

# **Application Materials**



September 11, 2019

Erin Morris, AICP Planning and Code Enforcement Manager City of Napa Community Development Department 1600 First Street Napa, CA 94559

RE:

Greenwood Mansion Project Project Revisions to Address Council Comments 499 Devlin Road

Dear Ms. Morris;

As you are aware, on Tuesday, May 21st, 2019 the Napa City Council considered my request to establish a small café with wine tasting facility within the old Victorian era former residence located in Napa County's airport area industrial park at 499 Devlin Road. My project is subject to review by the City of Napa because it involves an amendment to the County's specific plan to allow the café. The wine tasting component of the project is allowed under specific plan rules.

Council members expressed concern with the operating hours and events component of my proposal, questioning whether they were in keeping with a business park serving use. In response to their concerns as well as comments received from neighbors regarding parking, I have revised the project to address the concerns as follows:

- 1. The original application proposed 18 and then was redesigned to accommodate 25. We have redesigned it again to accommodate <u>35 cars</u>.
- 2. <u>The Café hours will now be Monday Friday from 6am 8pm.</u> Additionally, the hours of amplified music will be reduced to 8am 6pm daily, Monday Friday.
- 3. All special events have been eliminated.

I am hopeful that with these changes my project that the City will view my proposal as truly a business area serving use and will offer their support for the proposal. I believe there is tremendous need for a small café to serve businesses within the industrial area, and its operation will not be detrimental to the success of the City of Napa in any manner. I look forward to the City Council's review of my revised project.

Attached are revised draft conditions of approval from Napa County that limit the scope of the project, including incorporation of the changes noted above. Please review and comment. If these changes are acceptable to City Staff, I respectfully request that my revised proposal be forwarded for City Council consideration at your earliest convenience. Please contact me if you have any question or comments.

Sincerely,

Richard Bruno

President

Vinum Cellars

499 Devlin Rd.

Napa, CA 94114

707-254-8313



#### October 24, 2018

#### VIA EMAIL AND U.S. MAIL

Rick Tooker Community Development Director City of Napa P.O. Box 660 Napa, CA 94559-0660 rtooker@cityofnapa.org

John McDowell
Napa County Planning Department
County of Napa
1195 Third Street, 2<sup>nd</sup> Floor
Napa, CA 94559
John.McDowell@countyofnapa.org

Re:

Greenwood Mansion Project Devlin Road, Napa County

Dear Mr. Tooker and Mr. McDowell:

As you are aware, our firm represents Vinum Cellars ("Vinum"), the owner of 499 Devlin Road, Napa, California, located at the northwest corner of Devlin Road and Airport Boulevard ("Property"). There is an existing two-story 3,090 sq. ft. historic farmhouse located on the site that has been used as office space since the early 1990s. Vinum is seeking approval of a Conditional Use Permit ("CUP") to renovate the existing farmhouse and surrounding grounds to be used as a café, a wine-tasting room, and an office, as well as a new wine production facility of approximately 680 square feet ("Project"). The Project provides natural support for the Napa County Airport Industrial Area ("AIA") and gives life to an underutilized historic resource; the Greenwood Mansion.

The Project's proposed uses as requested in the refined application are the result of consultations with the County and City staff to shape a noble project that functionally serves the AIA, features a beautiful historic resource and is consistent with the Gateway Commercial Node designation ("Node"). The Property is located with the Napa Valley Business Park Specific Plan ("Specific Plan"), and is designated Business/Industrial Park ("B/IP"), which authorizes the proposed uses with the approval of a CUP within those B/IP areas designated as the Node. Because the Property is not located within the Node, Vinum is also seeking approval of a modification to the Specific Plan to include the Property within the Node.

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As noted, the Property is also located within an area of Napa County ("County") known as the AIA. Properties located in the AIA are subject to the Memorandum of Agreement Between the City of Napa and Napa County Regarding Regional Housing Needs Allocations for Future Housing Element Planning Periods ("RHNA Agreement"). The RHNA Agreement requires the County to limit land uses within the AIA to those uses that are consistent with the applicable zoning in effect on October 8, 2013, unless the land use changes are mutually agreed to by the City of Napa ("City") and the County. For the reasons stated below, the Project is consistent with the intent of the RHNA Agreement, and Vinum respectfully requests the City to support the Project.

## A. The Greenwood Mansion Project Is Designed To Serve The Needs of the AIA.

One of the stated purposes of the RHNA Agreement, which balances the allocation of 80% of the County's RHNA obligations to the City beginning in the 2022 Housing Element cycle with the County's willingness to preserve agricultural lands in the County, is to "prevent urban sprawl, direct growth and development into existing cities, and promote infill and smart growth." (RHNA Agreement, Recital E.) The Project is consistent with and in some cases even furthers the efforts to achieve these goals.

## 1. The Project Location Is a Natural Extension of the Existing, But Yet to be Realized Potential of the Gateway Commercial Node

The Specific Plan already recognizes that there is a need to allow for development of ancillary restaurant uses that are designed to serve the needs of the AIA. It contemplates the development of potentially several distinct restaurant uses of up to 6,500 square feet in size with up to 150 seats within the Node. But to date, only a Springhill Suites hotel (which does not include a restaurant) and a business services agency have located within the current Node boundaries. As the Project site is located adjacent to the western boundary of the Node, the extension of this boundary to include the Project site would allow for the Project to fulfill a need that was expected at this location in the Specific Plan, but has yet to see its first restaurant become operational. The Project café will be open as wine service is available, providing breakfast and lunch late into the afternoon, thereby supporting the tenants and visitors of the industrial park in the AIA.

Also, the Project applicant is considering the feasibility of bringing Jump Bikes to the AIA, with a station strategically placed at the Project and other locations throughout the AIA.

Furthermore, the Node already allows up to 35,000 square-feet of retail/service and restaurant commercial uses, with as much as 75,000 square-feet under specified circumstances, so long as they are "business park serving uses." Since the first "business-park-serving" retail/service and restaurant commercial use has not been built within the Node, the approval of

Rick Tooker John McDowell October 24, 2018 Page 3 of 4

the Project would not actually increase the total amount of these commercial uses that are already allowed within the Node.

### 2. The Project Furthers the Goal of Directing Growth Into Existing Cities

While this may seem counter-intuitive on the surface, the Project furthers the long-term goal of directing growth to the City of Napa. The Napa County Airport is a shared community resource that the City and the County affirmed as a desired location for industrial development in the RHNA Agreement. Thus, the County has a strong interest in the success of the AIA and is undoubtedly a part of the County's willingness to enter into this mutually beneficial agreement. Part of the AIA's success is to make it an attractive place for new businesses to locate and existing ones to expand. As this occurs, these businesses will need to entice high-quality talent that will be attracted to the idea that they can grab a quick bite to eat or drink, network with colleagues, or sit down with current or potential clients at a place that is conveniently located from work. The Project helps to fill that need by providing variety to the options that these employees will demand when choosing to accept an employment offer.

#### 3. The Project Promotes Smart Growth and Reduces Sprawl

The principles of smart growth and the reduction of sprawl encourage the location of complementary uses near each other. The Project café will support this by serving the employees and visitors of the industrial park. The benefits also include the reduction of vehicle miles travelled ("VMT") due to the reduced need to use one's car to reach the destinations that fulfill those day-to-day needs, such as grabbing a bite to eat for breakfast or lunch, buying that item that was forgotten at home, or just a place to relax for a little while before heading back to the office. Consequently, reduced VMT leads to improved air quality and the reduction in greenhouse gas emissions; reduced local road congestion; improved health through increased walking and biking; and an increase in overall economic activity through passer-by retail sales.

The Project will promote these goals by spurring the development of ancillary beneficial uses within the AIA. As a service that would be well located adjacent to an already vibrant multitenant facility, the Project will provide a much-needed service that will improve the options for existing area users to remain within the AIA for lunch; rather than jump in their cars to find somewhere to eat. This will lead to additional similar uses locating within the Node, thereby creating the kind of smart growth environment envisioned in the Specific Plan.

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#### B. Conclusion

We appreciate the City and County's collaboration with us on this Project and the opportunity to discuss these points with you. Once again, based on the foregoing, the Project serves the needs of the AIA and is consistent with the principles of smart growth. Please let us know if there is any other information that we can provide and we look forward to presenting this matter to the City Council as soon as it can be placed on the calendar.

Very truly yours,

Diane G. Kindermann

DKH/wj

cc: Client

# Project Description for the Greenwood Mansion Project

Submitted to:



Planning Division 1195 3rd St #210 Napa, CA 94559

Prepared For:



135 Camino Dorado, Suite 6 Napa, CA 94558 (707) 254-8313

Prepared By:

#### **Galford Real Estate**

144 Karen Drive Napa, CA 94558 (707) 225-5644

**December 22, 2017** 

#### 1.0 Project Summary

Vinum Cellars ("Applicant") seeks approval of Conditional Use Permit ("CUP"), a development permit as contemplated in the Permit Streamlining Act. The CUP would allow for the following uses: café, wine tasting, office and wine production in the County of Napa. The site is to be located on one improved parcel that totals 1.17 acres and has an existing two-story 3,090 SF farmhouse located near the center of the parcel.

The Greenwood Mansion ("Project") would establish a cafe, wine tasting room, and a small scale on-site wine production facility. Along with the proposed uses the applicant will continue to use the property as an office building. The café would service the local business community by providing casual dining and take-out food.

#### 1.1 Project Location

The Project is located in an unincorporated area of Napa County, approximately 1/4 mile west of the intersection of Highway 12 and Highway 29. The Project is situated on the northwest corner of the intersection of Devlin Road and Airport Blvd., with frontage to both streets. The address is 499 Devlin Road, Napa, CA 94558 and is identified by the Napa County Assessor as APN 057-200-058. (See Figure 1)

#### 1.2 Site History

The existing building is an 1880's farmhouse that was initially constructed and used as a residence for approximately 100 years at the site that is now used by the Doctors Company for their central offices. The farmhouse was relocated approximately ½ mile west onto the Project site in the early 90's. The farmhouse was used by the developers of the Napa Valley Business Park as their real estate office. Use Permit #U89-55 was approved by Napa County to allow the relocation of the farmhouse and use as an office at the new location.

#### 1.3 Existing Land Uses

The existing site 1.17-acre Project site consists of a two-story 3,090 SF 1880's farmhouse with decking, 16 paved parking spaces, driveway, landscaping and walkways. The 3,090 SF farmhouse is configured to be utilized as an office building, however it is currently vacant.

Land uses immediately surrounding the Project a mix of office buildings, warehouses, wine bottling facilities, vacant land and a hotel. Devlin Road fronts the Project site on the east side and Airport Road runs along the south side of the Project boundary. To the west is a wine bottling facility and a mix of light industrial uses. North of the site is used as offices and contractor warehouses. The land use in the immediate Project vicinity is shown on Figure 2.



1 inch = 500 feet

Project Parcel 057-200-028 (1.17 Acres)

Assessor Parcels

Date: 1/13/17 Aerial: USDA 2016 Parcels: Napa County



#### 1.4 Project Site General Plan Designation

The Project site is located on lands designated in the County of Napa General Plan as Industrial and within the limits of the Napa Valley Business Park Specific Plan. The Specific Plan was adopted in 1986 to set forth detailed land use and circulation standards, capital improvement requirements, associated financing, and improvement sequencing measures, as well as necessary supporting policies and regulatory procedures for the industrial area near Napa County Airport. The Specific Plan, as amended, implements the General Plan in the at the Project site and in the surrounding area.

#### 1.5 Project Site Zoning

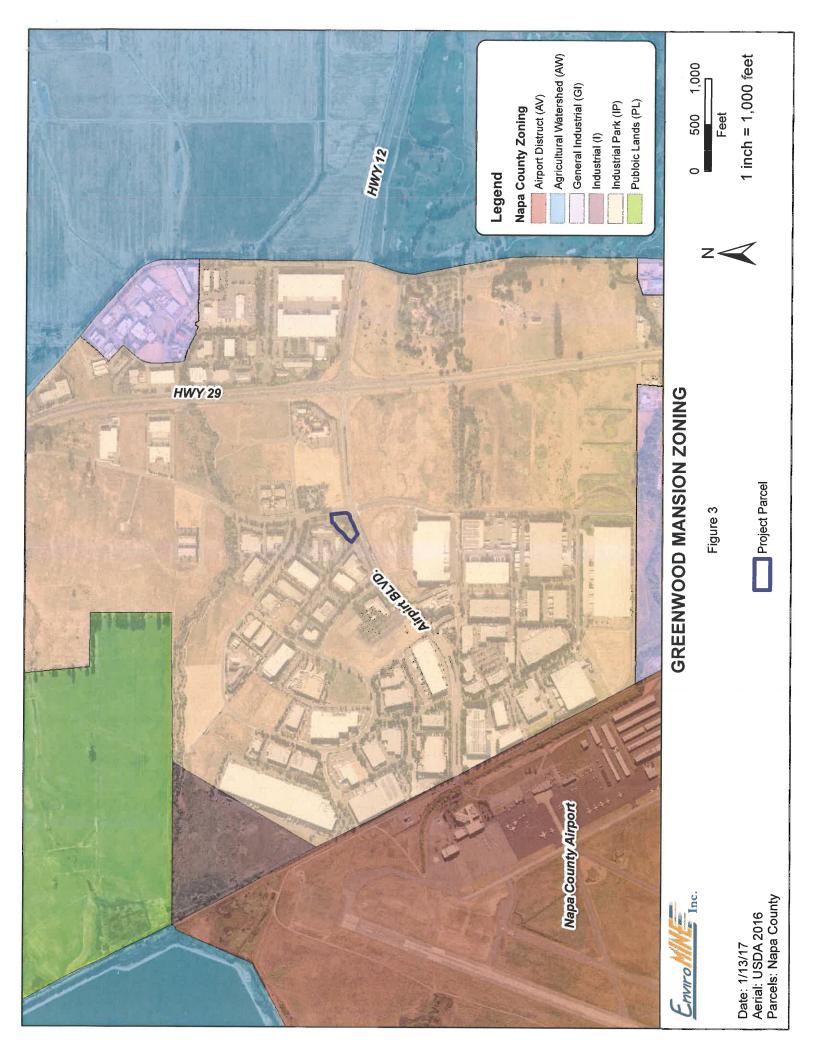
The Project site is located entirely on lands zoned by the County of Napa as Industrial Park (IP). The purpose of the IP zoning district is to provide areas exclusively for modern, non-nuisance light industrial and office uses which are compatible both with each other and with the adjoining nonindustrial areas including, but not limited to, the Napa County Airport, the Highway 29 corridor, and surrounding agricultural and open space areas, and which have no significant potential for major pollution, adverse visual impacts, or nuisance or hazard factors. The designation is intended to accommodate light industrial uses such as office research and development, light manufacturing, light assembly, warehousing and distribution, large administrative headquarters and other professional and administrative uses.

Development of a café, wine tasting facility and wine production is permitted in this zone with the approval of a Conditional Use Permit (CUP). Utilizing the property as an office is a use that is allowed by-right. No change to the existing zoning is proposed.

#### 1.6 Project Site Specific Plan Area

The Project site is located entirely on lands identified in the Napa Valley Business Park Specific Plan as IP (Industrial Park). This designation is intended to provide exclusively for modern, well-planned, non-nuisance light industrial and business park uses which are compatible with each other, the airport, the S.R. 29 corridor, and surrounding open space areas. Land uses in these areas are subject to special development standards established in the plan to ensure a harmonious, optimal environment for industrial occupants. Allowable uses include research and development, light manufacturing, light assembly, warehousing and distribution, development, administrative headquarters, and other professional and administrative facilities. The Specific Plan was approved in 1986 and since then has been amended 10 times for a variety of Projects.

Development of a café, wine tasting facility is not permitted in areas of the Specific Plan that are designated IP. An amendment to the Specific Plan is proposed as part of this Project, although the Project is consistent with the Commercial Node area that is located on parcels to the east just across Devlin Road. To allow the proposed activities an amendment to the Napa Valley Business Park Specific Plan is required.



The applicant proposes that the plan be amended to include the 1.17-acre Project site into the Gateway Commercial Node. The site is currently identified in the Specific Plan as Business/Industrial Park, which allows use of the site as an office and wine production facility. Specifically, revisions to Figure S1 located on Page 16 and Figure 5 on page 46 would be required to along with revisions to Section V. Land Use; beginning on Page 49. Clean-up revisions would also be required to incorporate changes to any acreages or discuss on the commercial node that would be impacted by the proposed map and text changes. The following Specific Plan changes shown in strikethrough and underline are suggested:

A. Within the Gateway Commercial Node, consisting of 12 acres located at the northwest corner of State Routes 12 and 29, and Airport Boulevard. As well as a 1.2 acre parcel located on the northwest corner of Devlin Road and Airport Blvd. and a As shown on the Figure 5, provided that such commercial development and uses complies with the following standards:

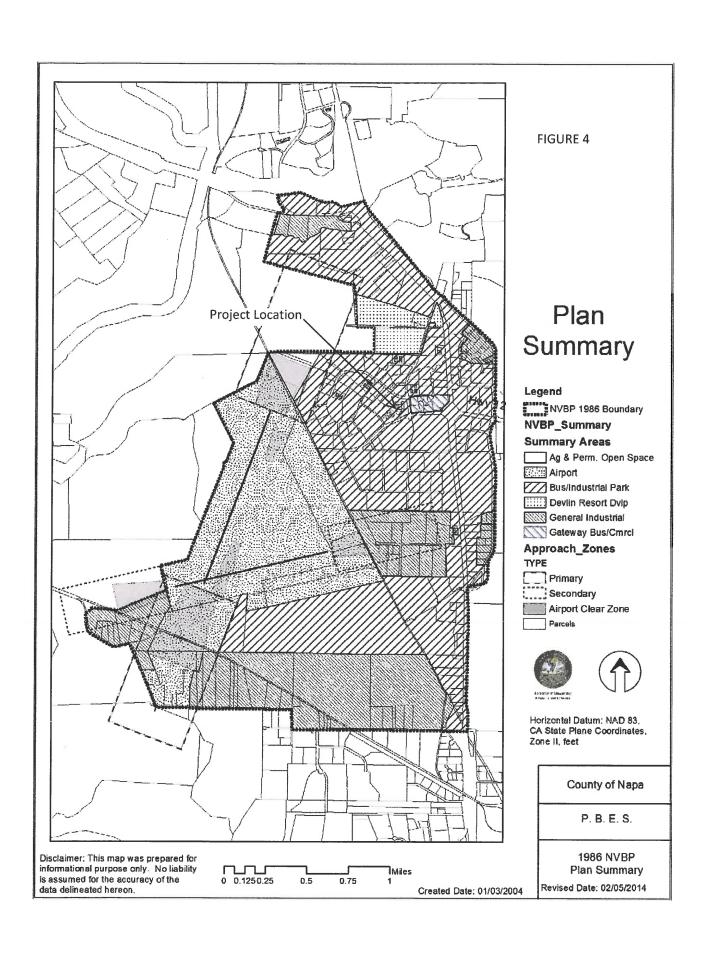
- 3. Restaurant uses shall not exceed 25 seats and 3,000 sq. ft. in area, except that one restaurant is allowed with a maximum of 150 seats and 6,500 sq. ft. in area, and one-two restaurants is are allowed with a maximum of 60 seats and 3,000 sq. ft. in area;
- 7. One wine tasting establishment shall be allowed; retail sales of wined produced off-site shall be allowed.

