



A Tradition of Stewardship  
A Commitment to Service

**Conservation Development and Planning**

1195 Third Street, Suite 210  
Napa, CA 94559  
www.co.napa.ca.us

Main: (707) 253-4417  
Fax: (707) 253-4336

**Hillary Gitelman**  
Director

June 13, 2011

Rombauer Vineyards  
3522 Silverado Trail  
St. Helena CA 94574

Re: **Rombauer Vineyards, Inc.**  
Very Minor Modification #P11-00172-VMM  
Assessor's Parcel Number 021-410-025

Dear Mr. Rombauer:

Your application for a Very Minor Modification (#P11-00172-VMM) to the previous Use Permit #P06-01108 to install a 150,000 gallon water tank, for fire protection, has been Administratively Approved on **June 13, 2011**.

The proposed modification is **Categorically Exempt** from the provisions of CEQA, the California Environmental Quality Act. Pursuant to CEQA Section 15303 New Construction, Class 3. Installation of small, new equipment and facilities. Existing Facilities, and Appendix B, Class 3 Minor modification of an existing winery of Napa County's Local Procedures for Implementing the California Environmental Quality Act, the project consists installation of a 150,000 gallon water tank, for fire protection.

The modification becomes effective immediately unless an appeal is filed with the Napa County Board of Supervisors pursuant to Chapter 2.88 of the Napa County Code, including payment of applicable fees. You may appeal the conditions of approval. In the event an appeal is made to the Board by another, you will be notified.

**EXPIRATION DATE:** June 13, 2013

*Pursuant to Section 18.124.080 of the Napa County Code, this minor modification must be activated within two (2) years from the approval date, or it shall automatically expire and become void. This letter serves as the only notice you will receive regarding the expiration date of your very minor modification*

*permit. In addition, approval of this very minor modification has no effect on the time limits in which to activate the original project use permit.*

You are hereby further notified, pursuant to Government Code Sec.66020 (d)(1), that the 90-day period, in which you would have to protest imposition of any fees, dedications, reservations, or other exactions that may have been attached as conditions of approval, has begun.

Should you have any questions, please contact Terri Abraham, Project Planner at (707)299-1331 or e-mail at [tabraham@co.napa.ca.us](mailto:tabraham@co.napa.ca.us).

Sincerely,

A handwritten signature in cursive script that reads "Terri Abraham".

By Terri Abraham, for  
Hillary Gitelman  
Director of Conservation, Development and Planning

cc: file  
John Tuteur  
Charles Meibeyer, 1236 Spring St., St. Helena, CA 94574

**CONDITIONS OF APPROVAL**

**ROMBAUER VINEYARDS**

**File # P11-00172-MOD**

**APN: #021-410-025**

**1. SCOPE:** This approval is limited to the following:

- a. To allow a 150,000 gallon water tank, on Assessor Parcel Number 021-410-022, for fire suppression associated with the Rombauer Winery (Use Permit #P06-01108) on Assessor Parcel Number 021-410-025.

This permit does not include any increase to annual production, tours and tastings, marketing, visitor numbers, numbers of employees, hours of operation, etc.

The activities permitted on the site are limited to those shown on the plans and information submitted with the Very Minor Modification. Any substantial change in use is subject to review and approval as determined by the CDPD Director in accordance with the Zoning Ordinance.

**2. PREVIOUS CONDITIONS**

The permittee shall comply with all previous conditions of approval for Use Permit # P06-01108, except as modified by this action. To the extent there is a conflict between previous conditions of approval and these conditions of approval, these conditions shall control and supersede all earlier ones.

**3. COMPLIANCE WITH OTHER DEPARTMENTS AND AGENCIES**

The permittee shall comply with all applicable building codes, zoning standards, and requirements of County Departments and Agencies, including but not limited to:

- (a) Napa County Fire memo dated June 7, 2011.

The determination as to whether or not the permittee has substantially complied with the requirements of other County Departments and Agencies shall be determined by those Departments or Agencies. The inability to substantially comply with the

requirements of other County Departments or Agencies may result in the need to modify the approved use permit.

#### **4. MONITORING COSTS**

All staff costs associated with monitoring compliance with these conditions, previous permit conditions and project revisions shall be borne by the permittee and/or property owner. Costs associated with conditions and mitigation measures that require monitoring, including investigation of complaints, other than those costs related to investigation of complaints of non-compliance that are determined to be unfounded, shall be charged. Costs shall be as established by Board Resolution in accordance with the hourly consulting rate established at the time of the monitoring (\$154.00/hour). Violations of conditions of approval or mitigations measures caused by the permittee's contractors, employees, and guests are the responsibility of the permittee.

The Planning Commission may implement an audit program if compliance deficiencies are noted. If evidence of compliance deficiencies is found to exist by the Planning Commission at some time in the future, the Planning Commission may institute the program at the applicant's expense (including requiring a deposit of funds in an amount determined by the Commission) as needed until compliance assurance is achieved. The Planning Commission may also use the data, if it is so warranted, to commence revocation hearings in accordance with section 18.124.120 of the County Code.



A Tradition of Stewardship  
A Commitment to Service

**Conservation, Development and Planning**

1195 Third Street, Suite 210  
Napa, CA 94559  
www.co.napa.ca.us

Main: (707) 253-4417  
Fax: (707) 253-4336

**Hillary Gitelman**  
Director

April 6, 2010

Rombauer Vineyards, Inc.  
3522 Silverado Trail  
St. Helena Ca 94574

**Re: ROMBAUER VINEYARDS & WINERY**  
Very Minor Modification Application, #P10-00036-VMOD  
3522 Silverado Trail, Assessor's Parcel No 021-410-025-000

Your application for a Very Minor Modification (P10-00036) to previously approved Use Permit Modification 96010-MOD, at the above referenced address has been considered by the Conservation, Development, and Planning Director. The Very Minor Modification consists of renewing the Temporary Office Trailers. Please be advised that your request has been **APPROVED** by the Conservation, Development, and Planning Director subject to the attached conditions of approval.

The Conservation, Development, and Planning Director has determined the project to be Categorically Exempt from the California Environmental Quality Act. [See Class 3 (New Construction which may be found in the guidelines for the implementation of the California Environmental Quality Act at 14 CCR § 15303 and Napa County CEQA Guidelines Appendix B, Class 3(a) New Construction or Conversion of Small Structures, This project would allow the construction of a 1,320 sq. ft. winery storage building.

The Use Permit Modification becomes effective ten (10) working days from the approval date unless appealed to the Napa County Board of Supervisors pursuant to Chapter 2.88 of the Napa County Code, including payment of applicable fees. You may appeal the conditions of approval. If an appeal is filed by another, you will be notified.

**EXPIRATION DATE: April 6, 2012**

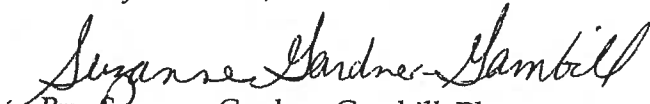
Pursuant to Section 18.124.080 of the Napa County Code, the Use Permit Modification must be activated within two (2) years, or it shall automatically expire and become void on the expiration date noted above. This letter serves as the only notice you will receive regarding the expiration date of your permit.

