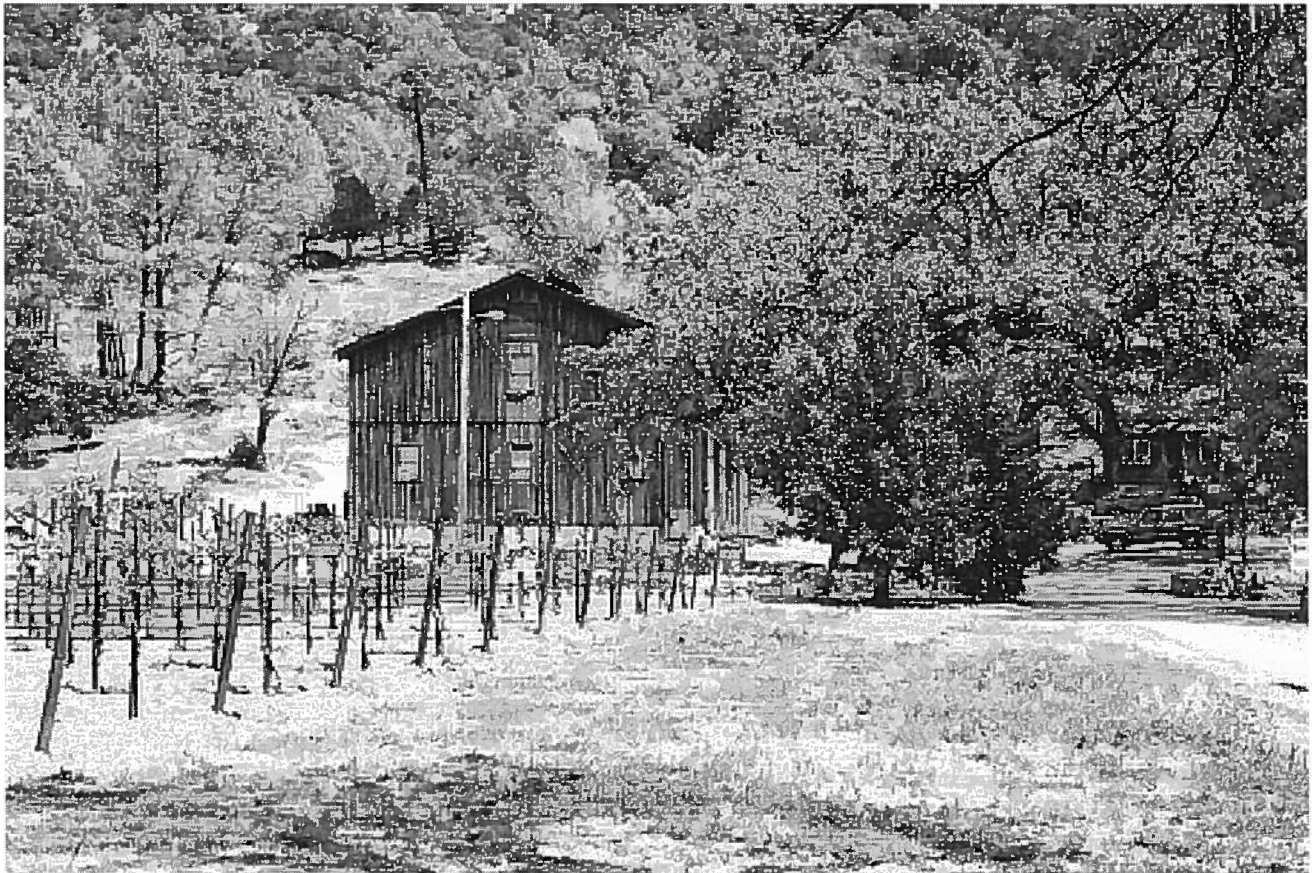


# PROPOSED BARN CONVERSION

1922 SAVIEZ FAMILY BARN

FOR  
WINERY PRODUCTION AND ADMINISTRATION



## SAVIEZ VINEYARDS

4060 SILVERADO TRAIL, CALISTOGA, NAPA COUNTY, CA 94515

JULY 1, 2002

DAN PETERSON AIA ARCHITECT  
HISTORICAL ARCHITECT & ARCHITECTURAL HISTORIAN

RECEIVED

JUL 08 2002

CO. CONSERVATION  
DEVELOPMENT & PLANNING DEPT.



# TABLE OF CONTENTS

CEQA Review of the Historic Impact of the Proposed Modifications to the 1922 Saviez Family Barn.

## Appendices

- A. Saviez Vineyard Images
- B. Drawings of Proposed Project
  - A-1 Project Location Plan
  - A-2 Site Plan
  - A-3 Photo Elevations – Existing conditions
  - A-4 First Floor Plan
  - A-5 Second Floor Plan
  - A-6 Exterior Elevations
  - A-7 Exterior Elevations
  - A-8 Building Sections
- C. Consultant's Resume

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**CEQA REVIEW  
OF THE  
HISTORIC IMPACT OF THE  
PROPOSED MODIFICATIONS  
TO THE  
1922 SAVIEZ FAMILY BARN  
(APN 021-010-003)  
FOR  
SAVIEZ VINEYARDS  
Use permit request 01099-UP**

**JULY 1, 2002**

**Introduction**

This report was requested by Paul Saviez, who wishes to convert 1922 Saviez family barn into a winery facility. The 1922 Saviez Family Barn and the adjacent 1880 Worker's Cottage were listed in the California Register of Historical Resources on December 20, 2001. The National Register of Historic Places status code is 5S1 which means that the structures are of local interest and not eligible for listing in the National Register of Historic Places.

This report provides the Napa County Planning Department with the necessary CEQA cultural resource information to assist in the review of the proposed project, and it documents that the project meets the Secretary of the Interior's Standards for Rehabilitation.

**Requirements**

Under the California Environmental Quality Act (CEQA), a project that results in a substantial adverse change of an "historic resource" is a project that may have a significant adverse effect on the environment. The Public Resources Code defines "substantial adverse change" as "demolition, destruction, relocation, or alteration such that the significance of an historical resource would be impaired" (Cal. Pub. Res. Code § 5020.1q)

Projects complying with the *Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings* do not result in a substantial adverse change and therefore do not have a significant adverse effect on the environment. The Standards are applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

A project that meets the *Secretary of the Interior's Standards* for the Treatment of Historic Properties can be considered categorically exempt from CEQA (14 CCR

paragraph 15331). Categorical exemption Class 31 consists of projects limited to maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of historical resources in a manner consistent with the *Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings*.

The applicable *Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings* apply to the rehabilitation of historic buildings. The guidelines define the term "Rehabilitation" as follows:

*The term "Rehabilitation" assumes that a least some repair or alteration of the historic building will be needed in order to provide for an efficient contemporary use; however, these repairs and alterations must not damage or destroy materials, features, or finishes that are important in defining the building's historic character. For example, certain treatments – if improperly applied – may cause or accelerate physical deterioration of the historic building. This can include using improper repointing or exterior masonry cleaning techniques, or introducing insulation that damages historic fabric. In almost all of these situations, use of these materials and treatments will result in a project that does not meet the Standards. Similarly, exterior additions that duplicate the form, material, and detailing of the structure to the extent that they compromise the historic character of the structure will fail to meet the standards.*

## **Property Description**

(Detailed historical information is in the nomination to the California Register prepared by Clark Historic Resource Consultants dated May 2001.)

The project is located at 4060 Silverado Trail, Calistoga in Napa County. The historic structures on the site include the Workers Cottage (used as an Office, Photo No. 2, appendix A) and the barn (Photo No. 2, appendix A) which is the subject of this report.

The barn is a small two-storey wooden structure, 45 feet by 60 feet (Photos No. 5 & 6, appendix A). There is a early lean to shed addition, 45 feet by 18 feet, attached to the east end of the original barn (Photos No. 7 & 8, appendix A).

The primary views of the barn are from Silverado Trail, north of the winery entrance and show the north and west facades (Photo No. 3, appendix A). The south façade is obscured from Silverado Trail (south of the entrance) by the trees that flank the entrance road (Photo No. 4, appendix A). The east façade has been modified by the early shed roof addition (Photo No. 7, appendix A).

The barn framing is all constructed of sawn timbers fastened with wire nails. The walls are framed with four inch by six inch posts, at five feet on center. There are horizontal members between the posts at third points on the lower level and mid-point at the upper level. The second level is platform framed with wood joists sitting on posts and beams on the interior and plates at the exterior wall line. The roof framing is done with carpenter trusses at approximately ten feet on center supporting purlins at approximately four feet

on center. The exterior siding is board and batten and the roofing is corrugated metal.

The early addition is framed similar to the barn except the roof framing is simple beam and purlins (See photo no. 8, appendix A).

## **Project Description**

The proposed project is to rehabilitate the barn and use it for barrel storage on the lower level and office/laboratory on the upper level. Fermenting tanks will be installed in the early addition on the east end of the barn. The proposed work includes:

### **Site Work:**

1. Disabled parking, building access, and unisex handicap toilet.
2. Concrete flat work to create an area for crushing equipment.

### **Exterior work**

1. Existing sliding doors on the first floor to be reconstructed using vertical boards to be more compatible with the historic character of the building. (Drawing A-6, appendix B)
2. Exterior siding proposed to be replaced with new board and battens over plywood sheathing with a 1x3 battens. Original siding that can be salvaged will be reinstalled on the primary facades. (west and north)
3. New metal roofing over new plywood sheathing.
4. Additional windows on the east end to provide light and ventilation to the upper level. (Drawing A-6, appendix B)
5. A new stair and unisex handicap toilet on the south side of the building. (Drawings A-5, A-5, and A-6, appendix B)

### **Interior work**

1. Exterior walls finished with either gypsum wallboard or plywood and insulation installed for energy conservation.
2. Roof finished with gypsum wallboard or plywood to enclose the roof insulation.
3. Non-original interior walls demolished to provide space for the barrel storage. New openings cut in the wall between the barn and the early shed roof addition to

provide access to the fermentation tanks. (Drawing A-4, appendix B)

4. New partitions installed on the second level to define reception, offices, conference, toilets, and laboratory and a new exit stair. (Drawing A-5, appendix B)

### **Structural Work**

1. Structurally upgrade the framing to resist designed lateral and vertical forces. The original framing members to remain unaltered with new members added as required.
2. Install infill studs to support the plywood sheathing for the second floor framed walls.
3. Reinforce existing roof trusses as necessary.

### **The Secretary of the Interior's Standards for Rehabilitation**

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

Comment: The building has been used for various agricultural uses. There is no physical evidence remaining that would illustrate the various uses. The proposed use as a winery is agricultural use consistent with the history of the building. The uses of barns changed depending upon the economic needs of the farmer.

2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

Comment: The character defining features, which include the worker's cottage are being retained and preserved.

3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

Comment: The proposed changes to the site for the ADA parking, crushing area, and ADA toilet facilities do not create a false sense of history and will not affect the historical character of the property.

4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

Comment: The original roof appears to be corrugated metal based on the roof framing system. The use of corrugated roofing on farm buildings dates back to the late 1800's. New corrugated metal roofing to match the original patterns will not affect the historical character of the barn.

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*

Comment: There are no original doors or windows remaining in the building. The two nine light windows on the east side of the early addition are the only windows that convey the historical character.

6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

Comment: The major deterioration that has occurred is on the exterior of the building, specifically the wood siding and metal roof. The replacement siding and roofing should match the historical character to maintain the historic integrity of the building. None of the original doors and windows exist. The design of the proposed new doors and windows are consistent with the character of doors and windows in barns of that era. The original wood framing system will remain in place.

7. *Chemical or physical treatment, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

Comment: The exterior of the barn will remain in its current state with unfinished wood. Cleaning will not be necessary.

8. *Significant archeological resources affected by the project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

Comment: This report does not cover archeological resources

9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

Comment. The primary materials that characterize the barn include barn board

and batten siding and the metal roof. The proposed changes to the doors, windows do not affect original materials. The designs of the new doors (stile and rail, and board doors), and multiple light windows are consistent with the simple character of the barn.

