHEET					REB										SHEET NO:	22																				
	DATE:	07/21/1999		6-12-03	NA					REB																															
				4-25-00	NA					REB																															
	COMMENTS:		REV. NO.		REV. DATE					BY	APPD.	APPD. DATE									OF	23																			
										<p align="center">R.E.B. ENGINEERING, INC. CIVIL & STRUCTURAL ENGINEERING, PLANNING, & SURVEYING 345 La Fata St., Suite B • P.O. Box 113 Saint Helena, CA 94574 tel: (707) 963-9638 fax: (707) 963-2346</p>										<p align="center">RESIDENCE FOR: OAKVILLE LLC CAMPBELL CREEK RANCH - PARCEL #7 A.P.N. 027-310-031 MAILING ADDRESS: 3082 White Sulphur Springs Road ST. HELENA, CA 94574</p>										<p align="center">STORM WATER MANAGEMENT</p>										SHEETS	