*You are hereby further notified, pursuant to Government Code Sec.66020 (d)(1), that the 90-day period, in which you would have to protest imposition of any fees, dedications, reservations, or other exactions that may have been attached as conditions of approval, has begun. Please note that additional fees will be assessed if a landscape plan or erosion control plan is required by this approval.*

Should you have any questions, please contact Suzanne Gambill at [sgambill@co.napa.ca.us](mailto:sgambill@co.napa.ca.us) or at (707) 299-1334.

Sincerely,

Hillary Gitelman, Director

  
By: Suzanne Gardner-Gambill, Planner

Cc: John Tuteur, County Assessor  
Darrell Mayes, Building Official  
Chron  
file

**CONDITIONS OF APPROVAL  
ROMBAUER VINEYARDS & WINERY  
USE PERMIT VERY MINOR MODIFICATION –FILE #P10-00036-VMOD  
(APN 021-410-025-000)**

**1. SCOPE:**

- This permit shall be limited to the renewal of the temporary office trailers.

The site improvements shall be designed in substantial conformance with the submitted site plan and other submittal materials, except as modified by these conditions of approval. It is the responsibility of the applicant to communicate the requirements of these conditions to all designers, contractors, and employees to ensure compliance is achieved. Any expansion or change in use, or project changes, which are necessitated by the requirements of other department or agencies, are subject to further County approval.

- 2.** Prior to any final on the current pending Use Permit #P10-00039 or upon expiration of the Temporary Trailer Use Permit, the trailer shall be disconnected from water and sewer, all other utility services, and shall be removed from the site within 30 days.

**3. COMPLIANCE WITH OTHER DEPARTMENTS AND AGENCIES:**

The applicant shall comply with applicable development standards, the zoning regulations and all other applicable building codes, zoning standards and requirements of various County departments and other agencies including the following:

Department of Environmental Management.

Department of Public Works.

Napa County Fire Department.

Napa County Building Department.

The determination as to whether or not the permittee has substantially complied with the requirements of other County Departments and Agencies shall be determined by those Departments or Agencies. The inability to substantially comply with the requirements of other County Departments and Agencies may result in the need to modify the approved use permit.

**4. LIGHTING:**

Lighting shall be subject to review and approval of the CDPD Director prior to the issuance of a building permit. All exterior lighting shall be shielded and directed downward, and located as low to the ground as possible to provide for adequate security, safety, and operations. As determined by the CDPD Director, motion detection sensors shall be utilized to the greatest extent practical. No flood-lighting of the building is permitted. All lighting shall be shielded or placed such that it does not shine directly on any adjoining properties, or impact vehicles on adjacent streets.

5. **PREVIOUS CONDITIONS/MITIGATION MEASURES:**

The permittee shall comply with all applicable conditions of approval and mitigation measures which were included in the previously approved use permits and use permit modifications. To the extent there is a conflict between this modification and any prior use permit or modification, this modification and these conditions of approval shall control.

6. **DUST CONTROL:**

Water and/or dust palliatives shall be applied in sufficient quantities during grading and other ground disturbing activities on-site to minimize the amount of dust produced. Outdoor construction activities shall not occur during windy periods.

7. **STORM WATER CONTROL:**

For any construction activity that results in disturbance of greater than one acre of total land area, permittee shall file a Notice of Intent with the California Regional Water Quality Control Board (SRWQCB) prior to any grading or construction activity. All hazardous materials stored and used on-site that could cause water pollution (e.g. motor oil, cleaning chemicals, paints, etc.) shall be stored and used in a manner that will not cause pollution, with secondary containment provided. Such storage areas shall be regularly cleaned to remove litter and debris. Any spills shall be promptly cleaned up and appropriate authorities notified. Parking lots shall be designed to drain through grassy swales, buffer strips, or sand filters prior to any discharge from the impervious surface into a watercourse. If any discharge of concentrated surface waters is proposed in the any "Waters of the State," the permittee shall consult with and secure any necessary permits from the State Regional Water Quality Control Board. All trash enclosures must be covered and protected from rain, roof, and surface drainage.

8. **MONITORING COSTS:**

All staff costs associated with monitoring compliance with these conditions, previous permit conditions and project revisions shall be borne by the permittee and/or property owner. Costs associated with conditions and mitigation measures that require monitoring, including investigation of complaints, other than those costs related to investigation of complaints of non-compliance that are determined to be unfounded, shall be charged. Costs shall be as established by Board Resolution in accordance with the hourly consulting rate established at the time of the monitoring. Violations of conditions of approval or mitigations measures caused by the permittee's contractors, employees, and guests are the responsibility of the permittee.

The Planning Commission may implement an audit program if compliance deficiencies are noted. If evidence of compliance deficiencies is found to exist by the Planning Commission at some time in the future, the Planning Commission may institute the program at the applicant's expense (including requiring a deposit of funds in an amount determined by the Commission) as needed until compliance assurance is achieved. The Planning Commission may also use the data, if it is so warranted, to commence revocation hearings in accordance with section 18.124.120 of the County Code.





file

# COUNTY of NAPA

OFFICE OF CONSERVATION, DEVELOPMENT & PLANNING

## PLANNING DIVISION

HILLARY GITELMAN  
Director

PATRICK LYNCH, AICP  
Assistant Director

VACANT  
Deputy Director

JOHN MCDOWELL  
Project Manager

ROBERT NELSON  
Supervisor

HEATHER  
MCCOLLISTER  
Principal Planner

SEAN TRIPPI  
Principal Planner

TRISH HORNISHER  
Planner

NANCY JOHNSON  
Planner

SUZIE GAMBILL  
Planning Technician

TERRI ABRAHAM  
Planning Technician

C. RENEE LEDERER  
Planning Administrative  
Specialist

August 10, 2006

Rombauer Winery  
c/o Chuck Meibeyer  
1236 Spring Street  
St Helena 94574

### RE: Use Permit Modification P06-01108; APN 021-410-025

Dear Chuck,

Please be advised that this Use Permit Modification to permit the additional roof cover and recognize the existing roof cover configuration and allow the temporary use of the modular offices – for up to three years - has been **APPROVED** by the Planning Department on August 10, 2006 based on the information provided and applicable County regulations. These approved modifications shall be consistent with the material submitted with this application. All previous Use Permit conditions not in conflict with this modification still apply.

The permit becomes effective ten (10) working days from the approval date unless appealed to the Napa County Board of Supervisors pursuant to Chapter 2.88 of the Napa County Code, including payment of applicable fees. You may appeal the conditions of approval. If an appeal is filed by anyone, you will be notified.

Pursuant to Section 18.124.080 of the Napa County Code, the use permit modification must be activated within two (2) years from the approval date, or it shall automatically expire and become void. This letter serves as the only notice you will receive regarding the expiration date of your permit.