10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Comment: The proposed stair and handicap toilet addition on the new south side of the building will be attached at the second floor door only. It will not alter any of the original framing system and could be removed in the future without damage to the historic character of the barn. The location of the stair will not affect the primary facades seen from Silverado Trail. The material proposed is simple vertical barn board siding without battens in order to differentiate the new construction from the historic construction.

The added windows on the east façade will not alter the original framing and could be removed and siding replaced to restore the original character. The added windows on the east elevation are not seen from any public vantage point. The east elevation is not a primary façade and has already been altered as a result of the early lean to addition.

## **Conclusion**

The work as proposed complies with the *Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*.

## **Appendix "A" - Saviez Vineyards Images**

## **Appendix "B" – Architectural Drawings**

## **Appendix "C" - Consultants Resume**

## SAVIEZ VINEYARDS - IMAGES

### SITE FEATURES



Photo No. 1 - View of vineyard and barn  
looking east



Photo No. 2 - View of workers cottage  
looking northeast

## SITE VIEWS FROM SILVERADO TRAIL

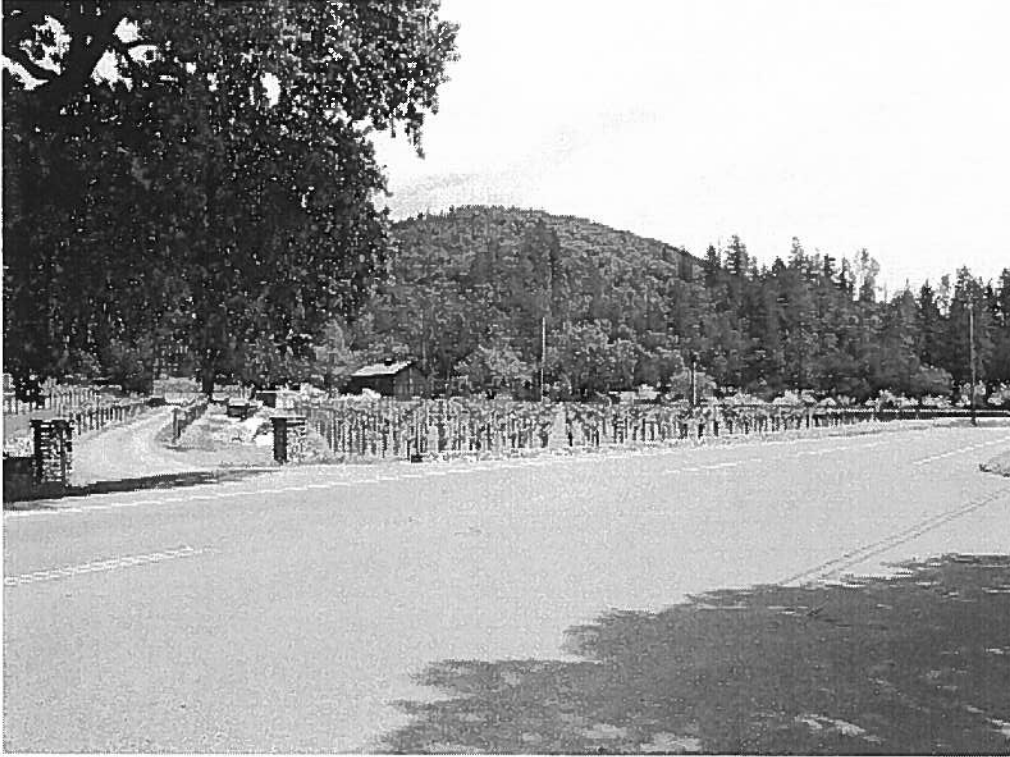


Photo No. 3 - View of vineyard and barn from the intersection of Silverado Trail and Larkmeade Lane - showing the north and west faces of the barn (primary facades). View looking southeast.

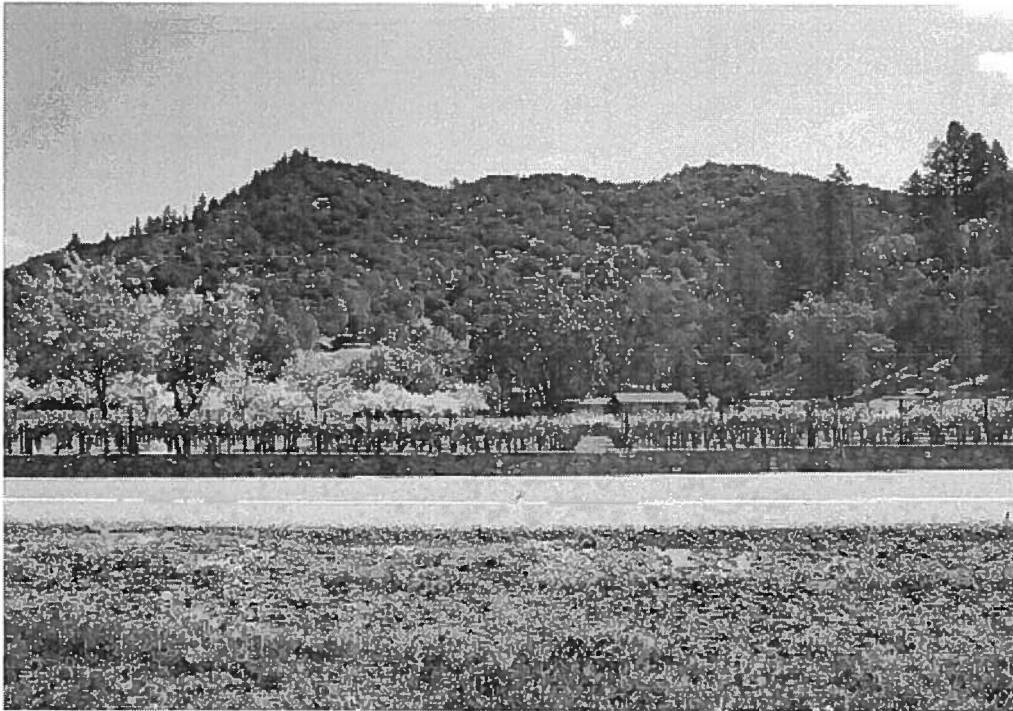


Photo No. 4 - View of site from Silverado Trail, south of the tree lined entrance road. Barn is not visible. View looking north east.

## VIEWS OF PRIMARY FACADES



Photo No. 5 - View showing west and north facades. Looking southeast.



Photo No. 6 - View showing west and south facades. Looking northeast.

## VIEWS OF EARLY SHED ROOF ADDITION

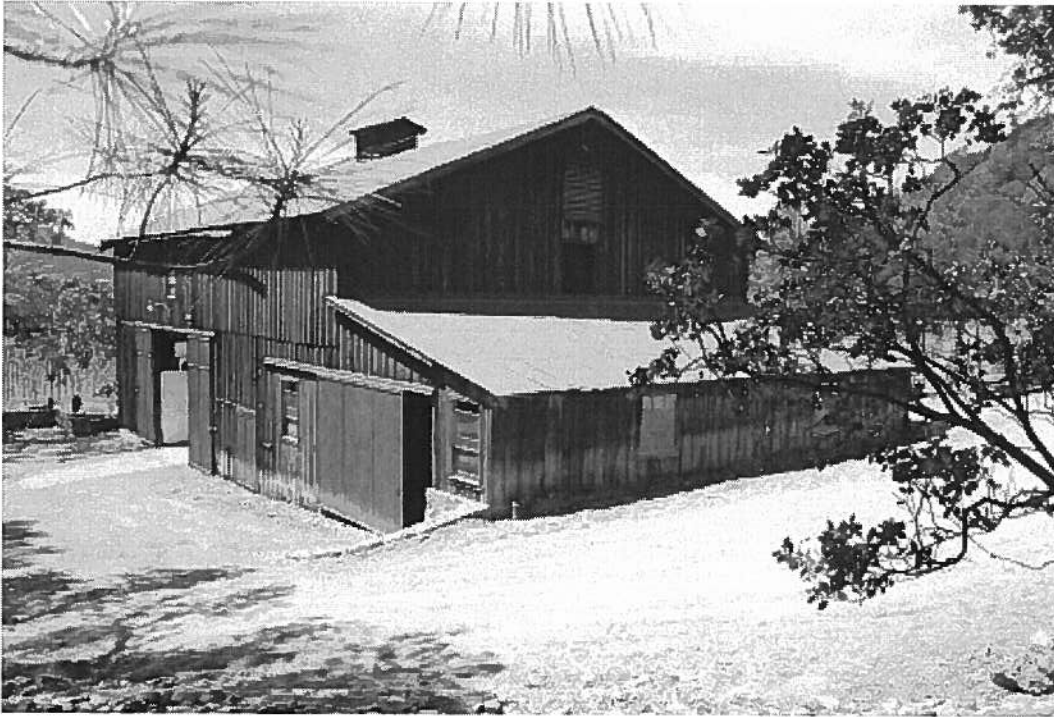


Photo No.7 - South and east facades showing early shed roof addition.



Photo No. 8 - Shed roof framing system of early addition

## VIEWS OF HISTORIC FEATURES



Photo No.9. - Detail view of original barn cleanout opening.

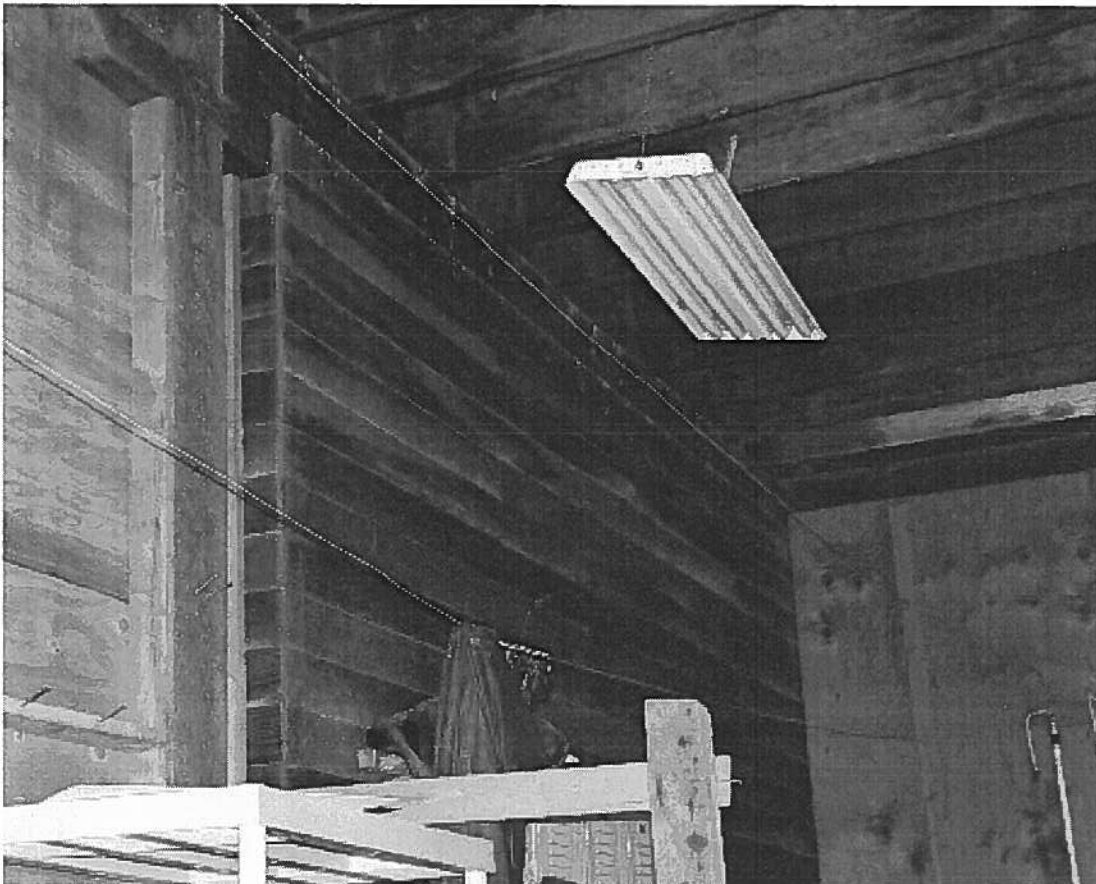


Photo No. 10 - Horizontal panelled wall appears to be part of the original construction.