The location of the Project in relation to the Napa Valley Specific Plan limits and overlay areas is shown on Figure 4. As shown on the figure the Project is located across Devlin Road from the existing Gateway Commercial Node ("Node) area shown on Figure 4. In addition to Node area shown on the figure there have also been recent expansions to include two other areas for gas stations; which are not shown on the figure.

#### 1.7 Project Objectives

Project objectives include the following:

- 1. Develop the site to service the surrounding business community by establishing a café that will serve individuals within the Napa Valley Business Park and surrounding areas.
- 2. Establish a central office for Vinum Cellars in the Napa Valley Business Park.
- 3. Provide a direct to consumer sales opportunity for a established Napa Valley winemaker.



#### 2.0 PROJECT OPERATIONS

#### 2.1 Project Scope

The Project would modify a developed parcel into a multi-use parcel that will serve the surrounding business community. The Project will modify the site to create a café, wine tasting area and a wine production area. The cafe will have a combination of indoor and outdoor seating; offering casual dining to service the business community. Wine tasting will be offered as a component of the Project, which will provide a central meeting place for the business community as well as service patrons from outside the area. In addition to the proposed uses, the site will continue to be used as an office.

#### 2.2 Project Property

The Project covers an area of 1.17 acres and is comprised of one Assessors Parcels (APN) that is owned by the applicant; Vinum Cellars. (See Figure 5) The applicant is in escrow on the property and intends on owning the site in-fee once escrow is closed.

#### 2.3 Site Development

The site is fully developed and is currently operating as an office building under a Napa County use permit (U-89-55). The Project will enhance the developed parcel, however no new disturbance is anticipated as part of the Project. As explained under each of the categories herein, there is no possibility that the Project will have a significant effect on the environment.

#### 2.4 Site Access

Primary access to the Project Site is from Devlin Road, a public roadway which intersects Airport Boulevard, approximately 200 feet south of the Project site entrance. The existing 25' wide entrance along Devlin Road along the eastern limits of the Project site provides ingress and egress to the site, as well as other office buildings in the Napa Valley Gateway development area. A secondary driveway on Gateway Road, approximately 500' north of the Project limits provides emergency vehicles with multiple access points to the Project.

#### 2.5 Project Components

#### Cafe:

The proposed cafe will be located on the northern half of the downstairs and will occupy roughly 1,410 SF of the farmhouse, along with approximately 1,000 SF of seasonal seating on a newly constructed deck The cafe will provide food options to serve the local business community. The cafe proposes to serve hot food prepared onsite, wine, beer, espresso and other items. The applicant currently has a Type 2 wine growers license from the ABC and would apply that license to this location as necessary. The cafe will be built out to accommodate 32 seats inside the farmhouse and 32 uncovered seasonal seats on the deck. ADA compliant restrooms would be constructed inside the existing building, adjacent to the cafe. ADA ramps on the

exterior of the building and an elevator to access the second floor are proposed to be installed as well.

#### Wine Tasting Room:

The proposed wine tasting room would be located on the southern half of the downstairs and will occupy roughly 350 SF of the farmhouse. The tasting room would serve wine produced by Vinum Cellars, who has been making wine in the Napa Valley for over 20 years.

#### <u>Carriage House (Wine Production Area):</u>

In order to comply with ABC license requirements, the applicant must have on-site wine production in order to conduct all proposed activities. To comply with this requirement, a small detached Carriage House will be constructed on the northern side of the existing farmhouse to make small batches of wine. The Carriage House will be built to replicate the architecture of the existing farmhouse and will be approximately 680 SF. The location of the Carriage House is shown on Figure 5.

Wine production will be conducted entirely within the proposed 680 SF Carriage House. Annually the Project will produce approximately 1,200 gallons of wine. Wine production will vary year to year based off variations in the market and agricultural production. Wine crushing and bottling is proposed to occur off-site at the Napa Wine Company (BW-CA-6334) in Oakville, CA.

#### Office:

The upstairs of the farmhouse occupies approximately 1,330 SF and is used as office space and a conference room. The office will accommodate between 3 to 5 full-time employees and the conference room will be used as needed or rented hourly to businesses in the surrounding area for meetings or events. The Project site currently has an existing use permit (U89-55) for use of the property as an office with two full-time employees and five part-time employees. Use of the Project site for office purposes has been previously analyzed and should be included as part of the baseline for the CEQA document. The configuration of the floor plan can be seen on Figure 6.

#### Events:

Approximately two events per month (28 events annually) are anticipated. Events will typically accommodate 30 to 40 people with occasional events up to 80 people. Events will primarily take place in the evenings and on weekends from the hours of 12 PM to 10 PM. The exact location on the property of the events will vary, however it is anticipated that most events will take place in the café and tasting room.

Occasionally, events will take place in the Carriage House. However, the primary use of the Carriage House is to make wine seasonally on the ground floor and provide storage for the Café and Tasting Room and possibly an employee break and changing room. It is possible that this room could be used for a special event use, such as winemaker dinners or private tastings. These would be small events that would accommodate 10 to 20 patrons seated at a long table in the breezeway.

#### Vineyard:

Approximately 15,000 SF of lawn would be converted to vineyards. The vineyards would have similar appearance to the vineyards located in some of the common areas of the business park. Grapes from the vineyards would be harvested and used by the applicant for estate wine making. The location of the proposed vineyard can be seen on Figure 5.

#### 2.6 Site Improvements

Operations at the site will require the following new construction/improvements:

- 1. 680 SF Carriage House
- 2. Remodel and Upgrade 3,090 SF Farmhouse for Proposed Uses
- 3. 1,200 SF of Deck and Ramps
- 4. 90 SF Elevator Shaft
- 5. 2 Parking Spaces, 350 SF
- 6. Plant approximately 15,000 SF of vineyards

#### 2.7 Operating Hours

The site is proposed to be open approximately 350 days per year with the operational hours for each proposed use varying. Occasional private events may be held on weekends and holidays until 10:00 PM. In general, the operating hours are shown below in Table 1.

Table 1 Proposed Hours of Operation

Wine Tasting, Weekdays	M, Th & F 11am - 6pm
Wine Tasting, Weekends	Sat & Sun 10am - 6pm
Café Hours, Weekdays	M-F 8am - 6pm
Café Hours, Weekends	Sat & Sun 10am - 6pm
Office Hours of Operation	M-F 10am - 6pm

#### 2.8 Employment

The Project would allow for the full-time employment of seven (7) employees. The table below provides a breakdown of the type of employees required for the proposed uses:

Table 2 Employees

Proposed Use	Number of Full-Time Employees
Cafe	3
Tasting Room	1
Office Staff	3

Office staff is included in the table above, however the current Use Permit (U-55-89) provides for two (2) full-time employees and five (5) part-time employees.

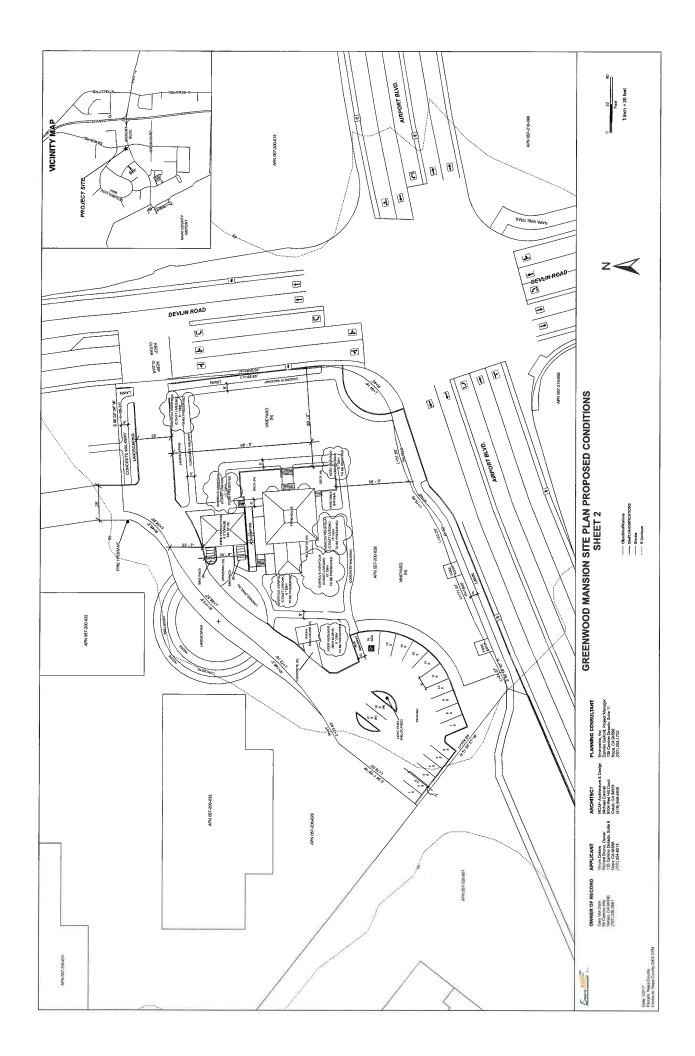
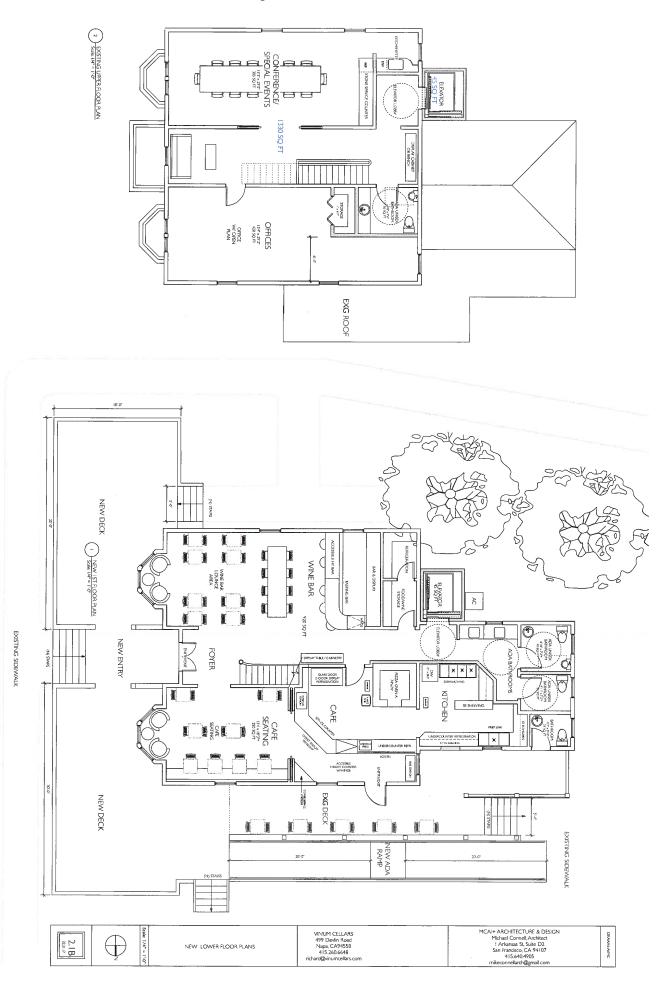


Figure 6



#### 2.9 Traffic

Traffic from proposed operations will primarily be generated from passenger cars, with an occasional delivery by truck. Of the traffic generated by the Project the majority will be from patrons visiting the cafe. It is anticipated that the majority of visitors to the cafe will be from the business community in the Napa Valley Business park and will stop by on their way to work or visit the cafe for lunch. Serving the local community is anticipated to have a net reduction in traffic miles traveled when analyzed on a cumulatively.

A traffic letter has been drafted by Omni-Means to provide estimates of the Project trip generation and Peak AM and PM trips. At full capacity, traffic is anticipated to create 251 new daily trips on the weekdays and 365 daily trips on the weekends. Additional details on the traffic calculations and assumptions used to develop traffic numbers can be found the Omni-Means letter located in Attachment 1.

#### 2.10 Parking

On the Project parcel there are 16 existing parking spaces and two (2) parking spaces are proposed to meet the Napa County minimum parking requirements. To calculate the square footage of each area the interior area was used. Downstairs the common areas were distributed evenly between the restaurant and wine tasting bar. Square footage associated with the proposed elevator was assigned to the office since the elevator is used to access the office space on the second floor of the building. County parking requirements by use for the Project are summarized below:

Table 3 parking Tabulation

		Spots/SF County	Parking Spots
Area	SF	Requirement	Required
Restaurant	975	1 Per 120 SF	8.13
Wine Tasting (Retail)	730	1 Per 250 SF	2.92
Office	1,385	1 Per 250 SF	5.54
Wine Production (Manufacturing)	680	1 Per 500 SF	1.36
Total	3,770		17.95

In addition to the existing 16 parking spaces on the Project parcel there are 213 parking spaces in the parking lot for the Napa Valley Gateway Condominiums, which is contiguous to the parking area at the Project Parcel. The Project parcel has rights to utilize the parking spaces in the Napa Valley Gateway Condominiums per the Reciprocal Easement Agreement that was recorded with the Napa County Assessor's office on August 13, 2010. Below is the language from the easement that discusses use of the parking areas:

<u>2.2 Parking Area Easements:</u> Declarant grants to each Owner nonexclusive easements in favor of the Owner's Condominium and the Ranch House Parcel as the dominant tenements over the Parking Area as the servient tenement for each of the purposes set forth in this Section 2.2. The easements and rights described in this Section 2.2 are subject to the restrictions, conditions and Rules described in this REA. The

easements are effective automatically on the date Declarant first transfers title to a Condominium or to the Ranch House Parcel to a third party purchaser.

- <u>2.2.1 Access Easement:</u> Vehicular and pedestrian ingress and egress over the entry way, drive aisles and walkways.
- 2.2.2 Parking Easement: The right to park vehicles within the parking spaces.

The Project will be designed to have adequate parking spaces on the Project Parcel to satisfy the Napa County minimum parking standards. However, as shown in the above easement language the Project Parcel, referred to as the "Ranch Parcel" has the ability to utilize approximately an additional 213 adjacent spaces.

In addition to the proposed parking spaces a loading zone along the north west side of the farmhouse will be constructed. The area is currently occupied by landscaping and encompasses approximately 700 SF. Landscaping will be removed and replaced with concrete, asphalt or other hardscape surfacing that can support vehicle traffic.

#### **2.11** Noise

Napa County noise limits at the property lines for industrially zoned properties are stated to be identified in below in table 5.

Table 5 Napa County Noise Standards

Receiving Land Use Category	Time Period	Rural	Suburban	Urban
Davidantial	10 p.m. — 7 a.m.	45	45	50
Residential	7 a.m. — 10 p.m.	50	55	60
Commercial	10 p.m. — 7 a.m.		60	55
	7 a.m. — 10 p.m.		65	60
Industrial, including wineries	Anytime	75		

Noise limits from the proposed Project are anticipated to be below the levels stated above.

#### 2.12 Site Security and Safety

Public health and safety will be protected in accordance with local, state and federal standards. During the Project lifetime, public access will be controlled by locked doors.

#### 2.13 Fire Protection

The existing farmhouse will be retrofitted with fire sprinklers as required by the current State and local regulations. The proposed carriage house will be equipped a fire sprinkler system that meets County and State requirements as well. An existing

fire hydrant is located on the north side of the Project site, approximately 70' from the existing farmhouse. All fire systems will be designed and installed to the satisfaction of the County Fire Marshall. Fire access to the Project site is provided by two existing 25-foot wide driveways.

#### 2.14 Utilities

U-89-55 included anticipated levels of service for each utility; below is a summary of the levels outlined in the existing permit.

Table 6 Baseline Utilities

Utility Service	Service Entity	U-55-89 Level
Water Usage	City of American Canyon	4,000 Gallons Per Day
Sewer	Napa County Sanitation District	250 Gallons Per Day
Solid Waste Disposal	Napa County Sanitation District	Garbage Company

#### Water Consumption

Water is required for the all proposed uses as well as the existing uses on the Project parcel. Water for the Project will be provided by the City of American Canyon through an existing waterline connection. The City of American Canyon issued a will serve letter for the project on 12/12/17. The Water Supply Report prepared by the City of American Canyon assumes an average daily consumption of 542 gallons per day (GPD) and a maximum daily consumption of 1,570 GPD. Water for the proposed vineyard and all landscaping will be provided by recycled water provided by the Napa Snatiation District.

#### Sewage Disposal

The Project will utilize the existing connection to the Napa Sanitation District. The property has been utilized as an office building previously and any intensification of use will provide credit for the existing office use. The proposed wine making facility will not create any wastewater. Through communication with Napa Sanitation District there was not a need to include a sewer connection for the winemaking activities. A hold and haul system, will however be installed on the west side of the carriage house to accommodate future wine making activities if needed. The table below provides a summary of the types of uses proposed for the building and the SF per each use for the equivalent dwelling unit (EDU) calculation.

Table 8 EDU Calculation Inputs

Use	SF	Area
Office	1,330	Entire Upstairs
Food Service Establishment	2,840	Downstairs & Deck (Tasting Room & Café)
*Industrial	680	Carriage House

<sup>\*</sup>No waster water is created from the industrial activities

It is anticipated that the Project will have an increase in sewer disposal and will work with the Napa Sanitation District to purchase additional EDUs. No upgrades to the existing sewer infrastructure are anticipated.