Should you have any questions, please contact Robert Nelson at (707) 253-4417.

Sincerely,

A handwritten signature in black ink, appearing to read "Robert Nelson".

Robert Nelson, Supervising Planner

1195 THIRD STREET  
SUITE 210

NAPA, CALIFORNIA  
94559

TELEPHONE:  
707-253-4417

FAX:  
707-253-4336

WWW.CO.NAPA.CA.US

cc: file  
John McDowell, Acting Deputy Director



# NAPA COUNTY

## CONSERVATION • DEVELOPMENT and PLANNING DEPARTMENT

Jeffrey Redding  
Secretary-Director

1195 Third Street, Room 210 • Napa, California 94559-3092  
Telephone 707/253-4416 FAX 707/253-4336

November 25, 1998

Assessor's Parcel #21-410-02<sup>025</sup>

Koerner Rombauer  
Rombauer Vineyards  
3522 Silverado Trail  
St. Helena, CA 94574

Dear Mr. Rombauer:

Please be advised that **Use Permit Application #96010-MOD** has been approved by the Napa County Board of Supervisors based upon the following conditions. (SEE ATTACHED LIST OF CONDITIONS OF APPROVAL)

**APPROVAL DATE: November 24, 1998**

**EXPIRATION DATE: November 24, 1999**

Pursuant to Section 18.124.080 of the Napa County Code, the use permit must be activated within one (1) year from the approval date or the use permit shall automatically expire and become void. A one-year extension of time in which to activate the use permit may be granted by the County provided that such extension request is made thirty (30) days prior to the expiration date and provided that any modification of the permit has become final. A request for an extension of time is subject to payment of the required filing fee in effect at the time the request for extension is made.

This letter serves as the only notice you will receive regarding the expiration date of your permit or procedures for extensions. Please note that additional fees will be assessed if a landscape plan or erosion control plan is required by this approval.

Very truly yours,

Handwritten signature of Jeffrey R. Redding.  
Jeffrey R. Redding  
Director

cc: John Tuteur, County Assessor  
Gary Brewen, Building Codes Administrator  
Eugene and Cody Kirkham (with copy of conditions of approval and project revision statement)

c:\data\dm:rombauer MOD approval ltr BOS 11-24-98

Nov. 12, 1999 Letter  
"used"

**CONDITIONS OF APPROVAL**  
**Use Permit Modification #96010-MOD (Rombauer Vineyards)**

1. The Use Permit shall be limited to modifying an existing winery use permit to expand the winery in one phase as follows: 1.) Increase the annual production from 120, 000 to 450,000 gallons; 2.) utilize 26,340 sq.ft. of new cave for bulk wine storage only; 3.) authorize 20 custom production operations, including 5 alternating proprietors using up to 300,000 gal/yr of the winery production; 4.) construct a 3,200 sq.ft slab for a covered production area; 5.) construct a total of 19,680 sq.ft. of roof over the existing outdoor and new production area including covering the crushing, processing and storage operation areas and involving the construction of a retaining wall approximately 110 feet in length; 6.) construct a 1,980 sq.ft. winery addition for office, lab and work area; 7.) increase the number of employees from 5 to 18; 8.) add 16 parking spaces; 9.) install new fermentation and storage tanks; 10.) install a new pressurized leach field system for the process wastewater and a new leach field for the domestic wastewater; 11.) realign entry road.

The project shall conform to the approved site plan, floor plan and elevations, and the application materials. Any expansion of production capacity, changes in use, construction or design shall be subject to the approval of the Planning Director, or if deemed necessary, the County Planning Commission.

2. Custom production at this winery may occur with up to 20 custom producers including up to 5 alternating proprietors, and up to 3 of the 18 employees may be employed by the custom producers, and up to 300,000 gallons of the 450,000 gallon annual production may be used. None of the custom producers, including the alternating proprietors, will have case good storage, retail wine sales, wine tasting or marketing activities at this location.
3. Visitors to the winery for tours and tasting shall only be by prior appointment and shall be limited to an average of 2000 per week and 400 on the peak day. A visitor log shall be maintained by the winery and shall be made available to the County upon request.
4. The applicant shall comply with all applicable building codes, and requirements of various County departments and agencies, including:  
the Department of Public Works dated Apr. 13, 1998;  
the Department of Environmental Management dated Nov 18, 1998;  
the Building Division dated July 15, 1996;  
the County Fire Dept. dated Dec. 10, 1996 and Apr. 28, 1998;  
and the project's three signed Mitigation Measures in the Project Revision Statement.
5. At least 75% of the grapes used to make the winery's additional 330,000 gal/yr production (over the previously approved 120,000 gallons per year) shall be grown

Page Two

Conditions of Approval

Use Permit Modification #96010-MOD (Rombauer Vineyards)

within the County of Napa. The applicant shall report to the Department on an annual basis the source of his grapes verifying that 75% of this approved increased production is from Napa County grapes. The report shall include the Assessor's Parcel Number and the grape tonnage. That report shall be proprietary and not available to the public. For the public record, the applicant shall annually submit to the Department for the file a statement regarding compliance with the sourcing requirement and indicating the percentage of Napa County grapes utilized.

6. Changes in outdoor signs shall be submitted to the Planning Department for administrative review and approval. If and when the winery identification sign is changed, wording shall be included as follows: "Tours and tasting by prior appointment only". The only off-site signs allowed shall be in conformance with the County Code.
7. During winery construction, all construction equipment muffling and hours of operation shall be in compliance with the County Code section regarding noise, Chapter 8.16.
8. The marketing events shall not exceed those approved and listed below:
  - 1 per year release event in July or August – maximum of 300 persons;
  - 1 per year wine auction event – maximum of 40 persons;
  - 1 per year barrel tasting event – maximum of 40 persons;
  - 4 per month lunches or dinners – maximum of 40 personsAll of the above shall be by invitation only.

The attending persons shall meet the criteria in the definition in Section 18.08.370 which includes:

Limiting those attending to members of the wine trade, persons who have pre-established business or personal relationships with the winery or its owners, or members of a particular group for which the activity is being conducted on a prearranged basis;

Limiting the activity to the education and development of the persons or groups listed above; and,

Shall not include cultural and social events unrelated to such education and development.

9. A detailed landscaping plan shall be submitted to the Department for review and approval indicating names and locations of plant materials along with the method

Page Three

Conditions of Approval

Use Permit Modification #96010-MOD (Rombauer Vineyards)

of maintenance prior to the issuance of any building permits for work on the winery. Landscaping shall be completed prior to final occupancy, and shall be permanently maintained in accordance with the approved landscaping plan.