## VIEWS OF CONSTRUCTION DETAILS



Photo No. 11 - Wood roof framing trusses. Looking south west.



Photo No. 12 - South east corner showing typical wall framing.

LARKMEAD LANE

SILVERADO TRAIL

600' NEW BUILDING SETBACK

QUALIFIED HISTORIC BUILDINGS EXEMPT

VINEYARDS

VIEW FROM SILVERADO TRAIL AND  
LARKMEAD LANE. SEE PHOTO  
NO. 3, APPENDIX A. PRIMARY  
VIEW OF BARN FROM THE PUBLIC  
ROAD

TREE LINED  
ENTRANCE DRIVE

WINERY ENTRANCE

(E) TREES

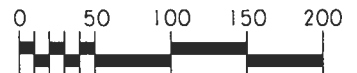
VIEW FROM SILVERADO  
TRAIL SOUTH OF  
ENTRANCE SEE PHOTO  
NO. 4, APPENDIX 'A'

PROJECT AREA  
SEE DRAWING A-2

NORTH



SCALE: 1/128" = 1'-0"



## PROJECT LOCATION PLAN

PROPOSED PROJECT  
BARN CONVERSION TO WINERY  
SAVIEZ VINEYARDS  
4060 SILVERADO TRAIL

DAN PETERSON  
AIA ARCHITECT  
1304 PELICAN WAY  
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PLEASE INFORM THE  
ARCHITECT OF ANY  
PROBLEM WITH THE  
INFORMATION BEFORE  
PROCEEDING WITH THE  
WORK.

DATE: 07-01-02

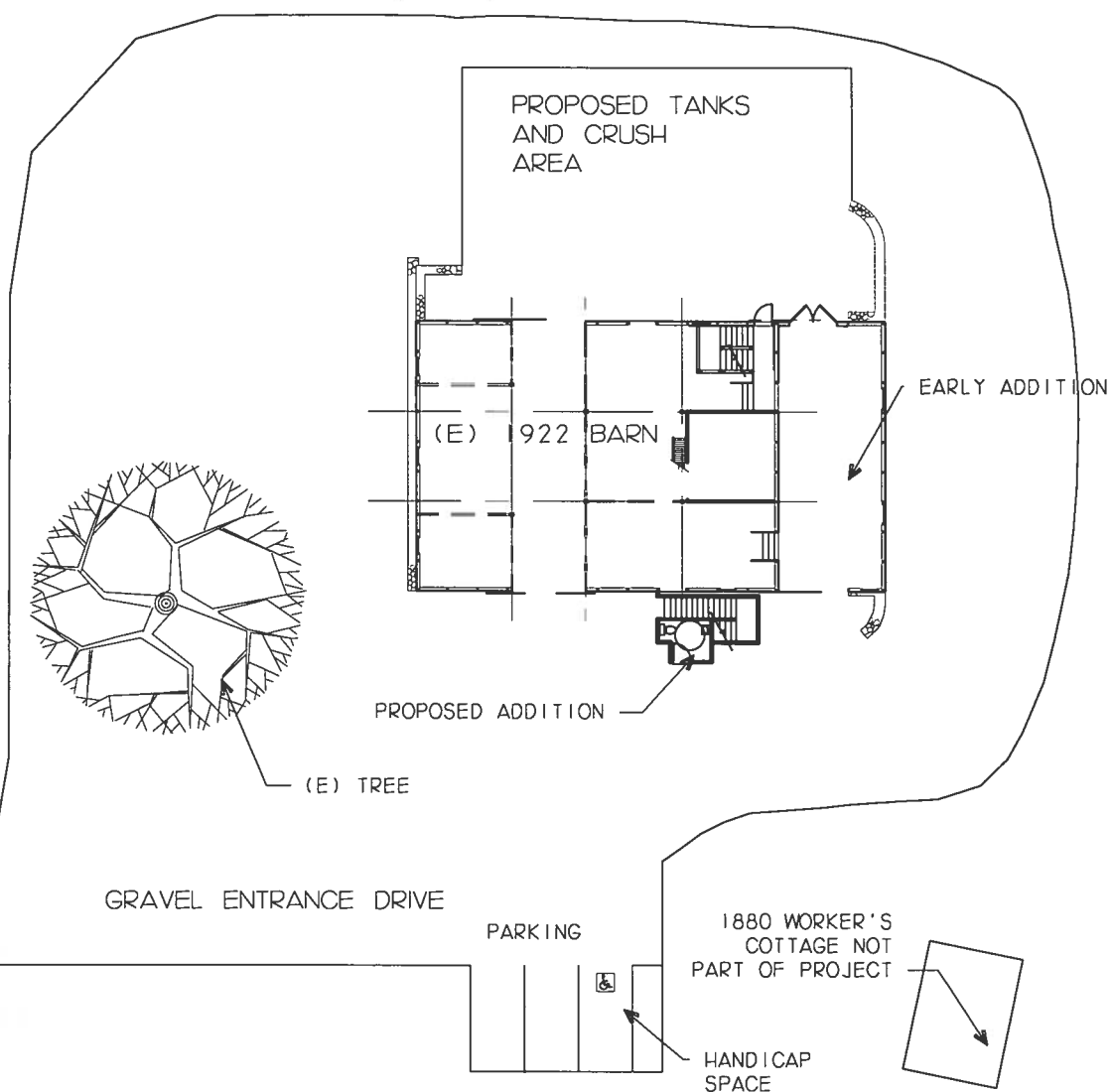
DRAWING REF:

AP-B

A-1

PROJECT NO.  
2004





### PROJECT AREA ALLOCATION

#### FIRST FLOOR AREAS

(E) BARN	2,718 SQ. FT.
(E) SHED	806 SQ. FT.
(E) TOTAL	3,524 SQ. FT.
(N) ADDED TOILET	64 SQ. FT.
TOTAL AREA	3,588 SQ. FT.

SECOND FLOOR AREA 2,718 SQ. FT.

GROSS BUILDING AREA 6,306 SQ. FT.

### ACCESSORY/PRODUCTION RATIO

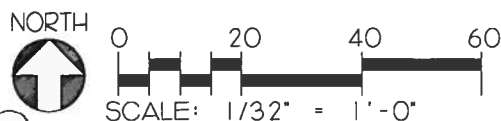
#### PRODUCTION

BARREL STORAGE	2,718 SQ. FT.
FERMENTATION AREA	806 SQ. FT.
LABORATORY (2nd FLR)	980 SQ. FT.
TOTAL PRODUCTION AREA	4,504 SQ. FT.

#### ACCESSORY

ADDED TOILET	64 SQ. FT.
TOILET KITCHEN AREA	224 SQ. FT.
CONFERENCE/LOUNGE	224 SQ. FT.
OFFICE/RECEPTION AREAS	1,290 SQ. FT.
TOTAL ACCESSORY AREA	1,802 SQ. FT.

1,802 SF. ACCESSORY/4,504 SF. PRODUCTION = 40%  
PER ORDINANCE



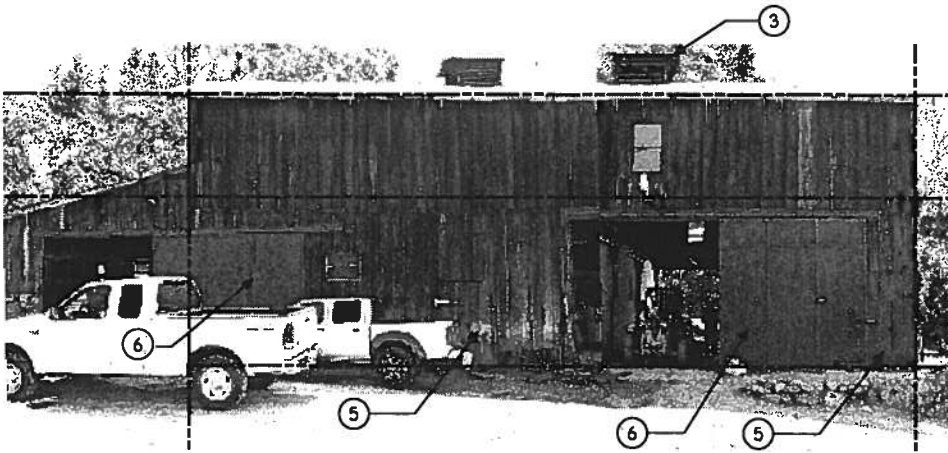
**SITE PLAN**  
PROPOSED PROJECT  
BARN CONVERSION TO WINERY  
SAVIEZ VINEYARDS  
4060 SILVERADO TRAIL



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DATE: 07-01-02

DRAWING REF:  
AP-B  
A-2  
PROJECT NO.  
2004



# CHARACTER DEFINING FEATURES

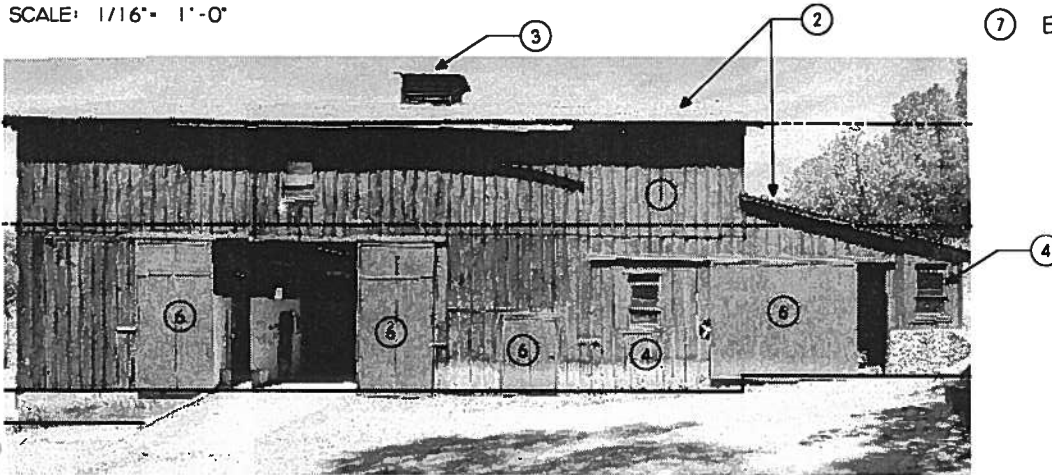
- ① 1X12 BOARDS W/ 1X3 BATTENS
- ② CORRUGATED METAL ROOFING
- ③ ROOF CUPOLA WITH LOUVERED VENTS.
- ④ WOODEN SASH WINDOWS
- ⑤ BOARD DOORS SERVING EARLY USES

## ALTERATIONS AFFECTING THE HISTORICAL CHARACTER.

- ⑥ PLYWOOD BARN DOORS.
- ⑦ ELECTRICAL SERVICE PANEL.