#### Electricity & Natural Gas

The Project requires electrical power and natural gas provided by PG&E through an existing underground distribution line. No upgrades to the power line would be required to satisfy the needs of the Project.

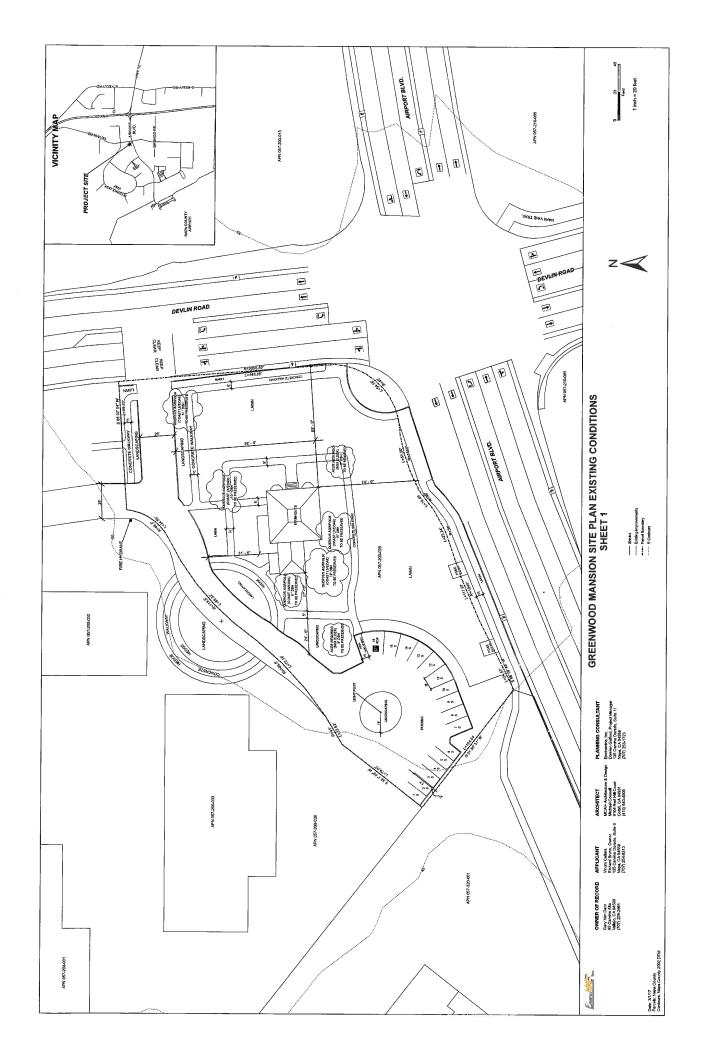
#### Solid Waste & Recycling

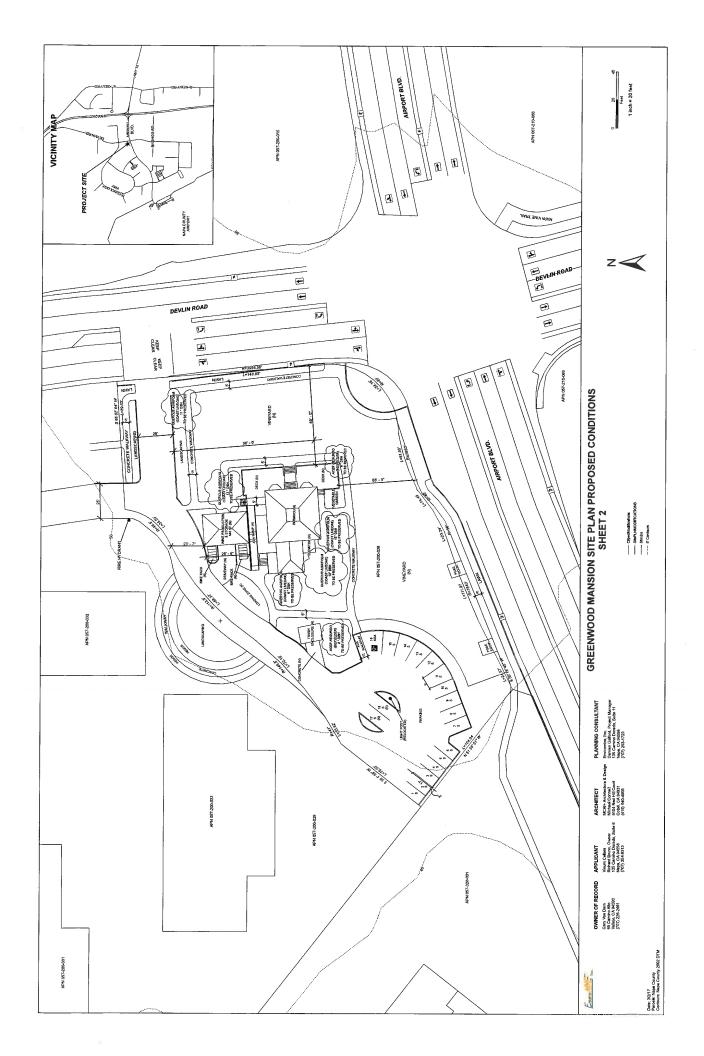
The project will contract with Napa Recycling and Waste Service to collect waste as needed, weekly collection of refuse is anticipated. Waste will be separated into recyclable and non-recyclable dumpsters and stored until collected by Napa Recycling and Waste Service. A 12' by 16' trash enclosure will be constructed on the west side of the existing farmhouse in an area that is currently occupied by landscaping. In addition to the enclosure approximately 120 SF of concrete paving will be required to provide the garbage truck access to the enclosure. The landscaping will be removed to accommodate the trash enclosure and driveway.

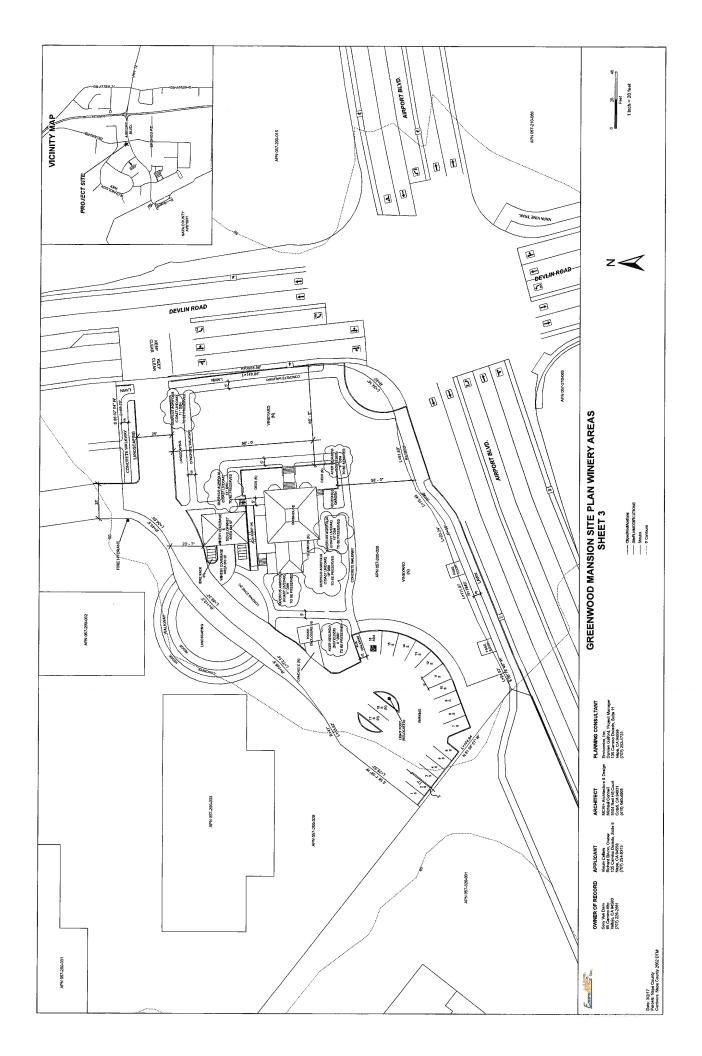
Table 9 Project Summary

General Si	te Information
Applicant	Vinum Cellars
Property Owner	Vinum Cellars
Site Address	499 Devlin Road, Napa, CA 94558
APN	057-200-058
Property Area	1.17 Acres
Building Square Footage	Existing: Approximately 3,090 SF
	Proposed: Approximately 680 SF
Parking Spaces	Existing: 16 (1 Handicapped)
	Proposed: 2
Elevation	45' to 50' AMSL
General Plan Designation	IP - Industrial Park
Zoning	IP - Industrial Park
Specific Plan	Napa Valley Business Park (Business/Industrial Park)
Napa County Airport Land Use Compatibility Plan	Zone D
Current Land Use	Office Building, Use Permits #U89-55
Water Service	City of American Canyon
Sewer	Napa Sanitation District
Proje	ect Details
Proposed Use	Tasting Room, Café, On-site Wine Production
Desired Entitlements	Amend Specific Plan to Gateway
	Business/Commercial and Use Permit
Hours of Operation Weekdays (Tasting Room)	M, Th, F, 11am - 6pm
Hours of Operation Weekends (Tasting Room)	Sat, Sun, 10am - 6pm
Hours of Operation Weekdays (Cafe)	M-F, 8am - 6pm
Hours of Operation Weekends (Cafe)	Sat, Sun, 10am - 6pm
Hours of Operation (Office)	M-F 10am - 6pm
Employees (Total & # On Shift at One Time)	Office: 3 Café: 3 Tasting Room: 1
Building Renovation Duration	4-6 Months
Anticipated Daily Trips During Construction	Avg. 12 per week, Peak 20 per week
Landscaping	Convert 15,000 SF of Lawn to Vineyard
New Building Construction	Approx. 680 SF Detached Carriage House
New Paved Areas	Approx 1,000 SF









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1. ALL NEW EXTERIOR WALLS TO	WALL ITPE (1), U.O.N.	2. PROVIDE 3x STUDS, PLATES /	SHEAR WALLS THE (2) THRU (3). ALL THES (2) THRU (4). SHEAT	USED IN-LIEU OF 3x MEMBERS F 10d AT THE SHEARWALL EDGE N	SCHEDULE.	DES. PROVIDE 1/2" GAP BETW MASONRY SURFACES.	4. SDS SHALL BE 4-1/2" LONG SCREWS SHALL HAVE 1/2" MIN E SPACED 1" APART, AND ROWS S	TYPES (1) THRU (5) SHALL BE BLOCKING/RIM BELOW TYPES (6) 6. SUFARBWALLS FALLING CARD F	ROOX MATCHING THE SPECIFIED . EPOXY ANCHOR SECTION OF THE	6. STAGGER DOUBLE TOP PLATE	7. ALL FIELD NAILING SHALL BE BE COMMON NAILS, NAIL GUINS U
	_	A34 C A35 C LTP4 C		14. 0.0.	10° o.c.	8, 9,0	7 0.0	5, 0.6.	* o.c.		
	BLKG/RIM TO TOP PL OF WALL	A35 €	18" a.c. 24" a.c.	12" o.c. 16" o.c.	12° o.c.	10" 0.c.	9,00	6° o.c.	5 0.0		
PANEL	3LKG/RIM	A34@	18" ac.	12" o.c.	9, 0.0	7 o.c.		5.0.5	4° o.a. 5° o.e.		
SHEAR WALL SCHEDULE (1/2" STRUCTURAL 1 WOOD STRUCTURAL PANEL)	(Q %)	70 LSL	SDS SCREWS • 12" o.c.	SDS SCREWS	SDS SCREWS	2-ROWS @ 10" o.c. 7" o.c.	SDS SCREWS 2-ROWS @ 8" o.c. 6" o.c. STAGGERED	SDS SOREWS 2—ROWS • 7" o.c. 2—ROWS • 6" o.c. 5" o.c. 6" o.c. STAGGERED STAGGERED			
RAL 1 WOOD	SIL PLATE CONNECTION (I)	TO WOOD (4)	SDS SCREWS	SDS SCREWS	SDS SCREWS	SDS SCREWS	SDS SCREWS	SDS SCREWS 2~ROWS @ 7" o.c. STAGGERED	SDS SCREWS 2-ROWS @ 5" o.c. STAGGERED		STRUCTURAL PANEL SHEAR WALL, SEE PLAN FOR LOCATION AND TYP.
2* STRUCTU	EDGE NALING FRAMING AT (2) SIL	TO CONCRETE (5)	8 4 A.B. D 4 − 0 o.c.	8 + A.B. 0 3-8 o.c.	6 2 -10 o.c.	8 4 A.B.	F* A.B. D 1'-10" o.c.	F* A.B. 0 1'-5' o.c.	F A.B.	ETAL)	. SEE PLAN FOR L
HEDULE (1/	FRAMING AT (2)	PLYWOOD EDGES	2x NOMINAL	3x NOMINAL	3x NOMINAL	3x NOMINAL	3x NOMINAL	3x NOMINAL	3x NOMINAL	EGEND (SEE TYPICAL FRAMING DETAIL)	ANEL SHEAR WALL
R WALL SC	EDGE NAUING	0	10d • 6" o.c.	10d 0 4" o.c.	10d <b>6</b> 3" a.c.	10d <b>©</b> 2° o.c.	10d 0 4" o.c.	104 9 3" 0.0.	10d • 2" p.c.	LEGEND (SEE T	STRUCTURAL P.
SHEA	PLYWOOD	3	15/32" (340 PUF) 10d . 6" o.c.	(2) 15/32" (510 PLF) 104 . 4" o.c.	(17) 15/32" (665 PLF) 10d 0 3" a.c.	(4) 15/32" (870 PLF) 10d • 2" o.c.	(17) 15/32" EA SIDE (1020 PLF)	(17) 15/32" EA SIDE (1330 PLF)	(17) 15/32" EA SIDE (1740 PLF)		€
L	марк		⊖	(C)	(L)	£	E <sup>®</sup>	E (a)	E <sub>O</sub>		

11. MINIMUM ANCHOR BOLT AND EPOXED ALL-THREAD ROD EMBEDWENT INTO CONCRETE SHALL BE? INTIMUM, U.O.N. ANCHORS SHALL HAVE 1-3/4 MINIMUM DISTANCE TO ETHER EDGE OF THE CONCRETE. AND 9-1/2" MINIMUM DISTANCE TO THE END OR CORNER OF THE FOUNDAMON. O BE 1/2" 24/0 STRUCTURAL 1 PANEL SHEAR SHEARWALL NOTES.

10. SIL PLATES IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED DOUGLAS FIR A, SATE PRE THE SCHEADLE ABOND. USE GALVANIZED ANCHOR BOLTS AND NAILS IN ALL PRESSURE TREATED WOOD.

OR VERTICAL GAP BETWEEN ADJOINING PANEL. WEEN EDGE OF PANEL AND ANY CONCRETE OR

IG AT 2X PLATES AND 6" LDNG AT 3X PLATES.
I EDGE DISTANCE, MULTIPLE RONS SHALL BE:
MALL BE: STACKSTED, BLOCKING/RAM BELOW
E: 2X CR 1 1/2" LS, MIN.

AND (7) SHALL BE: 3X OR 3 1/2" LS, MIN. EXISTING FOUNDATION SHALL USE ALL THREAD DANCHOR BOLT, SEE THE NOTE #11 AND THE HE GENERAL NOTES.

IE NALING TO ENGAGE EACH PLATE, TYPICAL

6. FOUNDATION ANCHOR BOLTS IN ALL SHEAR WALLS SHALL HAKE 37-37-0.229 BEARNE DALTS UNDER THE DIEC OF THE WASSER SHALL NOT BE TERMEN THAN 1/2 FROM THE SHEARD THAE AT 566 WALLS WHIT SHALL NEW THAN 1/2 FROM THE SHEARD SHALL BE SHEARDERD AS REQUIRED. WHITS SHALL BE TRANSPER AS REQUIRED. WHITS SHALL BE TRANSPER. 7. ALL FIELD MAILING SHALL BE 10d @ 12" 0.0.. ALL MAILS SPECIFED SHALL BE COMMON MAILS, MAIL GLINS LISING "CLIPPED HEAD" OR "SINKER MAILS" ARE

3. BOLT HOLES DRILLED IN SOLE PLATES SHALL BE NO LARGER THAN 1/16" DIAMETER OF THE BOLT.

SOLE (OR SIL, AT FOUNDATION) PLATE ATTACHMENT.

STRUCTURAL PANEL EDGE NALING AT PERMETER OF EACH PLYWOOD SHEET. STRUCTURAL PANEL FIELD MAILING IS TPPICAL ON ALL STUDS, EXCEPT FOR PLYWOOD EDGES.

412'560'6648 APP DEVLIN ROAD VINUM CELLARS SO APPLICATION A SUCCESSION AND THE SECOND AND THE SECOND ASSESSMENT OF No.2871 Perit - 31-2018

> SIMPSON SS STUD SHOE W/6 BBX \*<u>××××</u> 9/P 4D MIN. AND/OR SPAN/4 NO HOLES LIMT HOLES TO MIDDLE THIRD OF BEAN DEPTH W/3 MAX W/2 FOR NON BEARING S/8" (0) ≤ d/4

NO NOTCHING IS PERMITTED ON THE BOTTOM OF THE BEAM, NEAR INTERIOR SUPPORT OF MULTI-SPAN BEAM.

 NO HOLES OR NOTCHES IN GLULAM BEAMS WITHOUT PRICE APPROVAL FROM THE ENGINEER. AT FABRICATED FLOOR JOISTS, SEE MANUFACTURER'S INSTRUCTIONS FOR ALLOWABLE HOLES IN WEBS.

DO NOT CLIT HANGES.

IF CONDITIONS ARE NOT MET ON STUDS, ADD NEW STUD NEXT TO (E) STUD AND MAIL TOGETHER WITH 104 & 6" 0.C.

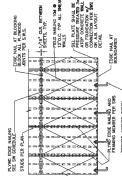
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Θ 1

AT ROOF FLOOR JOIST SEE PLAN, TYP.