10. The parking spaces shall be limited to the existing 10 plus the 16 spaces proposed, and parking shall not be allowed along access roads or in any other location, except during the limited approved marketing events. The new 16 spaces shall be reserved for employees during normal working hours, and all but three may be used by visitors during times the production employees are not present such as most evenings and weekends.
11. If a gated entrance is used, it shall include a turn around area to allow a large vehicle (such as a motorhome) to turn around if the gate is closed. Both the Department of Public Works and the Planning Department shall review and approve any plans prior to construction.
12. The winery wastewater systems shall be located on the same parcel as the winery through a lot line adjustment or merger prior to any building permit issuance for winery projects authorized by this modification.
13. All exterior lighting shall be shielded and directed downward, and shall be the minimum necessary for security or operations.
14. All prior use permit conditions not in conflict with these conditions shall continue in force and effect.
15. All staff costs associated with monitoring compliance with these conditions, previous use permit conditions and project revisions shall be borne by the applicant and/or property owner, other than those costs related to investigation of complaints of non-compliance which are determined to be unfounded. Costs shall be as established by Resolution #95-77 or as such Resolution may be amended from time to time.
16. The existing forest / tree cover vegetation on the south and east sides of the knoll shall be permanently maintained to provide visual screening of the entire winery facility.
17. Use Permit conditions regarding the wastewater system shall be reviewed by the Planning Commission after one year and two years from the date of approval.
18. The Napa County Health Officer shall initiate a hearing before the County Zoning Administrator within 45 days of a determination of any health problem being created by the wastewater system.

12/20/00  
completed  
with

# PUBLIC WORKS DEPARTMENT INTER-OFFICE MEMO



April 13, 1998

**TO:** Conservation Development and Planning Department

**FROM:** Juan Arias, Junior Engineer *J. A.*

**SUBJECT:** Rombauer Vineyards, Use Permit Modification (**Revised**), File # 96010-MOD  
3522 Silverado Trail, St. Helena APN: 021-410-002

This use permit will allow the applicant to expand an existing winery from 120,000 to 450,000 gal/yr. The following conditions have been provided by the Napa County Public Works Department in order to help the applicant meet applicable County ordinances and standards.

## EXISTING CONDITIONS:

1. The paved access road to the winery site varies from 16 to 32 feet wide.
2. The existing access road serves the winery and two private residences.
3. Silverado Trail near the winery site is on the average 41 feet wide.
4. The current traffic counts for Silverado Trail, near the winery site, show that the Average Daily Traffic is 3266.
5. The existing right-of-way for Silverado Trail is sixty feet from the centerline of the road.
6. The ultimate right-of-way for Silverado Trail is seventy feet from the centerline of the road as established per Section 18.112.060 of the Napa County Code.

## **RECOMMENDED CONDITIONS:**

1. Right-of-way widening easement to 70 feet from the centerline of Silverado Trail shall be granted to the County for roadway and utility purposes.
2. The applicant shall construct a left turn storage lane on Silverado Trail so as to facilitate northbound traffic turning onto the access road.
3. The access road from Silverado Trail to the winery site shall be improved to the standards of a "Non-Continuing Minor Road" as shown on the latest edition of the "Napa County Road and Street Standards". This design requires a 20 foot wide roadway with a 4 foot earth shoulder and a minimum structural section equivalent to five inches of class II aggregate base with a double chip seal coat.
4. The applicant shall obtain an encroachment permit for any work performed within the Napa County right-of-way.
5. Grading, drainage and parking improvements shall be constructed according to the latest "Napa County Road and Street Standards".
6. On site grading shall be accomplished so as to avoid the diversion or concentration of storm water runoff onto adjacent properties.
7. Parking areas shown and required by the Planning Commission as a condition of this Use Permit shall have a minimum structural section equivalent to five inches of Class II aggregate base with a double chip seal coat.
8. A grading permit shall be obtained from this Department for the disposal of any cave spoils.
9. Improvements shall be constructed according to plans prepared by a registered civil engineer which will be reviewed and be approved by this office. An engineering and inspection fee in the amount of 3% of the estimated cost of the proposed construction will be paid to Napa County Public Works prior to approval of these plans.

If you have any questions regarding the above items at this time, please do not hesitate to contact Juan Arias or Larry Bogner at Engineering Services.

cc: Koerner Rombaeur, Rombauer Vineyards, 3522 Silverado Trail, St. Helena, CA 94574



## NAPA COUNTY

DIVISION OF  
ENVIRONMENTAL HEALTH

6N  
**RECEIVED**

JUL 31 1996

NAPA CO. CONSERVATION  
DEVELOPMENT & PLANNING DEPT.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT

1195 THIRD STREET, ROOM 101 • NAPA, CALIFORNIA 94559-3082  
AREA CODE 707/253-4471 • FAX 707/253-4545

### MEMORANDUM

**TO:** Napa County Planning Dept. - Jeffrey Redding, Director

**FROM:** Department of Environmental Management - Chris Secheli, R.E.H.S. *ms*

**SUBJECT:** Use Permit Application for Rombauer Vineyards

**DATE:** July 29, 1996

**APN 21-410-02**

**FILE # 96010-MOD**

**Located at 5322 Silverado Trail**

We have reviewed the above proposal and recommend approval of the application providing the following are included as conditions of approval:

1. Within 60 (sixty) days of initiation of the use or change of tenants, an updated Hazardous Materials Business Plan or a Negative Declaration Response form shall be submitted and approved by the Hazardous Materials Section of the Napa County Department of Environmental Management.
2. Plans for the proposed private sewage disposal system shall be designed by a licensed Civil Engineer or Registered Environmental Health Specialist and be accompanied by complete design criteria based upon local conditions and shall be subject to approval by the Department of Environmental Management prior to issuance of any permits.
3. That a permit for the septic system expansion be secured from the Department of Environmental Management prior to issuance of a building permit.
4. That the use of the drain field area be restricted to activities which will not contribute to compaction of the soil with consequent reduction in soil aeration. This includes equipment storage, traffic, parking, livestock, etc., over the system.



5. That prior to issuance of a building permit for the Phase II office addition or tank pad, a sewage permit be secured for the Phase II septic system expansion.
6. Since the proposed septic system is to be installed on a separate parcel from the facility it is to serve, an agreement to grant a sewage easement or an approved sewage easement must be filed with the Department of Environmental Management prior to issuance of sewage permits.
7. That all solid waste be stored and disposed of in a manner to prevent nuisances or health threats from insects, vectors and odors.
8. During the construction/demolition/renovation period of the project the applicant must use the franchised garbage hauler for the service area in which they are located for all wastes generated during project development; unless applicant transports their own waste. If the applicant transports their own waste, they must use the appropriate landfill or solid waste transfer station for the service area in which the project is located.
9. Adequate area must be provided for collection of recyclables. The applicant must contact the franchised garbage hauler for the service area in which they are located, in order to determine the area and the access needed for the collection site.
10. That the water supply system continue to comply with the California Safe Drinking Water Act and Related Laws. This will require a plan review and an annual operating permit from the Department of Environmental Management.

cc: Koerner Rombauer, 3522 Silverado Trail, St. Helena, CA 94574  
Paul Bartelt, Bartelt Engineering, 1339 Pearl St., #205, Napa, CA 94559  
Jeanna Michel, NCDEM