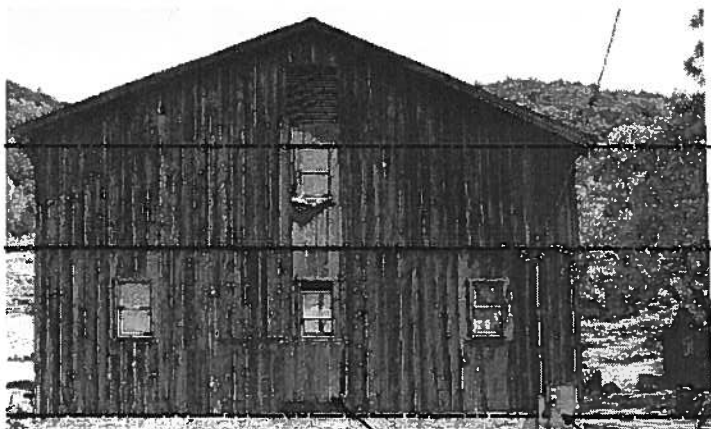
### NORTH ELEVATION

SCALE: 1/16" = 1'-0"



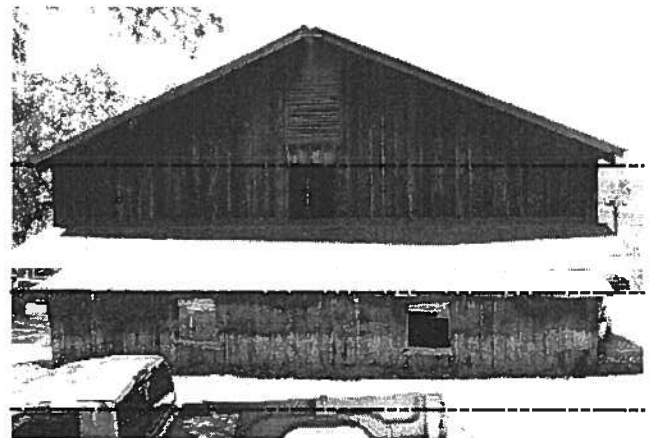
### SOUTH ELEVATION

SCALE: 1/16" = 1'-0"



### WEST ELEVATION

SCALE: 1/16" = 1'-0"



### EAST ELEVATION

SCALE: 1/16" = 1'-0"



## PHOTO ELEVATIONS

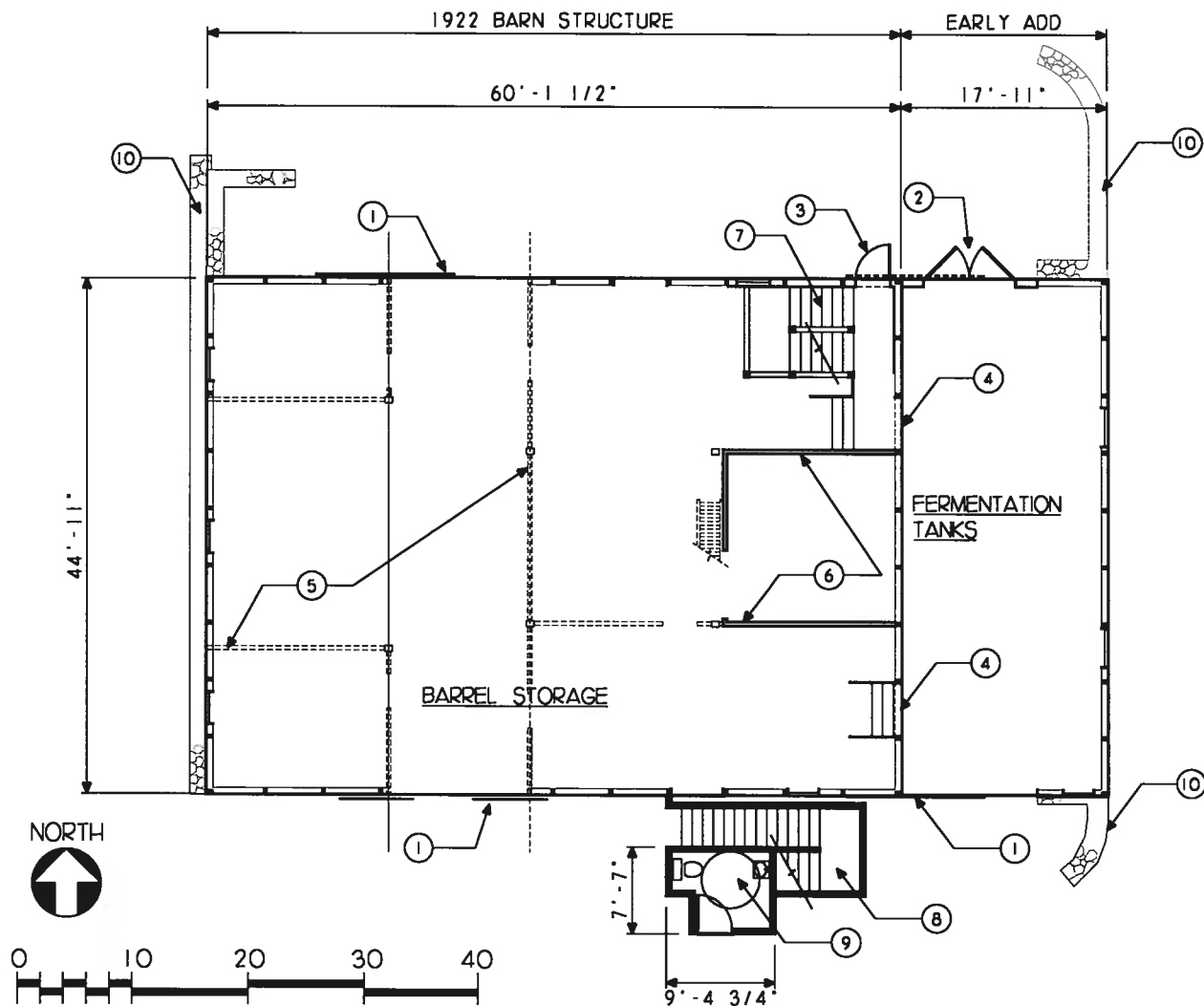
EXISTING CONDITIONS  
BARN CONVERSION TO WINERY  
SAVIEZ VINEYARDS  
4060 SILVERADO TRAIL

PLEASE INFORM THE ARCHITECT OF ANY PROBLEM WITH THE INFORMATION BEFORE PROCEEDING WITH THE WORK.  
DATE: 07-01-02

DRAWING REF:  
AP-B  
A-3  
PROJECT NO.  
2004



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FIRST FLOOR PLAN

SCALE  
1/16"=1'

1

- |   |   |
|---|---|
| <p>① RECONSTRUCT (E) SLIDING DOORS TO BE MORE COMPATIBLE WITH THE HISTORIC CHARACTER OF THE BARN.</p> <p>② RECONSTRUCT (E) SLIDING DOORS TO BE MORE COMPATIBLE WITH THE HISTORIC CHARACTER OF THE BARN AND CHANGE TO HINGED DOORS.</p> <p>③ NEW EXIT DOOR. DESIGN TO BE STILE AND RAIL PANEL DOOR.</p> <p>④ CUT NEW OPENINGS IN EXISTING WALL. TO NOT DAMAGE EXISTING POST FRAMING.</p> <p>⑤ EXISTING NON-HISTORIC WALLS SHOWN DOTTED TO BE REMOVED.</p> <p>⑥ EXISTING INTERIOR HISTORIC WALLS TO REMAIN.</p> | <p>⑦ NEW EXIT STAIR FROM SECOND FLOOR.</p> <p>⑧ NEW EXTERIOR STAIR FOR ENTRANCE ACCESS TO SECOND FLOOR.</p> <p>⑨ NEW UNISEX HANDICAP ACCESSIBLE TOILET FACILITY.</p> <p>⑩ EXISTING STONE WALLS TO REMAIN.</p> |
|---|---|

PLAN SHEET NOTES

SCALE  
NTS "1"=1'

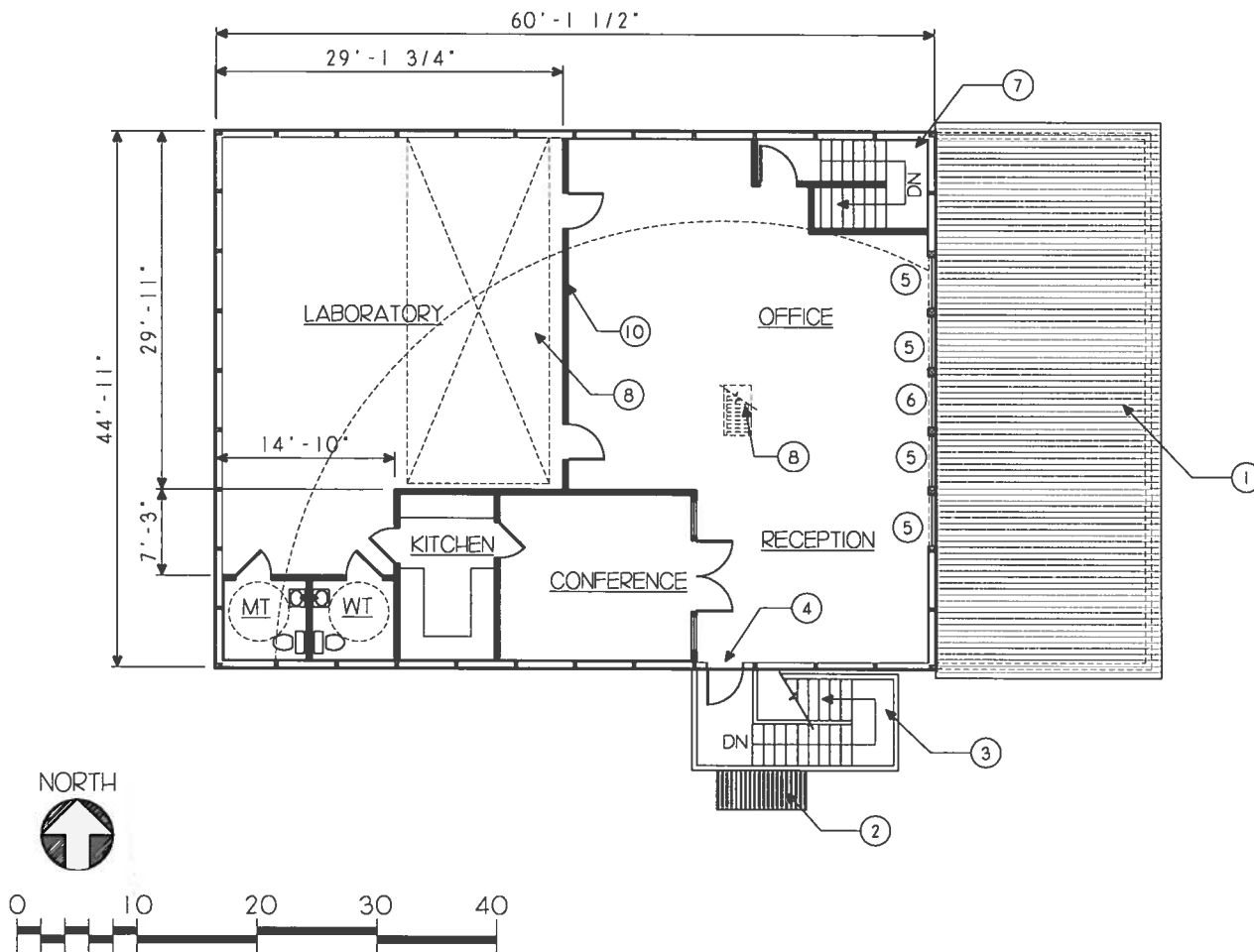
2

FIRST FLOOR PLAN  
PROPOSED PROJECT  
BARN CONVERSION TO WINERY  
SAVEZ VINEYARDS  
4060 SILVERADO TRAIL

PLEASE INFORM THE ARCHITECT OF ANY PROBLEM WITH THE INFORMATION BEFORE PROCEEDING WITH THE WORK.  
DATE: 07-01-02

DRAWING REF:  
AP-B  
A-4  
PROJECT NO.  
2004

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SECOND FLOOR PLAN

SCALE  
1/16" = 1'

- |  |   |
|--|---|
| <p>① METAL ROOF OF ONE STOREY LEAN TO BELOW.</p> <p>② METAL ROOF OVER ONE STOREY TOILET BELOW.</p> <p>③ NEW ENTRANCE STAIR TO SECOND FLOOR LEVEL.</p> <p>④ NEW ENTRANCE DOOR. DESIGN TO BE STILE AND RAIL PANEL DOOR.</p> <p>⑤ CUT NEW OPENINGS IN EXISTING WALL. DO NOT DAMAGE EXISTING POST FRAMING. INSTALL NEW 9 LIGHT OPERABLE SASH.</p> <p>⑥ EXISTING OPENING. INSTALL NEW 6 LIGHT OPERABLE SASH.</p> <p>⑦ NEW EXIT STAIR FROM SECOND FLOOR.</p> | <p>⑧ CLOSE IN EXISTING OPENINGS IN FLOOR.</p> <p>⑩ NEW WALLS SHOWN SOLID.</p> |
|--|---|