TIP. STUDS 9

7 ALLOWABLE PENETRATIONS
(FOR JOSTS AND STUDS)



SHEARWALL PLYWOOD FRAMING

# Z-0, TYP STAGGER JOHUTS P.W. EDGE NALS WHERE EDGE NAL AT P.W. IS CALL TO BE BLOCKED. BRUNDARES. EDGE NAIL (AT BLOCKED— MAPHRAGM COND, ONLY) ELOW, WHERE OCCURS MASS, REG TO BERREL FURST TO THE SELECTION, ADD. I TERR NALL FOR EPERY 2 OKTORNOSH MALS FE UNEST THAN 2000 CF MALS. ARE 1/16 NOWNOONES, USE STAPESS FE ADDRESS WILL DESCRIBE STAPESS FOR THE STAPE STAPESS FOR THE STAPESS FOR

14. STUCCO AND/OR EXTERIOR VENEER OVER A WOOD SHEATHING SHEARWALL SHALL BE WATERPRODEED WITH A WINIMUM OF 2 LAYERS OF FELT PAPER.

15. THE SHEAR WALL LENGTH NOTED ON THE FLOOR PLANS INDICATES THE MAINIM REQUIRED LENGTH RECURIED BY ENGHEERING DESIGN. THE ACTUAL WALL, LENGTH MAY EXCEED THIS LENGTH. PLEASE NOTIFY BNOWEER IF WALL LENGTH IS SHORTER THAM NOTED.

13. PROVIDE 3/5" MIN EDGE DISTANCES FOR ALL SHEATHING AND FRAMING MEMBER EDGE NAILING.

12. ALL PLYWOOD PANEL EDGES SHALL BE BLOCKED WITH MINIMUM 2X BLOCKING, U.O.N. IN THE SCHEDULE ABOVE.

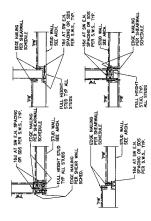
1. GLUE AND MAIL FLOOR PLYWOOD. NAIL COMPLETELY INAEDIATELY ATTER GLUENG
2. ORBENT PLYWOOD WITH FACE GRAIN PERPENDICULAR TO FRAMING MEUBERS.

3. FLOOR PLYMOOD TO BE BLOCKED DIAPHEAGNS (BLOCKING AT ALL PANEL EDGES), WHERE SHOWN ON PLANS. 4. SEE PLANS FOR PLYMOOD NAILING.

18. AT SINGLE SIDED SHEAR WALLS, THE SHEATHING MAY BE APPLIED TO BITHER SIDE SO LONG AS THE INIMUM SHEATHED LENGTH AS BIDICATED ON THE PLAN IS MAINTAINED. COORDINATE PANEL PLANSAIBIT WITH THE ARCHITECT.

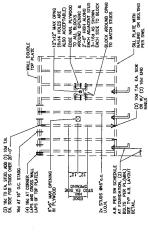
17. WALL TYPES DIREU REQUIRE PERIODIC SPECIAL INSPECTION OF HOLDOWN, SILL PLATE ANCHOR, SHEATHING AND FASTENER INSTALLATION.

4 DIAPHRAGM PLYWOOD PLAN
ROOF OR FLOOR



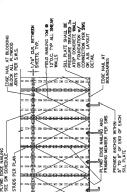
SW CONSTRUCTION - PLAN VIEW NOTE: PROVIDE SOLID POST AT WALL INTERSECTION WHERE HOLDOWN OCCURS BELOW

TYPICAL DETAILS



S1.1

**(** 



E) SIMPSON FRAMING CLIP AT SHEAR WALLS, SEE SHEAF (B. WALL SCHEDULE (SEE NOTE BELOW). (D) SOLE (OR SILL AT FOUNDATION) PLATE ATTACHMEN © STRUCTURAL PANEL FIELD NAILING IS TYPICAL ON ALL, STUDS, EXCEPT FOR PLYWOOD EDGES. (A) STRUCTURAL PANEL SHEAR WALL, SEE PLAN FOR LOCATION AND TYPE. (B) STRUCTURAL PANEL EDGE NAILING AT PERIMETER (B) OF EACH PLYWOOD SHEET.

LEGEND:

66

AT ROOF

2x SOLID BLKG B4'-0'0.0. W/ 5-104 AT EACH BLOCK, TYP.---

A JOIST PERPENDICULAR TO WALL

-5-10d EACH BLOCK, TYP. 2-16d EACH BLOCK, TYP.--

Q

AT FLOOR

(F) HORIZONTAL PLYWOOD EDGE NAILING PER PLAN. NOTE: ALL LEGENDS CORRESPOND TO SHEAR WALL SCHEDULE, S.W.S. SEE PLANS FOR SHEAR WALL TYPE.

9 TYPICAL FRAMING DETAILS (RECTANGULAR SAWN OR ENGINEERED LUMBER)

B JOIST PARALLEL TO WALL

NOTE: PLYWOOD PANELS SHALL NOT BE LESS THAN 16" IN MIDTH

(12) MINOR OPENINGS IN SHEARWALLS

	욷	₩ 00 1	HOLDOWN SCHEDULE	
HOLDOWN	ANCHOR DIAM.	ALDY-dro Listan	EXBEDMENT N NEW CONCRETE U.O.N.	EXBEDMENT IN EXISTING CONCRETE
HDU2	2/8	3075	SSTB14 OR THRD. ROD EMBEDOED 10" MIN.	100
HDU4	2/8	4565	SSTB16 OR THRD ROD EMBEDDED 12" MIN.	•
HDUS	.8/9	3645	SSTB24 OR THRD ROD EMBEDDED 15" MIN.	12.
9ngH	.8/L	7870	SSTB28 OR THRD ROD EMBEDOED 18" MIN.	75
HDU11	•-	1175	SB1x30 A.B.	N/A
HDU14	.,	14390	SB1x30 A.B.	N/A
HDC10	.8/1	9665	SSTB28 OR THRO ROD EMBEDDED 18" MIN.	N/A
MST37	N/N	2130	N/A	N/A
MST48	N/A	3420	N/A	N/A
MST60	N/A	4830	N/A	N/A
CMST14	N/A	6490	N/A	¥,
CMST12	N/A	9215	N/A	N/A
2-CMST14	N/A	12980	N/A	N/A
2-CMST12	×,	18430	N/A	N/A

NOTES. TO NOTIFY ALL HOLDOWN HARDWARE PER LANUFACTUREN'S INSTRUCTIONS, MAINLUM EMEDMENT. TO STS DOLIS SHALL BE FEY HE MANUFACTUREN.

2. DNLY FULL-HEIGHT (TOP TO BOTTOM PLATE) POSTS SHALL BE USED FOR HOLDOWN CONNECTIONS. 3. PROVICE SHEARWALL END NAILING (AS NOTED IN THE S.W.S.) TO ALL POSTS WITH HOLDOWNS AT THE TOP OR BOTTOM OF POST.

4. HOLDOWN'S SHALL BE INSTALLED DIRECTLY ON TOP OF SILL PLATES U.O.N.

6. AT UPPER FLOXE HOLDOWNS, PROVIDE SAME THICKNESS BLOCKING DIRECTION BELOW HOLDOWN NOTS SPACE. AT RANSED FLOXE CONDITIONS, POST BELOW SHALL MATCH POST ABOVE UNIXES ROICKARD ON THE PLAN. 5. USE COMMON WIRE GAGE NAILS FOR ALL NAILED HOLDOWN CONNECTIONS.

TO WHERE HOLDOWIN ARE CALLED OUT ON UPPER FLOORS, THEY SHALL BE CARRIED DOWN TO PROMOANDIN WITH MATCHING HOLDOWN (OR ONE WITH GREATER CAPACITY) UNLESS A DIFFERENT CAPACITY ON PLAN.

8. HOLDOWN ANCHORS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERNO THE WALL REALING, CONTROL IN I SHOULD BE HYGER-TIGHT PLUS 1/3 TO 1/2 TIBN WITH A HAND WRENCH, DO NOT OVER-TIGHCH THE NUT.

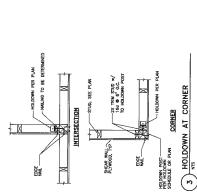
8. WHERE HOLDOWNS ARE CONNECTED TO A WOOD MENBER BELOW, A 3" SQUARE "BP" BEARING TATE SMALL BE APPLED TO THE BOTTOM OF THE WENBER, NUT AND PLATE MAY BE CONNETESDING "Y MAC.

WHERE HOLDOWNS ARE CONNECTED TO A STEEL MEMBER BELOW, THREADED ROD ANCHOR STALL WELDED TO STEEL MEMBER WITH A 1/4" FILLET WELD ALL AROUND OR FULL PEN GROVE BEVEL. 11. HOLDOWNS SHALL BE INSTALLED DIRECTLY ON TOP OF SILL PLATES U.O.N.

MODES FOR PLACEMENT OF HOLOGONIS IN EXISTING, CONVERT, CONDITION (PUBL.) ISSUE REMOVED.

1. THE MESTALLYINE WITO EXISTING CHORRER, USE THELOGO ON AND RETER TO EPOOY SECTION OF SERVER, DIVIDED THE AND SECTION OF SECTION O

1 HOLDOWN SCHEDULE



#### AT NON-BEARING WALLS TYPICAL WOOD HEADER SCHEDULE 9 × 80 × 80 × × ⊢ AT BEARING WALLS T x 11 PSL 9 × x 8 7 × 10 T × 12 OPENING \$\leq 4'-1" TO 6'-0" 6'-1" TO 8'-1" TO 10'-0" 10'-0"

DRAMN: JB 07/08/17 DATE: 07/08/17 PROGRESS 07/08/17

1) T - WALL STUD NOMINAL THICKNESS (EX: FOR 2x4 STUDS, T-4). 3) FOR TYPICAL FRAMING DETAILS, SEE (1) 2) HEADERS SHALL BE DF#1, U.O.N.

JYASF STRUCTURAL ENGINEERS WO NEW MONTEONERS 443 60 NEW MONTEONERS 443 644 MANCHES CA 8436 465-043-095 | JOSEP COL

# TYPICAL WOOD HEADER SCHEDULE

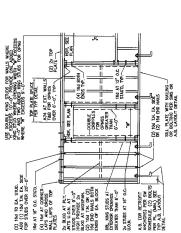
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N OR CUPS	CUPS	BOTTOM)	(2) A34	(2) 454	(2) 150
HOR PER PLAN OR HEADER SCHEDULE DETAL, TYP TOP AND BTM PER SCHEDULE BELOW	KING POST SIZE	TNAW GUTS *8	(2) 2×6	4x6	6x6
HUC OR HH HGR TYPOCL, U.O.N. TYP: WALL FRAMING DEFAL FRAMING DEFAL	KING	4" STUD WALL	4×2 (2)	4×4	8x4
	THE S		≥ B'-0"	≤ 10'-0"	s 12'-0"

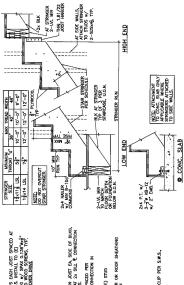
412.260.6648 499 DEVLIN ROAD VINUM CELLARS

(8) TYP. WALL FRAMING AT ADJ WINDOWS

TYPICAL DETAILS



	TYPICAL WALL FRAMING WITH OPENING		•	1
T DETAIL	WITH			_
A.B. LAYOUT DETAIL	RAMING		42° 48°	10, 04, 04, 04
	ALL F		36"	.0.
	ICAL W		MUMINIM THROAT	•23
	TYF.	5	STRINGER	12.17 LE
		-		



A JOIST EA, SIDE OF BILKG. OR ROOF SHEATHING FRAMING CLIP PER S.W.S., TYP. ACED PER ONNECTION IN CUTZ ( PLYWOOD EDGE MALING PER S.W.S. (N) PLYWOOD WHERE OCCURS

FLOOR LEVEL HOLDOWN CALLED

HOLDOWN POST PER PLAN OR HOLDOWN SCHEDULE, TPP., 2—2x MIN. - SHEATHING PER PLAN

XAM "8

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HOLDOWN HARDWARE PER PLAN

RIM/BLKG PER— DETALS

TO MATCH ABOVE, MIN J. J.	NOTE: HOLDOWNS MAY OCCUR AT BOTH ENDS, ONE END OR NO ENDS.	SHEARWALL WITH OPENING ELEVATION
TO MATCH A	NOTE: HO	SHE 6

ROOM JUSTS FER PLAN,
TIPE/COBENTATION WAT SHOWN
WART FROM HIAY SHOWN
FROUL HANT SHOWN
FRUIL ADGIT BOW WHERE POSTS COCHES
FINAL JOSTS IN POSTS OCCURS AT JOST,
USE ZA VERTICLE SHOWER RE AS SEE,
CUT SOUNSH BLKG 1/16" TALLER THAN
JUSTS.

MATCHING HOLDOWN ROM FLOOR ABOVE

POST TO RECENE PLYWOOD E.N. WHERE (N) SHEATHING OCCURS, TYP.

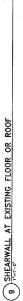
THREADED ROD PER SCHEDULE

S HOLDOWN AT FLOOR

LIL PER PANA  TOTAL PER PANA  TOTAL PER SAS. TO  TOTAL SON TOTAL  TOTAL AD ADDIT  TOTAL ADD	CONT. 1. LS. UR. IV. DESTE D. TH. STRING DESTE	A35 CLPS 1.5x S.W.S SHEATHBIG DO NOT D DO NOT D DO NOT D SHEATHBIG DO NOT D DO NOT D SHEATHBIG DO NOT D SHEATHBIG SH
DR JOST, TYPE AND TON MAY VARY FROM	ZX BLVG BVT-0°CC. HIN. EA. END AND MIDDLE OF SHEAFWALL OR	(N) OR (E)
D EDGE NAUNC, PER		F

STATE STATE OF THE		ORENTATION MAY HEROM THAT SHORM WARP FROM THE SHORM WARP FROM PLYWOOD DOOR WALNO. PER SHAW, TIP. PLYWOOD SERENBHO PER PLAN, TIP. (AS OCCURS)	
TRANSPORT OF THE STATE OF THE S	FRAMING CLP PER S.W.S.	TLOOR, (COMTNUES AS OCCURS)	

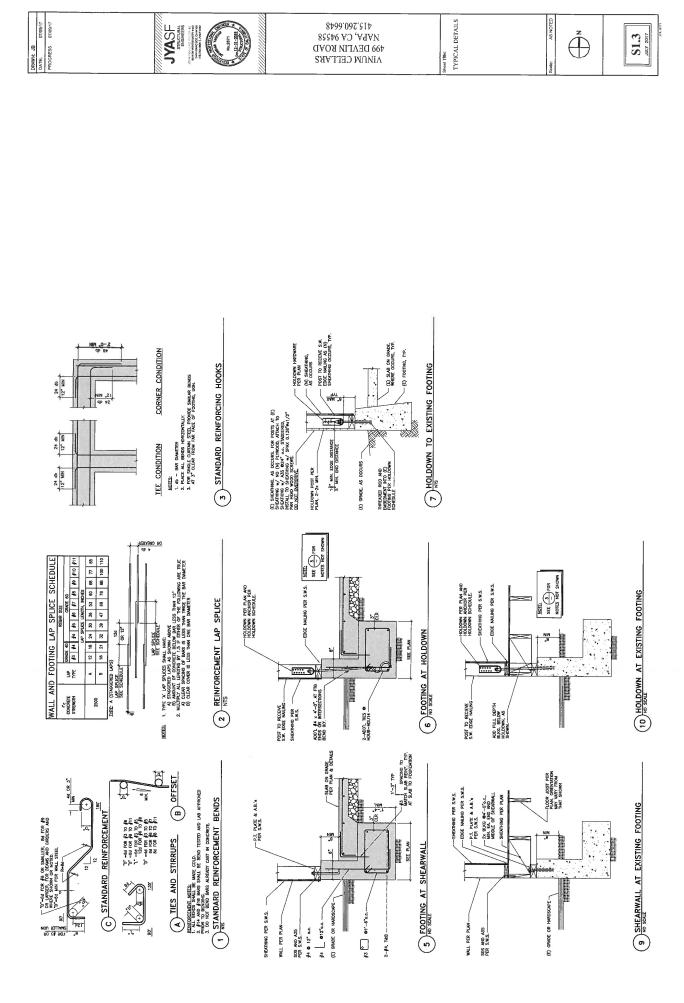
C 21	6 W 6	on a.	023	4.0
R CONNECTION PER S.W.S., DO NOT DOPEDRINE (OMT WHERE SHARE WALL ABOVE DOES NOT OCCUR).	(E) RM JOST/BLKG, ADD ADD'L PLY WHERE & CONNECTION IS SPECIFIED AS 2-ROWS.  (E) FLOOR OR ROOF SHEATHING, ORELATION MAY WRY FROM THAT SHOWN.		(E) FLORE JOSET, TIPE AND ORIENTATION WAY WARY FROM THAT SHOWN PARY FROM PLYWOOD EDGE MAILING, PER S.W.S. TIP.	PLAN, TrP. (AS OCOURS)
PER S.W.S., TYP. L. ABOVE. SPACE	SHEATHING W/ SHEATHING W/ PAN HEAD DO NOT OVER		(CONTINUES AS OCCURS) AS OCCURS	