APR 14 1998

**NAPA COUNTY****DEPARTMENT OF  
ENVIRONMENTAL MANAGEMENT**NAPA CO. CONSERVATION  
DEVELOPMENT & PLANNING DEPT.TRENT CAVE, R.E.H.S.  
Director1195 THIRD STREET, ROOM 101 • NAPA, CALIFORNIA 94559-3082  
AREA CODE 707/253-4471**MEMORANDUM**

**TO:** Napa County Planning Dept. - Jeffrey Redding, Director

**FROM:** Department of Environmental Management - Chris Secheli, R.E.H.S. *CS*

**SUBJECT:** Use Permit Application for Rombauer Vineyards

**DATE:** April 13, 1998

**APN 21-410-02      FILE # 96010-MOD****Located at 5322 Silverado Trail**

We have reviewed the above proposal and recommend approval of the application providing the following are included as conditions of approval:

1. Previous recommendations and conditions of approval of July 29, 1996 still apply and shall be included in the project.

In addition, we have the following comments:

2. Since the proposed pond is to be installed on a separate parcel from the facility it is to serve, an agreement to grant a sewage easement or an approved sewage easement must be filed with the Department of Environmental Management prior to issuance of sewage permits.
3. The applicant shall maintain regular monitoring of the above ground waste water system as required by the Department of Environmental Management and submit quarterly reports. An annual operating permit is required for the waste water system.
4. That a permit for the pond installation be secured from the Department of Environmental Management prior to issuance of a building permit.

cc: Koerner Rombauer, 3522 Silverado Trail, St. Helena, CA 94574  
Paul Bartelt, Bartelt Engineering, 1339 Pearl St., #205, Napa, CA 94559



# NAPA COUNTY

## CONSERVATION — DEVELOPMENT AND PLANNING DEPARTMENT

JEFFREY R. REDDING  
Director

1195 THIRD STREET, ROOM 210 • NAPA, CALIFORNIA 94559-3092  
AREA CODE 707/253-4416

RECEIVED

### PERMIT APPLICATION AND INITIAL STUDY REQUEST FOR COMMENTS

JUL 15 1996

NAPA CO. CONSERVATION  
DEVELOPMENT & PLANNING DEPT.

TO: Bldg.  
Romberger Vineyards

APPLICATION TITLE: Use Permit Modification FILE #: 96010-110D  
21-410-02

RESPONSE REQUEST DATE: 7-15-96 RESPONSE RETURN DATE: 7-29-96  
FINAL REQUEST DATE: \_\_\_\_\_ FINAL RESPONSE DATE: \_\_\_\_\_

This application (see enclosed project description and/or maps) is being sent to you for your review and comment.

With respect to environmental analysis, the County is assuming Lead Agency status for the project and will be preparing the necessary environmental documents.

Please advise us as to which of your permits is required, your environmental concerns, and whether you recommend that a Negative Declaration or an Environmental Impact Report be prepared on this project. Due to the provisions of AB 884, it is essential that we receive your comments within the next 10 days.

- Do you have jurisdiction by law over this project ☒ Yes ☐ No  
If yes, indicate required permits: GRADING, BUILDING, PLUMBING, MECHANICAL  
ELECTRICAL
- Indicate areas of environmental concern and availability of appropriate technical data: NONE
- Do you recommend: ☒ Negative Declaration ☐ Environmental Impact Report
- If the project is approved, recommend conditions-of-approval (use additional page if needed):  
1. SECURE PERMITS AS NOTED IN ITEM No. 1  
2. FACILITY SHALL COMPLY WITH STATE ACCESS STANDARDS.
- Have you previously reviewed an application on any portion of this project?  
☐ Yes ☒ No
- Name of contact person: [Signature] Telephone: 253-44110  
Response Prepared by: GARY W. EKENEN  
Title: BUILDING CODES ADMIN.  
Date: 7-15-96

# INTER-OFFICE MEMO



10 December 1996

**TO:** Jeffrey Redding, Director  
Conservation – Development and Planning Department

**FROM:** Ethan Foote, Fire Department

**SUBJECT:** Use Permit Comments: Rombauer Vineyards 96010 -UP

7660 Recommended Fire Safety Standards  
9200 Fire Prevention Engineering  
3522 Silverado Trail STH

The Fire Department has reviewed the above use-permit application to add 1,980 sq.ft. of office/lab space, a 10,160 sq.ft. roof over an outdoor production area, and 12,312 sq.ft. of wine storage caves to an existing 22,942 sq.ft. winery. We recommend that the following items be incorporated as conditions-of-approval for the project.

- 1) Fire apparatus access shall be provided by:
  - a) compliance with Napa County Road and Street Standards;
  - b) compliance with Fire Department standards for emergency access – *Napa County Fire Protection Standards* (County Code § 17.36.080/BOS Resolution 88-98) ;
  - c) installation of Fire Department/Sheriff Office "Rapid Entry System" key switches or padlocks for access through locked gates;
- 2) Water supplies for fire protection shall be provided by compliance with Fire Department standards for required-fire-flow and storage (County Code § 17.36.080/BOS Resolution 88-98) , and the California Fire Code for hydrants and installation.
- 3) Fire, Panic, and Life-Safety in the proposed caves shall be provided by:
  - a) compliance with applicable sections of Titles 19 & 24 of the California Code of Regulations (California Fire and Building Codes) to provide a reasonable level of safety for the subterranean occupancy;
  - b) design, materials, or methods of construction alternate to that prescribed by the above codes may be approved in writing by the appropriate authority having jurisdiction. A copy of the documentation with details for granting such approval shall be provided to the Fire Department;
  - c) construction plans shall be reviewed for compliance with the above codes and approved by the appropriate authority having jurisdiction prior to cave construction;

- d) a copy of the construction plans shall be provided to the Fire Department prior to cave construction;
- e) a Fire Department/Sheriff Office "Rapid Entry System" storage cabinet shall be installed prior to construction for emergency and rescue information storage;
- f) detailed as-built floor plans shall be provided to the Fire Department prior to occupancy;
- g) cave contents shall be limited to storage of wine-filled barrels and non-flammable materials
- h) "assembly occupancy" use of the caves shall be limited to that specifically approved in the above plan review documentation.

### Discussion - Winery Caves

The above item on cave safety is necessary because construction of subterranean structures can be done in Napa County without a building permit and without the associated construction plan review for Fire, Panic, and Life-Safety.

The Office of the California State Fire Marshal is the "authority having jurisdiction" for enforcement of the California Building and Fire Codes at this time. Cave construction plan review will be handled through their office. The Fire Department will forward fire and life safety concerns to the State Fire Marshal for their consideration in reviewing this project.

The only public agency oversight for structural stability of winery caves is the Cal-OSHA, Mining and Tunneling Division, who enforces regulations for the safety of cave construction workers. Structural and seismic safety issues pertaining to the use of underground occupancies is not within the scope of our Department's ability to comment.