PLAN SHEET NOTES

SCALE  
NTS " = 1' 2

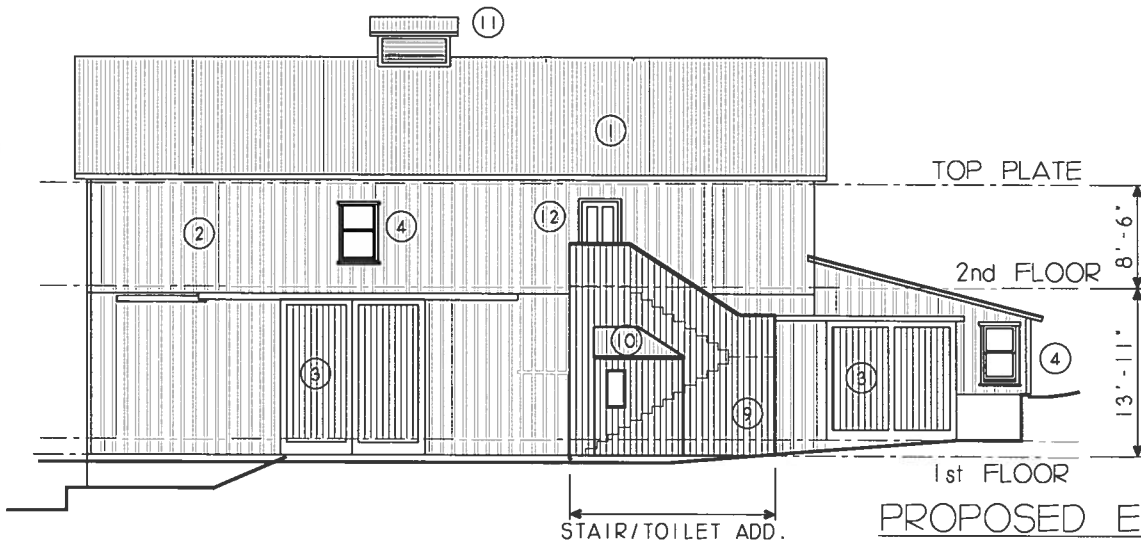
## UPPER FLOOR PLAN

PROPOSED PROJECT  
BARN CONVERSION TO WINERY  
SAVIEZ VINEYARDS  
4060 SILVERADO TRAIL

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DATE: 07-01-02

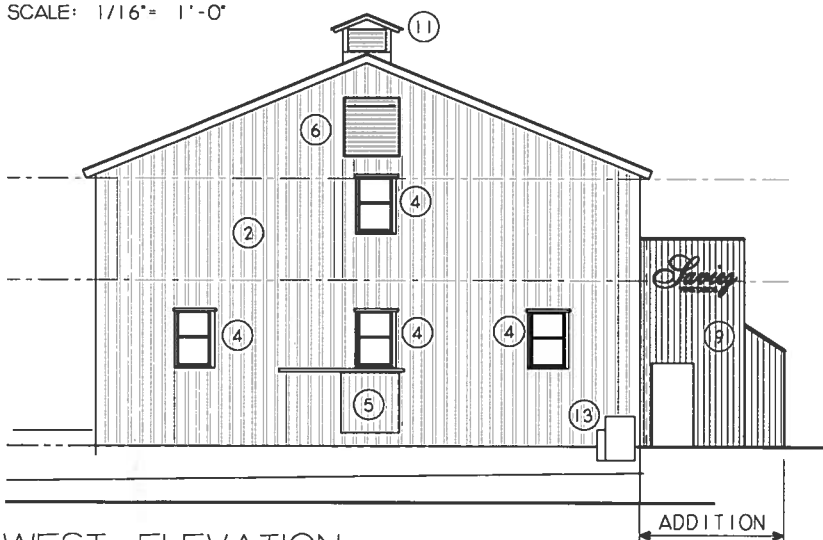
DRAWING REF:  
AP-B  
A-5  
PROJECT NO.  
2004

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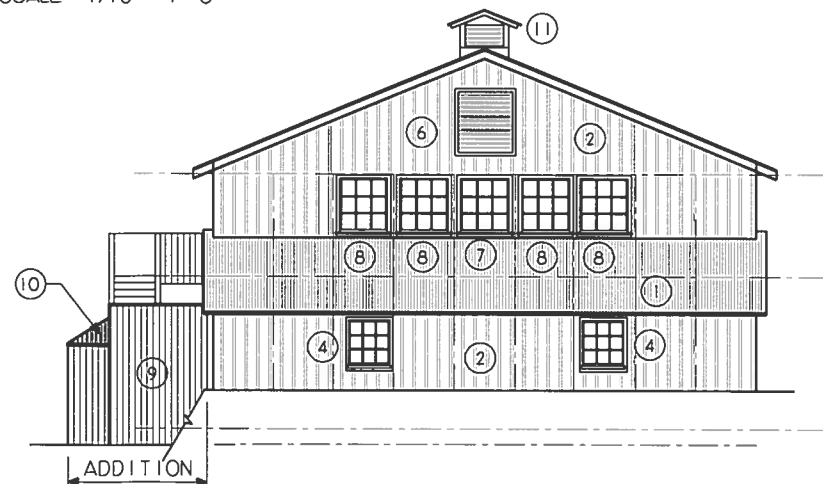
## NORTH ELEVATION

SCALE: 1/16" = 1'-0"



## WEST ELEVATION

SCALE: 1/16" = 1'-0"



## EAST ELEVATION

SCALE: 1/16" = 1'-0"

## PROPOSED EXTERIOR WORK

- ① REMOVE (E) ROOFING, INSTALL NECESSARY FRAMING, PLYWOOD SHEATHING AND NEW CORRUGATED METAL ROOFING.
- ② REMOVE EXISTING BOARD AND BATTEN SALVAGING SOUND PIECES. INSTALL NECESSARY STRUCTURAL FRAMING AND PLYWOOD SHEATHING, WEATHERPROOFING. INSTALL SALVAGED BOARD AND BATTENS ON WEST ELEVATION, THEN NORTH ELEVATION. INSTALL NEW BOARD AND BATTENS, MATCHING SIZE OF EXISTING ON BALANCE OF THE STRUCTURE.
- ③ RECONSTRUCT EXISTING PLYWOOD DOORS USING VERTICAL BOARDS.
- ④ REHABILITATE THE EXISTING WOOD SASH AND TRIM.
- ⑤ REHABILITATE THE EXISTING WOOD BOARD DOORS
- ⑥ REHABILITATE EXISTING WOOD LOUVERS
- ⑦ INSTALL NEW WOOD SASH (MATCH LOWER LEVEL) IN EXISTING OPENING.
- ⑧ INSTALL NEW WOOD SASH (MATCH LOWER LEVEL) INTO NEW OPENINGS. DO NOT CUT ORIGINAL STRUCTURAL MEMBERS.
- ⑨ 1X12 VERTICAL BOARD SIDING WITHOUT BATTENS. INSTALL TRIM AT CORNERS AND TOP.
- ⑩ NEW CORRUGATED METAL ROOFING OVER TOILET ROOF.
- ⑪ REHABILITATE CUPOLA
- ⑫ NEW STILE AND RAIL DOOR
- ⑬ RELOCATE ELEC. SERVICE DROP OFF OF PRIMARY FACADE.

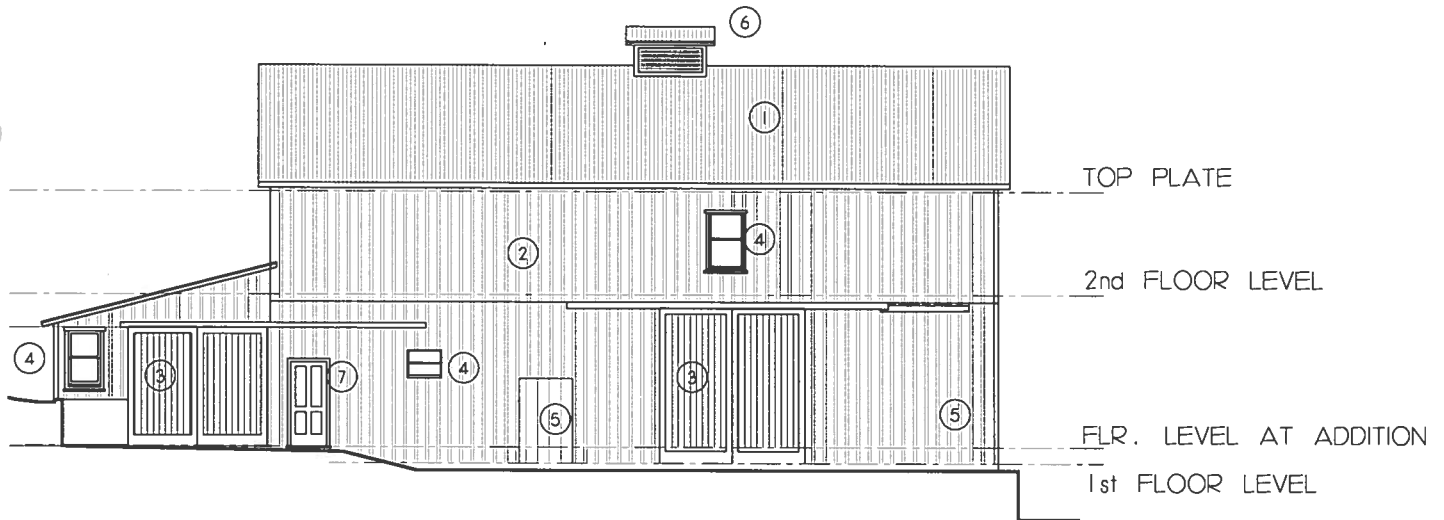


ELEVATIONS  
PROPOSED PROJECT  
BARN CONVERSION TO WINERY  
SAVIEZ VINEYARDS  
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AP-B  
A-6  
PROJECT NO.  
2004

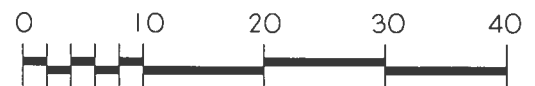


## NORTH ELEVATION

SCALE: 1/16" = 1'-0"

## PROPOSED EXTERIOR WORK

- ① REMOVE (E) ROOFING, INSTALL NECESSARY FRAMING, PLYWOOD SHEATHING AND NEW CORRUGATED METAL ROOFING.
- ② REMOVE EXISTING BOARD AND BATTEN SALVAGING SOUND PIECES. INSTALL NECESSARY STRUCTURAL FRAMING AND PLYWOOD SHEATHING, WEATHERPROOFING. INSTALL SALVAGED BOARD AND BATTENS ON WEST ELEVATION, THEN NORTH ELEVATION. INSTALL NEW BOARD AND BATTENS, MATCHING SIZE OF EXISTING ON BALANCE OF THE STRUCTURE.
- ③ RECONSTRUCT EXISTING PLYWOOD DOORS USING VERTICAL BOARDS.
- ④ REHABILITATE THE EXISTING WOOD SASH AND TRIM.
- ⑤ REHABILITATE THE EXISTING WOOD BOARD DOORS
- ⑥ REHABILITATE CUPOLA
- ⑦ NEW STILE AND RAIL DOOR