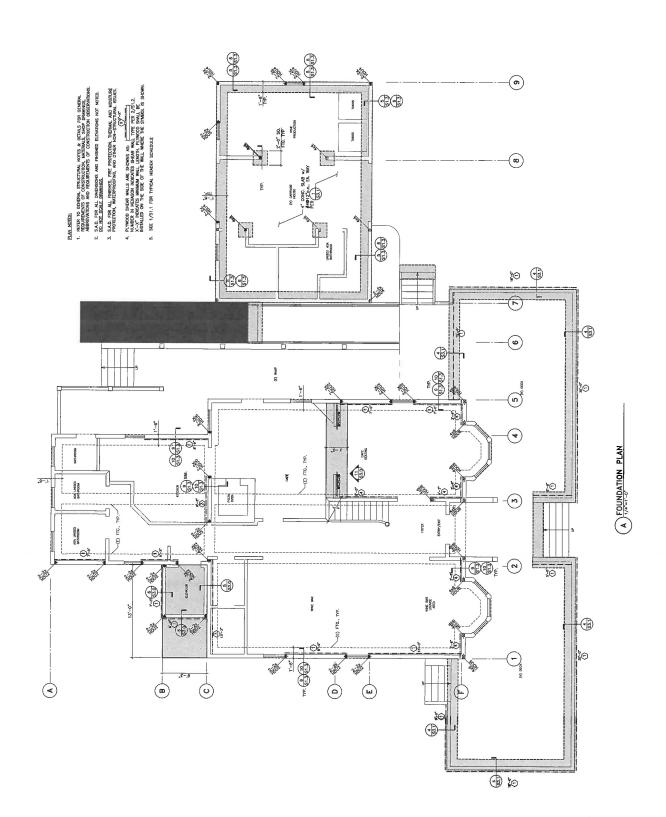


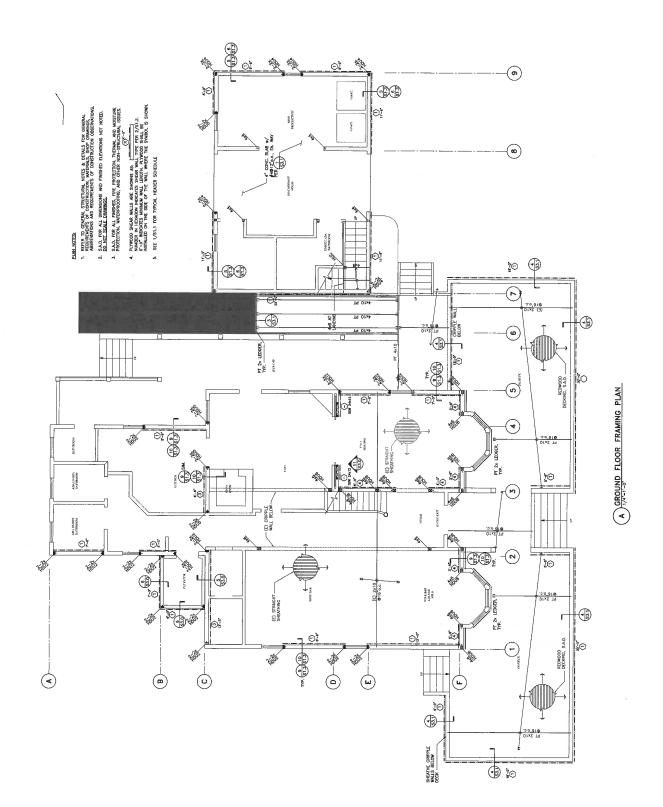


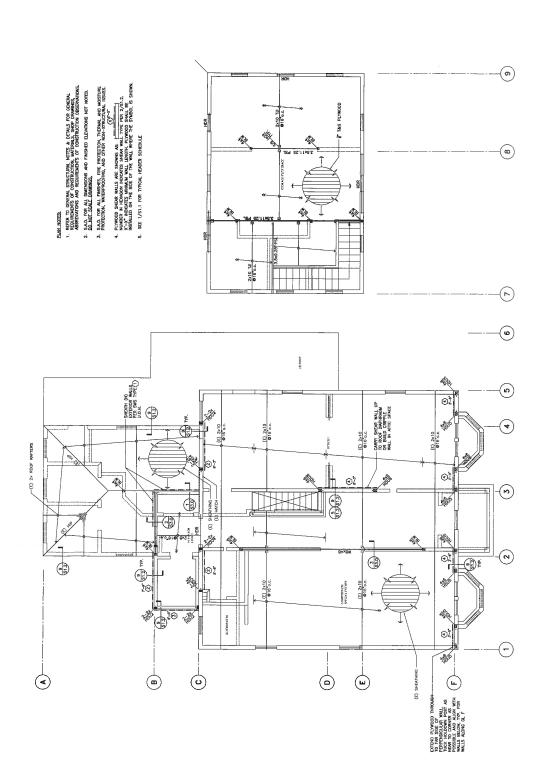
10 TYPICAL INTERIOR STAIR











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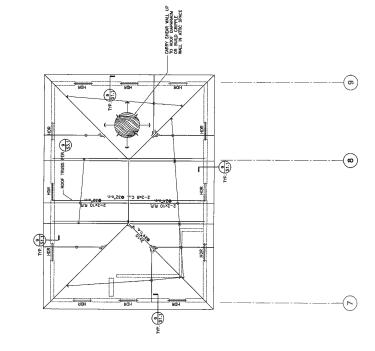


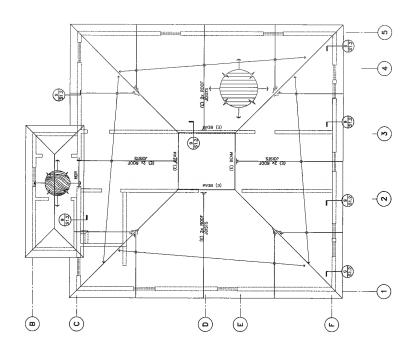


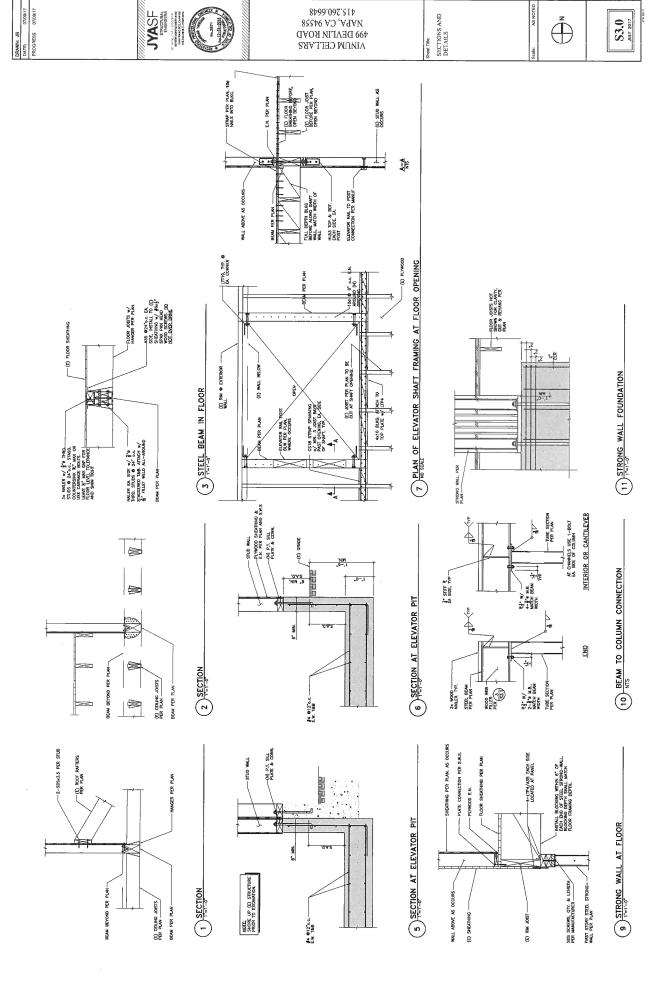


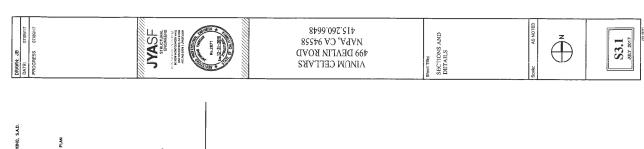


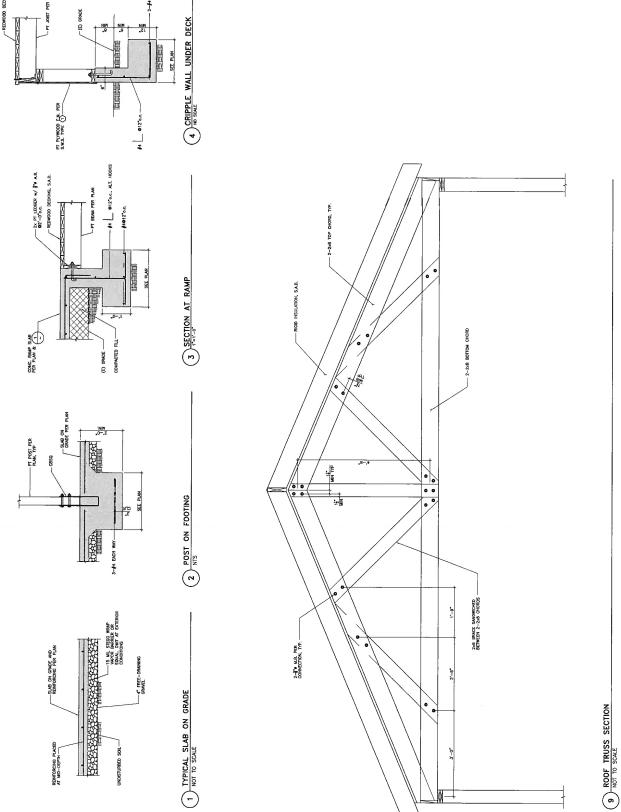
- SAD, FOR ALL PMSHES, FIRE PROTECTION, THERMAL AND MIDISTURE PROTECTION, WATERPROCING, AND OTHER NON-STRUCTURAL ISSUES.











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OCCUPANCY CALCULATIONS OCCURANCES A ASSERBLY IS OFFICE F. WINE PRODUCTION RETROOM EXTURE REQUIREMENTS. HANSION BOOMERINGS YOWTR CLOSES, LAWITORY FANSION URITAINS I WATER CLOSET, I LAWITORY CARRIAGE HOUSE I WATER CLOSET, I LAWITORY OCCUPANCY LOAD, YOARBAGE HOUSE: 1ST FLF (PRODUCTIONISTORAGE); 279 SQ FT = 3 OCC 2ND FLA (ASSEMBLY); 575 SQ FT = 39 OCCUPANTS OCCURANCY LOAD, TVANSON'
IST HOOVE, A (CAPEWINE BAR); 773 SQ FT = 52 OCC
RITCHEN: 280 SQ FT = 2 OCCURANTS
ZND ROOR, B (CIFICES); 870 SQ FT = 9 OCCURANTS

ADD NEW DECKS, AND NEW TWO STORY, 22'0'x 31'0" BUILDING FOR USE AS WINE PRODUCTION, STORAGE, AND CAFE SEATING. CONVERT EXSTING 2-STORY OFFICE BUILDING TO MIXED USE INCLUDING OFFICES, AND WINE TASTING AREA. SCOPE OF WORK

NDEX

MANDATORY ENERGY (NOT: IN SET) BNEGY CALCULATIONS (\*) BNEGY CALCULATIONS (\*) BNEGY CALCULATIONS (\*) BNEGY CALCULATIONS (\*) GREEN BUILDING CHECKLIST GREEN BUILDING CHECKLIST SITE PHOTOS A NOTE

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WAS TELLAN

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ADD NEW ELEVATOR BATHROOMS, AND RAMPS FOR ADA COMPLIANT ACCESSIBILITY.





499 DEVLIN ROAD

SITE

MCAI+ ARCHITECTURE & DESIGN
Plefased Connell, Architect
1. Architector, CA 34107
20n Francisco, CA 34107
4.15,440,4905
mnisconnellart/@gmail.com

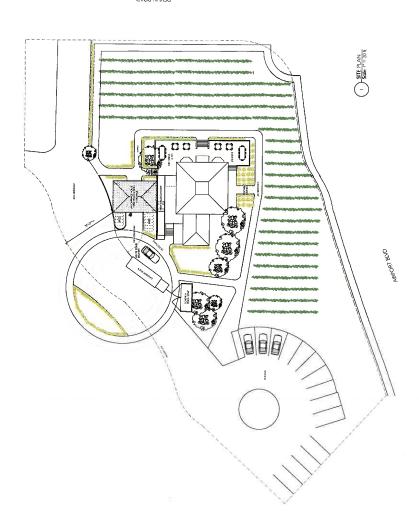
VINUM CELLARS 499 Devlin Road Napa, CA94558 415,260,6648 richard@vinuncellars.com