If there are any questions, interested parties should feel free to contact Ethan Foote at Napa County Fire Department Headquarters, 1572 Railroad Ave., St. Helena, CA 94574, (707-963-3601), or through telephone pager (707-491-5666).

Gary L. Buzzini  
Fire Chief

by 

Ethan Foote  
County Fire Marshal

cc: Rombauer  
Barclay, NCFD ✓  
Yballa, CSFM ✓  
NCFD/CFM file, chron, Loveless

**DISTRIBUTED**

# INTER-OFFICE MEMO



RECEIVED

MAY 01 1998

28 April 1998

**TO:** Jeffrey Redding, Director  
Conservation – Development and Planning Department

**FROM:** Ethan Foote, Fire Department

**SUBJECT:** Use Permit Comments      Rombauer Vineyards    96010-UP / MOD

7660    Recommended Fire Safety Standards  
3522 Silverado Trail    STH

The Fire Department has reviewed the revised application material forwarded to us (dated 2 April 1998) on the above use-permit application to add 1,980 sq.ft. of office/lab space, a 10,160 sq.ft. roof over an outdoor production area, and 12,312 sq.ft. of wine storage caves to an existing 22,942 sq.ft. winery.

We have no further recommendations nor revisions to our previous comments on application 96010-MOD dated 10 December 1996.

One additional discussion item is that effective July 1997 the California Code of Regulations Title 24 (California Fire Code) was modified to add a new section "Article 41 – Winery Caves" which would be applicable to new caves in addition to our recommended conditions of approval.

If there are any questions, interested parties should feel free to contact Ethan Foote at Napa County Fire Department Headquarters (707-963-3601 ext.121), or through telephone pager (707-491-5666). Please note our **new Headquarters address** located at the old PG&E facility north of St. Helena: 1199 Big Tree Lane, St. Helena, CA 94574.

Byron J. Carniglia  
Fire Chief

by A handwritten signature in black ink, appearing to read "Ethan Foote".

Ethan Foote  
County Fire Marshal

encl.: NCFD 10Dec96  
cc: Koerner Rombauer, applicant  
Barclay, NCFD  
NCFD/CFM file, chron, Loveless

**PROJECT REVISION STATEMENT**  
**ROMBAUER VINEYARDS**  
**96010-MOD**

**RECEIVED**

MAY 27 1998

NAPA CO. CONSERVATION  
DEVELOPMENT & PLANNING DEPT.

I hereby revise my request to expand an existing winery by increasing production from 120,000 to 450,000 gallons per year; adding the use of caves; adding a new work slab and retaining wall; covering the expanded outdoor production area; adding an office wing; authorizing up to 20 custom crush operators, including 5 alternating proprietors; adding wastewater ponds; and increasing employees, visitors and marketing events, in one phase, located on two parcels totaling 37.4 acres on the west side of the Silverado Trail approximately 0.75 miles north of Glass Mt. Rd. within the AP (Agricultural Preserve) zoning district to include the measures specified below:

1) Traffic:

A left turn lane that has been reviewed and approved by the Department of Public Works, will be installed at the driveway entrance on Silverado Trail prior to any final building clearance for the winery expansion.

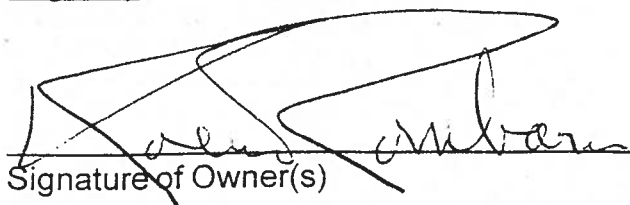
2.) Archaeology:

All subsurface excavation work for the wastewater ponds and leachfield relocation or expansion along the Silverado Trail shall be monitored by a qualified archaeologist followed by a report submitted to this Department

3.) Hydrology (Sedimentation):

The sloping area where loose materials were deposited and any areas where cave spoils are stored shall be reviewed by a qualified engineer as to their adequacy for stabilization and vegetation restoration and erosion control. A report shall be forwarded to this Department prior to the final building clearance of any winery expansion building permits.

I understand and explicitly agree that with regards to all California Environmental Quality Act, Permit Streamlining Act, and Subdivision Map Act processing deadlines, this revised application will be treated as a new project, filed on the date this project revision statement is received by the Napa County Conservation, Development and Planning Department. For purposes of Section 66474.2 of the Subdivision Map Act, the date of application completeness shall remain the date this project was originally found complete.

  
Signature of Owner(s)

Koerner Rombauer - owner  
Print Name Interest



# NAPA COUNTY

## CONSERVATION, DEVELOPMENT and PLANNING DEPARTMENT

Jeffrey Redding  
Director

1195 Third Street, Room 210 • Napa, CA 94559-3092  
Telephone 707/253-4416 FAX 707/253-4336

September 19, 1997

Koerner Rombauer  
ROMBAUER VINEYARDS  
3522 Silverado Trail  
St. Helena, CA 94574

RE: Application for Directional Sign Permit #97052-S


Dear Mr. Rombauer:

The above referenced application to install two standard 3-sq.ft. directional signs in the right-of-way of Silverado Trail to direct the public to Rombauer Vineyards Winery, came before the Zoning Administrator for action on September 19, 1997. The application was **APPROVED WITH THE ATTACHED CONDITIONS**.

The decision is appealable to the Board of Supervisors pursuant to Napa County Code Chapter 2.88.

If you have any questions, please contact Elizabeth Caraker, Project Planner.

Very truly yours,

  
Michael Miller  
Zoning Administrator

attachment

cc. John Tuteur, Assessor  
Gary Brewen, Building Codes Administrator  
Ken Johanson, Director of Public Works  
Elizabeth Caraker, Project Planner

mmp23



**CONDITIONS OF APPROVAL**  
**File No. 97052-S (Rombauer Vineyards)**

1. This permit shall be limited to two 3-sq. ft. directional signs located in the Silverado trail right-of-way. The signs will be located approximately ¼ mile north and ¼ mile south of the winery entrance. The south-facing sign (on the east side of the Trail) shall not exceed four (4) feet in height above pavement surface, and the north-facing sign (on the west side of the Trail) shall not exceed six (6) feet in height above pavement surface. Sign heights shall include the signposts as well as the signs themselves. Each sign shall comply with the standards listed in County Code Section 18.116.030(2)a,b,c, & d (attached) regarding dimensions, color, copy, and location, and shall contain appropriate directional arrows within the sign copy.
2. The signs shall not be illuminated nor shall there be any devices used for attention-attracting purposes.
3. The sign structures shall also comply with all applicable zoning regulations, building codes and standards of other County departments, as well as the requirements of other agencies.
4. All staff costs associated with monitoring compliance with these conditions and project revisions shall be borne by the applicant, other than those costs related to investigation of complaints of non-compliance which are determined to be unfounded. Costs shall be as established by Resolution #95-77 or as such Resolution may be amended from time to time.