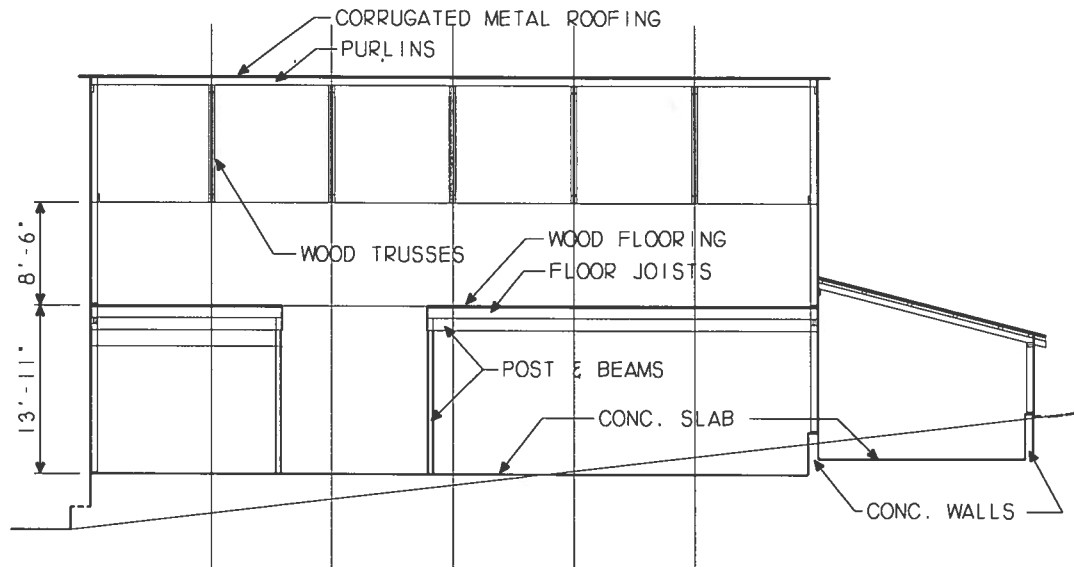


ELEVATIONS  
PROPOSED PROJECT  
BARN CONVERSION TO WINERY  
SAVIEZ VINEYARDS  
4060 SILVERADO TRAIL

DAN PETERSON  
AIA ARCHITECT  
1304 PELICAN WAY  
PT. RICHMOND  
CA 94801  
510-235-2753  
dpaia@pacbell.net

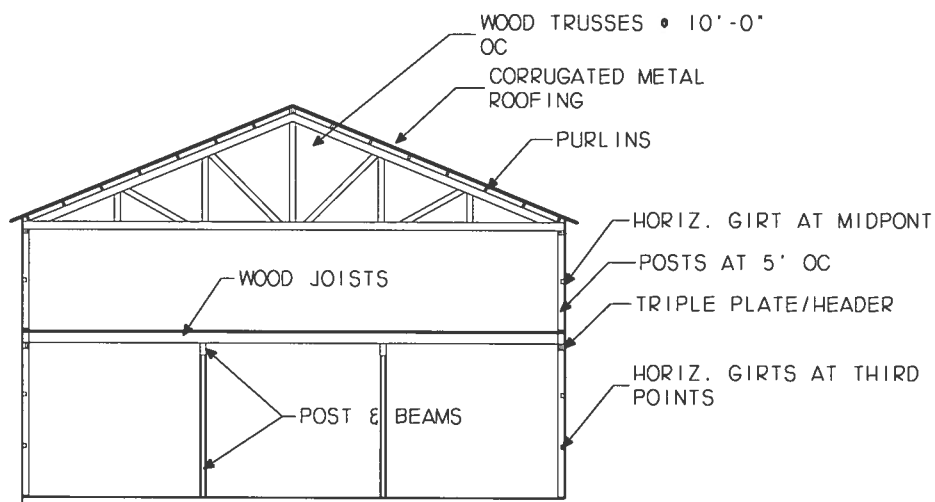
PLEASE INFORM THE  
ARCHITECT OF ANY  
PROBLEM WITH THE  
INFORMATION BEFORE  
PROCEEDING WITH THE  
WORK.  
DATE: 07-01-02

DRAWING REF:  
AP-B  
A-7  
PROJECT NO.  
2004



### LONGITUDINAL SECTION

SCALE: 1/16" = 1'-0"



### CROSS SECTION

SCALE: 1/16" = 1'-0"



DAN PETERSON  
AIA ARCHITECT  
1304 PELICAN WAY  
PT. RICHMOND  
CA 94801  
510-235-2753  
dpaio@pacbell.net

BUILDING SECTIONS  
EXISTING CONDITIONS  
BARN CONVERSION TO WINERY  
SAVIEZ VINEYARDS  
4060 SILVERADO TRAIL

PLEASE INFORM THE  
ARCHITECT OF ANY  
PROBLEM WITH THE  
INFORMATION BEFORE  
PROCEEDING WITH THE  
WORK.  
DATE: 07-01-02

DRAWING REF:  
AP-B  
A-8  
PROJECT NO.  
2004

## Appendix "C"

### **DAN L. PETERSON, AIA Historical Architect**

Dan Peterson, AIA, has specialized in the field of rehabilitation and restoration of historic buildings since 1975. Dan has over 40 years in the field of architecture, construction, material testing and quality control and is a qualified Historical Architect. He is a recognized specialist in restoration projects, specifically those of wood and masonry construction. He is past Chairman of the National AIA Historic Resources Committee, past chairman of the AIA's Advisory Board to the Historic American Building Survey in Washington D.C., consultant to the State Historic Building Code Advisory Board, and has done several historic projects funded by grants from the State Office of Historic Preservation.

Dan's firm has received California Preservation Foundation Awards for the Bank of America's Mendocino Branch restoration, the conversion of the Eureka Central Hotel, Eureka, into elderly housing, the Old Post Office Restoration and Relocation in Santa Rosa, the restoration of the 1834 Reed Mill in Mill Valley, and the Historical American Engineering Record (HAER) documentation of the San Francisco - Oakland Bay Bridge.

Past historic projects have also included: Greene and Greene's Oaklawn Waiting Station, South Pasadena; Iron Horse Vineyards Ranch House, Forestville, Sonoma County; the seismic upgrade and addition to the San Anselmo Carnegie Library, Marin County; a new winery and office building at the historic Schramsberg Champagne Complex near Calistoga, Napa County; the preservation plan for the Point Sur Light Station, Santa Cruz County, for the State of California.

One of Dan's specialties is the design of large traditional residences in historic neighborhoods. The Redwood Chapter American Institute of Architects gave Dan a design award for five new houses within the McDonald Avenue historic district in Santa Rosa, for his interpretation of architecture reflecting the character of the adjacent Victorian houses.

He was responsible for the restoration of 15 historic facades in downtown Oroville; and historic architectural consultation on the exterior restoration and Historic Structure Report of the 50 year old Coit Tower, San Francisco, while heading the Preservation Division of Interactive Resources, Inc. in Point Richmond.

As Historic Architectural Consultant on Oakland's Melrose, Golden Gate and Temescal Branch Carnegie Libraries, he worked with the project team to develop a seismic strengthening system using the State Historic Building Code, and prepared the historic rehabilitation drawings for the historic elements of the buildings.

Recent projects include restoration of the historic structures and project manager of the new Pavilion at Dunsmuir House and Gardens Historic Estate in Oakland, restoration of the Greene and Greene Oaklawn Bridge in South Pasadena, and installation of the Rubicon Winery at the Niebaum Coppola Chateau in Rutherford, Napa County.

In addition, Dan works with volunteer and civic groups on historic design guidelines, and historic resource surveys. He has done several historic structure reports and documentations, historic resource surveys, environmental reports, planning and economic feasibility studies, Tax Act Certifications and National Register Nominations. He continues to do historical and architectural research, and lectures on the application of modern building codes on archaic materials and the use of CADD systems for historic building projects.

## Activities

Chairman of the Historic Preservation Committee, AIA East Bay Chapter  
Past Chairman, Historic American Building Survey (HABS) National Advisory Board.  
Consulting member of the Historic Building Code Advisory Committee, State of California  
Past Chairman, National Committee on Historic Resources, The American Institute of Architects.  
Former Chairman of the State Committee on Historic Resources, California Council, American Institute of Architects.  
California Heritage Task Force, Architects representative, appointed by the State legislature to review all preservation activities in California and propose future legislation. (1983-1984)  
Former Chairman, Sonoma County Landmarks Commission, Third District.

## Education

University of California - Architecture, Berkeley  
Sonoma State University - History Masters Program, Rohnert Park, California

## Professional Qualifications

Registered Architect, California C-6166  
Mr. Peterson is professionally qualified in the categories of Architecture, Historic Architecture and Architectural History as defined in Professional Qualifications Standards published in the Federal Register and required by the National Park Service. He has practiced full-time as an Historical Architect since 1975.

## Lecturer

"Assessing Historic Buildings for Earthquake Damage"  
American Institute of Architects, Redwood Empire Chapter 1996  
"Access to Historic Resources for Americans with Disabilities"  
California Preservation Foundation - San Francisco 1992  
"Resolving Historic Preservation and Building Code Conflicts"  
National Trust For Historic Preservation - Cincinnati 1988  
CADD and Computer Uses in Historic Preservation Projects  
American Institute of Architects - Pacific Vision 1989, San Francisco  
California Preservation Foundation - Palo Alto 1990  
Public History Program, University of California at Santa Barbara  
Continuing education programs in Historic Preservation sponsored by the California Council of the American Institute of Architects

## Professional Experience

1975-present	Practicing Historical Architect and Architectural Historian for Restoration and Preservation Planning
1978-present	Historic Architectural Consultant to Architectural Preservation Associates
2000-2001	Chief Historical Architect -Avila Tom Architects, Oakland CA
1985-1988	Chief Historical Architect - Interactive Resources Inc. Richmond, CA
1970-1975	Partner, Friiht-Tomasi-Peterson Architects, Santa Rosa, CA
1964-1970	Architect, Friiht-Tomasi Architects, Santa Rosa, CA
1962-1963	Materials Testing, Structural Testing, Inc., Santa Rosa, CA
1956-1962	Draftsman, Milton T. Pflueger Architect, San Francisco, CA

## Awards

California Preservation Foundation Restoration Award, 1991, for the reconstruction and restoration of the 1834 Mill Valley Mill.  
California Preservation Foundation Honor Award, 1989, for the relocation of the Old Post Office and restoration and rehabilitation for the Sonoma County Museum.  
California Preservation Foundation Award, 1988, for the restoration of Coit Tower.  
California Preservation Foundation Design Award, 1987, for the restoration of the historic Bank of America, Mendocino Branch.  
Joint Resolution from the California Legislature, 1984, for outstanding contributions to the legislatively appointed California Heritage Task Force.  
American Institute of Architects, Redwood Empire Chapter, Ten Years of Architecture, Design Award, for five modern adaptations of Victorian residences reflecting the character of McDonald Avenue, Santa Rosa historic district.  
California Design Competition Design Award for outstanding achievement in the Design of Preservation Projects, Restoration of the Eureka Central Hotel, presented May 1983 by the County of Orange and the California Preservation Foundation.  
Neighborhood Enrichment Merit Award, 1982, Restoration and Reuse of the Historic Wasserman House to Architectural Offices.  
Environmental Enrichment Award, 1981, Design/Restoration of the Welfare League Building, Railroad Square and the Cnopius Residence, College Avenue, Santa Rosa  
Dan and Gerrie Peterson, Cultural Achievement Award for pioneering preservation activities, City of Santa Rosa, 1980.  
Exchange Bank, Coddington Branch, Environmental Enrichment Award (Design) City of Santa Rosa, 1974.  
Charles Schultz Studio and Office, Santa Rosa Civic Arts Award.

## Publications

Historic Preservation section of the AIA Architects Handbook of Professional Practice Thirteenth Edition, 2001, Co-author  
Point Sur State Historic Park, Historic Structure Report, State of California Historic Resources Division, 1991, Preservation Plan Section  
Petaluma's Architectural Heritage, Architectural Preservation Associates.  
Santa Rosa's Architectural Heritage, Architectural Preservation Associates and the Sonoma County Historical Society.  
Santa Rosa's Old Post Office, Historical Documentation, Architectural Preservation Associates.  
Historic Structure Report, Antique Block, El Pueblo de Los Angeles State Historic Report.  
Restoring Hometown, USA, Architecture California Magazine, CCAIA, March-April 1982.