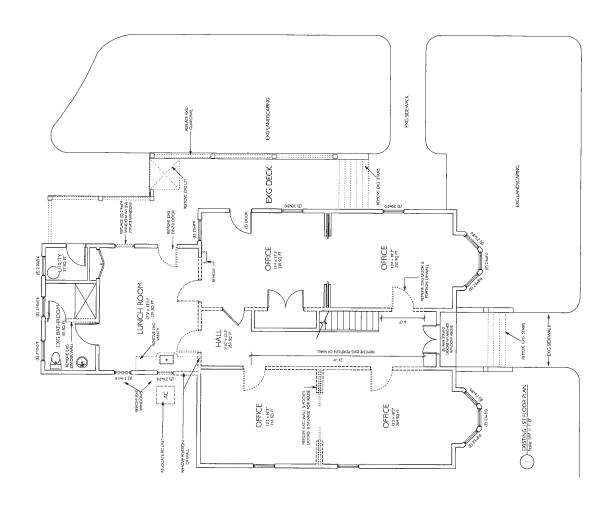
NEW SITE PLAN

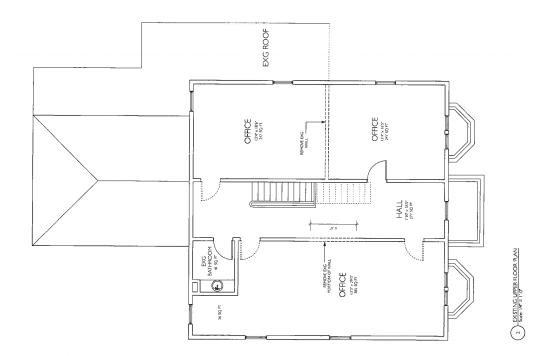


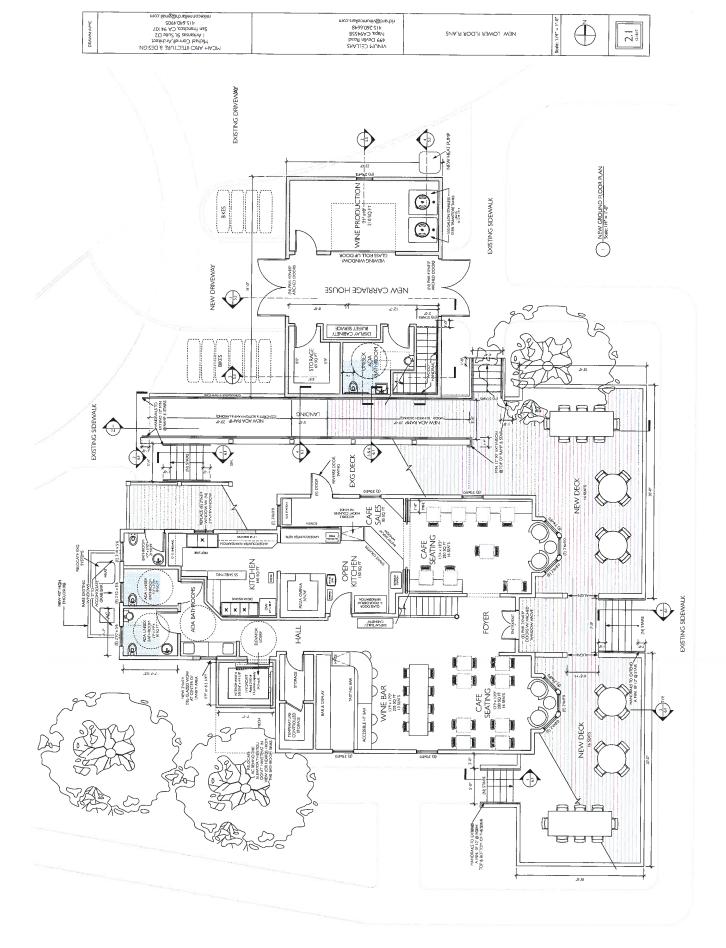


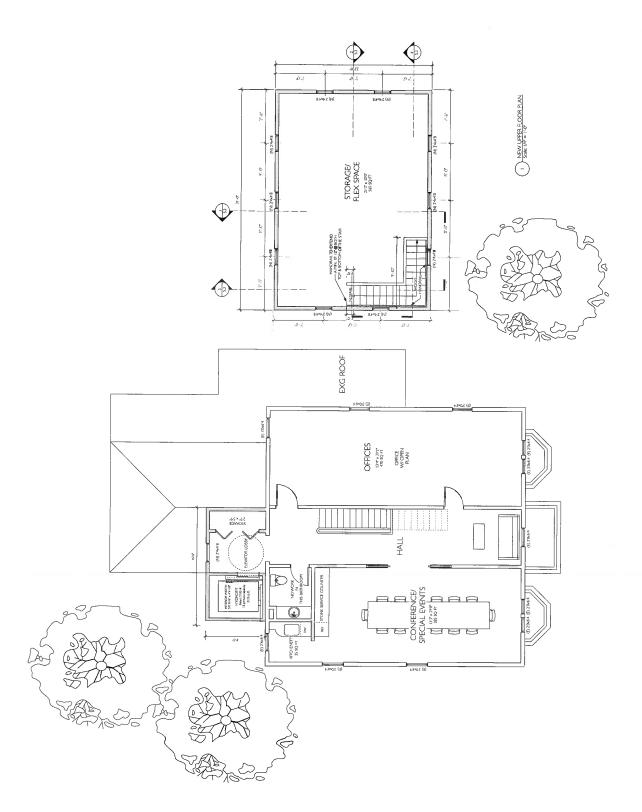
### DEVLIN ROAD

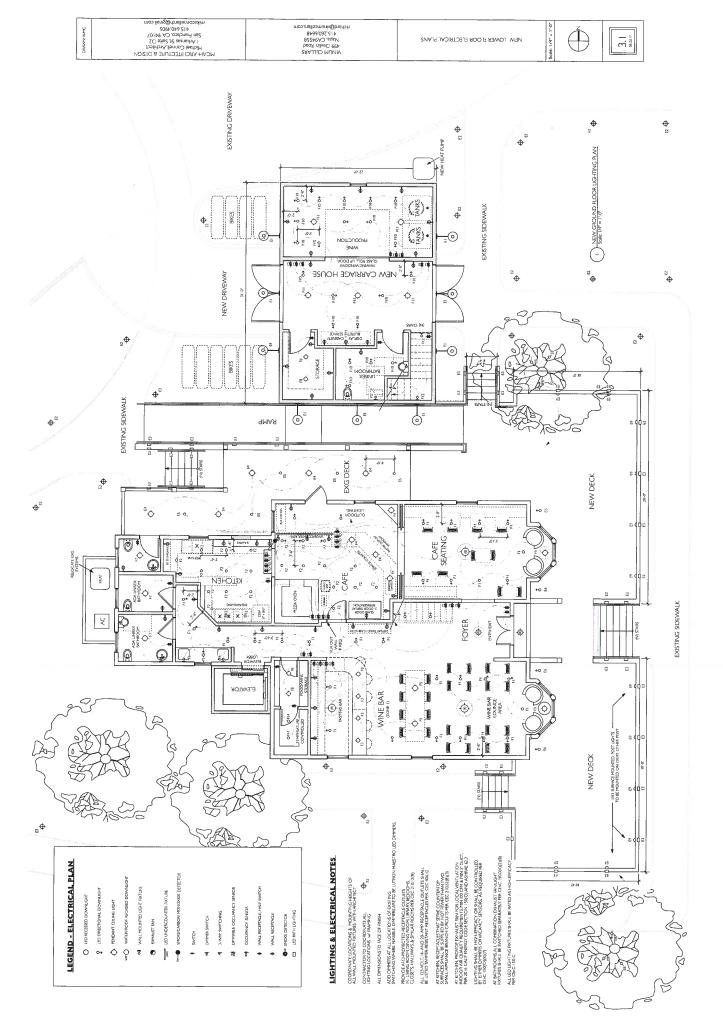


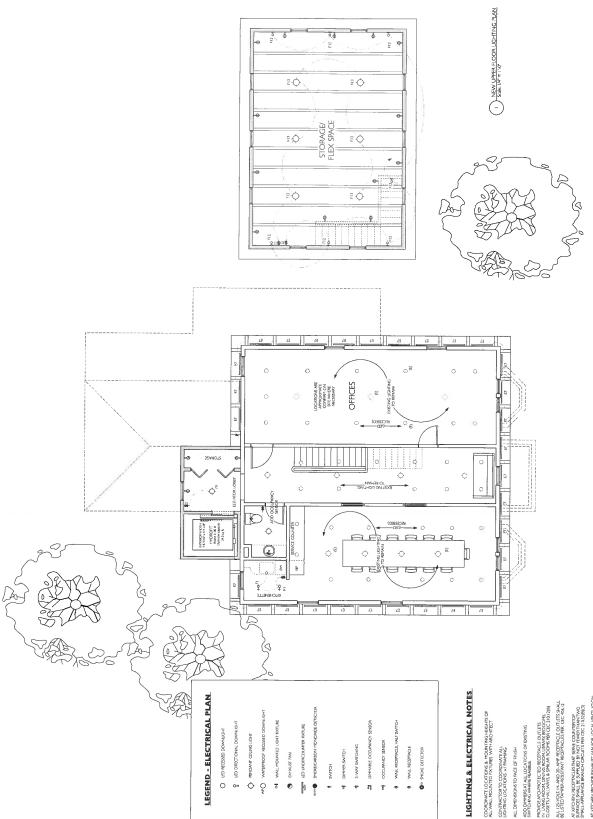












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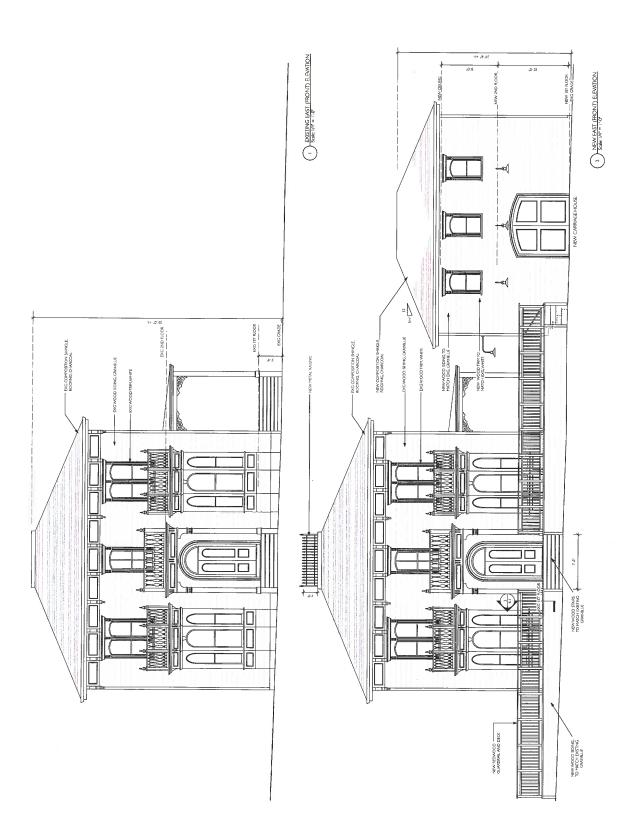
## ALL 125-VOLT 14, AND 26, AMP RECEPTACLE OUTLETS SHALL BE USTED TAMPER-RESISTANT RECEPTACLES PER CEC 406.12

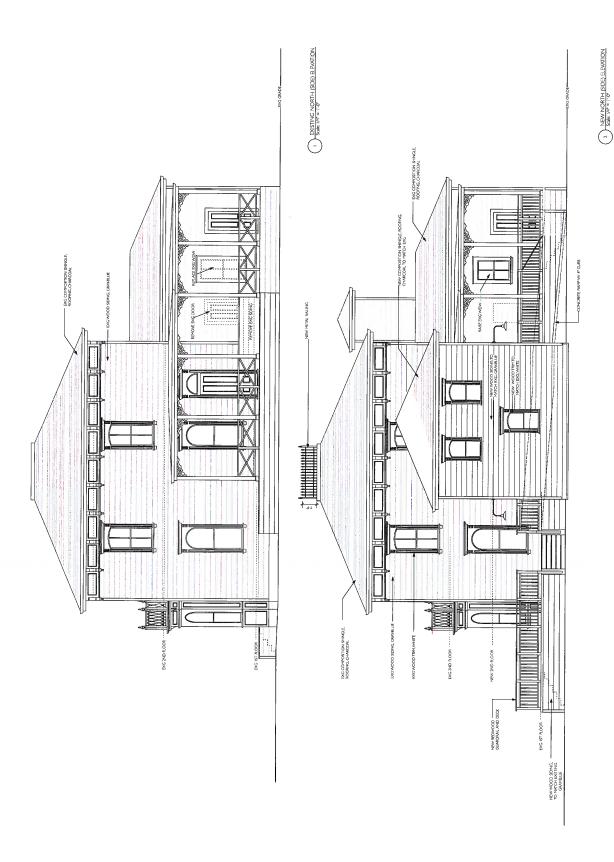
CONTRACTOR TO COORDINATE ALL LIGHTING LOCATIONS \*/ FRAMING ALL DIMENSIONS TO FACE OF FINISH

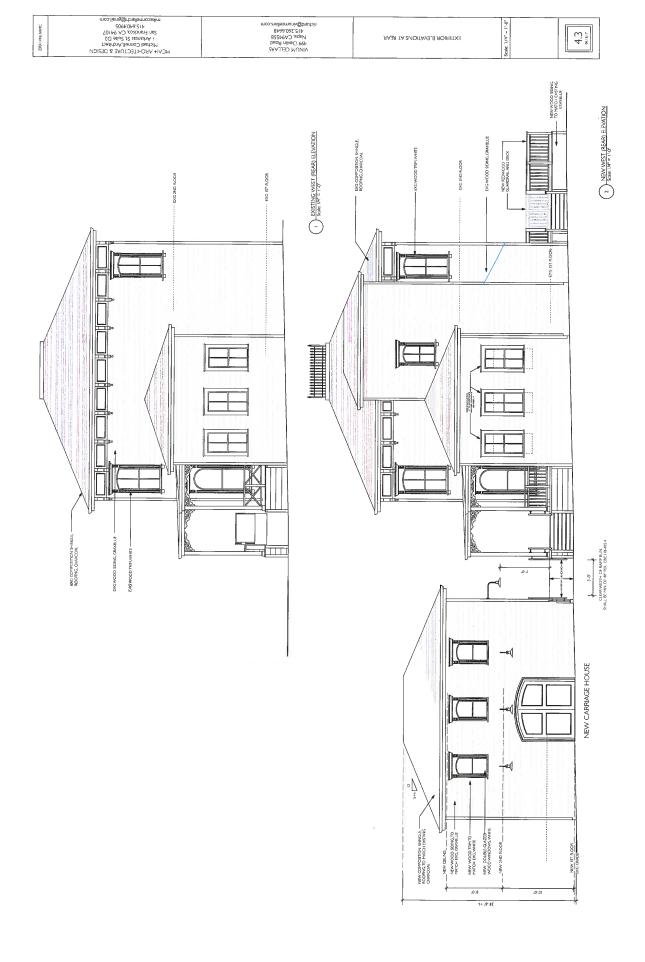
## AT KITCHEN RECEPTACLESTHAT SERVE COUNTERTOP SURFACES SHALL BE SUPPLIED BY NOT FEWER THANTWO SMALL-APPLANCE BRANCH CIRCUITS PER CEC 2 (0.52(8)(3)

AT KITCHEN, PROVIDE EXHAUST FAN FOR LOCAL VENTILATION INDOOR AIR QUAILITY REQUIREMENTS, MIN 180 CHY 8, MIN 5° DUCT PER 2016 CALIF ENERGY CODE SECTION 1.50(C), AND ASHRAE 62,2 LIGHTING SHALL BE HIGH-EFFICACY OR SHALL BE CONTROLLED BY EITHER DIMMERS OR VACANCY SENSORS, AS REQUIRED PER CERC 150(O)(K)(7)