**18.116.030 Signs allowed upon grant of a permit.**

In addition to signs allowed by Section 18.116.020, the following signs may be permitted where indicated, but only upon grant of a permit by the director of the department of conservation, development and planning. All applications for a sign permit shall be accompanied by that fee established by resolution of the board of supervisors.

**A. Directional Signs.**

1. Two directional signs per business, institution or facility on any lot in any zone. Such signs may be single or double faced. The director may allow two additional single- or double-faced directional signs based on a finding that the request and need for said additional signs meets the following criteria:

- a. The business, institution or facility requesting the additional sign(s) is located more than one-half mile, measured on a straight line, from the nearest major county road or state highway, or
- b. The business institution or facility, as a result of topography or vegetation or both, is not visible from the nearest major county road or state highway,

2. The director, in issuing a permit hereunder, shall require compliance with the following standards and specifications in addition to any other conditions imposed on such permit:

- a. Dimensions: no directional sign shall be more than one foot wide or three feet long,
- b. Color: directional signs shall employ a white reflectorized legend on a blue background,
- c. Copy: copy should be four-inch-high capital letters,
- d. Location in right-of-way: directional signs may be located within a county road right-of-way, but only upon the approval of the director of public works given prior to the approval by the director of the department of conservation, development and planning;



## NAPA COUNTY

### CONSERVATION—DEVELOPMENT AND PLANNING COMMISSION

JAMES H. HICKEY  
Secretary-Director

1195 THIRD STREET • NAPA, CALIFORNIA 94558  
AREA CODE 707/253-4416

October 24, 1983

ROMBAUER VINEYARDS  
Attn: Koerner Rombauer  
3522 Silverado Trail  
St. Helena, CA 94574

Dear Mr. Rombauer:

Your Use Permit Application Number U-188384 to Increase the pro-  
duction capacity of the existing winery from 48,000 to 120,000 gallons per  
year

located west of Silverado Trail north of Glass Mountain Road  
has been approved by the Napa County Conservation, Development and Planning  
Commission based upon the following conditions:

(SEE ATTACHED LIST OF CONDITIONS OF APPROVAL)

APPROVAL DATE: October 29, 1983

Your Use Permit becomes effective ten (10) working days from the approval date, provided all conditions of approval are met or assurances made to guarantee compliance. The ten (10) day waiting period is required to provide sufficient time for anyone wishing to appeal the action of the Commission in approving your Use Permit. In the event an appeal is made to the Board of Supervisors, you will be notified.

Should this Use Permit not be used within one (1) year after the date of approval, it shall be null and void without further action by the Commission or Department.

If you intend to request any time extension for your approved Use Permit, please note that any such request must be submitted to the Conservation, Development and Planning Department at least 30 days prior to the expiration of the present permit.

Very truly yours,

A handwritten signature in dark ink, appearing to read "James H. Hickey".

JAMES H. HICKEY  
Secretary-Director

JHH:pm

cc: Bill L. Hall  
Building Codes Administrator  
County of Napa

Meeting Date: October 19, 1983

Use Permit - #4-188384 Bombauer Vineyards

### PLANNING AND ZONING ANALYSIS:

- ☒ 9. The procedural requirements for Use Permit outlined in the Zoning Ordinance have been satisfied in regard to this application.
- ☒ 10. The submitted proposal is in general compliance with Ordinance requirements.
- ☒ 11. Approval of this proposal would not result in detrimental effects to the public health, safety or general welfare.
- ☒ 12. The proposal is in conformance with the General Plan designation of Agricultural Resource specified for the property.
- ☐ 13. The property is within the district boundary and/or the Sphere of Influence of the following districts:

American Canyon County Water District (See attached map). ☐ Within district ☐ Within Sphere

American Canyon Fire Protection District ☐ Within district ☐ Within Sphere  
(See attached map).

\_\_\_\_\_

- ☐ 14. This proposal should be denied pursuant to findings contained in the attached Exhibit
- ☒ 15. The supplemental information sheet submitted in conjunction with the previous use permit #U-338182 is attached outlining the existing facility and operation. The current request will employ 5 people and hours of operation will be extended to 8:00 am - 5:00 pm.

## RECOMMENDATION:

- ☐ Continue to meeting of \_\_\_\_\_  
☒ Action

## ENVIRONMENTAL:

- ☒ None Required. *Categorically exempt*  
☐ Adopt a Negative Declaration.  
☐ Find that the \_\_\_\_\_ has read and considered the environmental documents relative to #U-\_\_\_\_\_.  
☐ Certify Final EIR as adequate.

**PLANNING:**

- ☐ DENIAL based on Finding #                     .
- ☒ APPROVAL with Findings and subject to the attached Conditions of Approval.

CONDITIONS OF APPROVAL

Agenda Item: 13

Meeting Date: October 19, 1983

Use Permit: #4-188384 Bombauer Vineyards

- ☒ The permit be limited to: Increase production capacity of existing winery from 48,000 to 120,000 gallons per year.

Any expansion or changes in use to be by separate Use Permit submitted for Commission consideration.

- ☐ Submission of a detailed landscaping, fencing and parking plan to the Department for review and approval indicating names and locations of plant materials, method of maintenance and location of off-street parking spaces. Said plan to be submitted prior to issuance of the Building Permit. Landscaping, fencing and parking to be completed prior to finalization of Building Permit.

- ☐ Provisions for \_\_\_\_\_ off-street parking spaces on a dust free, all weather surface approved by Public Works.

- ☐ Plans for any outdoor signs be submitted to the Department for review and approval with regard to design, area, height and placement.

- ☐ The applicant enter into an agreement with the County not to oppose annexation to an appropriate service district when deemed necessary by the County. The agreement to be reviewed by Environmental Health and approved by County Counsel.

- ☐ Annexation of the property to the following districts:

- ☐ American Canyon County Water District  
☐ American Canyon Fire Protection District  
☐ \_\_\_\_\_

- ☐ All open storage of \_\_\_\_\_ be screened from view of \_\_\_\_\_ and adjacent properties by a visual barrier. No open storage to exceed height of screening.

- ☐ The permit be limited to a \_\_\_\_\_ year period.

- ☒ Compliance with all applicable building codes, zoning standards and requirements of various County departments and agencies.

- ☒ With the exception of the changes specified in this permit, all conditions of approval relative to Use Permit #4-338182 still apply.
- \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# NAPA COUNTY

## CONSERVATION—DEVELOPMENT AND PLANNING COMMISSION

JAMES H. HICKEY  
Secretary-Director

1195 THIRD STREET • NAPA, CALIFORNIA 94558  
AREA CODE 707/253-4416

May 20, 1982

Koerner Rombauer  
3522 Silverado Tr.  
St. Helena, CA 94574

Dear Mr. Rombauer:

Your Use Permit Application Number U-338182 to construct a 3-story 23,750  
sq. ft., 48,000 gal/yr winery with no tours or tasting

located west of Silverado Tr. north of Glass Mtn. Rd.  
has been approved by the Napa County Conservation, Development and Planning  
Commission based upon the following conditions:

(SEE ATTACHED LIST OF CONDITIONS OF APPROVAL)

APPROVAL DATE: May 19, 1982

Your Use Permit becomes effective ten (10) working days from the approval date, provided all conditions of approval are met or assurances made to guarantee compliance. The ten (10) day waiting period is required to provide sufficient time for anyone wishing to appeal the action of the Commission in approving your Use Permit. In the event an appeal is made to the Board of Supervisors, you will be notified.