## Memberships

American Institute of Architects, National Committee on Historic Resources  
National Trust for Historic Preservation, Forum Member  
California Preservation Foundation  
Sonoma County Historical Society

## **REPRESENTATIVE PROJECTS**

### **Historical and Project Architect**

- 1906 Greene and Greene Oaklawn Bridge, Restoration and Structural Upgrade, South Pasadena  
City of South Pasadena                      under construction
- 1885 Stone Chateau Building, Rubicon Winery and Event Kitchen, Rutherford, Napa County  
Niebaum Coppola Estate Winery and Vineyards    1995 to current
- 1889 Dunsmuir House Historic Estate, Restoration of site and buildings, Oakland  
Dunsmuir House & Gardens Inc,            1997-2000
- 1915 Carnegie Library Historic Rehabilitation and Seismic Upgrade, San Anselmo  
City of San Anselmo                      1995
- 1922 War Memorial Bldg. and 1906 Greene & Greene Oaklawn Waiting Station Restoration  
City of South Pasadena                      1993
- 1907 Post Office and Federal Building Relocation and Restoration, Santa Rosa \*
- City of Santa Rosa                      1984
- 1909 Bank of America Restoration, Mendocino \*
- Bank of America                      1985
- 1834 Reed Mill Restoration, Mill Valley\*
- City of Mill Valley                      1991
- 1909 Wasserman House (Julia Morgan, Architect) Restoration and Rehabilitation, Santa Rosa  
Dan & Gerrie Peterson                      1984
- 1856 Watson School Restoration, Bodega  
County of Sonoma                      1983
- 1890 Railroad Square Restoration and Rehabilitation of major buildings, Santa Rosa  
Montegue, Murphy, Welfare League etc.    1976 to 1991
- New Schramsberg Winery and Office Building in Historic District, Calistoga  
Jack & Jamie Davies                      1983
- 1890 Iron Horse Vineyards Ranch House Historic Rehabilitation, Forestville  
Barry & Audrey Sterling                      1980
- 1903 Central Hotel Historic Rehabilitation to Senior Citizen Housing, Eureka \*
- Ted Barcelon                      1980
- 1860 Oroville Historic District Facade Restoration, Oroville  
for Oroville Redevelopment                      1988<sup>1</sup>

### **Historic Architectural Consultation**

- Temescal Carnegie Library Seismic, ADA, and Historic Rehabilitation, Oakland  
Noll & Tam Architects, Berkeley                      1997-1999    City of Oakland
- Golden Gate Carnegie Library Seismic, ADA and Historic Rehabilitation, Oakland  
Noll & Tam Architects, Berkeley                      1997-2000    City of Oakland
- Melrose Carnegie Library Seismic, ADA and Historic Rehabilitation, Oakland  
Hansen/Murikami/Eshima Architects 1998-2000    City of Oakland
- 1931 Ford Motor Co. Assembly Plant Rehabilitation, Richmond  
Hansen/Murikami/Eshima Architects 1994-1998    City of Richmond
- 1930 Coit Tower Exterior Restoration and Mural Restoration, San Francisco\*
- San Francisco Bureau of Architecture                      1989<sup>1</sup>    City of San Francisco
- 1888 Braun-Brunswig Facilities Historic Rehabilitation, El Pueblo Antique Block, Los Angeles  
AHT Architects, Santa Monica                      1995    El Pueblo Development Co.
- 1930 Redondo Beach Public Library Restoration and Historic Rehabilitation, Redondo Beach  
APT Architects - Pasadena                      1993    City of Redondo Beach
- 1904 Mackay School of Mines (McKim, Mead & White) Restoration and Historic Rehab, Reno  
Casazza, Peetz & Hancock, Architects, Reno 1989<sup>1</sup>    University of Nevada, Reno
- 1890 Point Sur Light Station Documentation, Assessment and Preservation Plan, Pt. Sur State Park  
California Parks & Rec., Div. Of Arch.                      1990<sup>1</sup>    State of California

\* California Preservation Foundation Design Award

<sup>1</sup> IRI Project

## STUDIES AND REPORTS

### Historic Structure Reports

Dunsmuir House Interiors  
Coit Tower, San Francisco<sup>1</sup>  
San Anselmo Carnegie Library  
Redondo Beach Public Library, Redondo Beach  
Old Post Office and Federal Building, Santa Rosa  
Antique Block, El Pueblo de Los Angeles State Park  
Watson School, Bodega, Sonoma County  
Armistice Chapel, Yountville Veterans Home  
South Pasadena War Memorial Building  
Oaklawn Waiting Station, South Pasadena  
Llano Road Roadhouse, Sebastopol  
Valencia Hall, Santa Cruz County  
Fountaingrove Ranch, Santa Rosa  
Native Sons Building, Napa  
Sonoma Community Center, Sonoma  
Vintage Hall, St. Helena  
Rodgers Ranch, Pleasant Hill  
Reed Mill, Mill Valley  
Point Sur Light Station, Big Sur (architectural portion)<sup>1</sup>  
Mackay School of Mines, University of Nevada, Reno<sup>1</sup>

### Historic Studies and Resource Surveys

Petaluma Historic Resources Survey  
Santa Rosa Historic Resource Survey  
Architectural identification for the Ferndale, California, State Landmark Application  
Western Sonoma County and Coastal Zone Historic Resource Survey  
City of Colusa Historic Resource Survey\*  
Historic Property Survey; Sonoma Valley, Windsor, Roseland area  
Pinole Historic Resource Survey<sup>1</sup>  
Town of Tomales, Marin County  
Point Reyes Station, Marin County

### National Register of Historic Places Applications

Greene and Greene Oaklawn Bridge, South Pasadena, California  
Railroad Square Historic District, Santa Rosa, California  
Hotel La Rose (built 1907) Railroad Square, Santa Rosa, California  
Llano Road Roadhouse (built ca. 1850), Highway 116, Sonoma County  
Old Post Office and Federal Building (built 1909), Santa Rosa, California  
Petaluma Opera House (Mac Clay Building), 147 Kentucky Street, Petaluma,  
Belt Railroad Engine House and Sand House, San Francisco<sup>1</sup>  
Hinds Hotel (built ca. 1873), Freestone, California  
Wasserman House (built 1913), 930 Mendocino Avenue, Santa Rosa, California  
Cnopius House (built 1896), 726 College Avenue, Santa Rosa, California  
Park Apartments (Burbank Gardens area) 300 Santa Rosa Avenue, Santa Rosa  
Laughlin Property (Shady Farms) Lone Redwood Road, Windsor, California  
Lumsden House (The Belvedere), built 1901, 727 Mendocino Avenue, Santa Rosa,  
Ford Motor Company Assembly Plant, Richmond, California; Albert Kahn, Architect<sup>1</sup>

\* California Preservation Foundation Design Award  
<sup>1</sup> IRI Project

## **Architectural and Environmental Assessments and Reports**

Niebaum Coppola Estate Winery and Vineyard, Events Kitchen addition  
Oakville Grocery Development Project, Project Review for Napa County Planning  
1870 Clayton-DeMartini Winery Sherry House Evaluation and Preservation Plan, Clayton  
Soberanes Adobe, Monterey  
Griffin House, Foothill College, Los Altos Hills  
County of Napa, Napa County Hall of Records  
Doolittle Flats, Los Angeles  
Lincoln Place Development, Venice, California  
McKinley Mansion Relocation, Focused EIR  
Alpine County Courthouse  
South Park Redevelopment Area, Historic Building Assessment  
Alderbrook Bridge, Santa Rosa, Historic Assessment  
County of Sonoma Clipper Mill and Little Sulfur Creek Bridge Assessment  
Don Laidlaw & Associates  
    Santa Rosa West College Avenue Project, Historic Building Survey  
    Sebastopol Gravenstein Highway Project, Historic Building Survey

## **Historic American Building Survey Documentation**

San Francisco - Oakland Bay Bridge (Historic American Engineering Record)  
Old Post Office and Federal Building, Santa Rosa, California  
Watson School, Sonoma County  
Valencia Hall, Santa Cruz County  
Luther Burbank Carriage House, Santa Rosa  
Leonard Bridges, Marin County (Historic American Engineering Record)  
Dickerman Barn, Ano Nuevo State Park, Santa Cruz County  
Point Sur Light Station, Point Sur Historic State Park, Santa Cruz County<sup>1</sup>

## **Historic Property Survey Reports**

Sonoma County Community Development Commission<sup>1</sup>  
    Sonoma Valley Redevelopment Project  
    Windsor Redevelopment Project  
    Roseland Redevelopment Project  
Downtown Neighborhood Study -- Historic Resources, Santa Rosa

## **Determination of Eligibility and Statement of Effects (per CFR 36, part 800)**

Isleton City Hall, FEMA project  
Napa County Court House  
McKinley Mansion Relocation, Los Angeles  
Bunkhouse and Mess Hall, Richmond Longwharf, Chevron USA<sup>1</sup>  
Eureka Central Hotel, HUD Project  
City of Fairfield, two projects, Highway expansions<sup>1</sup>  
Hoag House Relocation, DeTurk Development, Santa Rosa  
Redwood Highway project, City of Vallejo<sup>1</sup>  
Marlow Road project, City of Santa Rosa  
Benicia Railroad Depot<sup>1</sup>  
Fort Bragg Public Library<sup>1</sup>  
Valley House, Penngrove