# AT BATHROOMS, ALL COMBINATION EXHAUST FANUIGHT BYTURES SHALL BE SWITCHED SEPARATELY PER CENC. 150.0(K)(2),(B)

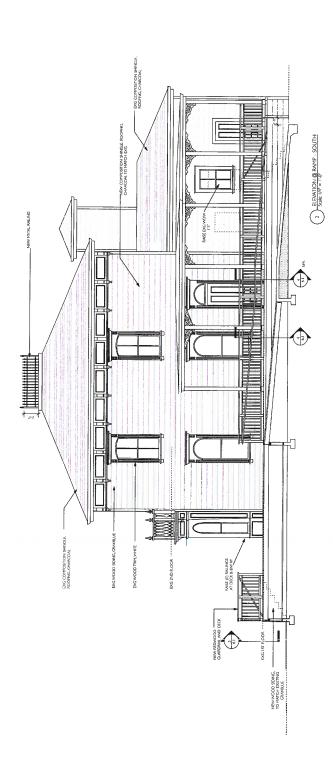


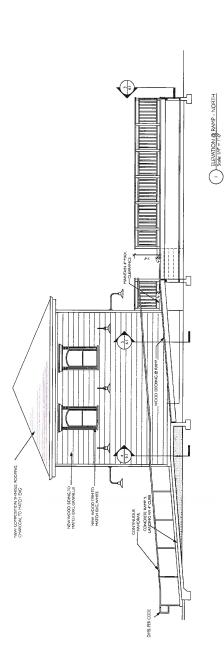


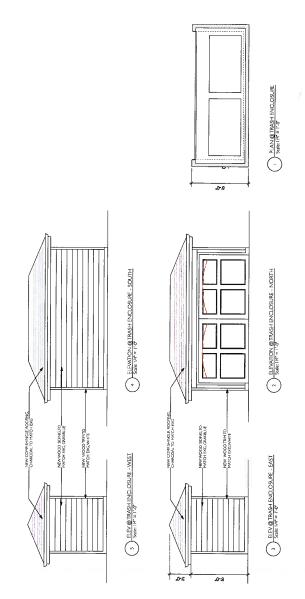


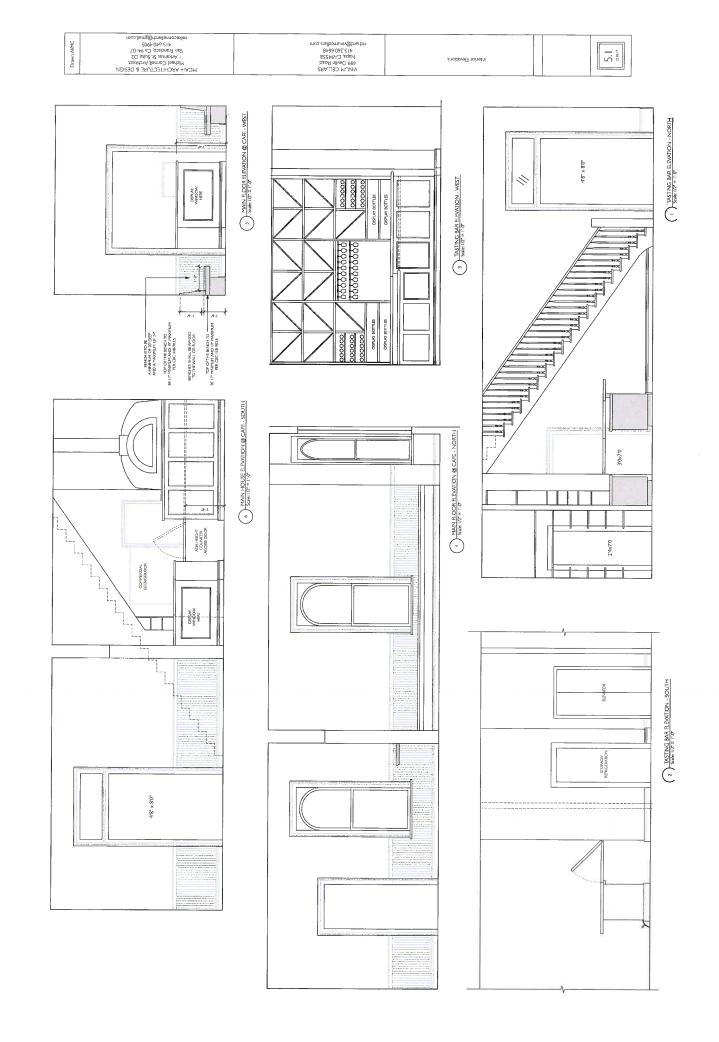


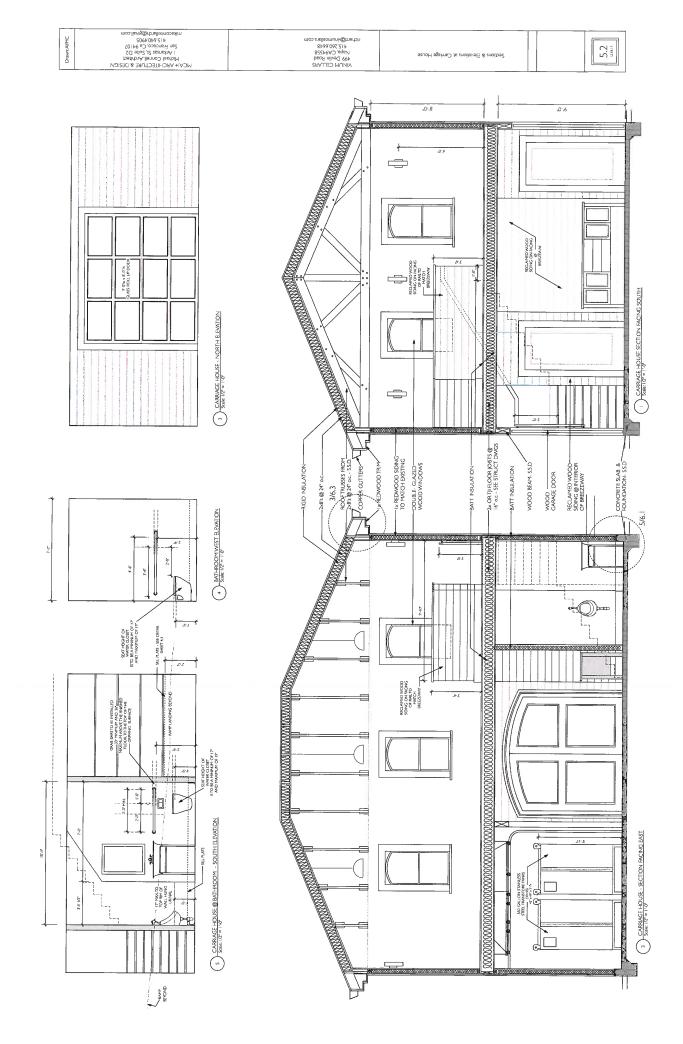
SOUTH (SIDE) ELEVATION

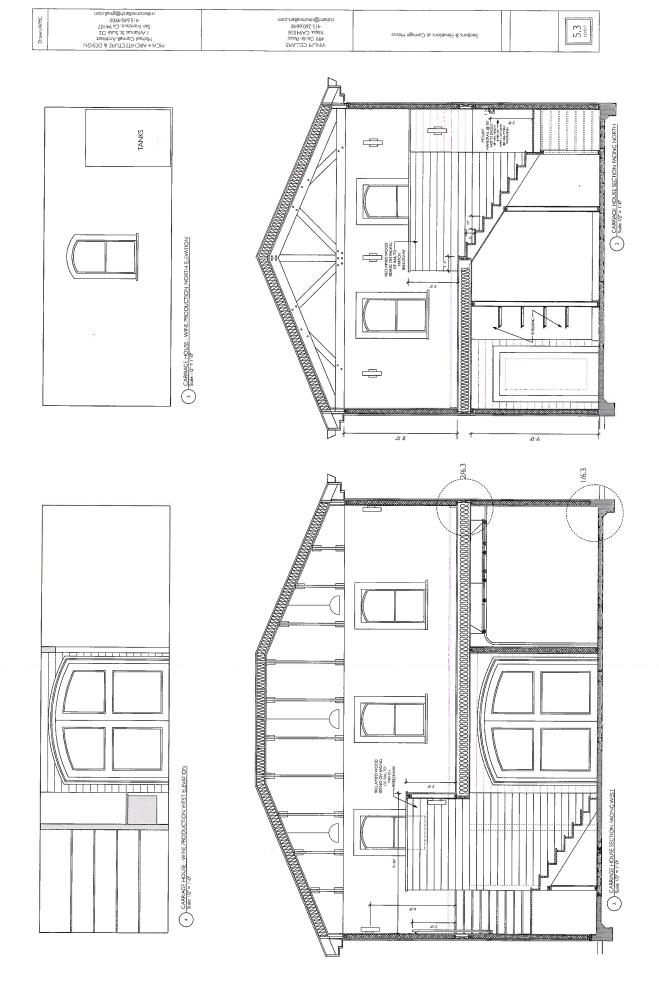


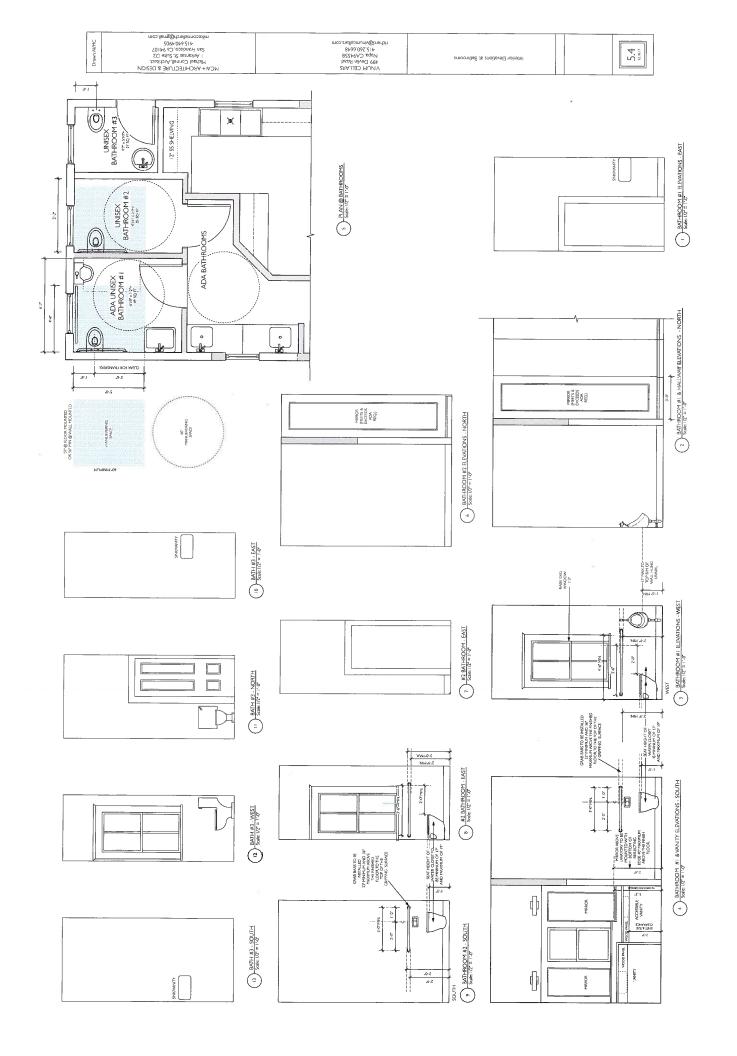


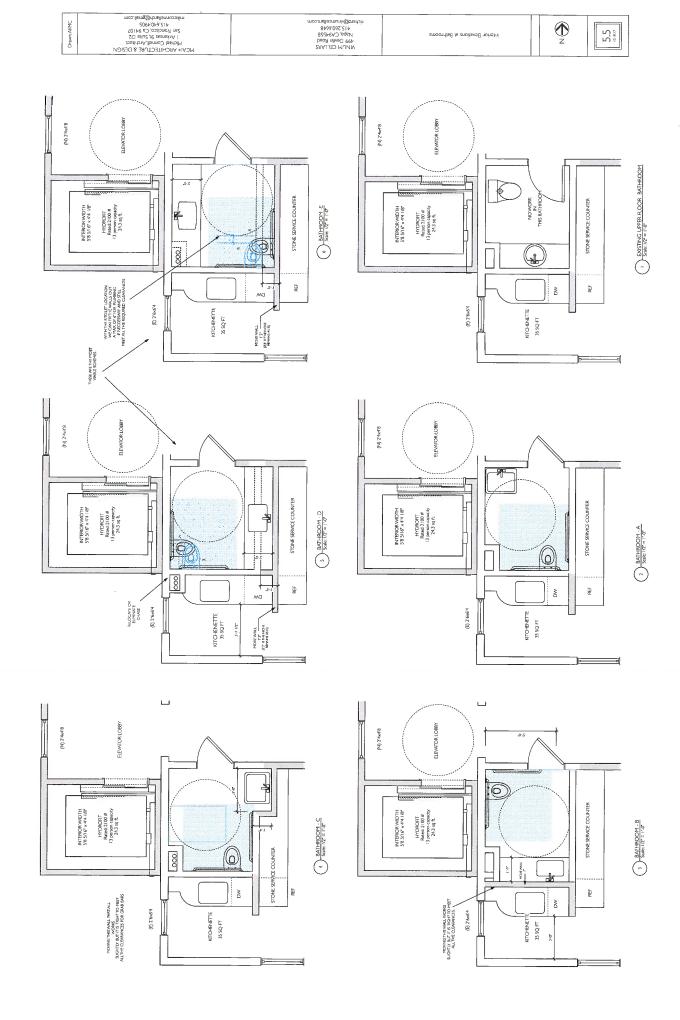


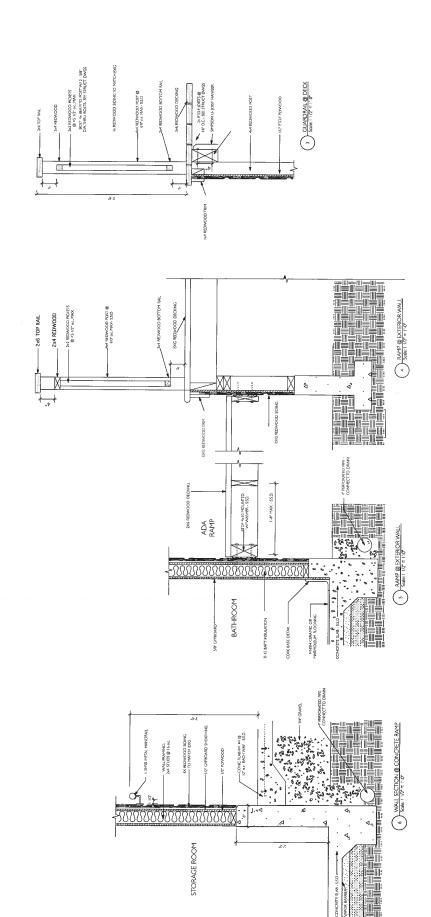


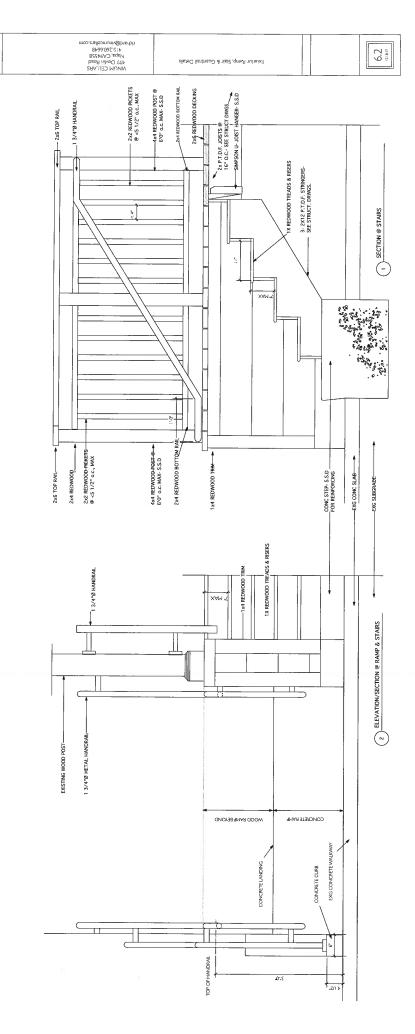






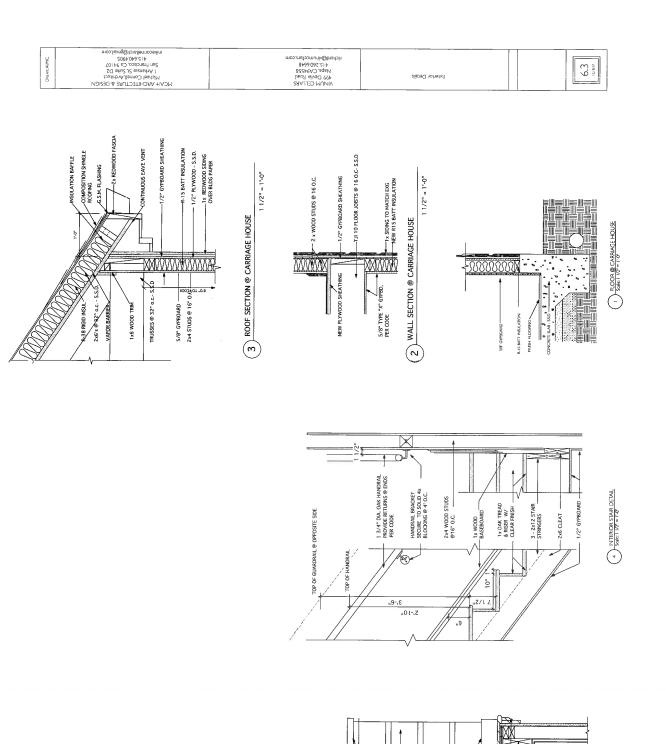






MCAI+ ARCHITECTURE & DESIGN Phichael Cornels Actified I Arlaces & Cone DS San Francisco, Ca 94107 11 G40,4905 mikeconnellarch@gnail.com

Drawn:A/MC



RECLAIMED REDWOOD SIDING

.9-₁€

1 1/2" = 1'-0"

6 GUARDRAIL AT STAIRS Scale: 1.12" = 1:0

1X FIR TRUM ~

### **SPECIFICATIONS**

1. GREGAL MOTES.
What work shall comply with the California Bulding Code, 2016 edition, and any other codes, rulegs, or regulations baving jurisdation. All work shall comply with the California Buldings in the California Buldings and subject to recommand. The California Buldings is a subject to recommand, the General Contract of responsible for checking Contract Document, field conditions, gardes, and demandated or recommands. The General Contracts of a buldings before concessing with construction of the careful contractor and demandation of the contraction of the careful contractor and interest or an operation of the properties of the Architect and Structural Ingenties prior to contraction. The General Contracts and provide a wealth register of the Architect and expension of the contractivation. The General Contracts and provide a wealth register of the California Contracts and provide a wealth register of the California Contracts and provide a wealth of the California Contracts and the California Section 4.410.

### SITEWORK:

All externations shall be the responsibility of the Contractor of a constraint or be adding of so, the Structural inscriptions shall not be the side of the Structural inscriptions and say that the state of the structural inscriptions and say that rules the state of the structural shall be restored. So may be the structural shall be restored, the structure and shall be restored. Expendently a shall be produced by the contractor of contractor of convolet transpary do maintain insightly of the structure and protect life until new work is installed. Expendently of transpary shall be produced by the Contractor, Sistly wentched and techniques are the safe responsibility of the Contractor. Contractor to provide protection from inclinemt weather while building is expected. Sifecten site requirements: Spanned shall be supported to explore a standard site spanned controlled and sensorly wout, and metals for recycling shall be a cerebrated and mental so the state of the state

CONORETE AND REINFORCEMENT:
 PROMORETE AND REINFORCEMENT:
 PROMORETE AND REINFORCEMENT:
 PROMORETE AND REINFORCEMENT ACCORDED WITH EXPLORATE CAUGH BY DIRECTIVE CONTRIGORY.
 PROMORETE TO PROMORE ACCORDED AND REINFORCEMENT ACCORDED AND REINFORCEMENT SERVICIAL REINFORCEMENT SERVICIAL

5. METALS.
Supply and install mutal tabrications, complete with attachments necessary for installation. Take field measurements prior to prophy and install mutal fabrications, complete with the Stockers of open dewings and abrication, where possible, All work to comply with the Stockers fragment specifications, the Colifornia Residential Building Code and the American Welding Society Stuckers Welding Code, Schmir shop drawings for Colifornia Residential Building Code and the American Welding Society Stuckers Welding Code, Schmir shop drawings for all work square and level.

### WOOD AND FASTENINGS:

WOUT MALE TASTERMESS.

 WOUT MALE THE THRINKESS.

 WOUT MALE THRINKESS.

 WOUT MAL

A The BAUAL AND MOSTURE PROTECTION.

A The must and materials received to provide a complete weathertight and waterproof system in complannee. When ill applicable buildings codes and materials received the provide as complete weathertight and waterproof system in complannee. Owner which ill applicable buildings codes and the National Roofing Industrial strains recommendations, and the provide as the recomplete installation of the coding florational selection is standard code. The complete installation of the roofing florational selection is standard and recommendations, and the mental coding complete and the National Roofing Contractions Association is standard and recommendations, and the mental coding complete and the National Roofing Contractions Association is standard and recommendations, and the mental recommendations and relativity standard. Provide waterproofing at existent of all below-grade waits. All sub-grade and installation of the roofing Contractions Association in the National Roofing Contraction of the Roofing Contraction of the Roofing Contraction of the National Roofing Contraction of the Roofing Roofing Contraction of the Roofing Contraction of the Roofing Roofing Contraction of the Roofing Contraction of the Roofing Contraction of the Roofing Roofing Contraction of the Roofing Roofing Contraction of the Roofing Contraction of t

Confidence to the final members of dimensions given on plant, Westherstrip all extend coors and windows. Confidence in research windows for poper binging and operation of does and windows, tetal permanentaristics of recommendations for wood if time costruction. Extend windows and french doors to be double glassed lovel, wood or recommendations for wood if time costruction. Extend windows and french doors to be double glassed lovel, wood or existing. Salvapea esting doors set shown on plant, he we windows in batthooms to be view, "Wagnet" Salvapits to be existing. Salvapies as esting doors set shown on plant, he we windows in batthooms to be view, "Wagnet" Salvapits to be solvapits, and doors salvapits, windows, salvapits, and doot on most industry quality extillation instanties. All windows, solvapits, and doors salvapits with extended fitshing systems and establish at this permater in accordance with society and proven construction methods. Conditing all womens and deating shall confirm to the efficients building Code and the cultimate freely. Observation Strandards.

ACAI+ ARCHITECTURE & DESIGN Michael Connell, Architect CO shiz 2, ZemshAA 1 Transis 20, 200 94 107 Transis 20,000,000 Michael Michael

DRAWN: AUMC

Fig. 5. FINSHES.

A Contractor provide new pypboard at all new walls and callings, to theicness as required by code, Gypboard to be cauch for their from imperfactors, with sociator to match noisting. Provide metal codes and "1" caps at all sepaces degree.

In the case of the recommendations, with sociator provide metal codes and "1" caps at all sepaces degree.

By Provide are Good Proceding and Englished And Andreas and sepacetrization, and ASP (1") caps at ASP (2014).

The provide are recommendations, provide new wood base and wood through the proceding caps and the provide and install all wood flooring per the Malestond Oak Pooring or dutalism or Manning. Some even and manufacturers for provide and install enew ord forming.

Contractor to provide and install eneme or store or life material, instraids as determined by Owner, Perform work as shown on pains, treatablism to the involved the provide and install eneme or store or life material, instraids as determined by Owner, Perform work at foots or and geoclications. on plants, and successful and successf

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11. CABNETRI:
Cabotest to be provided by Owner, installed by Contractor, Cabinets to be installed level, true, plumb and square, per
Indiatory standards. Protect influens as required during construction. Any field work to plan or match cabinetry shall be done
indiatory standards. Protect influens as required during construction. Any field work to plan or match cabinetry shall be done
be standards of the Woodwork Institute of California Manuel of Willowst, extent organie.
Provide bullen recycling center in cabinets, as shown on plans. All particlebrated and MOF to be formattely defree
Composite wood products to conform with Califoren Standards, section 4.504.5

15. FLUNBING AND MECHANICAL.

All mechanical and planning with with bits done in strict accordance with applicable code requirements. Provide all an mecasary connections of obtain all perantis, and by all fess required, Necthing and bottong of structural wood framing abelian condom to the California Relational alluding colds.

The conformation of produce rew hast pump for new "Carriage House, and provide new ducts as required HVAC Contractor of produce proper information for conformation to all members and reduced in reducing and suppliers and codes, in-charing california methods and yet the perturbation in the responsibility of the HVAC Contractor include ducts as required Produce duct and air distribution operang submitted and codes, in-charing california methods and produced in the best may be an expension of the perturbation and produced in the best may be an expension of the california and produced conservation is california, and conservation is called the perturbation and produced conservation is called the perturbation and produced and produced conservation is called the perturbation and produced produced and produced produced conservation is called the perturbation and produced produced and produced pro

Specifications

All electrical work calls done in strict incordince with applicable code requirements, and the California Residential Residential Residential and operations of the control of the control

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Green Building Mandatory Measures

Z. 50

CALGREEN NON-RESIDENTIAL CHECKLIST-MANDATORY ITEMS

5.108.4 Bicycle parking, Comby with Sections 5.106.4.1 and 5.105.4.2; or meet local ordinance, whichever is stricter.

 Cities Lineapenda period by chim in whiches Provide designated which the proposition post which are composition by the second section of the composition post which are composition post of the Lineapenda of the second section and the second section which are proposition post of the composition of the section which are proposed and existing the section of the sectio

Offices, wine tasting & production, cafe 499 Devlin Road, Napa, CA 94558 Project Name: Project Address: Project Description:

In the Corn or no Count's part and markly a second professional experienced in the 211 Caldiona Count and Count or no Count's part and markly a second professional experienced in the 211 Caldiona Count and Delates (Second Count and County and

	Column 2	Column 3
MANDATORY FEATURE OR MEASURE	Project Requirements	Verification
CHAPTER 5 - NONRESIDENTIAL MANDATORY MEASURES	SURES	
General Requirements		
The project meets all the requirements of Divisions 5,101 through 5,508.	0	0
Division 5.1 PLANNING AND DESIGN		
Planning and Design - Sita Development		ı,
AS 100.1 Storm water pollution provention. To projects of one items of each, which was the project of the project of the project of the beam beautiful to the project of	0	0

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6.300.3.4.2 Rictuhan leucetak, Kitchen faucatis etheli havo a maximum fluvor nieto di rimoret blan 15.8 glocios per minera et di obes (kitchen leucet min planoparily bircates her fore about be neutram nieto bet nieto bircanoparile 2.2 glados per minera et do per minera mise bet nieto transfero et de de 16.3 glados per intelesse all 00 pals.

The door is protected by a roof overhang at least 4 ft in depth.
 The door is reconsed at least 4 ft.

> 0 0

3,303.4.6 Metering faucts for wash fountains. Metering fauces for west fourtains shall have a maximum flow rate of not more than 0.20 gallons per cycle/20 (rim space (inches) at 80 psi.

5.305.3.4.4 Metering faucsta. Melering faucets shall not deliver than 0.20 galone per cycle.

A 2012 of Foreign and inference Chapters and the repolate he age of principle for control and the control and

4. Other methods which provide equivalent protection. 5.487.2.2.2 Flashing, install feahings integrated with a drainage pleas.