Should this Use Permit not be used within one (1) year after the date of approval, it shall be null and void without further action by the Commission or Department.

If you intend to request any time extension for your approved Use Permit, please note that any such request must be submitted to the Conservation, Development and Planning Department at least 30 days prior to the expiration of the present permit.

Very truly yours,

*By: J. Hickey E. Humdall*  
*Senior Planner*

JAMES H. HICKEY  
Secretary-Director

Please Note:

Additional Condition:

The area labeled "apartment"  
on the plan be changed to  
"lounge".

JHH:pm

cc: Bill L. Hall  
Building Codes Administrator  
County of Napa

CONDITIONS OF APPROVAL

Agenda Item: #5

Meeting Date: May 19, 1982

Use Permit: #U-338182

- ☐ 1. The permit be limited to: the construction of a three-story  
23,750 square foot - 48,000 gallon/year winery.

Any expansion or changes in use to be by separate Use Permit submitted for Commission consideration.

- ☒ 2. Submission of a detailed landscaping, fencing and parking plan to the Department for review and approval indicating names and locations of plant materials, method of maintenance and location of off-street parking spaces. Said plan to be submitted prior to issuance of the Building Permit. Landscaping, fencing and parking to be completed prior to finalization of Building Permit.

a minimum of

- ☒ 3. Provisions for A 12 off-street parking spaces on a dust free, all weather surface approved by Public Works.

- ☒ 4. Plans for any outdoor signs be submitted to the Department for review and approval with regard to design, area, height and placement.

- ☐ 5. The applicant enter into an agreement with the County not to oppose annexation to an appropriate service district when deemed necessary by the County. The agreement to be reviewed by Environmental Health and approved by County Counsel.

- ☐ 6. Annexation of the property to the following districts:

- ☐ American Canyon County Water District  
☐ American Canyon Fire Protection District  
☐

- ☐ 7. All open storage of \_\_\_\_\_ be screened from view of \_\_\_\_\_ and adjacent properties by a visual barrier. No open storage to exceed height of screening.

- ☐ 8. The permit be limited to a \_\_\_\_\_ year period.

- ☒ 9. Compliance with all applicable building codes, zoning standards and requirements of various County departments and agencies.

- ☒ 10. No public tours or tasting. No sign of an invitational type shall be installed, erected, or placed on the property. The applicant shall install a sign at the entrance of the winery reading "No Public Tours or tasting". Said sign shall be maintained in a readable condition.

- ☒ 11. Mitigation Measures contained in attachment 1 of the Negative Declaration

ATTACHMENT I  
Mitigation Measures For  
Rombauer Winery

EROSION CONTROL:

1. Installation and maintenance of erosion control structures acceptable to the Napa County Public Works Department that will dispose of any concentrated run-off from all roads, parking areas, and structures at non-erosive velocities.
2. Restriction of all grading and all other construction activities on-site involving substantial ground disturbance to the period between April 15 and October 15.
3. Replanting prior to the beginning of the rainy season (i.e., mid-October) after construction all areas disturbed including all associated improvements, such as sewage disposal systems, access roads, etc. with shrubs, grasses and forbes, acceptable to the Napa County Resource Conservation District.

PUBLIC HEALTH AND SAFETY:

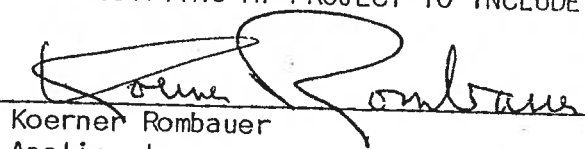
Septic/Refuse

4. That the use of the drainfield area shall be restricted to activities which will not contribute to compaction of the soil with the consequent reduction in soil aeration. This includes equipment storage, traffic, livestock, etc., over the system.
5. All solid waste shall be stored and disposed of in a manner to prevent nuisances or health threats from insects, vectors and odors.

Fire

6. Provisions, prior to occupancy, shall be made for year round access for a heavy fire department tanker truck to each new structure from a paved public road and including adequate turnarounds.
7. Provisions, prior to occupancy, shall be made for a fire fighting water supply system acceptable to and approved by the State Department of Forestry. Minimum water storage capacity shall be no less than 10,000 gallons.

I AM MODIFYING MY PROJECT TO INCLUDE THE PRECEDING MEASURES.

  
Koerner Rombauer  
Applicant

May 3 1982  
Date





## NAPA COUNTY

HARRY D. HAMILTON  
Director of Public Works

County Surveyor — County Engineer  
Road Commissioner

RECEIVED

APR 27 1982

Napa County Conservation,  
Development & Planning Commission

### DEPARTMENT OF PUBLIC WORKS

1195 THIRD STREET, RM. 201

~~1127 FIRST STREET~~ • NAPA, CALIFORNIA 94558

AREA CODE 707/ 253-4351

April 27, 1982

Napa County Department of  
Conservation, Development and  
Planning  
1195 Third Street-Room 210  
Napa, California 94559

RE: SILVERADO TRAIL, NORTH  
OF GLASS MTN ROAD  
U-338182  
KOERNER ROMBAUER WINERY  
(IS# 1263)

#### Commissioners:

It is recommended that:

1. The access road from Silverado Trail to the proposed winery be improved to a 16 foot wide dust free, all weather status, i.e., 5 inches of Class 2 Aggregate Base plus a double seal coat. Any required parking areas are also to have the same pavement section. Appropriate credit will be given to the pavement presently in the access road.
2. Any work done within the Silverado Trail right of way shall be in accordance with an encroachment permit obtained from this department.
3. The above improvements include all necessary related drainage improvements.
4. The above improvements are to be constructed according to plans prepared by a registered civil engineer and approved by this department.
5. The applicant is to pay an engineering and inspection fee in the amount of 3 percent of the estimated cost of the above improvements.

DEPT. OF PLANNING  
SIL. TRAIL-KOERNER-ROMBAUER WINERY  
JB. Klein, PE  
April 27, 1982  
Page 2

Should the applicant at some future time decide to open the facility to tours and tasting, then it will be necessary to consider installing a left turn lane in Silverado Trail and widening the access road to the winery and increasing the pavement section thereof.

Very truly yours,

HARRY D. HAMILTON, P.E.  
Director of Public Works

By

  
J. B. KLEIN, P.E.  
Civil Engineer

am

cc: Koerner Rombauer