\* California Preservation Foundation Design Award

<sup>1</sup> IRI Project

# SAVIEZ WINERY

## SITE FEATURES

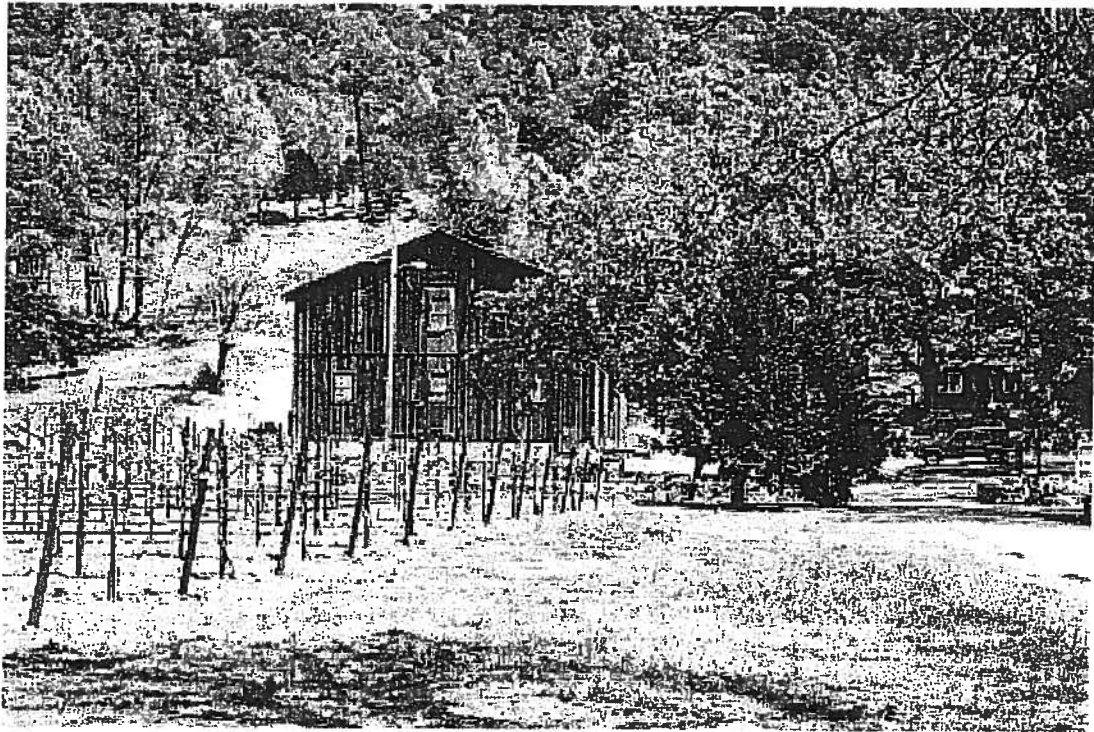


Photo No. 1 - View of vineyard and barn  
looking east

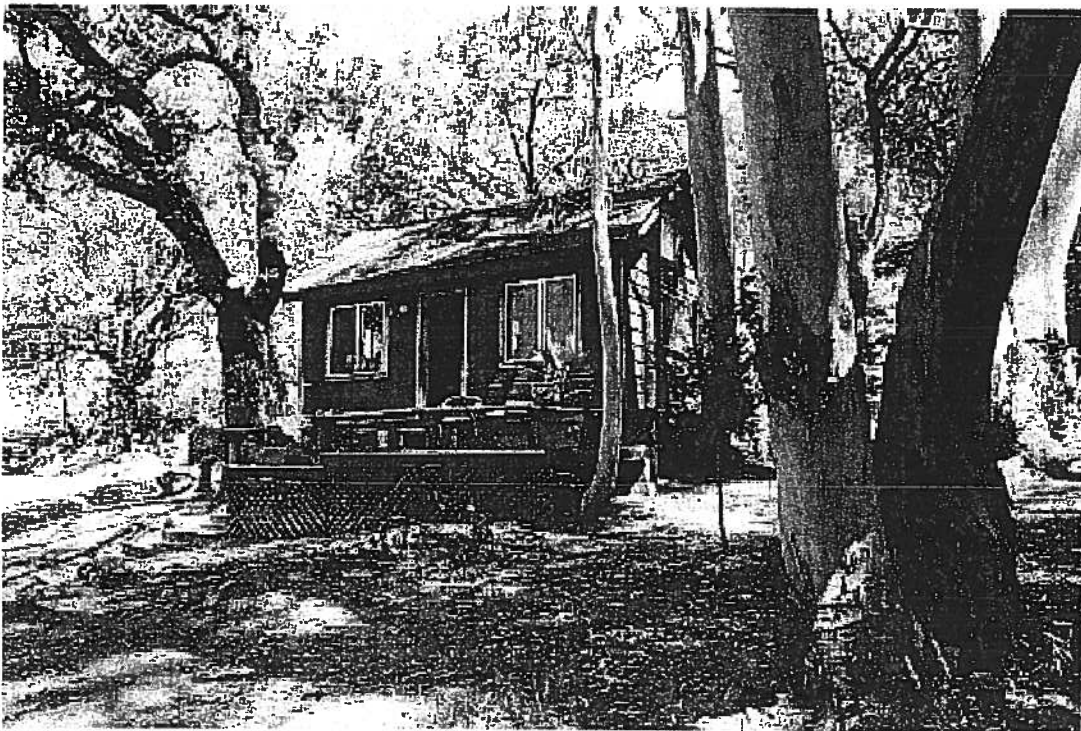


Photo No. 2 - View of workers cottage  
looking northeast

# SAVIEZ WINERY

## VIEWS OF PRIMARY FACADES

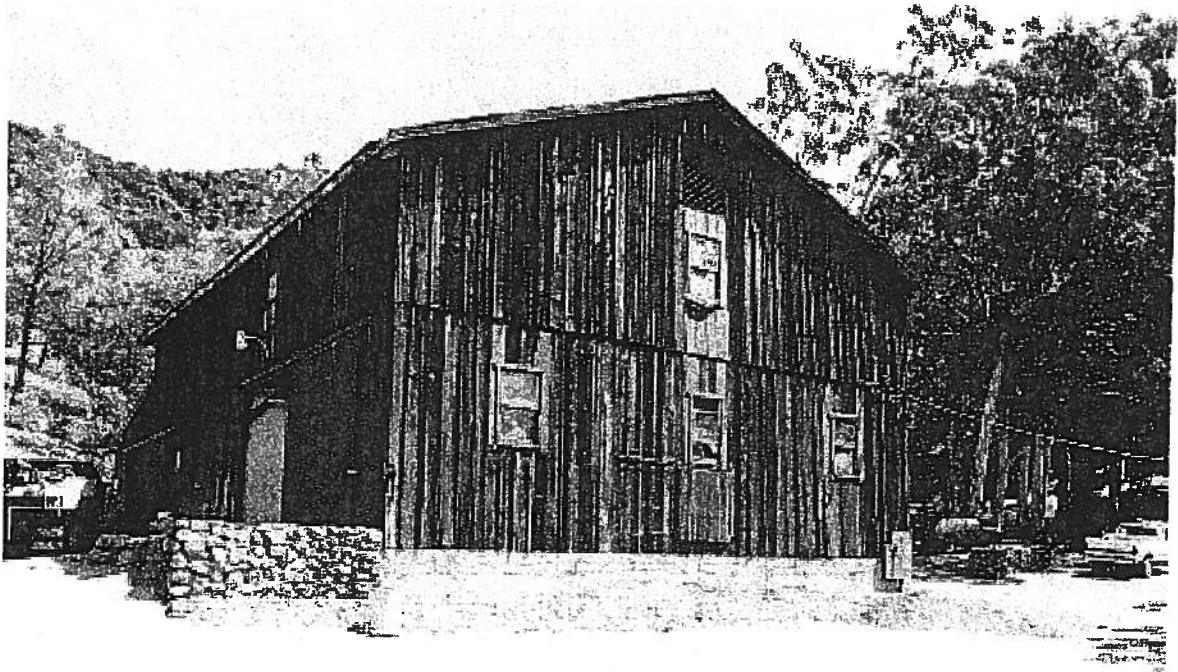


Photo No. 5 - View showing west and north facades. Looking southeast.

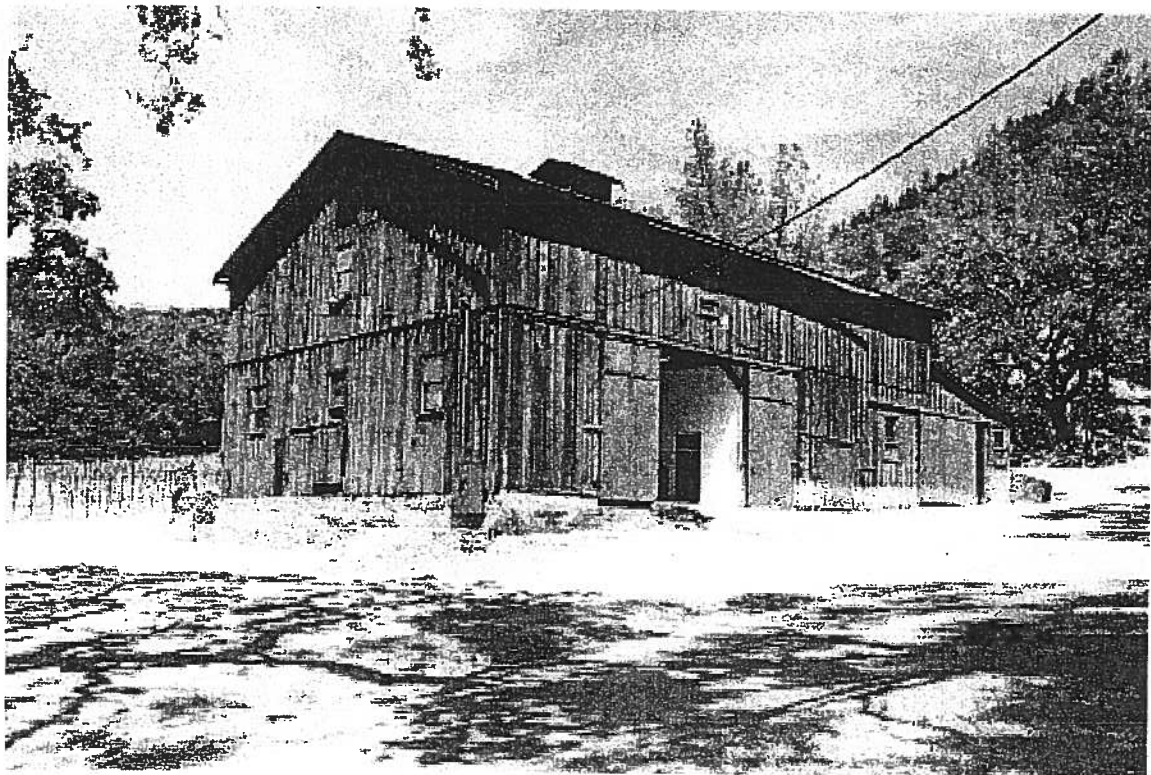


Photo No. 6 - View showing west and south facades. Looking northeast.

VIEWS OF EARLY SHED ROOF ADDITION

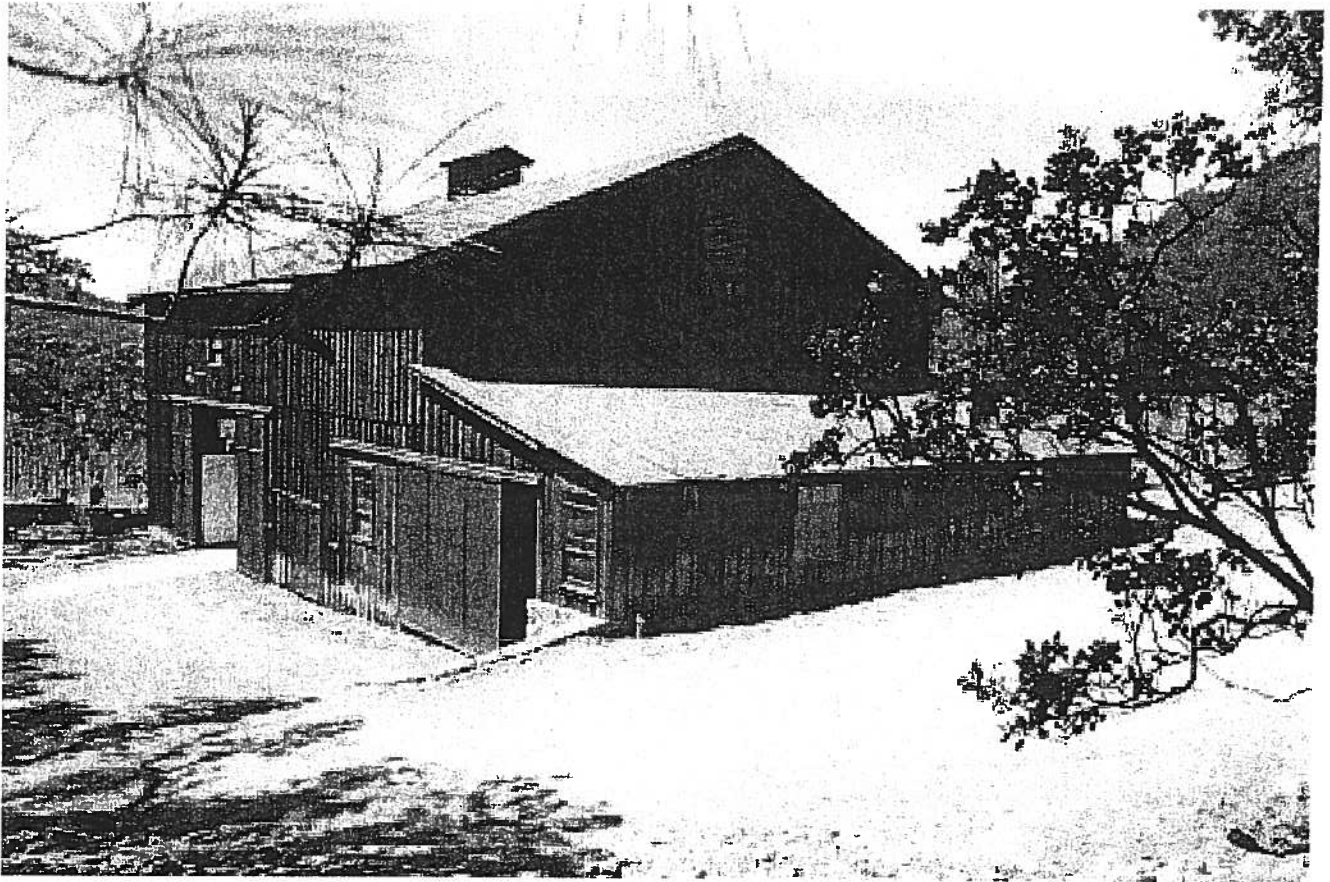


Photo No.7 - South and east facades showing early shed roof addition.