8.468.1.2 Weele management company, Ulilize a weeke management company that an apvolce verifieds documentation that be percentage of construction and denotition weals material deverted from the landing complies with Califoren Section 5.409. 5.408.1.1 Construction weste management plan. Submit plan per this section to enforcement enthority.

5.304.2 Outdoor use in landscape areae equal to or gracter than 500 against the work of the following about the following shall apply:

1. A boal water efficient landscape ordinance that is bread on evidet the necost, at least as effective in conserving water as the supdieted mode ordinance adopted by the Department of Water Resources (DWR)

0 0 

The Control of the Co

2. The California Depositient of Water Resource Model Water Efficient Lendscape Ordinance (JAWELO) commercing with Section 480 of Chapter 2.7, Division 3, 116e 23, Celifornis Code of Regulation.

**-**Š Š Ž Division 5.3 WATER EFFICIENCY AND CONSERVATION 2. Where response to the chandra are unfeasible, for waits recopied to the inclosing systems.

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In and 20 gen.

Control and the control terror was the chandra and the projected for command and chandra and within an addition that is projected to command a CAOO gallary. 3.533. Work conserving plannishing finance and ritings. Plansking thurse where Goales and unique of they flavors and answertening year comply with no legislation of the control of the control of an answer comes believes the CAL West Caleston. The control of all without of all water comes and the CAL West Caleston. The results of the control of all water comes perfect to the commence and on the control of the control o 8.303.3.2 Uhvesia. 8.303.3.2 U Wall-mounted arinsts. The effective flush volume of well-mounted unhals shall not exceed 0.125 gallons per flush. 5.303.1.1 New building or abblilkens in excess of 50,000 squars feet. Separate submelers shall be installed as tolows: . For each individual leasted, nethod or other tenent space within the building projected to consume more than 100 gailday. 5.303.3.2.2 Floor-mounted unhals. The effective flush volume of floor-mounted or other united shall not exceed. 50 gettine per flush. 5.303.3.3 Showenheads. 5,003.1 Merkers. Separation meters shall be metalled for the uses described in Sections 503.1.1 and 503.1.2. 5.201.1 Scope. The California Energy Commission will continue to adopt mandatory building standards.

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Act 2.2.2 a digital bengaji to proces regionerant. When multiple charging peaces required to process regions of with following charging peaces are consistent of the process of with the settled in charging to be intended to the process of the process of a finish to included in exceptions with the Colifornia Electrical Code, not also as a finish \$100.65.3.8 by Colleging peace excludation. Takes \$100.53.8 and its \$100.00 colleging and peace or multiple of annight spaces requirements apply for the User metallicity or multiple of a multiple of annight spaces requirements apply for the User metallicity or multiple or multiple of annight spaces requirements apply for the User metallicity or multiple or

5.105.5.3.4 (dentification, The service panel or subpanel(s) circuit directory shall identify the reserved overcurrent protective deniba space(s) for future EV charging as "EV CAPABLE".

3.165.3.3.5 Future EV spaces count as designated parking. Future charging spaces qualify as designated parking as described in Section 5.105.6.2 Designated parking for clean air verkides.

3.106.8 Light pollution induction. Outdoor lighting systems shall be designed and installed to compty with the following:

0 0 0

Backlight, Upfight and Glare (BUG) ratings as defined in IES TM-15-11; and

5.108.10 Grading and paving. The site shall be pleaned and developed to hap softice writer away from buddings. Continuid on plans shall indicate how also grading or a drainage system will manage at earlians water flows.

Comply with a local antinanto lawfully enacted pursuent to Section 101.7, whichever is more stringent. Allowebla BUG rating not exceeding those shown in Table 5.106.8, or

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La Adda La University waste, Addition and alterent to particular and special and makes the seconds provided in Section 2011 for nonedestand androne and makes the seconds provided in Section 2011 for nonedestand androne and consecut and seconds and collect and consecut and section and collect and extra control and chief and extra section and collect and extra collection and collection and collection and collection and collection and provided and approximately and and provided and approximately approximately and approximately approximate	5.406.3 Excavehed soll and lend clearing debries, 100 percent of trees, stumps, rocks and associated vegelation and solls reading printerly from land clearing stell be reused or recycled.	Building Maintenance and Operation	3.410.1 Recycling by occupants. Provide readily accessible areas that serve the earlier building and are identified for the depositing, storage and collection of non-szerdous materials for ney-ding.	Land Communication (Cover an editory (Use) occurs in the other building communication and the other building communication and the other building communication as the building communication as the building complex that communication and communication and control with the Communication of Communication and complex department of the Communication and com	3.418.2.1 Owner's Project Requirements (OPR), Cocurrented before the design phase of the project begins the OPR shall include litems risked in Section 5.410.4.	5.416.2.2 Basis of Design (BOD). A writter explanation of how the design of the building getterns meets the CPRs stad for completed at the design present of the badding project and updated periodically to cover the systems. felsel in Section 5.410.2.2.	5.410.2.3 Commissioning plan. A commissioning plan describing how the project will be commissioned shall be started during the design plass of the building project and shall include ferms falled in Section 5.410.2.3.	8.419.2.4 Eurobicosal performanos resting. Fundicinal performanos teóricas de substantina de la constanta de la pecificacione.	5.410.2.6 Documentation and training. A Systems manual and systems operations training are required.	3.410.2.5.1 Systems manual. The systems manual stail be delivered to the aboliting even or representative and tackline operator and shall include the term should be about 0.5 of 0.5.1	5.410.2.6.2 Bystoms operations training. The training of the appropriate meintenance staff for each equipment type and/or system shall include thems fisted in Section 5.410.2.6.2.	\$.410.26 Commissioning report. A complete report of contrinsioning process activities undertaken through the design, construction and reporting recommendations for post-contribution phases of the building

project shall be completed and provided to the owner or

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5.964.7 Environmental tobacco euroba (ETB) control. Provids strucing within 26 feet of balloting services an inclease and operable services where outdoor areas are provided for anothing and in buildings, or as an enchand		re and Reton Control notabre control. Buildings shall med or exceed the	profession (Calcharine sealing Does, CCR). The 24, Part 2, Section 1200 and Colege 411.  Alt Cace By and Exheres	5 888. Cotable and enablesy for the advance for the advance for the advance of th			\$ 507.4 Accustodes control. Employ bubding assembles and components with STC values determined in accordance with ASTM F 50 and ASTM F 411	)	building written based has weeting wat and not oblight generations measures on some state of the	SASTA A bloke exposure or three todas contexts an not readily  SASTA Hobies exposure to the contexts an not readily  NIA	any rock of operation is that interest states we was that concludes STC measuring states of the house source needing composition STC measuring states of the state source needing composition STC measuring states of the ordinary and states of the states of	wall.  5.637 At Présentance method. For buildings located as defined in Sectors A.S. Str. 8, et A.S. SSTV. 4, 1, wall and rook-calling assembles.	making up the balling named and its constitution to provide an interior constitution and an interior constitution to partiation for a consect in constitution to partiation for activities that code in consideration and interior consection for the one of the consection of the consection consection and interior and interior or operation. Also applies to addition anniego or alterior.	5.507.4.21 Bits beature. Exister feature acts as soond with or soon for how many to the complete a postport to the propert to impair a laboral registers. In the states, Also species to addition a species of the states, and the species to addition and the species of the states.	5.507.4.2.2 Documentation of compliance. An accustical analysis obcurrentially complying lifetor sound levels shall be respired by	Ne to 1 : Octone hashs Chelled de remail (1725) CALGREEN SIGNATURE DECLARATIONS	S.	Project Address: 1727 Decem Model; Najba, L.A. 19536. Project Descriptor: Offices, wine fasting & production, cafe	SECTION 1 - DESIGN VERIFICATION	Compales all lines of Section 1 – Theign Verification's and submit the completed checklet (Columns 1 and 2) with the plans and building permit application to the Building Department.	The center and design professional negonable for complance with Caldinen Standards have revised the plans and cardy that the large and cardy the property in the cardy incorporated to the polycly design and all the interimental and then the project is accordions with the requirements and then the polycly design between Standards and Caldina and Standards and Caldina project is accordions with the requirements and then to the 2019 Caldina Caldina Standards and Caldina and	apopping by the Country of Nagas.		Michael Connell Sept 1, 2017  Design Protestional Stynius  Design Design Protestional Stynius	Michael Connell Design Probesional's home (Pease Print)	Signative of License Professional responsible for Califoren complexos	Name of License Prohesional responsible for Califoren compliance (Please Print)	Emst Address for License Professional responsible for Caldinen compliance	SECTION 2 - IMPLEMENTATION VERIFICATION	Complete, sign and automit the competed chedding including coloring 2 together with all original signatures on Section 2 to the Balding Desember Including Desember final impedien.	I from impected the work and have received sufficient documentation to verify and certify that the project identified above was constructed in accordance with the observablesing Charlotist and in accordance with the requirements.	or the cust calling to the second Submitted Submitted Submitted by the County of Napa.  Supmitted Claims Professional responsible for Califoren completed	Name of Lemma Problesional responsible for Californs compliance (Please Print)	Ented Address for Librario Problessional insportable for Celdicisms complexos.  Page 12 of 12.
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		0	ı	3		0		1 [	) 0		) E			J C	1	Californi Nove Ra Calculta dar, restord (1) (1) (1)	) [		0	0	0		_	0	0			3 [	) C					CARGreen Sons Res Chee Binadhe eventued 1971 2019
Finish meterists shall comply with Advances and excitents insolves	The following standards.	With focal or regional air pollution Lifes where applicable or n in Tables 5.504.4.1 and	a of adhesives and sealest or ses packaging, which do not next of more than 18 fluid	standards and other to of certain baic compaunds, of commencing with Section 94507. The parme and continue shall	stringent local finite apply.  ga. Aerosol petrits and coatings	Arrita for ROC in Section Studing prohibitions on use of Meting substances (CCR, Title 17,	compliance with this section chorcing agency.	tailed in the building interfor shall to of at least one of the standards.	t custion installed in the building the Carpet and Rug Institute	at adheave shaft med the	Hardwood plywood, particlabount the wood products used on the seed the moulements for	4.4.5. for of compliance with this section enforcing agency. Documentation	ing standards listed in Section  For 80 percent of foor area sent flooring shall ment at least one	ion 5.504.4.8. stated buildings, provide regularly Walson media for outside and	JOHN JAN DON'T IN THE LAND OF G.	1 i. carz. 6.886.2.2.2 Accesse valve. Crivi Schooler access valves with a brass or	eel body are permitted for use. 5.509.2.2.2.1 Valves cards. For evaluin with a trificantent charte of 5.	he brais or steel and not plastic. and for it, the cap shall have a	5.508.2.2.2.1 Chain bethers. Chain tethers to fit over the stem are required for velves designed to have seal caps.	Retrigerated service cases holding self shall have evaporator colls of shall be standard on the control of	ces. attor shall be given to the heat modules energy efficiency	regerant receivers with capacities with a device that indicates the	n shell be pressure tested during	system shall be charged with a tracer gas to bring system	n for feaths, repeir any leaks, and sugs.	nge. The system shell stand, han a +/- one pound preseure	the same gauge. The evertanted after pressure	wecaum down to at least 1000	O minutes. and system vecture to a minimum	recurs down to a minemum of	A GREENING GREEN TO METORS			ÓP
8.204.6 Finish materials pollutani control. Finish materials shall comply Section 5.504.4.1 through 5.504.4.6. 5.504.4.1 through 5.504.4.6.	The proposit shall meet the installments authorized. Outside the authorises been tell the Adherives, adherive bonding primities influence primors, saskarise, 1. Adherives, adherive bonding primities, schemine primors, saskarise,	seletary primers and cauths shall comply with focal or regional air poli control or sit quality management district takes where applicated or SCAGNID Rule 1168 VOC limits, no shown in Tables 5.504.4.1. 5.504.4.2.	<ol> <li>Aerosol adhee/see and anteler unit sizes of adhee/we and sealers or cautifing compounds fit uses of product, less packaging, which do not well'of more then one pount and do not coneist of more than 18 find</li> </ol>	Outdools State Confly With assessment Volumens State Conflictions on the Californie Code of Regulations, 1786-17. (5.404.4.3 Paintia and confirms. Architect Architect	comply with Table 5.504.4.3 unless more dringent local firsts upply.  \$.584.4.3.1 Aerosol paints and coststigs. Aerosol paints and costs	ethal meet the Productive/brighted Mark Limits for RCo. in Section 6 94522(e)(3) and other requirements, including prohibitions on use of ortalish moto compounds and course depoleting autobations (CCR. Title 17, Section 94520 et son).	5.504.4.3.2 Verification. Verification of compliance with the section shall be provided at the request of the enforcing against that	5.584.4.4. Cerpet systems. At carpet leataled in the building inherior shall make the building inherior stall services of at least one of the standards	Inland for Section 5 EX4.4.4. 5.504.4.4.1 Carpet conshion. All carpet cushion installed in the building informers stall installed in the building information and the stall installed cannot be also processed.	8.504.4.2 Carpet achtesive. All carpet achtesive who most the requirements of Table 6.504.4.1	5,594.4,5 Compastita wood products, Hardwood plywood, particishos and models referenced fritten to the compaste wood products and on the interest or entered of the building all most fait from the models when the products in the products and on the interest of the building all most fait models when for	formalideryde as specified in Taible 5,394.8.5. 5,594.4.3.3 Documentation. Verification or completence with this saction shall be provided as requested by the enforcing agency. Documentation	shall include at least one of the following standards idead in Section 5.504.5.3.  5.504.6.8 (Restituted flooring systems. For 8) percent of force mas received from the standard restitions from the most one makes the standard restitions to shall make at least one	of the following standards liband in Section 5 504.4.8. 5.004.8.3 Filters. In mechanically verificated buildings, provide rapillarly occupied areas of the building with air fiftration media for outside and occupied areas of the building with air fiftration media for outside and	and the condition of the result is the result in the result is the result in the resul	5,806.2.2.2 Accesse within, Crity	steel body are pernithed for use. 5.508.2.2.2.1 Valves caps. For s	pounds or mone, valve capes shall be bress or sheel and not pleas. 5.888.2.2.2.2.2.8 alse lapse, if designed for it, the cap shall have a raisofrene 6thou in about	5.508.2.2.2.1.1 Chain bethers are required for velves design	5.829.2.3 Refrigereled service cases. Refrigerated service cases holding from processor control and from processor code of recreations make an expension of processor code of recreations maked as such as a standard case for cases of the cases.	prevent corrollon from these substances.  5.500.5.3.1 Cell central Corrollon from these substances in the less than the prevent to the heat to the central corrollon to mediumbs enters with central transfers of took confirm to mediumbs enters with central transfers of the central transfers.	5.000.2.4 Refrigerated receivers. Refrigerant receivers with capacities present the three 200 pounds and the Rind vidit a device that indicates the present of the second of the second second of the second	\$ 500 £ 2.0. Pressure transfer. The system shell be pressure trasted during historicative trasted during	ESPECIAL PROPERTY. TRANSPORT OF SPECIAL PROPERTY OF SPECIAL PROPERTY OF SPECIAL PROPERTY OF SECURITY O	research at a comparation of the second seco	5.506.2.5.3 Allowebb pressure change. The apstern shall stand, unallered, for 24 hours with no more than a +4 one pound pressure	Change from 300 palg, measured with the sa 5-308-2-6 Evacuation. The system shall be ex-	teeling and prior to charging. 8.598.2.8.1 First vacuum, Pull a system	microns (+/- 50 microns), and hold for 30 minutes. 5,508, 2.8.2 Becond Vectorum. Plot second system vecture to a chirimum	or our independent road for so manages.  5.982.2.6.3 Third vectors. Pad a third vectors down to a minimum of	over a 24-hour period.			Page 11 of 12
8.284.4 Finleh material political control. Settlem 6.504.4 il through 5.504.46. 5.204.4 il dhreshes, seelanne, caultee	The project shall meet the requirements of the control of the cont	seafant primers and cauths shall comply woodnot or sit quality management district SCACHIO Pulse 1168 VOC limits, se show 5,554.42.	Aerrotol adheaves and antelier unit size cautiful compounds (in uses of product, is weight more then one pount and do not one to the compount and the	Outcols settle control of the Contro			5.504.4.3.2 Verification. Verification of shall be provided at the request of the shall be provided at the request of the	5.584.4.4 Carpet systems. At carpet ins meet the testing and product requirement		5.504.4.4.2 Carpat adheatve. All carp requirements of Table 5.504.4.1	5.994.4.5 Composite wood products. and modern density fibertoeric composi- itations or extension of the building shall.	formaldelyde as specified in Table 5.50 8.504.4.3.3 Documentation. Verificat shall be provided as requisited by the	ehall inchube at least one of the following a 5,504.53. 5,504.53. 5,504.6 Realtent flooring systems. I resolving realisers flooring systems.	of the following standards listed in Sec 5.804.3.3 Pitters. In medianically veni occupied area of the building with air	rouns all prior to decipating view providing		steet body are perritted for use. 5.599,2.2.2.1 Valves caps. For s	5,898,2,2.2.2 Seal cape. If design recorder 6. The charge recorder 6. This in visco.	S.508.2.2.2.1 Chain bethers are required for valves design			5.006.2.4 Reht/gerated receivers. Re greater then 200 pounds smill be fitted	\$.508.2.2. Preseave teating. The system hashing and observed to some charge and observed to some charge and observed to some	5.586.2.5.1 Minimum presents. The regulated dry recognism and appropriate			change from 900 palg, menaured with 6.4884.26 Evacuation. The system shall	2			oo inform, art ind. to remain on over a 24-boar pariod.	0		
5.004.4 Fireth meterial politizant control. Sections 5.504.4 i Brough 5.004.6. 5.304.4.4 Adherbwa. seature. cultes					· · ·				0	8.504.4.4.2 Cerpat adhesive. All cerp requirements of Table 5.504.4.1	8.884.8 Composits wood products, and maken demost temporal temporal composition of the business set in the temporal temporal composition of the business set in the composition of the c		shall include at least one of the follow 5.904.53.  5.904.48 Resilient flooring systems. I noorking resilient flooring systems.		According to the control of the cont		3	S0862.2.2.5 Seel cape shall respect to the shall re		) C			S.508.2.3. Presente terifora. The sylvies hesterialists and observed and observed terifora.	•	<b>3</b>	0	•6	2		0			0	CACONN SNe-Set Careful de rechair 8/1/2 2017 Page 11 of 12